



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP-22-015

### DEVELOPMENT PERMIT DP-22-015

THIS PERMIT, issued September 23<sup>rd</sup>, 2022 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: GableCraft RB Homes Limited Partnership  
Suite 1774, Four Bentall Centre  
1055 Dunsmuir Street  
Vancouver, BC V6B 4N7

(the "Permittee")

- 
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

Lots 7, 59 & 60, Section 40, Esquimalt District, Plan EPP113484

(the "Lands")

2. This Development Permit regulates the development of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form and character considerations for 3 single-family show homes and associated site improvements are consistent with the Form & Character design guidelines for "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied or supplemented by this Permit.
5. If the Permittee does not substantially start the construction permitted by this Permit within 24

months of the date of this Permit, the Permit shall lapse and be of no further force and effect.

6. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
7. This Development Permit authorizes the construction of 3 single-family show homes along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

## FORM AND CHARACTER CONDITIONS

### Building Features

- 7.1. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings and Coloured Elevation Renderings prepared by GableCraft Homes (Schedule 1, 2 and 3).
- 7.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 7.3. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 7.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Engineering and Development Services or their delegate.

### Landscaping

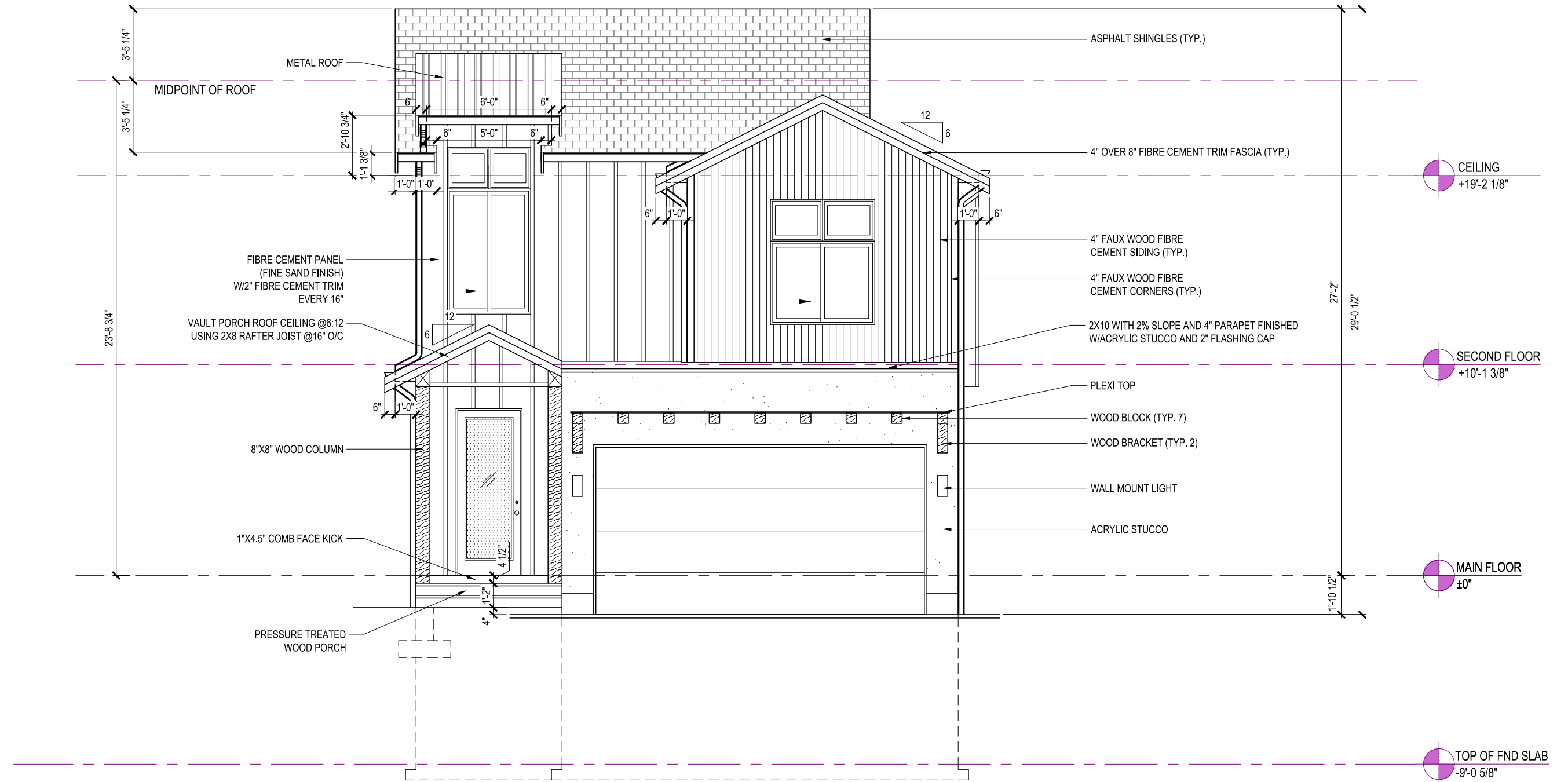
- 7.5. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by LADR Landscape Architects (Schedule 1, 2 and 3)

## PLANS AND SPECIFICATIONS

8. The following plans and specifications are attached to and form part of this permit:
  - Schedule 1** - Architectural Drawings, Coloured Elevation Renderings, Site Plan, Landscape Plan, Parking Plan and Locator Map for Lot 59 prepared by GableCraft Homes
  - Schedule 2** – Architectural Drawings, Coloured Elevation Renderings, Site Plan, Landscape Plan, Parking Plan and Locator Map for Lot 60 prepared by GableCraft Homes
  - Schedule 3** – Architectural Drawings, Coloured Elevation Renderings, Site Plan, Landscape Plan, Parking Plan and Locator Map for Lot 7 prepared by GableCraft Homes

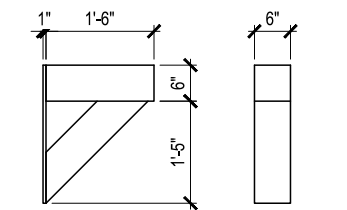
ISSUED ON THIS 23 DAY OF SEPTEMBER 2022.

\_\_\_\_\_  
ROBERT EARL  
CHIEF ADMINISTRATIVE OFFICER

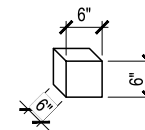


FRONT ELEVATION  
STYLE - WEST COAST MODERN

9' UPPER FLOOR  
9' MAIN FLOOR  
8' BASEMENT

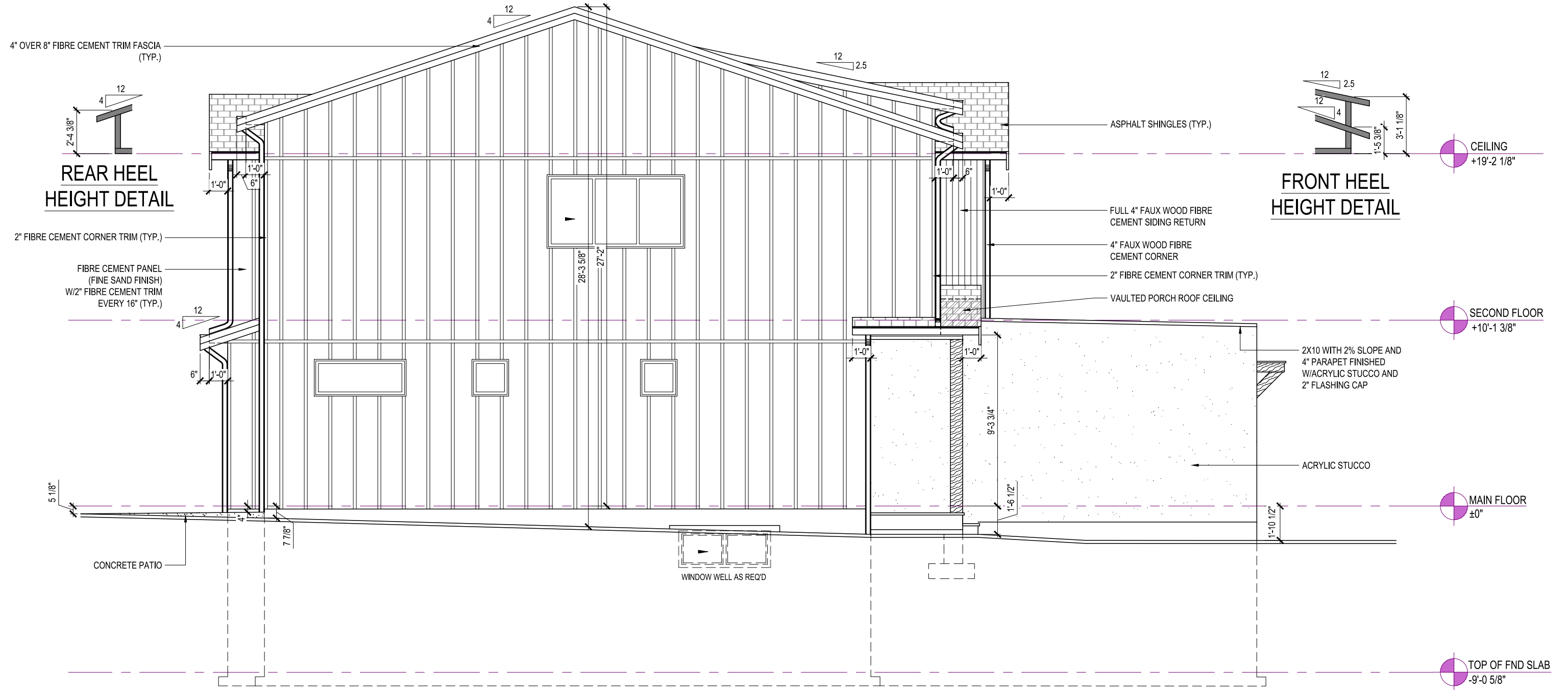


BRACKET DETAIL



BLOCK DETAIL





**LEFT ELEVATION**

WALL AREA = 735 SQ.FT.  
 UNPROTECTED OPENING AREA = 48 SQ.FT.  
 6.53%

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 VICTORIA, BRITISH COLUMBIA V9C 0L7

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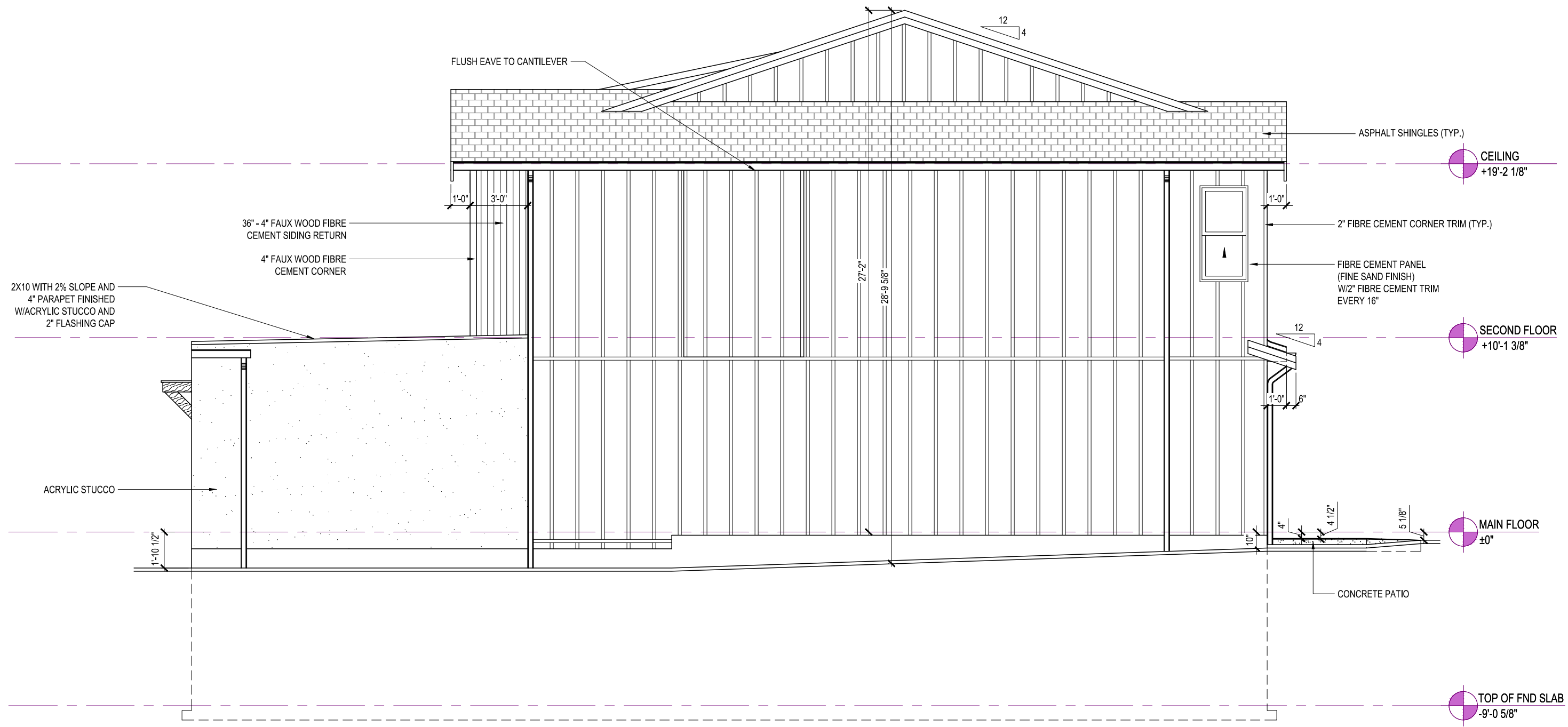
MARKHAM  
**ELEVATION D**  
 1864 SQ. FT.

TBD, COLWOOD, BRITISH COLUMBIA

LOT	059	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	44-01-00-059	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	07/28/22	INITIAL WORKING DRAWINGS

SHEET NUMBER  
**02**



**RIGHT ELEVATION**

WALL AREA = 1012 SQ.FT.  
 UNPROTECTED OPENING AREA = 12.50 SQ.FT.  
 1.25%

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MARKHAM  
**ELEVATION D**  
 1864 SQ. FT.

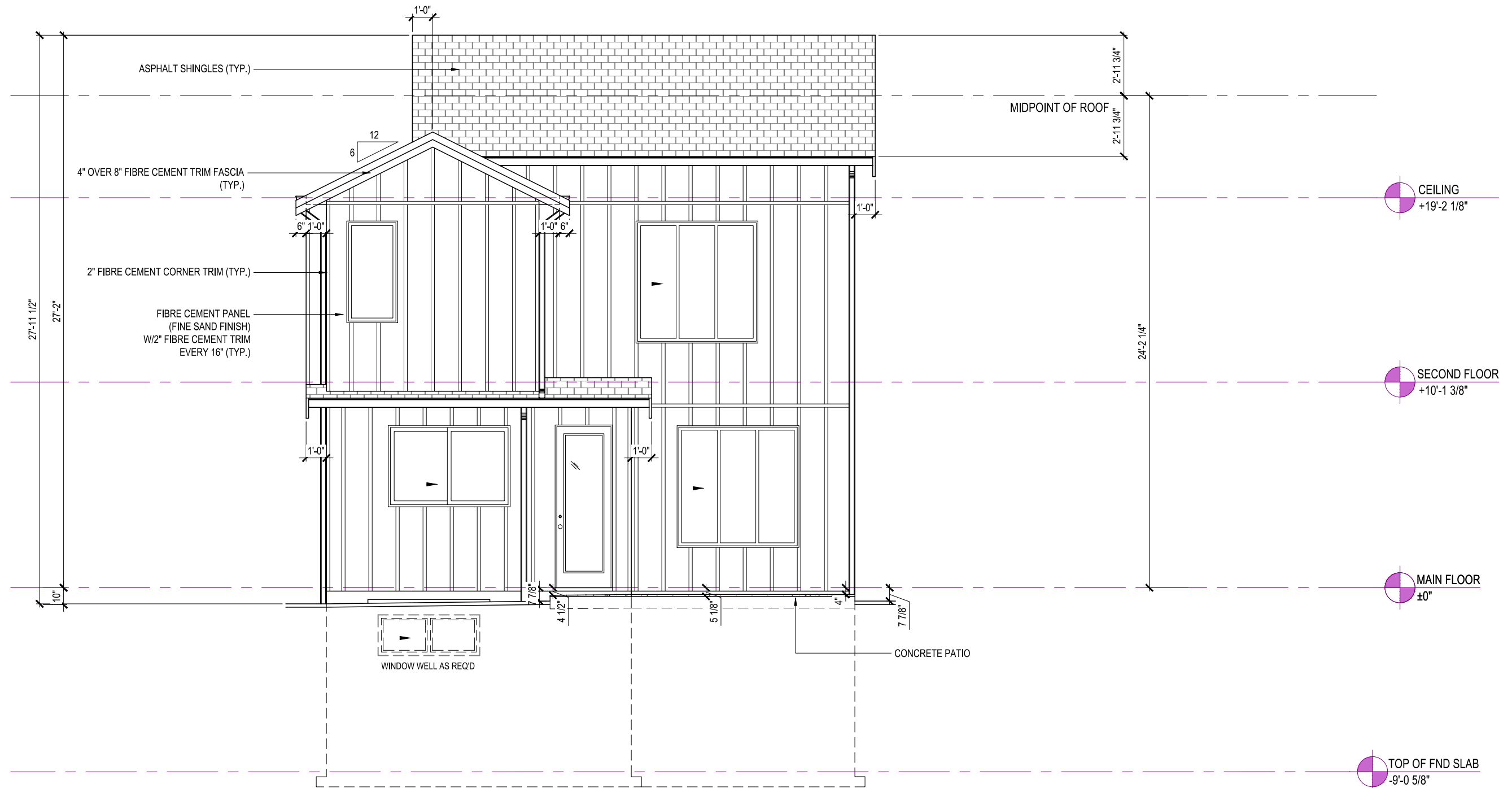
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SHEET NUMBER

03



REAR ELEVATION

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MARKHAM  
ELEVATION D  
1864 SQ. FT.

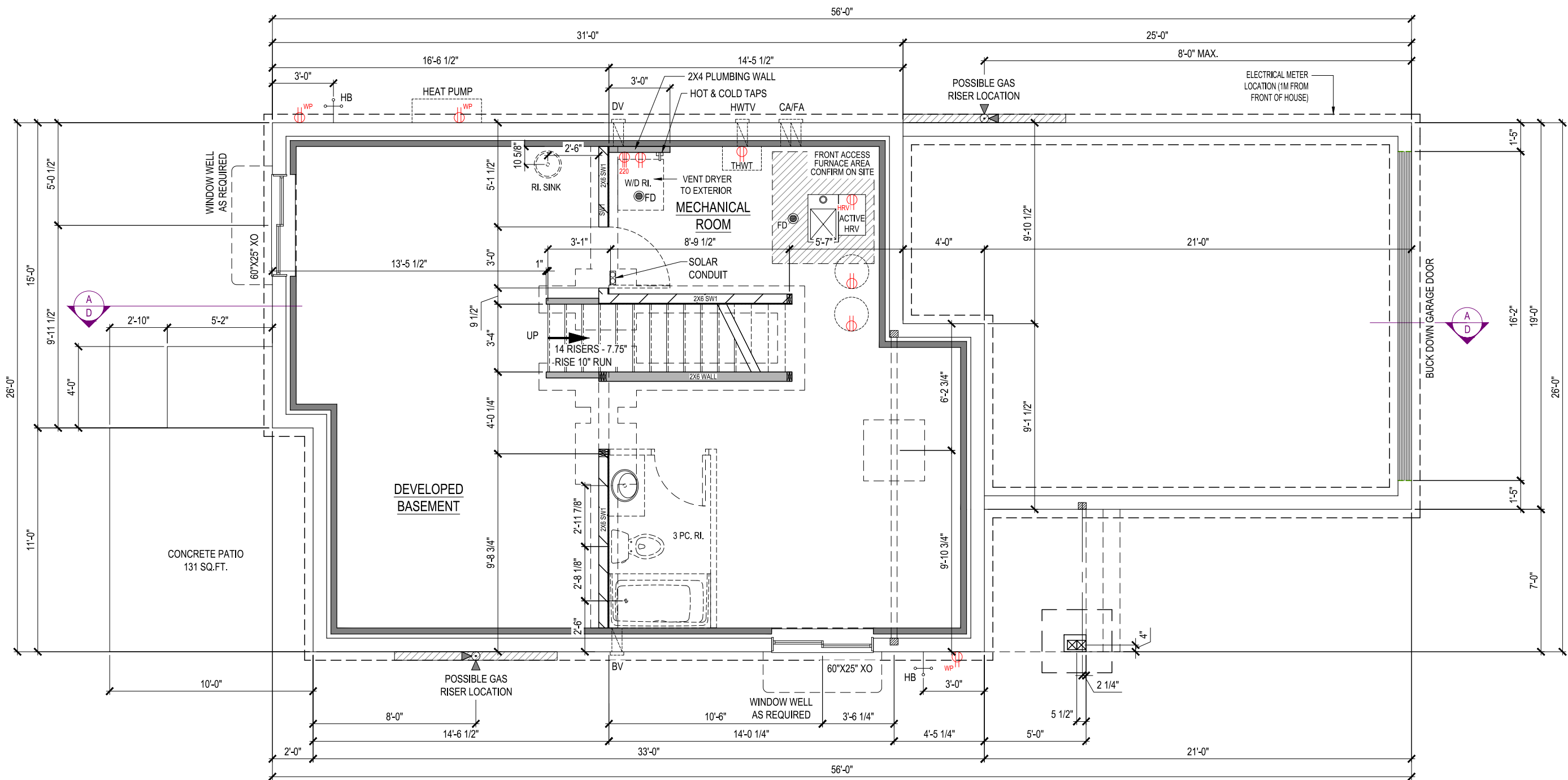
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REL	00	
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SHEET NUMBER

04



# FOUNDATION PLAN

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ELEVATION D  
1864 SQ. FT.

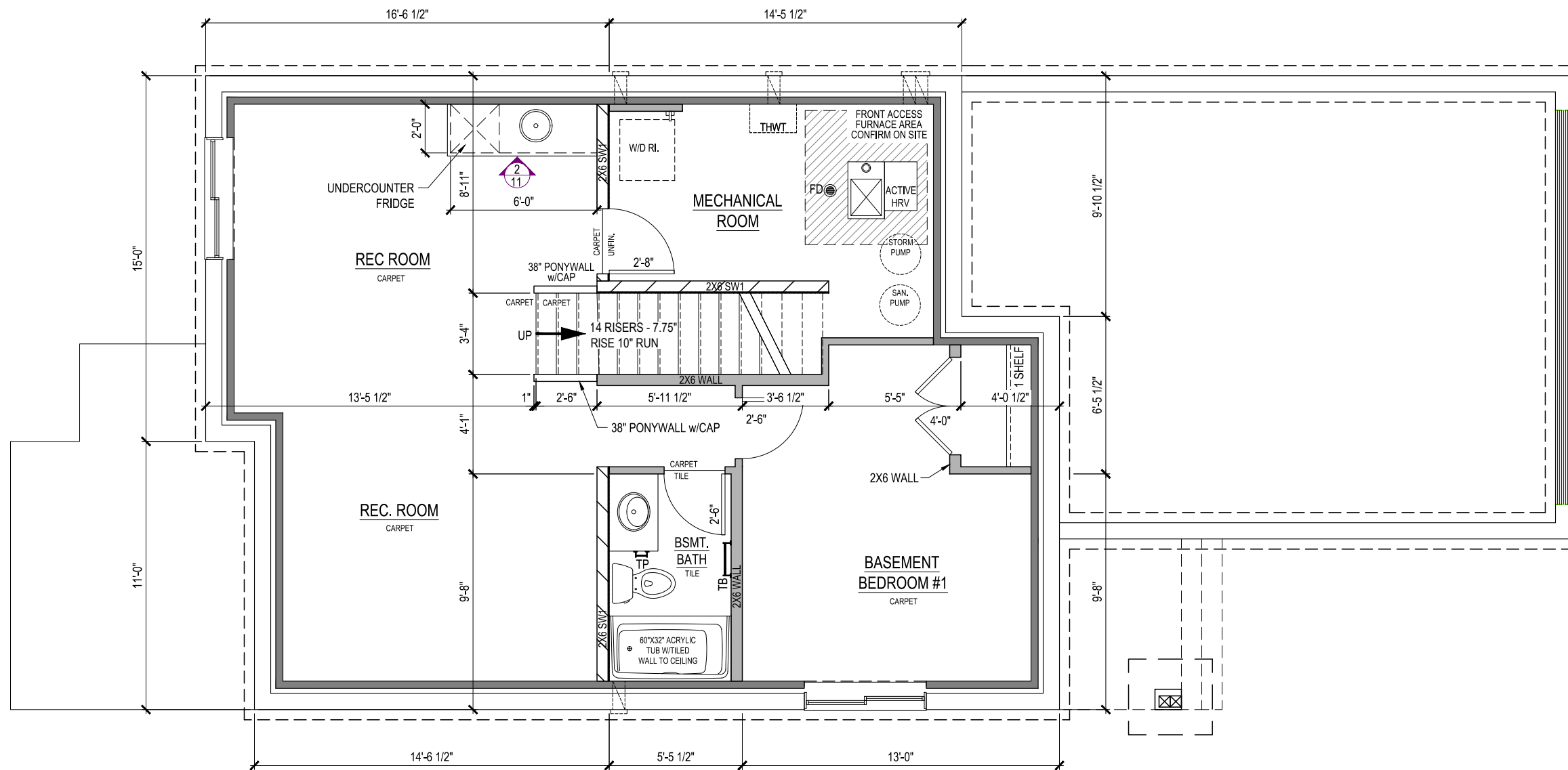
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REL	00		
JOB	44-01-00-059		

REV. NO.	DESIGN	DATE	REMARKS
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05



## BASEMENT DEVELOPMENT

608 Sq.Ft.

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MARKHAM  
ELEVATION D  
1864 SQ. FT.

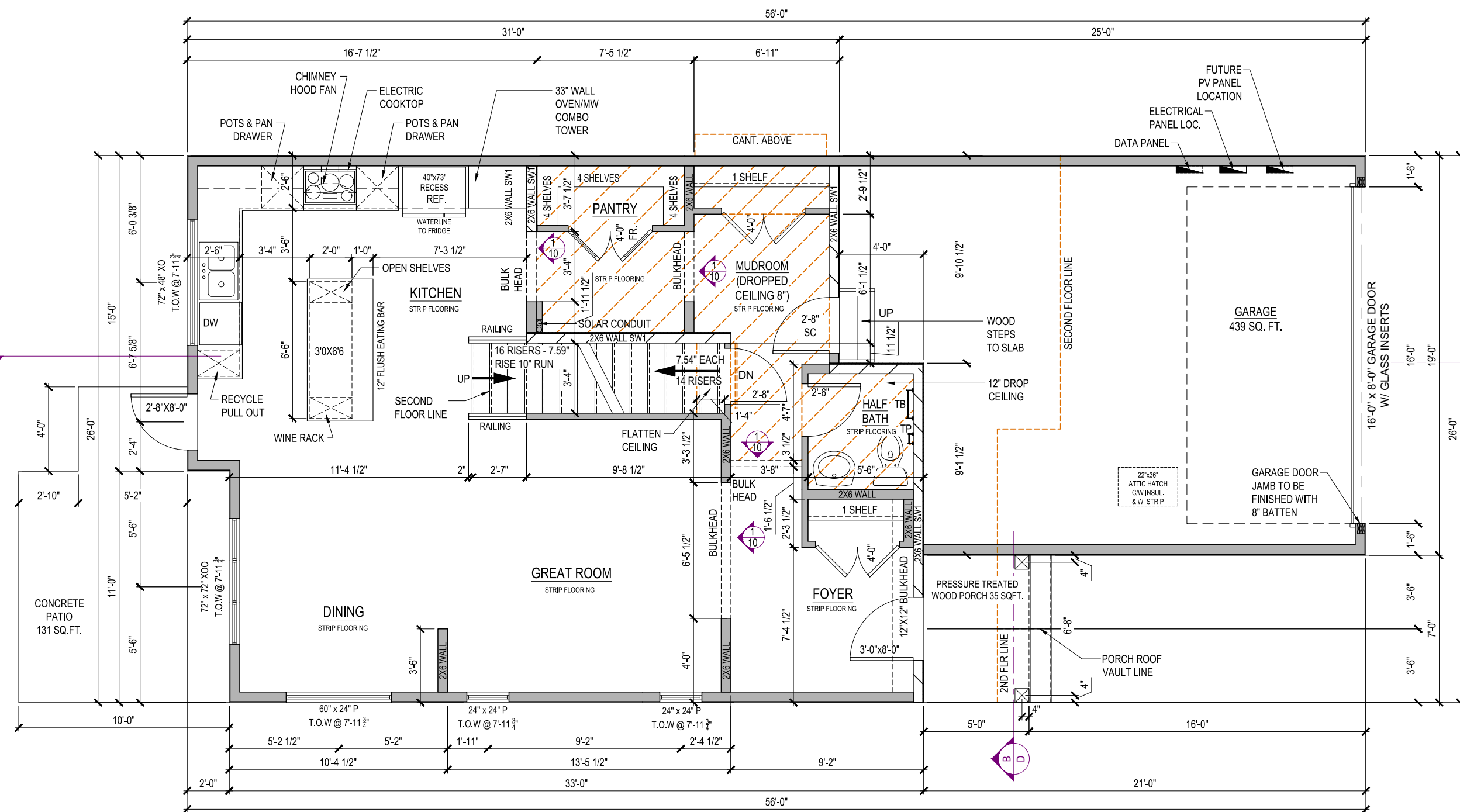
TBD, COLWOOD, BRITISH COLUMBIA

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REL	00	
JOB	44-01-00-059	

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SHEET NUMBER

06




## MAIN FLOOR PLAN

849 Sq. Ft.

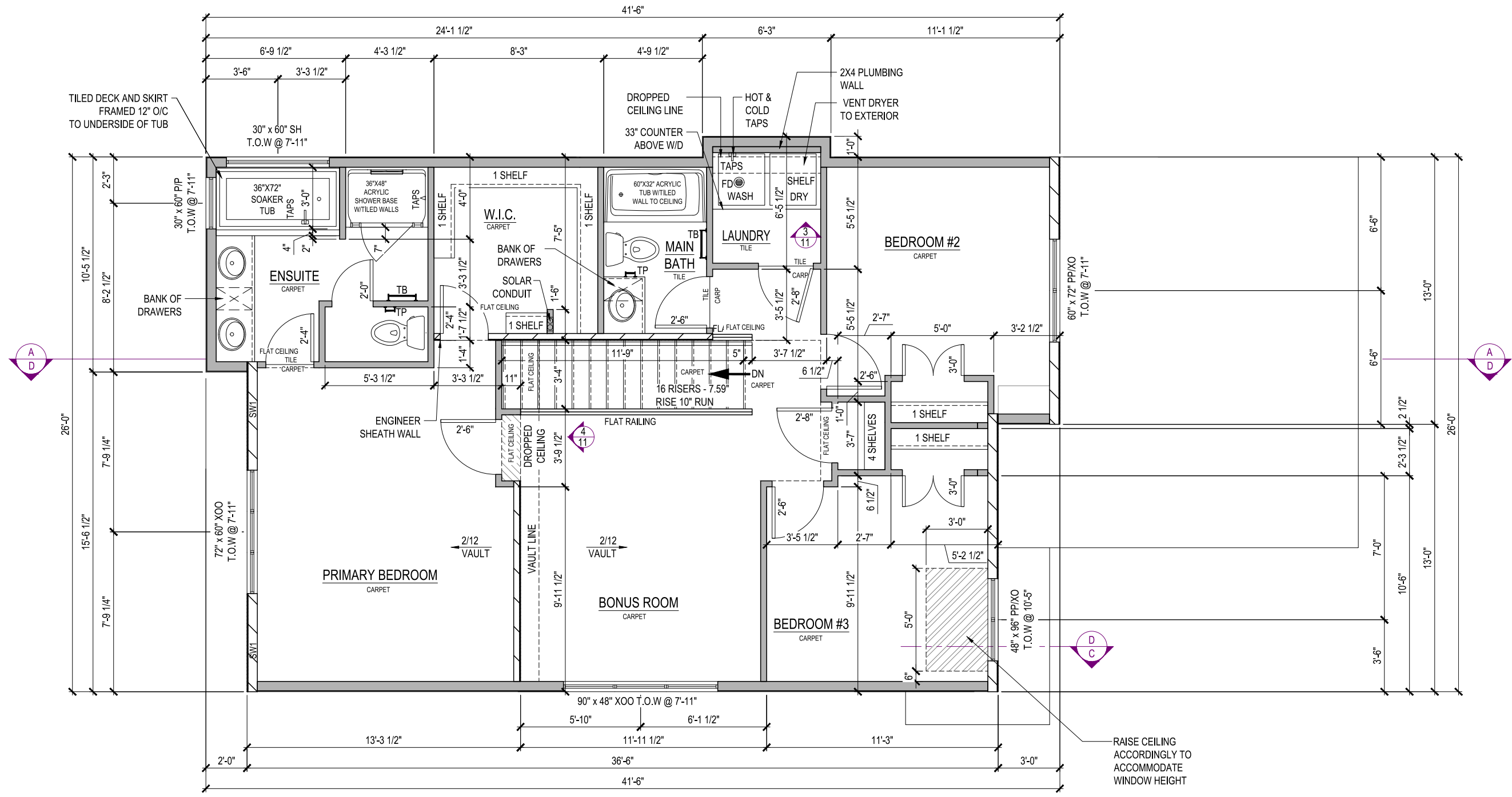


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 GABLECRAFT HOMES

MARKHAM  
 ELEVATION D  
 1864 SQ. FT.  
 TBD, COLWOOD, BRITISH COLUMBIA

LOT	059	SCALE:	3/16" = 1'-0"
SEC	01		
REL	00		
JOB	44-01-00-059		

REV. NO.	DESIGN	DATE	REMARKS
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## SECOND FLOOR PLAN

1015 Sq.Ft.

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MARKHAM  
ELEVATION D  
1864 SQ. FT.

TBD, COLWOOD, BRITISH COLUMBIA

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REL	00		
JOB	44-01-00-059		

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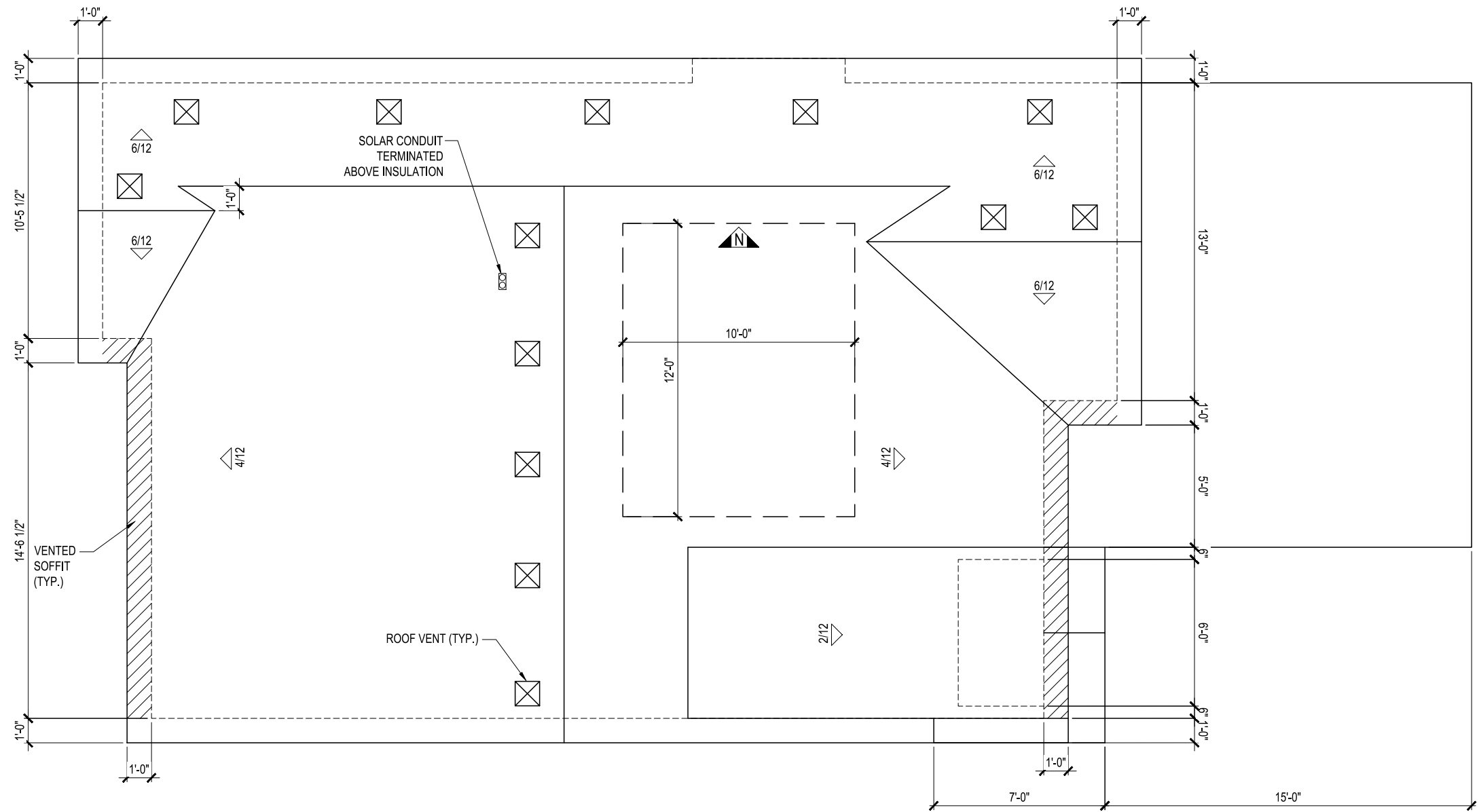
SHEET NUMBER  
**08**

# ROOF AREA

1015 Sq.Ft.

**FRAMER NOTE:**

- ENSURE THE EDGE OF THE BOTTOM ROOF VENT HOLE IS 48" AWAY FROM THE FASCIA
- ROOF VENTS MUST BE A MINIMUM OF 36" AWAY FROM VALLEYS
- STAGGER UPPER AND LOWER VENTS WHERE POSSIBLE
- ROOF VENT HOLES TO BE APPROX. 8" X 8"
- ROOF VENTS MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MIN. OF 12")
- ENSURE THAT VENTS AT EQUAL HEIGHT ARE IN LINE WITH EACH OTHER
- FRAMERS TO CONFIRM THE VENTING LAYOUT WITH ROOFING INSTALLER PRIOR TO FRAMING VENT LOCATIONS



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MARKHAM  
**ELEVATION D**  
1864 SQ. FT.

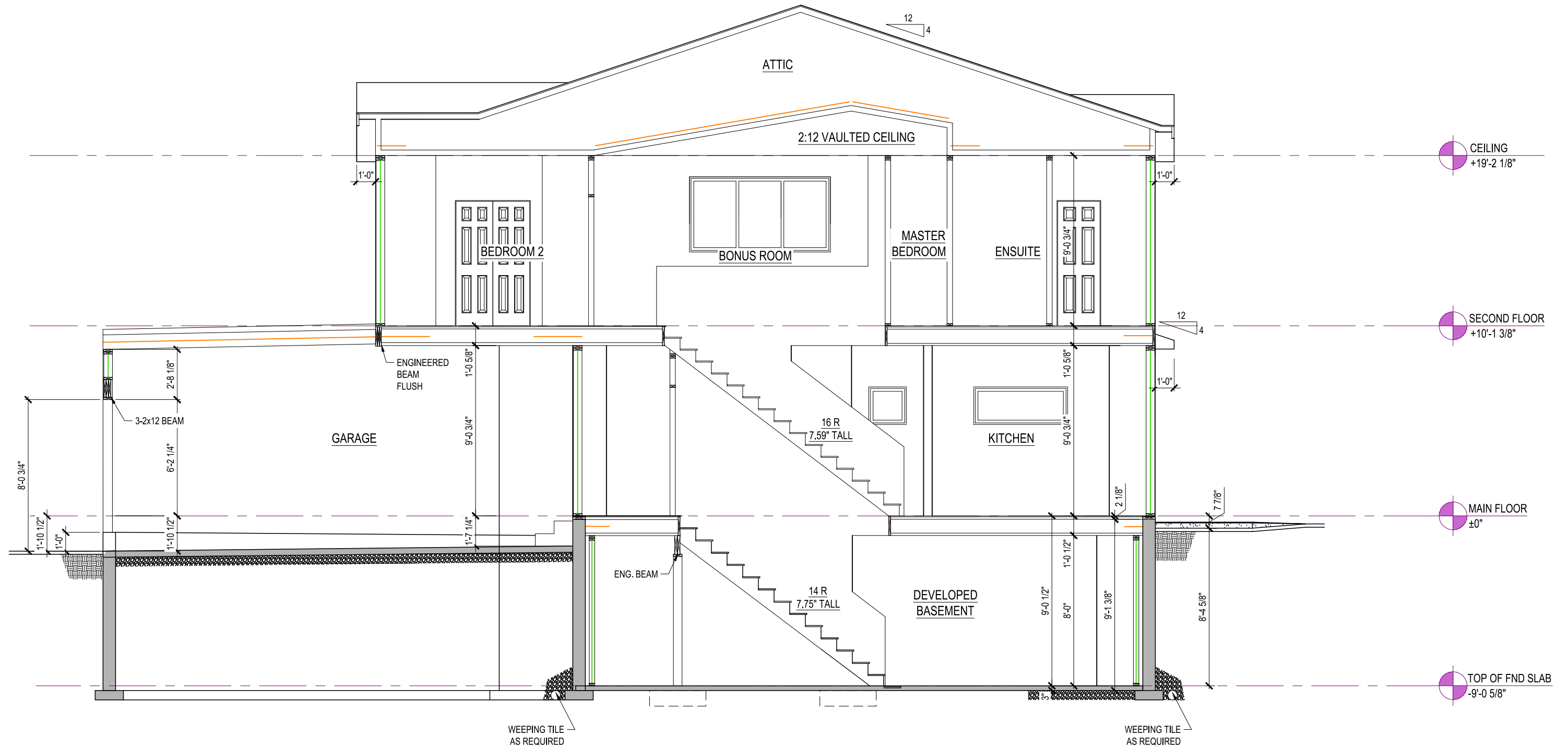
TBD, COLWOOD, BRITISH COLUMBIA

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REL	00	
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**09**





SECTION A-D      8' BASEMENT      9' MAIN FLOOR      9' UPPER FLOOR



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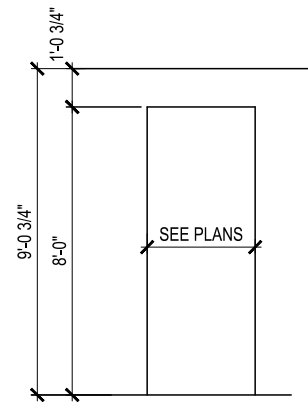
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MARKHAM  
 ELEVATION D  
 1864 SQ. FT.

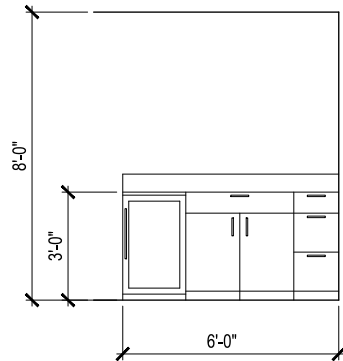
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REL	00	
JOB	44-01-00-059	

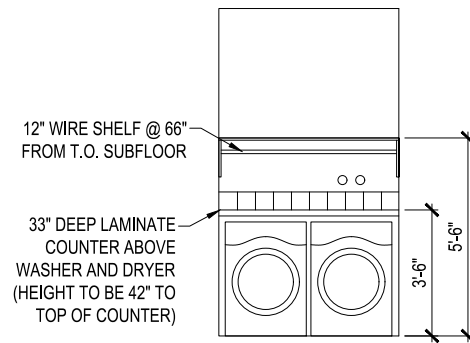
REV. NO.	DESIGN	DATE	REMARKS
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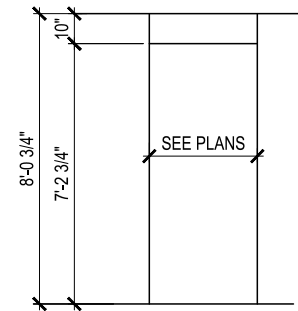
1 BULKHEAD DETAIL - 9'-0"  
11



2 WET BAR DETAIL  
11 SCALE: 3/16" = 1'-0"



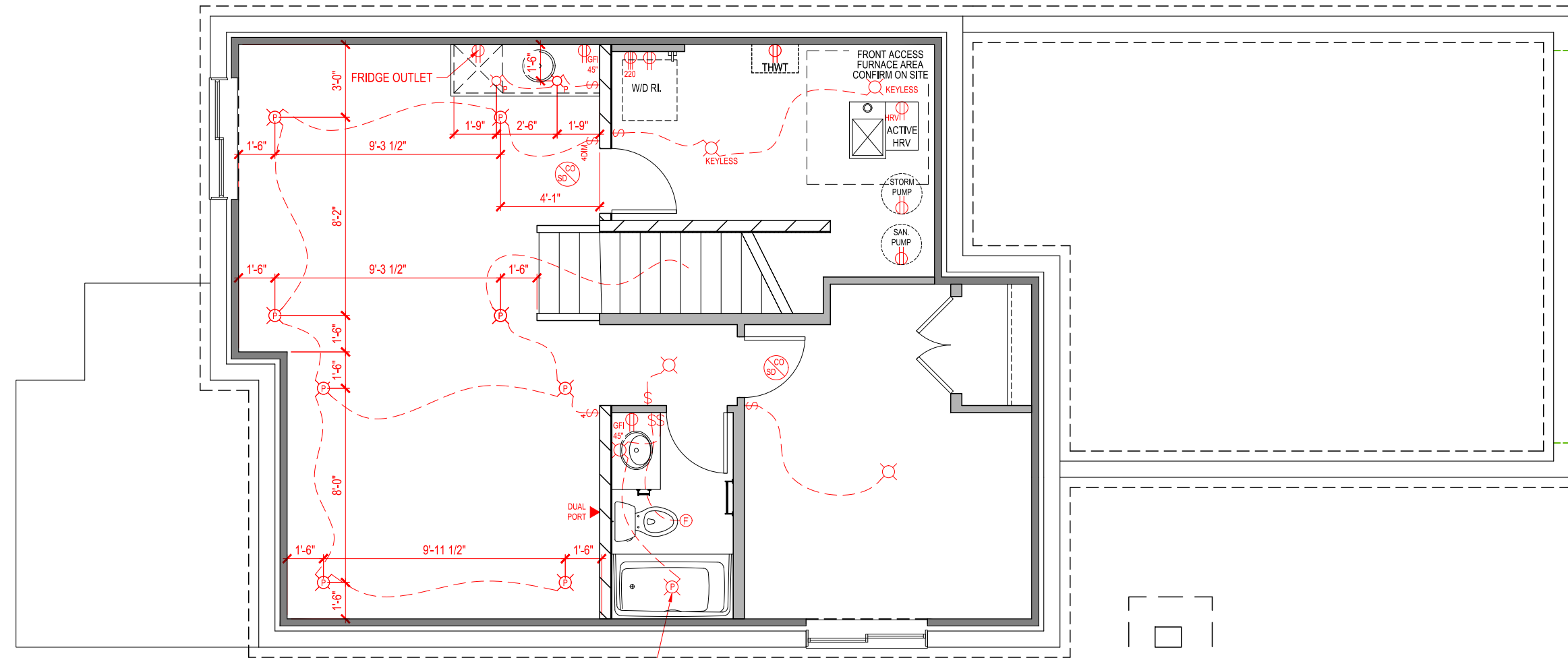
3 LAUNDRY LEVEL TWO  
11 SCALE: 3/16" = 1'-0"



4 DROPPED CEILING  
11

LOT	059	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	44-01-00-059	

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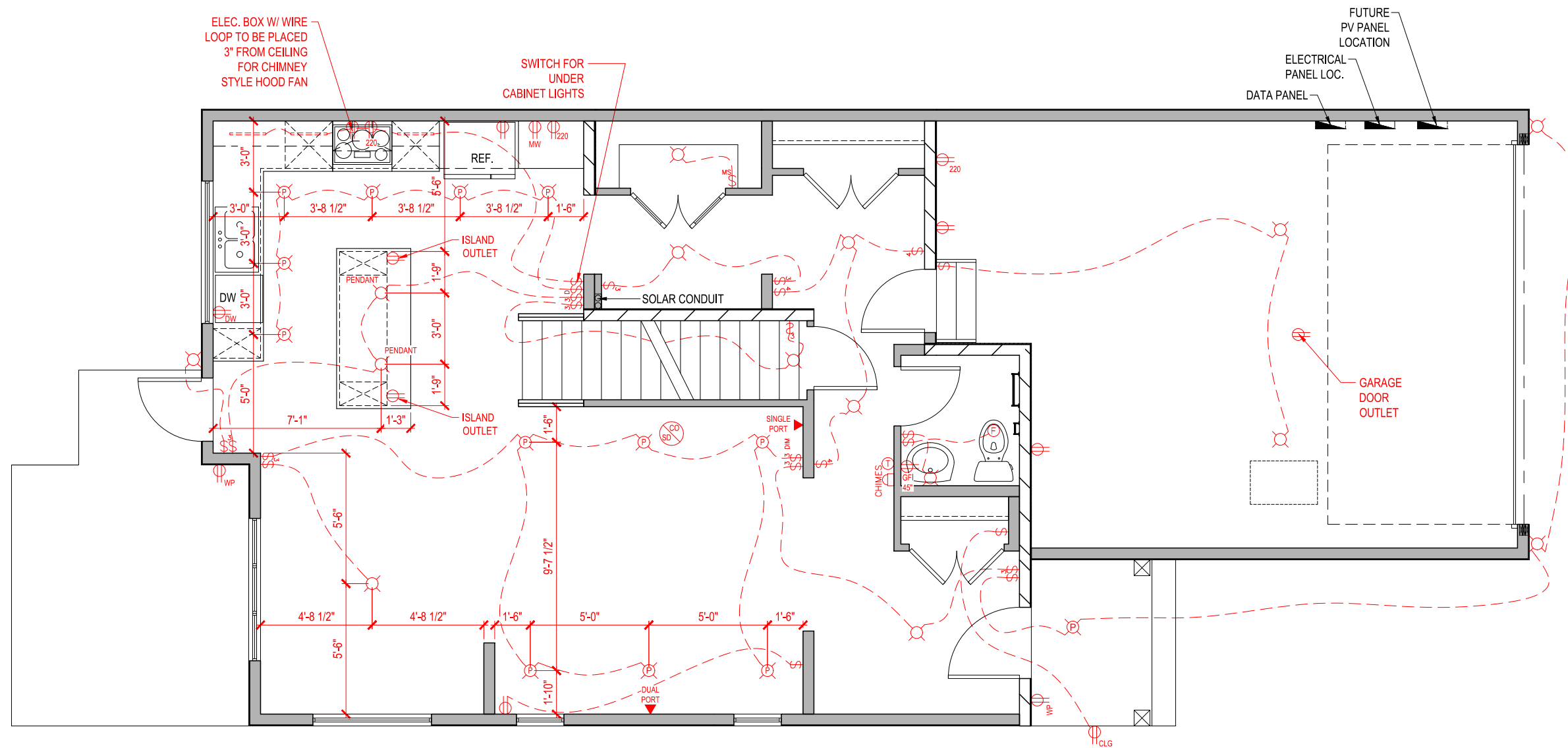
## BASEMENT DEVELOPMENT - ELECTRICAL

608 Sq.Ft.

	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	DISC LIGHT FIXTURE
	TRACK LIGHT (2)
	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

LOT	059	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	01		
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REV. NO.	DESIGN	DATE	REMARKS
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	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
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	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

## MAIN FLOOR PLAN - ELECTRICAL

849 Sq.Ft.



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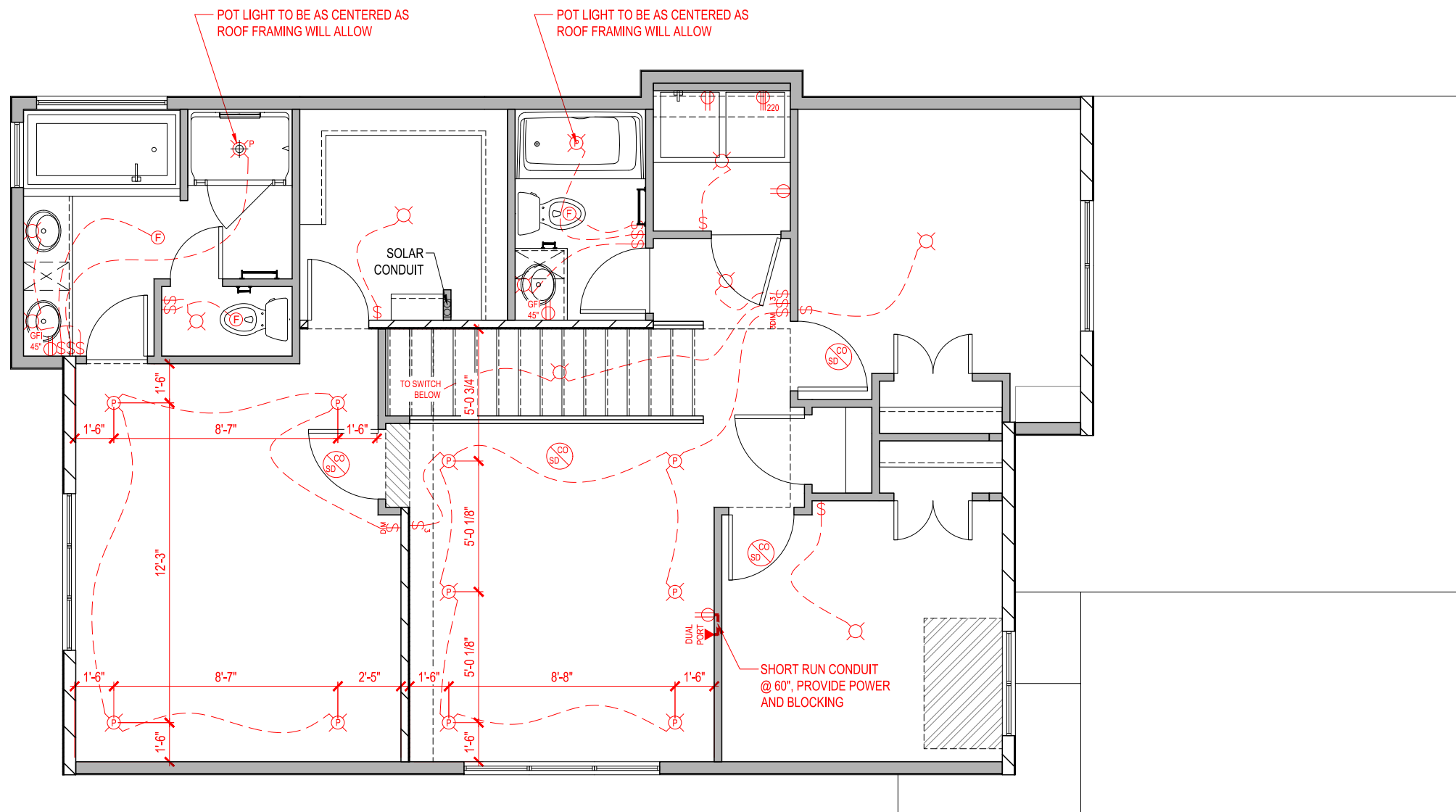
GABLECRAFT HOMES

MARKHAM  
ELEVATION D  
1864 SQ. FT.

TBD, COLWOOD, BRITISH COLUMBIA

LOT	059	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	01		
REL	00		
JOB	44-01-00-059		

REV. NO.	DESIGN	DATE	REMARKS
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## SECOND FLOOR PLAN - ELECTRICAL

1015 Sq.Ft.

	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	DISC LIGHT FIXTURE
	TRACK LIGHT (2)
	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60° PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72° PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

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MARKHAM  
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14

**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS  
 - ALL CONSTRUCTION IS TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND ALSO TO CONFORM TO THE CURRENT PROVINCIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS

**A) CONCRETE WALL ASSEMBLIES: 2.17- 3.17**

- NOTE: BEFORE DELIVERING CONCRETE TO SITE, TRADE TO CONTACT GABLECRAFT SUPERVISION TO CONFIRM ANY REQUIREMENT IN MIX DESIGN TO ACCOMMODATE HIGH SULFATE CONDITIONS SPECIFIC TO LOT  
 - NOTE: BEFORE FORMING FOOTING ON SITE, TRADE IS TO CONTACT GABLECRAFT SITE SUPERVISION TO CONFIRM ANY SPECIFIC SIZING REQUIREMENTS DUE TO GEOTECHNICAL OR DEEP FILL REPORTS  
 - FOUNDATION POLYURETHANE WATER PROOFING, 8" CONCRETE WALLS (25 MPA CONCRETE) REINFORCED W/ 4 ROWS OF 10M REBAR, 18"x6" CONTINUOUS CONCRETE FOOTINGS (20 MPA CONCRETE C/W 10M REBAR) WHEN REQUIRED AS PER SOIL BEARING TEST, MIN. 1'-6" BELOW GRADE & MIN. 4'-0" BELOW GRADE FOR FULL BASEMENT & CRAWL SPACE.  
 - INTERIOR STUDS  
 A-1= 2X4 INTERIOR STUDS @ 24" O/C W/PRESSURE TREATED 2X4 BOTTOM PLATE AND 2-2X4 TOP PLATES. FULL HEIGHT R-20 FIBERGLASS BATT INSULATION W/6 MIL POLY VAPOUR BARRIER TO FULL BASEMENT AREAS (RSI 3.17) A-2= 2X4 INTERIOR STUDS (FOR INTERIOR PARTY WALLS) @ 24" O/C W/ PRESSURE TREATED 2X4 BOTTOM PLATE AND 2-2X4 TOP PLATES. R-12 FIBERGLASS BATT INSULATION W/6 MIL POLY VAPOUR BARRIER TO UNFINISHED AREAS (RSI 2.17) A-3= FOILED BACK BLANKET INSULATION (R-12) TO CRAWL SPACE AREAS. (RSI=2.34)  
 - WHERE STEP FOOTINGS OCCUR, THE VERTICAL DIMENSION OF EACH STEP SHALL NOT EXCEED 23 5/8" AND THE MINIMUM HORIZONTAL DIMENSION OF EACH STEP SHALL BE 23 5/8"  
 - BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MINIMUM BEARING CAPACITY OF 100kPa OR GREATER.  
 - INCREASE FOOTING SIZE TO 22"x7" FOR 3-STOREY HOUSES OR 2 STOREY WITH WALK-OUT BASEMENT CONDITION  
 - 100MM (4") DIA. WEEPING TILE 150MM (6") CRUSHED STONE OVER AND AROUND WEEPING TILES  
 - BEAM POCKET, MINIMUM BEARING 3 1/2"

**LUMBER:**

- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER, OR AS NOTED  
 - ALL STUDS ARE CONSTRUCTION GRADE SPRUCE OR BETTER

**ENGINEERED FRAMING PRODUCTS:**

- ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER

**TRUSSES:**

- ENGINEERED ROOF TRUSSES TO BE INSTALLED AS PER DRAWINGS PROVIDED WITH THE MANUFACTURER'S SPECIFICATION SUPERSEDING  
 - STANDARD EAVE OVERHANG AS PER ELEVATION

**FLOORS AND SUPPORTS:**

- ENGINEERED COLUMNS AND BEAMS AS PER ENGINEERED FLOOR DRAWINGS  
 - LVL BEAMS SHALL BE 2.OE WS MICRO-LAM LVL (Fb=2800psi.MINIMUM) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 3 1/2" LONG COMMON WIRE NAILS @ 12" O/C STAGGERED IN 2 ROWS FOR 7 1/4", 9 1/2", 11 7/8" DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 1/2" DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM @ 3'-0" O/C  
 - JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS

**FRAMING NOTES:**

- ENSURE EDGE OF LOWER ROOF VENT HOLES ARE 48" FROM THE FASCIA  
 - ROOF VENTS MUST BE A MINIMUM OF 36" FROM VALLEYS  
 - STAGGER UPPER & LOWER VENTS WHERE POSSIBLE  
 - ROOF VENT HOLES TO BE APPROX. 8"x8"  
 - ROOF VENT MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MINIMUM 12")  
 - ENSURE VENTS AT EQUAL HEIGHTS ARE IN LINE W/ EACH OTHER  
 - STANDARD EAVE OVERHANG AS PER ELEVATION  
 - SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT PROVINCIAL BUILDING CODE.  
 - BUILT-UP-POST WITH DAMPROOFING MATERIAL WRAPPED AT THE END OF POST ANCHORED TO CONCRETE FOOTING

**EXPOSED BUILDING FACE**

- EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES WHERE LIMITING DISTANCE IS LESS THAN 3'-11". WHERE THE LIMITING DISTANCE IS LESS THAN 1'-11", THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL

**B) FIRE SEPERATION WALLS:**

**SECONDARY SUITE:**  
 (USING PHOTO-ELECTRIC SMOKE/CO DETECTORS IN SUITE INTERCONNECTED TO MAIN HOME)

WALL TYPE = W3C (FIRE = 45 MIN, STC = 43)  
 - 1/2" TYPE X DRYWALL (MAIN UNIT SIDE)  
 - 2X4 STUDS @ 24" O/C UNLESS OTHERWISE NOTED  
 - 3 1/2" FIBERGLASS BATT INSULATION  
 - RESILIENT METAL CHANNEL @ 24" O/C (SUITE SIDE)  
 - 1/2" TYPE X DRYWALL (SUITE SIDE)  
 - ALL PENETRATIONS TO BE FIRE RATED  
**SEMI-ATTACHED:**  
 - MIN. 1 HOUR FIRE RATED PARTY WALL  
 - 2 LAYER 1/2" TYPE X DRYWALL (1/2" OVER 5/8" TO BATHROOM AREAS)  
 - 2x4/2x6 STUDS @ 16" O/C  
 - 3 1/2" MINERAL FIBRE THERMAL BATT INSULATION  
 - 1" GAP  
 - 3 1/2" MINERAL FIBRE THERMAL BATT INSULATION  
 - 2x6 STUDS @ 16" O/C  
 - 2 LAYER 1/2" TYPE X DRYWALL (1/2" OVER 5/8" TO BATHROOM AREAS)  
 - ALL PENETRATIONS TO BE FIRE RATED  
 - REFER TO DETAILS FOR ADDITIONAL INFORMATION

**NOTE: STABILITY OF NARROW (20'-25') & TALL (+/- 30') HOUSES:**

- BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION.  
 - IN ADDITION TO STIFFING THE STRUCTURE IN TRANSVERSE DIRECTION USE 7/16" THICK PLYWOOD NAILED TO THE INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2 INTERIOR PARTITION WALLS ON BOTH SIDES AND PERPENDICULAR TO THE LONG WALLS.

**C) TALL WALLS: RSI = 2.60**

- SEE ENGINEERING LETTERS AND/OR LAYOUTS

**D) INTERIOR PARTITION WALL ASSEMBLIES**

INTERIOR STUD PARTITIONS:  
 - BEARING PARTITIONS 2"x4" @ 16" O/C FOR 2 STORIES AND 12" O/C FOR 3 STORIES, 1/2" DRYWALL BOTH SIDES  
 - NON-BEARING PARTITIONS 2"x4" @ 24" O/C PROVIDE (1-2"x4") BOTTOM PLATE AND (2-2"x4") TOP PLATE, 1/2" DRYWALL BOTH SIDES OF STUD, PROVIDE 2"x6" @ 24" O/C STUDS/PLATES WHERE NOTED. NON-BEARING PARTITIONS 2"x4" OR 2"x6" @ 24" O/C, 1/2" DRYWALL BOTH SIDES

- DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES

**E) FLOOR ASSEMBLIES: RSI = 1.80 - 3.72**

**GENERAL CONDITION:**  
 - FINISH AS SPECIFIED  
 - 3/8" PARTICLE BOARD UNDER LINO AREAS  
 - 3/4" TONGUE & GROOVE O.S.B NAILED, GLUED, AND SCREWED  
 - ENGINEERED FLOOR SYSTEM PONY WALL CONDITION (RSI = 1.80) END RIM BOARD CONDITION (RSI = 3.74)  
 - R-19 FIBERGLASS BATT INSULATION TO RIM JOISTS & VENT PENETRATION ONLY  
 - STRAPPING AS REQUIRED  
 - 1/2" DRYWALL AS REQUIRED  
**SUITE SEPARATION:**  
 FLOOR TYPE = F8H (FIRE = 30 MIN, STC =48, IMPACT = 43)  
 - FINISH AS SPECIFIED  
 - 3/8" PARTICLE BOARD UNDER LINO AREAS  
 - 3/4" TONGUE & GROOVE O.S.B NAILED, GLUED, AND SCREWED  
 - ENGINEERED FLOOR SYSTEM PONY WALL CONDITION (RSI = 1.80) END RIM BOARD CONDITION (RSI = 3.74)  
 - 5 1/2" FIBERGLASS BATT INSULATION  
 - RESILIENT CHANNEL @ 24" O/C  
 - 1/2" TYPE X DRYWALL

**EXTERIOR ENVELOPE WALL ASSEMBLIES:**

**F) EXTERIOR WALL: RSI= 2.64 - 2.78**

- FINISHED AS SPECIFIED  
 - BUILDING PAPER  
 - 7/16" O.S.B  
 - FIRE RETARDANT SPRAY  
 - 2"x6"  
 STUDS @ 24" O/C, RSI = 2.78  
 STUDS @ 16" O/C (ON MAIN FLOOR FOR HOMES W/ LOFTS OR STUCCO FINISHED WALLS), RSI = 2.69  
 STUDS @ 12" O/C, RSI = 2.64  
 - R-19 FIBERGLASS BATT INSULATION  
 - WINDOW & DOOR LINTEL TO BE 2-2"x10" OR AS PER CURRENT PROVINCIAL BUILDING CODE  
 - FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE  
 - 6 MIL POLY VAPOUR BARRIER  
 - 1/2" DRYWALL (DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES)

**EXTERIOR ENVELOPE WALL ASSEMBLIES:**

**G) EXTERIOR WALL: RSI= 2.64 - 2.78**

- FINISHED AS SPECIFIED  
 - BUILDING PAPER  
 - 7/16" O.S.B  
 - FIRE RETARDANT SPRAY  
 - 2"x6"  
 STUDS @ 24" O/C, RSI = 2.78  
 STUDS @ 16" O/C (ON MAIN FLOOR FOR HOMES W/ LOFTS OR STUCCO FINISHED WALLS), RSI = 2.69  
 STUDS @ 12" O/C, RSI = 2.64  
 - R-19 FIBERGLASS BATT INSULATION  
 - WINDOW & DOOR LINTEL TO BE 2-2"x10" OR AS PER CURRENT PROVINCIAL BUILDING CODE  
 - FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE  
 - 6 MIL POLY VAPOUR BARRIER  
 - 1/2" DRYWALL (DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES)



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 ELEVATION D

1864 SQ. FT.

TBD, COLWOOD, BRITISH COLUMBIA

LOT	059	SCALE: 3/16" = 1'-0"
SEC	01	
REL	00	
JOB	44-01-00-059	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	07/28/22	INITIAL WORKING DRAWINGS

**H) STANDARD ATTACHED GARAGE EXTERIOR WALL: RSI= 2.69-2.78**

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- 2X6 STUDS @ 24" O/C (RSI=2.78) (16" O/C FOR STUCCO) FINISHED WALLS(RSI= 2.69))
- R-19 FIBERGLASS BATT INSULATION
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

**I) CANTILEVER FLOOR AND WALL ASSEMBLY: RSI= 4.86**

- 3/4" O.S.B
- JOISTS
- TO CANTILEVER R-28 FIBERGLASS BATT INSULATION (RSI=4.86) 1/2" EXTERIOR DRYWALL IF DISTANCE TO GRADE IS GREATER THAN 24"
- NON-VENTED SOFFIT ON EXPOSED AREAS

**I) ZERO LOT LINE HIRF WALL: RSI= 2.69**

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 5/8" EXTERIOR GYPSUM EQUIVALENT (5/8" TO BE USED ON LOFT MODELS)
- 2"X6" STUDS @ 16" O/C
- R-19 FIBERGLASS BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 5/8" TYPE X DRYWALL

**J) WALKOUT WALL: RSI = 2.69**

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- 2"X6" STUDS @ 16" O/C
- R-19 FIBERGLASS BATT INSULATION
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

**K) ROOF CONSTRUCTION: RSI = 4.79 - 7.07**

- ASPHALT SHINGLES
- 7/16" O.S.B SHEATHING WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" O/C MAXIMUM
- K1- TYPICAL TRUSS ASSEMBLY W/ R40 GLASS FIBRE LOOSE FILL INSULATION = RSI 7.07
- K2- VAULTED TRUSS ASSEMBLY W/ R40 BATT INSULATION = RSI 6.91
- K3- RAFTER CEILING ASSEMBLY W/ R28 BATT INSULATION = RSI 4.79
- APPROVED EAVE PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND 12" BEYOND INNER FACE OF EXTERIOR WALL. 2"X4" TRUSS BRACING @ 6'-0" O/C AT BOTTOM CHORD.
- PREFINISHED ALUMINUM EAVES TROUGH, FASCIA, EAVESTROUGH & VENTED OR NON-VENTED (WHERE REQUIRED) SOFFIT.
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

**CONCRETE FLATWORK:**

- BEFORE DELIVERING CONCRETE TO SITE, TRADE TO CONTACT GABLECRAFT SUPERVISION TO CONFIRM ANY REQUIREMENT IN MIX DESIGN TO ACCOMMODATE HIGH SULFATE CONDITIONS SPECIFIC TO LOT.

**DRIVEWAY:**

- DRIVEWAY TO BE 4" THICK 32MPA CONCRETE DURAMIX SIDEWALK/FROTWALK:
- FRONT WALK TO BE POURED WIDTH OF FRONT STEPS AND FLARED DOWN TO 3'-0" WIDE.

**L) BASEMENT/ WALKOUT SLAB: RSI = 0.19**

- 3" THICK CONCRETE SLAB 32 MPA TYPE 10 CONCRETE, 6 MIL POLY VAPOUR

**BARRIER - JOISTS TO BE LAPPED**

- 3" TYPE 1 EXTRUDED POLYSTYRENE FOR 4'-0" HORIZONTALLY AND VERTICALLY FROM U/S SLAB TO TOP OF FOOTING WHERE SLAB IS ABOVE GRADE (WALKOUTS)
- 6" DRAINAGE GRAVEL

**N) 3-STOREY CURB DETAIL: RSI = 1.84**

- 3" CONCRETE SLAB ON GRADE
- 3 1/2" STUDS
- R-12 FIBREGLASS BATT INSULATION
- FROST CURB TO OVER-LAP FRAMED EXTERIOR WALL BY MIN. 6"
- 6 MIL POLY VAPOUR BARRIER
- 3 1/2" PT HALF LADDER IN 8" FOUNDATION WALL
- EXTERIOR WALL ASSEMBLY ON TOP OF FOUNDATION WALL

**O) BALCONY ASSEMBLY: RSI= 5.09**

- 1/2" INTERIOR CEILING DRYWALL FINISH OR APPROVED EQUAL.
- R-28 FIBERGLASS BATT INSULATION
- 1 JOIST RAFTER
- 3/4" G1S PLYWOOD SLOPED 1/4" PER FOOT
- VINYL DECKING

**P) FLOOR ABOVE GARAGE ASSEMBLY: RSI= 4.99**

- 3/4" T & G OSB TO ACT AS AIR VAPOR AND BARRIER
- R-28 FIBERGLASS BATT INSULATION
- 1/2" INTERIOR CEILING DRYWALL FINISH OR APPROVED EQUAL.
- IF IN A SIDE YARD, SEE FOR HIRF ADDITIONS.

**DETACHED GARAGE SLAB:**

- 3 1/2" THICK 32 MPA CONCRETE DURAMIX SLOPED TO FRONT AT 1% MINIMUM
- 6" COMPACTED SAND

**ATTACHED GARAGE SLAB:**

- 4" 32 MPA CONCRETE SLAB SLOPED 5" TO FRONT W/5-8% AIR VENT WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL

**STUCCO WALL ASSEMBLY:**

- STUCCO APPLICATION, BUILDING PAPER EXPANDED METAL LATH, 3/8" O.S.B EXT. TYPE SHEATHING, 2"X6" STUDS @ 16" O/C
- PROVIDE 1-2"X6" BOTTOM PLATE AND 2-2"X6" TOP PLATE, R-19 BATT. INSULATION

**BRICK VENEER CONSTRUCTION:**

- STEEL LINTELS SIZED AND BOLTED IN ACCORDANCE TO THE ENGINEERS REVIEW AND DESIGN
- 4" FACE BRICK
- 1" AIR SPACE
- 7/8"X7"X0.03" GALVANIZED METAL TIES @ 32" O/C HORIZONTAL 16" O/C VERTICAL
- APPROVED SHEATHING PAPER 1/2" O.S.B EXT. TYPE SHEATHING
- 2"X6" STUDS @ 16" O/C
- R20 FIBERGLASS BATT INSULATION AND 6 MIL POLY VAPOUR BARRIER WITH APPROVED CONTINUOUS AIR BARRIER.
- 1/2" DRYWALL FINISH
- PROVIDE WEEP HOLES @ 32" O/C BOTTOM COURSE, PROVIDE BASE FLASHING UP MINIMUM 6" BEHIND BUILDING PAPER
- SEE ENGINEERS BRICK CLADDING DETAIL

**WINDOWS AND EXTERIOR DOORS:**

- LOW-E COATING TO ALL WINDOWS AND DOORS, EXCLUDING STANDARD BASEMENT WINDOWS
- MINIMUM BEDROOM WINDOW - CURRENT PROVINCIAL BUILDING CODE
- AT LEAST ONE BEDROOM WINDOW PER BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MINIMUM CLEAR WIDTH OF 1'-3" WINDOW GUARDS - CURRENT PROVINCIAL BUILDING CODE
- A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-6" ABOVE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR

**TO ADJACENT GRADE IS GREATER THAN 5'-11"**

- STANDARD WINDOW HEIGHT TO BE 6'-11 3/4" FROM SUB-FLOOR TO TOP OF WINDOW, UNLESS OTHERWISE SPECIFIED
- RESISTANCE TO FORCED ENTRY
- ALL WINDOWS WITHIN 6'-7" OF ADJACENT GROUND LEVEL AND ALL ENTRANCE DOORS TO DWELLING UNITS ARE TO BE RESISTANT TO FORCED ENTRY AS PER CURRENT PROVINCIAL BUILDING CODE
- WINDOW OVER STAIRS & LANDINGS AS PER CURRENT PROVINCIAL BUILDING CODE
- A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 2'-11" ABOVE THE SURFACE OF THE TREAD, RAMP, OR LANDING
- U VALUE OF ALL DOORS, WINDOWS AND SKYLIGHTS TO BE NO GREATER THAN 1.7 W/ (SQ.M. K).
- STANDARD WINDOW HEIGHT TO BE FRAMED @ 7'-0" FROM FLOOR TO U/S OF HEADER

**DRYWALL AND INSULATION:**

- GARAGE:
- 1/2" GYPSUM BOARD ON INTERIOR GARAGE WALL AND CEILING, 6 MIL POLY VAPOUR BARRIER, R-19 BATT. INSULATION IN WALL & R-40 BATT. INSULATION IN CEILING, TAPE AND SEAL & STRUCTURAL SUPPORT ALL JOINTS, IN ORDER TO BE GAS/FUME TIGHT FOAM INSULATION:
- PROVIDE R28 FIBERGLASS BATT INSULATION & VAPOUR BARRIER FOR CANTILEVERED FLOORS.

**STAIRS AND RAILINGS:**

- ALL STAIRS/EXTERIOR STAIRS, B.C. BUILDING CODE 2018.
- MAXIMUM RISE: 7 7/8"
- MAXIMUM NOSING: 1"
- MINIMUM HEADROOM: 6'-8 3/4"
- RAIL HEIGHT @ LANDING: 3'-6"
- RAIL HEIGHT @ STAIRS: 3'-6"
- MINIMUM STAIR WIDTH: 2'-10"
- RAILINGS
- FINISHED RAILING ON PICKETS SPACED MAXIMUM 4" BETWEEN PICKETS GUARDS
- INTERIOR GUARD HEIGHT: 3'-0" MINIMUM
- EXTERIOR GUARD HEIGHT: 3'-0" MINIMUM
- STAIRS TO BE MANUFACTURED TO 3" NARROWER THAN STAIRWELL OPENING

**ELECTRICAL NOTES:**

- WHEN PLACING SWITCHES AND OUTLETS OVER COUNTERTOP AREAS ENSURE PLATES (UNLESS SPECIFIED OTHERWISE DUE TO LOCATION)
- ALL ELECTRICAL LOCATIONS ARE APPROXIMATE AND PLACED AS PER CODE
- PROVIDE & INSTALL GARAGE DOOR OPENER C/W 2 REMOTE OPENERS & MOTION SENSOR
- ELECTRICAL PANEL LOCATION TO BE DETERMINED ON SITE
- STANDARD ELECTRICAL SWITCH HEIGHT TO BE 45" TO BOTTOM OF BOX
- SMOKE / CO DETECTORS IN BASEMENTS SUITE TO BE PHOTO-ELECTRIC AND BE INTERCONNECTED TO THE MAIN HOUSE

**FLOOR PLAN NOTES:**

- PLACE MIRROR DIRECTLY ABOVE BACKSPLASH IN BATHS
- WHEN PLACING WASHER & DRYER, ENSURE THAT THE DRYER IS TO THE RIGHT OF THE WASHER
- FURNACE AND GHWT LOCATIONS ARE APPROX. AND MAY BE ALTERED PENDING ON SITE CONDITIONS
- MAN DOOR TO ATTACHED GARAGE WILL BE EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
- ATTIC HATCH TO BE 22"x36", ACCESS HATCHES CANNOT ALWAYS BE INSTALLED WHERE SPECIFIED TO ALLOW PROPER SPACE FOR MAN ACCESS AS PER BUILDING CODE.

**HVAC NOTES**

- SECONDARY SUITES TO BE HEATED WITH BASEBOARD HEATING WITH THE USE OF PASSIVE VENTING AND A CONTINUOUS PRINCIPAL EXHAUST FAN



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ELEVATION D  
1864 SQ. FT.

TBD, COLWOOD, BRITISH COLUMBIA

LOT	059	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	44-01-00-059	

REV. NO.	DESIGN	DATE	REMARKS
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### LEGEND

-  MOUNTAIN CEDAR 18-2772 - VIC WEST
-  CEMENT GREY 2112-60 - BENJAMIN MOORE
-  WROUGHT IRON 2124-10 - BENJAMIN MOORE
-  BLACK 525 - GENTEK
-  BLACK - CASCADIA METAL
-  DUAL BLACK - IKO CAMBRIDGE
-  OXFORD BROWN SEMI-SOLID - BENJAMIN MOORE

FRONT ELEVATION  
COLOURED RENDERING

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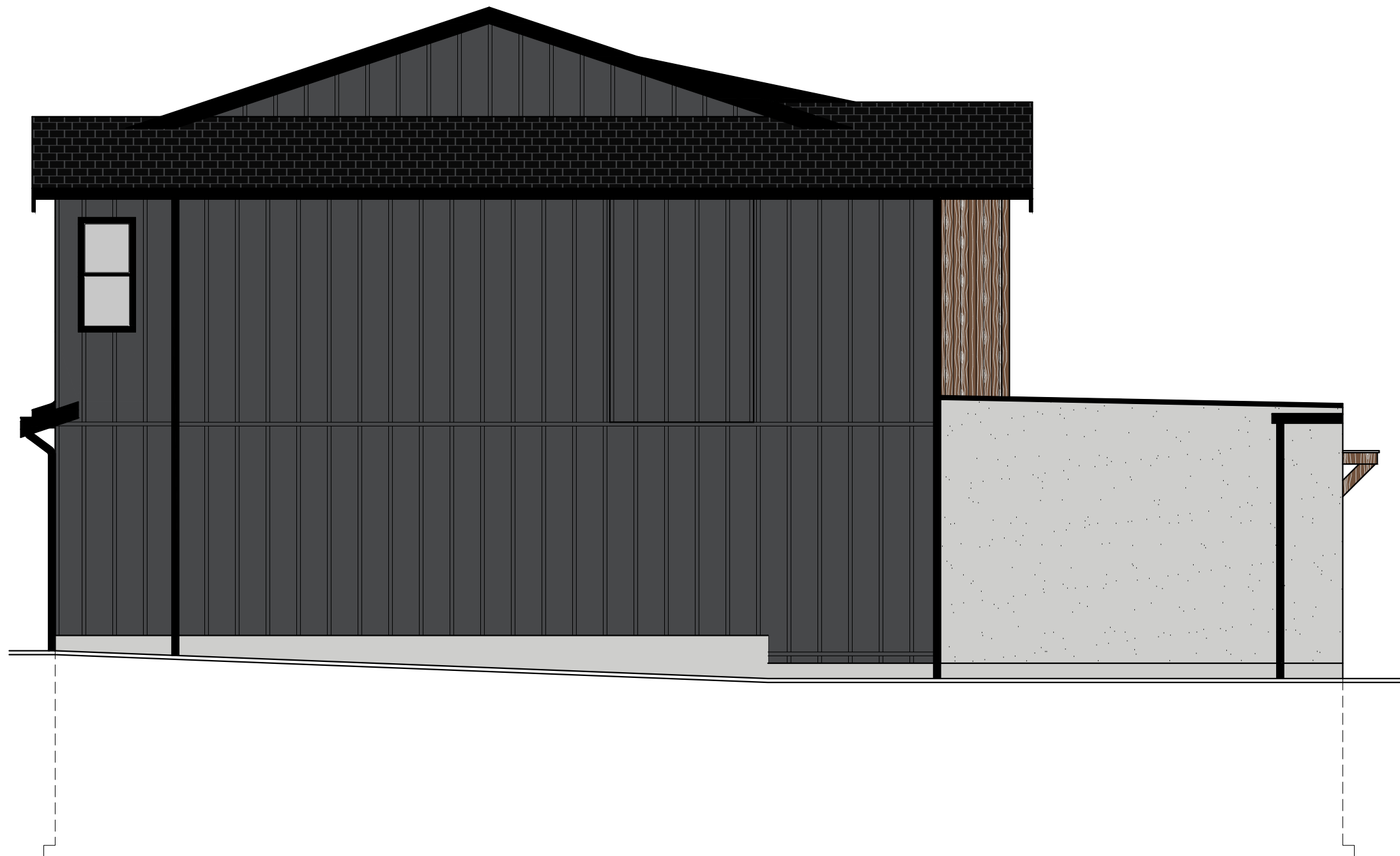
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SEC	Sector#	
REL	Release#	
JOB	44-???????	

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SHEET NUMBER

01





LEFT ELEVATION

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LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

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1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER

02



RIGHT ELEVATION

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LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER

03



REAR ELEVATION

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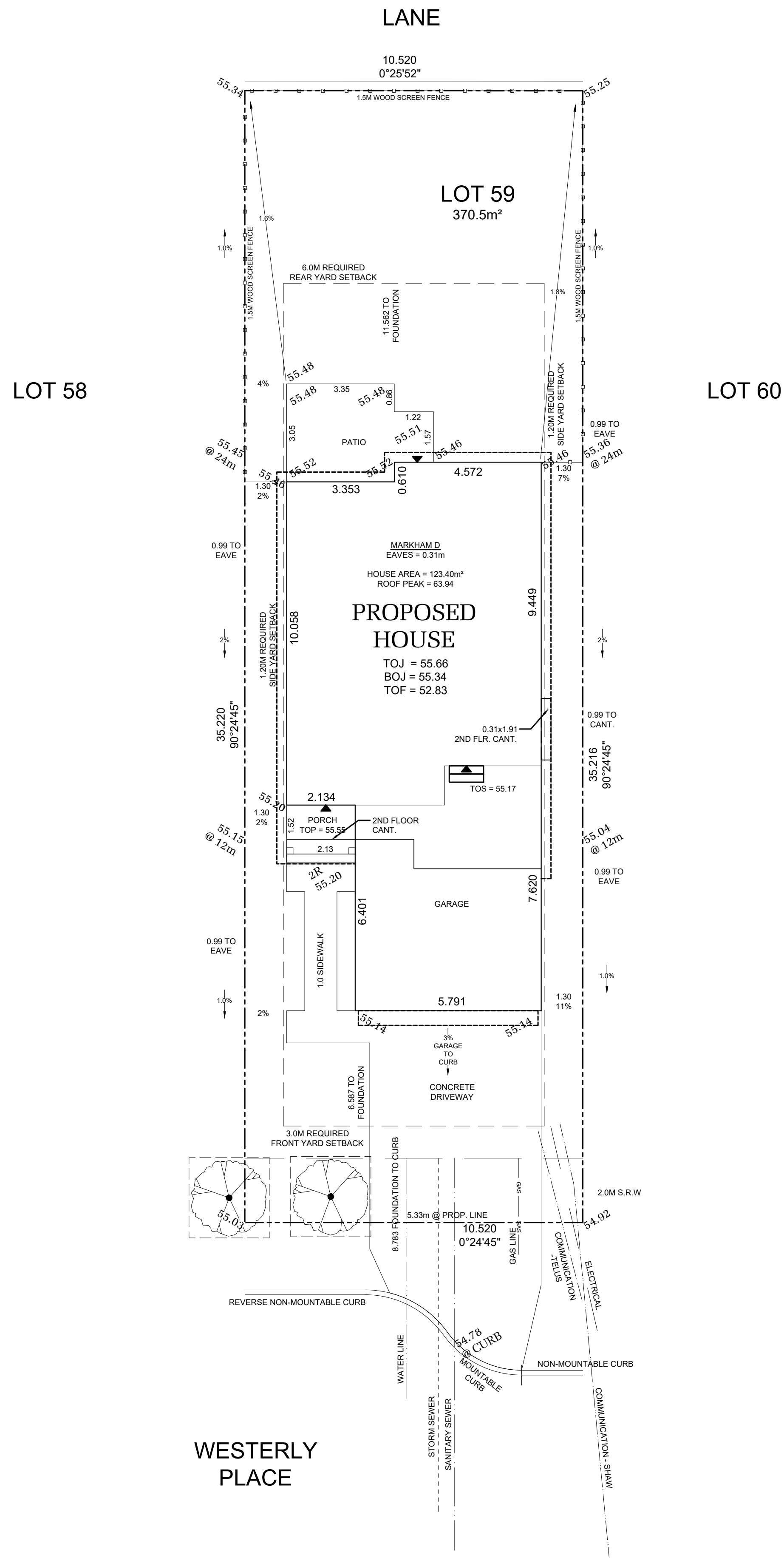
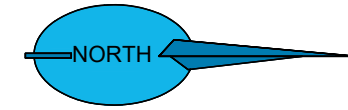
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LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS



**BY-LAW ZONE DATA: ROYAL BAY RBCD5**

DEVELOPMENT REGULATION	REQUIRED	PROPOSED
LOT TYPE	COMPACT ONE FAMILY DWELLING	
LOT AREA	278 m <sup>2</sup> (min.)	370.5 m <sup>2</sup>
LOT WIDTH	9.15m (min.)	10.52m
LOT COVERAGE	50% (max.)	33.31%
BUILDING HEIGHT (PRINCIPLE)	9.5m (max.)	7.23m
ACCESSORY BUILDING HEIGHT	4.5m (max.)	NAm
FRONT SETBACK (PRINCIPLE)	3.0m (min.)	6.59m
SIDE SETBACK (PRINCIPLE)	1.2m (min.)	1.3m/1.3m
REAR SETBACK (PRINCIPLE)	6.0m (min.)	11.56m
REAR SETBACK (ACCESSORY)	1.0m (min.)	NAm
COMBINED FLOOR AREA (ACCESSORY)	60m <sup>2</sup> (max.)	0m <sup>2</sup>

**PLOT PLAN**

**IMPORTANT NOTE**  
**ALL DIMENSIONS AND SERVICES MUST BE**  
**CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION**

**LOT INFORMATION**

LOT INFORMATION	VALUE
MINIMUM MAIN FLOOR ELEVATION (MFE)	55.55
GARAGE FLOOR ELEVATION (GFE)	55.35
MAXIMUM FINAL GRADE ELEVATION (MFGE)	NA
MINIMUM SANITARY SERVICEABLE ELEVATION (MSE)	52.20
PROPOSED SANITARY SEWER SERVICE INVERT (S)	51.4
PROPOSED STORM DRAIN SERVICE INVERT (D)	51.4
BASEMENT FLOOR ELEVATION (BFE)	NA

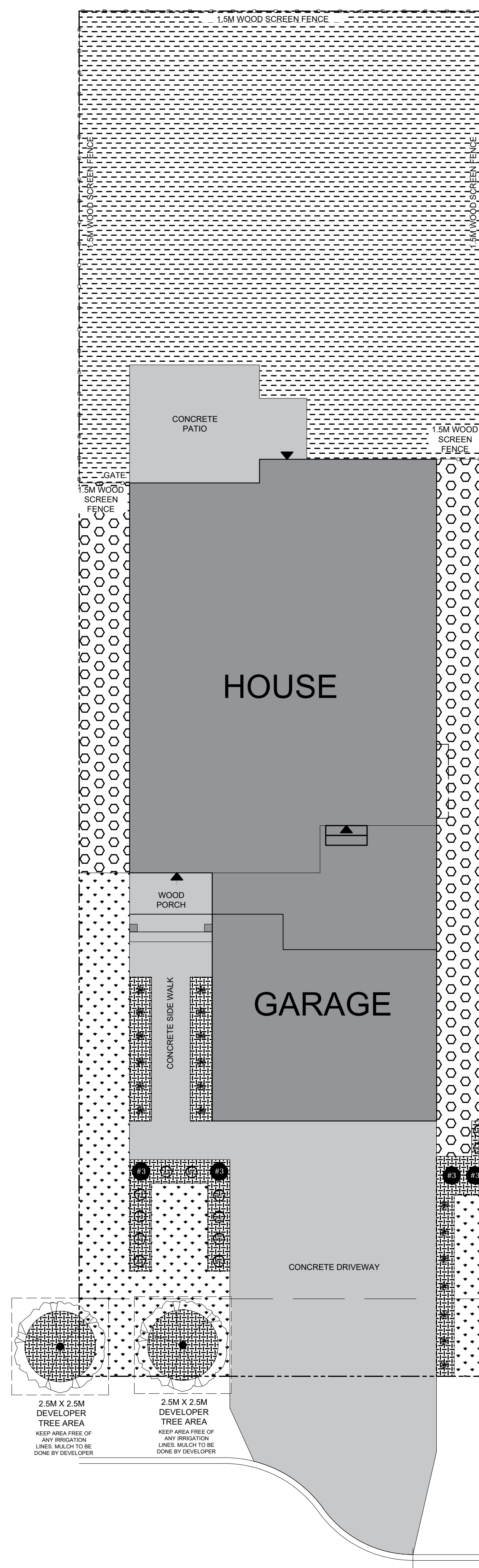
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LOT 59 SECTOR 1 REL 0  
 JOB ---- SCALE 1:100  
**TBD WESTERLY PLACE**  
**COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	MDS	07/20/22	INITIAL PLOT PLAN DRAFTING
2	MDS	07/27/22	SITING REVISION

SHEET NUMBER  
**PLOT**



## LANDSCAPE PLAN

### IMPORTANT NOTES

1. ANY DEVIATIONS FROM THE ABOVE MUST BE FIRST REVIEWED AND APPROVED BY GABLECRAFT PRIOR TO INSTALLATION
2. USE THIS PLAN IN CONJUNCTION WITH APPROVED DEVELOPMENT PERMIT LANDSCAPE PLAN

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LOT 59 SECTOR 1 REL 0  
JOB ---- SCALE 1:75  
**TBD WESTERLY PLACE  
COLWOOD, BRITISH COLUMBIA**

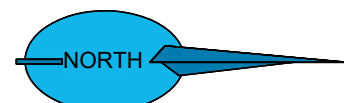
REV. NO.	DESIGN	DATE	REMARKS	SHEET NUMBER	PLOT
1	MDS	07/20/22	INITIAL LANDSCAPE DRAFTING		
2	MDS	07/27/22	SITING REVISION		

8/26/2020 3:42 PM

PLANTING LEGEND						
KEY	QTY	PLANTING	PLANTING SIZE	SPECIES A	SPECIES B	SPECIES C
#R	4	HEDGING SHRUB	#0 POT, 4-8FT IN HEIGHT 15" DEEP GROWING MEDIUM	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	YELLOW RIBBON HEDGING CEDAR <i>Thuja occidentalis 'Yellow Ribbon'</i>
#S	12	SHORT SHRUB	#2 POT, 60cm SPREAD 15" DEEP GROWING MEDIUM	DAVID'S VIBURNUM <i>Viburnum davidii</i>	KINKIKINICK <i>Actinophyes chinensis</i>	DAWLEAF HYDRANGEA <i>Hydrangea davidii</i>
*	19	ORNAMENTAL GRASS	#1 POT, 20cm SPREAD 15" DEEP GROWING MEDIUM	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>
●	0	TREE	20th HEIGHT, TREE PIT TO BE DEPTH OF ROOT BALL WITH WIDTH BEING AT LEAST TWICE THE WIDTH OF ROOT BALL WITH SAUCER SHAPED SIDES. BARK MULCH COVER, PROVIDE A CLEAN MULCHED 3FT DIAMETER CIRCLE CENTRED ON TREE.	KOUSA DOGWOOD <i>Quercus koehneana</i>	FRANS FONTAINE <i>European Hornbeam</i> <i>Cornus reticulata 'Frans Fontaine'</i>	MAIDENHAIR TREE <i>Begonia xillanensis</i>

LOT IMPROVEMENTS LEGEND				
KEY	QTY	MATERIAL	SPECIFICATION	REMARKS
[Pattern]	112.29	LOAM (TOP SOIL) ONLY	TESTED AND APPROVED GROWING MEDIUM	1. MINIMUM 1% SLOPE
[Pattern]	28.115	LOAM (TOP SOIL), SOIL, AND IRRIGATION	NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS	1. LOAM TO BE A MINIMUM OF 1% SLOPE 2. SOIL TO BE 1% PREMIUM GRADE KENTUCKY BLUE GRASS FOR SUN EXPOSED FOR SHADE
[Pattern]	36.03	GRAVEL	CRUSHED GRANITE SCREENINGS	1. LARGER THAN 20MM SIZES SHALL BE 10% MAXIMUM
[Pattern]	12.14	BARK MULCH	MIN. 10MM Ø AND DARK BROWN IN COLOUR	1. FREE OF FERTILIZERS, SOIL, AND OTHER CONTAMINANTS 2. FULL DEPTH OF MULCH SHALL BE 100MM FRONT YARD DRIVE GARAGE PRODUCTS 3. CORNER TREE HOLES MUST BE 100MM FROM CURB PROPERTY LINE TO PARALLEL TO CURB CORNER OF HOUSE 4. MULCH SHALL BE APPLIED TO DETACHED GARAGE CORNER LINES
[Pattern]	36.84	1.5m WOOD SCREEN FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER FLOOR PLAN
[Pattern]	NA	1.5m METAL FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER FLOOR PLAN
[Pattern]	NA	STACKED STONE RETAINING WALL	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER FLOOR PLAN
[Pattern]	72.98	BROOM FINISHED CONCRETE	DRIVEWAY, APRONS, AND SIDEWALKS	1. LOCATIONS AS PER FLOOR PLAN



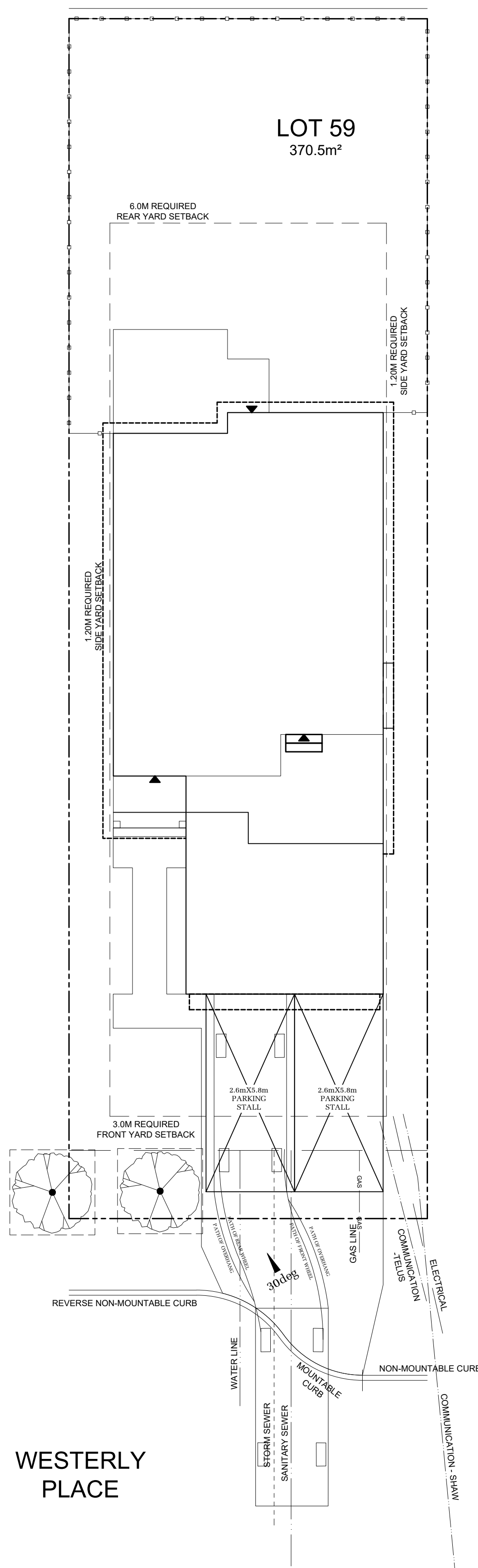


LANE

LOT 58

LOT 59  
370.5m<sup>2</sup>

LOT 60



WESTERLY PLACE

BY-LAW ZONE DATA: ROYAL BAY RBCD5

DEVELOPMENT REGULATION	REQUIRED	PROPOSED
LOT TYPE	COMPACT ONE FAMILY DWELLING	
LOT AREA	278 m <sup>2</sup> (min.)	370.5 m <sup>2</sup>
LOT WIDTH	9.15m (min.)	10.52m
LOT COVERAGE	50% (max.)	33.31%
BUILDING HEIGHT (PRINCIPLE)	9.5m (max.)	7.23m
ACCESSORY BUILDING HEIGHT	4.5m (max.)	NAm
FRONT SETBACK (PRINCIPLE)	3.0m (min.)	6.59m
SIDE SETBACK (PRINCIPLE)	1.2m (min.)	1.3m/1.3m
REAR SETBACK (PRINCIPLE)	6.0m (min.)	11.56m
REAR SETBACK (ACCESSORY)	1.0m (min.)	NAm
COMBINED FLOOR AREA (ACCESSORY)	60m <sup>2</sup> (max.)	0m <sup>2</sup>

PARKING

**IMPORTANT NOTE**  
ALL DIMENSIONS AND SERVICES MUST BE  
CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION

LOT INFORMATION

LOT INFORMATION	VALUE
MINIMUM MAIN FLOOR ELEVATION (MFE)	55.55
GARAGE FLOOR ELEVATION (GFE)	55.35
MAXIMUM FINAL GRADE ELEVATION (MFGE)	NA
MINIMUM SANITARY SERVICEABLE ELEVATION (MSE)	52.20
PROPOSED SANITARY SEWER SERVICE INVERT (S)	51.4
PROPOSED STORM DRAIN SERVICE INVERT (D)	51.4
BASEMENT FLOOR ELEVATION (BFE)	NA

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LOT 59 SECTOR 1 REL 0  
JOB ---- SCALE 1:100  
**TBD WESTERLY PLACE  
COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	MDS	07/31/22	INITIAL DRAFT

SHEET NUMBER

**PLOT**

8/26/2020 3:42 PM

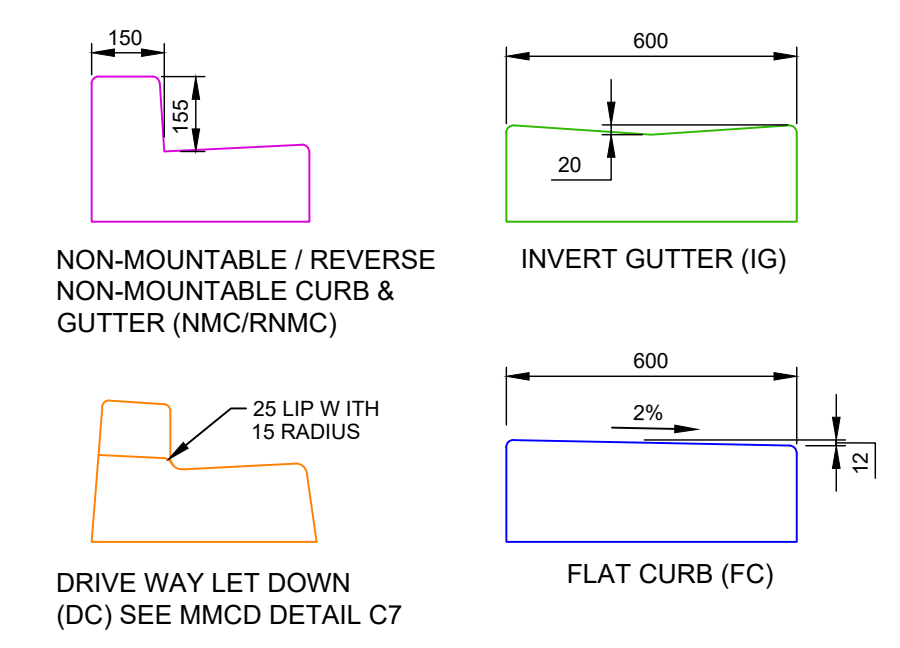


**LEGEND**

9999	CIVIL LOT NUMBER
L#99	LEGAL LOT NUMBER
C#9999	CIVIC ADDRESS

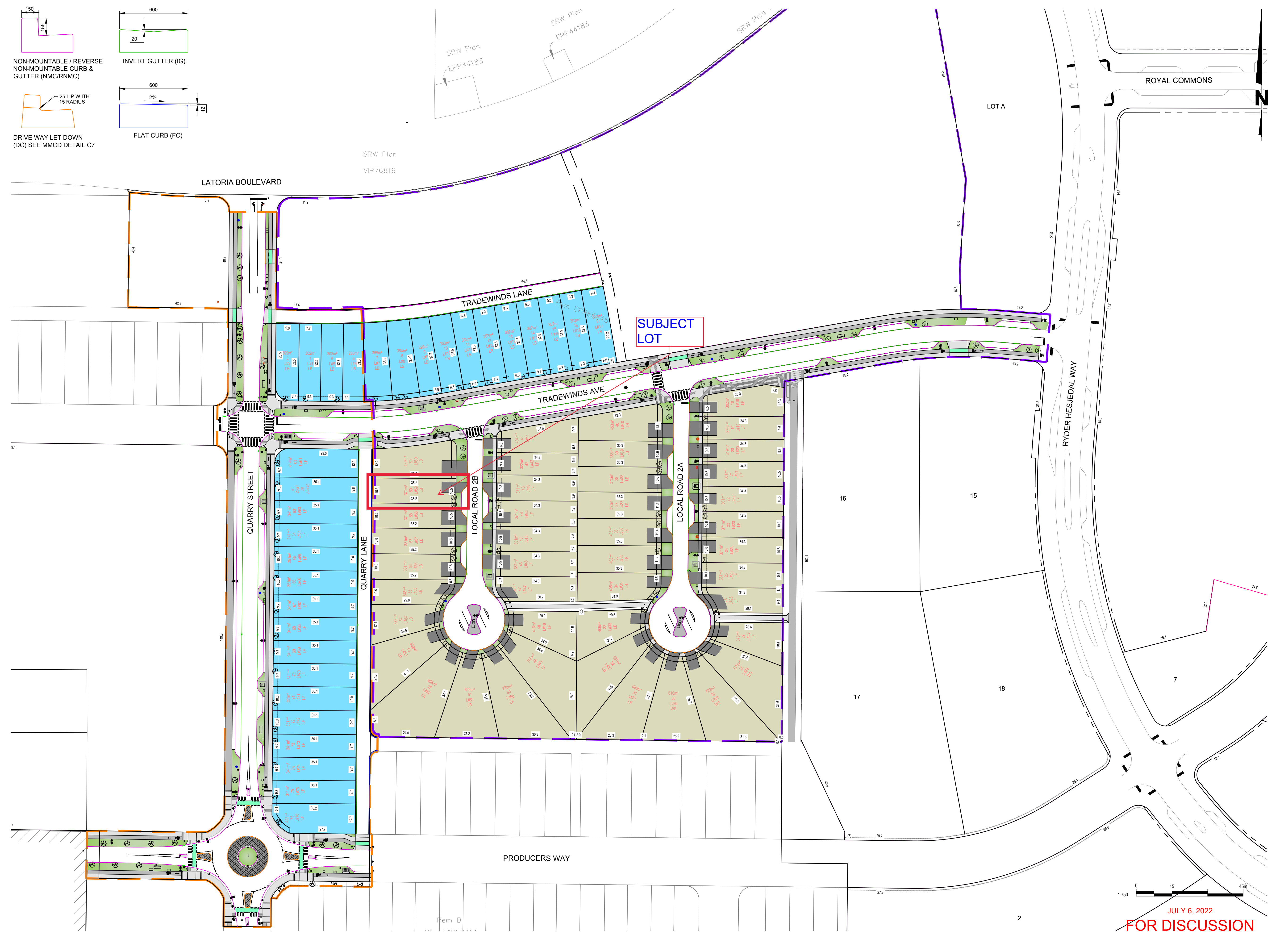
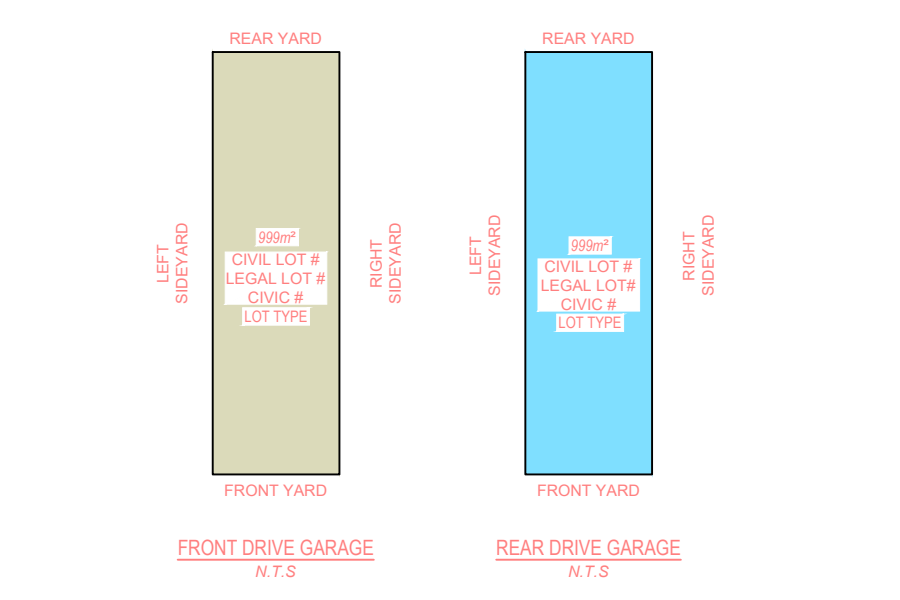
**PROPOSED LOT CODES**

TYPE	DESCRIPTION
WS	WALKOUT BASEMENT (SPLIT LEVEL) - REAR PL ELEVATIONS RANGE FROM 1.33m TO 2.57m BELOW FRONT PL ELEVATIONS.
LF	LEVEL LOT (SPLIT DRAINAGE) - REAR PL ELEVATIONS RANGE FROM 0m TO 1.33m ABOVE REAR PL ELEVATIONS.
LB	LEVEL LOT (SPLIT DRAINAGE) - REAR PL ELEVATIONS RANGE FROM 0m TO 0.9m ABOVE FRONT PL ELEVATIONS.



**LEGEND**

Catch Basin	
Boulevard Tree	
Electrical Boxes	
Electrical Transformer - Pad Mounted	
Fire Hydrant	
Street Signs	
Street Lights	
Lighting Junction Box	
Canada Post Mailbox Locations	
Sidewalk	
Multi-Use Path	
Boulevard	
Phase 1 Boundary	
Phase 3 Boundary	



0 15 45m  
1:750

JULY 6, 2022  
**FOR DISCUSSION**



Contractor must check and verify all dimensions and conditions on site and report any discrepancies to engineer prior to proceeding with work.

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No.	ISSUES DESCRIPTION	DATE	SIGN	No.	REVISIONS DESCRIPTION	DATE	SIGN
1	ISSUED FOR DISCUSSION	2022-07-06	PH				

DESIGNER: JH  
REVIEWED: PH  
ENGINEER: PH

SEAL PERMIT TO PRACTICE

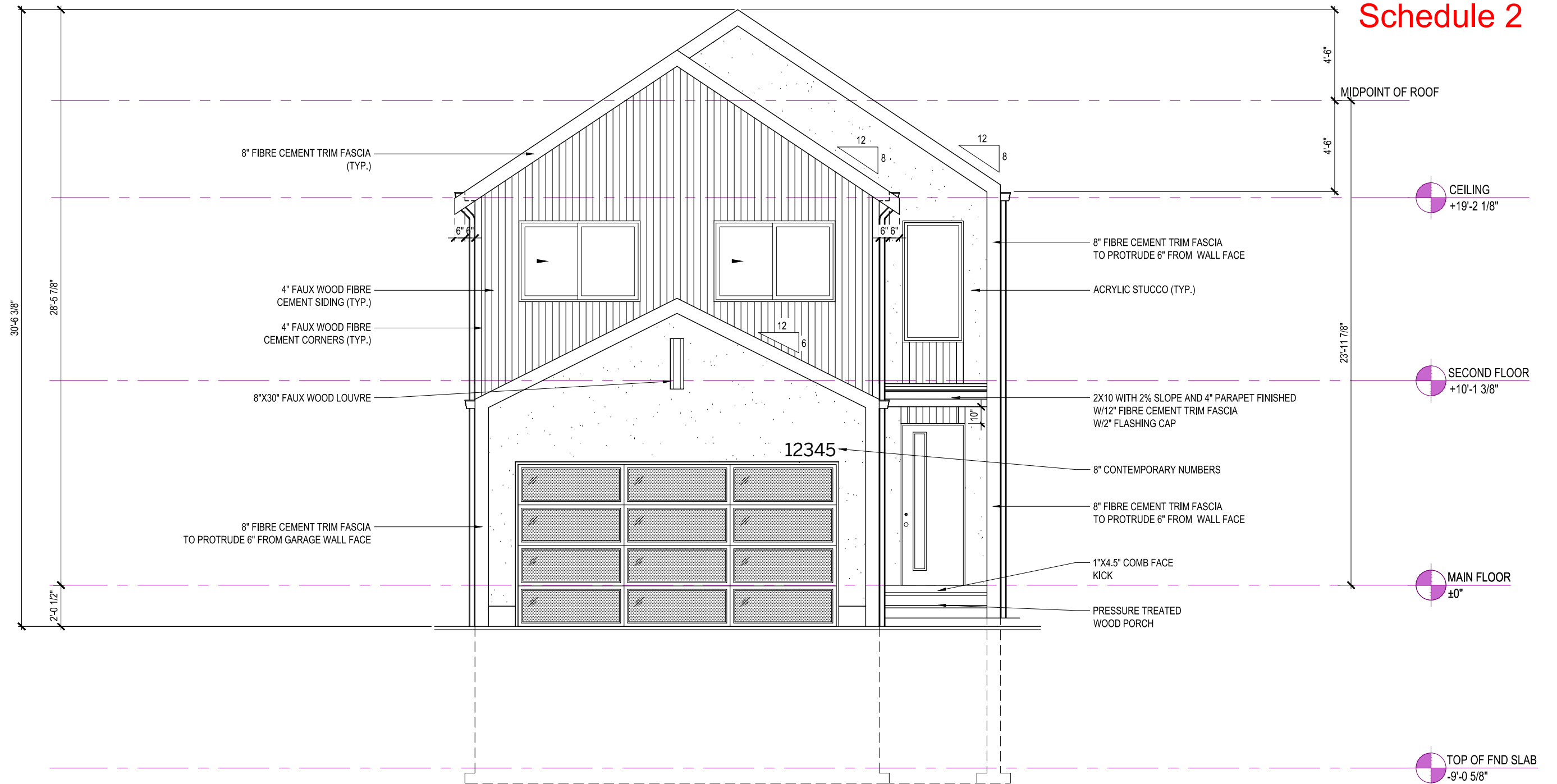


**ROYAL BAY SOUTH LATORIA**

PHASE 1 & 3 MARKETING PLAN

ON POINT PROJECT No. 116-17  
GOVERNING AUTHORITY FILE No. 3320-20-SUB-20-011  
SHEET 1 OF 1  
REV.  
ON POINT DRAWING No. 116-12-SK01

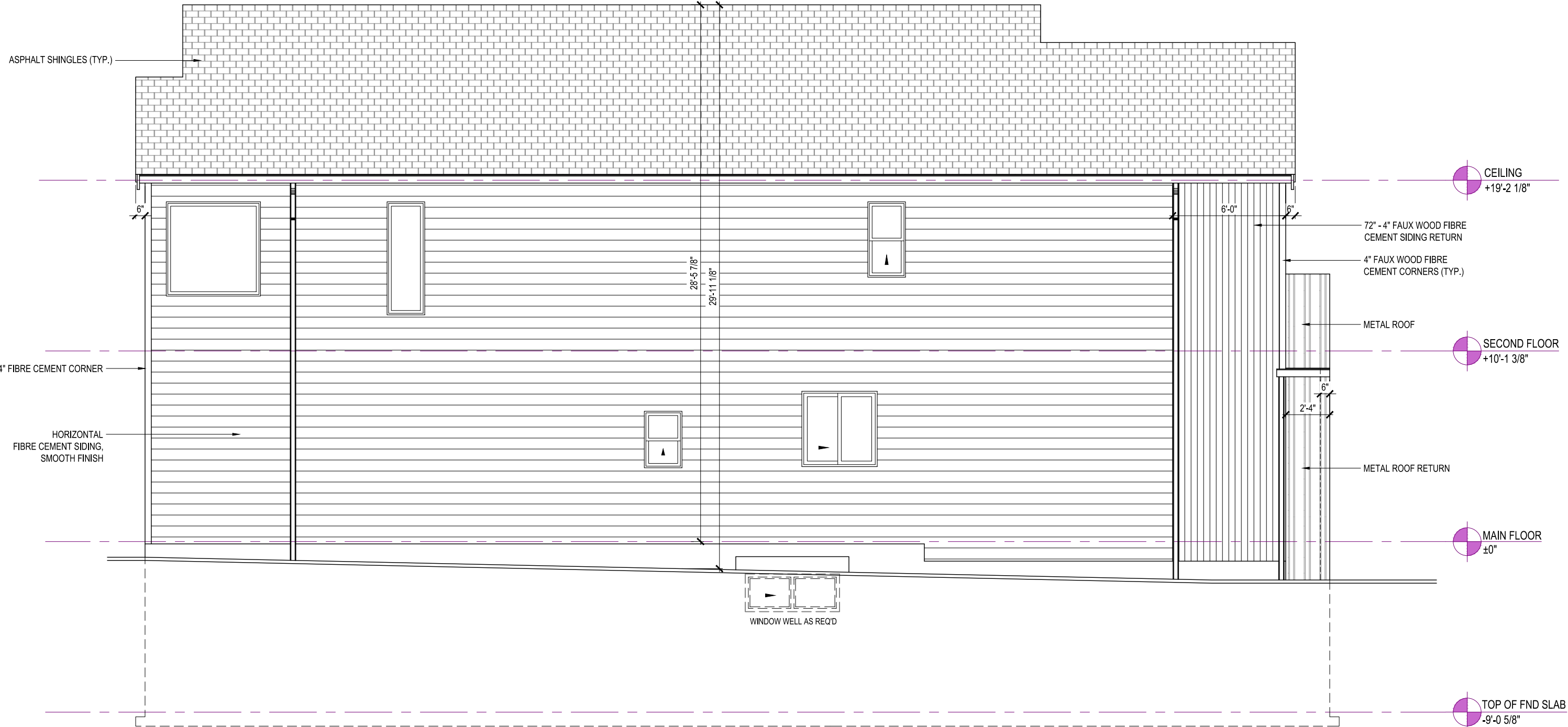
ONPOINT - JULY 6, 2022 11:52 AM C:\PROJECTS\318\ROYAL BAY - PHASE 1 SOUTH LATORIA\INTERNAL\ROADS\CON\1-DESIGN\DESIGN\DRAWINGS\1617\MARKETING\LANDING



FRONT ELEVATION

9' UPPER FLOOR  
 9' MAIN FLOOR  
 8' BASEMENT





LEFT ELEVATION

WALL AREA = 1257.88 SQ.FT.  
 UNPROTECTED OPENING AREA = 67.00 SQ.FT.  
 5.33%



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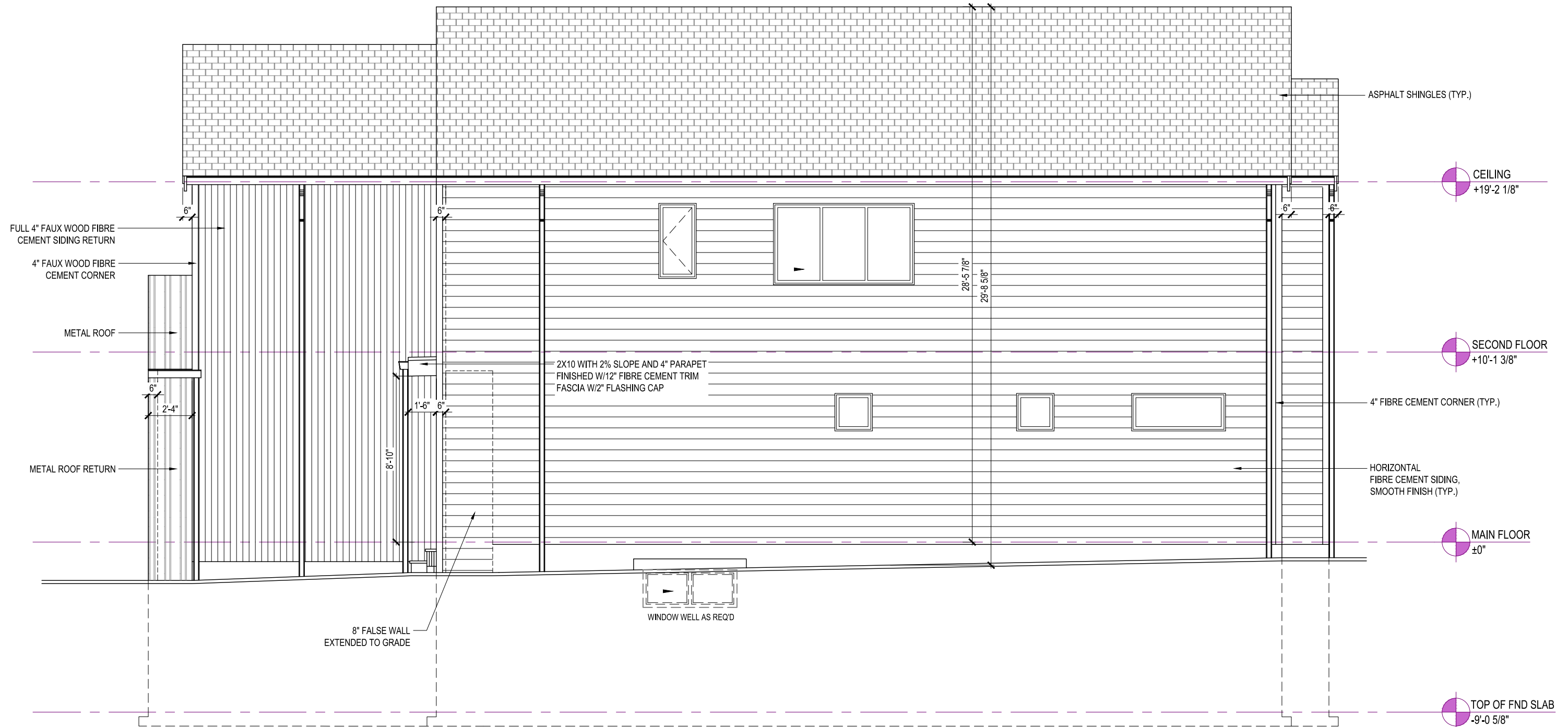
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LINCOLN  
 ELEVATION D  
 2504 SQ. FT.  
 Lot Address, COLWOOD, BRITISH  
 COLUMBIA

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER  
 02



WALL AREA = 876.11 SQ.FT.  
 UNPROTECTED OPENING AREA = 58.50 SQ.FT.  
 6.68%

RIGHT ELEVATION



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SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
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 03



REAR ELEVATION

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LINCOLN  
ELEVATION D

2504 SQ. FT.

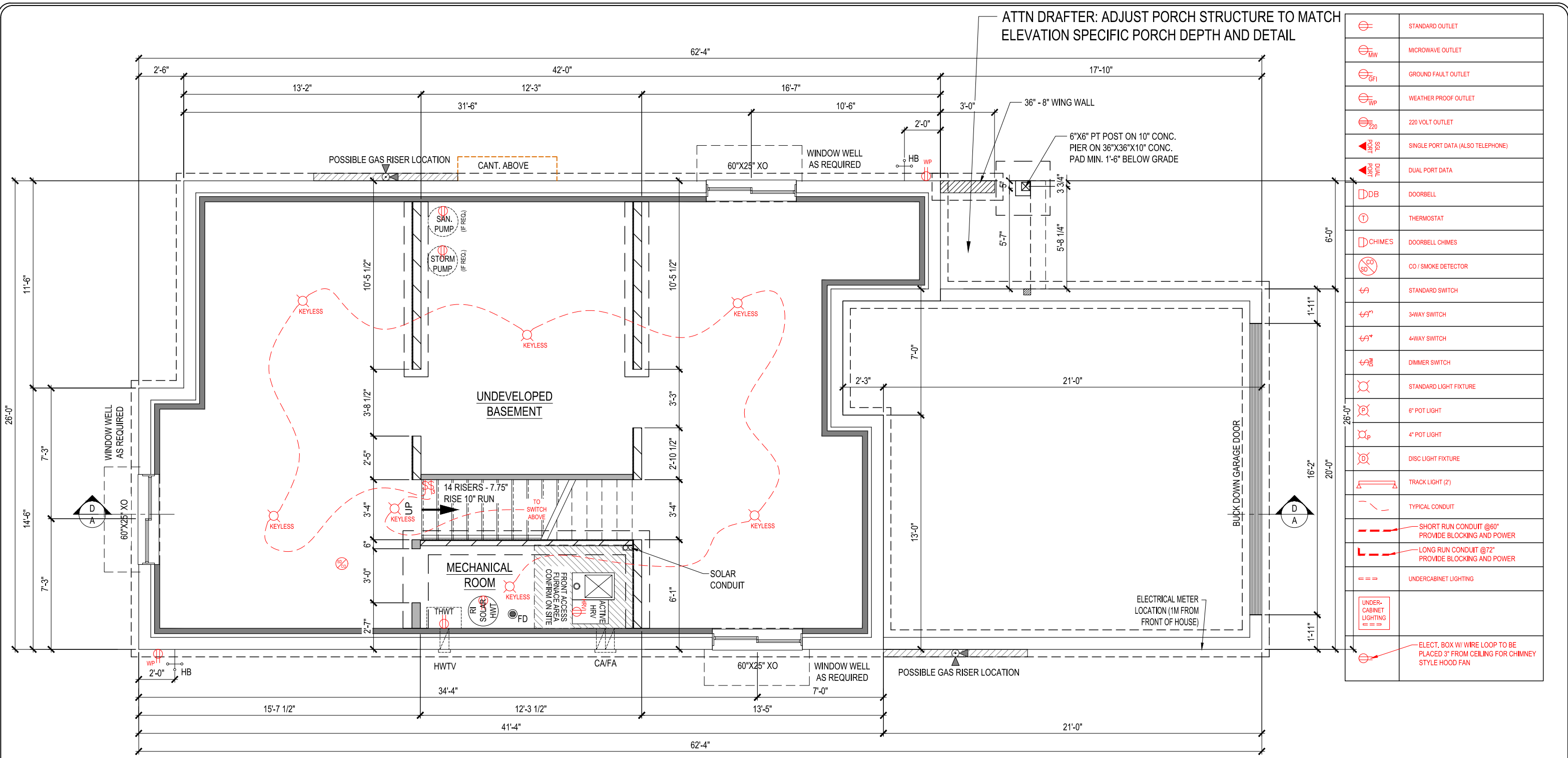
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COLUMBIA

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
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SHEET NUMBER

04



ATTN DRAFTER: ADJUST PORCH STRUCTURE TO MATCH ELEVATION SPECIFIC PORCH DEPTH AND DETAIL

	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
	6\" POT LIGHT
	4\" POT LIGHT
	DISC LIGHT FIXTURE
	TRACK LIGHT (2)
	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60\" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72\" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	UNDER-CABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3\" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

**FOUNDATION PLAN**  
958 Sq.Ft.



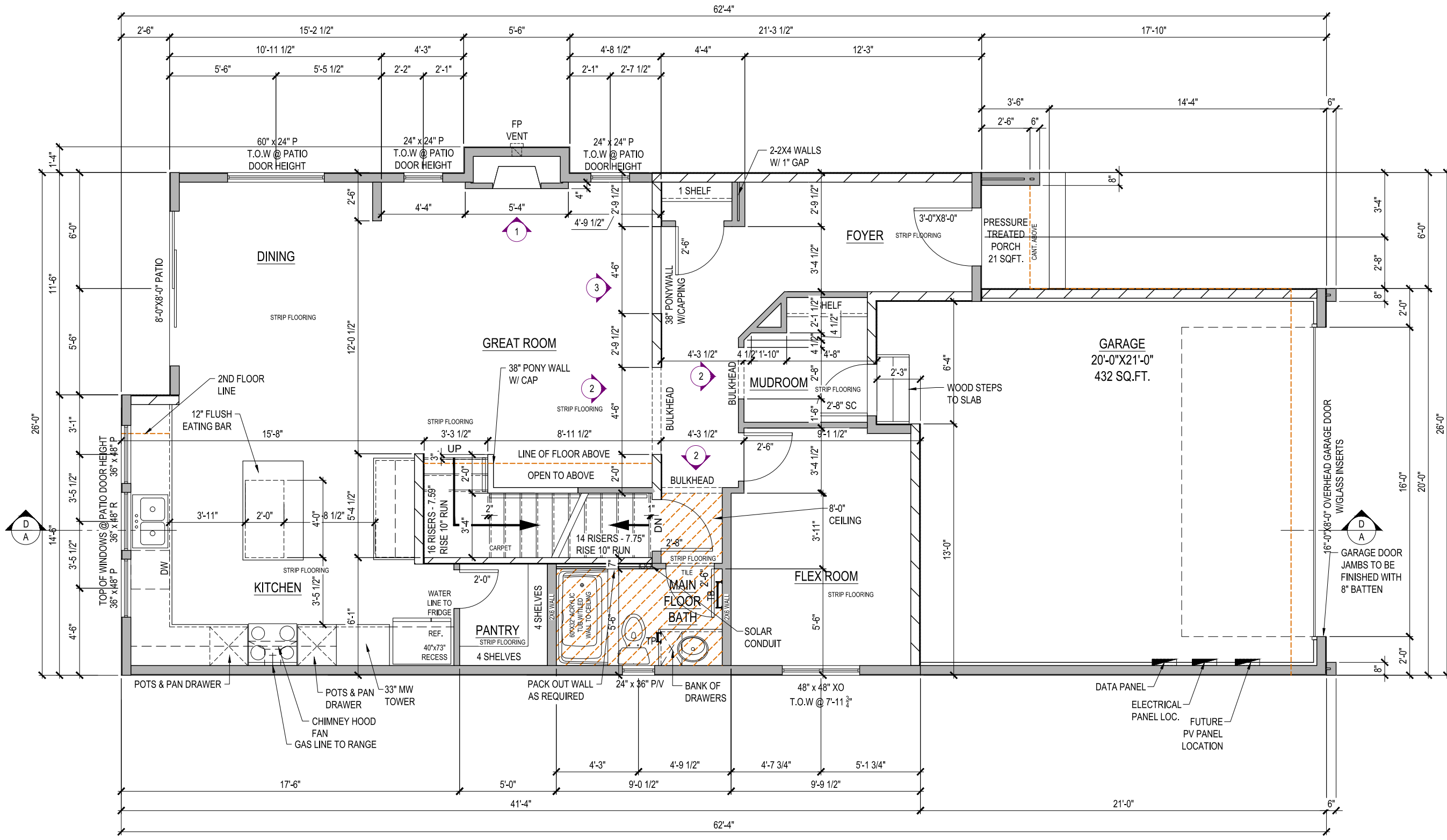
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LINCOLN  
ELEVATION D  
2504 SQ. FT.  
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LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

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1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

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**05**



**MAIN FLOOR PLAN**  
1052 Sq.Ft.



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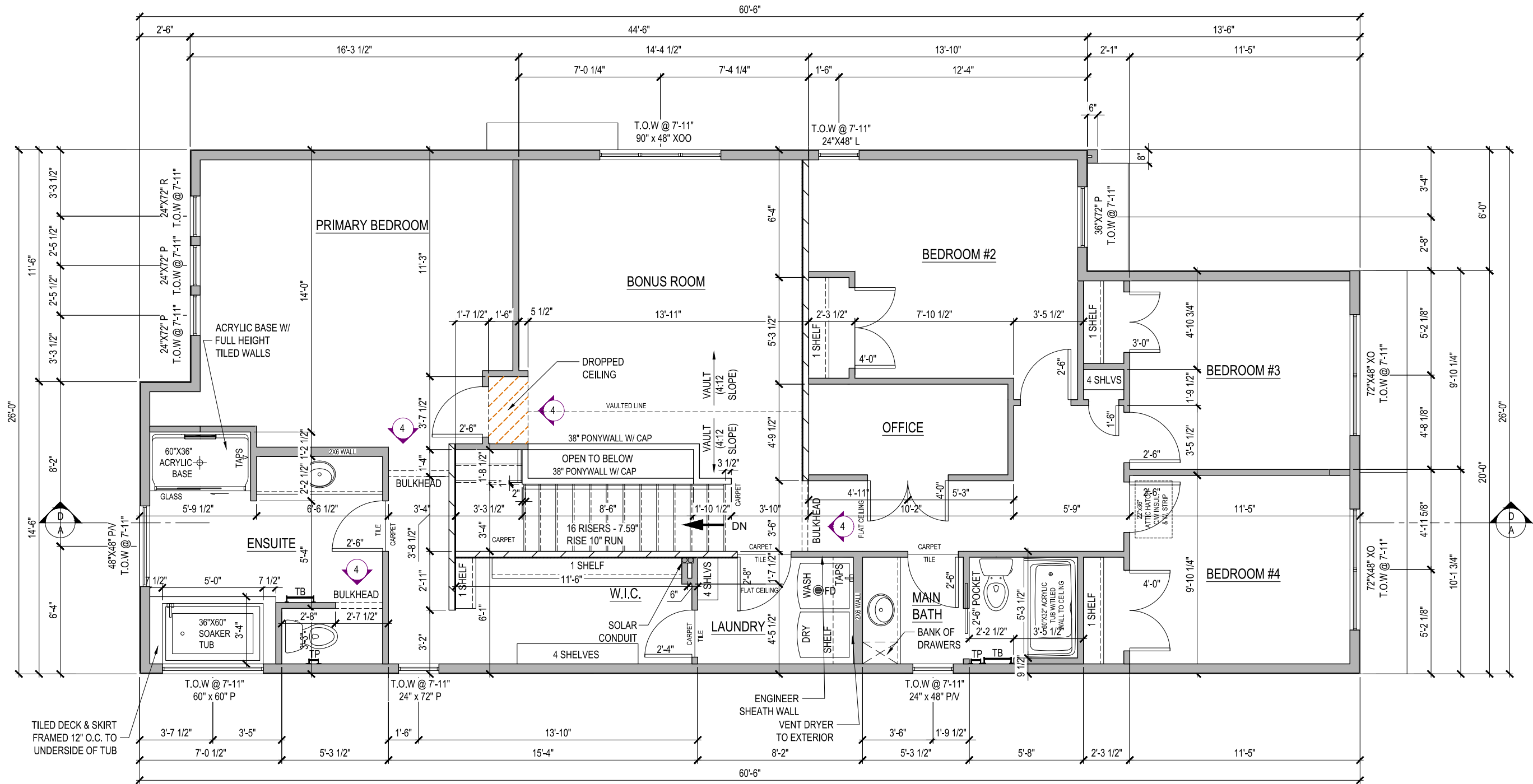
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ELEVATION D  
2504 SQ. FT.  
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LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
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SHEET NUMBER  
**06**



## SECOND FLOOR PLAN

1452 Sq.Ft.

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LINCOLN  
ELEVATION D

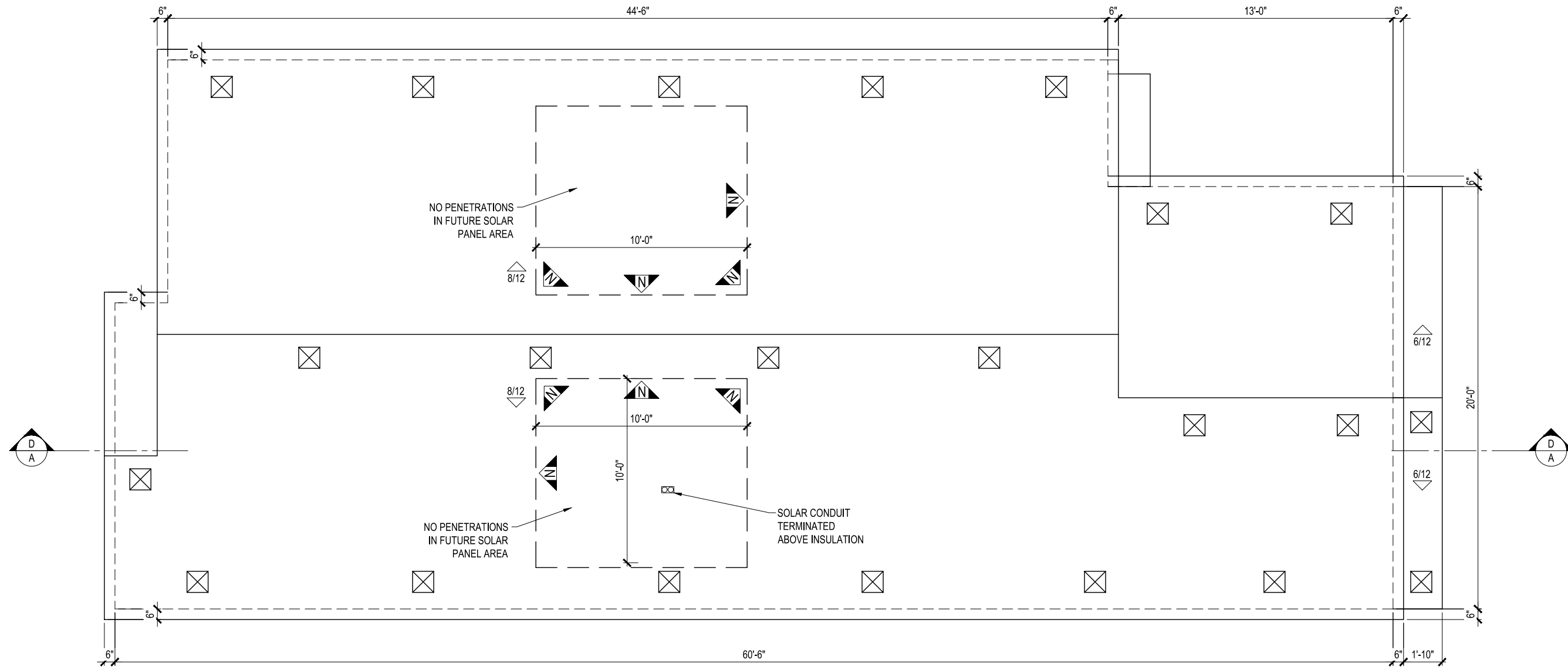
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Lot Address, COLWOOD, BRITISH  
COLUMBIA

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER  
**07**



# ROOF PLAN

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LINCOLN  
ELEVATION D

2504 SQ. FT.

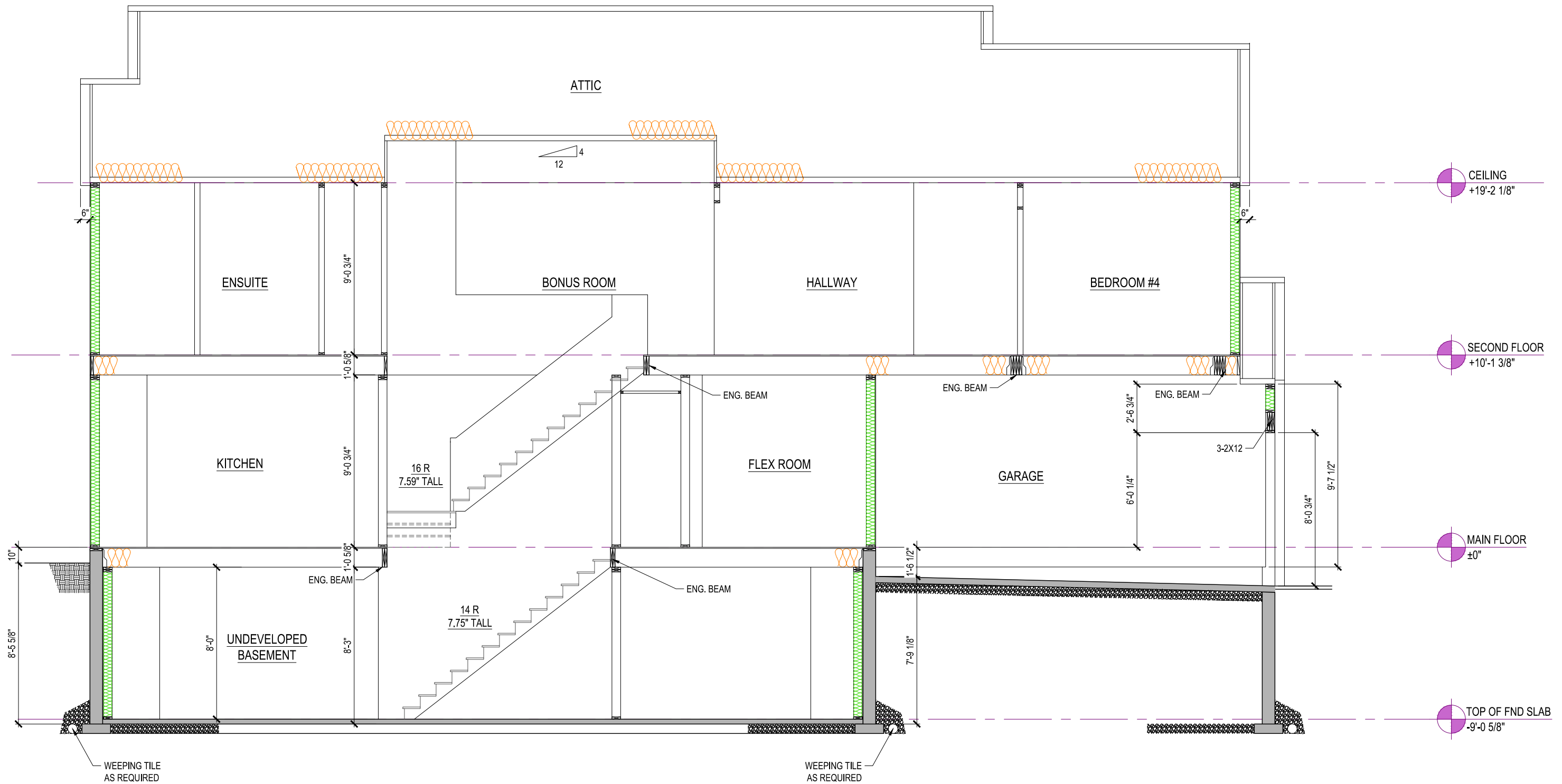
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COLUMBIA

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

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08



SECTION D-A      8' BASEMENT      9' MAIN FLOOR      9' UPPER FLOOR

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LINCOLN  
ELEVATION D

2504 SQ. FT.

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LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

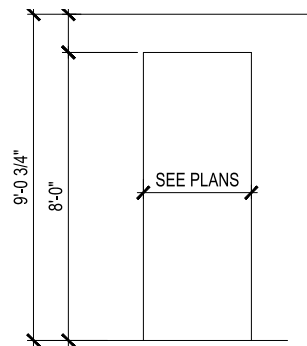
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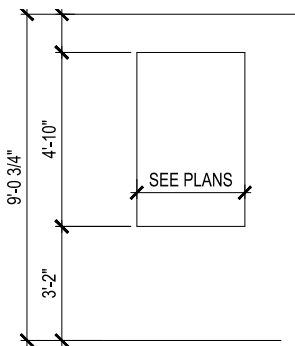
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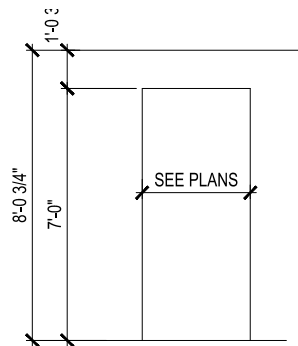
1 FIREPLACE DETAIL



2 BULKHEAD DETAIL - 9'-0"



3 WALL CUT OUT DETAIL

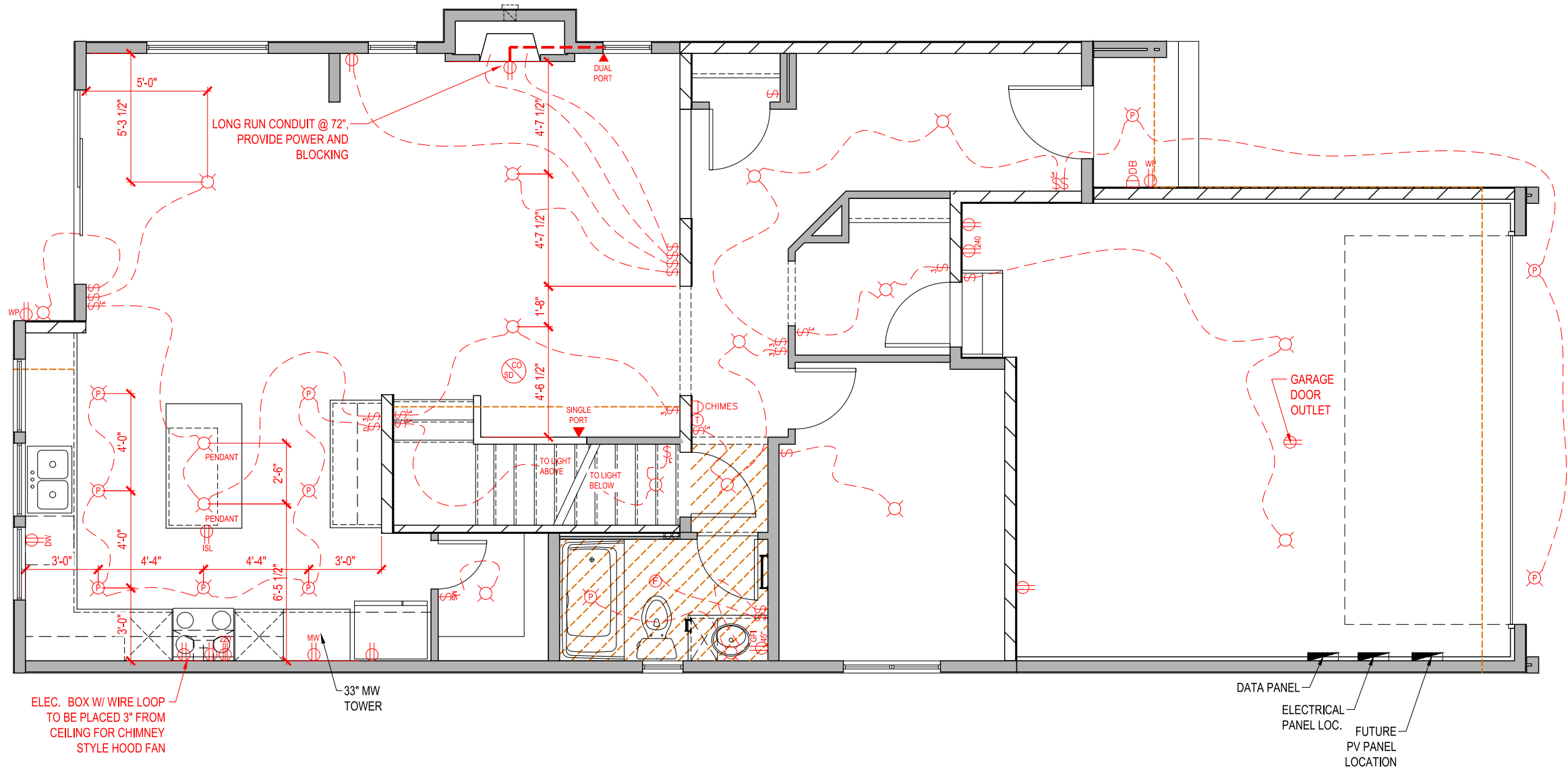


4 BULKHEAD DETAIL - 8'-0"

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	DISC LIGHT FIXTURE
	TRACK LIGHT (2)
	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	ELEC. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN



# MAIN FLOOR PLAN - ELECTRICAL

1052 Sq.Ft.



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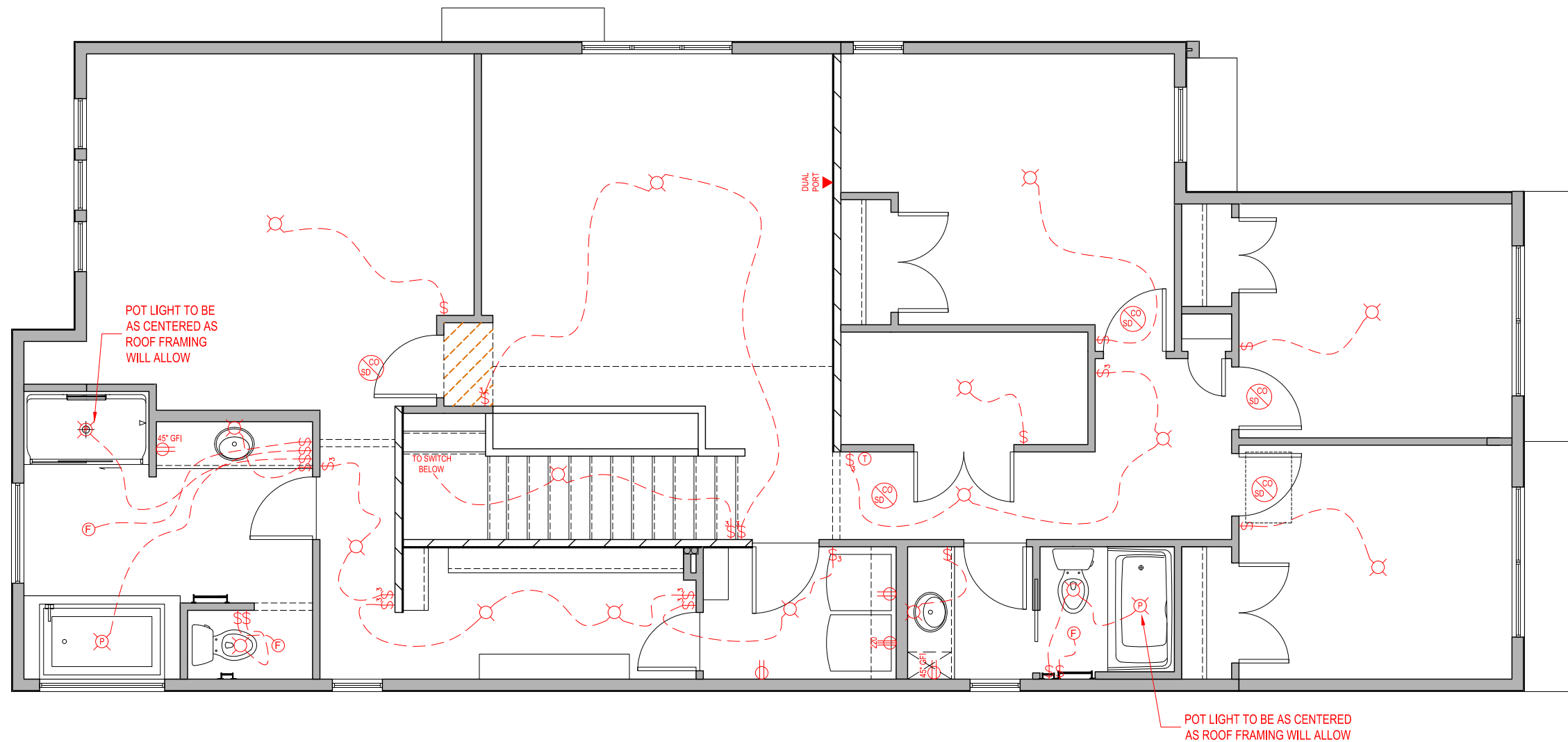
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LINCOLN  
ELEVATION D  
2504 SQ. FT.  
Lot Address, COLWOOD, BRITISH COLUMBIA

LOT	Lot#	SCALE: 3/16" = 1'-0"
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS



	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
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	4-WAY SWITCH
	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
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	4" POT LIGHT
	DISC LIGHT FIXTURE
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	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	UNDERCABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

## SECOND FLOOR PLAN - ELECTRICAL

1452 Sq.Ft.

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LINCOLN  
ELEVATION D

2504 SQ. FT.

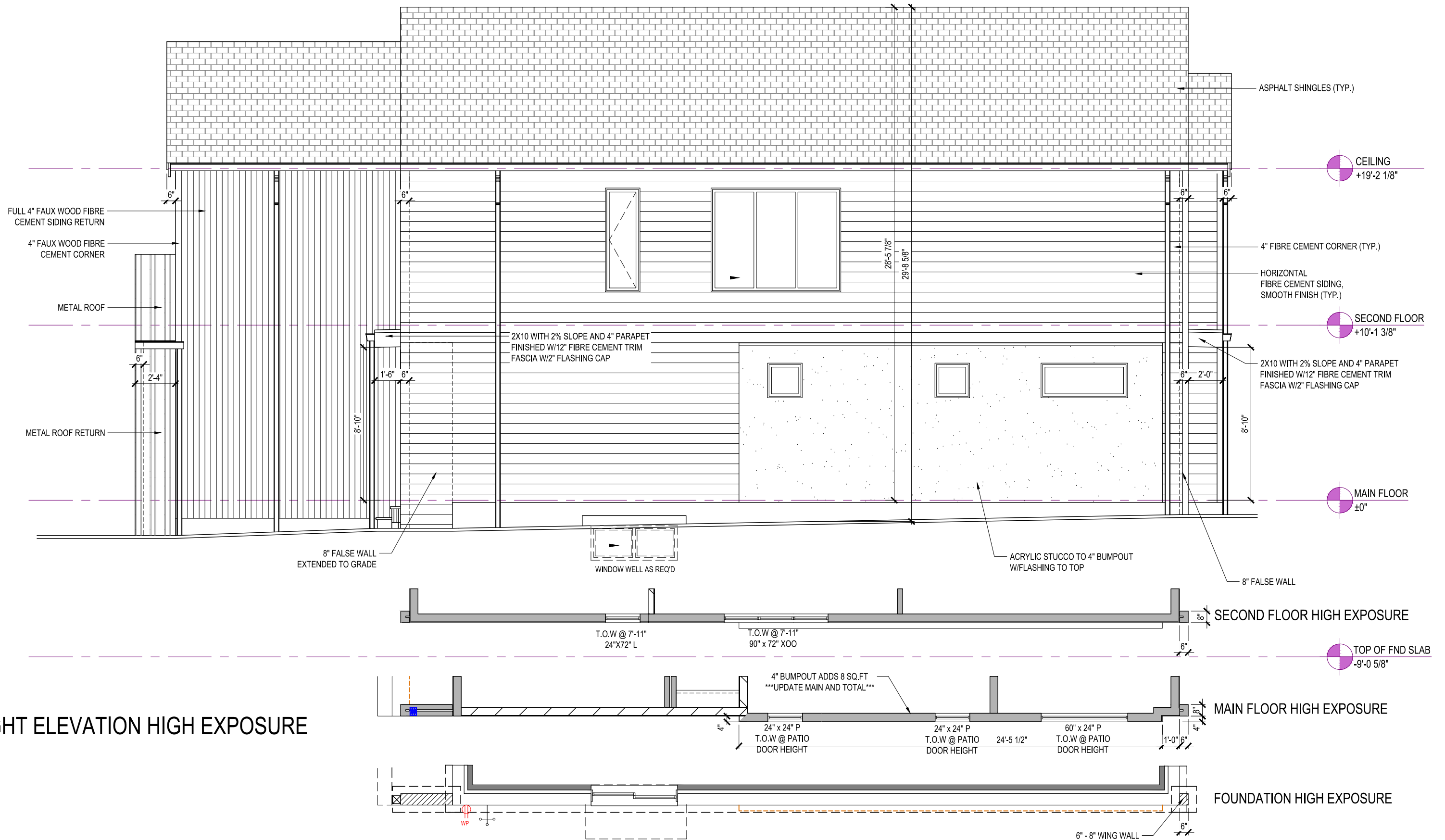
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LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER

12



**RIGHT ELEVATION HIGH EXPOSURE**



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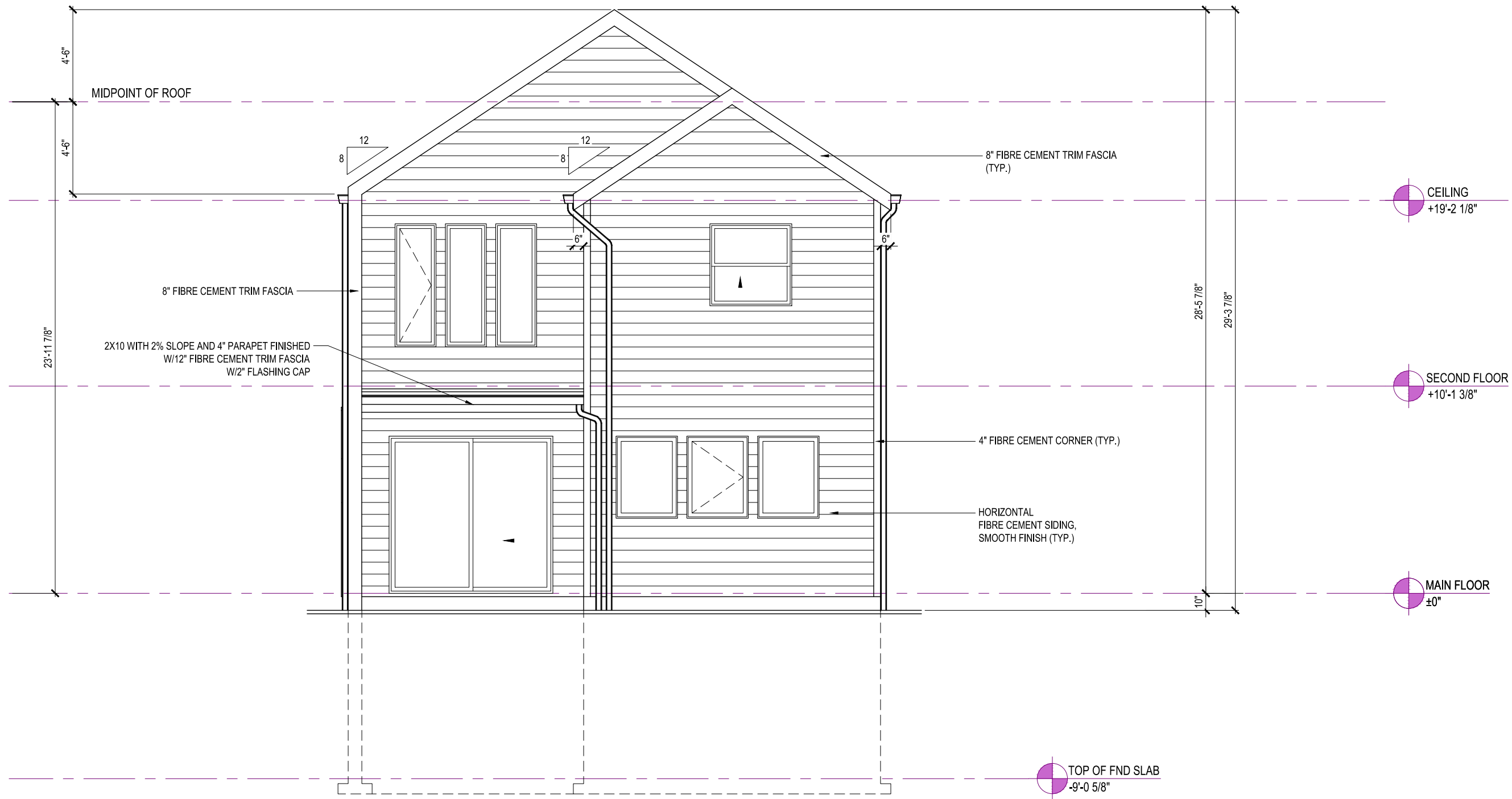
GABLECRAFT HOMES

LINCOLN  
**ELEVATION D**  
 2504 SQ. FT.  
 Lot Address, COLWOOD, BRITISH  
 COLUMBIA

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER  
**15**



REAR ELEVATION HIGH EXPOSURE



### LEGEND

- NATURAL MAPLE 18-2991 - VIC WEST
- CHINA WHITE DC 141 - BENJAMIN MOORE
- IRON ORE 5P6 - GENTEK
- BLACK - CASCADIA METAL
- DUAL BLACK - IKO CAMBRIDGE
- OXFORD BROWN SEMI-SOLID - BENJAMIN MOORE

FRONT ELEVATION

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LINCOLN  
ELEVATION D

Lot Address, COLWOOD, BRITISH  
COLUMBIA

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER

01



LEFT ELEVATION

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LINCOLN  
ELEVATION D

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LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER

02



RIGHT ELEVATION

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LINCOLN  
ELEVATION D

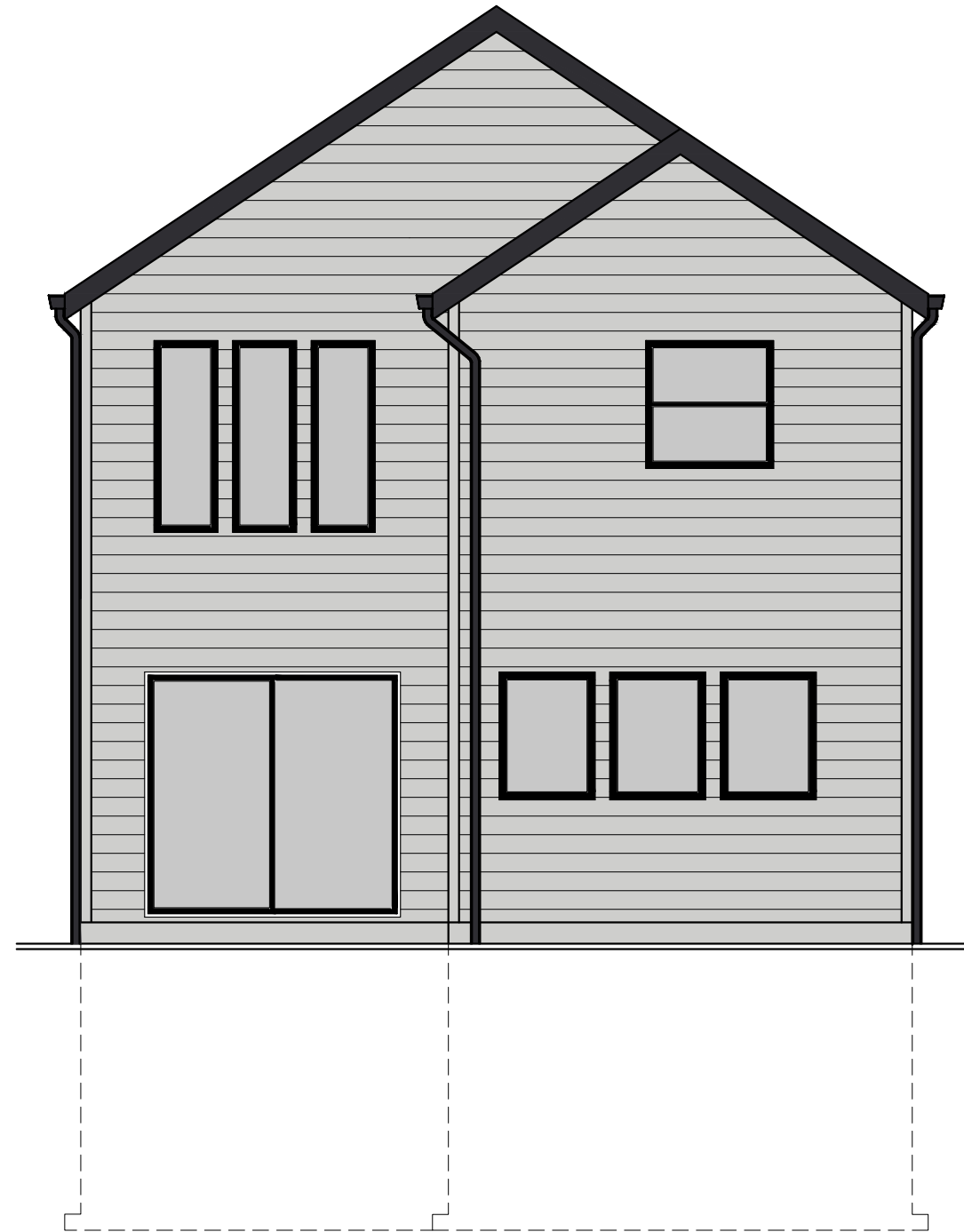
Lot Address, COLWOOD, BRITISH  
COLUMBIA

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER  
**03**





REAR ELEVATION

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LINCOLN  
ELEVATION D

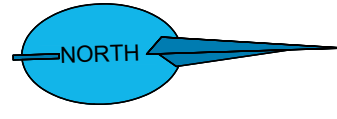
Lot Address, COLWOOD, BRITISH  
COLUMBIA

LOT	Lot#	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	Sector#	
REL	Release#	
JOB	44-???????	

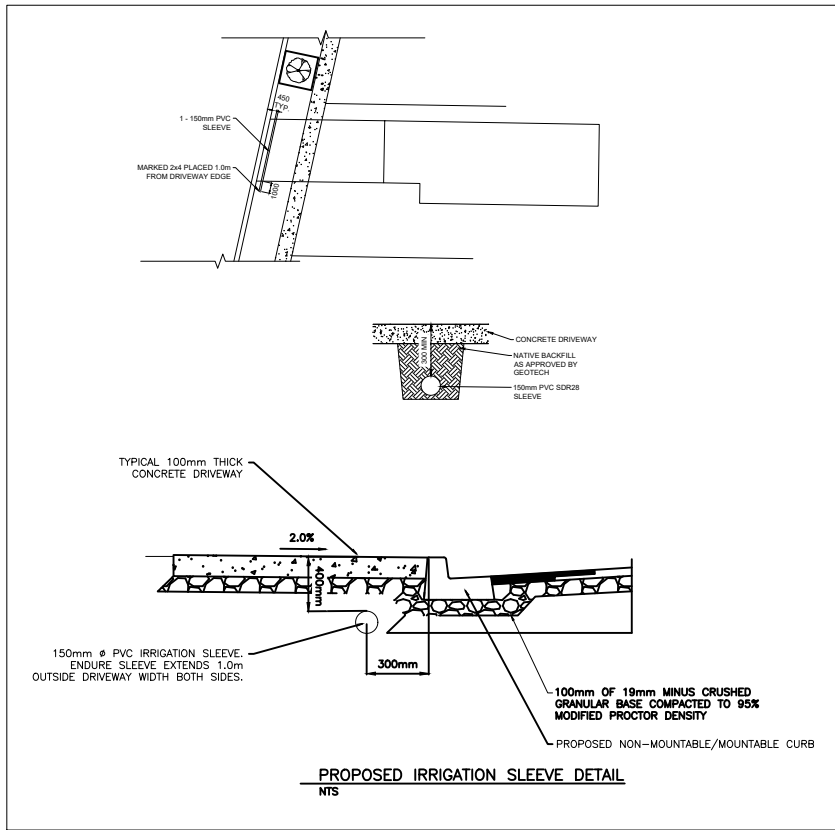
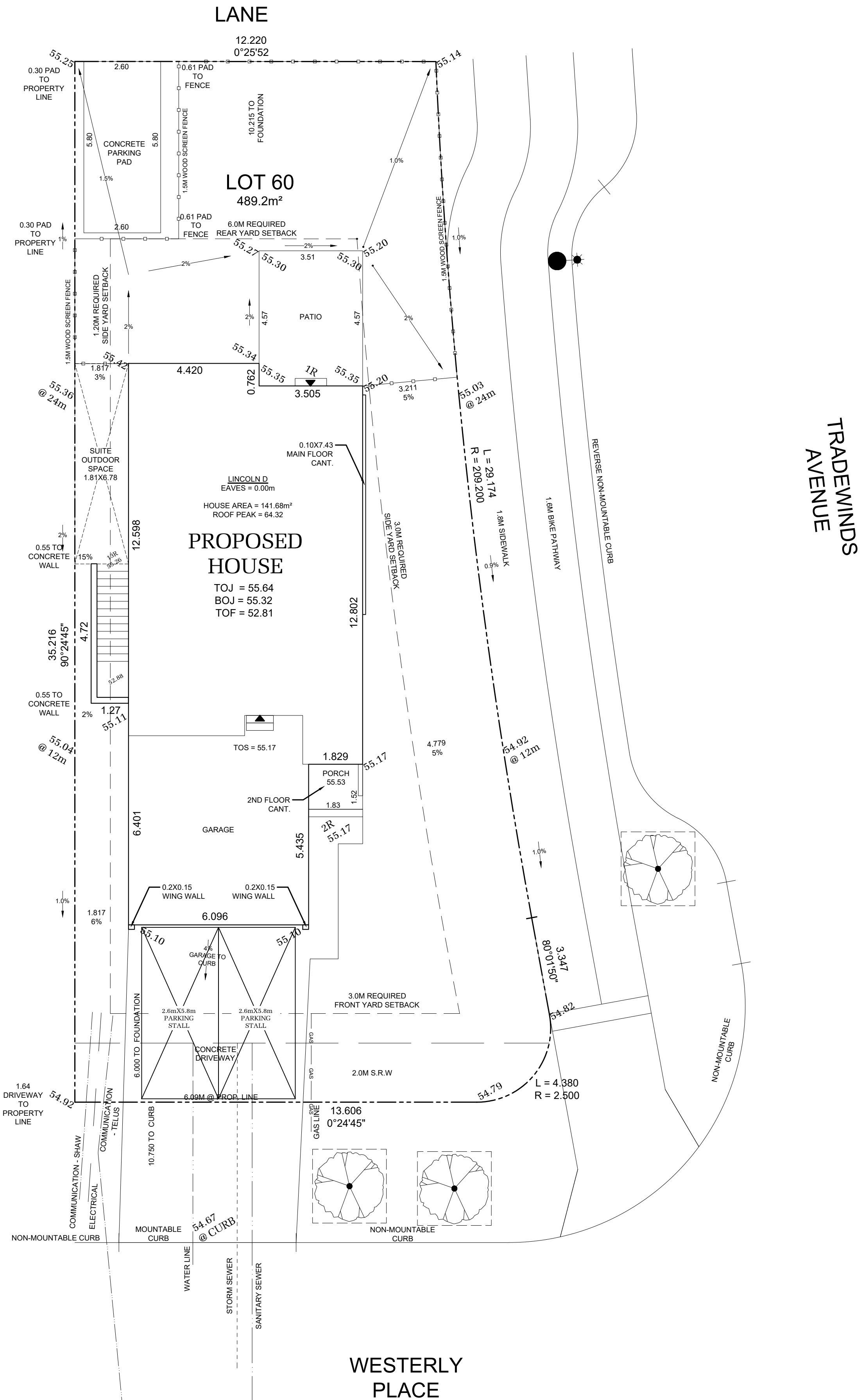
REV. NO.	DESIGN	DATE	REMARKS
1	TBD	mm/dd/yy	INITIAL WORKING DRAWINGS

SHEET NUMBER

04



LOT 59



BY-LAW ZONE DATA: CD28

DEVELOPMENT REGULATION	REQUIRED	PROPOSED
LOT TYPE	MEDIUM ONE-FAMILY DWELLING	
LOT AREA	370 m <sup>2</sup> (min.)	489.2 m <sup>2</sup>
LOT WIDTH	11m (min.)	14.81m
LOT COVERAGE	50% (max.)	30.0%
BUILDING HEIGHT (PRINCIPLE)	9.5m (max.)	7.31m
ACCESSORY BUILDING HEIGHT	4.5m (max.)	NAm
FRONT SETBACK (PRINCIPLE)	6m (min.)	6m
SIDE SETBACK (PRINCIPLE)	1.2m/3.0mm (min.)	1.82m/3.26m
REAR SETBACK (PRINCIPLE)	6.0m (min.)	10.22m
REAR SETBACK (ACCESSORY)	1.0m (min.)	NAm
COMBINED FLOOR AREA (ACCESSORY)	60m <sup>2</sup> (max.)	0m <sup>2</sup>

PLOT PLAN

**IMPORTANT NOTE**  
**ALL DIMENSIONS AND SERVICES MUST BE**  
**CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION**

LOT INFORMATION

LOT INFORMATION	VALUE
MINIMUM MAIN FLOOR ELEVATION (MFE)	55.46
GARAGE FLOOR ELEVATION (GFE)	55.26
MAXIMUM FINAL GRADE ELEVATION (MFGE)	NA
MINIMUM SANITARY SERVICEABLE ELEVATION (MSE)	52.10
PROPOSED SANITARY SEWER SERVICE INVERT (S)	51.30
PROPOSED STORM DRAIN SERVICE INVERT (D)	51.30
BASEMENT FLOOR ELEVATION (BFE)	NA

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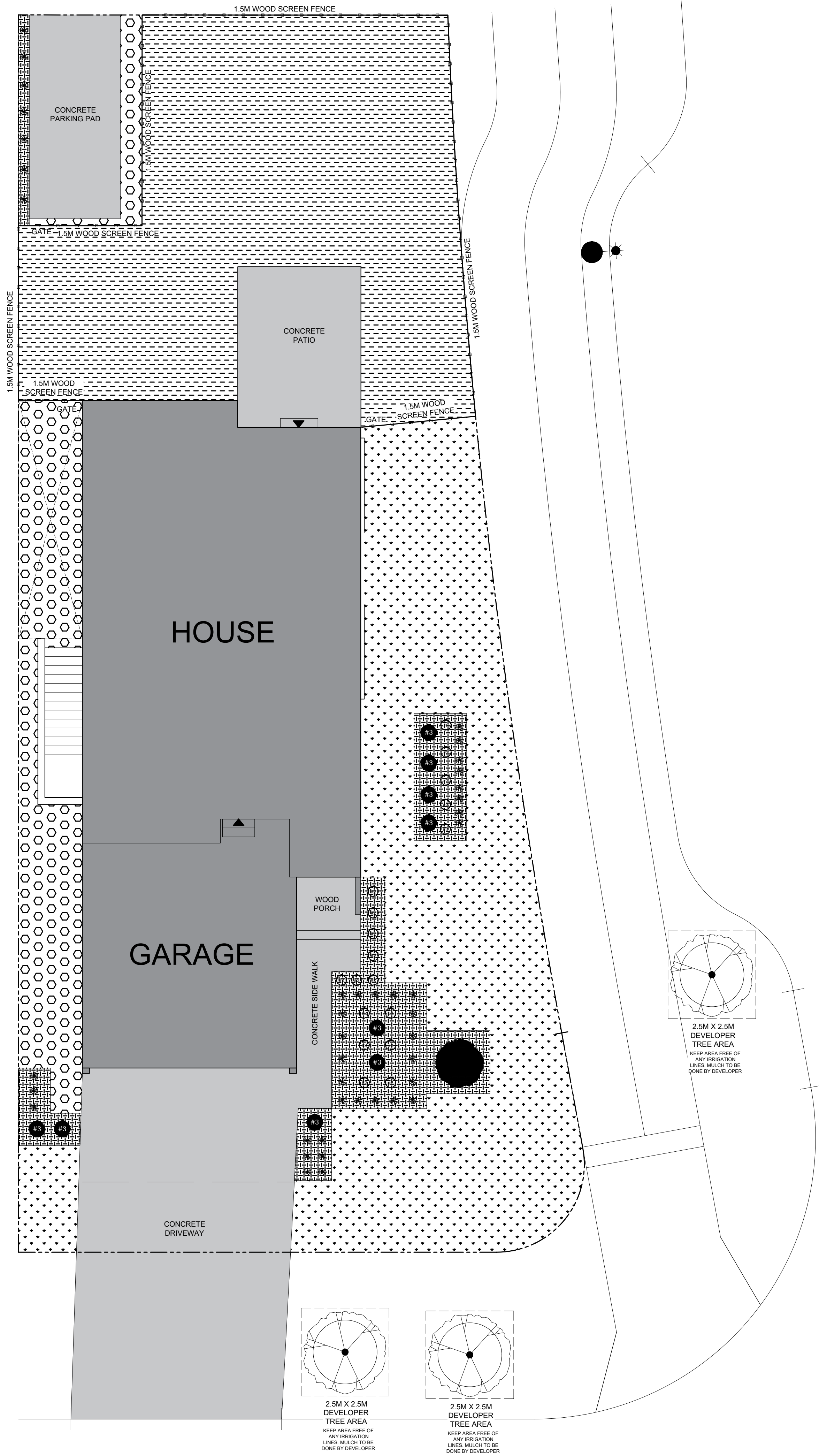
LOT 60 SECTOR 1 REL 0  
 JOB 44-0100060 SCALE 1:100  
**TBD WESTERLY PLACE**  
**COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	MDS	19/07/22	INITIAL PLOT PLAN DRAFTING
2	MDS	07/27/22	SITING REVISIONS
3	MDS	09/12/22	BY-LAW REVISIONS

SHEET NUMBER

**PLOT**

8/26/2020 3:42 PM



## LANDSCAPE PLAN

### IMPORTANT NOTES

1. ANY DEVIATIONS FROM THE ABOVE MUST BE FIRST REVIEWED AND APPROVED BY GABLECRAFT PRIOR TO INSTALLATION
2. USE THIS PLAN IN CONJUNCTION WITH APPROVED DEVELOPMENT PERMIT LANDSCAPE PLAN

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LOT 60 SECTOR 1 REL 0  
JOB 44-0100060 SCALE 1:75  
**TBD WESTERLY PLACE  
COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
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2	MDS	07/27/22	SITING REVISIONS

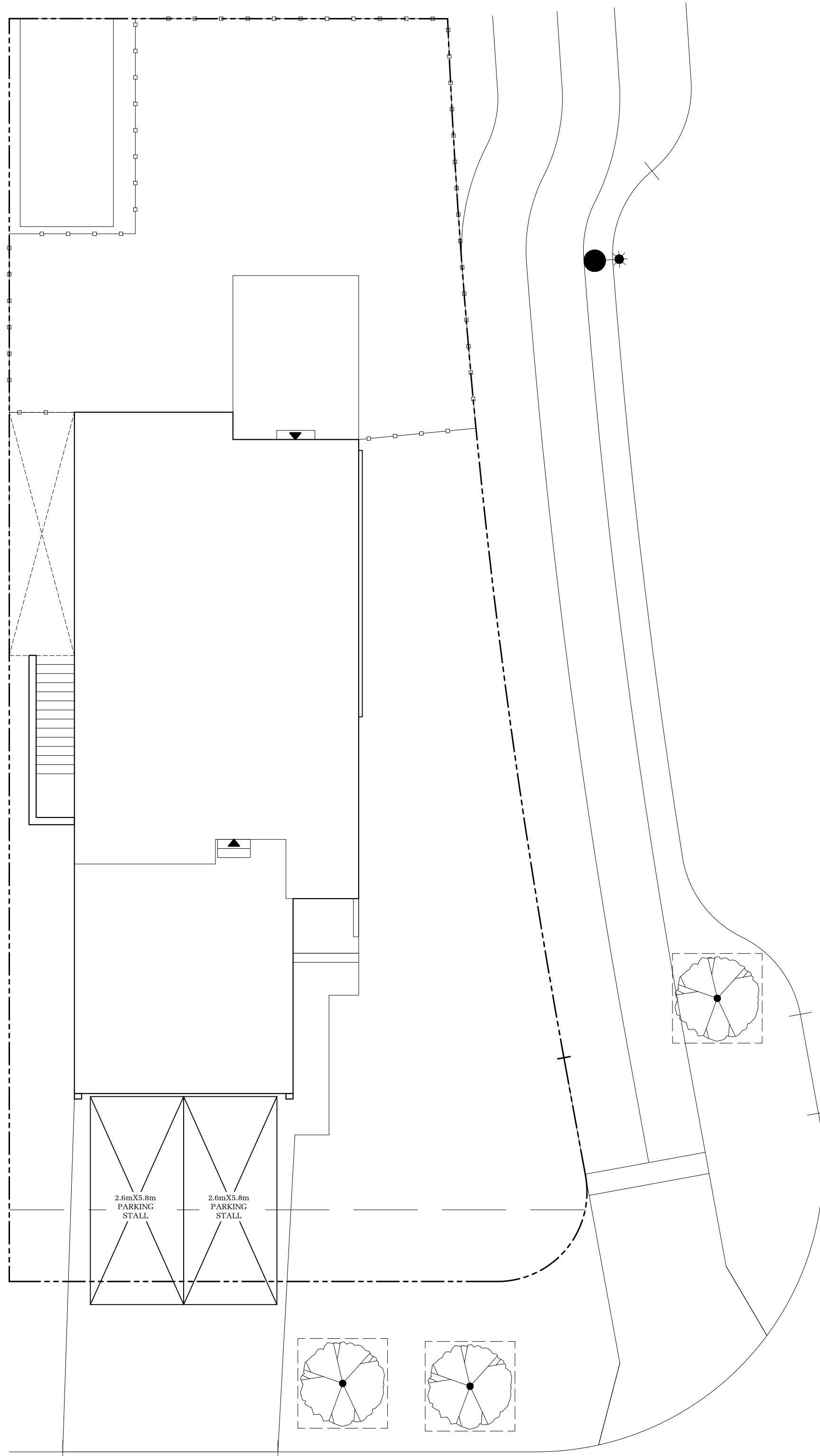
SHEET NUMBER  
**PLOT**

8/26/2020 3:42 PM

PLANTING LEGEND						
KEY	QTY	PLANTING	PLANTING SIZE	SPECIES A	SPECIES B	SPECIES C
#R	9	HEDGING SHRUB	#0 POT, 4-8FT IN HEIGHT 15" DEEP GROWING MEDIUM	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	YELLOW RIBBON HEDGING CEDAR <i>Thuja occidentalis 'Yellow Ribbon'</i>
#S	18	SHORT SHRUB	#2 POT, 60cm SPREAD 15" DEEP GROWING MEDIUM	DAVID'S VIBURNUM <i>Viburnum davidsonii</i>	KINKIKINICK <i>Actinophora chinensis</i>	DAKLEAF HYDRANGEA <i>Hydrangea davidsonii</i>
*	42	ORNAMENTAL GRASS	#1 POT, 20cm SPREAD 15" DEEP GROWING MEDIUM	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>
T	1	TREE	2m HEIGHT, TREE PIT TO BE DEPTH OF ROOT BALL WITH WIDTH BEING AT LEAST TWICE THE WIDTH OF ROOT BALL WITH SAUCER SHAPED SIDES. BARK MULCH COVER, PROVIDE A CLEAN MULCHED 3FT DIAMETER CIRCLE CENTRED ON TREE.	KOUSA DOGWOOD <i>Quercus KUSA</i>	FRANS FONTAINE EUROPEAN HORSEMAN <i>Cornus rotundifolia 'Frans Fontaine'</i>	MAIDENHAIR TREE <i>Wingkoella</i>

LOT IMPROVEMENTS LEGEND				
KEY	QTY	MATERIAL	SPECIFICATION	REMARKS
[Pattern]	105.83	LOAM (TOP SOIL) ONLY	TESTED AND APPROVED GROWING MEDIUM	1. MINIMUM 15% SLOPE
[Pattern]	108.56	LOAM (TOP SOIL), SOIL AND IRRIGATION	NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS	1. LOUSE TO BE A MINIMUM OF 1" IN DEPTH 2. SOIL TO BE 100% FREE OF STONELINE MATTER 3. SOIL TO BE 100% FREE OF STONELINE MATTER FOR SUN FIELDS FOR SHADE
[Pattern]	34.13	GRAVEL	CRUSHED GRANITE SCREENINGS	1. LARGER THAN 20MM SIZE TO BE 10% MAXIMUM
[Pattern]	27.33	BARK MULCH	MIN. 100MM Ø AND DARK BROWN IN COLOUR	1. FREE OF FERTILISER, SOAK, COPE, FRESH CHARGE AND STONELINE MATTER 2. FULL DEPTH OF MULCH TO BE 100MM FROM FRONT DRIVE GARAGE PRODUCTS 3. CORNER TREE SIDE PROPERTY LINE FROM REAR PROPERTY LINE TO BE 100MM FROM REAR PROPERTY LINE 4. DETACHED GARAGE CORNER LINED
[Pattern]	39.75	1.5m WOOD SCREEN FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. DETACHED GARAGE CORNER LINED
[Pattern]	NA	1.5m METAL FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATION AS PER PLOT PLAN
[Pattern]	NA	STACKED STONE RETAINING WALL	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATION AS PER PLOT PLAN
[Pattern]	97.49	BROOM FINISHED CONCRETE	DRIVEWAY, APRONS, AND SIDEWALKS	





**BY-LAW ZONE DATA: ROYAL BAY RBCD5**

DEVELOPMENT REGULATION	REQUIRED	PROPOSED
LOT TYPE	MEDIUM ONE-FAMILY DWELLING	
LOT AREA	368 m <sup>2</sup> (min.)	489.2 m <sup>2</sup>
LOT WIDTH	10.97m (min.)	14.81m
LOT COVERAGE	50% (max.)	30.0%%
BUILDING HEIGHT (PRINCIPLE)	9.5m (max.)	7.31m
ACCESSORY BUILDING HEIGHT	4.5m (max.)	NAm
FRONT SETBACK (PRINCIPLE)	3.0m (min.)	5.24m
SIDE SETBACK (PRINCIPLE)	1.2m (min.)	1.82m/3.26m
REAR SETBACK (PRINCIPLE)	6.0m (min.)	10.97m
REAR SETBACK (ACCESSORY)	1.0m (min.)	NAm
COMBINED FLOOR AREA (ACCESSORY)	60m <sup>2</sup> (max.)	0m <sup>2</sup>



**IMPORTANT NOTE**  
**ALL DIMENSIONS AND SERVICES MUST BE**  
**CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION**

LOT INFORMATION	VALUE
MINIMUM MAIN FLOOR ELEVATION (MFE)	55.46
GARAGE FLOOR ELEVATION (GFE)	55.26
MAXIMUM FINAL GRADE ELEVATION (MFGE)	NA
MINIMUM SANITARY SERVICEABLE ELEVATION (MSE)	52.10
PROPOSED SANITARY SEWER SERVICE INVERT (S)	51.30
PROPOSED STORM DRAIN SERVICE INVERT (D)	51.30
BASEMENT FLOOR ELEVATION (BFE)	NA



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LOT	60	SECTOR	1	REL	0
JOB	44-0100060		SCALE	1:100	
<b>TBD WESTERLY PLACE COLWOOD, BRITISH COLUMBIA</b>					

REV. NO.	DESIGN	DATE	REMARKS
1	MDS	07/31/22	INITIAL PARKING DRAFT

SHEET NUMBER

**PLOT**

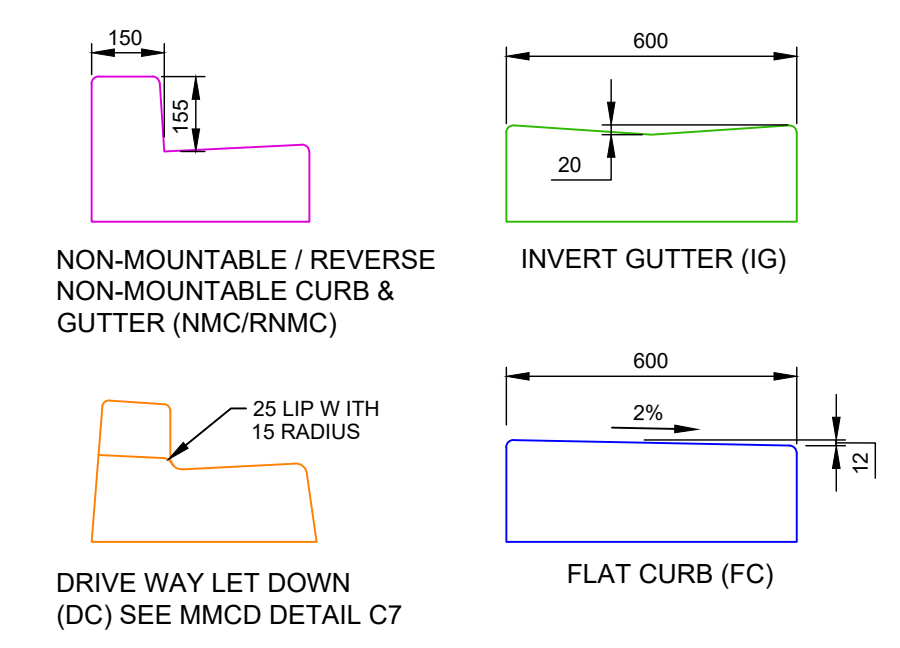
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**LEGEND**

9999	CIVIL LOT NUMBER
L#99	LEGAL LOT NUMBER
C#9999	CIVIC ADDRESS

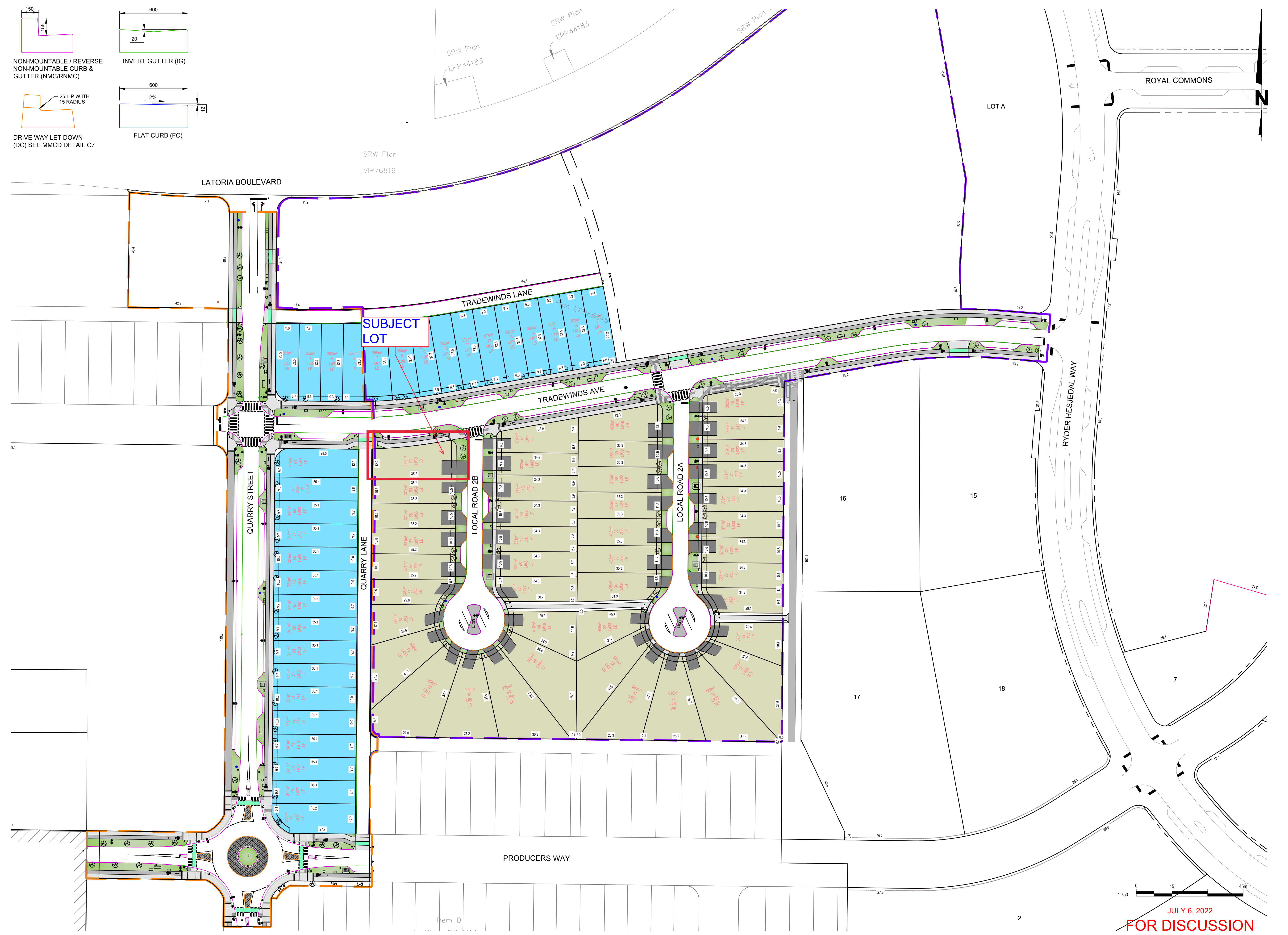
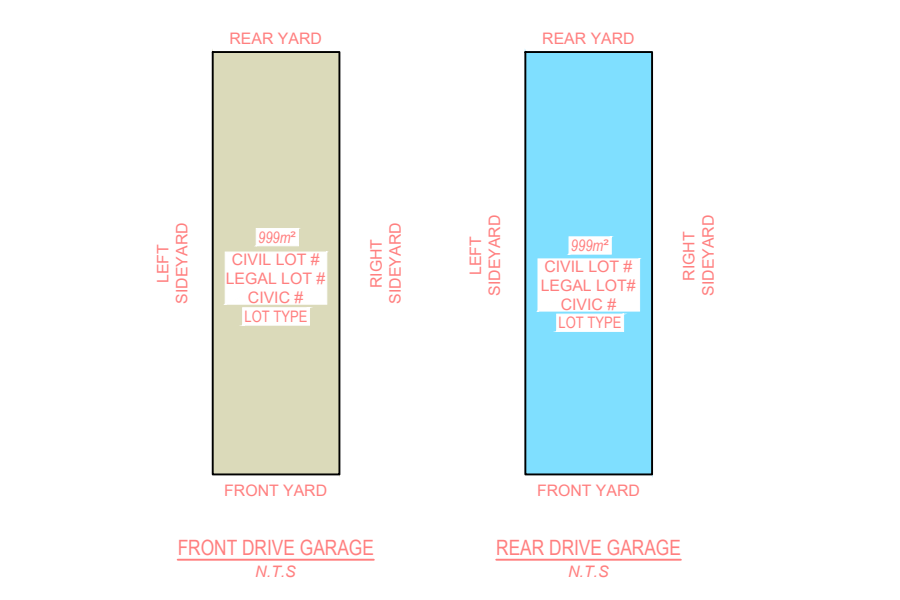
**PROPOSED LOT CODES**

TYPE	DESCRIPTION
WS	WALKOUT BASEMENT (SPLIT LEVEL) - REAR PL ELEVATIONS RANGE FROM 1.33m TO 2.57m BELOW FRONT PL ELEVATIONS.
LF	LEVEL LOT (SPLIT DRAINAGE) - REAR PL ELEVATIONS RANGE FROM 0m TO 1.33m ABOVE REAR PL ELEVATIONS.
LB	LEVEL LOT (SPLIT DRAINAGE) - REAR PL ELEVATIONS RANGE FROM 0m TO 0.9m ABOVE FRONT PL ELEVATIONS.



**LEGEND**

Catch Basin	
Boulevard Tree	
Electrical Boxes	
Electrical Transformer - Pad Mounted	
Fire Hydrant	
Street Signs	
Street Lights	
Lighting Junction Box	
Canada Post Mailbox Locations	
Sidewalk	
Multi-Use Path	
Boulevard	
Phase 1 Boundary	
Phase 3 Boundary	



0 15 45m  
1:750

JULY 6, 2022  
**FOR DISCUSSION**



Contractor must check and verify all dimensions and conditions on site and report any discrepancies to engineer prior to proceeding with work.

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No.	ISSUES DESCRIPTION	DATE	SIGN	No.	REVISIONS DESCRIPTION	DATE	SIGN
1	ISSUED FOR DISCUSSION	2022-07-06	PH				

DESIGNER: JH  
REVIEWED: PH  
ENGINEER: PH

SEAL PERMIT TO PRACTICE



**ROYAL BAY SOUTH LATORIA**

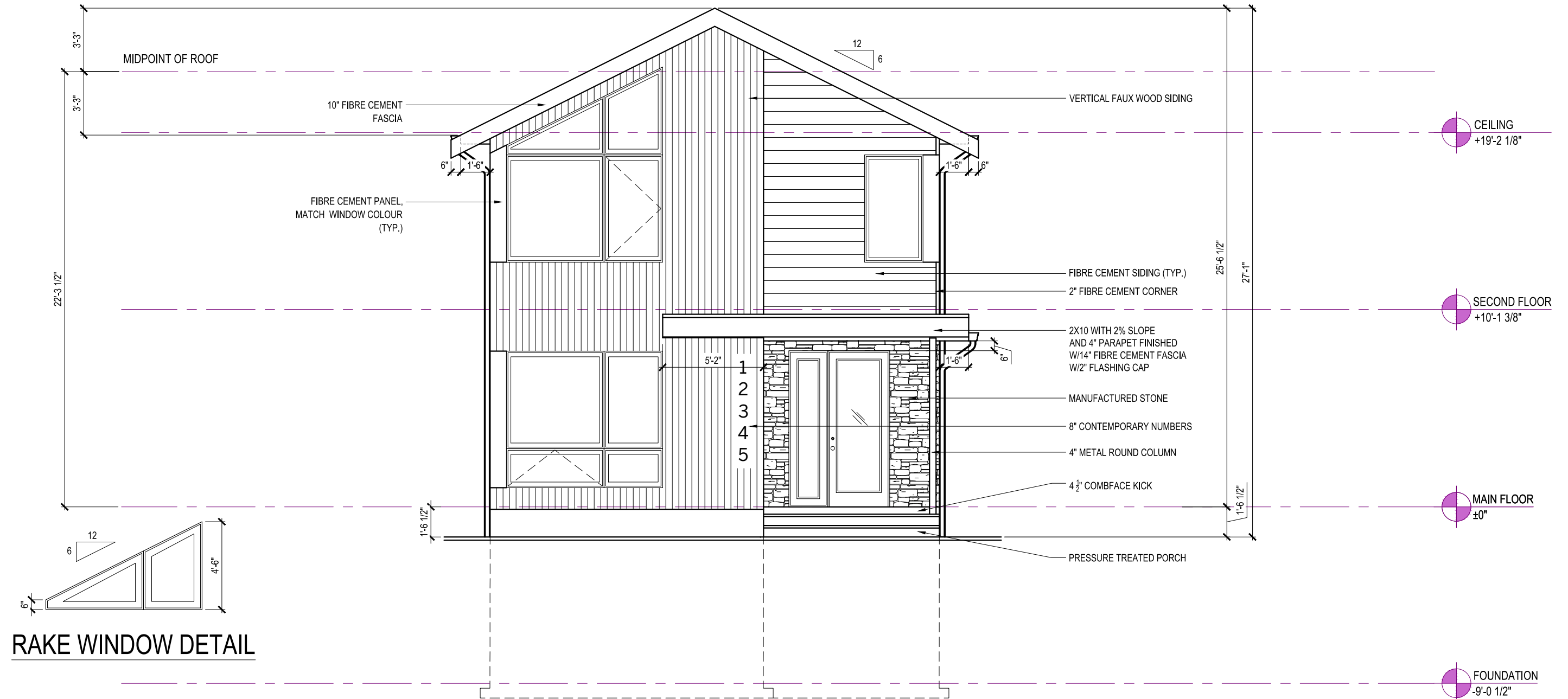
PHASE 1 & 3 MARKETING PLAN

ON POINT PROJECT No. 116-17  
GOVERNING AUTHORITY FILE No. 3320-20-SUB-20-011  
SHEET 1 OF 1  
REV.  
ON POINT DRAWING No. 116-12-SK01

ONPOINT - JULY 6, 2022 11:52 AM C:\PROJECTS\318\ROYAL BAY - PHASE 1 SOUTH LATORIA\INTERNAL\ROADS\CON\1-DESIGN\DESIGN\DRAWINGS\161517\MARKETING\LANDING



# Schedule 3



RAKE WINDOW DETAIL

FRONT ELEVATION  
STYLE - TRANSITIONAL MODERN

9' UPPER FLOOR  
9' MAIN FLOOR  
8' BASEMENT

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WESTWICK  
ELEVATION E

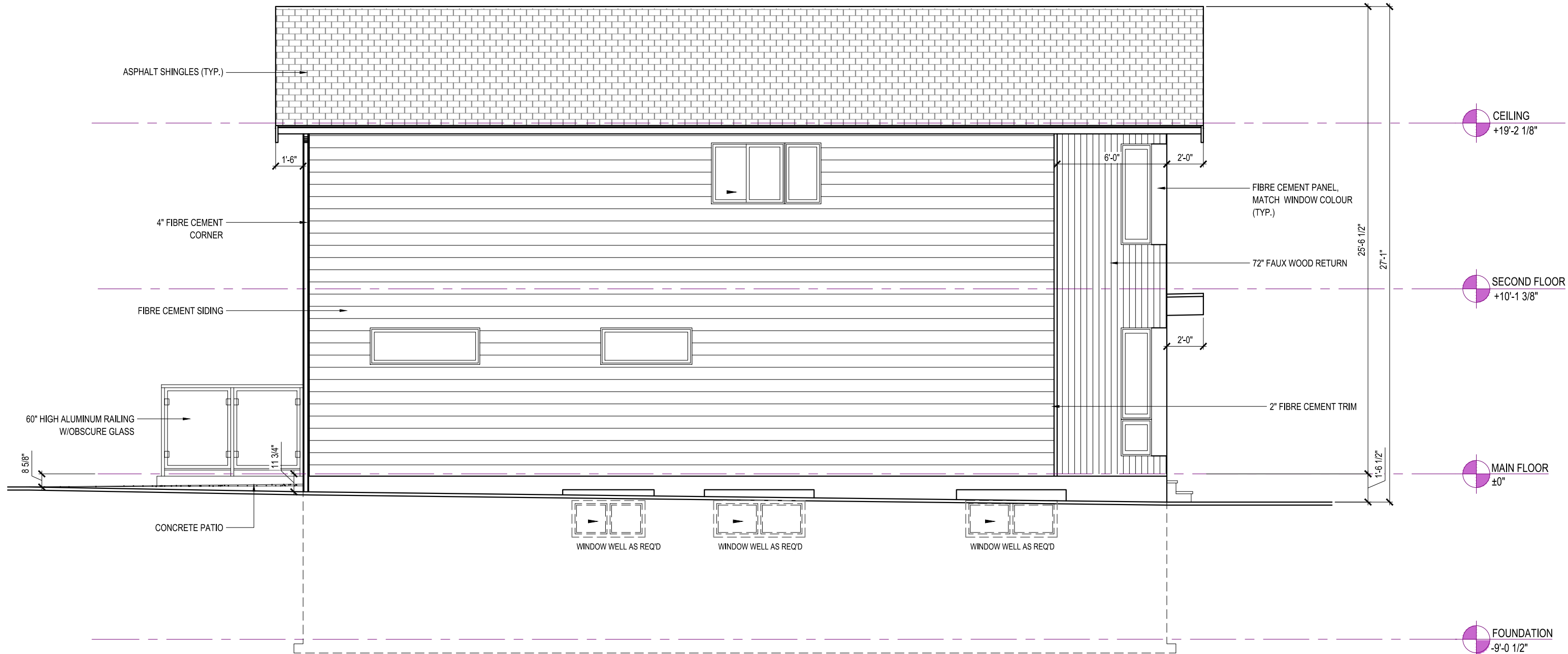
2112 SQ. FT

TBD TRADEWINDS AVENUE,  
COLWOOD, BRITISH COLUMBIA

LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER  
**01**



LEFT ELEVATION

WALL AREA = 943.76 SQ.FT.  
 UNPROTECTED OPENING AREA = 62.83 SQ.FT.  
 6.67%



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 ELEVATION E  
 2112 SQ. FT  
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LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER  
 02



RIGHT ELEVATION

WALL AREA = 896.12 SQ.FT.  
 UNPROTECTED OPENING AREA = 62.17 SQ.FT.  
 6.94%



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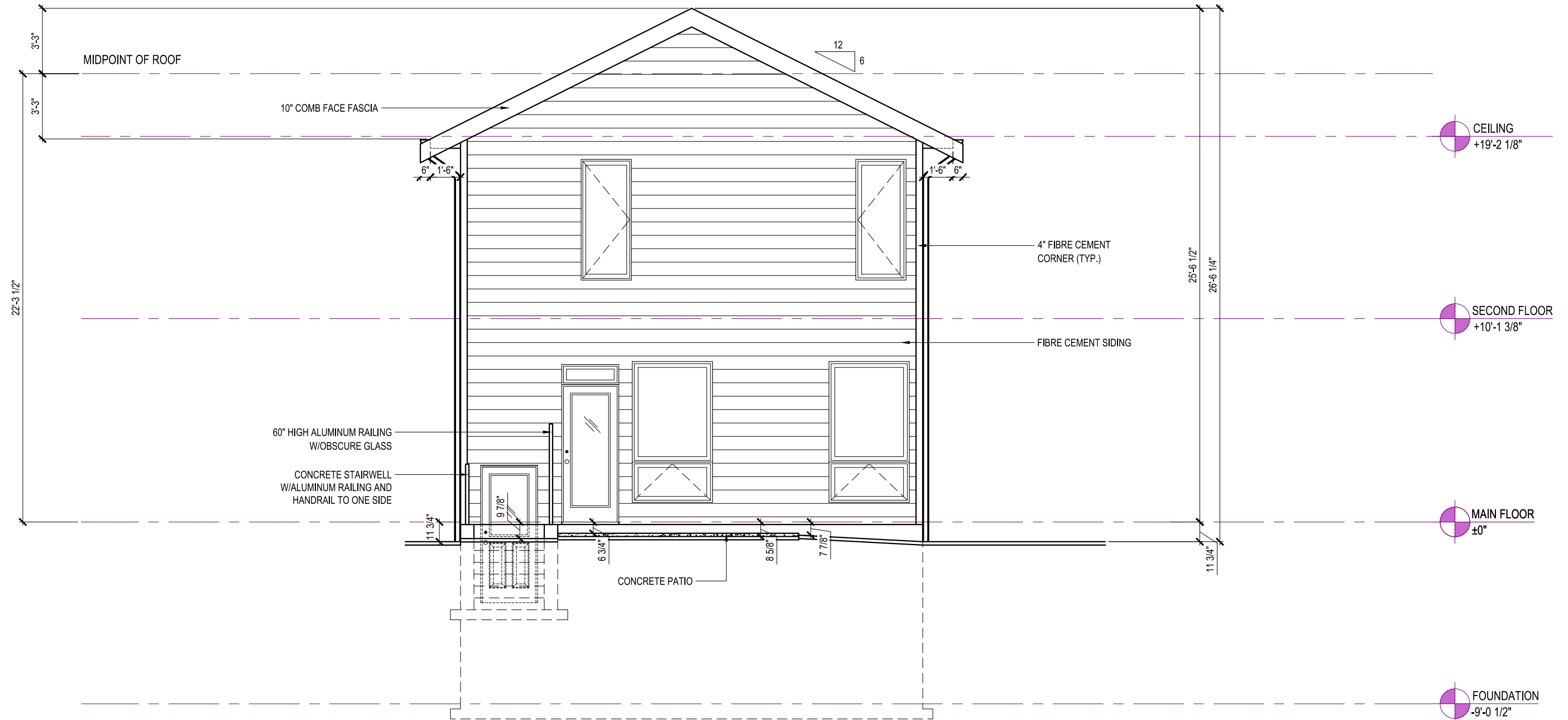
WESTWICK  
 ELEVATION E  
 2112 SQ. FT  
 TBD TRADEWINDS AVENUE,  
 COLWOOD, BRITISH COLUMBIA

LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER  
 03





REAR ELEVATION

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ELEVATION E

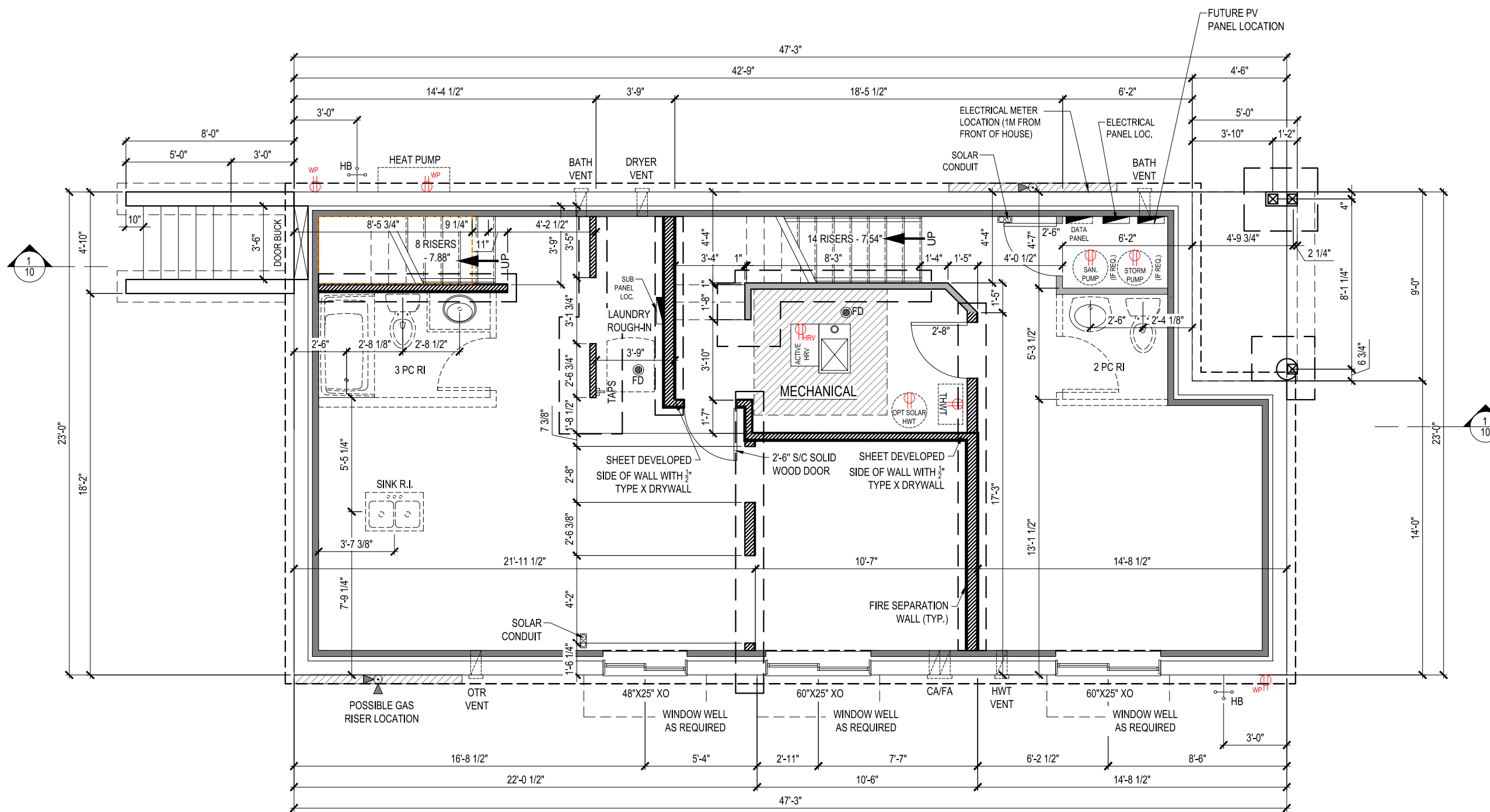
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TBD TRADEWINDS AVENUE,  
COLWOOD, BRITISH COLUMBIA

LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER  
**04**



	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	DISC LIGHT FIXTURE
	TRACK LIGHT (2)
	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

# FOUNDATION PLAN

951 Sq.Ft.

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WESTWICK  
ELEVATION E  
2112 SQ. FT

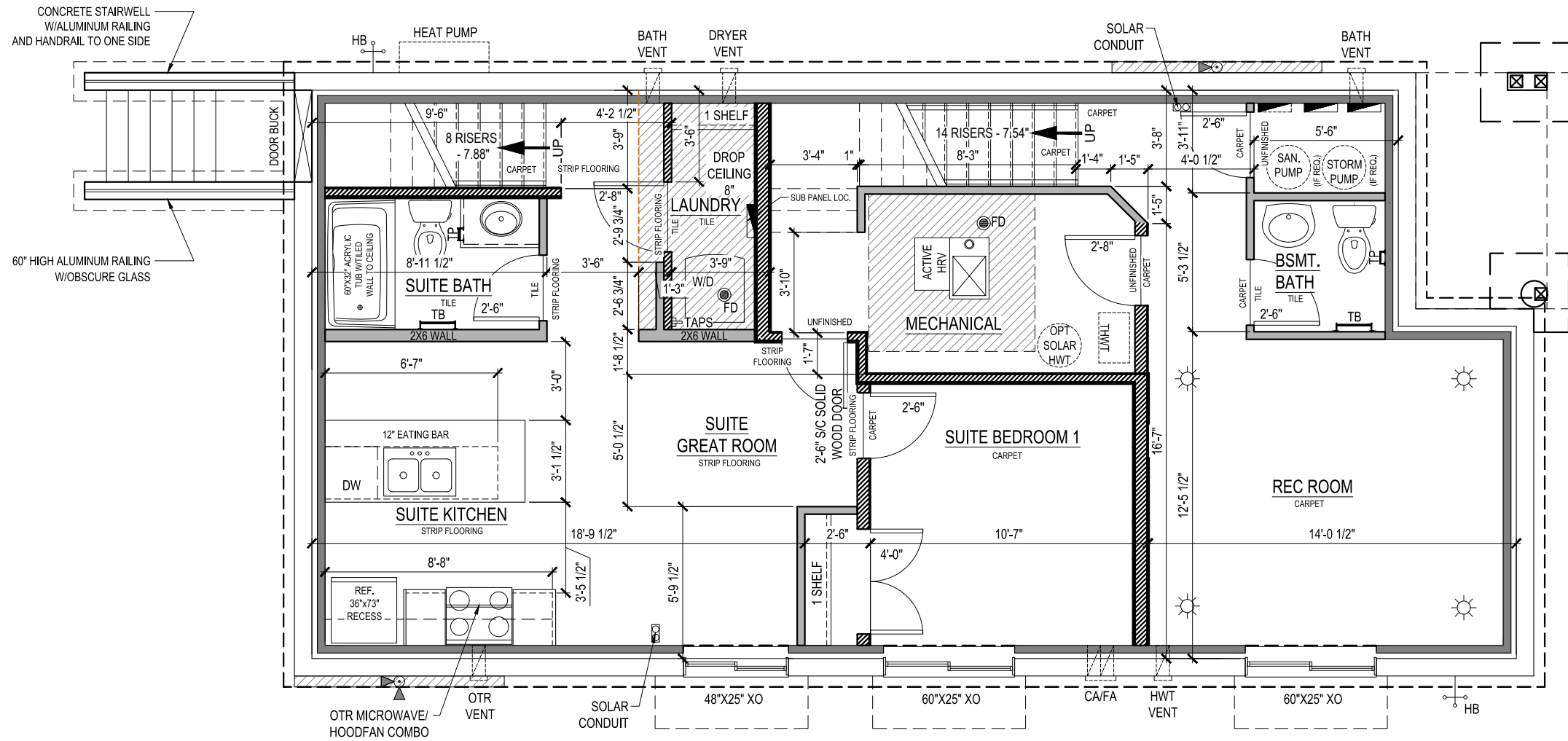
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COLWOOD, BRITISH COLUMBIA

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REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER

05



# BASEMENT SUITE

SUITE AREA 522 Sq.Ft.  
 BASEMENT DEVELOPMENT AREA 244 Sq.Ft

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WESTWICK  
 ELEVATION E

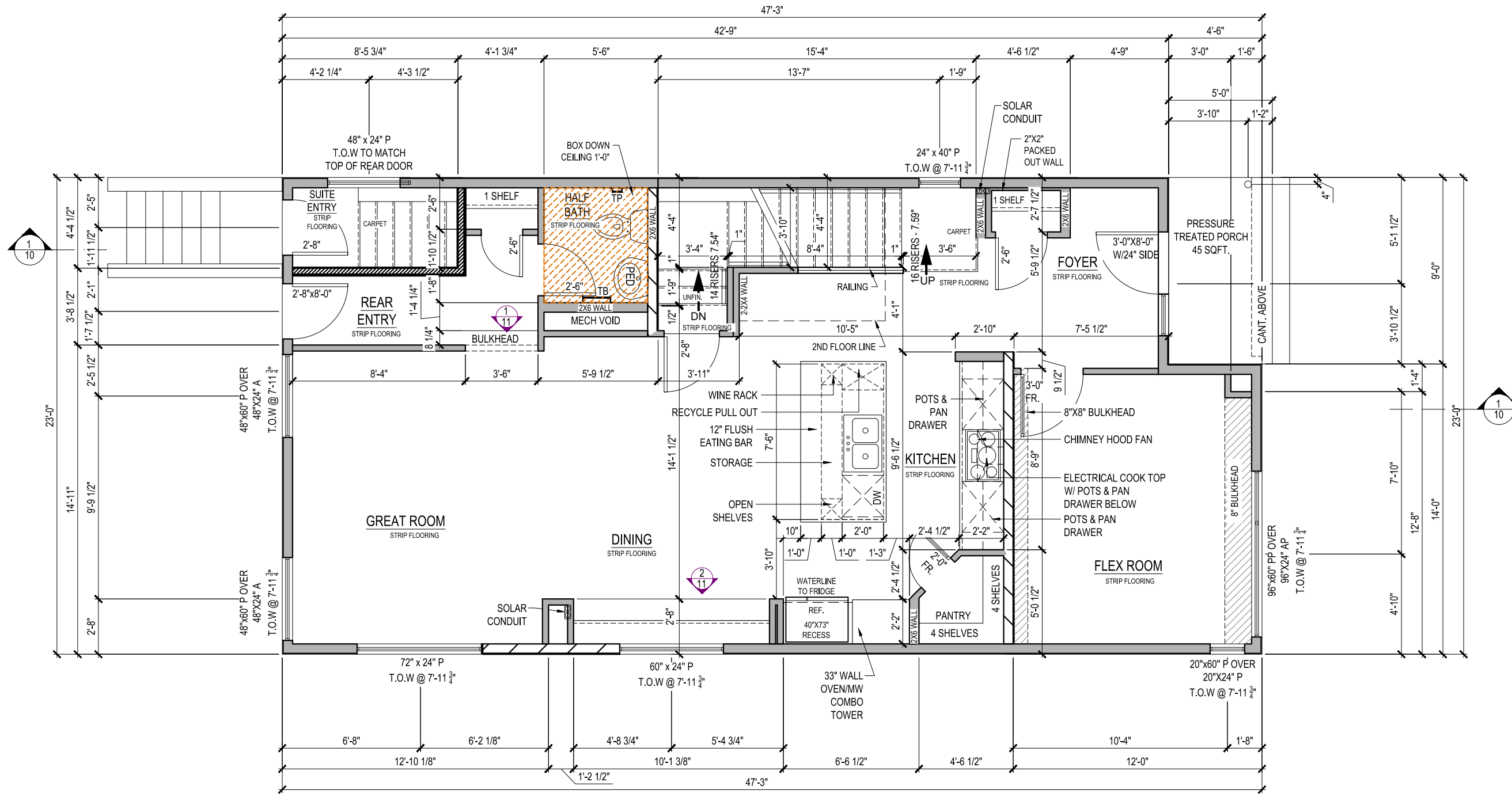
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REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER  
**06**



# MAIN FLOOR PLAN

1046 Sq.Ft.

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WESTWICK  
ELEVATION E

2112 SQ. FT

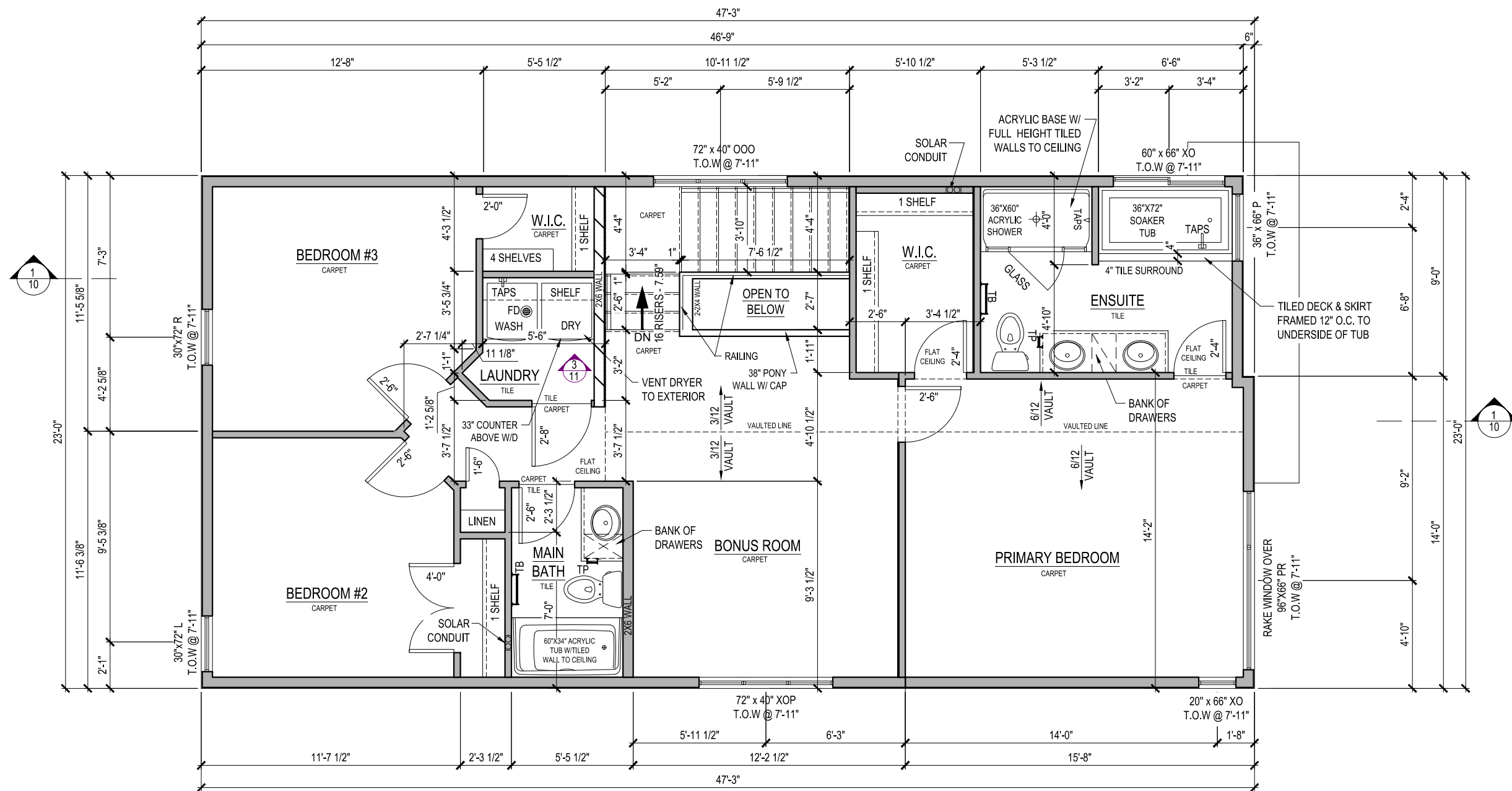
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COLWOOD, BRITISH COLUMBIA

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REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER

07



## SECOND FLOOR PLAN

1066 Sq.Ft.

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WESTWICK  
ELEVATION E

2112 SQ. FT

TBD TRADEWINDS AVENUE,  
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LOT	007	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	01		
REL	00		
JOB	43-01-00-007		

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER

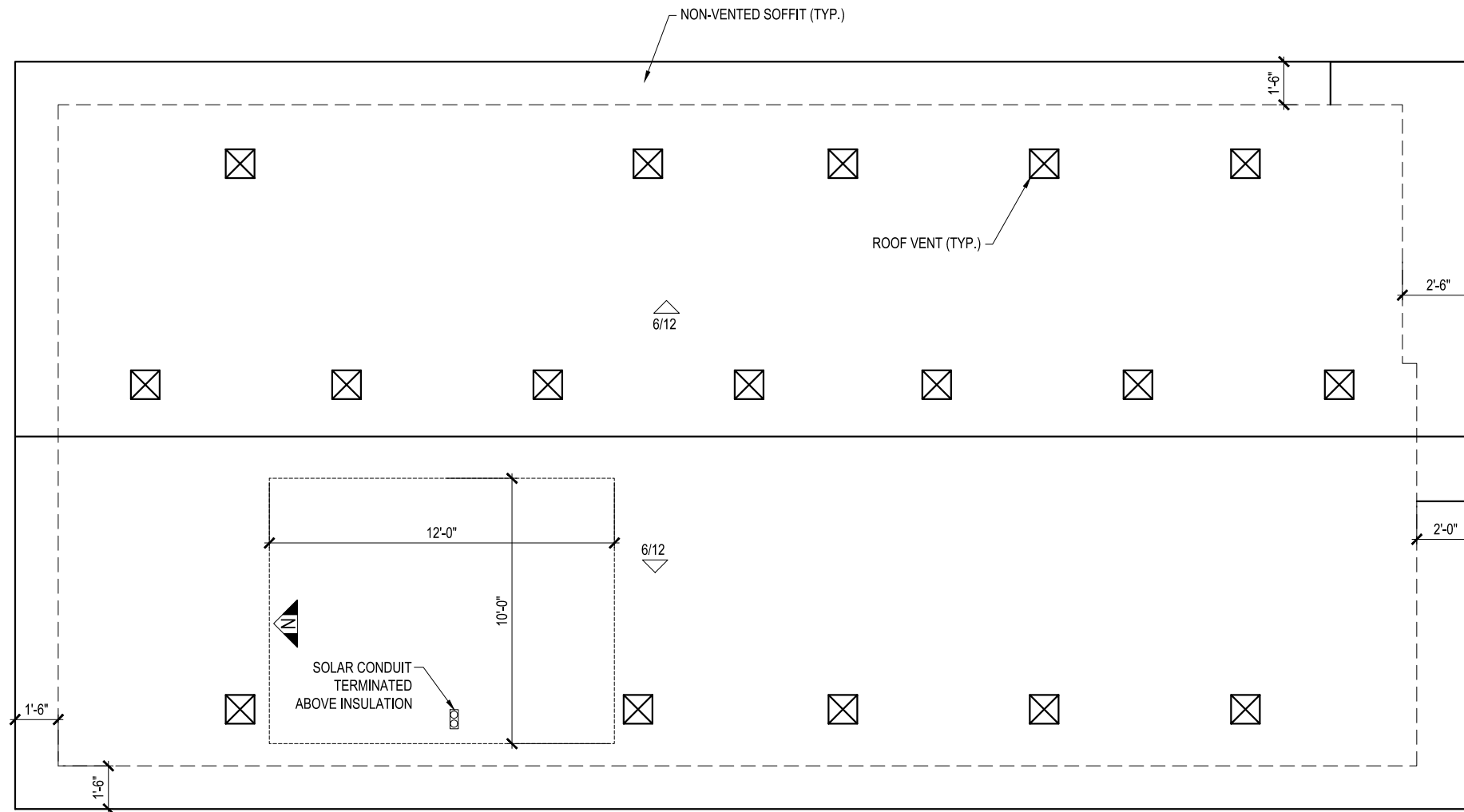
08

# ROOF AREA

1078 Sq.Ft.

**FRAMER NOTE:**

- ENSURE THE EDGE OF THE BOTTOM ROOF VENT HOLE IS 48" AWAY FROM THE FASCIA
- ROOF VENTS MUST BE A MINIMUM OF 36" AWAY FROM VALLEYS
- STAGGER UPPER AND LOWER VENTS WHERE POSSIBLE
- ROOF VENT HOLES TO BE APPROX. 8" X 8"
- ROOF VENTS MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MIN. OF 12")
- ENSURE THAT VENTS AT EQUAL HEIGHT ARE IN LINE WITH EACH OTHER
- FRAMERS TO CONFIRM THE VENTING LAYOUT WITH ROOFING INSTALLER PRIOR TO FRAMING VENT LOCATIONS



# ROOF PLAN



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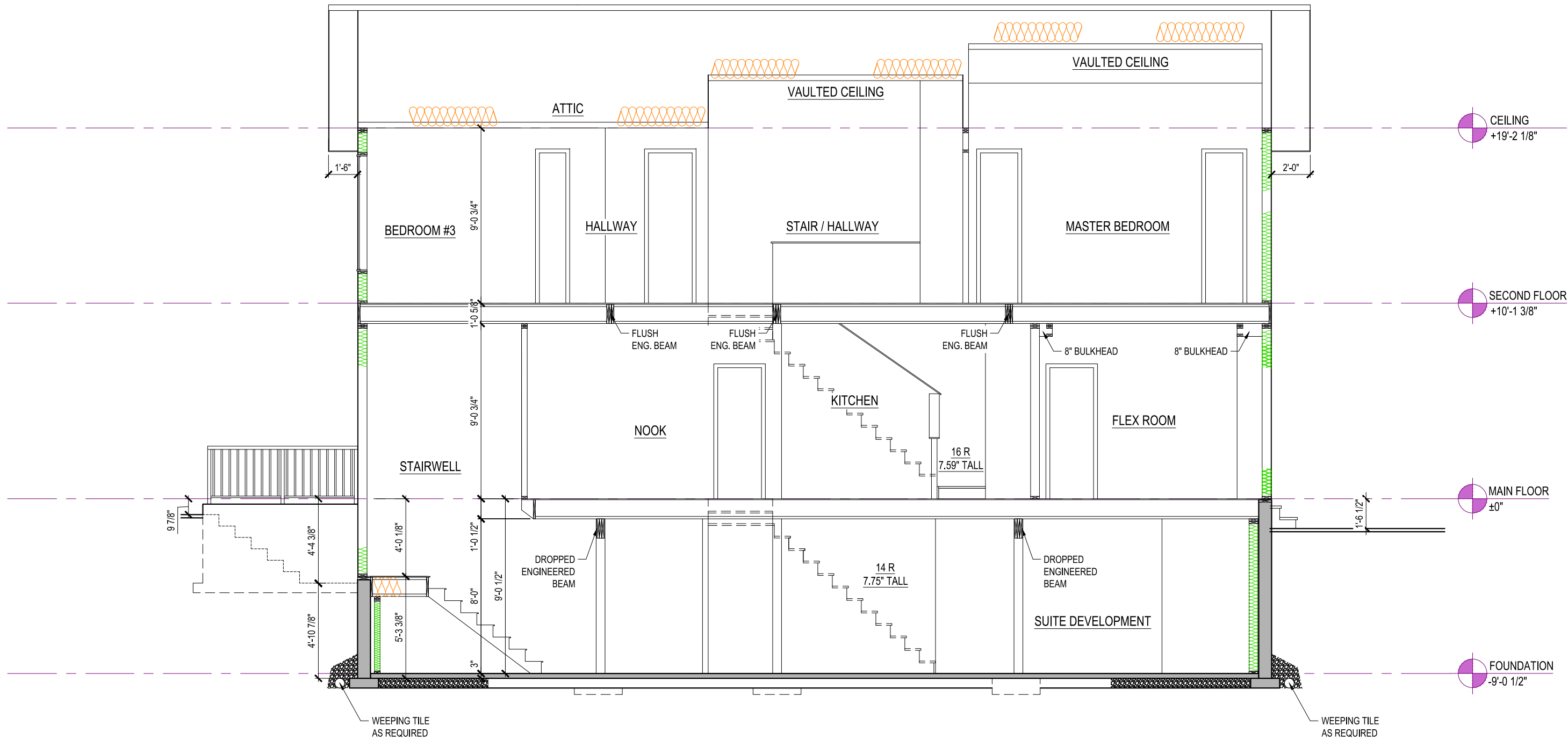
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WESTWICK  
ELEVATION E  
2112 SQ. FT  
TBD TRADEWINDS AVENUE,  
COLWOOD, BRITISH COLUMBIA

LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER  
**09**



8' BASEMENT

9' MAIN FLOOR

9' UPPER FLOOR

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HOMES™**

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VICTORIA, BRITISH COLUMBIA V9C 0L7

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WESTWICK  
ELEVATION E

2112 SQ. FT

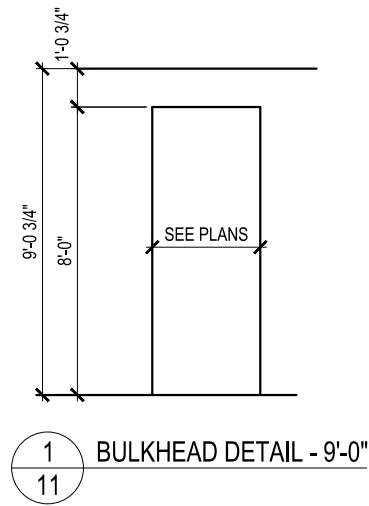
TBD TRADEWINDS AVENUE,  
COLWOOD, BRITISH COLUMBIA

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SEC	01	
REL	00	
JOB	43-01-00-007	

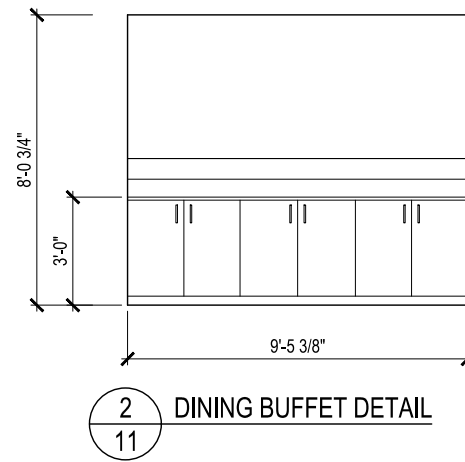
REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER

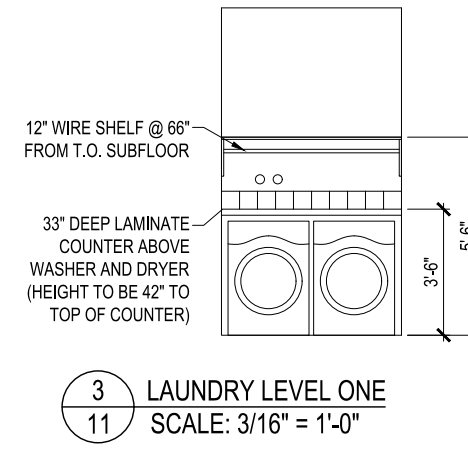
10



1 BULKHEAD DETAIL - 9'-0"  
11

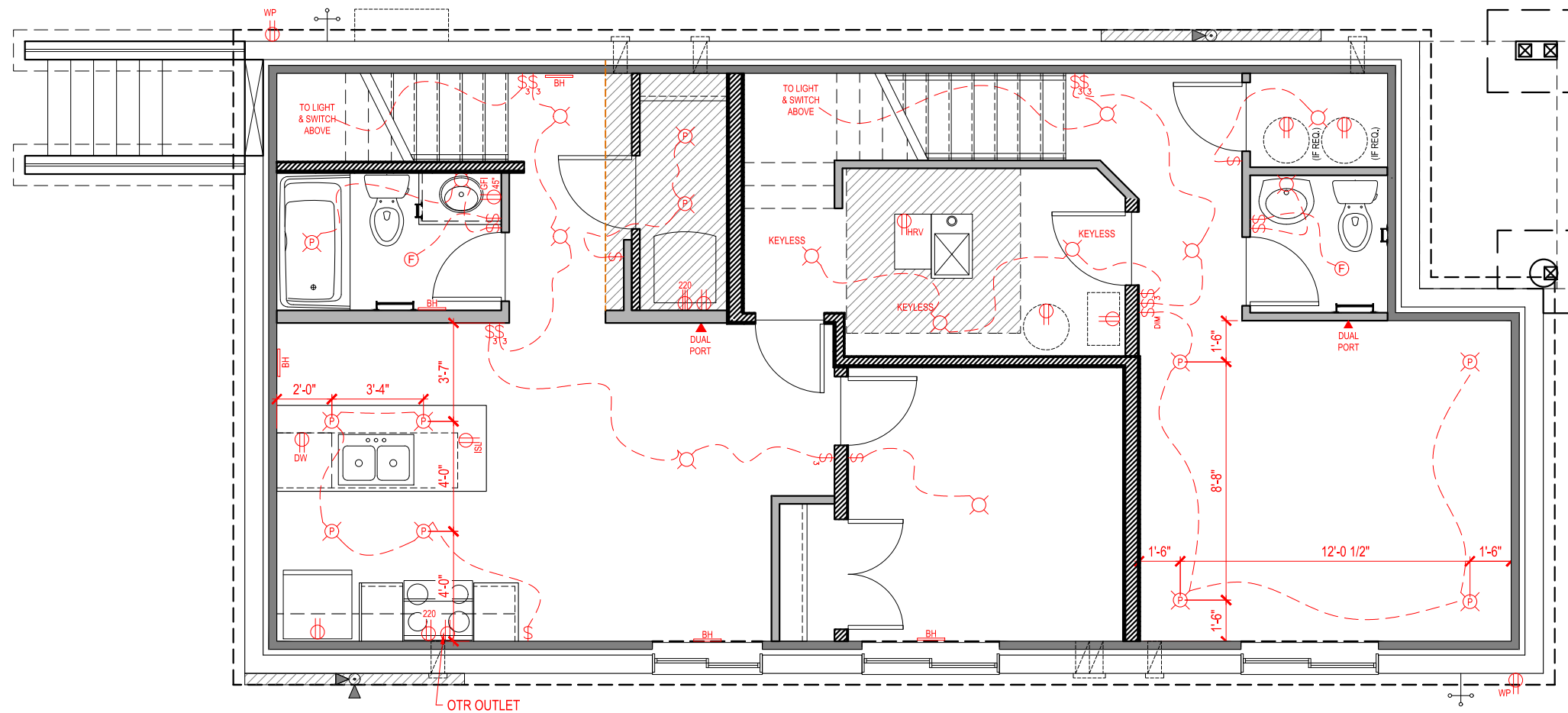


2 DINING BUFFET DETAIL  
11



3 LAUNDRY LEVEL ONE  
SCALE: 3/16" = 1'-0"  
11





	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	DISC LIGHT FIXTURE
	TRACK LIGHT (2)
	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	UNDER-CABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

# BASEMENT SUITE

SUITE AREA 522 Sq.Ft.  
BASEMENT DEVELOPMENT AREA 244 Sq.Ft

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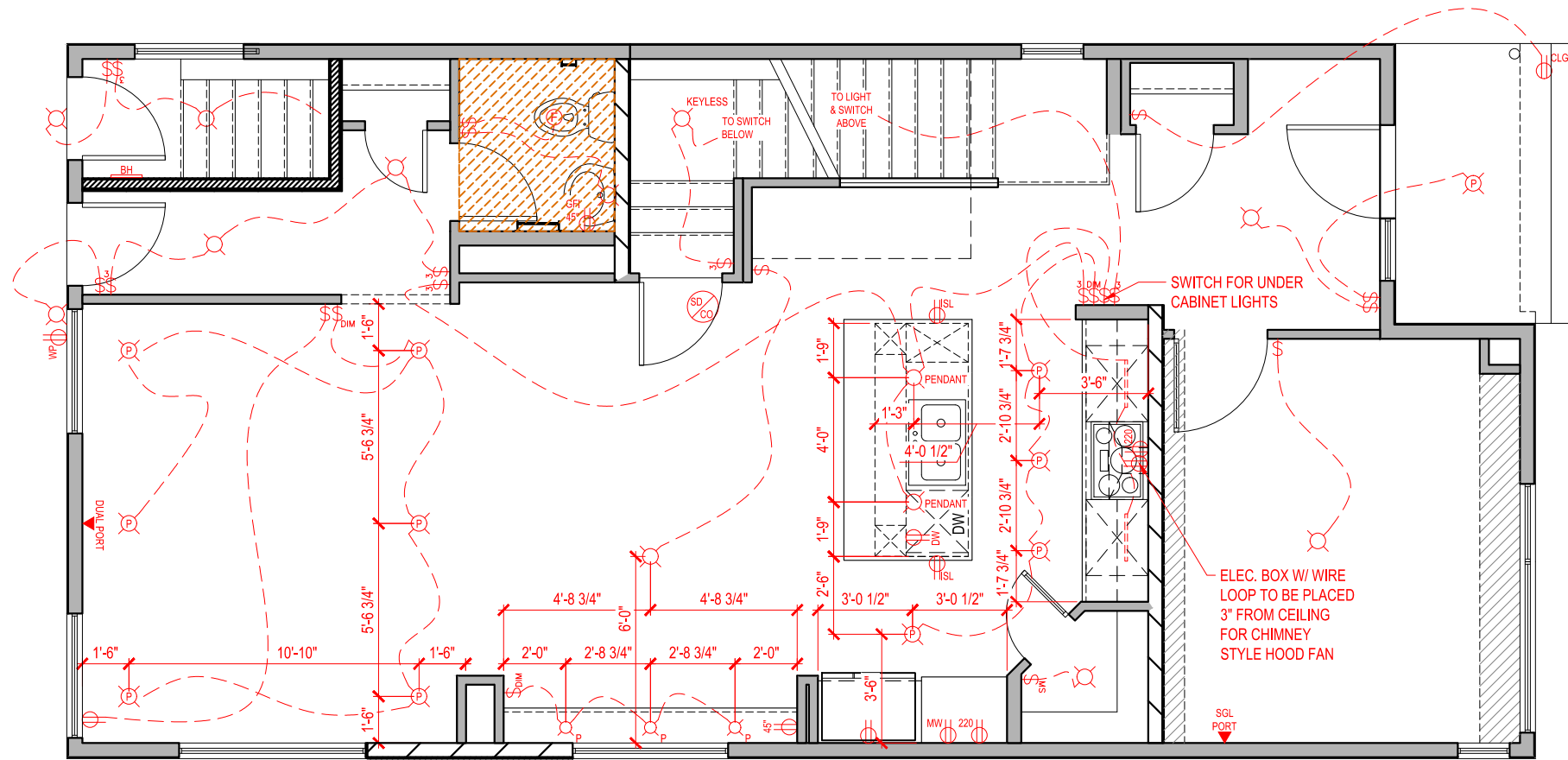
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	220 VOLT OUTLET
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	DUAL PORT DATA
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	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
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	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
	6\"/>
	4\"/>
	DISC LIGHT FIXTURE
	TRACK LIGHT (2)
	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60\"/>
	LONG RUN CONDUIT @72\"/>
	UNDERCABINET LIGHTING
	ELEC. BOX W/ WIRE LOOP TO BE PLACED 3\"/>

## MAIN FLOOR PLAN - ELECTRICAL

1046 Sq.Ft.

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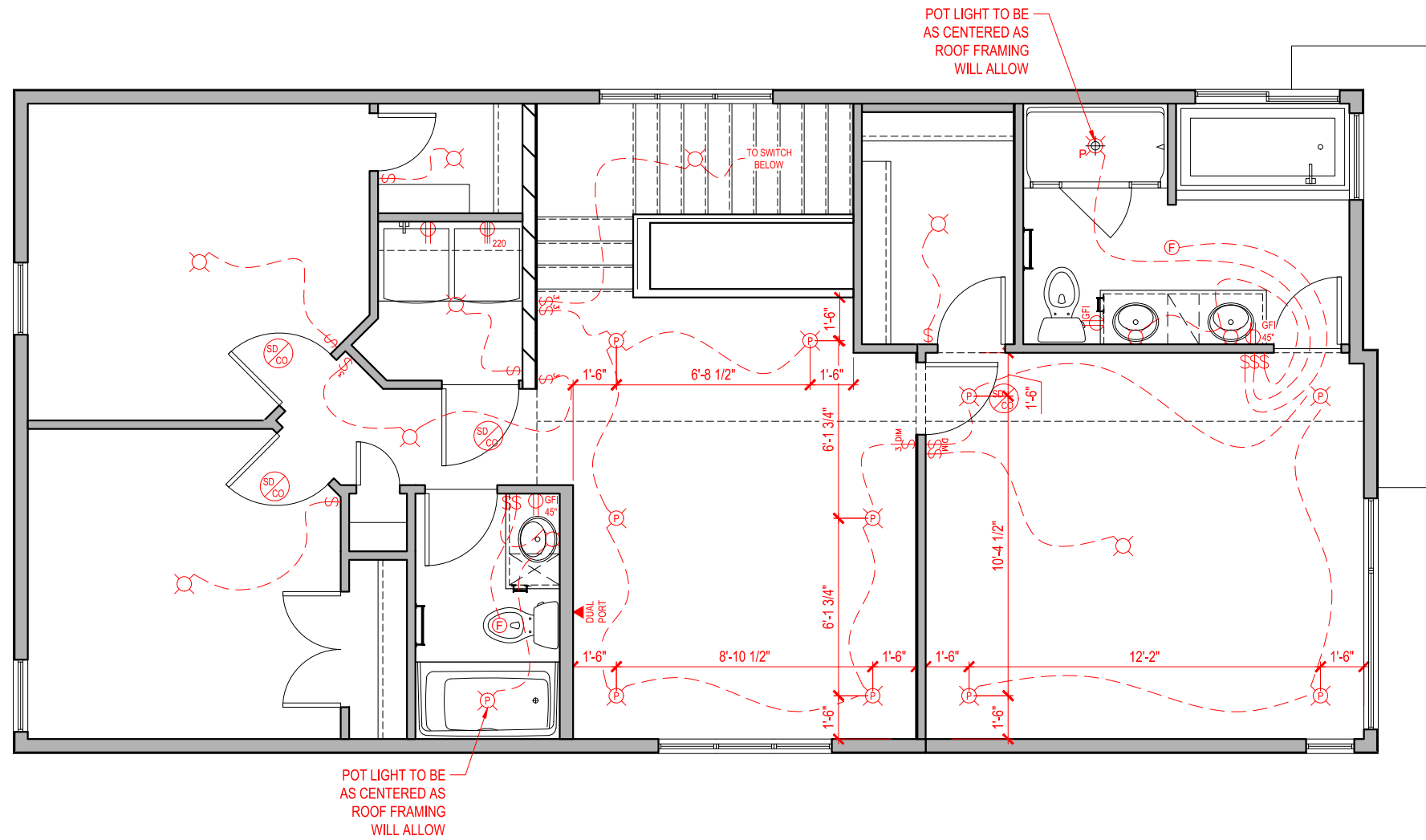
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REL	00	
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	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
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	DUAL PORT DATA
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	STANDARD LIGHT FIXTURE
	6\" POT LIGHT
	4\" POT LIGHT
	DISC LIGHT FIXTURE
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	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60\" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72\" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3\" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

## SECOND FLOOR PLAN - ELECTRICAL

1066 Sq.Ft.

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## GENERAL NOTES:

- DO NOT SCALE DRAWINGS  
 - ALL CONSTRUCTION IS TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND ALSO TO CONFORM TO THE CURRENT PROVINCIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS

### A) CONCRETE WALL ASSEMBLIES: 2.17- 3.17

- NOTE: BEFORE DELIVERING CONCRETE TO SITE, TRADE TO CONTACT GABLECRAFT SUPERVISION TO CONFIRM ANY REQUIREMENT IN MIX DESIGN TO ACCOMMODATE HIGH SULFATE CONDITIONS SPECIFIC TO LOT  
 - NOTE: BEFORE FORMING FOOTING ON SITE, TRADE IS TO CONTACT GABLECRAFT SITE SUPERVISION TO CONFIRM ANY SPECIFIC SIZING REQUIREMENTS DUE TO GEOTECHNICAL OR DEEP FILL REPORTS  
 - FOUNDATION POLYURETHANE WATER PROOFING, 8" CONCRETE WALLS (25 MPA CONCRETE) REINFORCED W/ 4 ROWS OF 10M REBAR, 18"x6" CONTINUOUS CONCRETE FOOTINGS (20 MPA CONCRETE C/W 10M REBAR) WHEN REQUIRED AS PER SOIL BEARING TEST, MIN. 1'-6" BELOW GRADE & MIN. 4'-0" BELOW GRADE FOR FULL BASEMENT & CRAWL SPACE.  
 - INTERIOR STUDS  
 A-1= 2X4 INTERIOR STUDS @ 24" O/C W/PRESSURE TREATED 2X4 BOTTOM PLATE AND 2-2X4 TOP PLATES. FULL HEIGHT R-20 FIBERGLASS BATT INSULATION W/6 MIL POLY VAPOUR BARRIER TO FULL BASEMENT AREAS (RSI 3.17) A-2= 2X4 INTERIOR STUDS (FOR INTERIOR PARTY WALLS) @ 24" O/C W/ PRESSURE TREATED 2X4 BOTTOM PLATE AND 2-2X4 TOP PLATES. R-12 FIBERGLASS BATT INSULATION W/6 MIL POLY VAPOUR BARRIER TO UNFINISHED AREAS (RSI 2.17) A-3= FOILED BACK BLANKET INSULATION (R-12) TO CRAWL SPACE AREAS. (RSI=2.34)  
 - WHERE STEP FOOTINGS OCCUR, THE VERTICAL DIMENSION OF EACH STEP SHALL NOT EXCEED 23 5/8" AND THE MINIMUM HORIZONTAL DIMENSION OF EACH STEP SHALL BE 23 5/8"  
 - BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MINIMUM BEARING CAPACITY OF 100kPa OR GREATER.  
 - INCREASE FOOTING SIZE TO 22"x7" FOR 3-STOREY HOUSES OR 2 STOREY WITH WALK-OUT BASEMENT CONDITION  
 - 100MM (4") DIA. WEEPING TILE 150MM (6") CRUSHED STONE OVER AND AROUND WEEPING TILES  
 - BEAM POCKET, MINIMUM BEARING 3 1/2"

### LUMBER:

- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER, OR AS NOTED  
 - ALL STUDS ARE CONSTRUCTION GRADE SPRUCE OR BETTER

### ENGINEERED FRAMING PRODUCTS:

- ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER

### TRUSSES:

- ENGINEERED ROOF TRUSSES TO BE INSTALLED AS PER DRAWINGS PROVIDED WITH THE MANUFACTURER'S SPECIFICATION SUPERSEDING  
 - STANDARD EAVE OVERHANG AS PER ELEVATION

### FLOORS AND SUPPORTS:

- ENGINEERED COLUMNS AND BEAMS AS PER ENGINEERED FLOOR DRAWINGS  
 - LVL BEAMS SHALL BE 2.OE WS MICRO-LAM LVL (Fb=2800psi.MINIMUM) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 3 1/2" LONG COMMON WIRE NAILS @ 12" O/C STAGGERED IN 2 ROWS FOR 7 1/4", 9 1/2", 11 7/8" DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 1/2" DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM @ 3'-0" O/C  
 - JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS

### FRAMING NOTES:

- ENSURE EDGE OF LOWER ROOF VENT HOLES ARE 48" FROM THE FASCIA  
 - ROOF VENTS MUST BE A MINIMUM OF 36" FROM VALLEYS  
 - STAGGER UPPER & LOWER VENTS WHERE POSSIBLE  
 - ROOF VENT HOLES TO BE APPROX. 8"x8"  
 - ROOF VENT MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MINIMUM 12")  
 - ENSURE VENTS AT EQUAL HEIGHTS ARE IN LINE W/ EACH OTHER  
 - STANDARD EAVE OVERHANG AS PER ELEVATION  
 - SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT PROVINCIAL BUILDING CODE.  
 - BUILT-UP-POST WITH DAMPROOFING MATERIAL WRAPPED AT THE END OF POST ANCHORED TO CONCRETE FOOTING

### EXPOSED BUILDING FACE

- EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES WHERE LIMITING DISTANCE IS LESS THAN 3'-11". WHERE THE LIMITING DISTANCE IS LESS THAN 1'-11", THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL

### B) FIRE SEPERATION WALLS:

#### SECONDARY SUITE:

(USING PHOTO-ELECTRIC SMOKE/CO DETECTORS IN SUITE INTERCONNECTED TO MAIN HOME)

WALL TYPE = W3C (FIRE = 45 MIN, STC = 43)

- 1/2" TYPE X DRYWALL (MAIN UNIT SIDE)  
 - 2X4 STUDS @ 24" O/C UNLESS OTHERWISE NOTED  
 - 3 1/2" FIBREGLASS BATT INSULATION  
 - RESILIENT METAL CHANNEL @ 24" O/C (SUITE SIDE)  
 - 1/2" TYPE X DRYWALL (SUITE SIDE)  
 - ALL PENETRATIONS TO BE FIRE RATED  
 SEMI-ATTACHED:  
 - MIN. 1 HOUR FIRE RATED PARTY WALL  
 - 2 LAYER 1/2" TYPE X DRYWALL (1/2" OVER 5/8" TO BATHROOM AREAS)  
 - 2x4/2x6 STUDS @ 16" O/C  
 - 3 1/2" MINERAL FIBRE THERMAL BATT INSULATION  
 - 1" GAP  
 - 3 1/2" MINERAL FIBRE THERMAL BATT INSULATION  
 - 2x6 STUDS @ 16" O/C  
 - 2 LAYER 1/2" TYPE X DRYWALL (1/2" OVER 5/8" TO BATHROOM AREAS)  
 - ALL PENETRATIONS TO BE FIRE RATED  
 - REFER TO DETAILS FOR ADDITIONAL INFORMATION

### NOTE: STABILITY OF NARROW (20'-25') & TALL (+/- 30') HOUSES:

- BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION.  
 - IN ADDITION TO STIFFING THE STRUCTURE IN TRANSVERSE DIRECTION USE 7/16" THICK PLYWOOD NAILED TO THE INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2 INTERIOR PARTITION WALLS ON BOTH SIDES AND PERPENDICULAR TO THE LONG WALLS.

### C) TALL WALLS: RSI = 2.60

- SEE ENGINEERING LETTERS AND/OR LAYOUTS

### D) INTERIOR PARTITION WALL ASSEMBLIES

#### INTERIOR STUD PARTITIONS:

- BEARING PARTITIONS 2"x4" @ 16" O/C FOR 2 STORIES AND 12" O/C FOR 3 STORIES, 1/2" DRYWALL BOTH SIDES  
 - NON-BEARING PARTITIONS 2"x4" @ 24" O/C PROVIDE (1-2"x4") BOTTOM PLATE AND (2-2"x4") TOP PLATE, 1/2" DRYWALL BOTH SIDES OF STUD, PROVIDE 2"x6" @ 24" O/C STUDS/PLATES WHERE NOTED. NON-BEARING PARTITIONS 2"x4" OR 2"x6" @ 24" O/C, 1/2" DRYWALL BOTH SIDES

- DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES

### E) FLOOR ASSEMBLIES: RSI = 1.80 - 3.72

#### GENERAL CONDITION:

- FINISH AS SPECIFIED  
 - 3/8" PARTICLE BOARD UNDER LINO AREAS  
 - 3/4" TONGUE & GROOVE O.S.B NAILED, GLUED, AND SCREWED  
 - ENGINEERED FLOOR SYSTEM PONY WALL CONDITION (RSI = 1.80) END RIM BOARD CONDITION (RSI = 3.74)  
 - R-19 FIBERGLASS BATT INSULATION TO RIM JOISTS & VENT PENETRATION ONLY  
 - STRAPPING AS REQUIRED  
 - 1/2" DRYWALL AS REQUIRED

#### SUITE SEPARATION:

FLOOR TYPE = F8H (FIRE = 30 MIN, STC =48, IMPACT = 43)

- FINISH AS SPECIFIED  
 - 3/8" PARTICLE BOARD UNDER LINO AREAS  
 - 3/4" TONGUE & GROOVE O.S.B NAILED, GLUED, AND SCREWED  
 - ENGINEERED FLOOR SYSTEM PONY WALL CONDITION (RSI = 1.80) END RIM BOARD CONDITION (RSI = 3.74)  
 - 5 1/2" FIBREGLASS BATT INSULATION  
 - RESILIENT CHANNEL @ 24" O/C  
 - 1/2" TYPE X DRYWALL

### EXTERIOR ENVELOPE WALL ASSEMBLIES:

### F) EXTERIOR WALL: RSI= 2.64 - 2.78

- FINISHED AS SPECIFIED  
 - BUILDING PAPER  
 - 7/16" O.S.B  
 - FIRE RETARDANT SPRAY  
 - 2"x6"  
 STUDS @ 24" O/C, RSI = 2.78  
 STUDS @ 16" O/C (ON MAIN FLOOR FOR HOMES W/ LOFTS OR STUCCO FINISHED WALLS), RSI = 2.69  
 STUDS @ 12" O/C, RSI = 2.64  
 - R-19 FIBERGLASS BATT INSULATION  
 - WINDOW & DOOR LINTEL TO BE 2-2"x10" OR AS PER CURRENT PROVINCIAL BUILDING CODE  
 - FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE  
 - 6 MIL POLY VAPOUR BARRIER  
 - 1/2" DRYWALL (DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES)

### EXTERIOR ENVELOPE WALL ASSEMBLIES:

### G) EXTERIOR WALL: RSI= 2.64 - 2.78

- FINISHED AS SPECIFIED  
 - BUILDING PAPER  
 - 7/16" O.S.B  
 - FIRE RETARDANT SPRAY  
 - 2"x6"  
 STUDS @ 24" O/C, RSI = 2.78  
 STUDS @ 16" O/C (ON MAIN FLOOR FOR HOMES W/ LOFTS OR STUCCO FINISHED WALLS), RSI = 2.69  
 STUDS @ 12" O/C, RSI = 2.64  
 - R-19 FIBERGLASS BATT INSULATION  
 - WINDOW & DOOR LINTEL TO BE 2-2"x10" OR AS PER CURRENT PROVINCIAL BUILDING CODE  
 - FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE  
 - 6 MIL POLY VAPOUR BARRIER  
 - 1/2" DRYWALL (DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES)

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**H) STANDARD ATTACHED GARAGE EXTERIOR WALL: RSI= 2.69-2.78**

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- 2X6 STUDS @ 24" O/C (RSI=2.78) (16" O/C FOR STUCCO) FINISHED WALLS(RSI= 2.69))
- R-19 FIBERGLASS BATT INSULATION
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

**I) CANTILEVER FLOOR AND WALL ASSEMBLY: RSI= 4.86**

- 3/4" O.S.B
- JOISTS
- TO CANTILEVER R-28 FIBERGLASS BATT INSULATION (RSI=4.86) 1/2" EXTERIOR DRYWALL IF DISTANCE TO GRADE IS GREATER THAN 24"
- NON-VENTED SOFFIT ON EXPOSED AREAS

**I) ZERO LOT LINE HIRF WALL: RSI= 2.69**

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 5/8" EXTERIOR GYPSUM EQUIVALENT (5/8" TO BE USED ON LOFT MODELS)
- 2"X6" STUDS @ 16" O/C
- R-19 FIBERGLASS BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 5/8" TYPE X DRYWALL

**J) WALKOUT WALL: RSI = 2.69**

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- 2"X6" STUDS @ 16" O/C
- R-19 FIBERGLASS BATT INSULATION
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

**K) ROOF CONSTRUCTION: RSI = 4.79 - 7.07**

- ASPHALT SHINGLES
- 7/16" O.S.B SHEATHING WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" O/C MAXIMUM
- K1- TYPICAL TRUSS ASSEMBLY W/ R40 GLASS FIBRE LOOSE FILL INSULATION = RSI 7.07
- K2- VAULTED TRUSS ASSEMBLY W/ R40 BATT INSULATION = RSI 6.91
- K3- RAFTER CEILING ASSEMBLY W/ R28 BATT INSULATION = RSI 4.79
- APPROVED EAVE PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND 12" BEYOND INNER FACE OF EXTERIOR WALL. 2"X4" TRUSS BRACING @ 6'-0" O/C AT BOTTOM CHORD.
- PREFINISHED ALUMINUM EAVES TROUGH, FASCIA, EAVESTROUGH & VENTED OR NON-VENTED (WHERE REQUIRED) SOFFIT.
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

**CONCRETE FLATWORK:**

- BEFORE DELIVERING CONCRETE TO SITE, TRADE TO CONTACT GABLECRAFT SUPERVISION TO CONFIRM ANY REQUIREMENT IN MIX DESIGN TO ACCOMMODATE HIGH SULFATE CONDITIONS SPECIFIC TO LOT.

**DRIVEWAY:**

- DRIVEWAY TO BE 4" THICK 32MPA CONCRETE DURAMIX SIDEWALK/FROTWALK:
- FRONT WALK TO BE POURED WIDTH OF FRONT STEPS AND FLARED DOWN TO 3'-0" WIDE.

**L) BASEMENT/ WALKOUT SLAB: RSI = 0.19**

- 3" THICK CONCRETE SLAB 32 MPA TYPE 10 CONCRETE, 6 MIL POLY VAPOUR

- BARRIER - JOISTS TO BE LAPPED
- 3" TYPE 1 EXTRUDED POLYSTYRENE FOR 4'-0" HORIZONTALLY AND VERTICALLY FROM U/S SLAB TO TOP OF FOOTING WHERE SLAB IS ABOVE GRADE (WALKOUTS)
- 6" DRAINAGE GRAVEL

**N) 3-STOREY CURB DETAIL: RSI = 1.84**

- 3" CONCRETE SLAB ON GRADE
- 3 1/2" STUDS
- R-12 FIBREGLASS BATT INSULATION
- FROST CURB TO OVER-LAP FRAMED EXTERIOR WALL BY MIN. 6"
- 6 MIL POLY VAPOUR BARRIER
- 3 1/2" PT HALF LADDER IN 8" FOUNDATION WALL
- EXTERIOR WALL ASSEMBLY ON TOP OF FOUNDATION WALL

**O) BALCONY ASSEMBLY: RSI= 5.09**

- 1/2" INTERIOR CEILING DRYWALL FINISH OR APPROVED EQUAL.
- R-28 FIBERGLASS BATT INSULATION
- 1 JOIST RAFTER
- 3/4" G1S PLYWOOD SLOPED 1/4" PER FOOT
- VINYL DECKING

**P) FLOOR ABOVE GARAGE ASSEMBLY: RSI= 4.99**

- 3/4" T & G OSB TO ACT AS AIR VAPOR AND BARRIER
- R-28 FIBERGLASS BATT INSULATION
- 1/2" INTERIOR CEILING DRYWALL FINISH OR APPROVED EQUAL.
- IF IN A SIDE YARD, SEE FOR HIRF ADDITIONS.

**DETACHED GARAGE SLAB:**

- 3 1/2" THICK 32 MPA CONCRETE DURAMIX SLOPED TO FRONT AT 1% MINIMUM
- 6" COMPACTED SAND

**ATTACHED GARAGE SLAB:**

- 4" 32 MPA CONCRETE SLAB SLOPED 5" TO FRONT W/5-8% AIR VENT WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL

**STUCCO WALL ASSEMBLY:**

- STUCCO APPLICATION, BUILDING PAPER EXPANDED METAL LATH, 3/8" O.S.B EXT. TYPE SHEATHING, 2"X6" STUDS @ 16" O/C
- PROVIDE 1-2"X6" BOTTOM PLATE AND 2-2"X6" TOP PLATE, R-19 BATT. INSULATION

**BRICK VENEER CONSTRUCTION:**

- STEEL LINTELS SIZED AND BOLTED IN ACCORDANCE TO THE ENGINEERS REVIEW AND DESIGN
- 4" FACE BRICK
- 1" AIR SPACE
- 7/8"X7"X0.03" GALVANIZED METAL TIES @ 32" O/C HORIZONTAL 16" O/C VERTICAL
- APPROVED SHEATHING PAPER 1/2" O.S.B EXT. TYPE SHEATHING
- 2"X6" STUDS @ 16" O/C
- R20 FIBERGLASS BATT INSULATION AND 6 MIL POLY VAPOUR BARRIER WITH APPROVED CONTINUOUS AIR BARRIER.
- 1/2" DRYWALL FINISH
- PROVIDE WEEP HOLES @ 32" O/C BOTTOM COURSE, PROVIDE BASE FLASHING UP MINIMUM 6" BEHIND BUILDING PAPER
- SEE ENGINEERS BRICK CLADDING DETAIL

**WINDOWS AND EXTERIOR DOORS:**

- LOW-E COATING TO ALL WINDOWS AND DOORS, EXCLUDING STANDARD BASEMENT WINDOWS
- MINIMUM BEDROOM WINDOW - CURRENT PROVINCIAL BUILDING CODE
- AT LEAST ONE BEDROOM WINDOW PER BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MINIMUM CLEAR WIDTH OF 1'-3" WINDOW GUARDS - CURRENT PROVINCIAL BUILDING CODE
- A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-6" ABOVE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR

- TO ADJACENT GRADE IS GREATER THAN 5'-11"
- STANDARD WINDOW HEIGHT TO BE 6'-11 3/4" FROM SUB-FLOOR TO TOP OF WINDOW, UNLESS OTHERWISE SPECIFIED
- RESISTANCE TO FORCED ENTRY
- ALL WINDOWS WITHIN 6'-7" OF ADJACENT GROUND LEVEL AND ALL ENTRANCE DOORS TO DWELLING UNITS ARE TO BE RESISTANT TO FORCED ENTRY AS PER CURRENT PROVINCIAL BUILDING CODE
- WINDOW OVER STAIRS & LANDINGS AS PER CURRENT PROVINCIAL BUILDING CODE
- A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 2'-11" ABOVE THE SURFACE OF THE TREAD, RAMP, OR LANDING
- U VALUE OF ALL DOORS, WINDOWS AND SKYLIGHTS TO BE NO GREATER THAN 1.7 W/ (SQ.M. K).
- STANDARD WINDOW HEIGHT TO BE FRAMED @ 7'-0" FROM FLOOR TO U/S OF HEADER

**DRYWALL AND INSULATION:**

- GARAGE:
- 1/2" GYPSUM BOARD ON INTERIOR GARAGE WALL AND CEILING, 6 MIL POLY VAPOUR BARRIER, R-19 BATT. INSULATION IN WALL & R-40 BATT. INSULATION IN CEILING, TAPE AND SEAL & STRUCTURAL SUPPORT ALL JOINTS, IN ORDER TO BE GAS/FUME TIGHT
- FOAM INSULATION:
- PROVIDE R28 FIBERGLASS BATT INSULATION & VAPOUR BARRIER FOR CANTILEVERED FLOORS.

**STAIRS AND RAILINGS:**

- ALL STAIRS/EXTERIOR STAIRS, B.C. BUILDING CODE 2018.
- MAXIMUM RISE: 7 7/8"
- MAXIMUM NOSING: 1"
- MINIMUM HEADROOM: 6'-8 3/4"
- RAIL HEIGHT @ LANDING: 3'-6"
- RAIL HEIGHT @ STAIRS: 3'-6"
- MINIMUM STAIR WIDTH: 2'-10"
- RAILINGS
- FINISHED RAILING ON PICKETS SPACED MAXIMUM 4" BETWEEN PICKETS GUARDS
- INTERIOR GUARD HEIGHT: 3'-0" MINIMUM
- EXTERIOR GUARD HEIGHT: 3'-0" MINIMUM
- STAIRS TO BE MANUFACTURED TO 3" NARROWER THAN STAIRWELL OPENING

**ELECTRICAL NOTES:**

- WHEN PLACING SWITCHES AND OUTLETS OVER COUNTERTOP AREAS ENSURE PLATES (UNLESS SPECIFIED OTHERWISE DUE TO LOCATION)
- ALL ELECTRICAL LOCATIONS ARE APPROXIMATE AND PLACED AS PER CODE
- PROVIDE & INSTALL GARAGE DOOR OPENER C/W 2 REMOTE OPENERS & MOTION SENSOR
- ELECTRICAL PANEL LOCATION TO BE DETERMINED ON SITE
- STANDARD ELECTRICAL SWITCH HEIGHT TO BE 45" TO BOTTOM OF BOX
- SMOKE / CO DETECTORS IN BASEMENTS SUITE TO BE PHOTO-ELECTRIC AND BE INTERCONNECTED TO THE MAIN HOUSE

**FLOOR PLAN NOTES:**

- PLACE MIRROR DIRECTLY ABOVE BACKSPLASH IN BATHS
- WHEN PLACING WASHER & DRYER, ENSURE THAT THE DRYER IS TO THE RIGHT OF THE WASHER
- FURNACE AND GHWT LOCATIONS ARE APPROX. AND MAY BE ALTERED PENDING ON SITE CONDITIONS
- MAN DOOR TO ATTACHED GARAGE WILL BE EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
- ATTIC HATCH TO BE 22"x36", ACCESS HATCHES CANNOT ALWAYS BE INSTALLED WHERE SPECIFIED TO ALLOW PROPER SPACE FOR MAN ACCESS AS PER BUILDING CODE.

**HVAC NOTES**

- SECONDARY SUITES TO BE HEATED WITH BASEBOARD HEATING WITH THE USE OF PASSIVE VENTING AND A CONTINUOUS PRINCIPAL EXHAUST FAN



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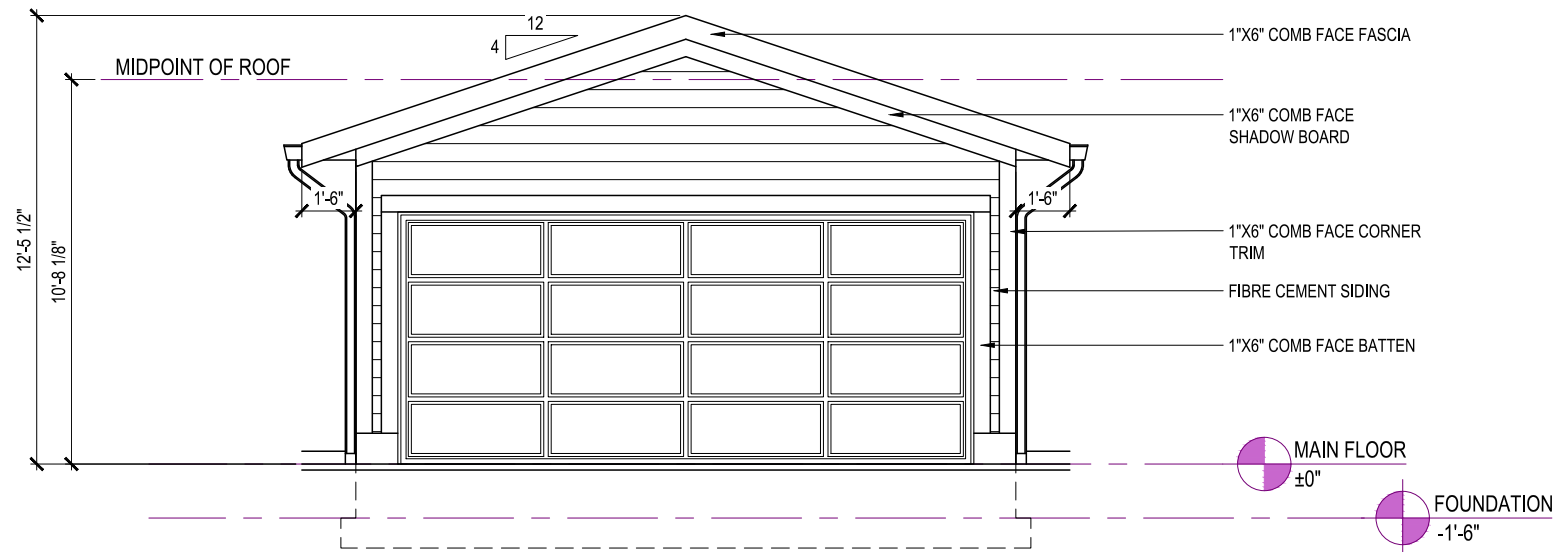
WESTWICK  
ELEVATION E

2112 SQ. FT

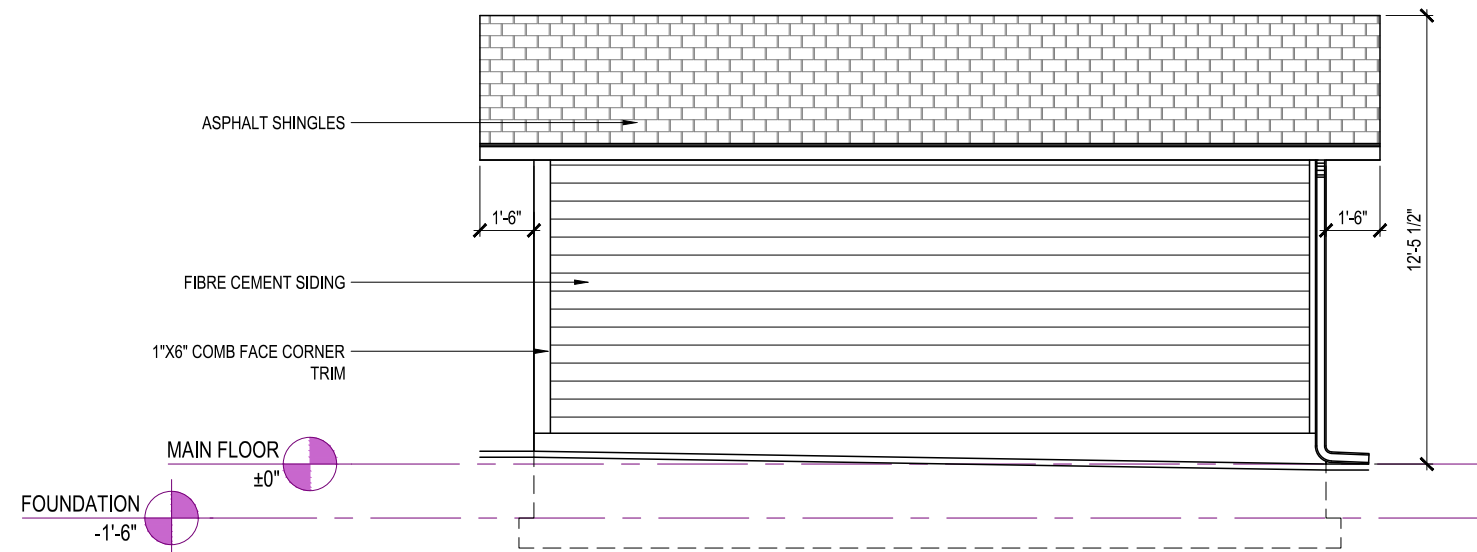
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COLWOOD, BRITISH COLUMBIA

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SEC	01	
REL	00	
JOB	43-01-00-007	

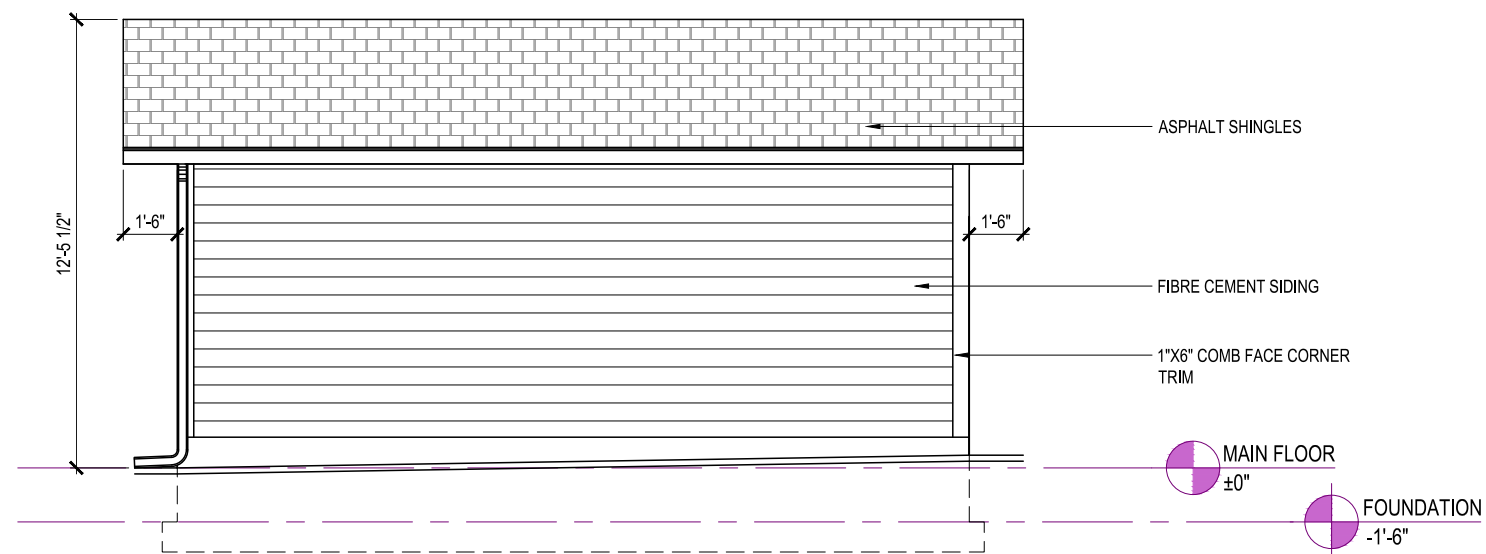
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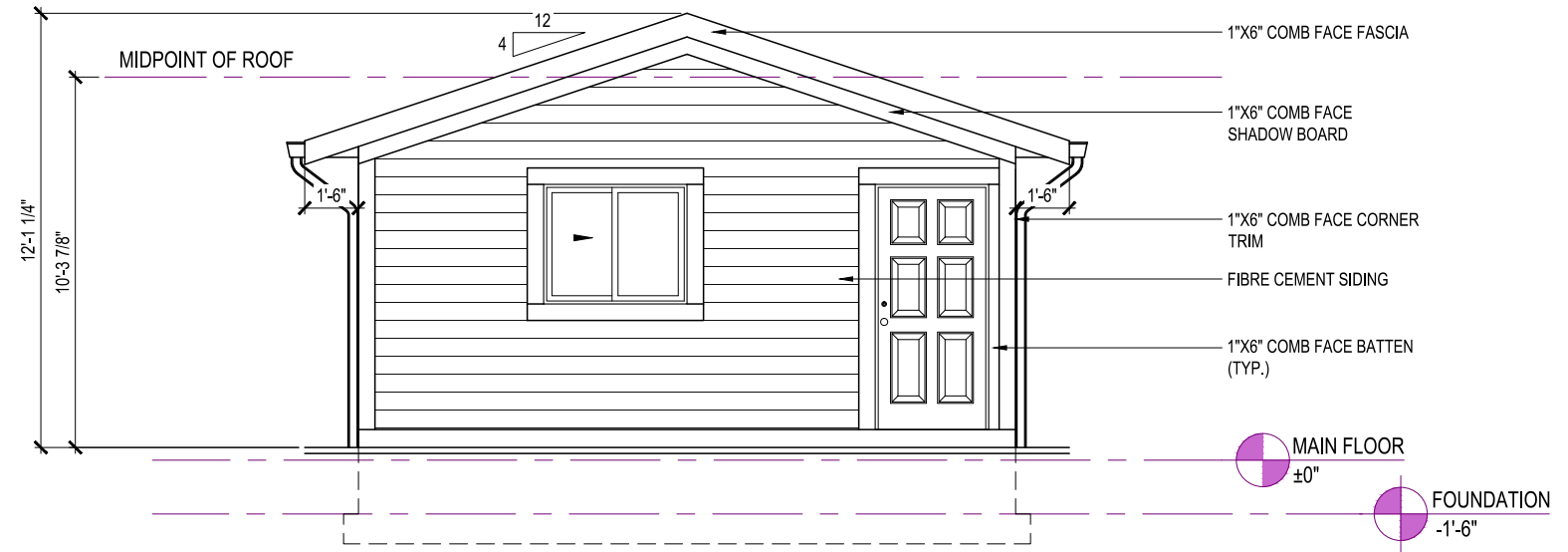
FRONT ELEVATION  
STYLE - SIDE TO SIDE



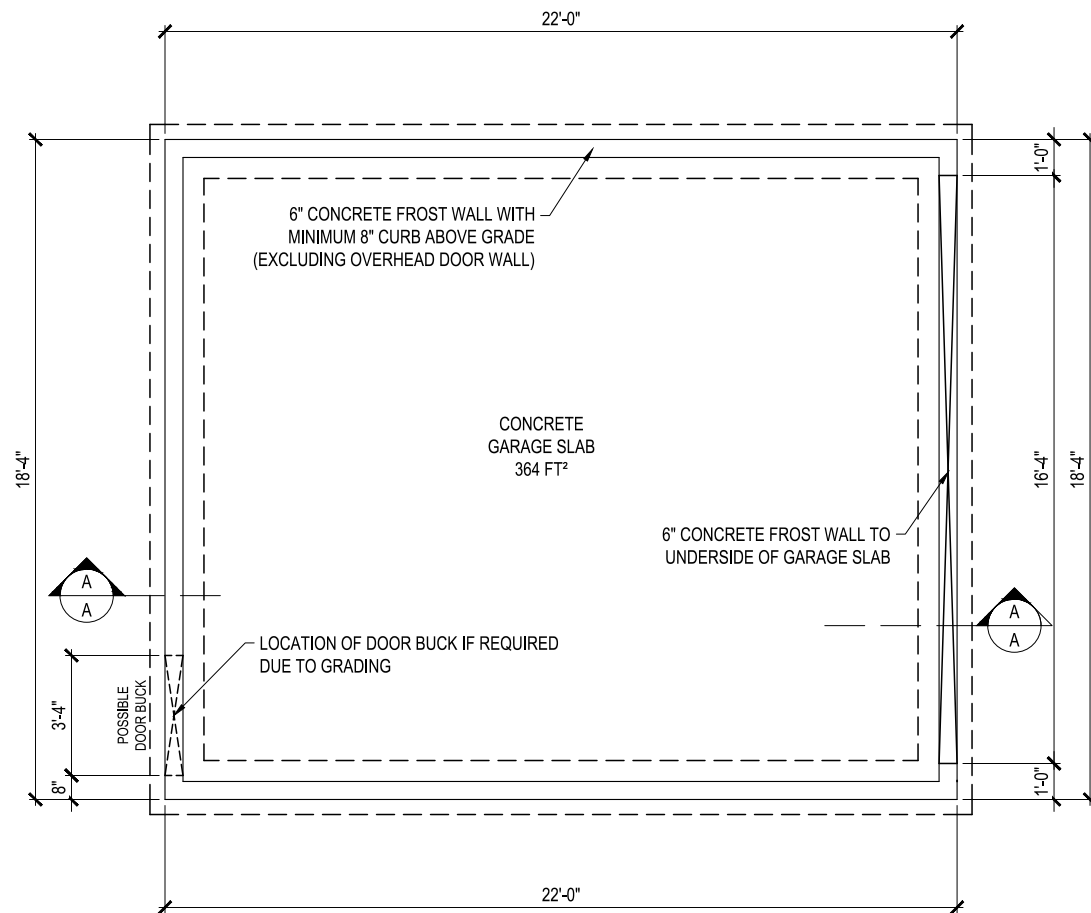
LEFT ELEVATION



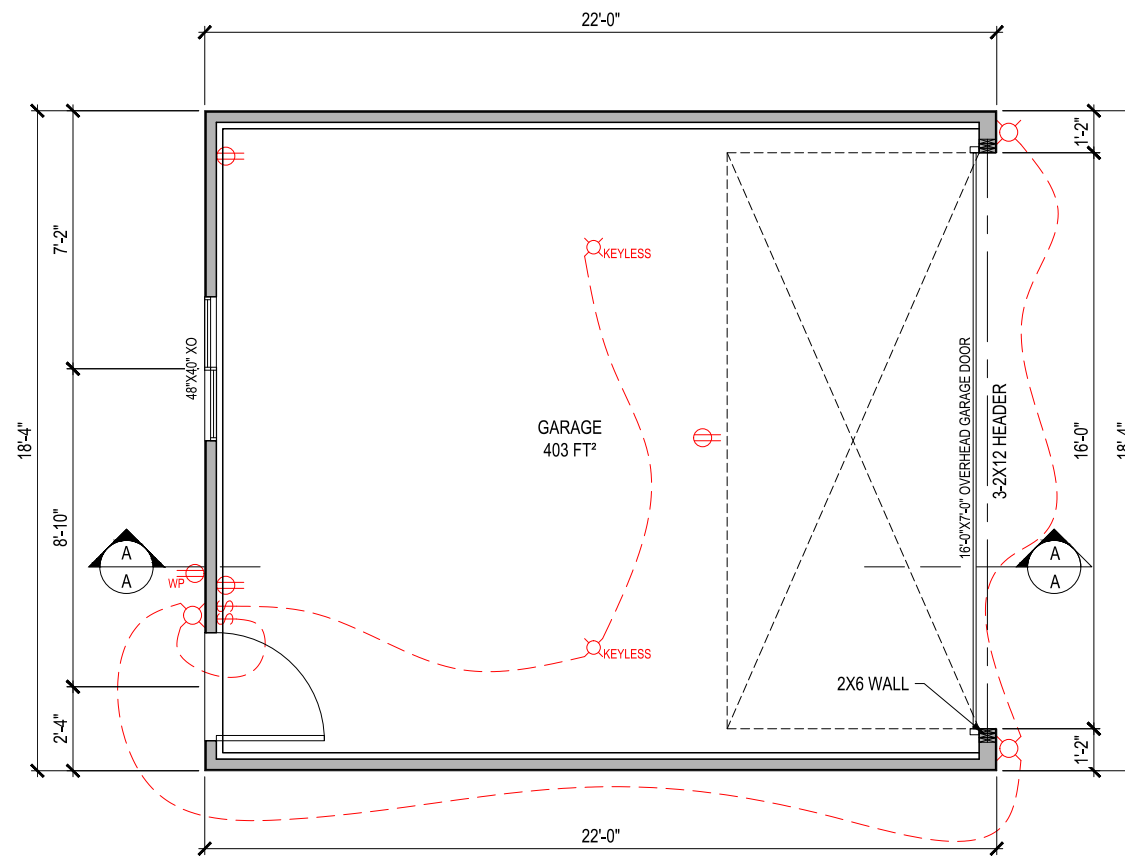
RIGHT ELEVATION



REAR ELEVATION



**FOUNDATION PLAN**

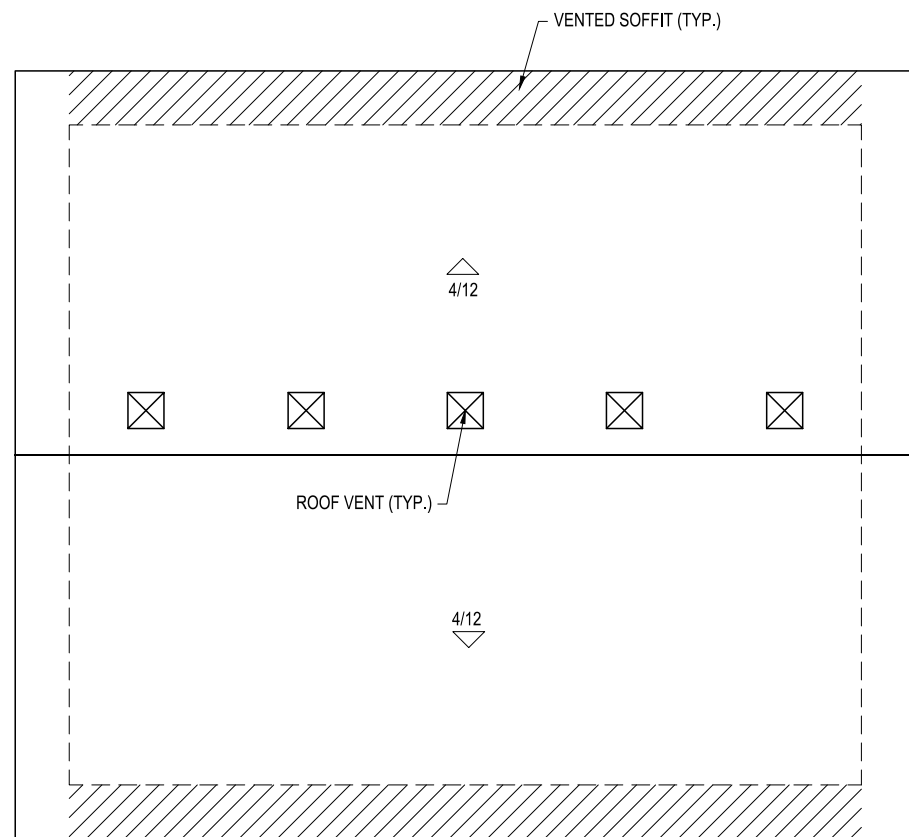


**MAIN FLOOR PLAN**  
440 FT²

	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	STANDARD LIGHT FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	DISC LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	TRACK LIGHT (2)
	TYPICAL CONDUIT
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	UNDERCABINET LIGHTING
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

LOT	##	SCALE: $\frac{3}{16}'' = 1'-0''$
SECTOR	##	
RELEASE	##	
JOB #	??-??-??-???	

REV. NO.	DESIGN	DATE	REMARKS
1	???	MM/DD/YY	WORKING DRAWING CREATION

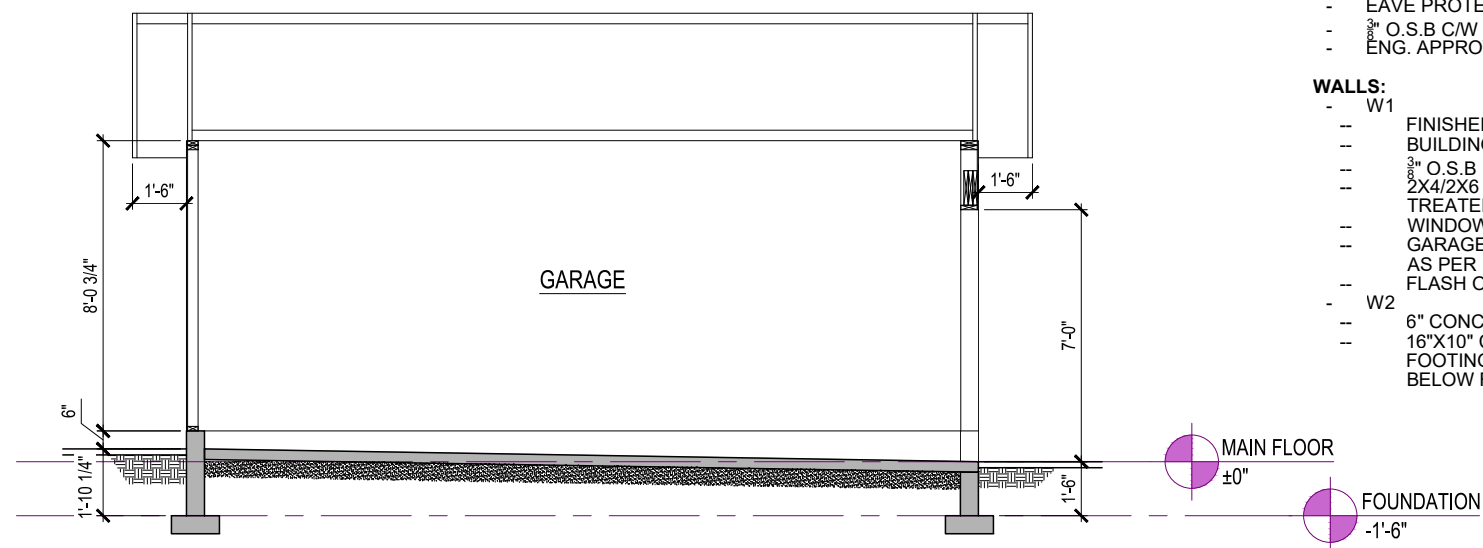


# ROOF PLAN

403 FT<sup>2</sup>

**FRAMER NOTE:**

- ENSURE THE EDGE OF THE BOTTOM ROOF VENT HOLE IS 48" AWAY FROM THE FASCIA
- ROOF VENTS MUST BE A MINIMUM OF 36" AWAY FROM VALLEYS
- STAGGER UPPER AND LOWER VENTS WHERE POSSIBLE
- ROOF VENT HOLES TO BE APPROX. 8" X 8"
- ROOF VENTS MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MIN. OF 12")
- ENSURE THAT VENTS AT EQUAL HEIGHT ARE IN LINE WITH EACH OTHER
- FRAMERS TO CONFIRM THE VENTING LAYOUT WITH ROOFING INSTALLER PRIOR TO FRAMING VENT LOCATIONS



# SECTION A-A

- DO NOT SCALE DRAWINGS
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER, OR AS NOTED
- ALL STUDS ARE CONSTRUCTION GRADE SPRUCE OR BETTER
- ENGINEERED ROOF TRUSSES TO BE INSTALLED AS PER DRAWINGS PROVIDED. MANUFACTURER'S SPECIFICATIONS SUPERSEEDING
- EAVE OVERHANGS AS PER ELEVATION

**FLOOR:**

- 3 3/4" THICK 27.5 MPA CONCRETE DURAMIX SLOPED A MINIMUM OF 1% TOWARDS FRONT
- 6" COMPACTED SAND

**ROOF:**

- ASPHALT SHINGLES
- ROOF VENTS AS REQUIRED
- EAVE PROTECTION AS REQUIRED
- 3/8" O.S.B C/W H-CLIPS
- ENG. APPROVED TRUSSES @ 24" O/C

**WALLS:**

- W1
  - FINISHED AS SPECIFIED
  - BUILDING PAPER
  - 3/8" O.S.B
  - 2X4/2X6 STUDS @ 24" O/C W/PRESSURE TREATED BOTTOM PLATE TO PERIMETER
  - WINDOW & DOOR LINTELS TO BE 2-2X10
  - GARAGE DOOR LINTEL TO BE 3-2X12 OR AS PER ROOF LAYOUT
  - FLASH OVER ALL OPENINGS
- W2
  - 6" CONCRETE WALL
  - 16"X10" CONTINUOUS CONCRETE FOOTING. TOP OF FOOTING MIN. 18" BELOW FINAL GRADE



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18'4"X22' GARAGE  
SIDE TO SIDE  
403 FT<sup>2</sup>

??? COLWOOD, BRITISH COLUMBIA

LOT	##	SCALE: 3/16" = 1'-0"
SECTOR	##	
RELEASE	##	
JOB #	??-??-??-???	

REV. NO.	DESIGN	DATE	REMARKS
1	???	MM/DD/YY	WORKING DRAWING CREATION

SHEET NUMBER

03









8/26/2020 3:42 PM





FRONT ELEVATION  
STYLE - TRANSITIONAL MODERN

**LEGEND**

-  MOUNTAIN CEDAR 18-2772 - VIC WEST
-  GRAY SLATE - JAMES HARDIE
-  WROUGHT IRON 2124-10 - BENJAMIN MOORE
-  BLACK 525 - GENTEK
-  IRON ORE 5P6 - GENTEK
-  TOFINO SKY SQUARES & RECS - K2
-  DUAL BLACK - IKO CAMBRIDGE
-  OXFORD BROWN SEMI-SOLID - BENJAMIN MOORE

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WESTWICK  
ELEVATION E

TBD TRADEWINDS AVENUE,  
COLWOOD, BRITISH COLUMBIA

LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

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SHEET NUMBER  
**01**



LEFT ELEVATION

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ELEVATION E

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LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

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02



RIGHT ELEVATION

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ELEVATION E

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LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER

03



REAR ELEVATION

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WESTWICK  
ELEVATION E

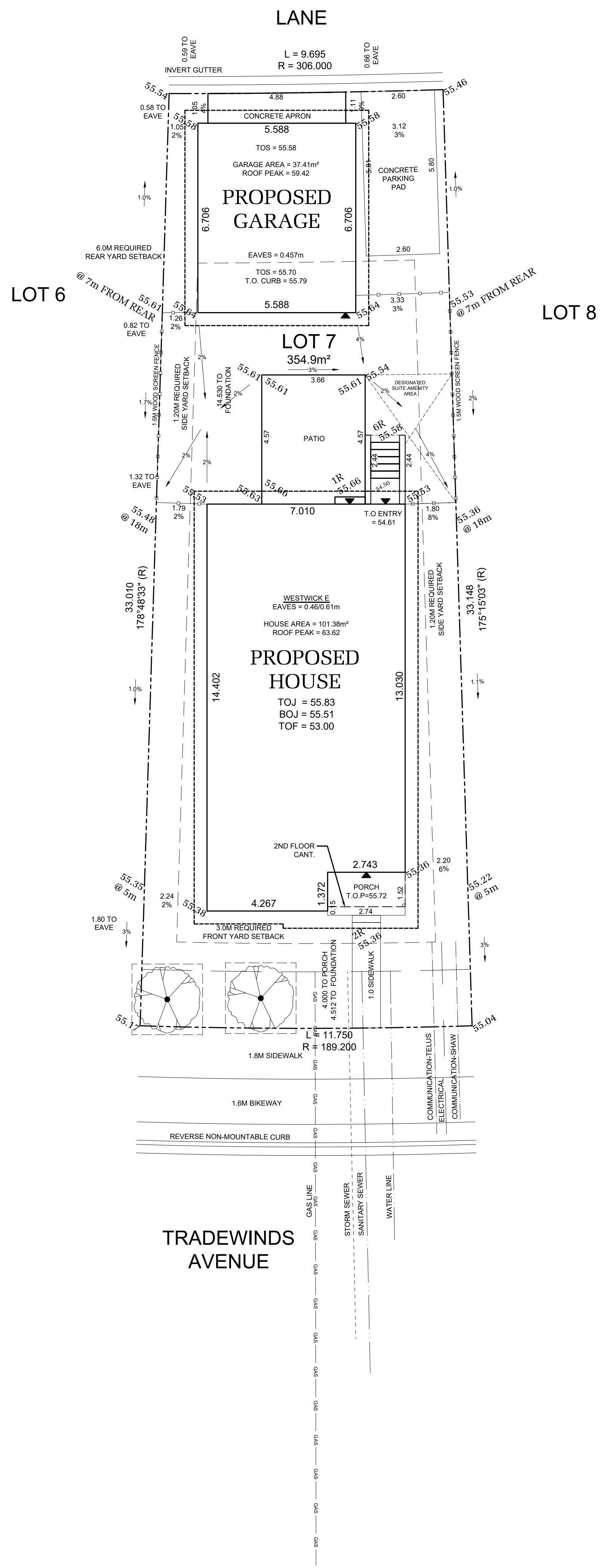
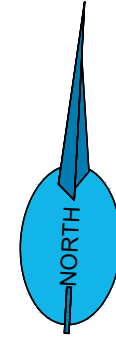
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LOT	007	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	01	
REL	00	
JOB	43-01-00-007	

REV. NO.	DESIGN	DATE	REMARKS
1	DVD	02/08/22	INITIAL WORKING DRAWINGS

SHEET NUMBER

04



BY-LAW ZONE DATA: ROYAL BAY RBCD5		
DEVELOPMENT REGULATION	REQUIRED	PROPOSED
LOT TYPE	COMPACT ONE-FAMILY DWELLING	
LOT AREA	278 m <sup>2</sup> (min.)	354.9 m <sup>2</sup>
LOT WIDTH	9.15m (min.)	11.13m
LOT COVERAGE	50% (max.)	39.1%
BUILDING HEIGHT (PRINCIPLE)	9.5m (max.)	6.8m
ACCESSORY BUILDING HEIGHT	4.5m (max.)	3.3m
FRONT SETBACK (PRINCIPLE)	3.0m (min.)	4.0m
SIDE SETBACK (PRINCIPLE)	1.2m (min.)	1.79m/1.80m
REAR SETBACK (PRINCIPLE)	6.0m (min.)	14.53m
REAR SETBACK (ACCESSORY)	1.0m (min.)	1.0m
COMBINED FLOOR AREA (ACCESSORY)	60m <sup>2</sup> (max.)	37.41m <sup>2</sup>

## PLOT PLAN

**IMPORTANT NOTE**  
**ALL DIMENSIONS AND SERVICES MUST BE**  
**CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION**

LOT INFORMATION	VALUE
MINIMUM MAIN FLOOR ELEVATION (MFE)	55.58
GARAGE FLOOR ELEVATION (GFE)	55.67
MAXIMUM FINAL GRADE ELEVATION (MFGFE)	NA
MINIMUM SANITARY SERVICEABLE ELEVATION (MSE)	52.80
PROPOSED SANITARY SEWER SERVICE INVERT (S)	52
PROPOSED STORM DRAIN SERVICE INVERT (D)	51.80
BASEMENT FLOOR ELEVATION (BFE)	NA



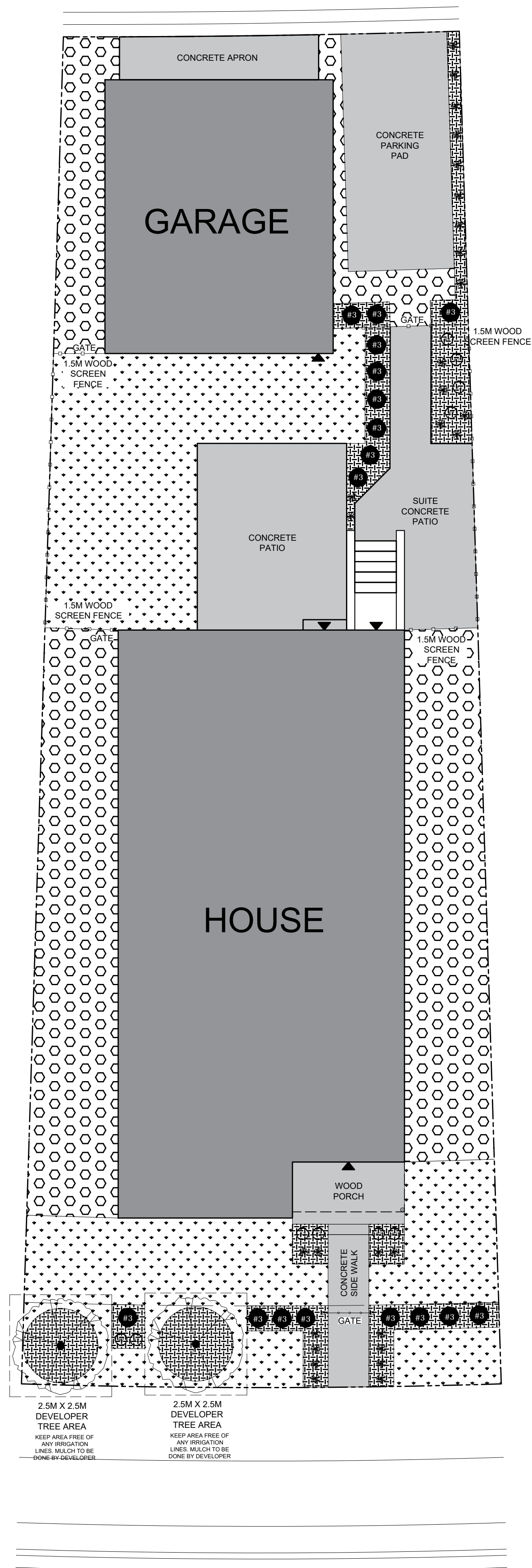
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LOT 7 SECTOR 1 REL 0  
 JOB 43-0100007 SCALE 1:100  
**TBD TRADEWINDS AVENUE**  
**COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	MDS	07/22/22	INITIAL PLOT PLAN DRAFTING

SHEET NUMBER  
**PLOT**





## LANDSCAPE PLAN

### IMPORTANT NOTES

1. ANY DEVIATIONS FROM THE ABOVE MUST BE FIRST REVIEWED AND APPROVED BY GABLECRAFT PRIOR TO INSTALLATION
2. USE THIS PLAN IN CONJUNCTION WITH APPROVED DEVELOPMENT PERMIT LANDSCAPE PLAN

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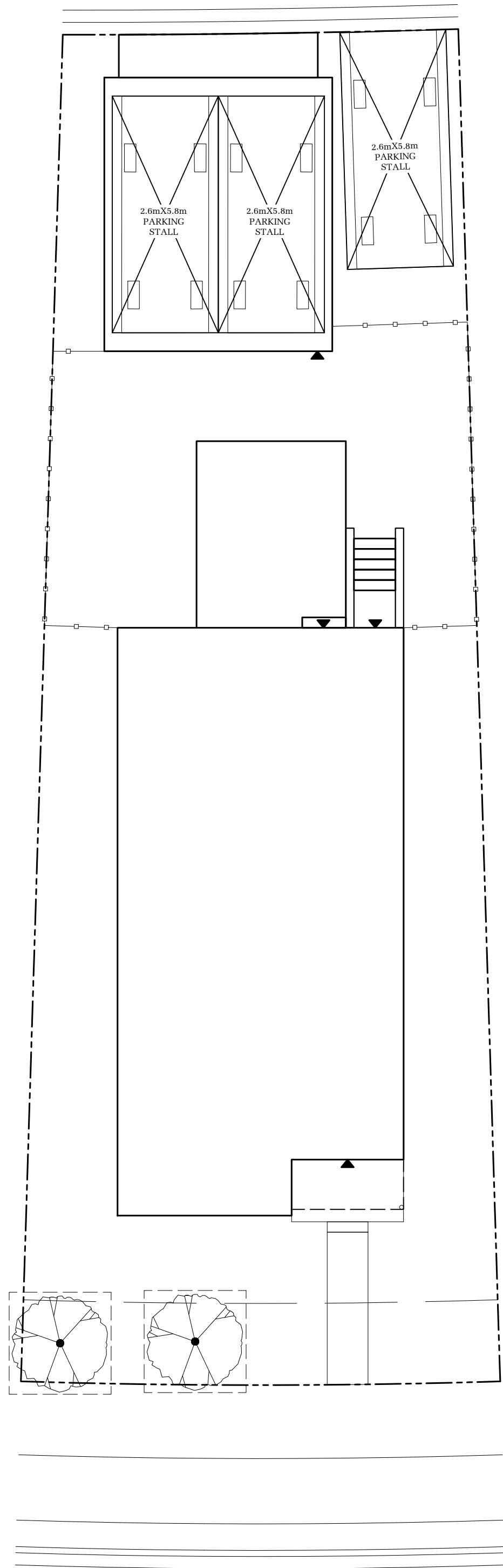
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LOT 7 SECTOR 1 REL 0  
JOB 43-0100007 SCALE 1:75  
**TBD TRADEWINDS AVENUE  
COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS	SHEET NUMBER	PLOT
1	MDS	07/22/22	INITIAL LANDSCAPE DRAFTING		

PLANTING LEGEND						
KEY	QTY	PLANTING	PLANTING SIZE	SPECIES A	SPECIES B	SPECIES C
#R	17	HEDGING SHRUB	#0 POT, 4-8FT IN HEIGHT 15" DEEP GROWING MEDIUM	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	YELLOW RIBBON HEDGING CEDAR <i>Thuja occidentalis 'Yellow Ribbon'</i>
#S	10	SHORT SHRUB	#2 POT, 60cm SPREAD 15" DEEP GROWING MEDIUM	DAVID'S VIBURNUM <i>Viburnum davidsonii</i>	KINKIKINICK <i>Actinophora chinensis</i>	DAWLEAF HYDRANGEA <i>Hydrangea davidsonii</i>
*	19	ORNAMENTAL GRASS	#1 POT, 20cm SPREAD 15" DEEP GROWING MEDIUM	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>
○	0	TREE	20th HEIGHT, TREE PIT TO BE DEPTH OF ROOT BALL WITH WIDTH BEING AT LEAST TWICE THE WIDTH OF ROOT BALL WITH SAUCER SHAPED SIDES. BARK MULCH COVER, PROVIDE A CLEAN MULCHED 3FT DIAMETER CIRCLE CENTRED ON TREE	KOUSA DOGWOOD <i>Cornus kousa</i>	FRANS FONTAINE EUROPEAN HORSEBEAM <i>Cornus reticulata 'Frans Fontaine'</i>	MAIDENHAIR TREE <i>Begonia xillanensis</i>

LOT IMPROVEMENTS LEGEND				
KEY	QTY	MATERIAL	SPECIFICATION	REMARKS
[Pattern]	52.57	LOAM (TOP SOIL) ONLY	TESTED AND APPROVED GROWING MEDIUM	1. MINIMUM 15% DEPTH
[Pattern]	34.09	LOAM (TOP SOIL), SOIL, AND IRRIGATION	NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS	1. LOAM TO BE A MINIMUM OF 10" DEPTH 2. SOIL TO BE NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS FOR SUN PLOTS FOR SHADE
[Pattern]	69.18	GRAVEL	CRUSHED GRANITE SCREENINGS	1. LARGER THAN 20MM SIZES SHALL BE REMOVED
[Pattern]	16.672	BARK MULCH	MIN. 10MM (3/8") AND DARK BROWN IN COLOUR	1. FREE OF FERTILIZERS, SOAK CHIPS & TREE CHAINS AND STICKS, ALL BARK, CORNERS & EDGES TO BE 100% KENTUCKY BLUE GRASS 2. 2" DEEP LAYER OF MULCH TO BE APPLIED 3. FRESH CHANGE IN COLOUR BARK WILL BE REJECTED
[Pattern]	22.29	1.5m WOOD SCREEN FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. SHALL BE SET TO PROTECT THE PROPERTY LINE 2. FULL HEIGHT OF SCREEN FENCE SHALL BE 1.5m FROM DRIVE PROPERTY LINE TO PARALLEL TO THE CORNER OF HOUSE 3. CORNER SCREEN FENCE MUST BE 1.5m FROM DRIVE PROPERTY LINE TO DETACHED GARAGE CORNER LINES
[Pattern]	1.2	0.9m DEC. WOOD FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER FLOOR PLAN
[Pattern]	NA	STACKED STONE	SEE TYPICAL DETAIL FOR CONSTRUCTION	
[Pattern]	61.50	BROOM FINISHED CONCRETE	DRIVEWAY, APRONS, AND SIDEWALKS	



PARKING



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LOT	7	SECTOR	1	REL	0
JOB	43-0100007	SCALE	1:100		
<b>TBD TRADEWINDS AVENUE COLWOOD, BRITISH COLUMBIA</b>					

REV. NO.	DESIGN	DATE	REMARKS
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SHEET NUMBER  
**PLOT**

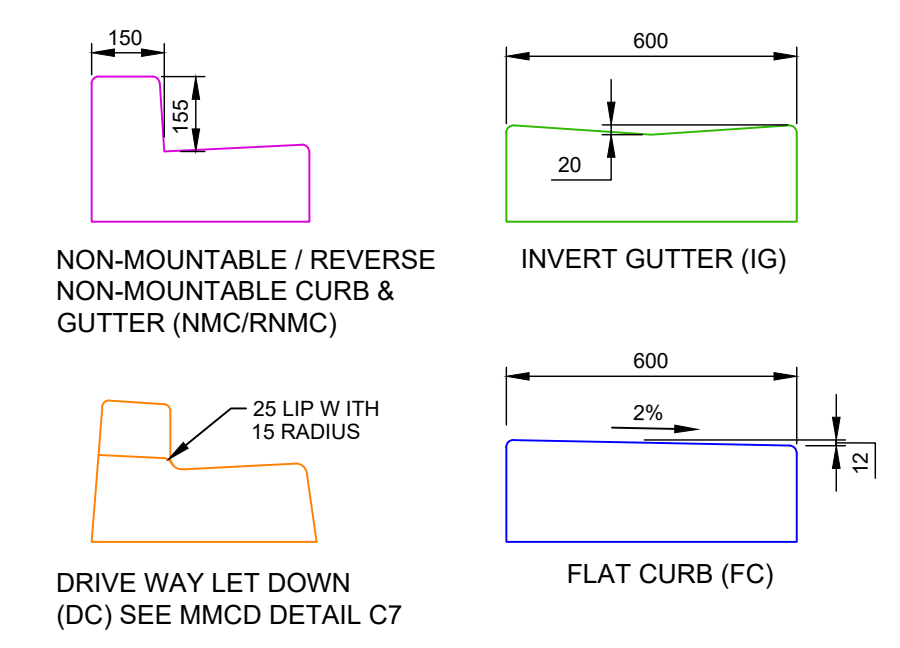


**LEGEND**

9999	CIVIL LOT NUMBER
L#99	LEGAL LOT NUMBER
C#9999	CIVIC ADDRESS

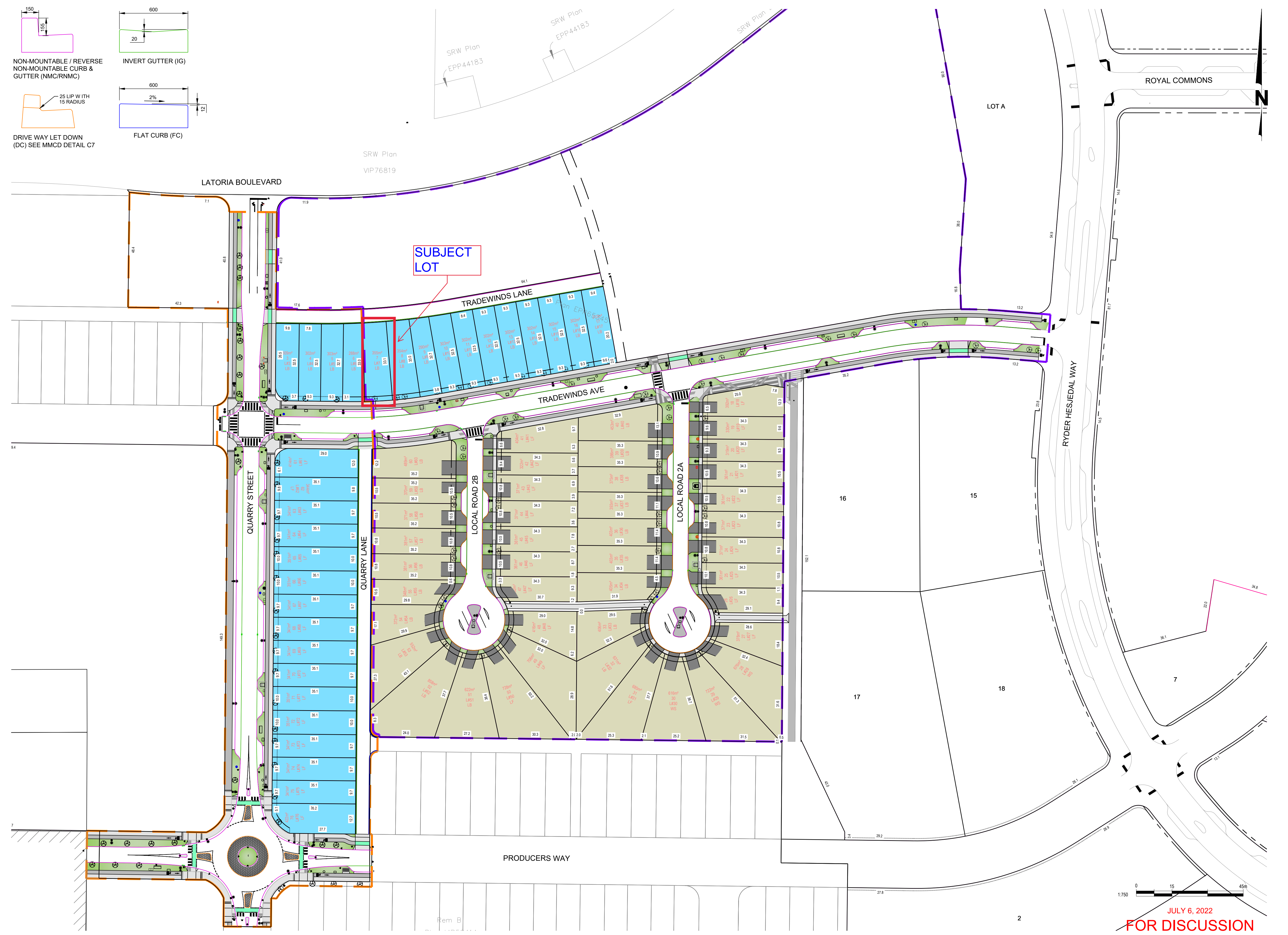
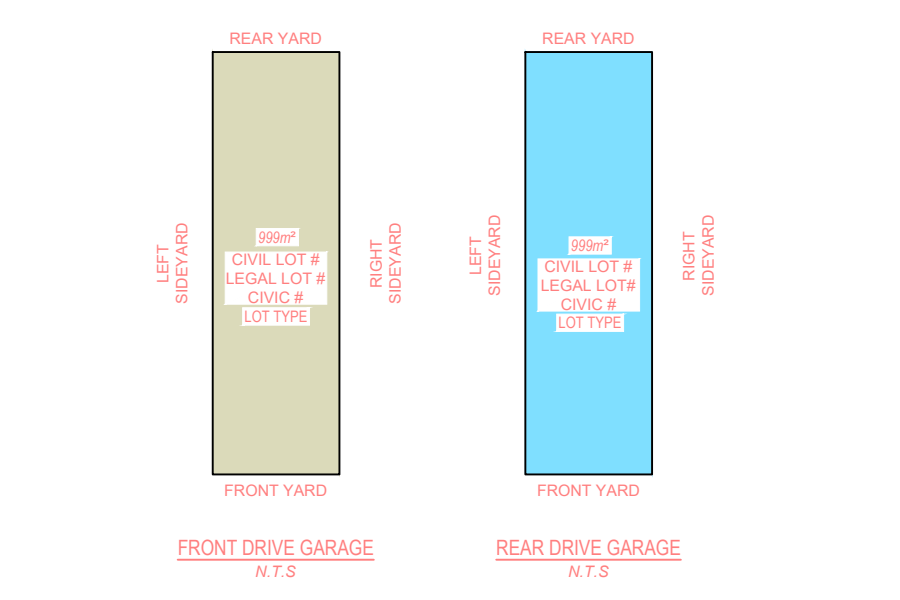
**PROPOSED LOT CODES**

TYPE	DESCRIPTION
WS	WALKOUT BASEMENT (SPLIT LEVEL) - REAR PL ELEVATIONS RANGE FROM 1.33m TO 2.57m BELOW FRONT PL ELEVATIONS.
LF	LEVEL LOT (SPLIT DRAINAGE) - REAR PL ELEVATIONS RANGE FROM 0m TO 1.33m ABOVE REAR PL ELEVATIONS.
LB	LEVEL LOT (SPLIT DRAINAGE) - REAR PL ELEVATIONS RANGE FROM 0m TO 0.9m ABOVE FRONT PL ELEVATIONS.



**LEGEND**

Catch Basin	
Boulevard Tree	
Electrical Boxes	
Electrical Transformer - Pad Mounted	
Fire Hydrant	
Street Signs	
Street Lights	
Lighting Junction Box	
Canada Post Mailbox Locations	
Sidewalk	
Multi-Use Path	
Boulevard	
Phase 1 Boundary	
Phase 3 Boundary	



JULY 6, 2022  
**FOR DISCUSSION**



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ISSUES				REVISIONS			
No.	DESCRIPTION	DATE	SIGN	No.	DESCRIPTION	DATE	SIGN
1	ISSUED FOR DISCUSSION	2022-07-06	PH				

DESIGNER: JH  
REVIEWED: PH  
ENGINEER: PH

SEAL PERMIT TO PRACTICE



**ROYAL BAY**  
SOUTH LATORIA

PHASE 1 & 3  
MARKETING PLAN

ON POINT PROJECT No. 116-17  
GOVERNING AUTHORITY FILE No. 3320-20-SUB-20-011  
SHEET 1 OF 1  
REV.  
ON POINT DRAWING No. 116-12-SK01

ONPOINT - JULY 6, 2022 11:52 AM C:\PROJECTS\318\ROYAL BAY - PHASE 1 SOUTH LATORIA\INTERNAL\ROADS\CON\1-DESIGN\DESIGN DRAWINGS\1517 MARKET PLAN.DWG