



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP-22-020

DEVELOPMENT PERMIT DP-22-020

THIS PERMIT, issued **August 21 2023** is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act* , RSBC 2015, Chapter 1

ISSUED TO: JM Architecture Inc.
Suite 107
15055 54A Avenue
Surrey, BC VS3 5X7 (the "Permittee")

-
1. This Form and Character Development Permit, for the construction of two commercial retail buildings and a carwash in lands designated within the Mixed Use Employment Centre Development Permit Area, is issued subject to compliance with all of the bylaws of the City of Colwood applicable thereto, except as specifically varied or supplemented by this Permit.
 2. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

Lot A Esquimalt District Plan VIP76445 Section 67
Lot 6 Esquimalt District Plan VIP6346 Section 68
(the "Lands")
 3. This Development Permit regulates the development of the Lands, and supplements the "Colwood Land Use Bylaw, 1989" (Bylaw No. 151), to ensure the form and character considerations for two commercial retail buildings, a car wash, and associated site improvements are consistent with the design guidelines for areas designated as "Mixed Use Employment Centre" in the City of Colwood Official Community Plan (Bylaw No. 1700).
 4. This Development Permit is **NOT** a building permit or a subdivision approval.
 5. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.

6. The Director of Development Services may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
7. This Development Permit authorizes the construction of two commercial buildings and car wash along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

GENERAL

- 7.1. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within the Section 219 covenant registered as "CB546669."

Traffic Impact Assessment

- 7.2. Prior to the issuance of a building permit, the Engineering department must provide final acceptance of the Traffic Impact Assessment for the proposed development on the Lands.

FORM AND CHARACTER CONDITIONS

Building Features

- 7.3. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by JM Architecture Inc. (Schedule 1).
- 7.4. The site lighting shall be in accordance with the lighting details included in the Lighting Plan prepared by JM Architecture Inc. (Schedule 2).
- 7.5. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 7.6. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

Signage

- 7.7. Any proposed signage shall be in accordance with the details provided in the Signage Plan prepared by JM Architecture Inc. (Drawing A-501 of Schedule 1).

Landscaping

- 7.8. The design and construction of the proposed landscaping shall be in accordance with the Landscape Plan prepared by Donald V.S. Duncan BCSLA (Schedule 3). The landscaping in the northwest corner of the site (refer to notes in Schedule 3) is not subject to this development permit and has not been approved.
 - 7.8.1. Prior to the issuance of a building permit, the Permittee shall work with the City of Colwood's Engineering and Development Services departments to determine landscaping for the northwest corner of the site. A revised Landscape Plan for the entire site shall then be submitted for the City's approval.

- 7.9. Prior to the issuance of a building permit, a security deposit in the amount of 110% of the landscape cost estimate must be submitted by the Permittee to the City of Colwood.
- 7.9.1. Upon receiving the City's approval of the revised Landscape Plan (see Section 7.8.1 of this Permit), the Permittee shall provide the City with a revised landscape cost estimate to reflect the landscaping works contemplated in the revised Landscape Plan, to the satisfaction of the Director of Development Services.
- 7.9.2. The security deposit (or a portion thereof) shall be returned two years after the City receives a signed statement of partial or substantial completion from a registered BCLSA landscape architect, to the satisfaction of the Director of Development Services.
- 7.10. Prior to the issuance of a building permit, provide the City with a written letter of engagement from a registered landscape architect agreeing to:
- 7.10.1. Supervise and install the landscape work in accordance with the approved landscape plan ;
and,
- 7.10.2. Perform a final inspection and submit an inspection report to the City confirming substantial compliance with the approved landscape plan.

ENVIRONMENTAL CONDITIONS

Site Clearing

- 7.11. Clearing of the lot prior to issuance of a building permit shall be limited to the minimum area required for construction.

Tree Management

- 7.12. This development permit authorizes the removal of 65 bylaw-protected trees on the site. Trees located on the Lands shall be retained in accordance with the Tree Management Plan (Schedule 4) and any recommendations contained therein.
- 7.13. Prior to any site clearing or land alteration, protective fencing as described in the Tree Management Plan must be installed to protect trees to be retained from any impacts from construction.
- 7.14. Protected trees are required to be replaced at a ratio of 2:1. As a condition of this Development Permit and prior to any site clearing or land alteration, a deposit of \$500 per protected tree to be removed is required as cash-in-lieu of replanting in accordance with the Colwood Urban Forest Bylaw (no. 1735).
- 7.15. Trees removed, where required, shall be under the observation of a Qualified Arborist. As a condition of this Development Permit and prior to any site clearing or land alteration, the Permittee shall provide a written undertaking from a certified Arborist agreeing to oversee tree removal on the site and provide a final inspection report to the City that confirms substantial compliance with the Tree Management Plan.

PLANS AND SPECIFICATIONS

8. The following plans and specifications are attached to and form part of this permit:

Schedule 1 – Architectural Drawings prepared by JM Architecture Inc. dated April 14, 2023

Schedule 2 – Lighting Plan prepared by JM Architecture Inc. dated March 3, 2023

Schedule 3 – Landscape Plan prepared by Donald V.S. Duncan, BCSLA dated April 19, 2023

Schedule 4 – Tree Management Plan prepared by Scotty Tree and Arborist dated April 28, 2023

ISSUED ON THIS 21 DAY OF ~~JUNE~~ ^{AUGUST} 2023.



YAZMIN HERNANDEZ, MCIP, RPP
DIRECTOR OF DEVELOPMENT SERVICES

SPEEDWASH COLWOOD

2353 & 2361 SOOKE rd.
Colwood B.C. V9B 1X8



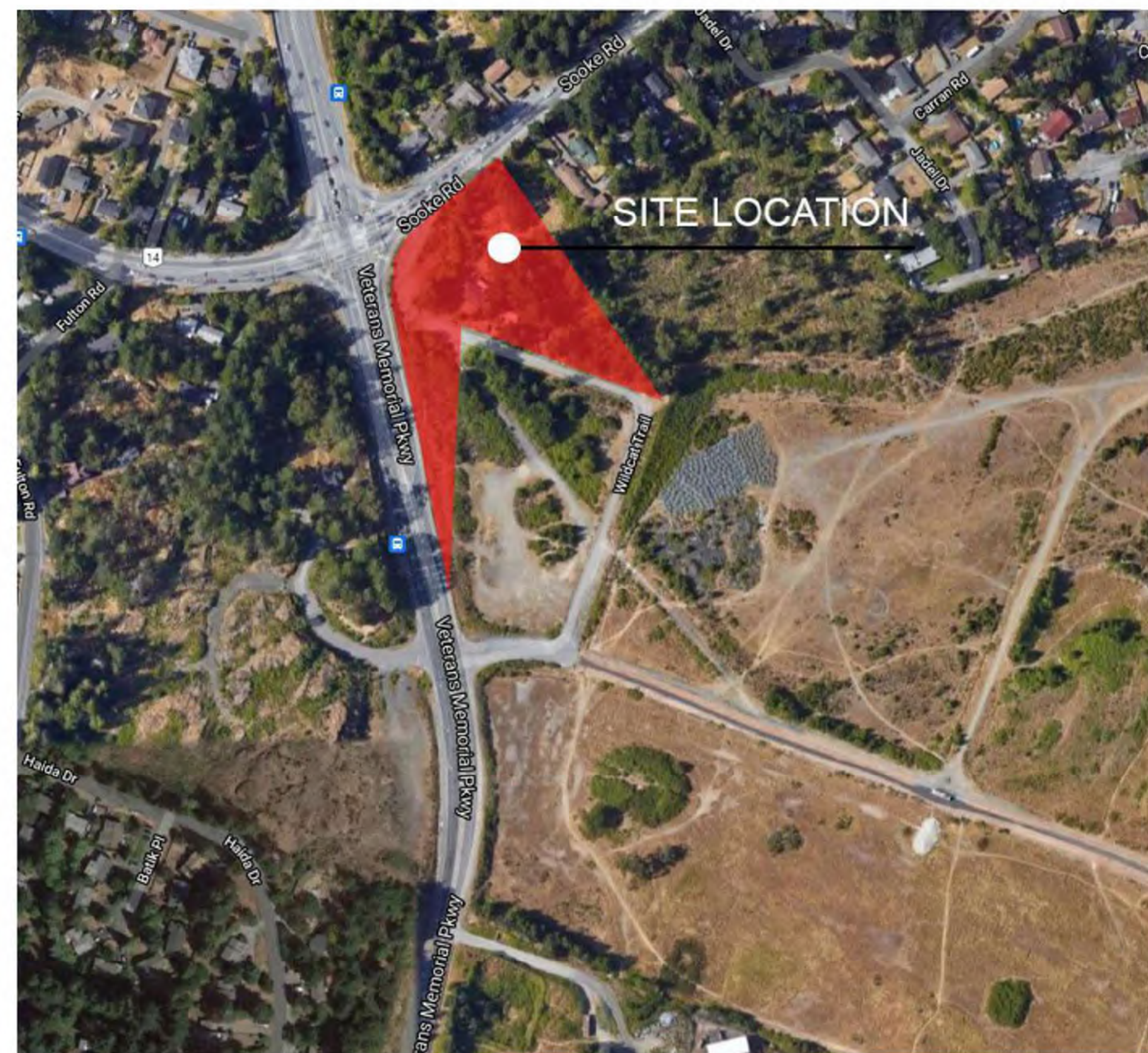
SCHEDULE 1

RE-ISSUED FOR DEVELOPMENT PERMIT

April 14, 2023



COLWOOD SITE LOCATION



DESIGN RATIONAL

The new commercial development located in the city of Colwood in British Columbia at the intersection of Veterans Memorial Hwy and Sooke Road brings together progressive architecture and a luxurious landscape to embrace the pedestrian and bicycle-oriented lifestyle of the community.

In response to the City of Colwood's OCP requirements, sidewalk access to the site with extensive landscaping and outstanding architectural features, and urban furniture have been provided. Pedestrian-oriented businesses paired with automotive services and green services like EV charging stations, solar-energy-oriented buildings, and water recycling systems are some of the notable features of this new development.

While each building in this development has its own unique identity with respect to the tenant's business, the introduction of an elegant architectural element wrapping the project to its uniformity all with the implementation of a luxurious landscape serves to unify the ensemble. Majestic long street-oriented windows allow the commercial tenant to display goods at the pedestrian eye level. Where a business has food/drink consumption, the same windows are the eye of the pedestrian looking inside.

This architectural treatment transforms the typical dry building back to a more agreeable building front impression, welcoming pedestrians into the ensemble through three access points to the site. Each access point will be separately treated with landscaping, architectural feature, lighting, eating and coffee area, bicycle parking, pergola, etc.

With its outstanding architecture and remarkable landscaping, this new commercial development will be one of its kind in Colwood, respecting the lifestyle of the community and welcoming its visitors for years to come.

CLIENT INFORMATION	
Project Name & Number:	2021-14
Project Address	2353 & 2361 Sooke rd. Colwood BC V9B 1X8
Current Zoning:	CD 2353 & 2361 Sooke rd.
Legal Description	LOT 6, SECTION 68, ESQUIMALT DISTRICT PLAN 6846 PID 005-830-575 LOT A, SECTION 67, ESQUIMALT DISTRICT PLAN VIP 76446 PID 025-649-191
Registered owner	625515 BC ltd
Mailing Address	8407 King George Blvd Surrey BC V3W 7J7
Telephone Number	604 818 9945
Email Address	raj@speedwash.ca
Contact person	Raj Aadmi

DRAWING LIST					
ARCHITECTURAL					
Page No.	Building	Page Title	Rev.	Issued for	Issue Date
A-000		COVER PAGE	2	DP	2023-03-17
A-001		SITE CONTEXT	1	DP	2022-10-05
A-100		SITE PLAN	2	DP	2023-03-17
B1-A-102	1	MAIN FLOOR PLAN	2	DP	2023-03-17
B1-A-103	1	ROOF PLAN	2	DP	2023-03-17
B1-A-200	1	COLORLED BUILDING ELEV.	2	DP	2023-03-17
B1-A-300	1	BUILDING SECTION	1	DP	2022-10-05
B2-A-104	2	MAIN FLOOR PLAN	2	DP	2023-03-17
B2-A-105	2	ROOF PLAN	2	DP	2023-03-17
B2-A-201	2	COLORLED BUILDING ELEV.	2	DP	2023-03-17
B2-A-301	2	BUILDING SECTION	1	DP	2022-10-05
B3-A-106	3	MAIN FLOOR PLAN	1	DP	2022-10-05
B3-A-107	3	ROOF PLAN	1	DP	2022-10-05
B3-A-202	3	COLORLED BUILDING ELEV.	1	DP	2022-10-05
B3-A-302	3	BUILDING SECTION	1	DP	2022-10-05
A-501		SIGNAGE AND LIGHTING	2	DP	2023-03-17
A-800		STREET SCAPE	2	DP	2023-03-17
A-801		3D RENDERING	2	DP	2023-03-17

CIVIL					
Page No.	Building	Page Title	Rev.	Issued for	Issue Date
C1		COVER SHEET	0	DP	
C2		SITE GRADING	0	DP	
C3		STORM SANITARY SEWER PLAN	0	DP	
C5		WATERWORKS PLAN & DETAILS	0	DP	

SURVEY					
Page No.	Building	Page Title	Rev.	Issued for	Issue Date
1		GLS-VAN-21012-TP-U01	0	DP	
2		GLS-VAN-21012-TP-U01	0	DP	

LANDSCAPE					
Page No.	Building	Page Title	Rev.	Issued for	Issue Date
L1-00		KEY NOTES	0	DP	
L2-00		HARD LANDSCAPE	0	DP	
L2-11		HARD LANDSCAPE	0	DP	
L2-12		HARD LANDSCAPE	0	DP	
L2-13		HARD LANDSCAPE	0	DP	
L2-14		HARD LANDSCAPE	0	DP	
L4-00		SOFT LANDSCAPE	0	DP	
L4-11		SOFT LANDSCAPE	0	DP	
L4-13		SOFT LANDSCAPE	0	DP	
L4-14		SOFT LANDSCAPE	0	DP	
L5-1		LANDSCAPE DETAILS	0	DP	
L5-02		LANDSCAPE DETAILS	0	DP	
L5-03		LANDSCAPE DETAILS	0	DP	

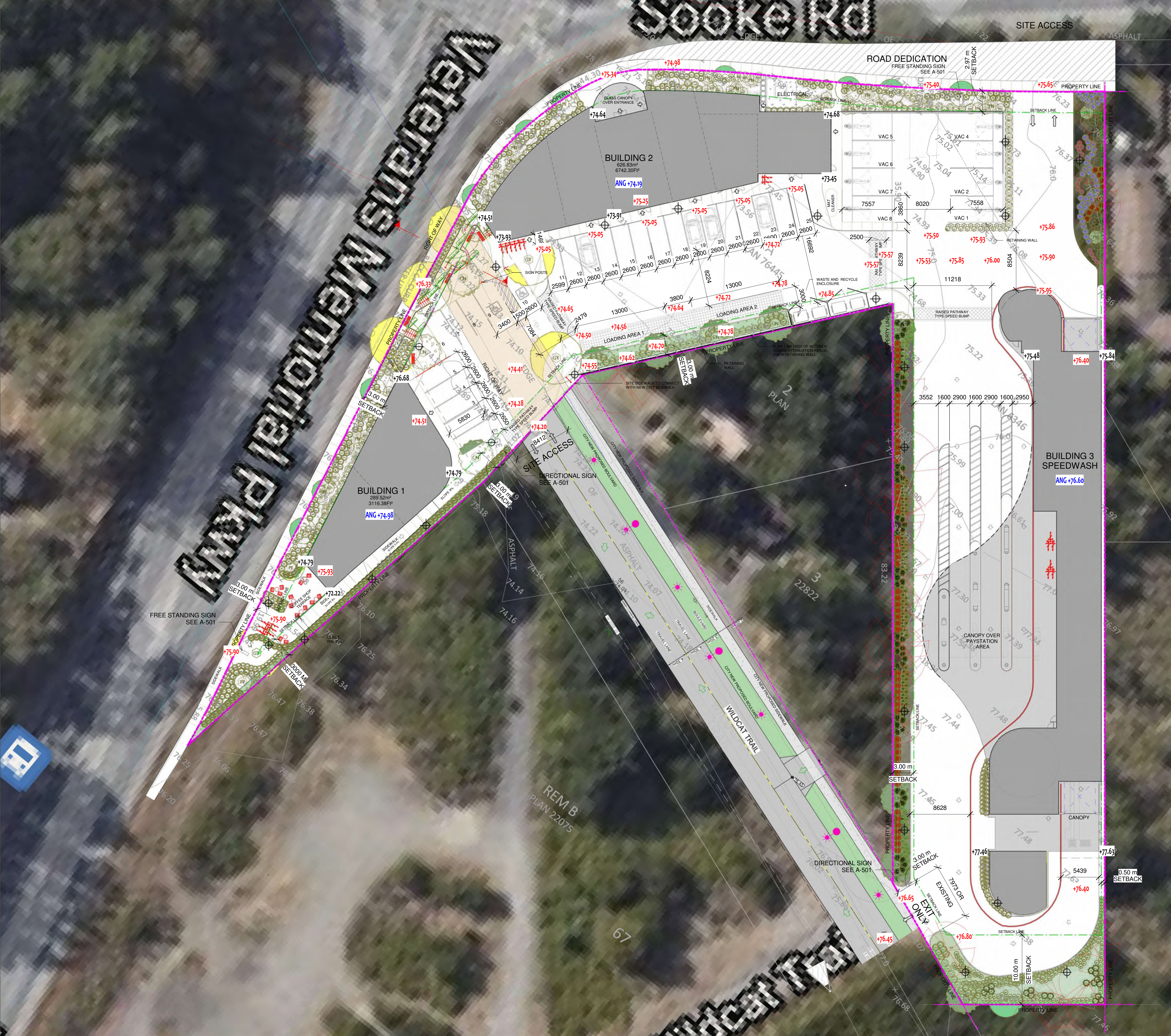
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ARCHITECTURAL					
Page No.	Building	Page Title	Rev.	Issued for	Issue Date
A-000		COVER PAGE	2	DP	2023-03-17
A-001		SITE CONTEXT	3	DP	2022-10-05
A-100		SITE PLAN	2	DP	2023-03-17
A-101		CIRCULATION SIGNAGE PLAN	1	DP	2023-03-17
B1-A-102	1	MAIN FLOOR PLAN	2	DP	2023-03-17
B1-A-103	1	ROOF PLAN	2	DP	2023-03-17
B1-A-200	1	COLORLED BUILDING ELEV.	3	DP	2023-03-17
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C5		WATERWORKS PLAN & DETAILS	0	DP	

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2		GLS-VAN-21012-TP-U01	0	DP	

LANDSCAPE					
Page No.	Building	Page Title	Rev.	Issued for	Issue Date
L1-00		REV NOTES	0	DP	
L4-00		PLANTING PLAN & KEY NOTES	0	DP	
L2-11		HARD LANDSCAPE	0	DP	
L2-12		HARD LANDSCAPE	0	DP	
L2-13		HARD LANDSCAPE	0	DP	
L2-14		HARD LANDSCAPE	0	DP	
L4-00		SOFT LANDSCAPE	0	DP	
L4-11		SOFT LANDSCAPE	0	DP	
L4-13		SOFT LANDSCAPE	0	DP	
L4-14		SOFT LANDSCAPE	0	DP	
L5-1		LANDSCAPE DETAILS	0	DP	
L5-02		LANDSCAPE DETAILS	0	DP	
L5-03		LANDSCAPE DETAILS	0	DP	

2021-14 SPEEDWASH COLWOOD



1 Site Plan
1 : 250

SYMBOLS LEGEND

- +00.00 PROPOSED FINISHED GRADE
- +00.00 AVERAGE NATURAL GRADE
- 00.00 EXISTING GRADE
- ROAD DEDICATION
- PROPERTY LINE
- SETBACK
- HYDRO R/W
- PROPOSED STREET LIGHT - SEE PAGE A-501

PARKING LEGEND

STANDARD CAR
2600 [8' - 6 1/4"]
5800 [19' - 0 1/4"]

ACCESSIBLE PARKING
4900 [16' - 1"] SIGN POSTS
5800 [19' - 0 1/4"]
3400 [11' - 3 3/4"] 2600 [8' - 6 1/4"]
1500 [4' - 11"]

WASTE & RECYCLING
SEE PAGE A-500 EARTH BIN DETAILS

SIGNAGE DETAILS
SEE PAGE A-501 SINGNAGE

RETENTION OF EXISTING TREES

BICYCLE RACKS
SURFACE MOUNT RACK
711 [2' - 4"]
ELEVATION PLAN VIEW

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JM Architecture Inc.

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Surrey, B.C. V3S 5X7
604-583 2003 - T
joe@jmarchitecture.ca - E

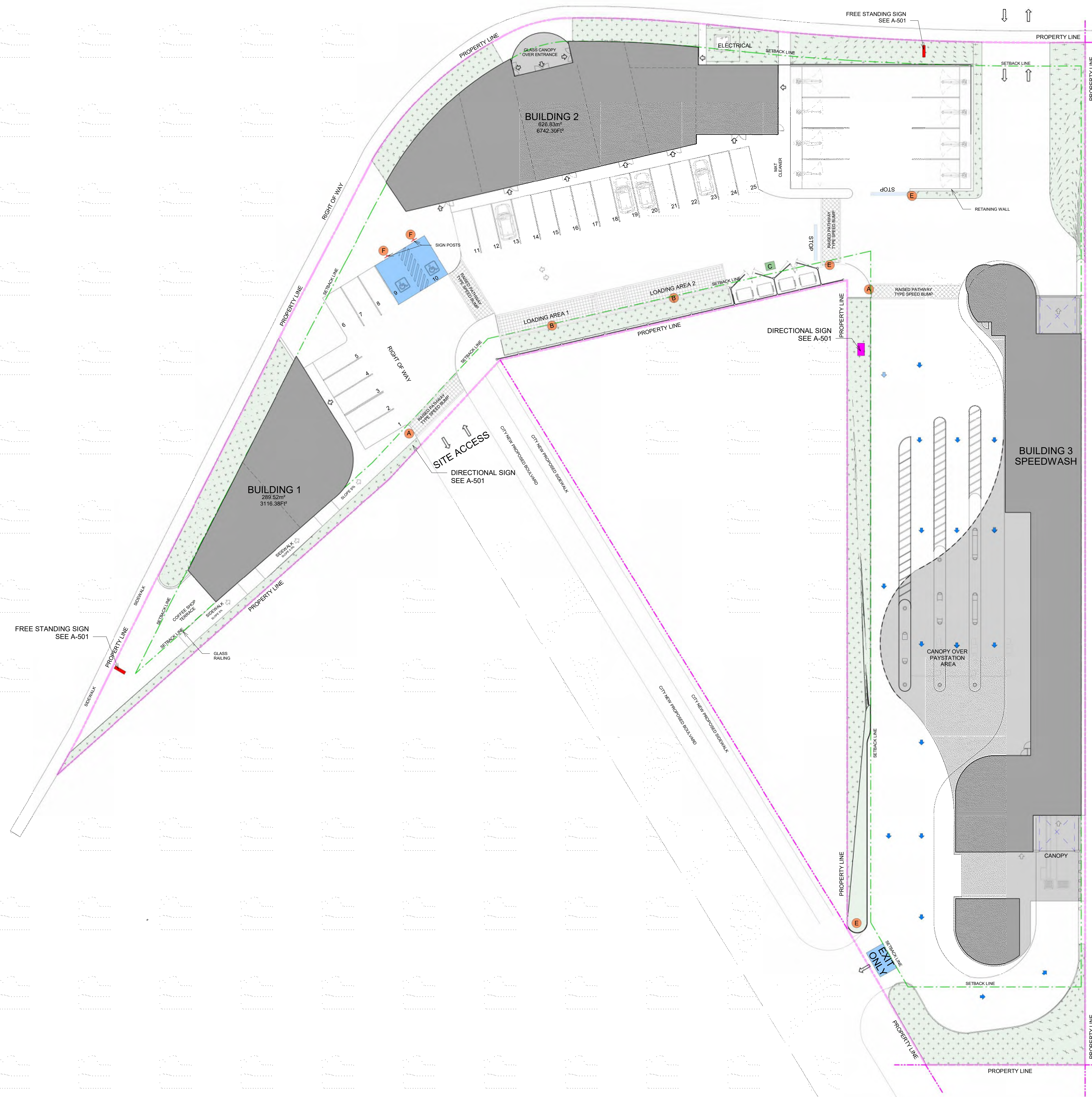
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REV	DATE	DESCRIPTION	BY
2	2023-03-24	Re-issued for DP	AM
1	2022-10-05	Revision 1	AM

START DATE	2021-04-18			
PROJECT No	2021-14			
DR.	AM			
CH.	JM			
SCALE	As indicated			
Architects Seal				
Project Name	SPEEDWASH COLWOOD			
2353 & 2361 SOOKE rd.	Colwood B.C. V9B 1X8			
Client:	655515 BC ltd			
SITE PLAN				
REV No	2	Project No.	2021-14	A-100

SITE ACCESS



CIRCULATION SIGNAGE LEGEND

A	B	C
D	E	F

● SURFACE MOUNTED SIGN
■ WALL MOUNTED SIGN
■ PAINTED ROAD SIGN
■ DIRECTIONAL SIGN
■ FREE STANDING SIGN

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2023-03-24
 Project Name
 SPEEDWASH COLWOOD
 2353 & 2361 SOOKE rd.
 Colwood B.C. V9B 1X8
 Client:
 655515 BC ltd

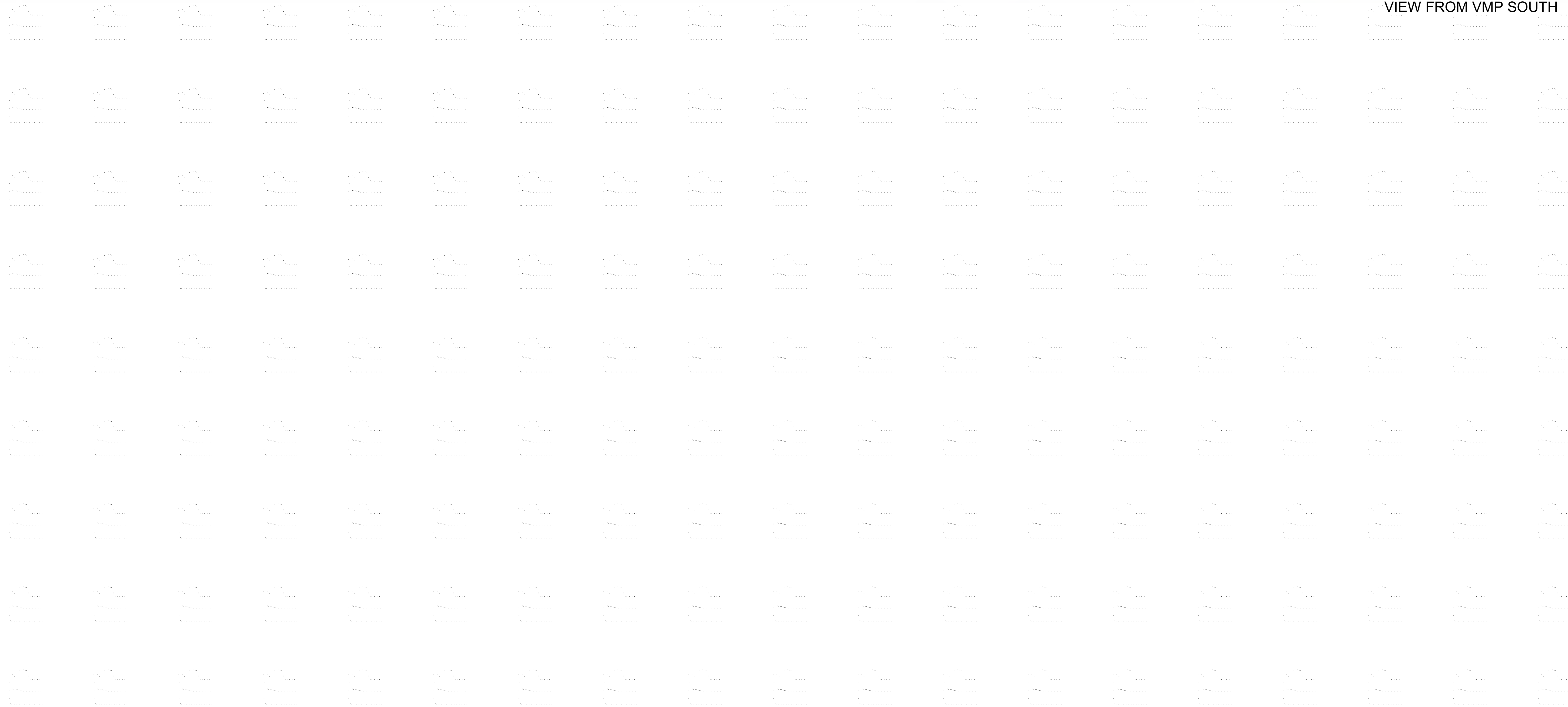
SIGNAGE LOCATION PLAN

REV/NO	2	Project No	A-101
		2021-14	

1
 Circulation signage plan
 1 : 250



VIEW FROM VMP SOUTH



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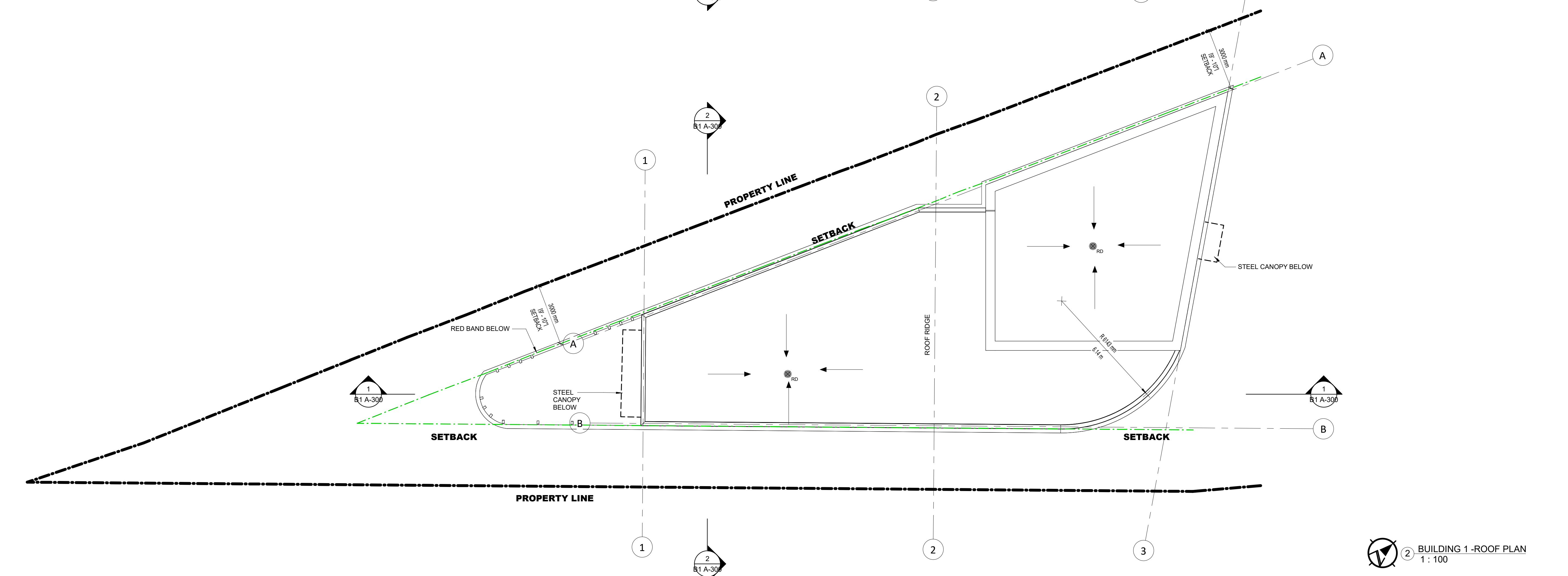
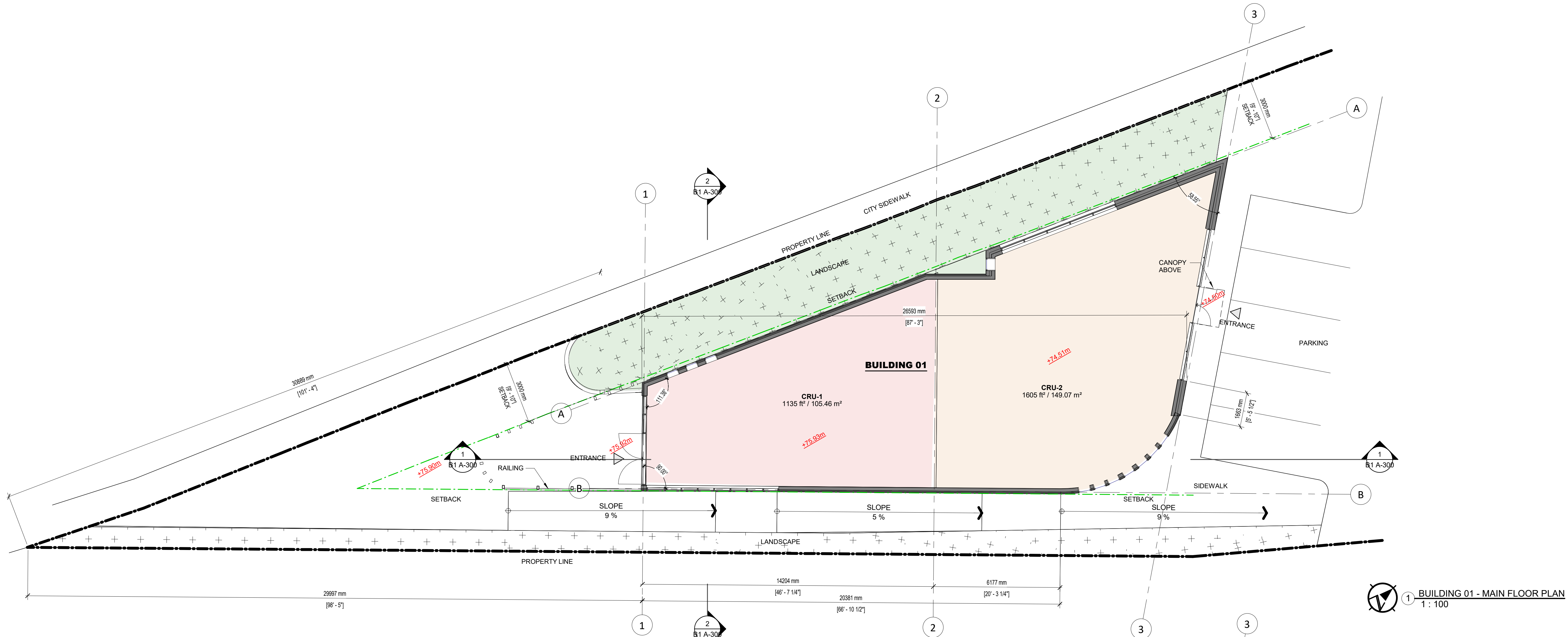
START DATE: 2021-04-18
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 DR: AM
 CH: JM

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Project Name
SPEEDWASH COLWOOD
 2353 & 2361 SOOKE rd.
 Colwood B.C. V9B 1X8
 Client:
 655515 BC Ltd

BUILDING 1 COMMERCIAL



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2	2023-03-24	Re-issued for DP	AM
1	2022-10-05	Revision 1	AM

START DATE: 2022-06-13
PROJECT No: 2021-14
DR: AM/WH
CH: JJM
SCALE: 1 : 100

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2023-03-24
Project Name: SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client: 625515 BC Ltd

BUILDING ONE FLOOR PLAN & ROOF PLAN

REV/No	Project No.	Sheet
2	2021-14	B1 A-102

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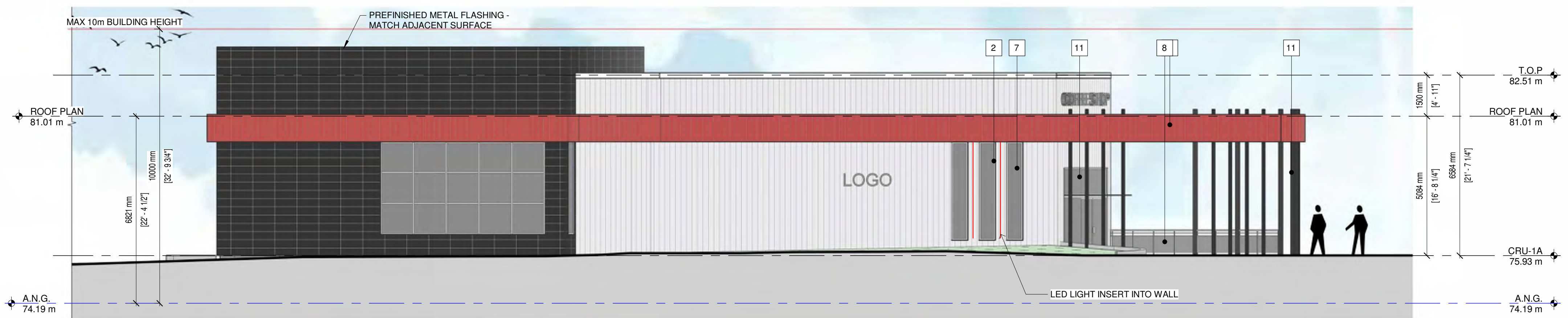
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 architect aas, albc, mraic
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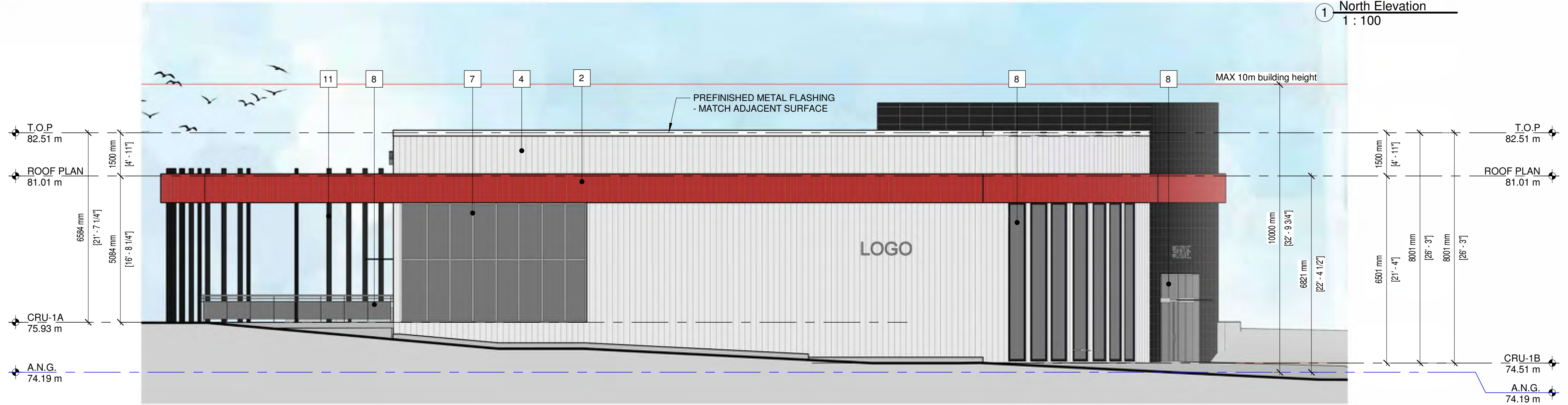
Digital Certificate
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EXTERIOR FINISH SCHEDULE

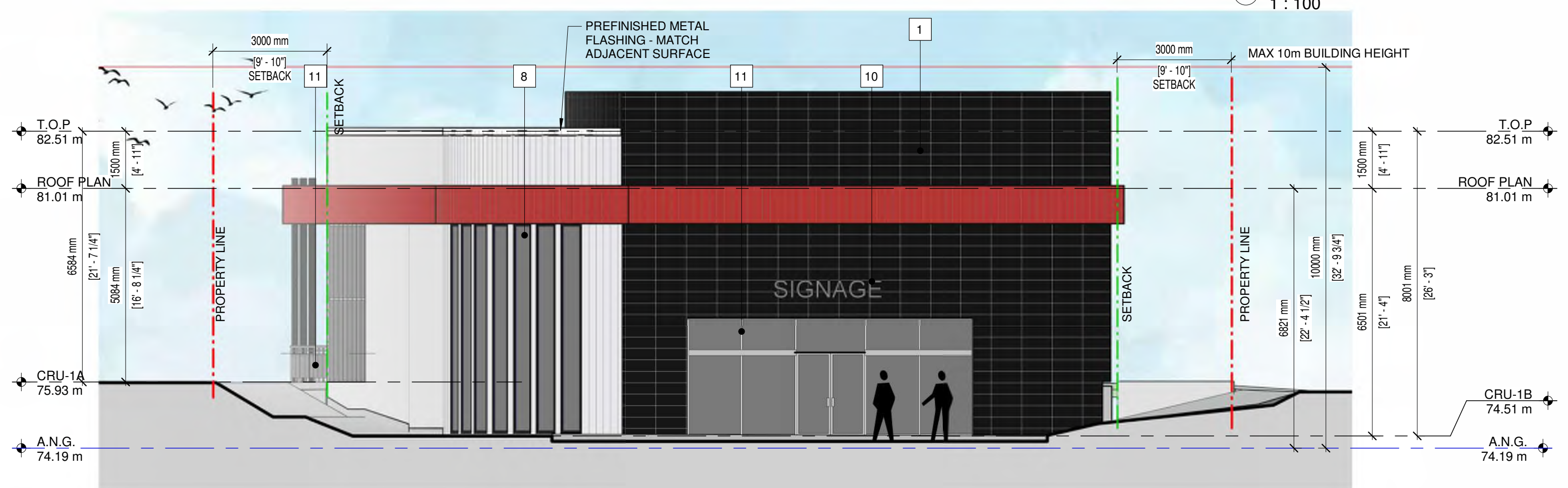
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- 3 ALUMINUM SEQUIN DECORATIVE PANEL MIRROR FINISH
- 4 ALUMINUM METAL CLADDING MINI FLUSH 4" -POLAR WHITE-QC1820-R-CASCADIA METALS
- 5 ALUMINUM METAL CLADDING MINI FLUSH 4" -LIGHT GREY-QC8317-CASCADIA METALS
- 6 PAINTED CONCRETE TO MATCH WITH LIGHT GREY-QC8317
- 7 ALUMINUM STOREFRONT GLAZING SYSTEM - ANODIZED ALU FINISHED
- 8 ALUMINUM GUARD RAIL TEMPERED GLASS, ANODIZED ALUMINIUM FINISHED
- 9 BLACK STEEL CANOPY UNDERLINER RED TO MATCH COLOR 1 AND 2
- 10 SIGNAGE
- ALUMINUM METAL LINEAR CLAD-BLACK



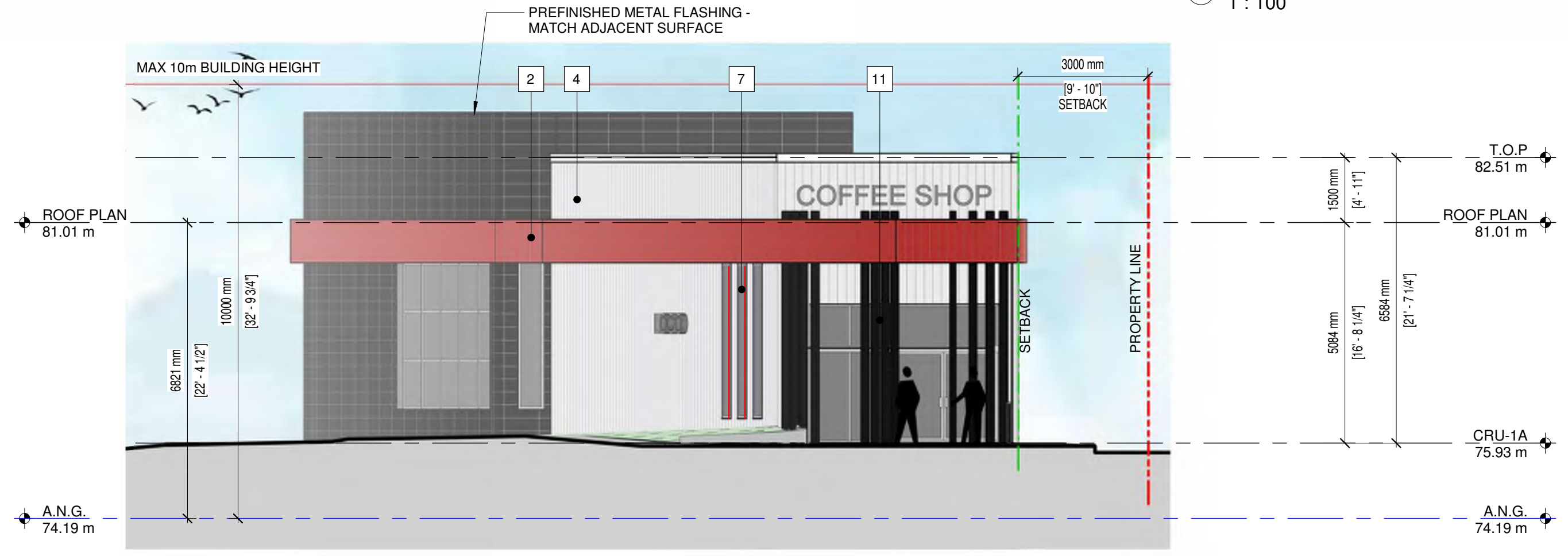
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2 South Elevation
1 : 100



3 East Elevation
1 : 100



4 West Elevation
1 : 100

REV	DATE	DESCRIPTION	BY
3	2023-04-14	Add of Average Natural Grade	AM
2	2023-03-24	Re-issued for DP	AM
1	2022-10-05	Revision 1	AM

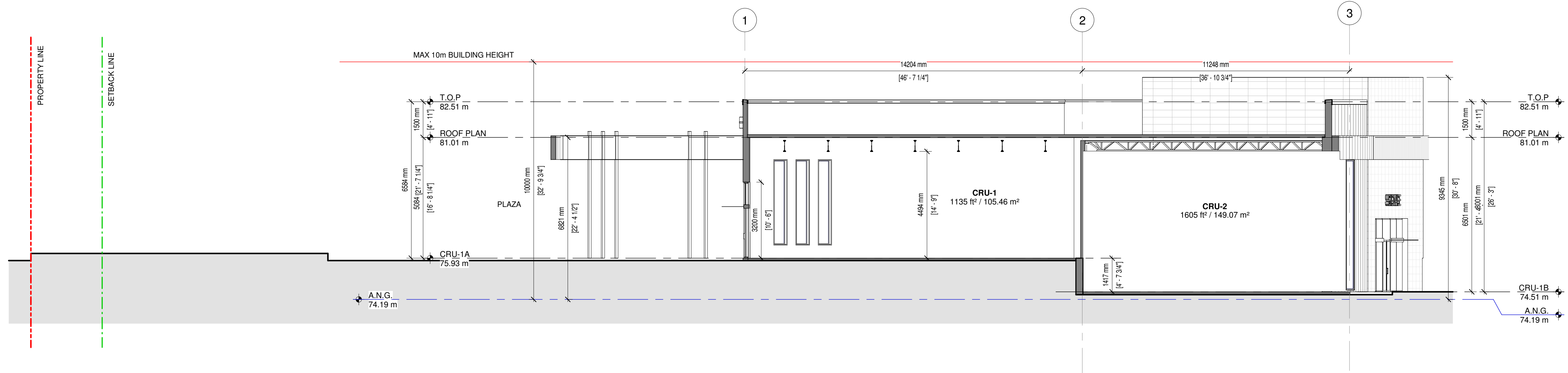
START DATE	2022-06-13
PROJECT No	2021-14
DR.	AM/WH
CH.	JJM
SCALE	As indicated

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 2023-04-17

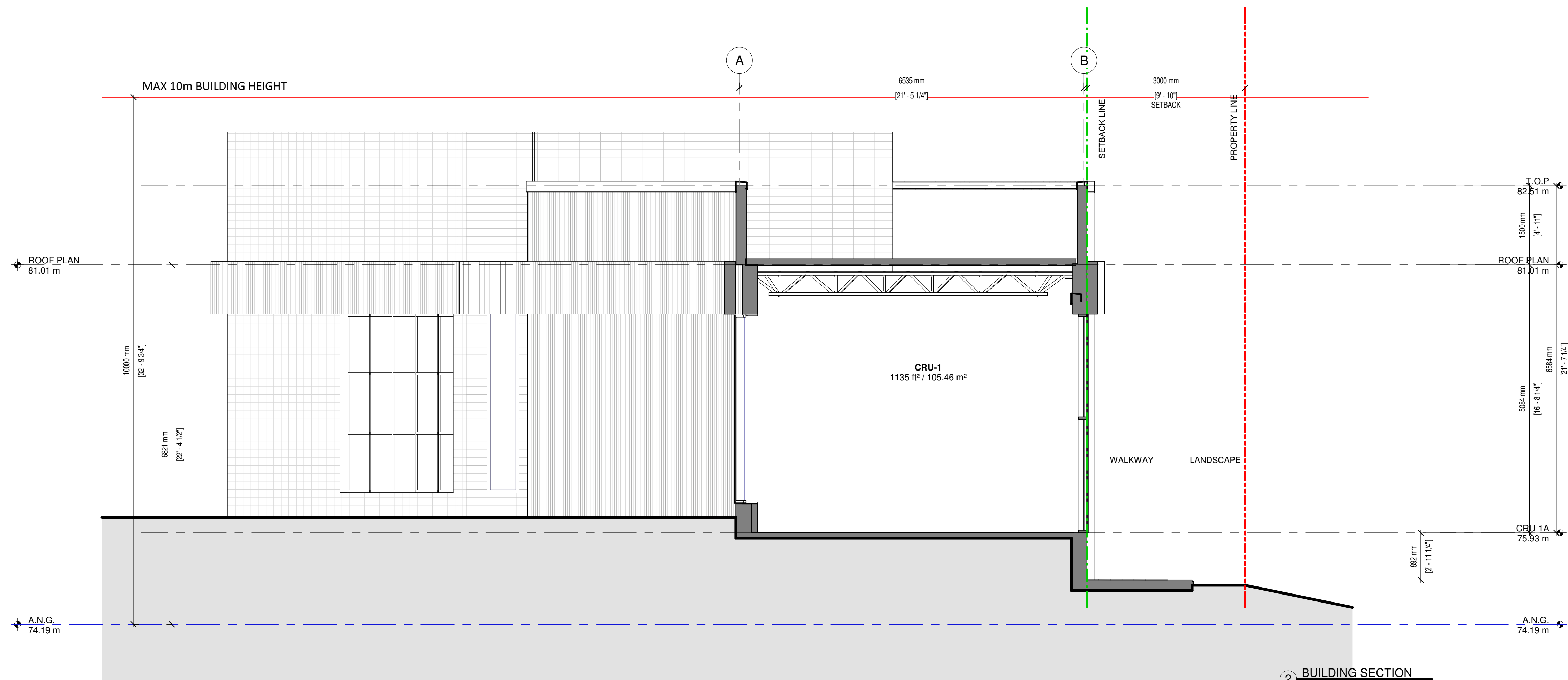
Project Name
SPEEDWASH COLWOOD
 2353 & 2361 Sooke rd
 Colwood B.C. V9B 1X8
 Client:
 625515 BC Ltd

BUILDING ELEVATION - COLORED

REV/No	3	Project No.	2021-14	B1 A-200
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1 BUILDING SECTION
1 : 100



2 BUILDING SECTION
1 : 50

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REV	DATE	DESCRIPTION	BY
3	2023-04-14	Add of Average Natural Grade	AM
2	2023-03-24	Re-issued for DP	AM
1	2022-10-05	Revision 1	AM

START DATE 2022-06-13
PROJECT No 2021-14
DR. AM/WH
CH. JMM
SCALE As indicated



Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC Ltd

BUILDING SECTION - CRU 1

REV/No	Project No.	B1 A-300
2	2021-14	



VIEW AT VMP CONER SOOKE rd.

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REV	DATE	DESCRIPTION	BY
2	2023-03-24	Re-issued for DP	AM
1	2022-10-05	Revision 1	AM

START DATE: 2021-04-18
 PROJECT No: 2021-14
 DR: AM
 CH: JM

SCALE

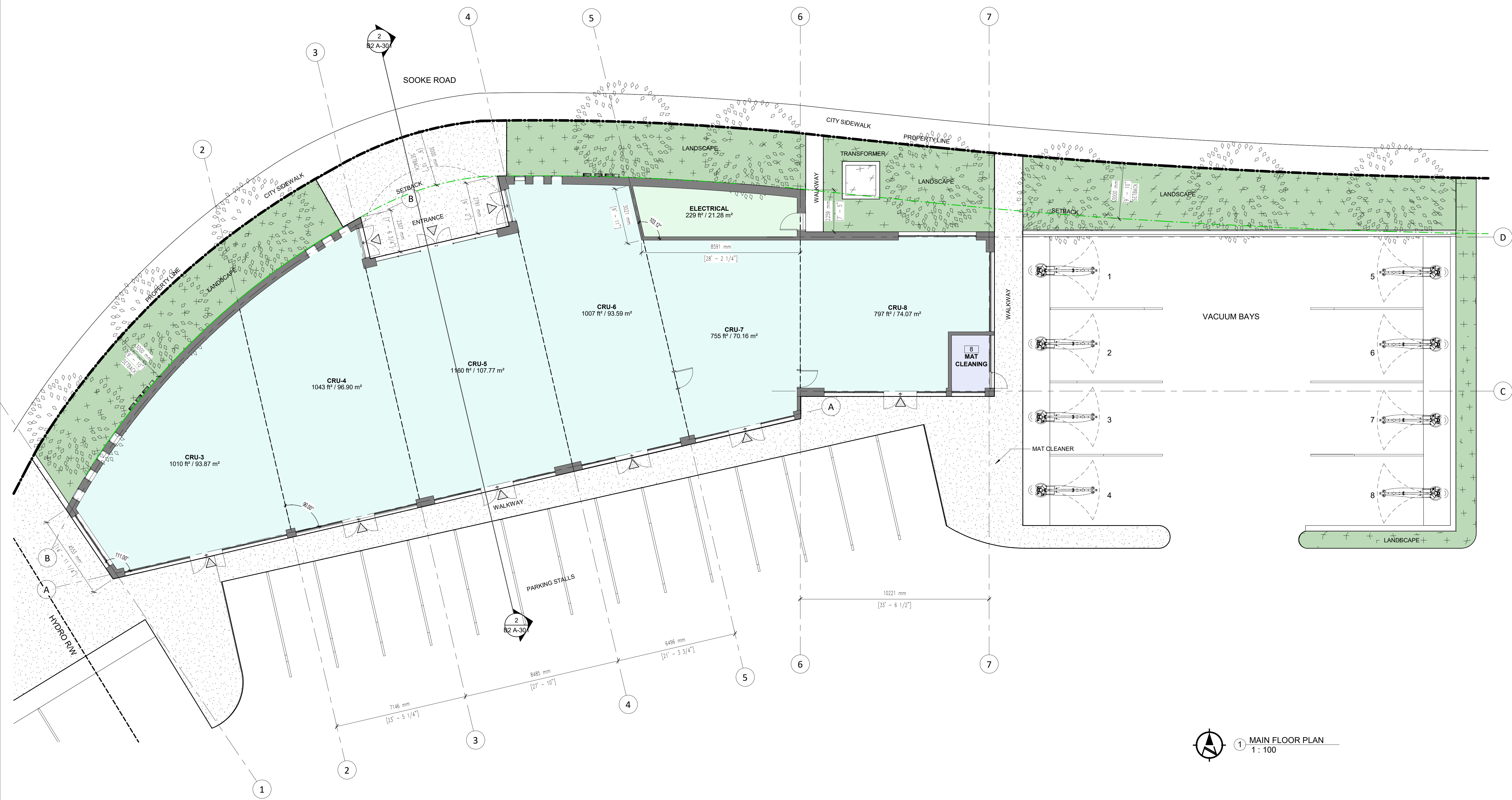
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Project Name: SPEEDWASH COLWOOD
 2353 & 2361 SOOKE rd.
 Colwood B.C. V9B 1X8
 Client: 655515 BC Ltd

BUILDING 2 COMMERCIAL

REV No: 2 Project No: 2021-14 B2



1 MAIN FLOOR PLAN
1 : 100

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1	2022-10-05	Revision 1	AM

START DATE 2022-06-13
PROJECT No 2021-14
DR. AM/WH
CH. JJM
SCALE 1 : 100

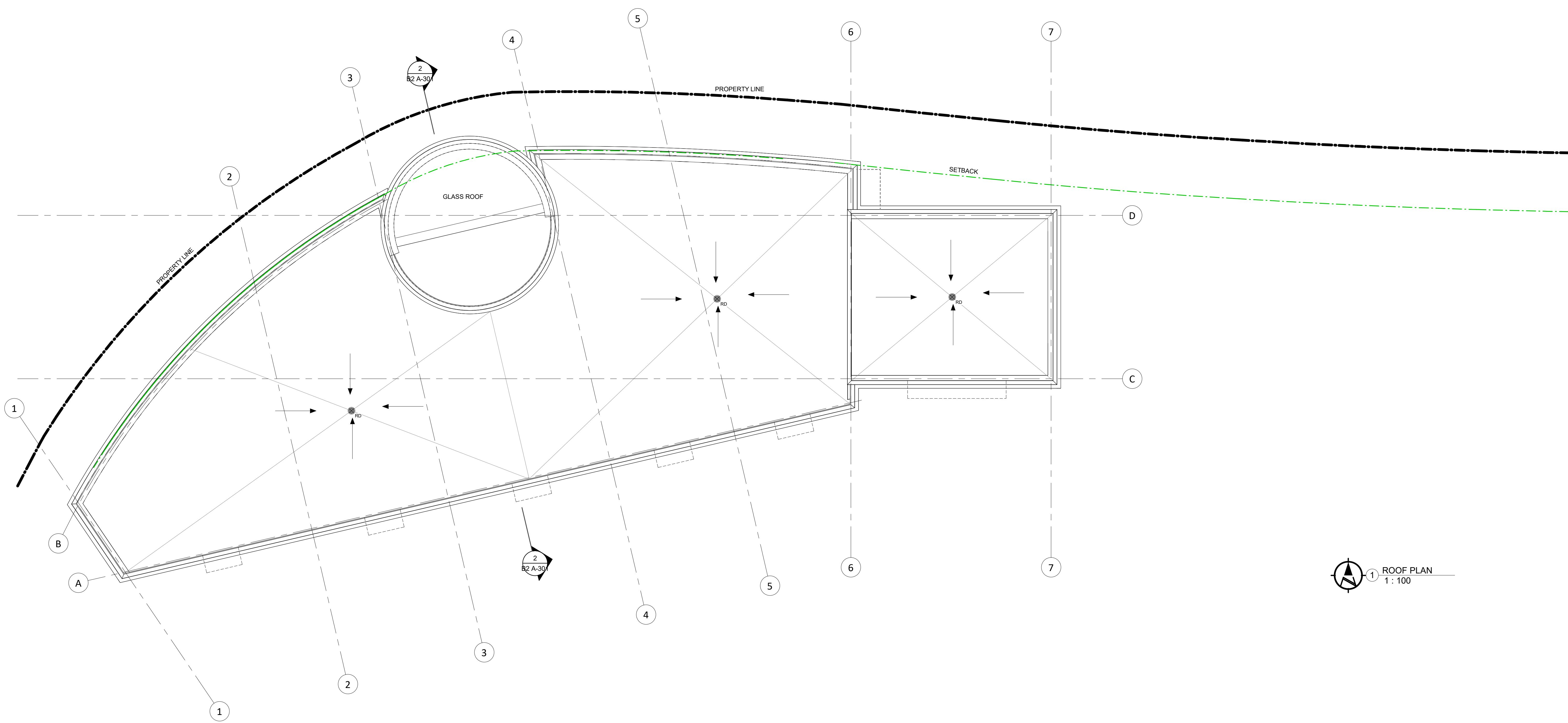
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2023-03-24
Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC Ltd

MAIN FLOOR PLAN - CRU 2

REV/No	Project No.	Sheet No.
2	2021-14	B2 A-104



1 ROOF PLAN
1 : 100

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1	2022-10-05	Revision 1	AM

START DATE 2022-06-13
PROJECT No 2021-14
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Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC Ltd

ROOF PLAN - CRU 2

REV/No	2	Project No.	2021-14	B2 A-105
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1	2022-10-05	Revision 1	AM

START DATE	2022-06-13
PROJECT No	2021-14
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2023-04-17
Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC Ltd

BUILDING ELEVATIONS - COLORED

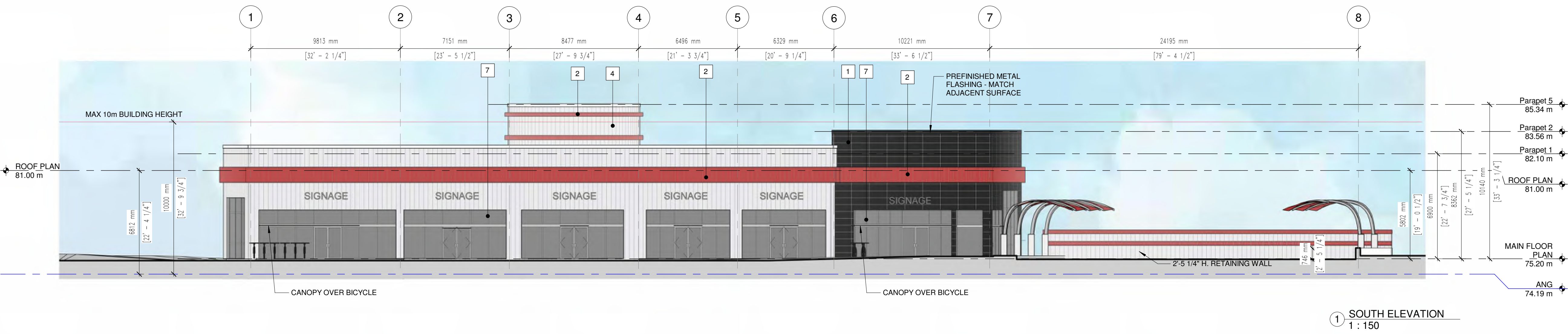
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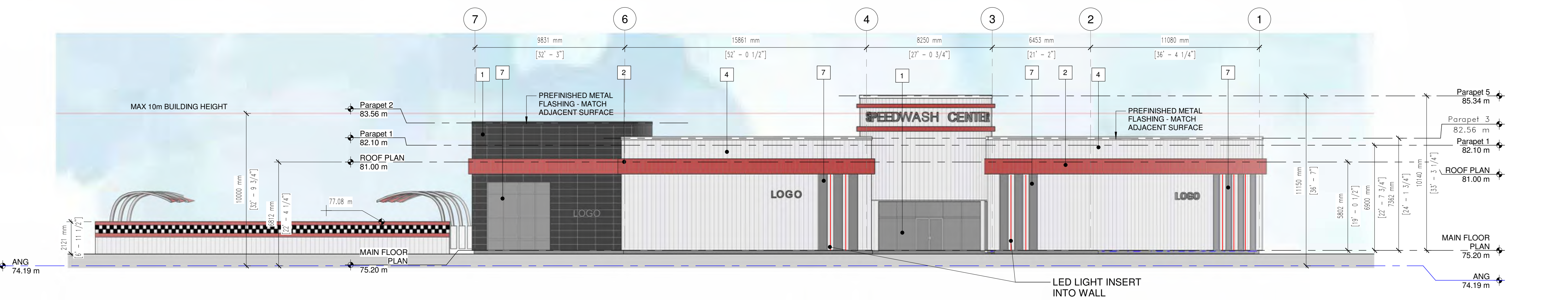
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- 3 ALUMINUM SEQUIN DECORATIVE PANEL MIRROR FINISH
- 4 ALUMINUM WHITE CLADDING MINI FLUSH 4" -POLAR WHITE-QC1820-R-CASCADIA METALS
- 5 ALUMINUM METAL CLADDING MINI FLUSH 4" -LIGHT GREY-QC8317-CASCADIA METALS
- 6 PAINTED CONCRETE TO MATCH WITH LIGHT GREY-QC8317
- 7 ALUMINIUM STOREFRONT GLAZING SYSTEM - ANODIZED ALU FINISHED
- 8 ALUMINIUM GUARD RAIL, TEMPERED GLASS, ANODIZED ALUMINIUM FINISHED
- 9 BLACK STEEL CANOPY UNDERLINER RED TO MATCH COLOR 1 AND 2
- 10 SIGNAGE
- ALUMINUM METAL LINEAR CLAD-BLACK

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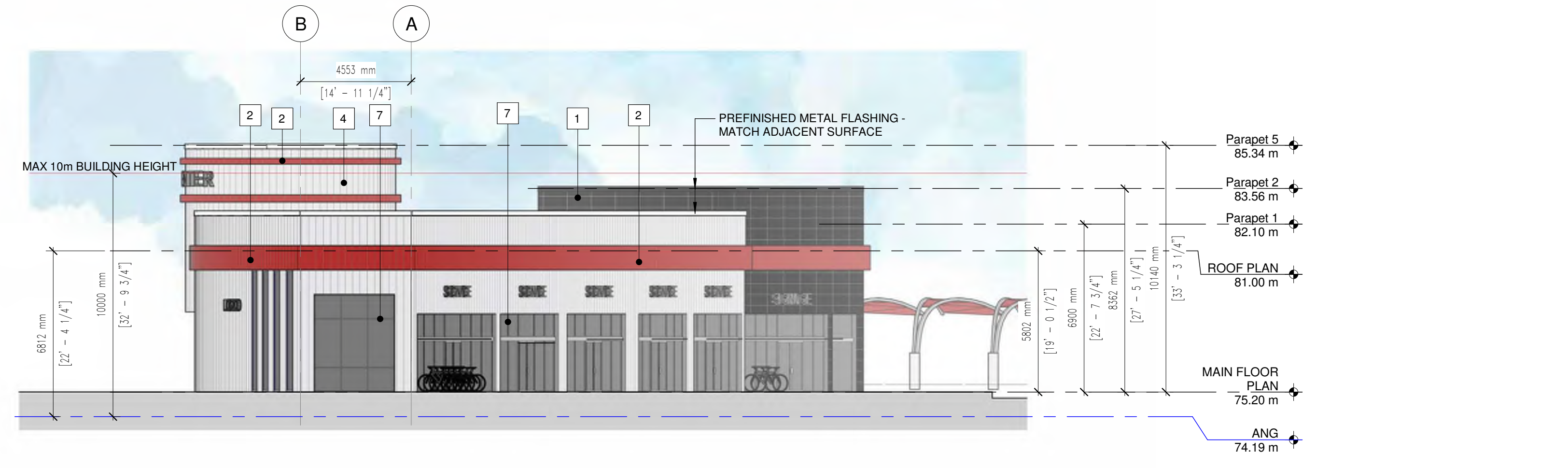
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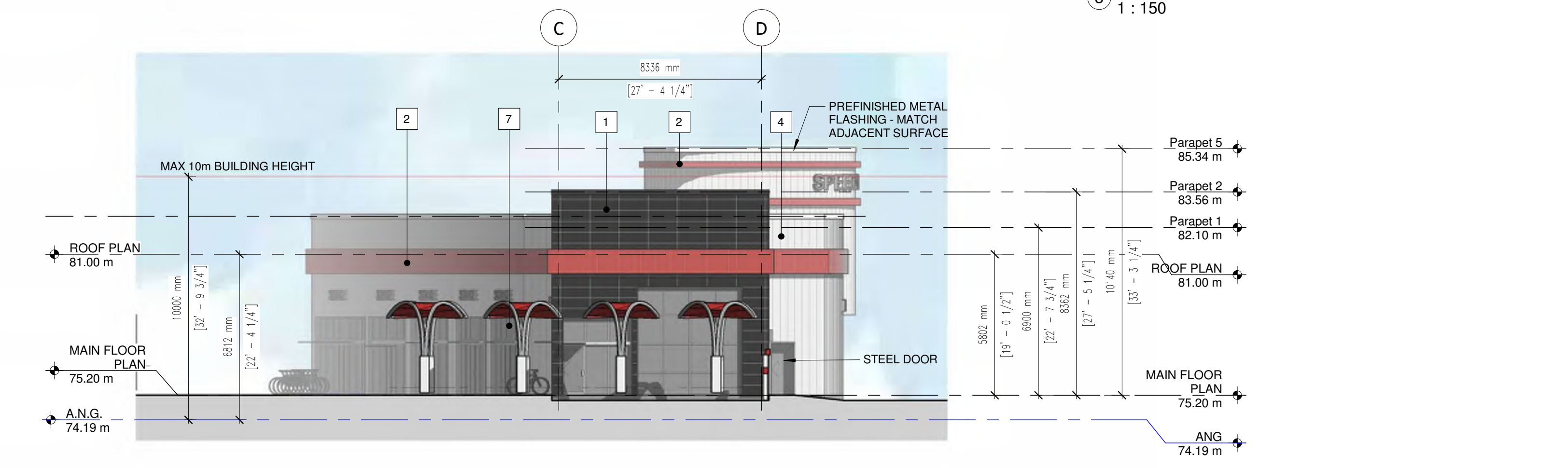
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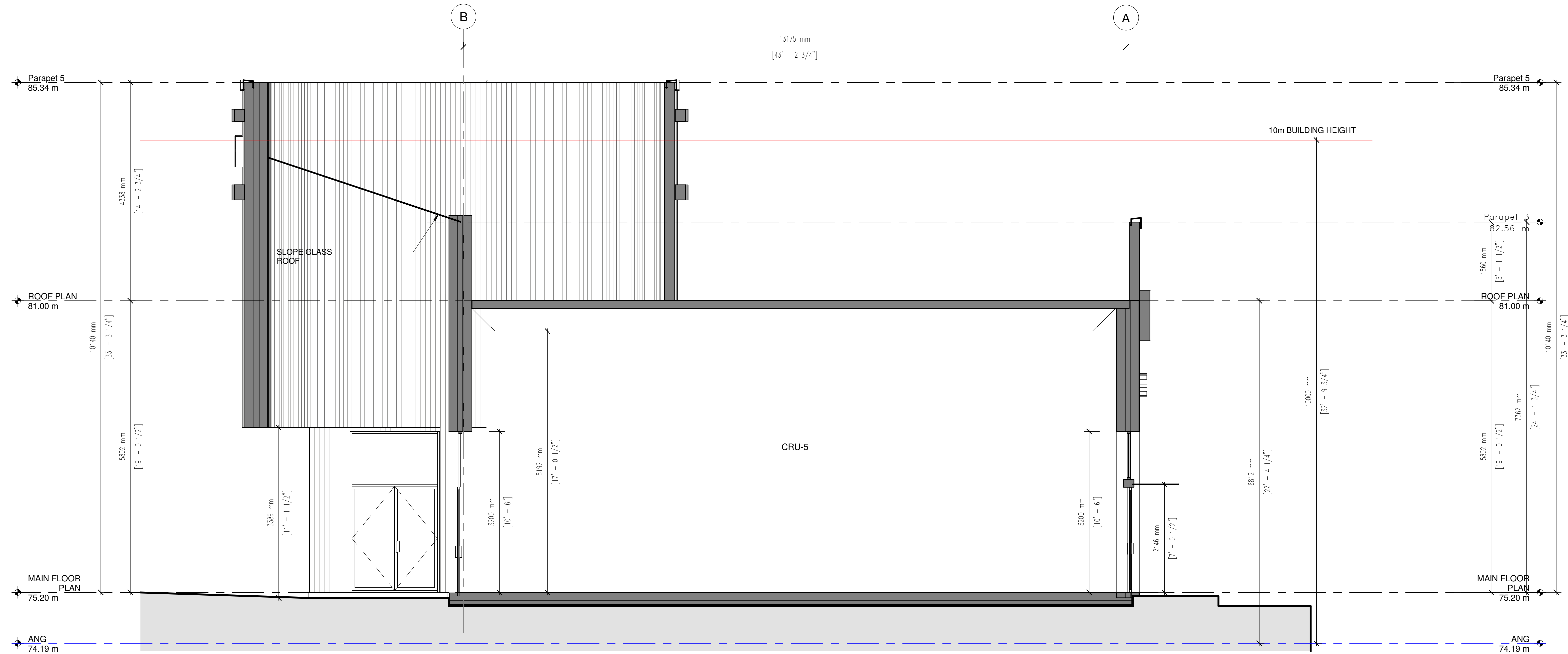
2 NORTH ELEVATION
1 : 150



3 WEST ELEVATION
1 : 150



4 EAST ELEVATION
1 : 150



② BUILDING SECTION
1 : 50

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REV	DATE	DESCRIPTION	BY
3	2023-04-14	Add of Average Natural Grade	AM
2	2023-24-03	Re-issued for DP	AM
1	2022-10-05	Revision 1	AM

START DATE 2022-06-13
PROJECT No 2021-14
DR. AM/WH
CH. JMM
SCALE 1 : 50



Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC ltd

BUILDING SECTIONS - CRU 2

REV No	2	Project No.	2021-14	B2 A-301
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2023-04-14 1:47:12 PM



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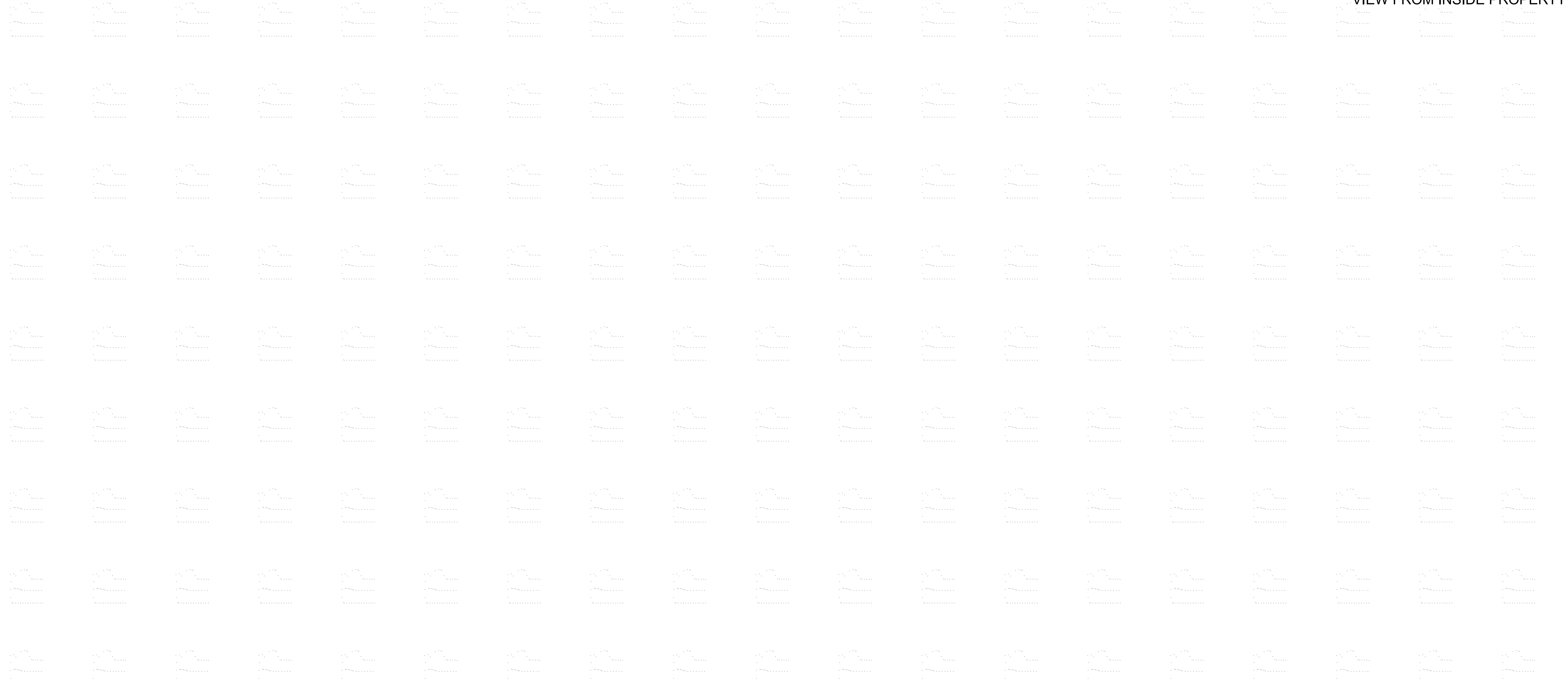
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1	2022-10-05	Revision 1	AM

START DATE: 2021-04-18
 PROJECT No: 2021-14
 DR: AM
 CH: JM

SCALE

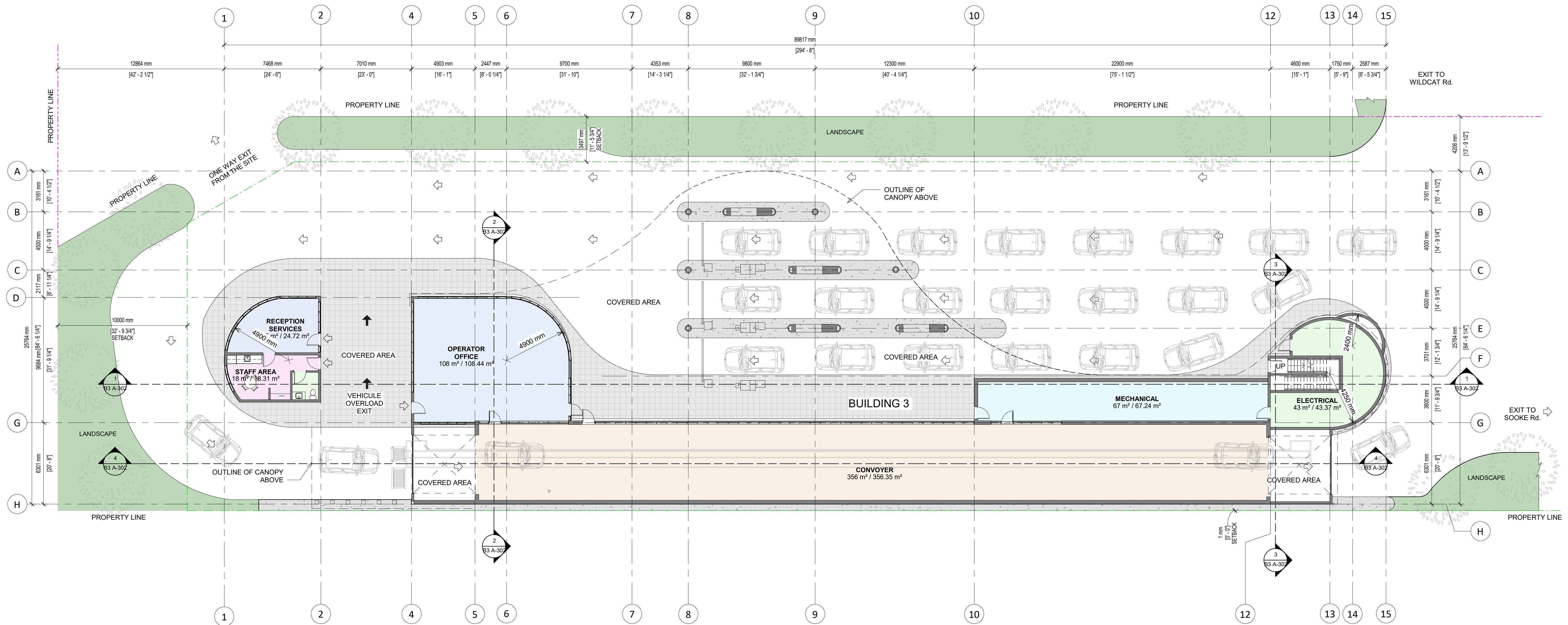
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Project Name: SPEEDWASH COLWOOD
 2353 & 2361 SOOKE rd,
 Colwood B.C. V9B 1X8
 Client:
 655515 BC Ltd

BUILDING 3 SPEEDWASH

REV No: 2 Project No: 2021-14 B3



1 BUILDING 3 - MAIN FLOOR PLAN
1: 150

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REV	DATE	DESCRIPTION	BY
2	2023-03-24	Re-issued for DP	AM
1	2022-10-05	ISSUED FOR DP	AM

START DATE	Issue Date
PROJECT No	2021-14
DR.	AM/WH
CH.	JJM
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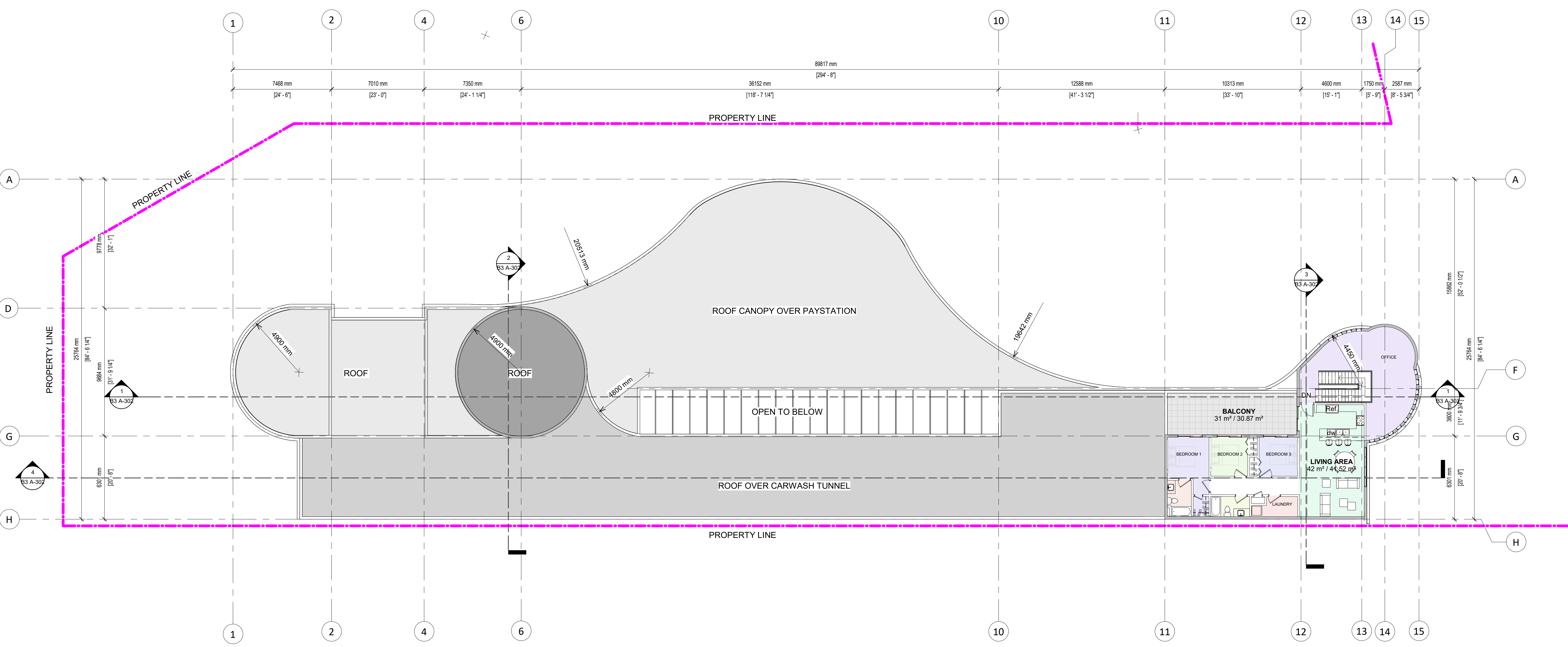


2023-03-24
 Project Name
SPEEDWASH COLWOOD
 2353 & 2361 Sooke rd
 Colwood B.C. V9B 1X8
 Client:
 625515 BC ltd

MAIN FLOOR PLAN - CARWASH

REV/No	2	Project No.	2021-14	B3 A-106
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1 BUILDING 3 - 2ND FLOOR PLAN
1 : 150

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1	2022-10-05	ISSUED FOR DP	AM

START DATE	Issue Date
PROJECT No	2021-14
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Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC Ltd

2ND LEVEL PLAN - CARWASH

REV/No	2	Project No.	2021-14	B3 A-107
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REV	DATE	DESCRIPTION	BY
2	2023-03-24	Re-issued for DP	AM
1	2022-10-05	ISSUED FOR DP	AM

START DATE	Issue Date
PROJECT No	2021-14
DR.	AM/WH
CH.	JJM
SCALE	1 : 150

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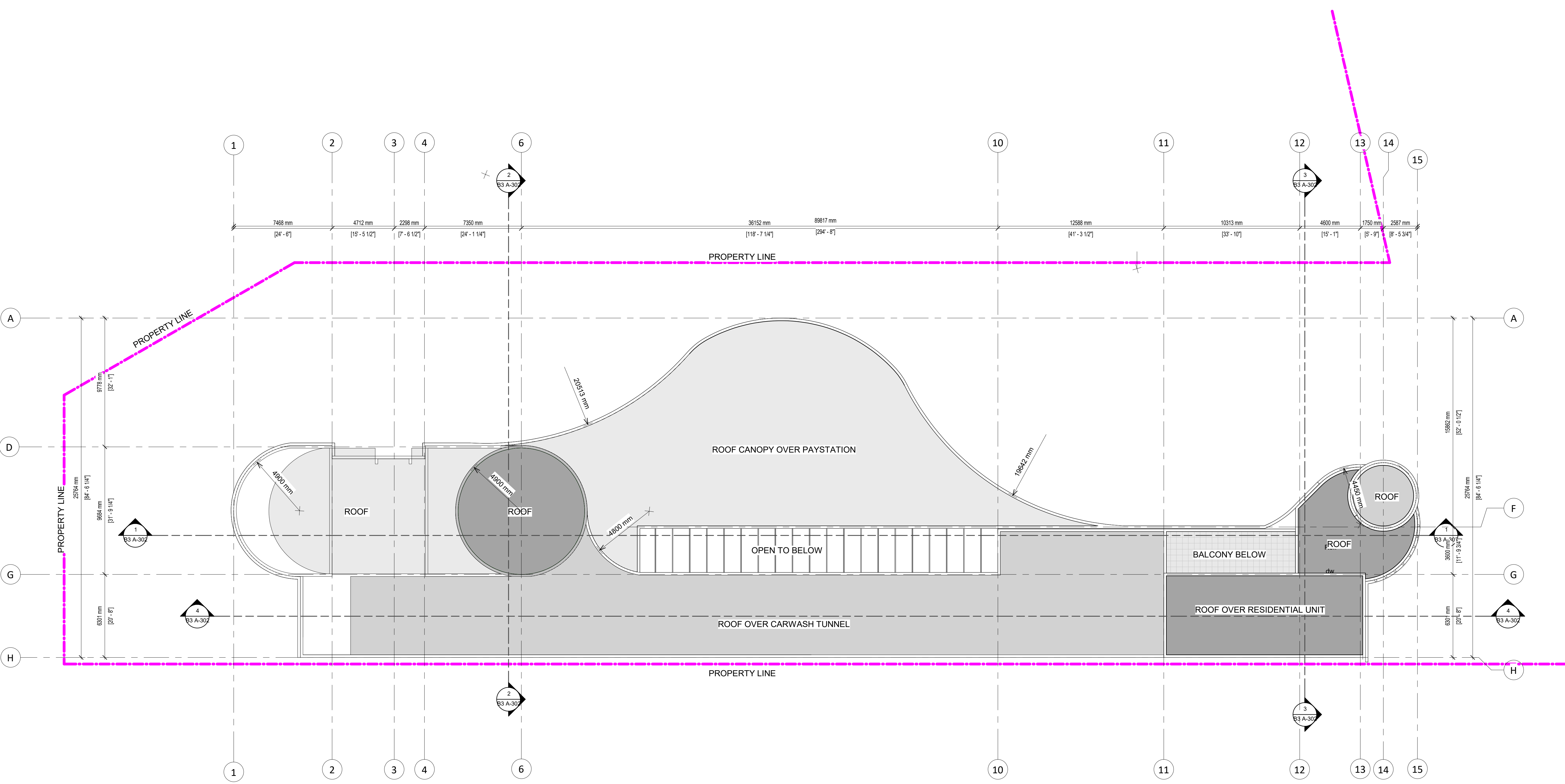


2023-03-24
Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC ltd

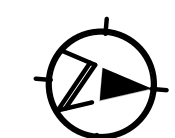
ROOF PLAN

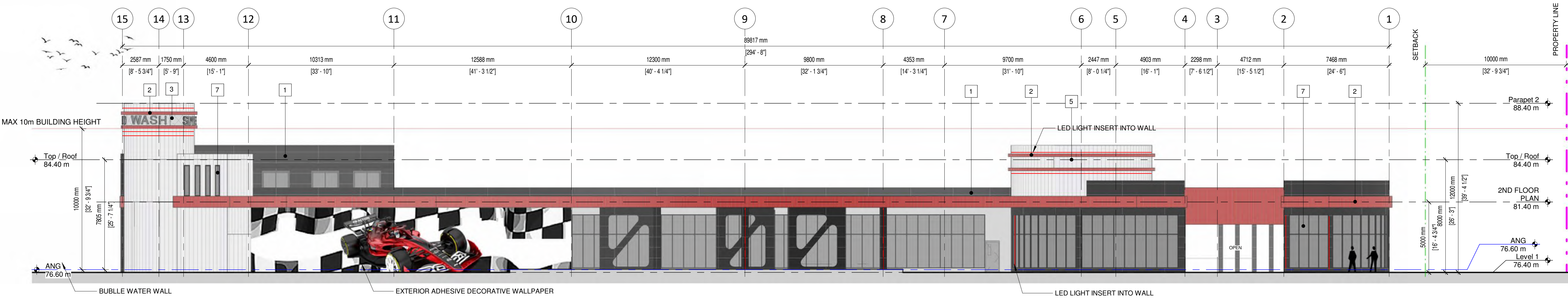
REV/No	2	Project No.	2021-14	B3 A-108
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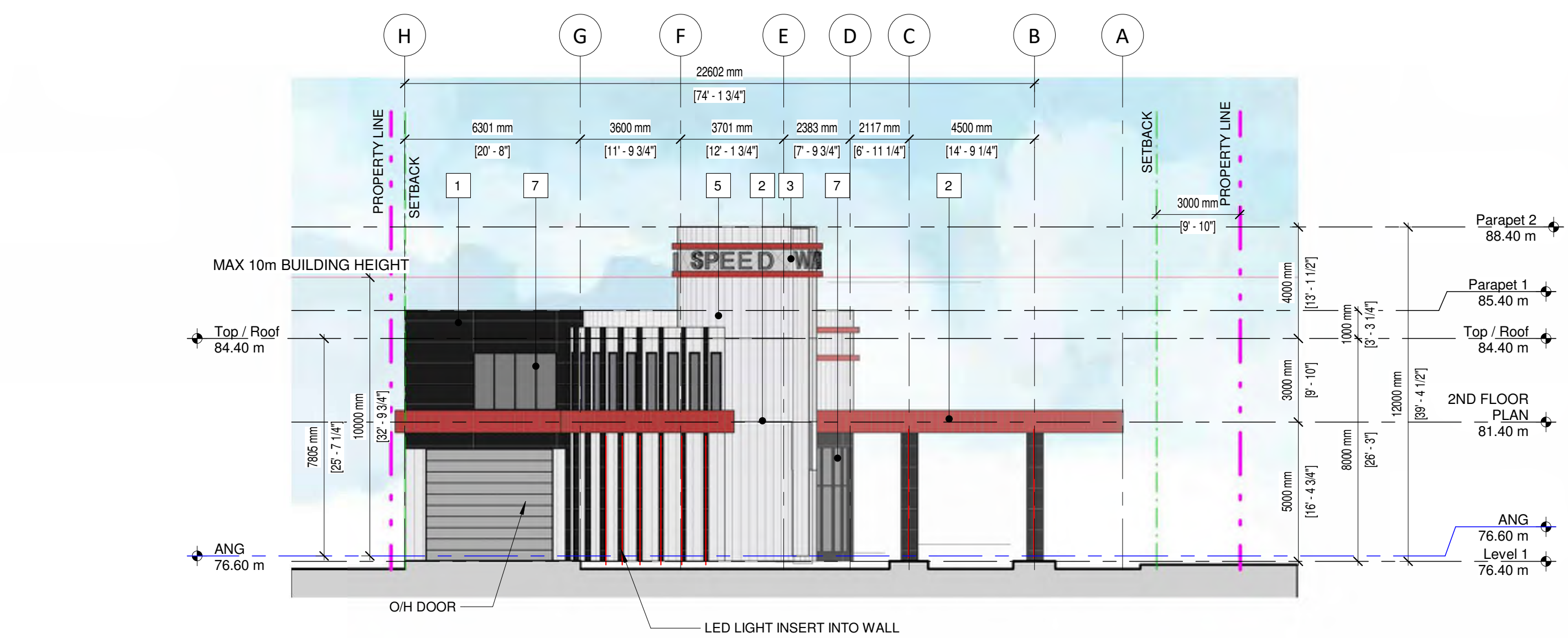


1 BUILDING 3 - ROOF PLAN
1 : 150

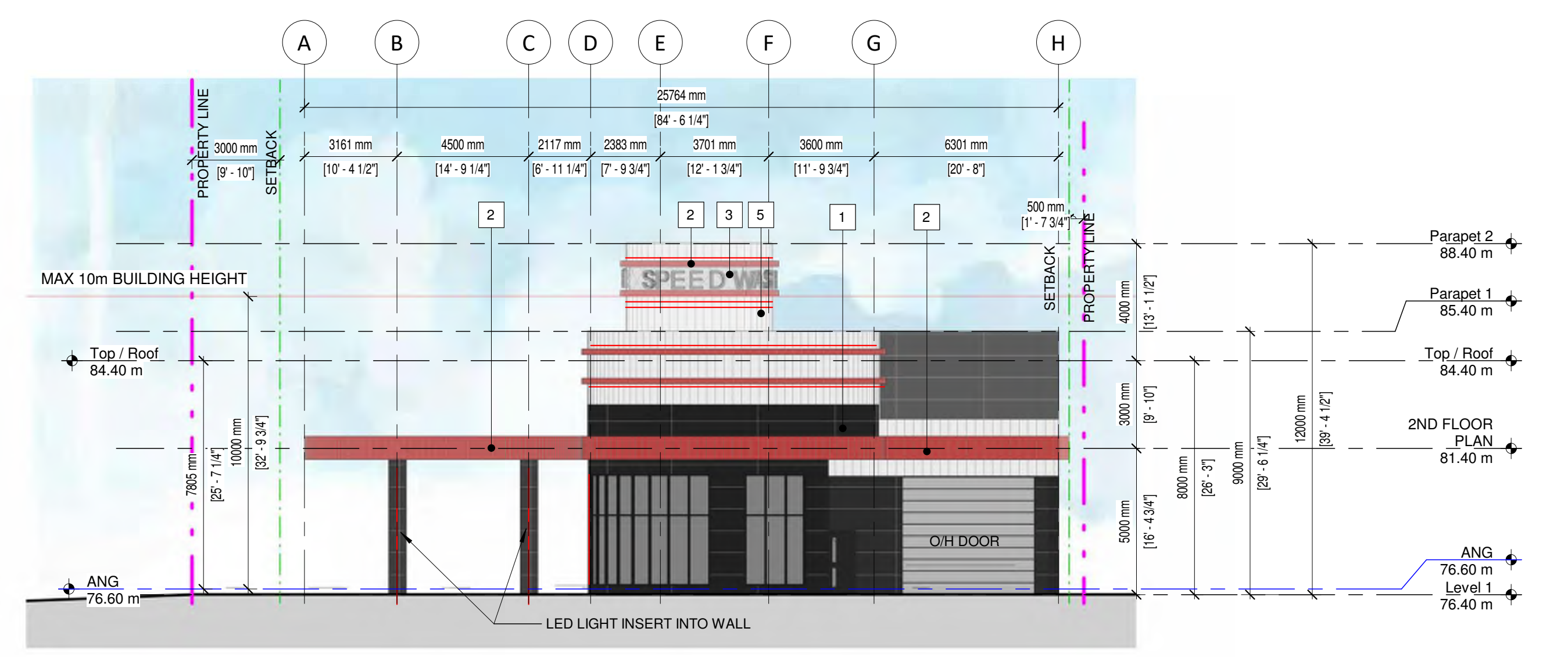




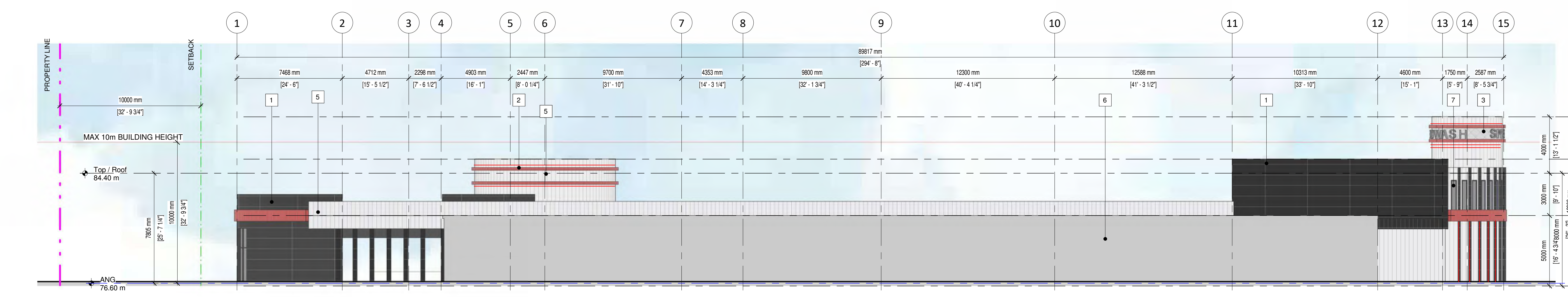
2 West
1 : 150



3 North
1 : 150



4 South
1 : 150



1 East
1 : 150

EXTERIOR FINISH SCHEDULE

1	ALUMINUM METAL LINEAR CLAD-BLACK-QC826-CASCADIA METALS
2	ALUMINUM METAL CLADDING MINI FLUSH 7.5" -RED-QC836-CASCADIA METALS
3	ALUMINUM SEQUIN DECORATIVE PANEL MIRROR FINISH
4	ALUMINUM METAL CLADDING MINI FLUSH 4" -POLAR WHITE-QC1820-R-CASCADIA METALS
5	ALUMINUM METAL CLADDING MINI FLUSH 4" -LIGHT GREY-QC8317-CASCADIA METALS
6	PAINTED TO MATCH WITH LIGHT GREY-QC8317
7	ALUMINIUM STOREFRONT GLAZING SYSTEM ANODIZED ALU FINISHED
8	ALUMINIUM GUARD RAIL, TEMPERED GLASS, ANODIZED ALUMINIUM FINISHED
9	BLACK STEEL CANOPY UNDERLINER RED TO MATCH COLOR 1 AND 2
10	SIGNAGE
11	ALUMINUM METAL LINEAR CLAD-BLACK

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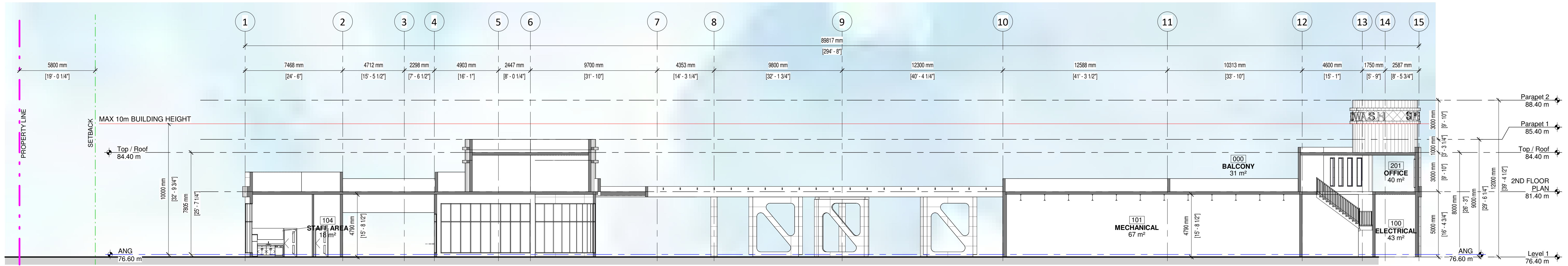
START DATE	Issue Date
PROJECT No	2021-14
DR.	AM/WH
CH.	JJM
SCALE	As indicated

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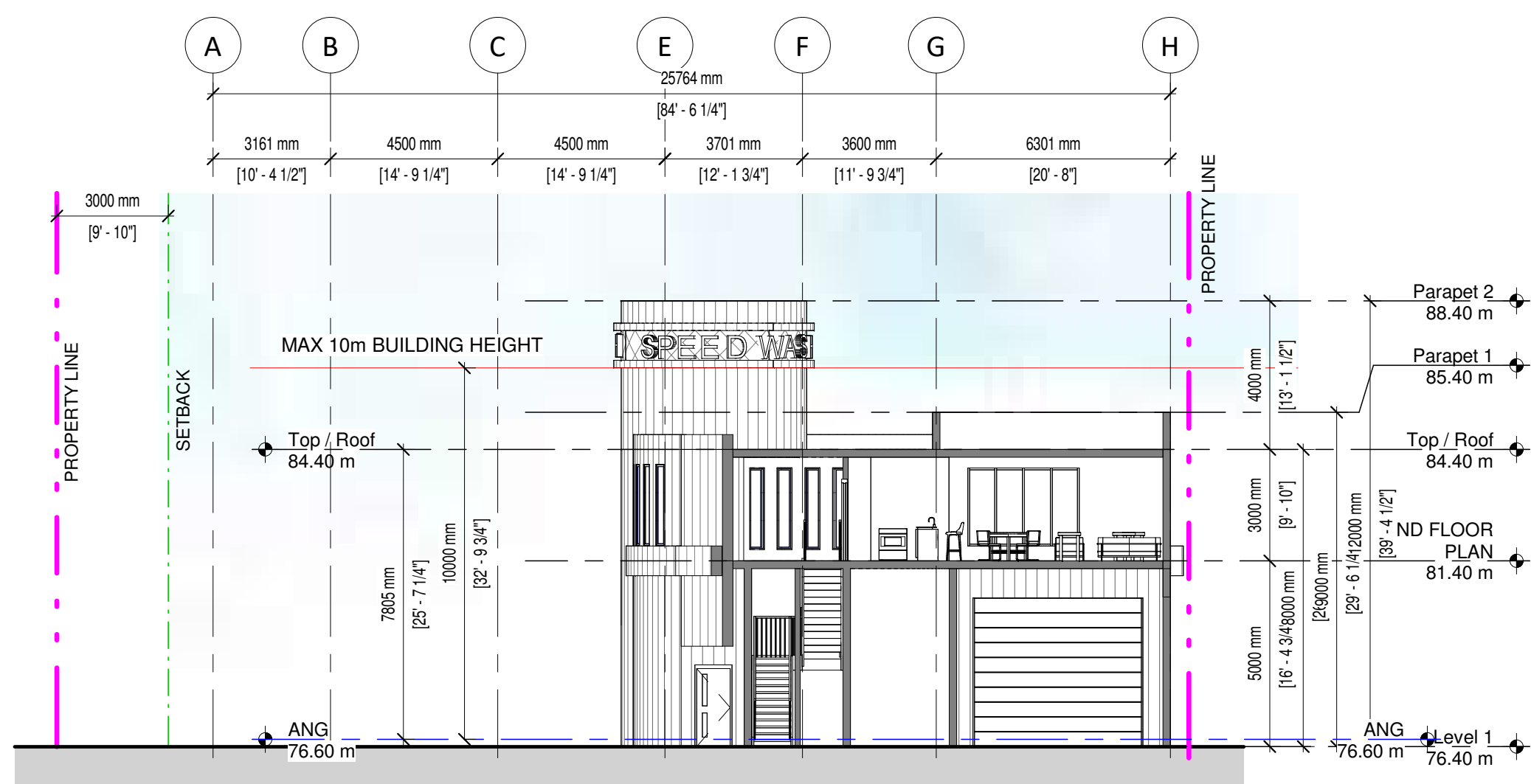
Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC ltd

BUILDING ELEVATIONS - COLORED

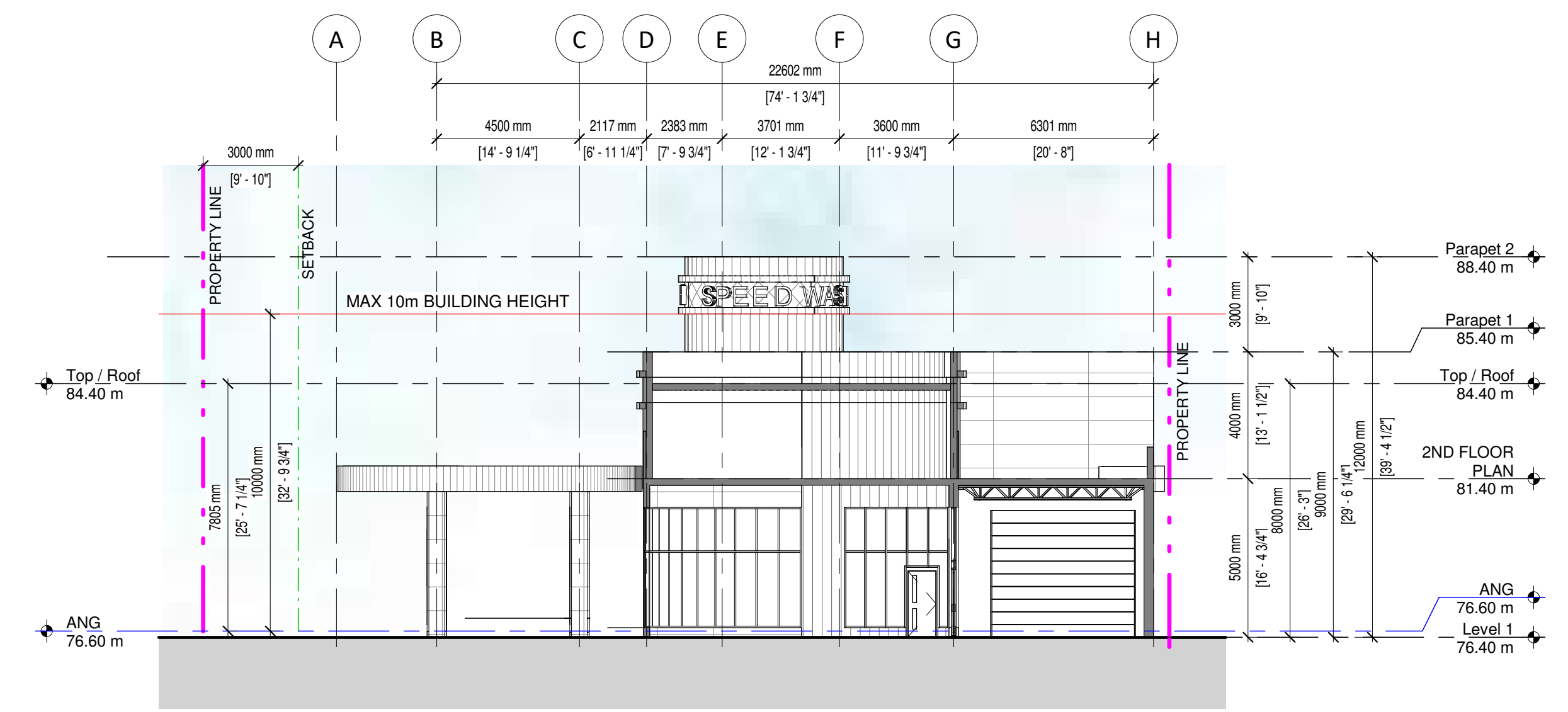
REV No	Project No.	B3 A-202
2	2021-14	



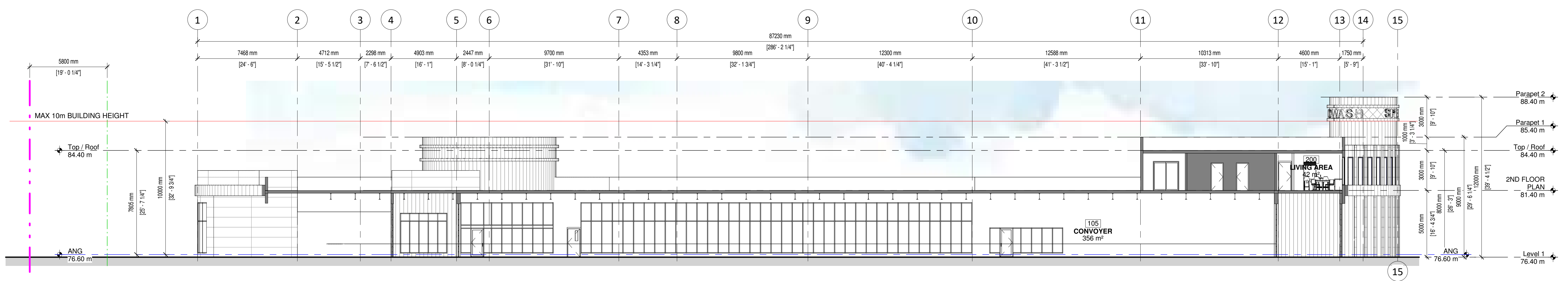
1 BUILDING SECTION
1 : 150



3 CROSS SECTION 1
1 : 150



2 CROSS SECTION 2
1 : 150



4 BUILDING SECTION 1
1 : 150

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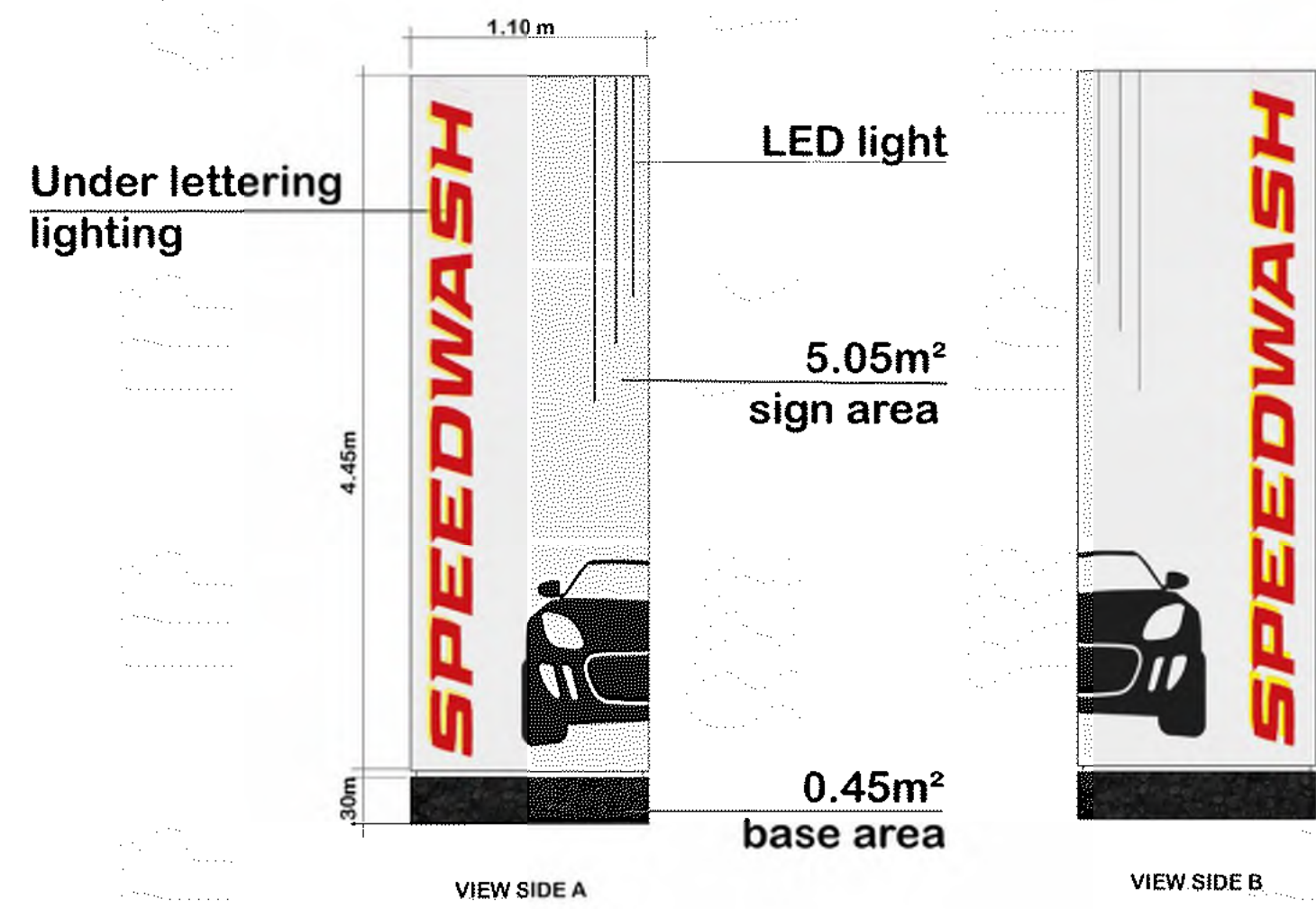


Project Name
SPEEDWASH COLWOOD
2353 & 2361 Sooke rd
Colwood B.C. V9B 1X8
Client:
625515 BC Ltd

BUILDING SECTION - CARWASH

REV No	Project No.	B3 A-302
2	2021-14	

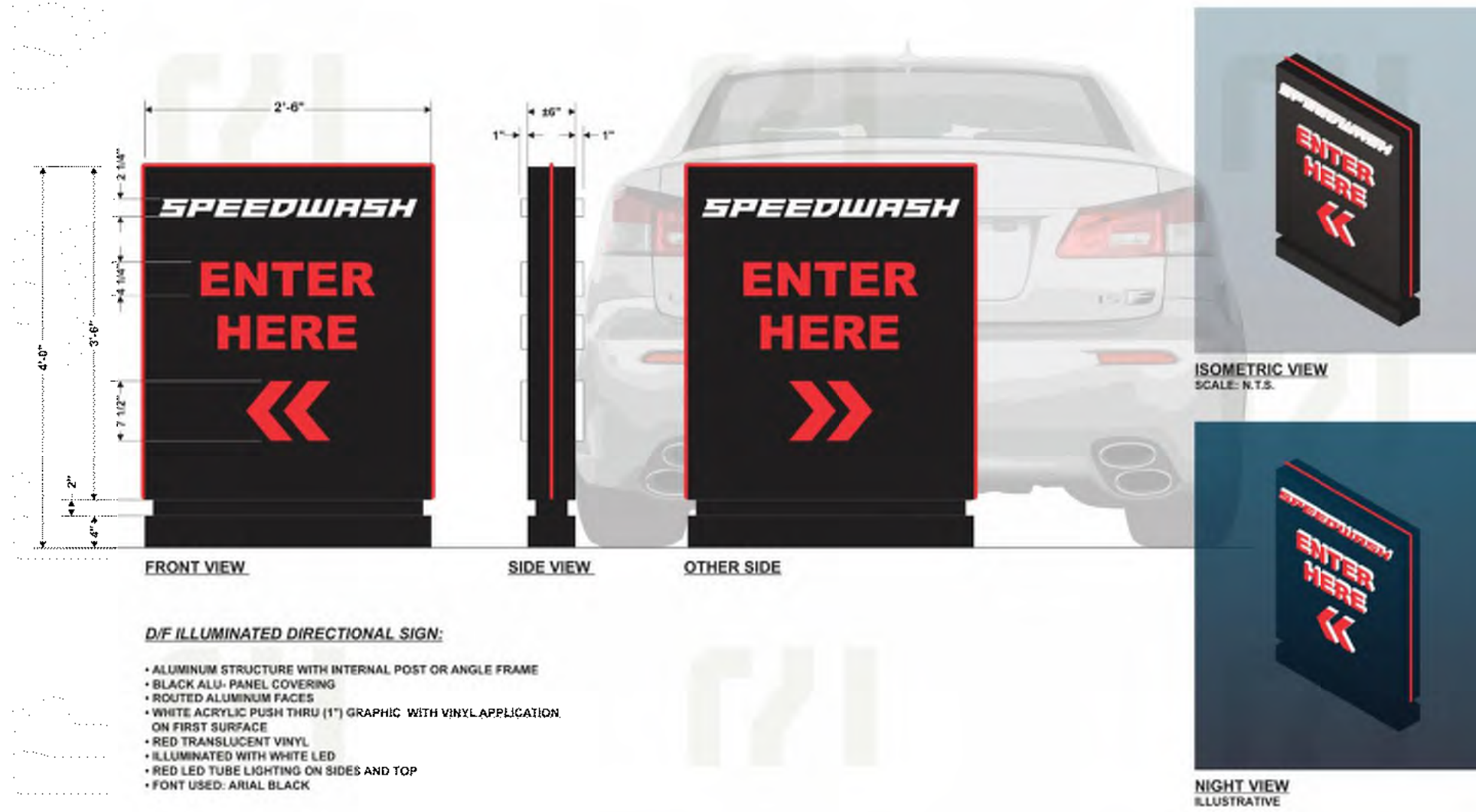
b FREE STANDING SIGN



PROPOSED 11M² EACH SIDE 5.50M² OF TWO SIDE FREE STANDING SIGNAGE

DRAWING NOT TO SCALE

h DIRECTIONAL SIGNS



PROPOSED DIRECTIONAL SIGNS

DRAWING NOT TO SCALE

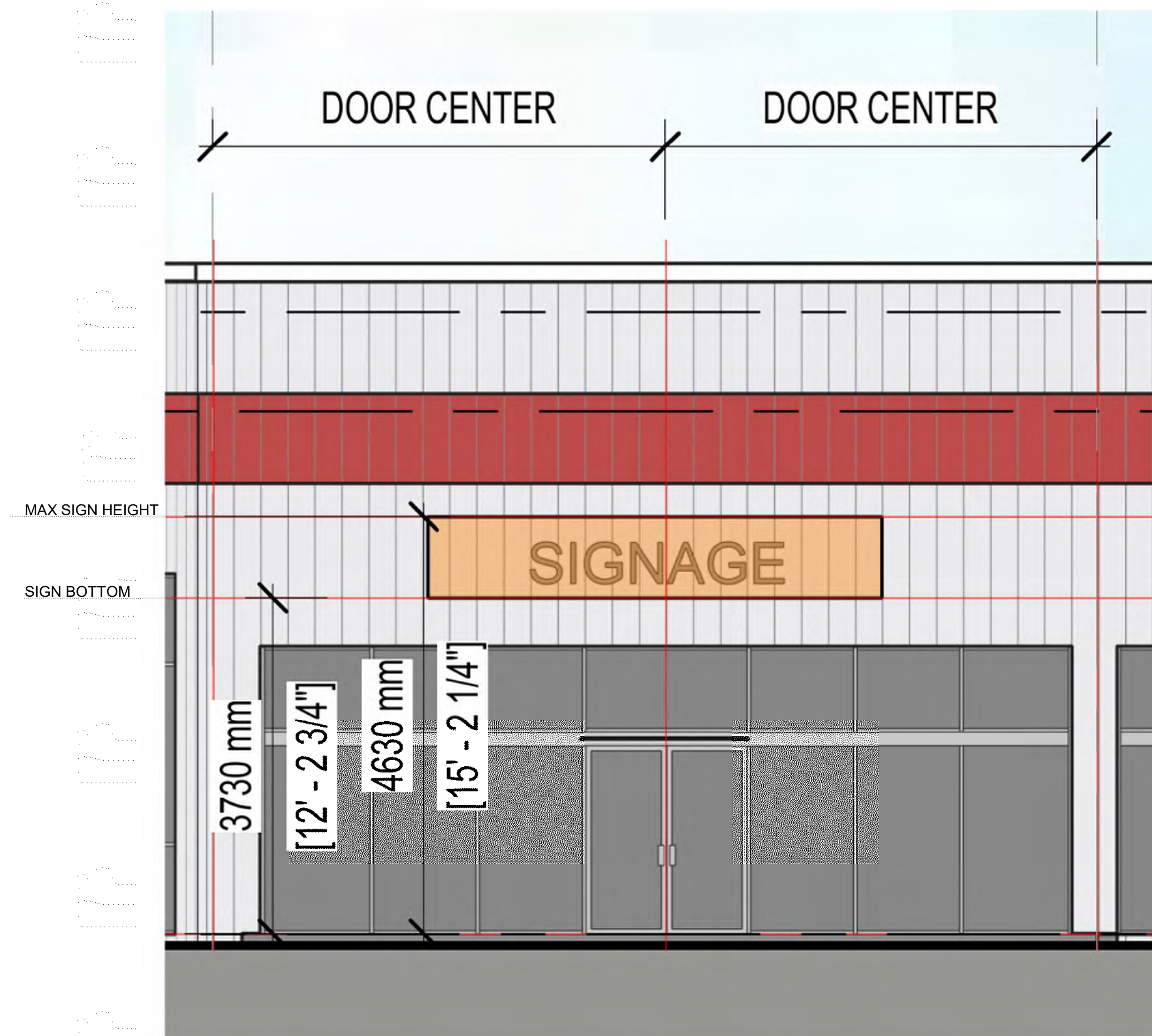
TABLE 1.0

SIGN TABLE CALCULATION				
BUILDING 1				
Sign surface allowed per CRU				
	LENGTH		length / 1M * 0.6M ² length / 3.3Ft * 6.5Ft ²	
	M	Ft	M ²	Ft ²
CRU 1	5.4	17.75	3.24	34.96
CRU 2	11.58	38	6.95	74.85
BUILDING 2				
Sign surface allowed per CRU				
	LENGTH		length / 1M * 0.6M ² length / 3.3Ft * 6.5Ft ²	
	M	Ft	M ²	Ft ²
CRU 1	9.75	32	5.85	63.03
CRU 2	7.16	23.5	4.30	46.29
CRU 3	8.45	27.75	5.07	54.66
CRU 4	6.5	21.25	3.90	41.86
CRU 5	6.3	20.75	3.78	40.87
CRU 6	10.21	33.5	6.13	65.98

TABLE 2.0

Sign Bylaw 60	
12 SIGN DISTRICT D	
a	On each lot in Sign District D the following signs shall be permitted in accordance with the regulations in this section:
I	One Free Standing Sign or one Projecting Sign adjacent to each street abutting a lot, except that on lots bounded by two intersecting streets only one sign per lot is permitted.
II	One Facia Sign or Canopy Sign or Wall Sign per business per building face.
III	One Time and Temperature Digital Sign forming part of one of the above signs.
IV	One Marquee Sign per business.
V	One Directional Sign per entrance and exit
VI	One Notice Board Sign or One Sandwich Board Sign per business.
VII	Window signs
b	Free Standing Sign and Projecting Sign
I	Where the gross floor area of buildings on the lot is 1,500 square metres (16,147 square feet) or less, the sign area of each sign shall not exceed 5.5 square metres (59 square feet) if one-sided or 11 square metres (118 square feet) if multi-sided
II	Where the gross floor area of buildings on the lot is more than 1,500 square metres (16,147 square feet), the sign area of each sign shall not exceed 7.5 square metres (80 square feet) if one-sided or 15 square metres (160 square feet) if multi-sided.
III	No sign shall exceed a height of 6m (19.7 ft.).
IV	No sign or part thereof shall be located within 1.5m (4.9 ft.) of any lot boundary with another lot
V	Rotating one-sided or two-sided signs are not permitted.
c	Time & Temperature Digital Sign
I	Shall not be a separate independent sign and shall be physically integrated into the sign area of a sign permitted by this Bylaw.
d	Facia Sign
I	Total sign area for all Facia Signs shall not exceed .6 square metres (6.5 sq. ft.) for each metre (3.3 ft.) of horizontal building face.
II	The height of a sign shall not exceed 1.2 metres (4 ft.).
III	No sign shall be located on a building wall facing an interior, side or rear lot line of an abutting property which is in a residential, multi-family residential or institutional zone.
e	Canopy Sign
I	Total sign area of all Canopy signs shall not exceed .6 square metres (6.5 sq. ft.) for each metre (3.3 ft.) or horizontal building face.
II	If overhanging an entrance, the sign shall have a minimum clearance of 2.5m (8.2 ft.)
IV	The height of a sign shall not exceed 1.2 m (4 ft.).
IV	No sign shall be located on a building wall facing an interior, side or rear lot line of an abutting property which is in a residential zone.
f	Wall Sign
I	Total sign area for all Wall Signs shall not exceed 20 percent of the total exposed area of the building face, including openings, upon which the sign is painted.
II	No sign shall be located on a building wall facing an interior side or rear lot line of an abutting property which is in a residential zone.
g	Marquee Sign
I	The sign area shall not exceed 1.0 square metres (10.8 sq. ft.).
II	No part of Directional Sign the sign shall be less than 2.5 m (8.2 ft.) above the finished grade.
h	Directional Sign
I	The sign area shall not exceed .9 square metres (9.7 sq. ft.) per sign
i	Notice Board Sign and Sandwich Board Sign
I	Signs shall be located within 3 m (9.9 ft.) of a building wall
II	Signs shall not be located within 6 metres (20 ft.) of a street.

d FACIA SIGN LOCATION



PROPOSED FACIA SIGN LOCATION
SIZE AS PER TABLE 1.0 FOR EACH CRU'S
NOT TO BE LITE ABUTING RESIDENTIAL NEIGHBOUR

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1	2022-10-05	Revision 1	AM

START DATE 2021-04-18

PROJECT No 2021-14

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Project Name
SPEEDWASH COLWOOD

2353 & 2361 SOOKE rd.
Colwood B.C. V9B 1X8

Client:
655515 BC Ltd

SIGNAGE



STREET SCAPE - VMP



STREET SCAPE - SOOKE ROAD



STREET SCAPE - WILDCAT TRAIL

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START DATE 2022-06-13

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2023-03-24

Project Name SPEEDWASH COLWOOD

2353 & 2361 Sooke rd Colwood B.C. V9B 1X8

Client: 625515 BC Ltd

STREET SCAPE

REV/No	Project No.	A-800
2	2021-14	A-800



BIRD EYES VIEW - WILDCAT TRAIL



CORNER VMP - SOOKE rd



SOOKE rd



FROM WOLDCAT TRAIL

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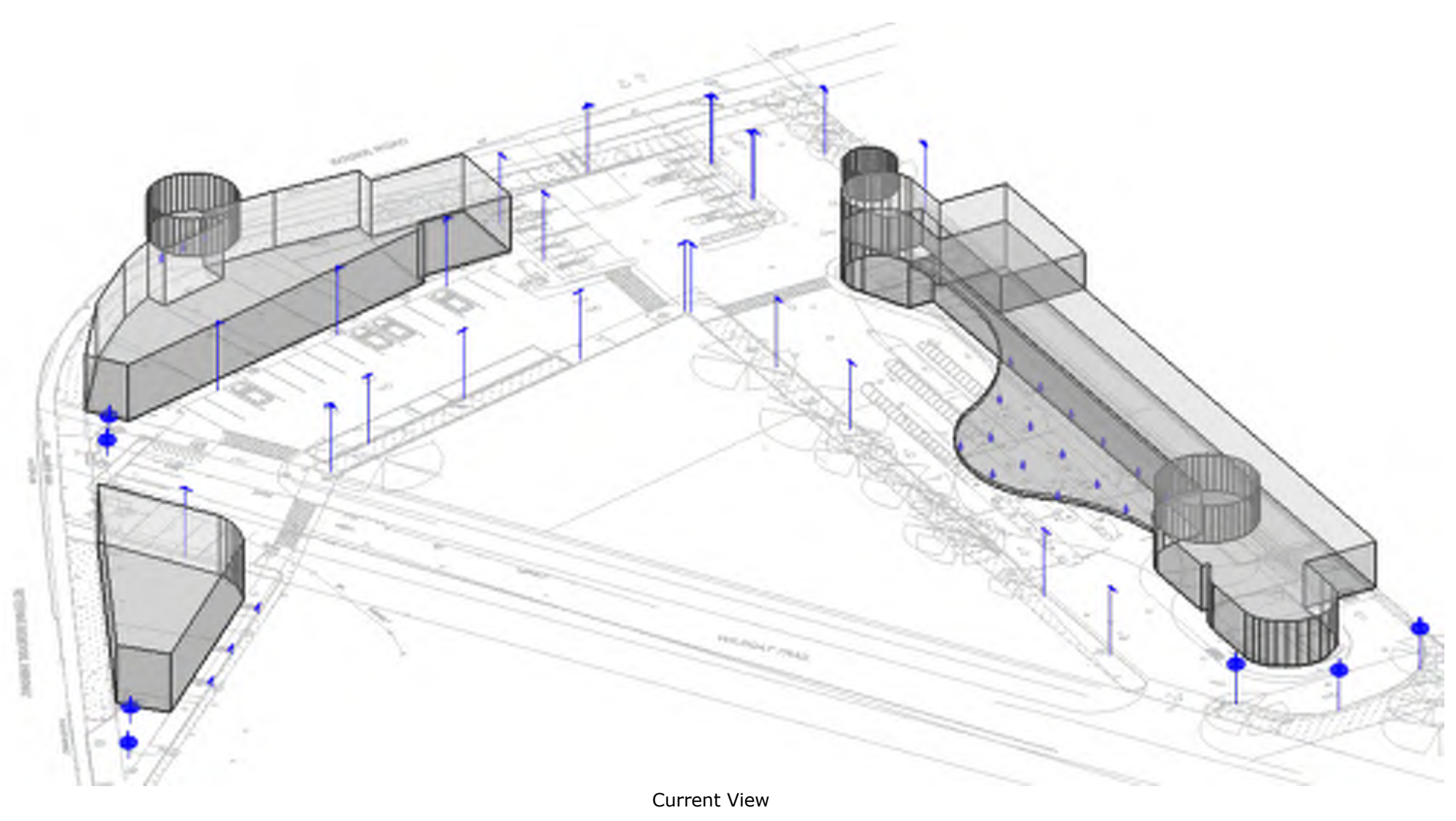
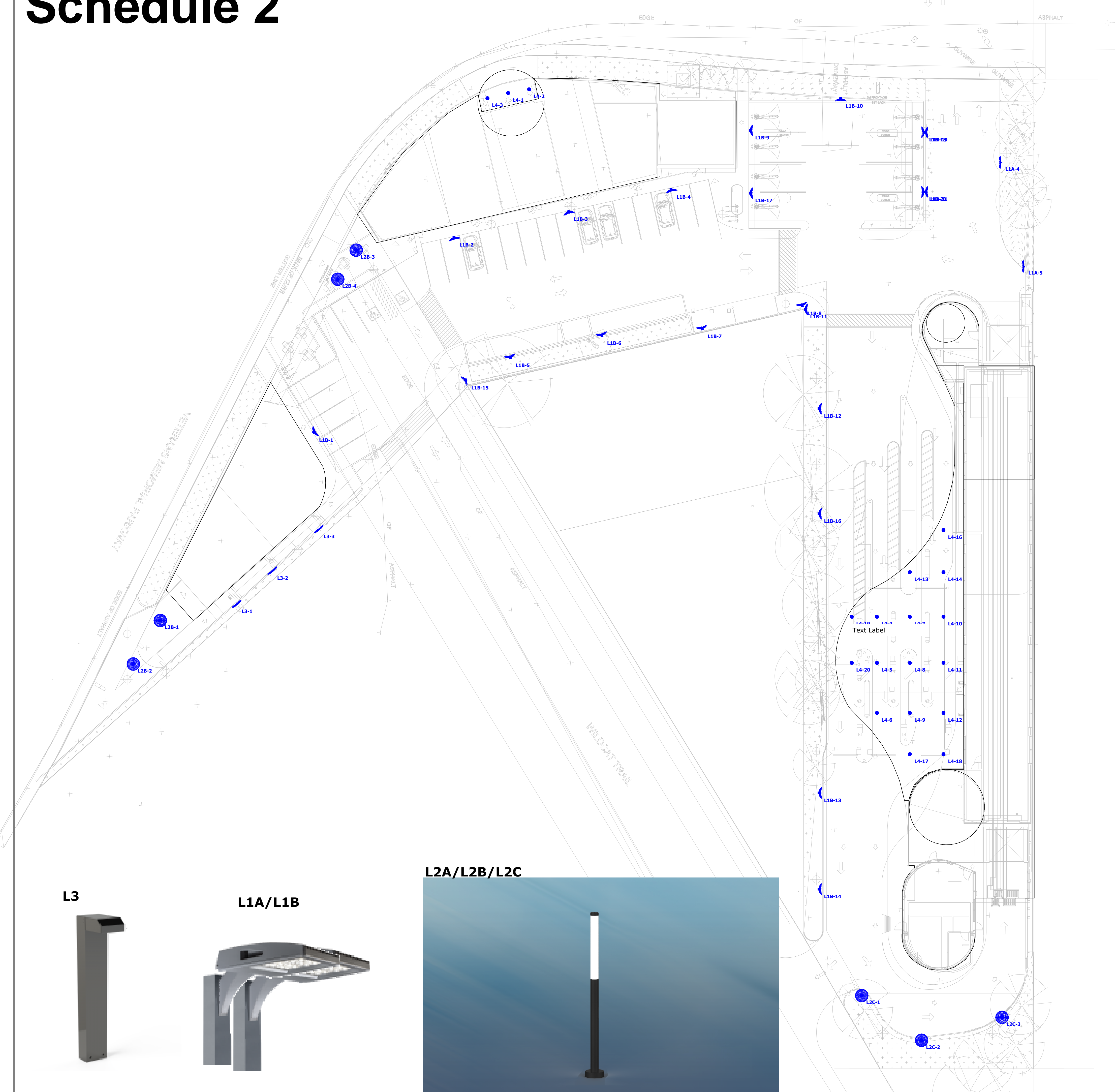
2353 & 2361 Sooke rd
 Colwood B.C. V9B 1X8
 Client: 625515 BC Ltd

RENDERING

REV/No	Project No.	A-801
2	2021-14	

Schedule 2

SOOKE ROAD



Current View

Schedule						
Symbol	Label	Manufacturer	Description	Lamp Output	LLF	Polar Plot
	L1A	NLS Lighting LLC	NV Series Area Lighting Fixture	13526	0.95	 Max: 15670cd
	L2A	NLS Lighting	Lira Light Column	2951	0.95	 Max: 318cd
	L2B	NLS Lighting	Lira Light Column	5902	0.95	 Max: 636cd
	L2C	NLS Lighting	Lira Light Column	12156	0.95	 Max: 1309cd
	L3	NLS Lighting		2247	0.95	 Max: 2805cd
	L1B	NLS Lighting LLC	NV SERIES WITH T3 OPTICS, BLACK HOUSE SIDE SHIELD	7387	0.95	 Max: 11607cd
	L4	ELITE		3020	0.95	 Max: 3790cd



L1A/L1B

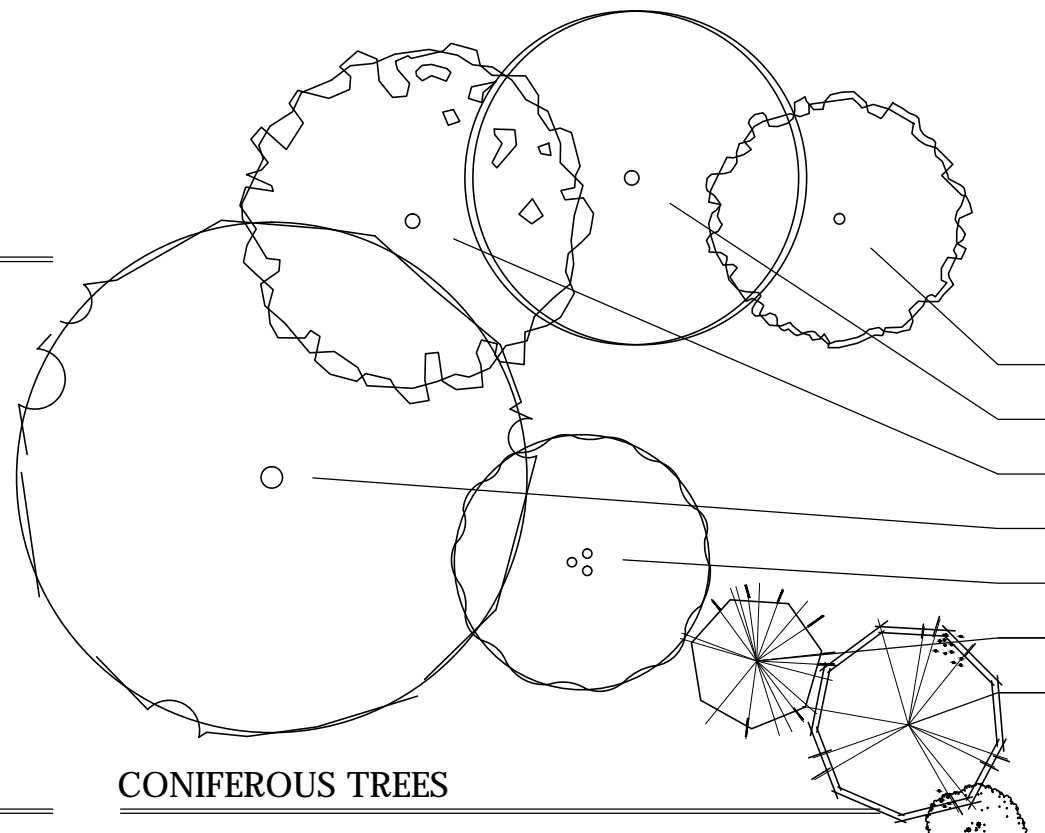


L2A/L2B/L2C

SCHEDULE 3

DRAWING LIST

L1-00	NOTES & KEYS	L4-12	PLANTING PLAN NW
L2-00	HARD LANDSCAPE KEY	L4-13	PLANTING PLAN NE
L2-11	HARD LANDSCAPE PLAN SW	L4-14	PLANTING PLAN SE
L2-12	HARD LANDSCAPE PLAN NW	L5-01	SOFT LANDSCAPE DETAILS
L2-13	HARD LANDSCAPE PLAN NE	L5-02	HARD LANDSCAPE DETAILS
L2-14	HARD LANDSCAPE PLAN SE	L5-03	HARD LANDSCAPE DETAILS
L4-00	PLANTING PLAN KEY	L5-04	HARD LANDSCAPE DETAILS
L4-11	PLANTING PLAN SW		



PLANT LIST

TREES						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
AC	1	Acer circinatum	Vine Maple	3m clump	B&B min. 50cm root ball dia.	10m height 5m spread
AB	1	Acer 'Bowhall'	Bowhall Maple	6cm cal	150cm standard B&B min. 50cm root ball dia.	12m height 4.5m spread
CN	11	Cornus nuttallii	Pacific Dogwood	6cm cal	150cm standard B&B min. 50cm root ball dia.	10m height 8.0m spread
GT	6	Gleditsia triacanthos	Honey Locust	6cm cal	150cm standard B&B min. 50cm root ball dia.	21m height 21m spread
PE	13	Populus tremula 'Erecta'	Columnar Swedish Aspen	5cm cal.	150cm STD - B&B w/basket min. 50cm root ball dia.	12.0m height 3.0m width
PN	17	Pinus nigra	Austrian Black Pine	2.0 m ht.	Dense Tight Habit B&B min. 50cm root ball dia.	15m height 2.4m spread
TP	1	Thuja plicata	Western Red Cedar	3.0 m ht.	Dense Tight Habit B&B min. 50cm root ball dia.	30m height 10m spread
CONIFEROUS SHRUBS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
mp	67	Pinus mugo mughus	Mugo Pine	#5 pot	min. 30cm spread min. 20cm height	300cm height 500cm spread
tm	86	Taxus x media 'Hicksii'	Hick's Yew	1.2m	min. 30cm spread	1.5cm height 120cm spread
BROADLEAF EVERGREEN SHRUBS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
au	5	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	#5 pot	min. 45cm height	300cm height 300cm spread
eo	84	Euonymus aureomarginatus	Golden Euonymus	#2 pot	min. 20cm height	120cm height 150cm spread
gs	133	Gaultheria shallon	Salal	#1 pot	min. 20cm height	100cm height 120cm spread
la	141	Lavandula angustifolia	English Lavender	#1 pot	min. 30cm height	60cm height 75cm spread
pl	86	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	#2 pot	min. 45cm height	150cm height 300cm spread
rv	17	Rhododendron 'Vulcan'	Vulcan Rhododendron	#2 pot	min. 45cm height	150cm height 200cm spread
vo	89	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#2 pot	min. 60cm height	180cm height 190cm spread
DECIDUOUS SHRUBS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
cs	129	Cornus stolonifera	Redtwig Dogwood	#1 pot	min. 50cm height heavy	300cm height 200cm spread
cc	56	Cotinus cogg. 'Royal Purple'	Smoke Tree	#5 pot	min. 60cm height heavy	200cm height 150cm width
rs	20	Ribes s. 'King Edward VII'	King Edward VII Currant	#1 pot	min. 40cm height	240cm height 120cm spread
FERNS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
pm	56	Polystichum munitum	Swordfern	#1 pot	min. 25cm height	100cm height 100cm spread
PERENNIALS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
aj	63	Astilbe x japonica 'Rheinland'	Rheinland False Spirea	#1 pot	min. 25cm height	55cm height 60cm spread
VINES						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
hp	4	Hydrangea petiolaris	Climbing Hydrangea	#2 pot	min. 30cm height heavy	500cm height 200cm spread
GRASSES						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
x	102	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	10cm pot		30cm height 45cm spread
GROUND COVERS						
CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
rc	1995	Rubus calycinoides	Creeping Raspberry	10cm pot	min. 25cm spread 30cm O.C.	10cm height 60cm spread
la		Lawn	Shade Tolerant Blend			30cm

GENERAL NOTES

- COMPLIANCE, GOVERNMENT - ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE LOCAL MUNICIPAL AUTHORITIES AND SHALL COMPLY WITH ALL STANDARDS AND REGULATIONS OF THE SAME. CONTRACTORS SHALL ENSURE COMPLIANCE OF ALL WORK PRIOR TO INSTALLATION.
- COMPLIANCE, BCNTA/BCSLA - ALL MATERIAL, SHIPPING PROCEDURES, AND INSTALLATION OF LANDSCAPE ELEMENTS SHALL CONFORM TO LATEST EDITION OF BCNTA/BCSLA LANDSCAPE STANDARD AVAILABLE AT COMMENCEMENT OF WORK.
- COMPLIANCE, MMCD - ALL WORKS SHALL CONFORM TO THE LATEST MMCD DETAILS AND SPECIFICATIONS AVAILABLE AT COMMENCEMENT OF WORK WHERE NO SPECIFIC DETAIL, NOTE OR SPECIFICATION IS PROVIDED IN THE DRAWING SET OR ATTACHED MATERIALS.
- EXISTING SERVICES - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF ALL BURIED SERVICES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL UTILITIES LOCATIONS AND ANY AND ALL COSTS WHICH ARISE FROM DAMAGE TO SERVICES CAUSED BY ANY ACT OR FAILURE TO ACT OF THE CONTRACTOR.
- COORDINATION - THESE DRAWINGS SHALL BE TAKEN TO BE PART OF THE LARGER SET OF DRAWINGS AND SPECIFICATIONS, WHETHER DIRECTLY ATTACHED OR NOT, ISSUED FOR THE CONSTRUCTION OF THE ASSOCIATED BOULEVARD WORKS. THESE DRAWINGS SHALL BE READ IN CONCERT WITH SUCH DOCUMENTATION AND, WHERE CONFLICTS ARISE, THE CONTRACTOR SHALL IMMEDIATELY REPORT SUCH CONFLICTS TO THE LANDSCAPE ARCHITECT. THE WORK IS TO BE DONE IN COORDINATION WITH THE CONTRACTOR OR CONTRACTORS ENGAGED IN CONSTRUCTION OF SUCH ADJACENT WORKS.
- CONCRETE, FORMS - THE CONTRACTOR SHALL COMPARE DIMENSIONS PROVIDED WITH SITE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND THE ENGINEER. ONCE COMPLETED THE CONTRACTOR SHALL CALL FOR INSPECTION OF THE FORMS PRIOR TO PLACING STEEL REINFORCEMENT. CONTACT LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO DESIRED INSPECTION TIME.
- CONCRETE, REINFORCEMENT - ALL CONCRETE REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO POURING OF CONCRETE. CONTACT STRUCTURAL ENGINEER A MINIMUM OF 48 HOURS PRIOR TO DESIRED INSPECTION TIME.
- GRADING, GENERAL - THE CONTRACTOR SHALL ESTABLISH GRADES SUCH THAT THERE IS, IN ALL AREAS, POSITIVE DRAINAGE TO AN ADJACENT DRAIN. MINIMUM SLOPES SHALL BE AS FOLLOWS:

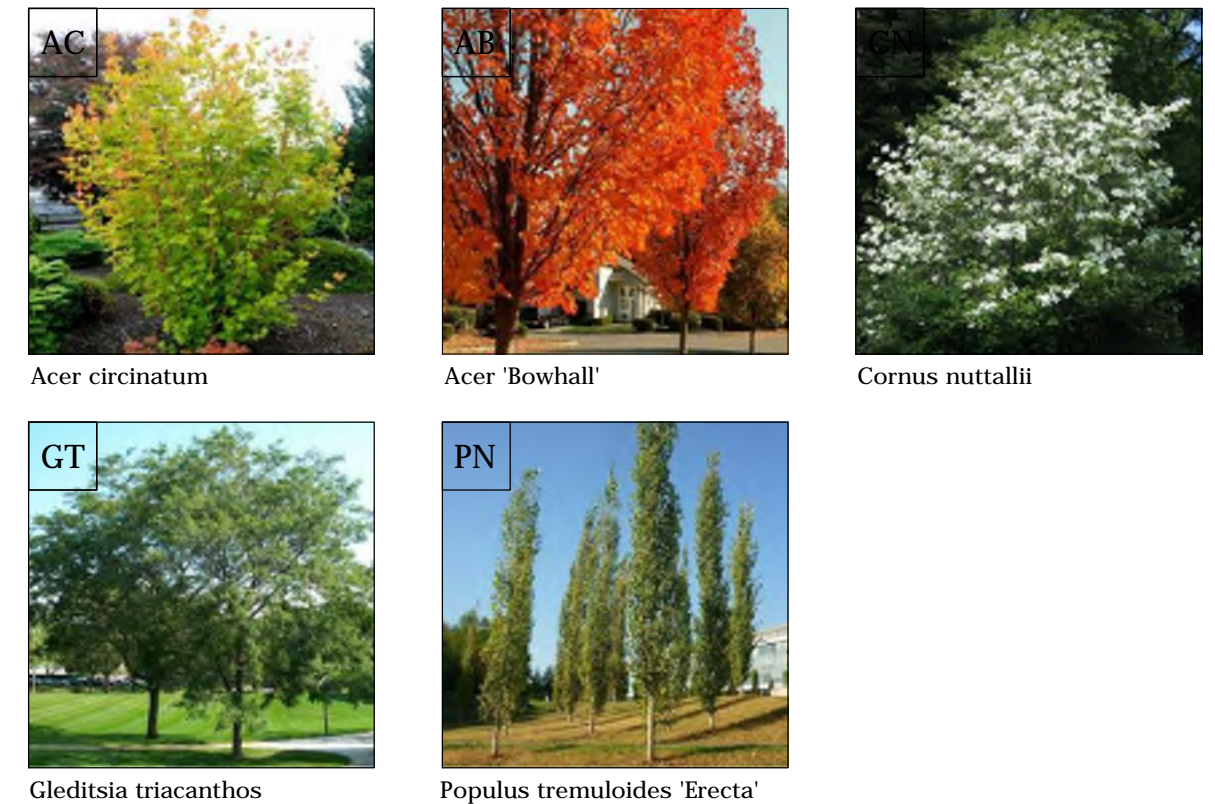
PEDESTRIAN PAVED AREAS	1%
VEHICULAR PAVED AREAS	1%
- GRASSING, ALLOWANCES AND TOPSOIL PLACEMENT - OVERALL DEPTH OF PLANTING MEDIUM AFTER SETTLEMENT SHALL BE:

LAWN AREAS	2%
PLANTED BEDS	5%
- GRADING, BUILDING FINISHED FLOOR & CORNER ELEVATIONS - SEE ARCHITECTURAL DRAWINGS.
- PLANT MATERIAL QUANTITIES - CONTRACTOR SHALL CONFIRM ALL PLANT MATERIAL QUANTITIES. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWING SHALL BE REPORTED TO THE CONSULTANT. IN CASE OF DISCREPANCY CONTRACTOR SHALL INSTALL PLANT MATERIAL AS PER DRAWING. IN CIRCUMSTANCES WHERE THERE IS A DISCREPANCY BETWEEN GROUND COVER QUANTITY AND SPACING THE SPACING REQUIREMENT WILL PREVAIL.
- PLANT MATERIAL, SUBSTITUTIONS - NO SUBSTITUTIONS TO PLANT LIST SHALL BE MADE BY CONTRACTOR WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CONSULTANT.
- PLANT MATERIAL, HEALTH - ALL PLANT MATERIALS MUST BE DISEASE FREE FROM CERTIFIED NURSERIES.
- MULCH - PLANTING AREAS SHALL BE MULCHED WITH 50 MM OF HEM/FIR BARK MULCH. THE USE OF CEDAR MULCH OR ANY MIX CONTAINING CEDAR IS NOT PERMITTED.

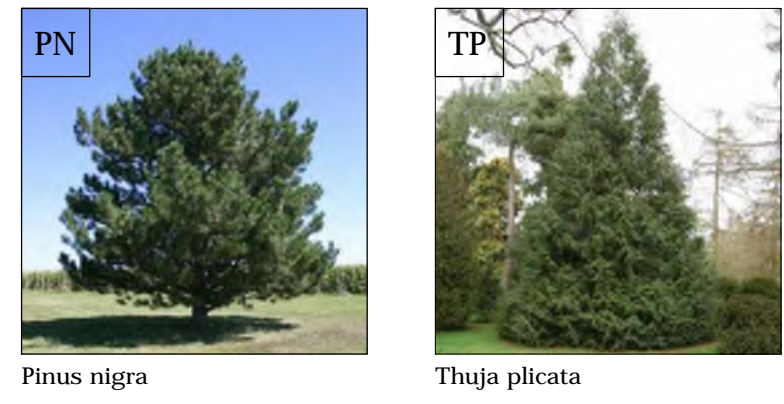
SYMBOL KEY

HARD LANDSCAPE ELEMENTS	
	BARRIER FENCE
	UNIT RETAINING WALL w/ METAL GUARD RAIL
	PRECAST STEPPING STONES
	GRAVEL & STONE DRAINAGE SWALE
	WOODEN BENCH
	BICYCLE RACKS
PAVING SURFACES	
	LIGHT GRAY CROSS CUT CONCRETE
	MEDIUM GRAY CONCRETE BANDS
	DARK GRAY CONCRETE BANDS
	AQUAPAVER CONCRETE UNIT PAVERS

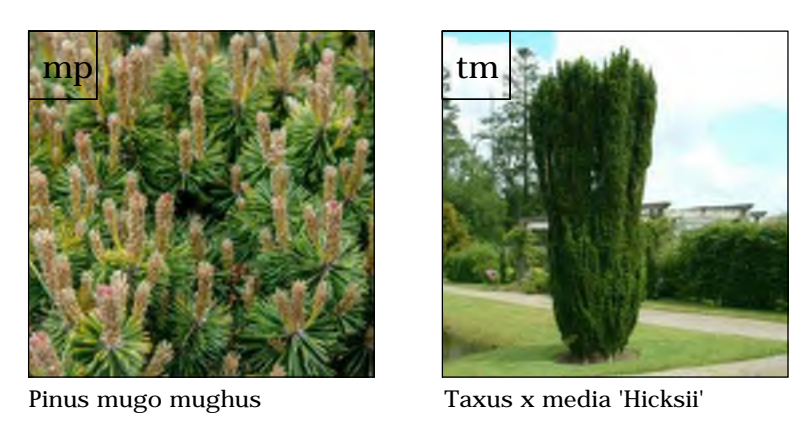
DECIDUOUS TREES



CONIFEROUS TREES



CONIFEROUS SHRUBS



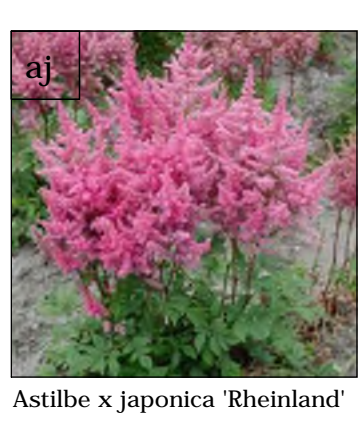
FERNS



VINES



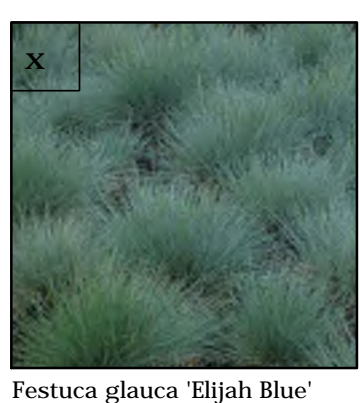
PERENNIALS



BROADLEAF EVERGREEN SHRUBS



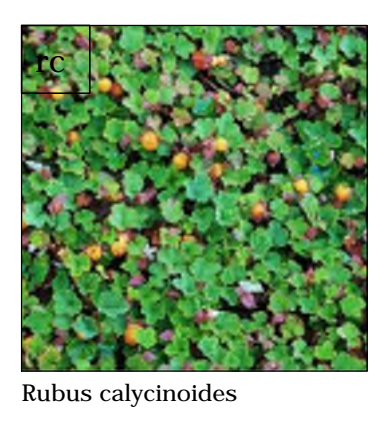
GRASSES



DECIDUOUS SHRUBS



GROUND COVER



DATE	ISSUED FOR	REV
2022-09-27	D.P.	A
2022-12-14	D.P.	B
2023-03-17	D.P.	C
2023-04-19	D.P.	D

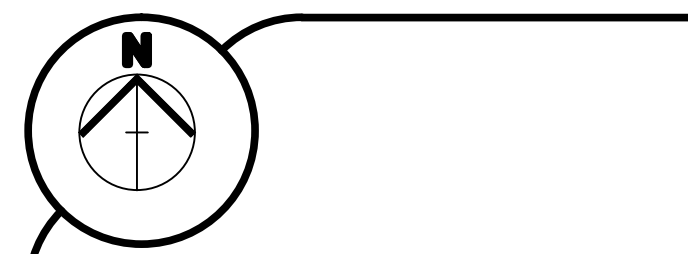
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Consultants

Architectural: JM Architecture Inc.
Arborist:
Civil:
Structural:
Mechanical:
Electrical:



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DEVELOPMENT CONSULTANT
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Civic Project #
00-00-00

D	Project Leader	D.Duncan
	Drawn	D.Duncan

SPEEDWASH ENERGY CTR
2353 & 2361 Sooke Rd.

prepared for:
SPEEDWASH
Mr. Raj Aadmi
604-818-9945

Drawing Title
NOTES & KEYS

Check Scale (may be photo reduced)
0 1inch 0 10mm

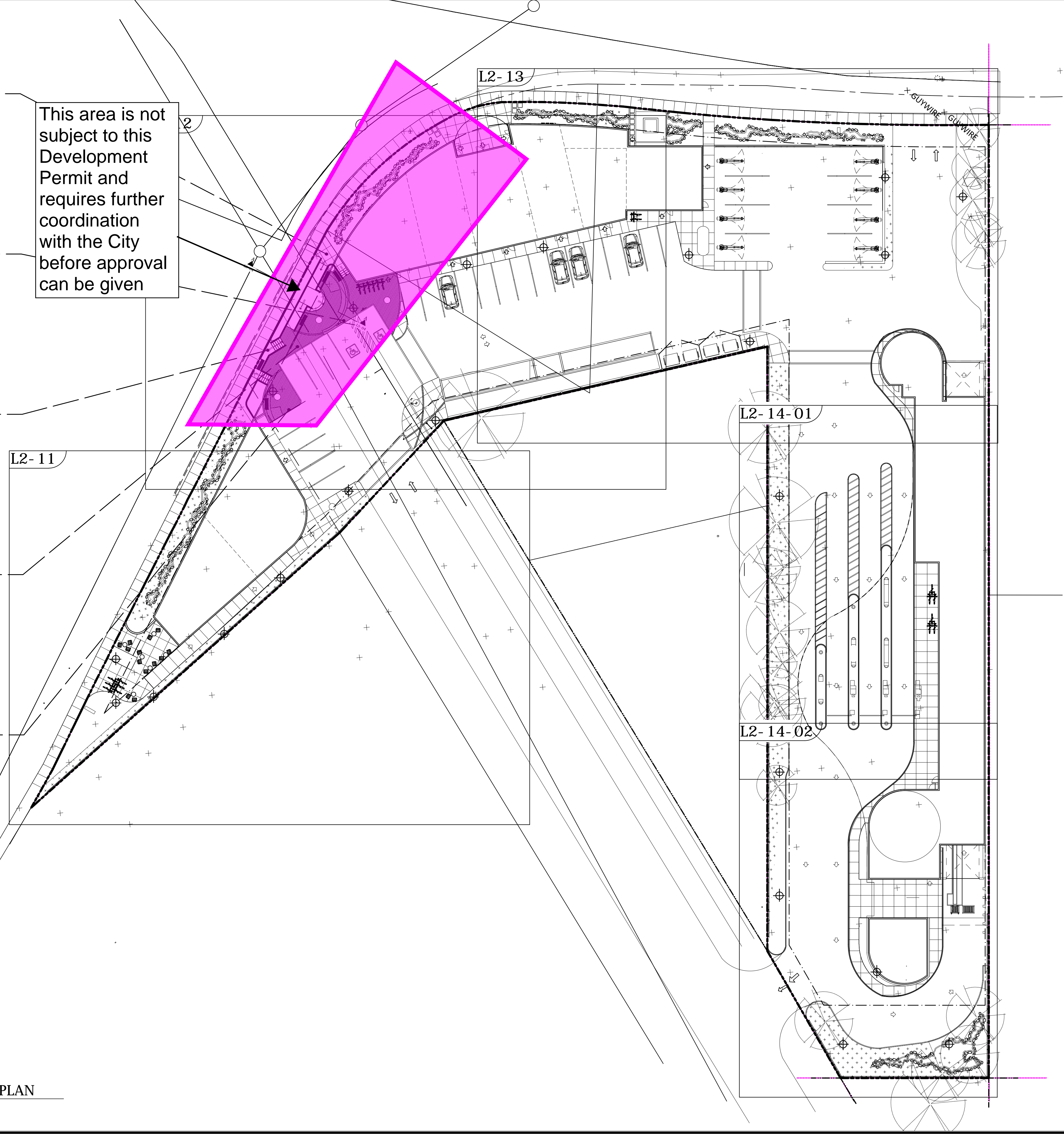
Project No. 22-0152 (JMA# 2021-14)

Drawing No.
L1-00

PLOT DATE: April 19, 2023 TIME: 7:09 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0152-SPEEDWASH COLWOOD\200-DELIVERABLES\210-LAND\01-DP\TTTL\2-00.DWG PLOTSTYLE TABLE:



This area is not subject to this Development Permit and requires further coordination with the City before approval can be given



01 HARD LANDSCAPE PLAN KEY PLAN
L2-00 SCALE 1:300

DATE	ISSUED FOR	REV
2022-09-27	D.P.	A
2022-12-14	D.P.	B
2023-03-17	D.P.	C
2023-04-19	D.P.	D

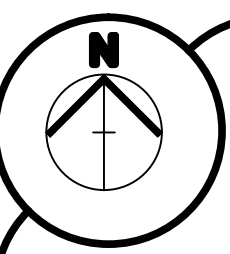
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Arborist:
Civil:
Structural:
Mechanical:
Electrical:



DV Donald V. S. Duncan
SD DEVELOPMENT CONSULTANT
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Civic Project #
00-00-00

D Project Leader
Revision Drawn D.Duncan

SPEEDWASH ENERGY CTR
2353 & 2361 Sooke Rd.

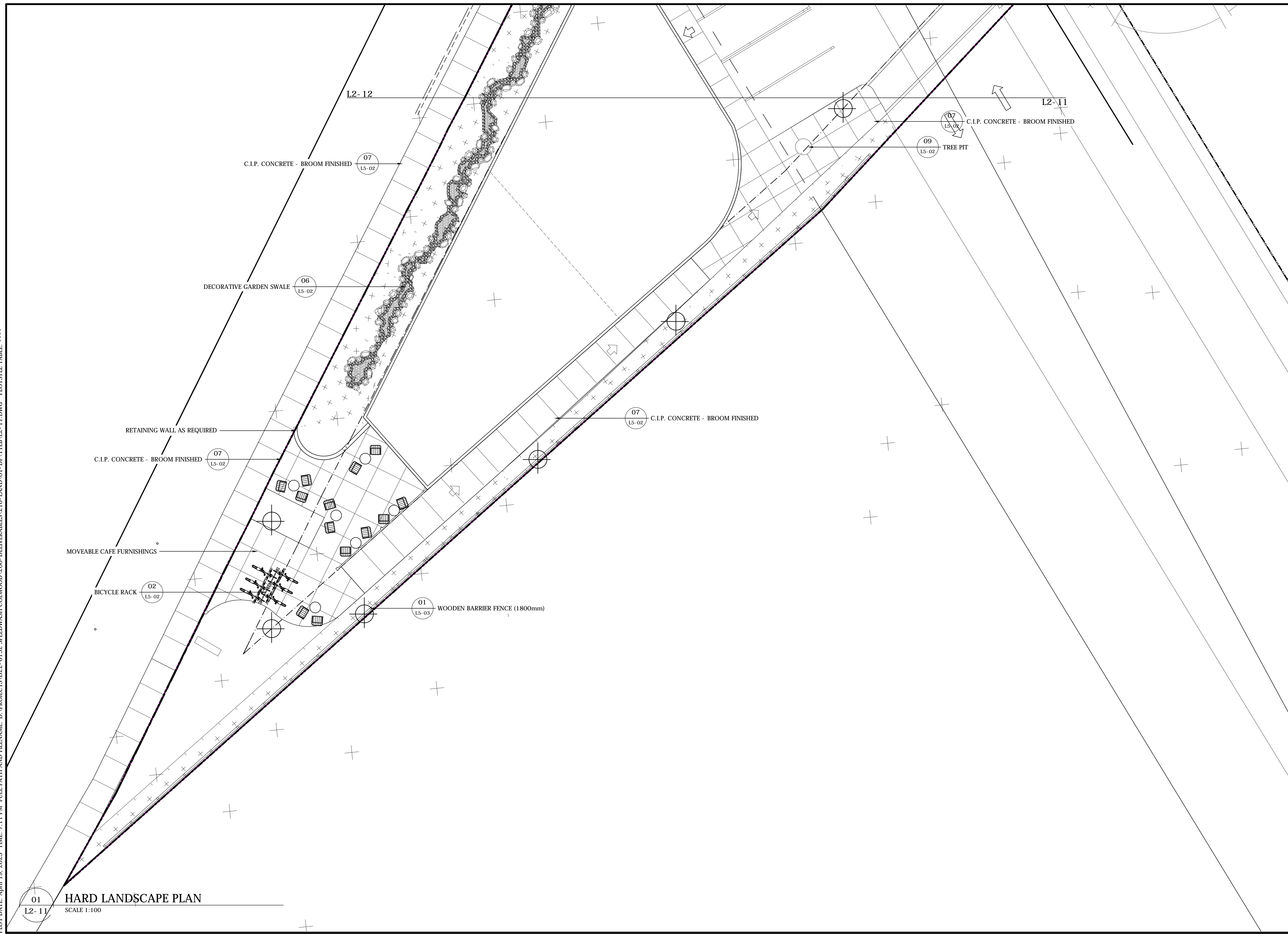
prepared for:
SPEEDWASH
Mr. Raj Aadmi
604-818-9945

Drawing Title
HARD LANDSCAPE

Check Scale (may be photo reduced)
0 1inch 0 10mm

Project No. 22-0152 (JMA# 2021-14)
Drawing No. L2-00

PLOT DATE: April 19, 2023 TIME: 7:11 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0152-SPEEDWASH COLWOOD\200-DELIVERABLES\210-LAND\01-DP\TITLE\L2-11.DWG PLOTSTYLE TABLE:



01
L2-11
HARD LANDSCAPE PLAN
SCALE 1:100

DATE	ISSUED FOR	REV
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2022-12-14	D.P.	B
2023-03-17	D.P.	C
2023-04-19	D.P.	D

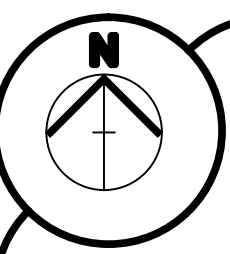
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Civic Project #
 00-00-00

D	Project Leader	D.Duncan
	Drawn	D.Duncan

SPEEDWASH ENERGY CTR
 2353 & 2361 Sooke Rd.

prepared for:
SPEEDWASH

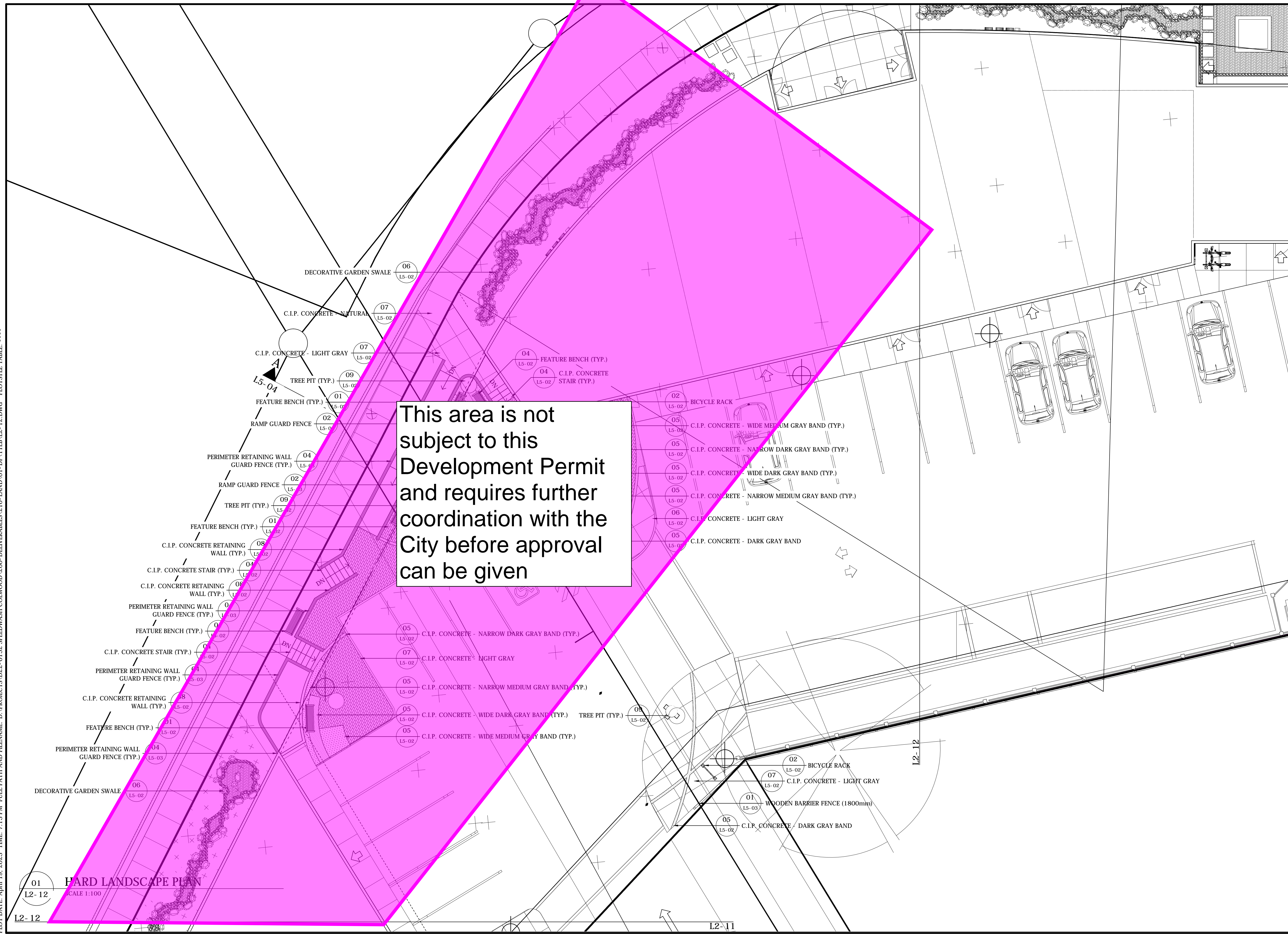
Mr. Raj Aadmi
 604-818-9945

Drawing Title
HARD LANDSCAPE

Check Scale (may be photo reduced)
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 0 1inch

Project No. 22-0152 (JMA# 2021-14)
 Drawing No. **L2-11**

PLOT DATE: April 19, 2023 TIME: 7:13 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0152-SPEEDWASH COLWOOD\200-DELIVERABLES\210-LAND\01-DP\TITLE\L2-12.DWG PLOTSTYLE TABLE:



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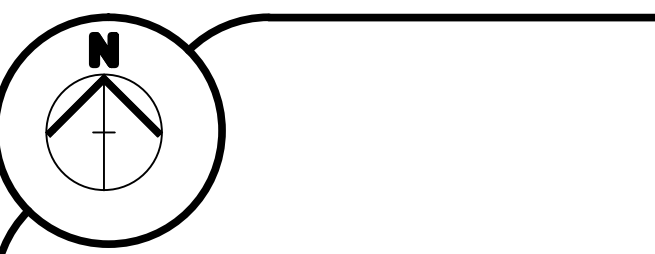
DATE	ISSUED FOR	REV
2022-09-27	D.P.	A
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 Structural:
 Mechanical:
 Electrical:



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Civic Project #
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	Drawn	D.Duncan

SPEEDWASH ENERGY CTR
 2353 & 2361 Sooke Rd.

prepared for:
SPEEDWASH
 Mr. Raj Aadmi
 604-818-9945

Drawing Title
HARD LANDSCAPE

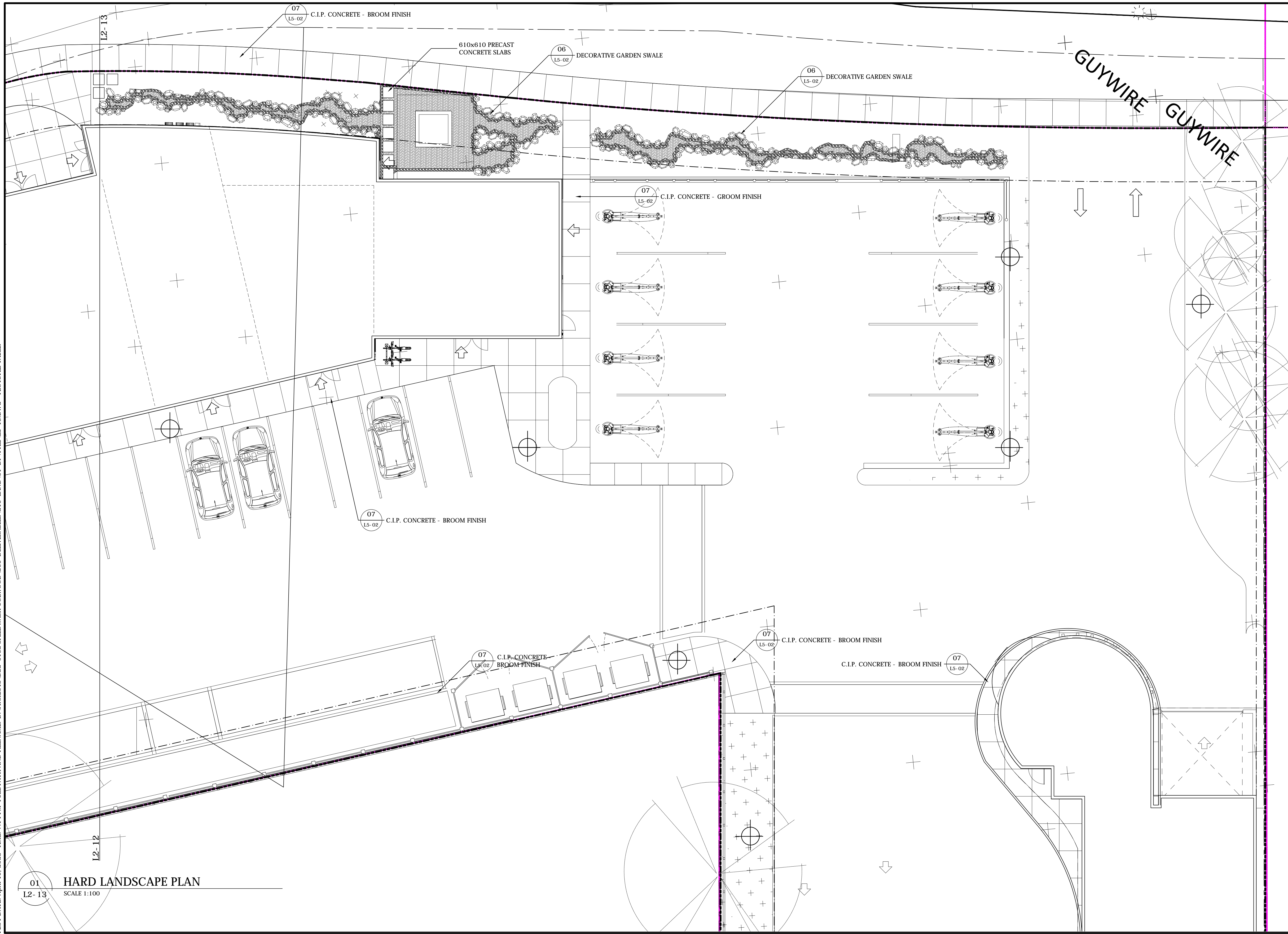
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Project No. 22-0152 (JMA# 2021-14)

Drawing No. L2-12

01 HARD LANDSCAPE PLAN
 L2-12 SCALE 1:100

PLOT DATE: April 19, 2023 TIME: 7:14 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0152-SPEEDWASH COLWOOD\200-DELIVERABLES\210-LAND\01-DP\TITLE\L2-13.DWG PLOTSTYLE TABLE:



01 HARD LANDSCAPE PLAN
L2-13 SCALE 1:100

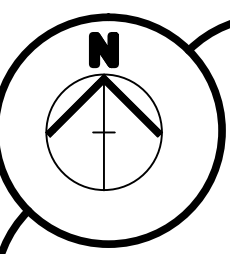
DATE	ISSUED FOR	REV
2022-09-27	D.P.	A
2022-12-14	D.P.	B
2023-03-17	D.P.	C
2023-04-19	D.P.	D

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 Mechanical:
 Electrical:



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Revision	Project Leader	D.Duncan
	Drawn	D.Duncan

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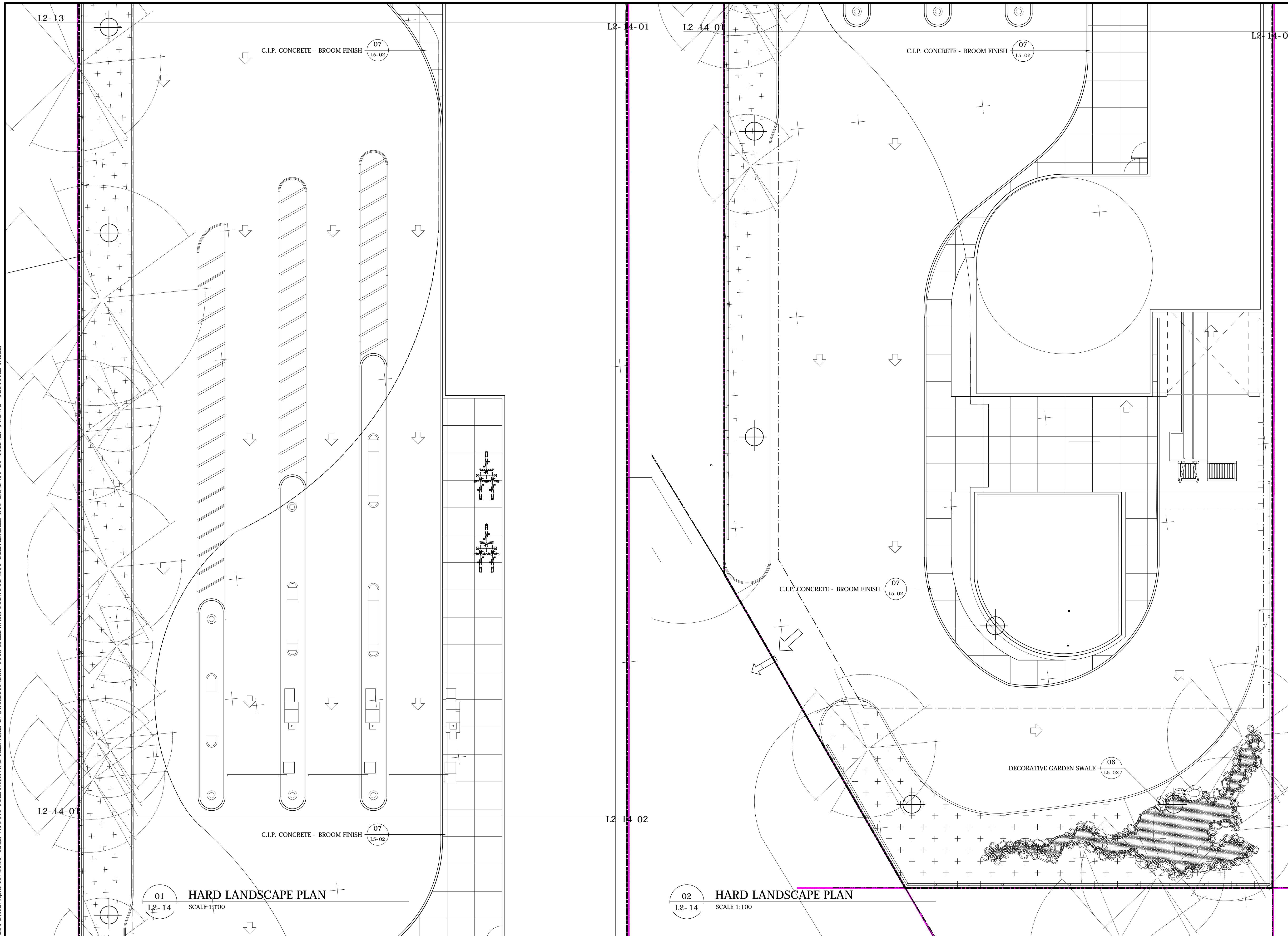
Drawing Title
HARD LANDSCAPE

Check Scale (may be photo reduced)
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Project No. 22-0152 (JMA# 2021-14)

Drawing No. **L2-13**

PLOT DATE: April 19, 2023 TIME: 7:16 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0152-SPEEDWASH COLWOOD\200-DELIVERABLES\210-LAND\01-DP\TITLE\L2-14.DWG PLOTSTYLE TABLE:



01 HARD LANDSCAPE PLAN
L2-14 SCALE 1:100

02 HARD LANDSCAPE PLAN
L2-14 SCALE 1:100

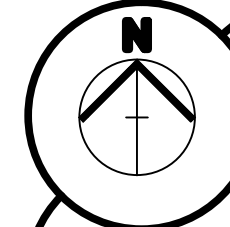
DATE	ISSUED FOR	REV
2022-09-27	D.P.	A
2022-12-14	D.P.	B
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2023-04-19	D.P.	D

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	Drawn	D.Duncan

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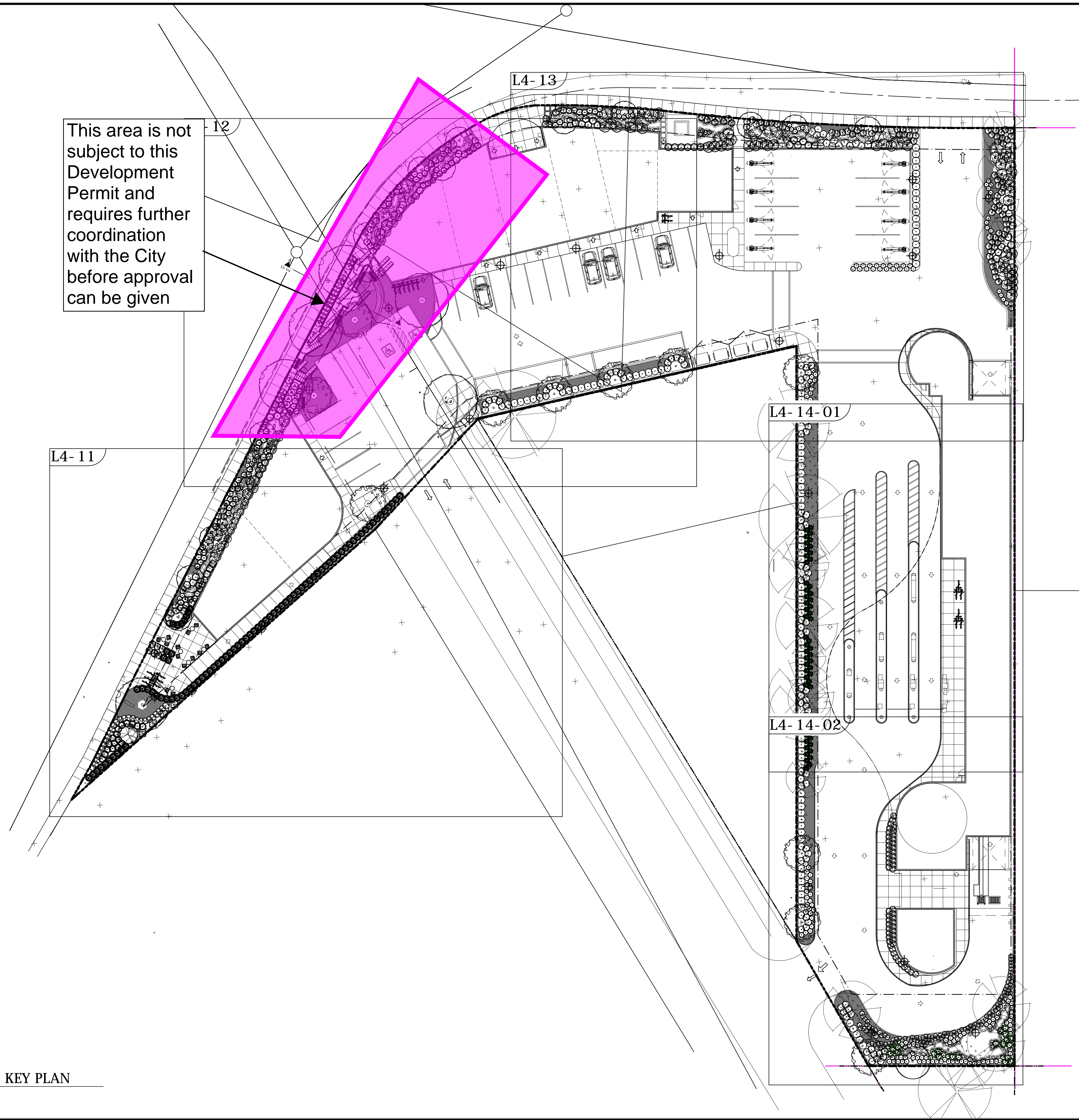
Drawing Title
HARD LANDSCAPE

Check Scale (may be photo reduced)
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Project No. 22-0152 (JMA# 2021-14)

Drawing No.
L2-14

PLOT DATE: April 19, 2023 TIME: 7:21 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0152-SPEEDWASH COLWOOD\200-DELIVERABLES\210-LAND\01-DP\TITLE\L4-00.DWG PLOTSTYLE TABLE:



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2023-03-17	D.P.	C
2023-04-19	D.P.	D

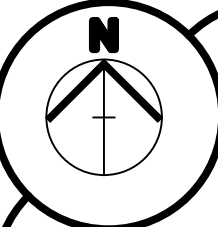
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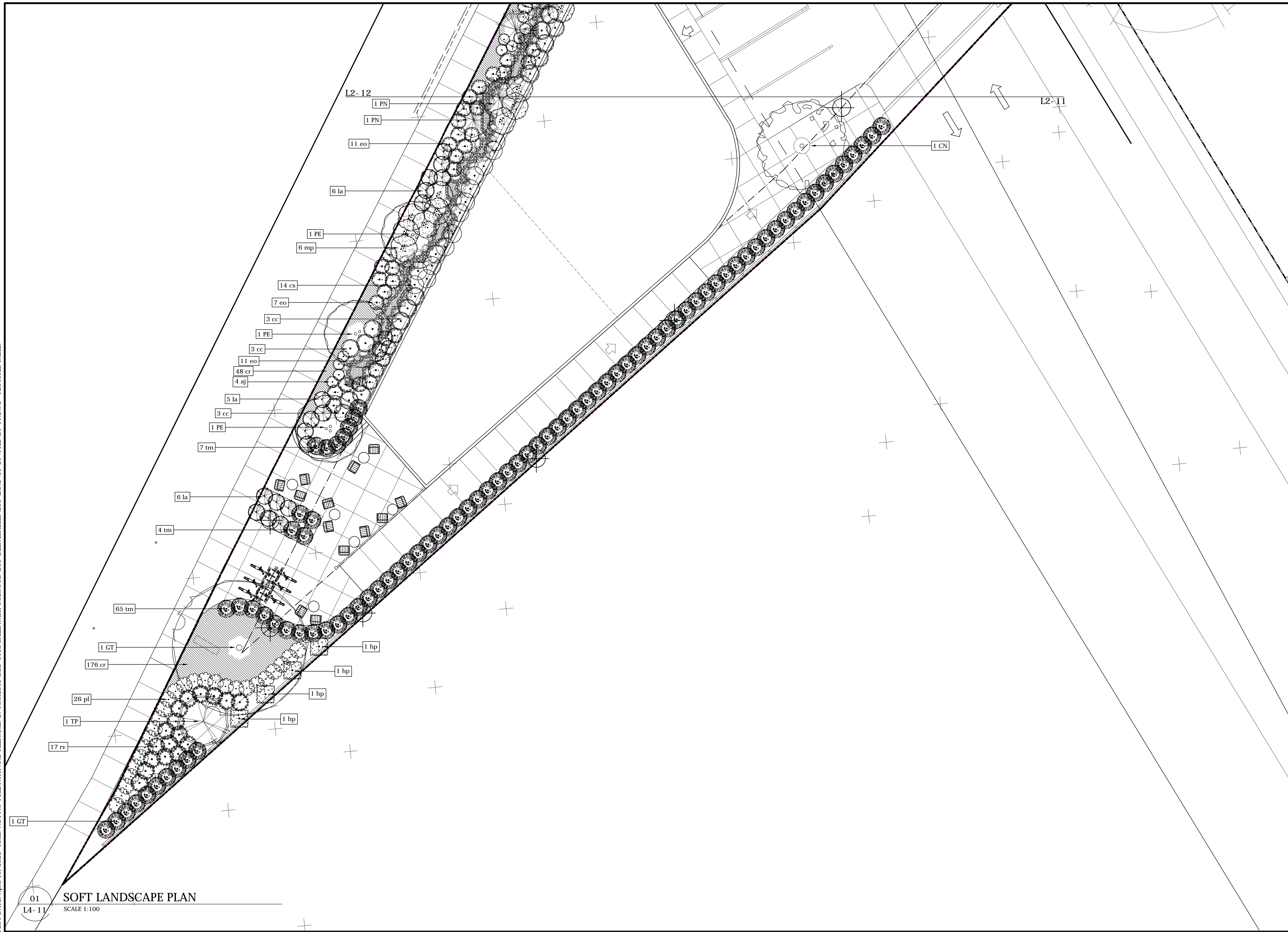
Drawing Title
SOFT LANDSCAPE

Check Scale (may be photo reduced)
0 1inch 0 10mm

Project No. 22-0152 (JMA# 2021-14)

Drawing No. L4-00

PLOT DATE: April 19, 2023 TIME: 7:24 PM FULL PATH AND FILENAME: D:\PROJECTS\22-0152-SPEEDWASH COLWOOD\200-DELIVERABLES\210-LAND\01-DP\TTBL\4-11.DWG PLOTSTYLE TABLE: -----



01
L4-11
SOFT LANDSCAPE PLAN
SCALE 1:100

DATE	ISSUED FOR	REV
2022-09-27	D.P.	A
2022-12-14	D.P.	B
2023-03-17	D.P.	C
2023-04-19	D.P.	D

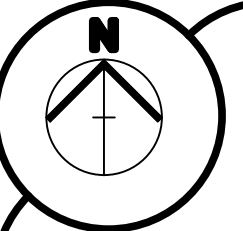
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SD **DEVELOPMENT CONSULTANT**
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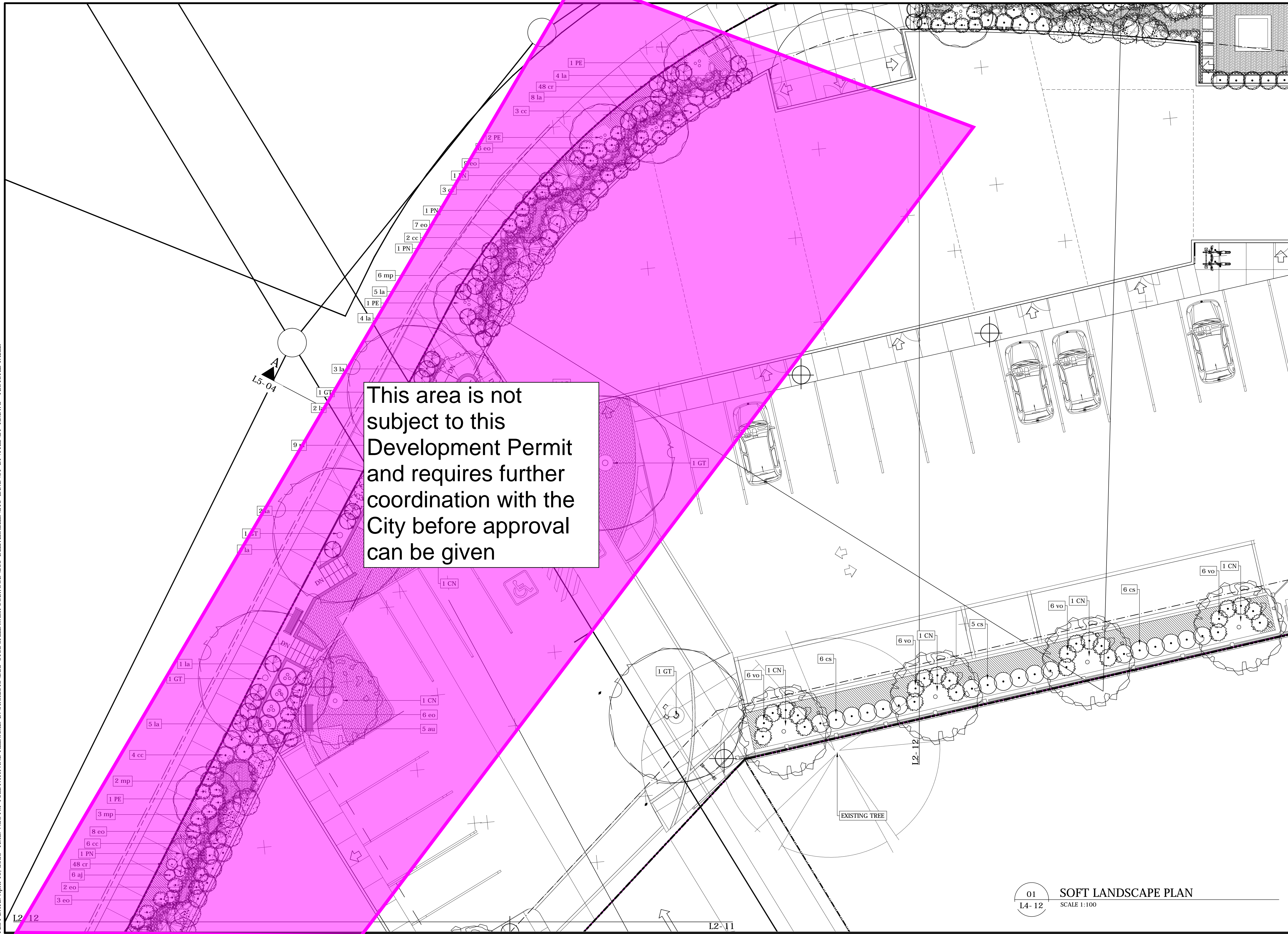
Drawing Title
SOFT LANDSCAPE

Check Scale (may be photo reduced)
0 1inch 0 10mm

Project No. 22-0152 (JMA# 2021-14)

Drawing No.
L4-11

PLOT DATE: April 19, 2023 TIME: 7:28 PM FULL PATH AND FILENAME: D:\PROJECTS\022-0152-SPEEDWASH COLWOOD\200-DELIVERABLES\210-LAND\01-DP\TTBL\4-12.DWG PLOTSTYLE TABLE:



DATE	ISSUED FOR	REV
2022-09-27	D.P.	A
2022-12-14	D.P.	B
2023-03-17	D.P.	C
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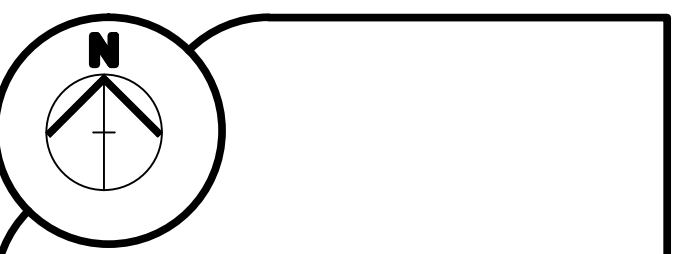
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Civil:
Structural:
Mechanical:
Electrical:



DV **Donald V. S. Duncan**
SD **DEVELOPMENT CONSULTANT**
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Civic Project #
00-00-00

D Project Leader
D.Duncan
Revision Drawn D.Duncan

SPEEDWASH ENERGY CTR
2353 & 2361 Sooke Rd.

prepared for:
SPEEDWASH
Mr. Raj Aadmi
604-818-9945

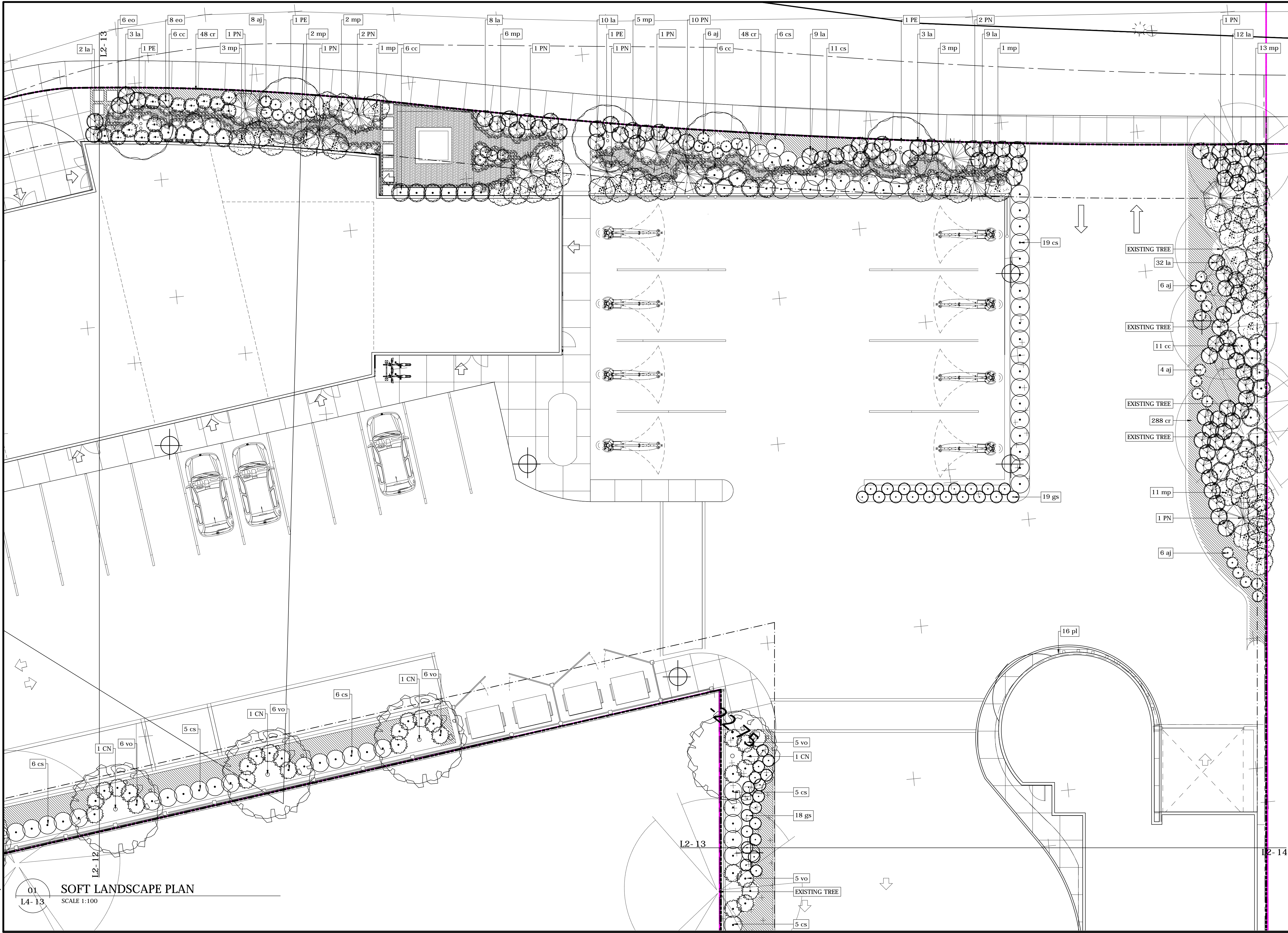
Drawing Title
SOFT LANDSCAPE

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Project No. 22-0152 (JMA# 2021-14)

Drawing No. L4-12

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2022-12-14	D.P.	B
2023-03-17	D.P.	C
2023-04-19	D.P.	D

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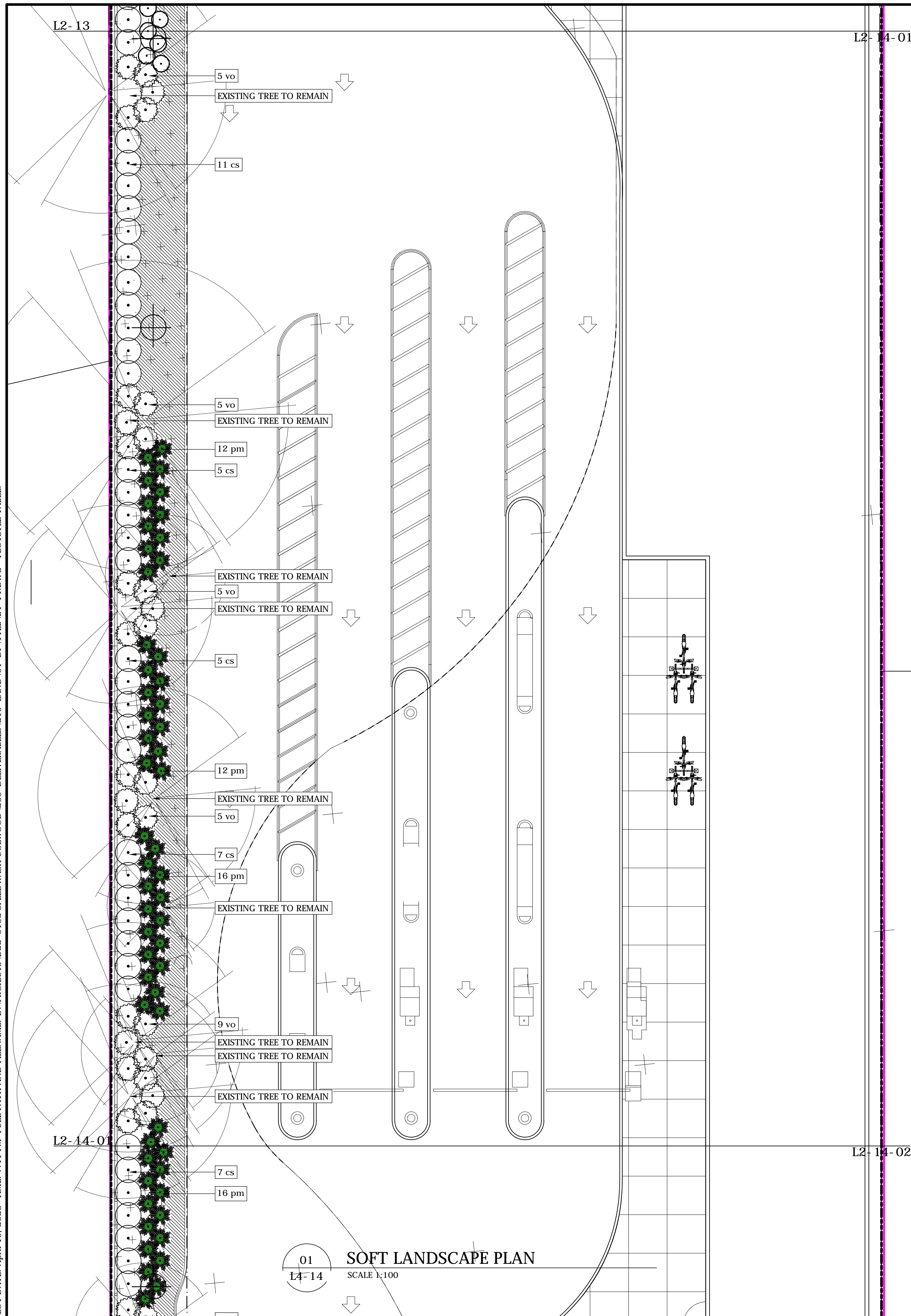
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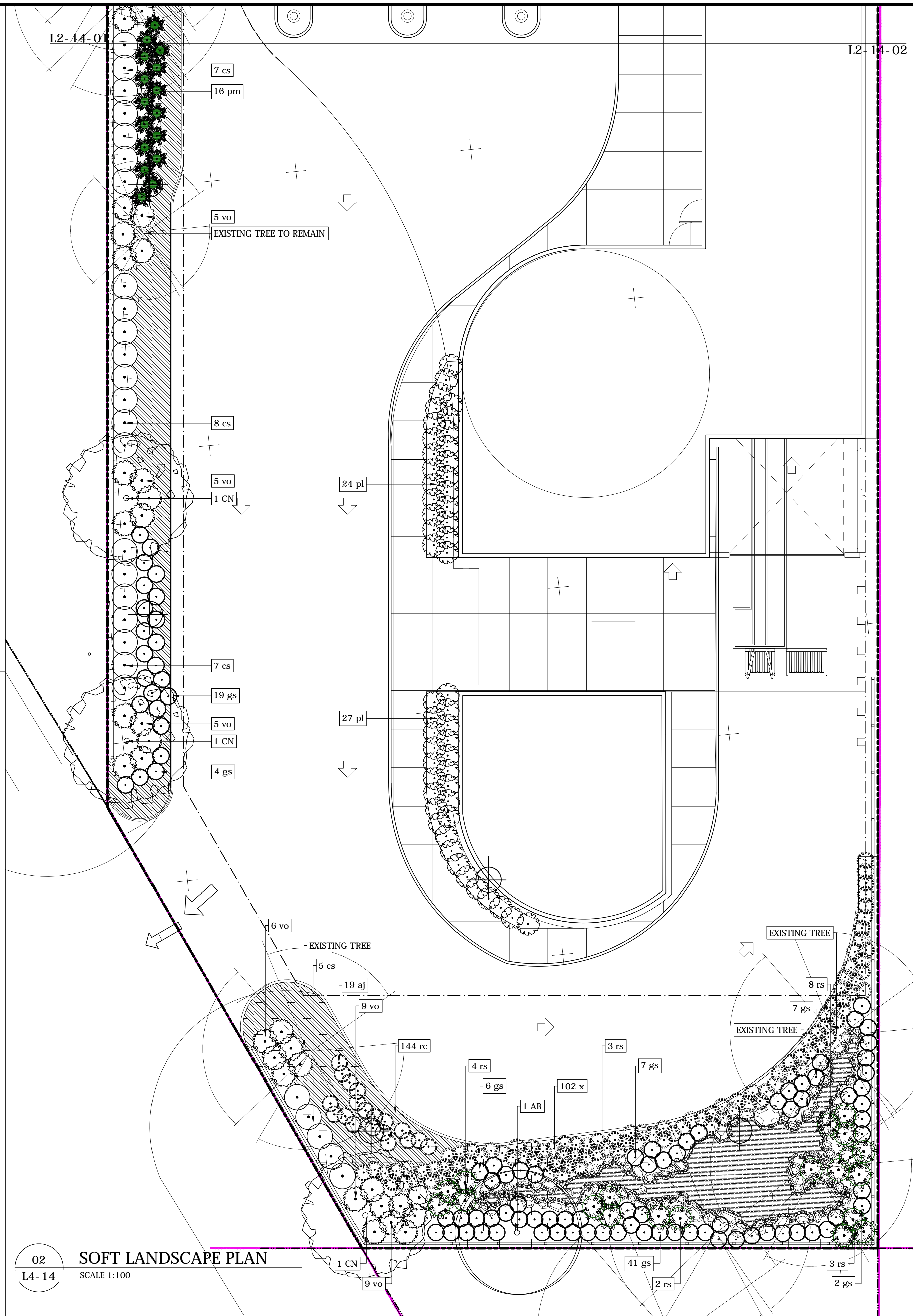
Project No. 22-0152 (JMA# 2021-14)
 Drawing No. L4-13

01 SOFT LANDSCAPE PLAN
 L4-13 SCALE 1:100

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01
L4-14
SOFT LANDSCAPE PLAN
SCALE 1:100



02
L4-14
SOFT LANDSCAPE PLAN
SCALE 1:100

DATE	ISSUED FOR	REV
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2023-04-19	D.P.	D

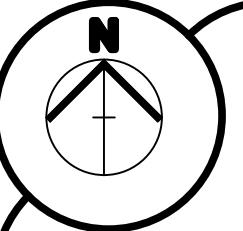
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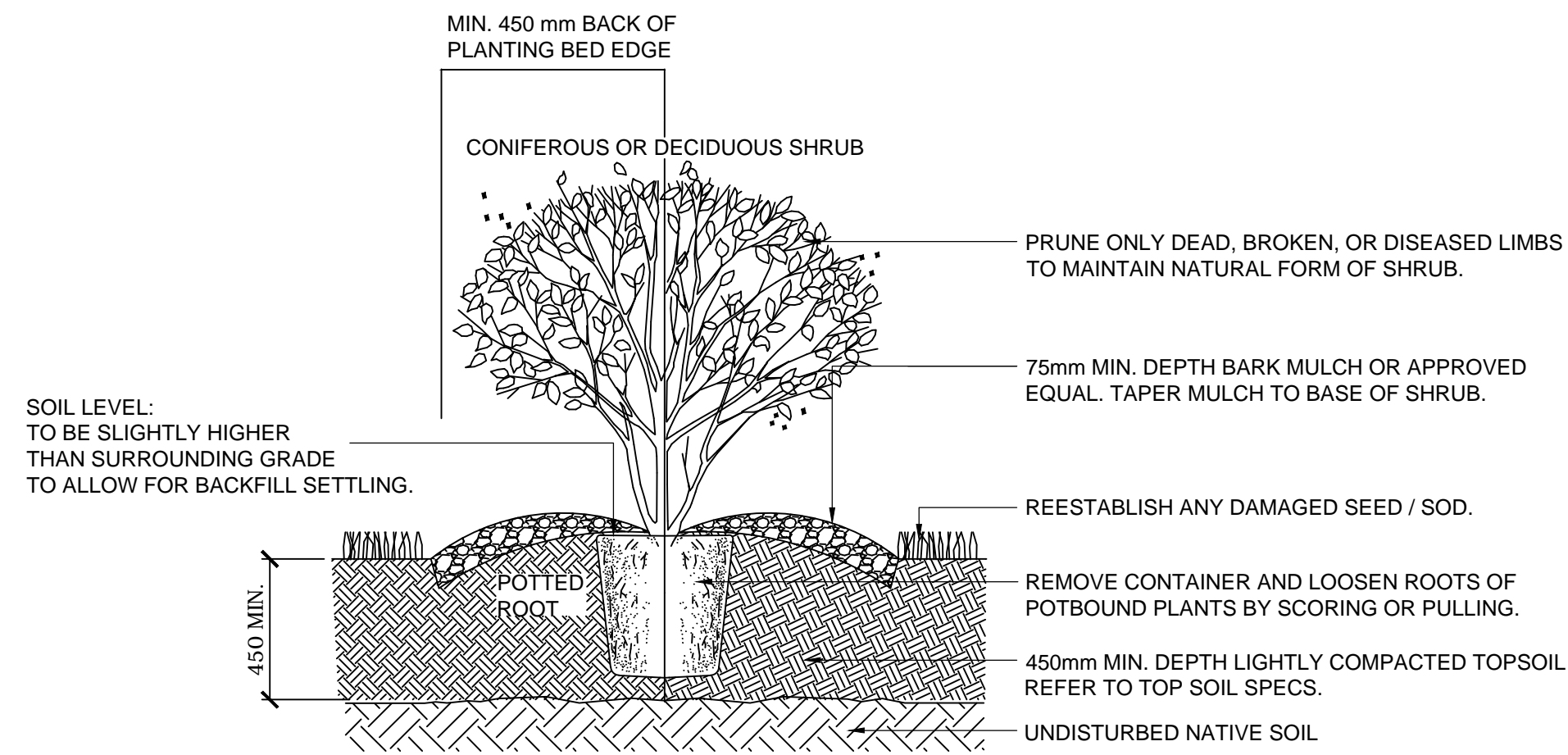
Drawing Title
SOFT LANDSCAPE

Check Scale (may be photo reduced)
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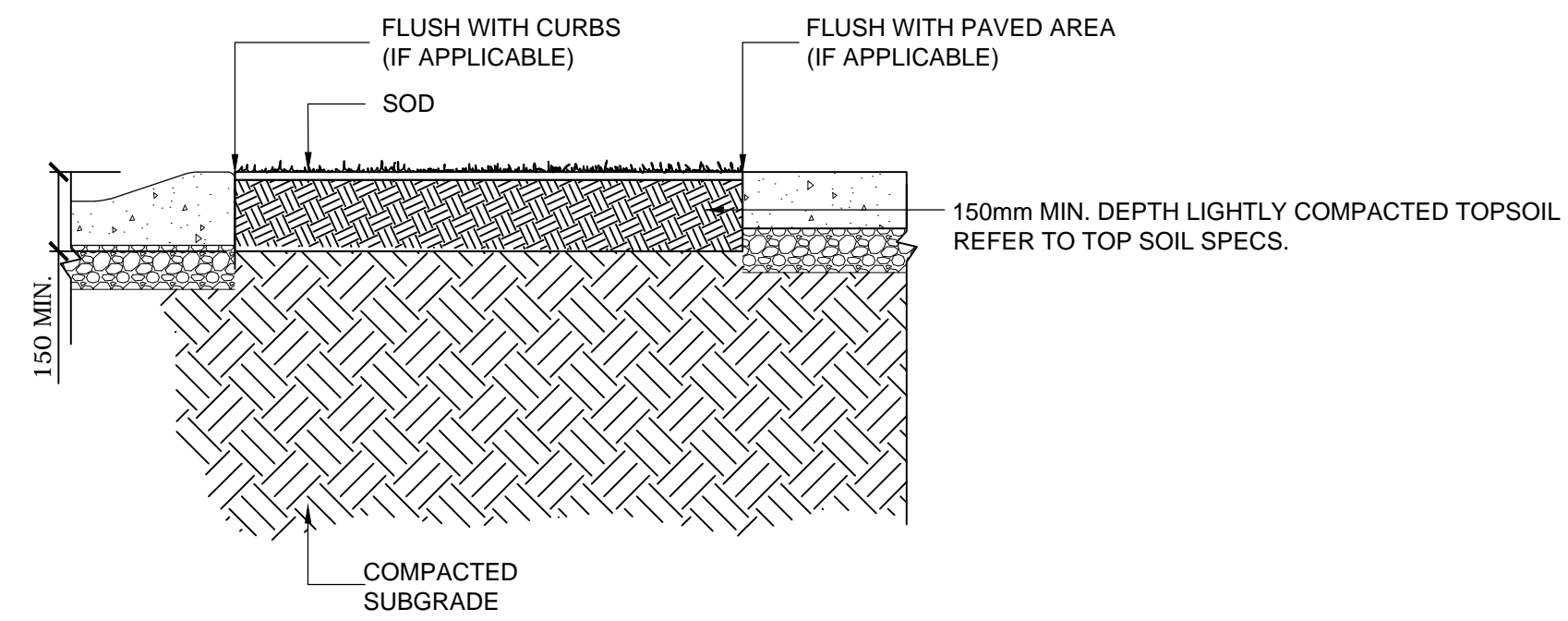
Project No. 22-0152 (JMA# 2021-14)

Drawing No.
L4-14

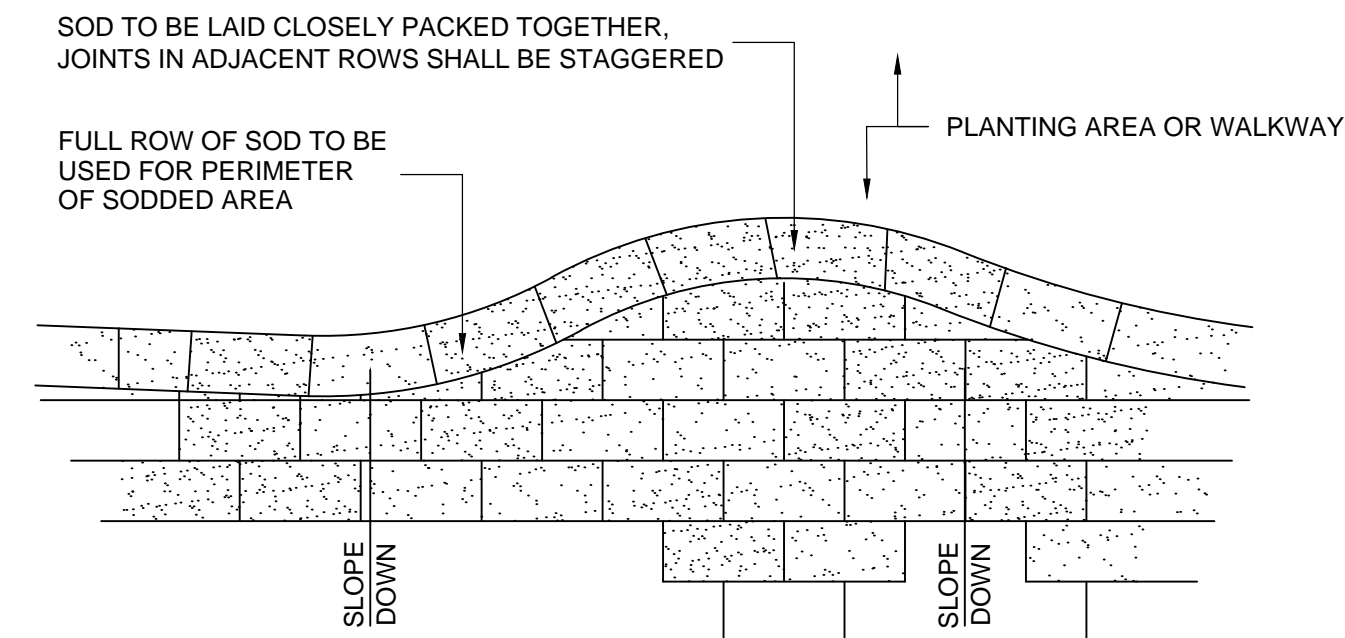
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L5-01 N.T.S.

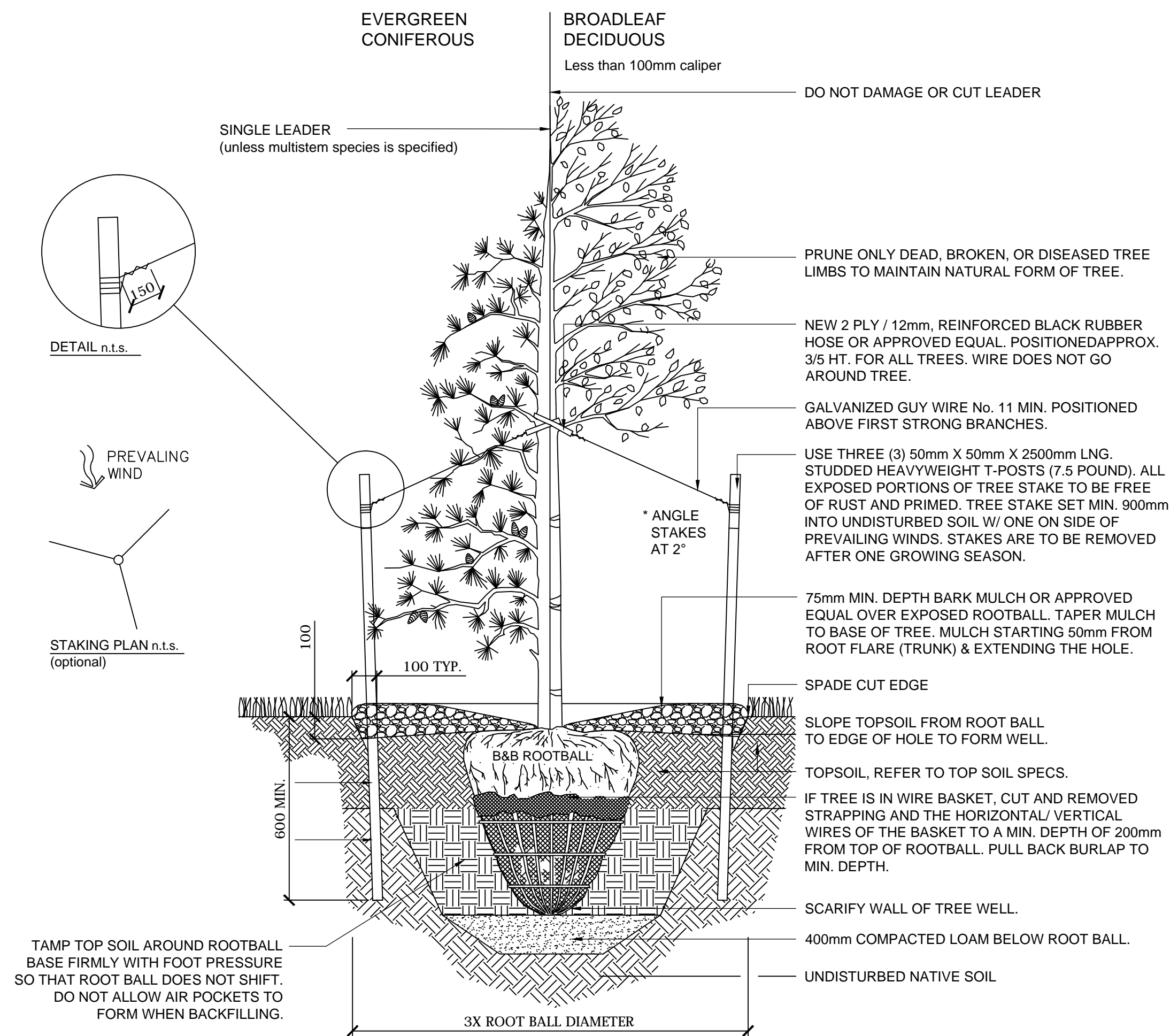


SECTION THROUGH SOD



PLAN VIEW OF SOD LAYOUT AND EDGING
NOT TO SCALE

03 TYPICAL LAWN INSTALLION DETAIL
L5-01 N.T.S.



02 TYPICAL TREE INSTALLION DETAIL
L5-01 N.T.S.

DATE	ISSUED FOR	REV
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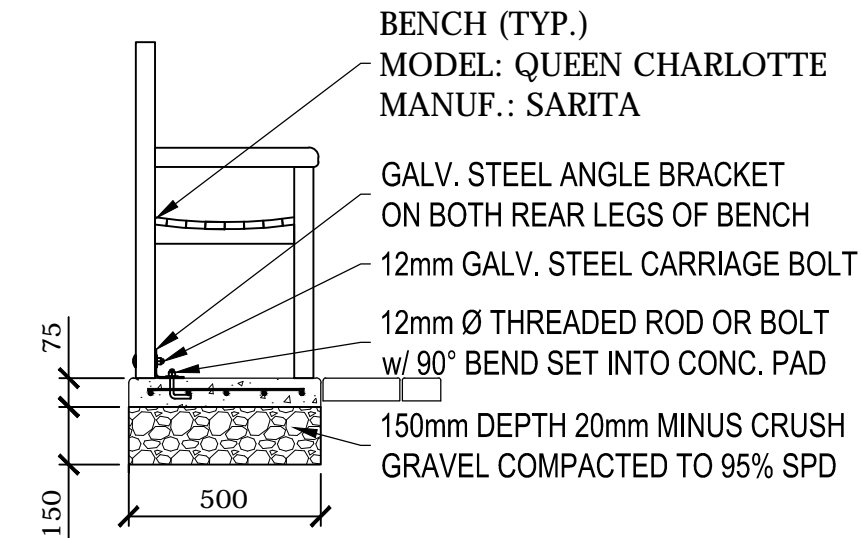
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LANDSCAPE DETAILS

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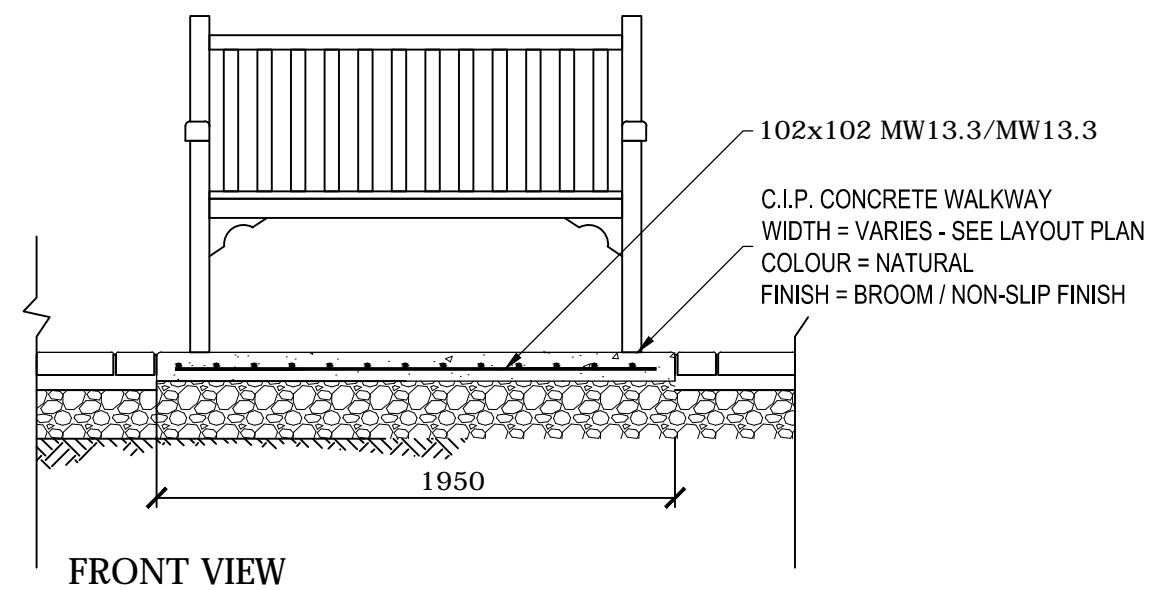
Project No. 22-0152 (JMA# 2021-14)

Drawing No. **L5-01**

PLOT DATE: April 19, 2023 TIME: 7:42 PM FULL PATH AND FILENAME: D:\PROJECTS\D22-0152 SPEEDWASH COLWOOD 200- DELIVERABLES\210- LAND-01- DP\TITLE\L5-02.DWG PLOTS\STYLE TABLE: -----

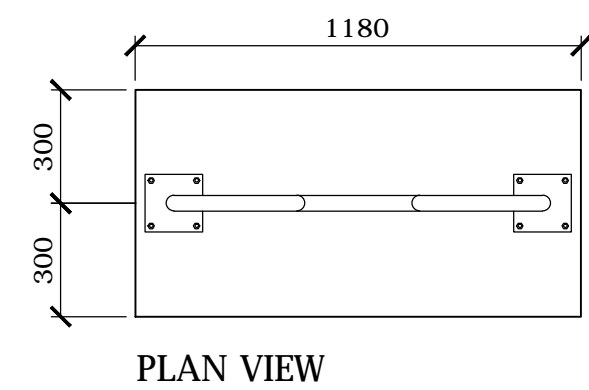


SIDE VIEW

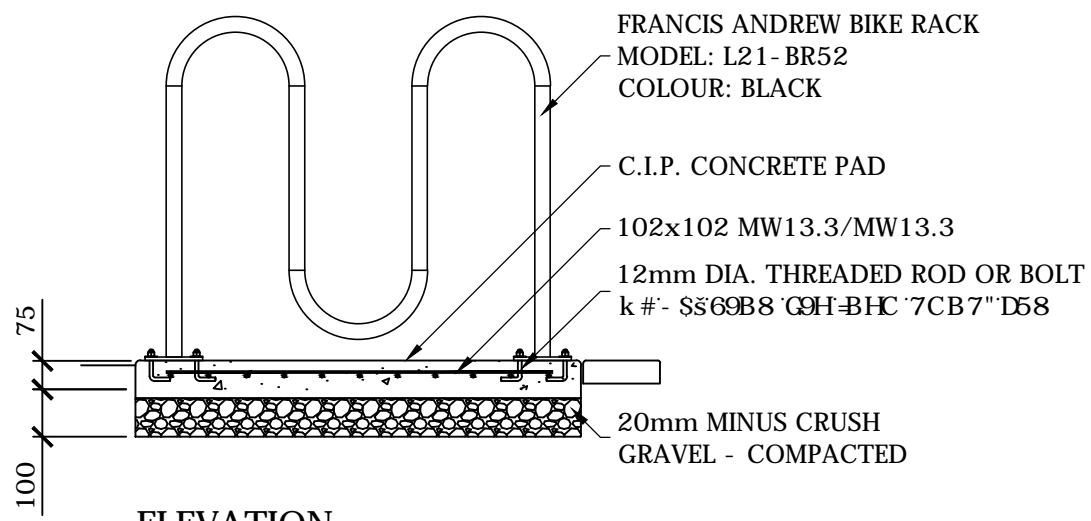


FRONT VIEW

01 WOODEN BENCH
L5-02 SCALE 1:20

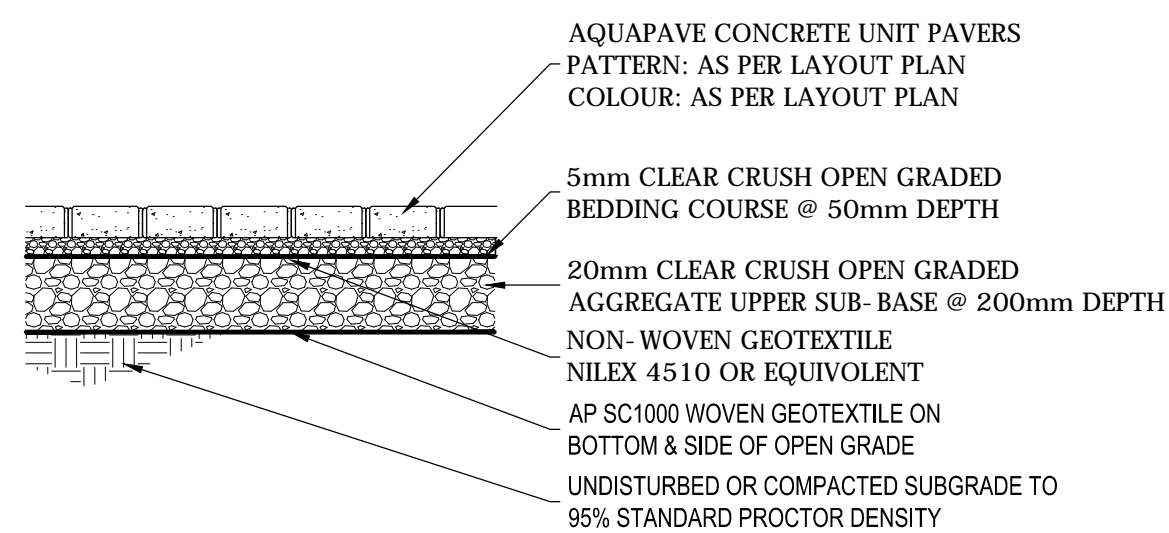


PLAN VIEW

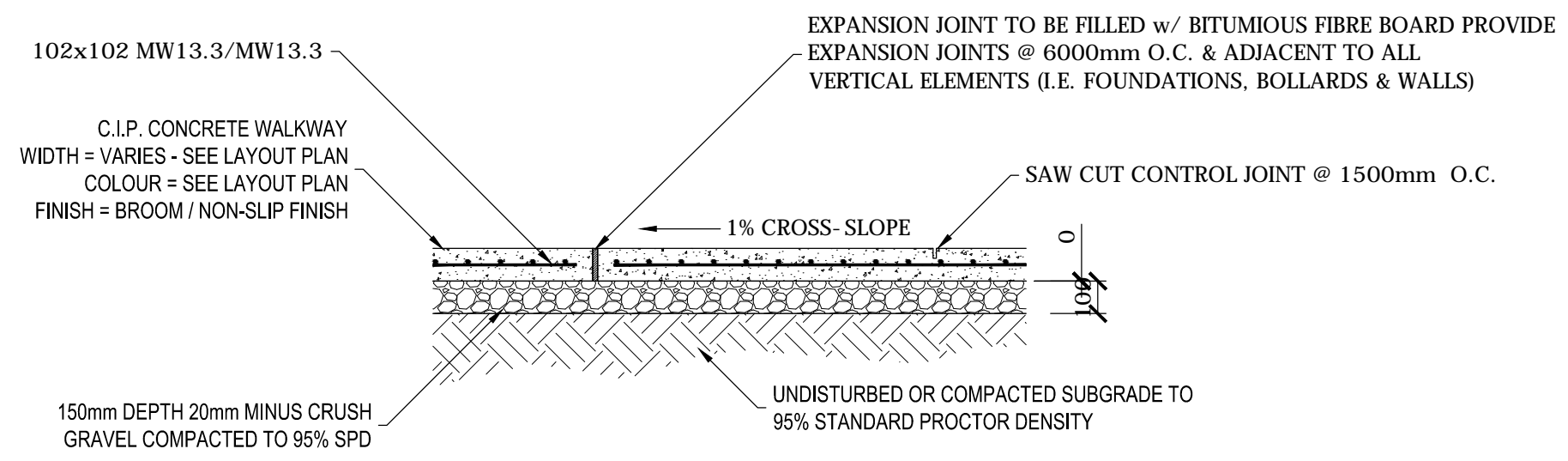
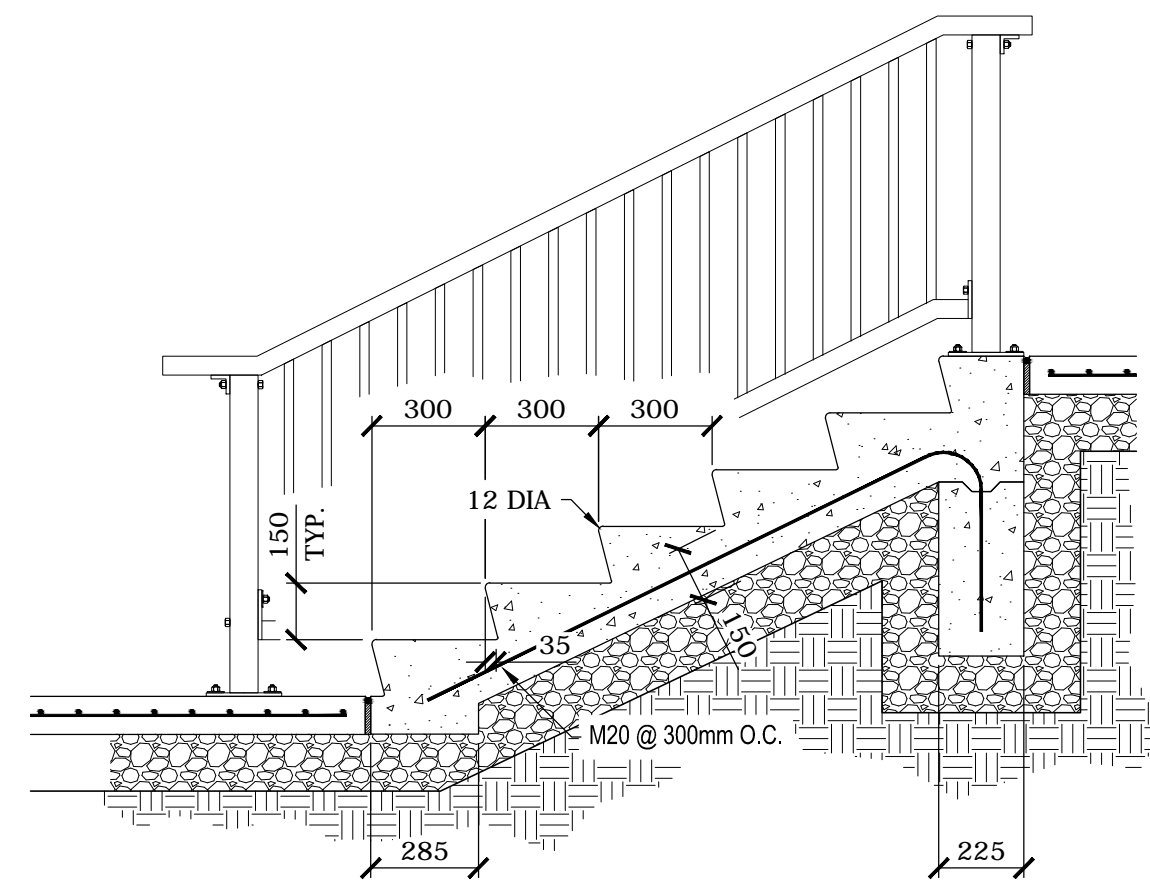


ELEVATION

02 BICYCLE RACK
L5-02 SCALE 1:20

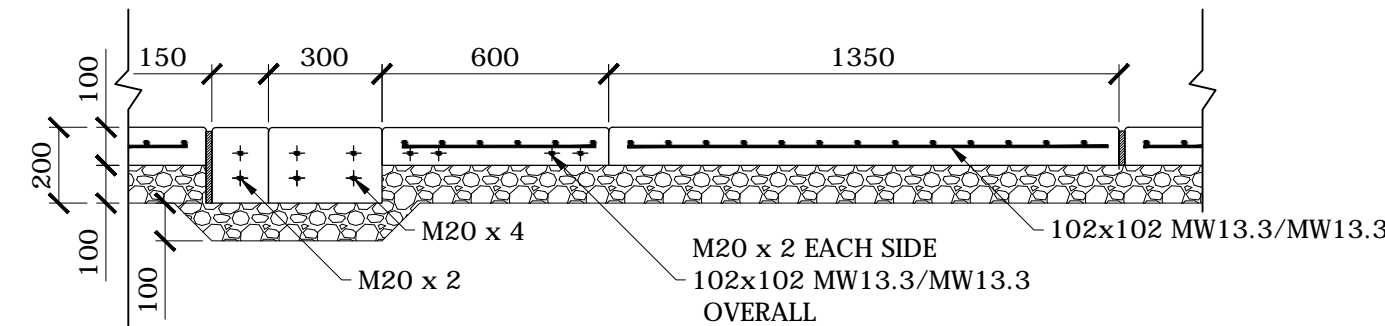


10 AQUAPAVE PERMIABLE CONCRETE UNIT PAVERS
L5-02 SCALE 1:20

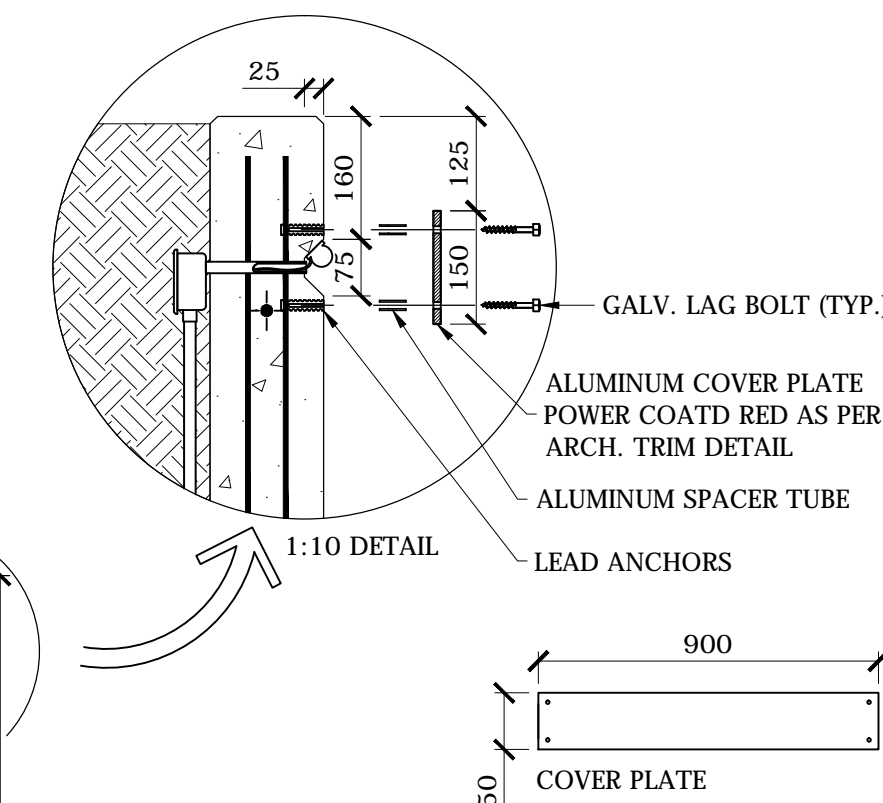


07 C.I.P. CONCRETE PAVING
L5-02 SCALE 1:20

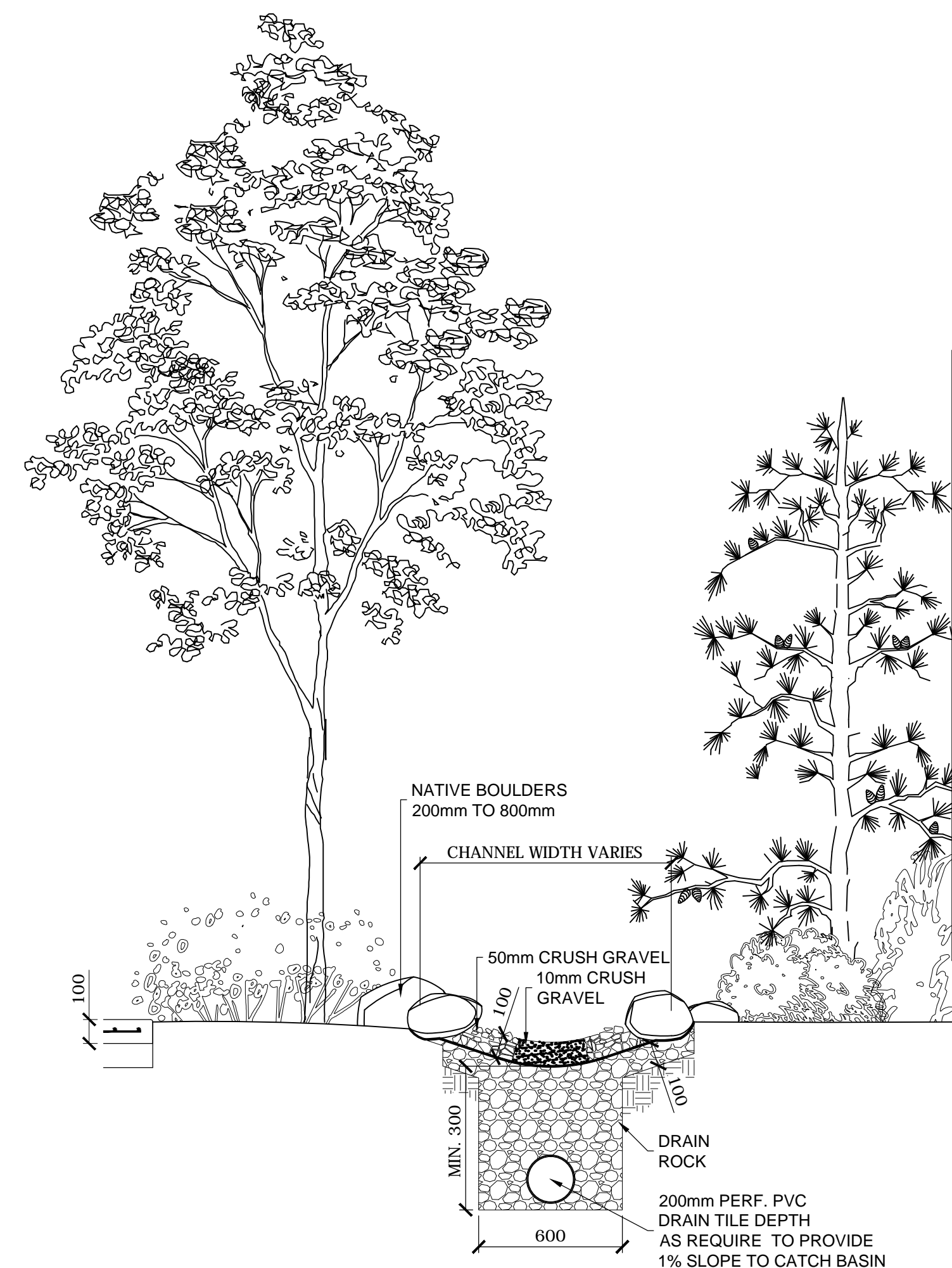
04 C.I.P. CONCRETE STAIR
L5-02 SCALE 1:20



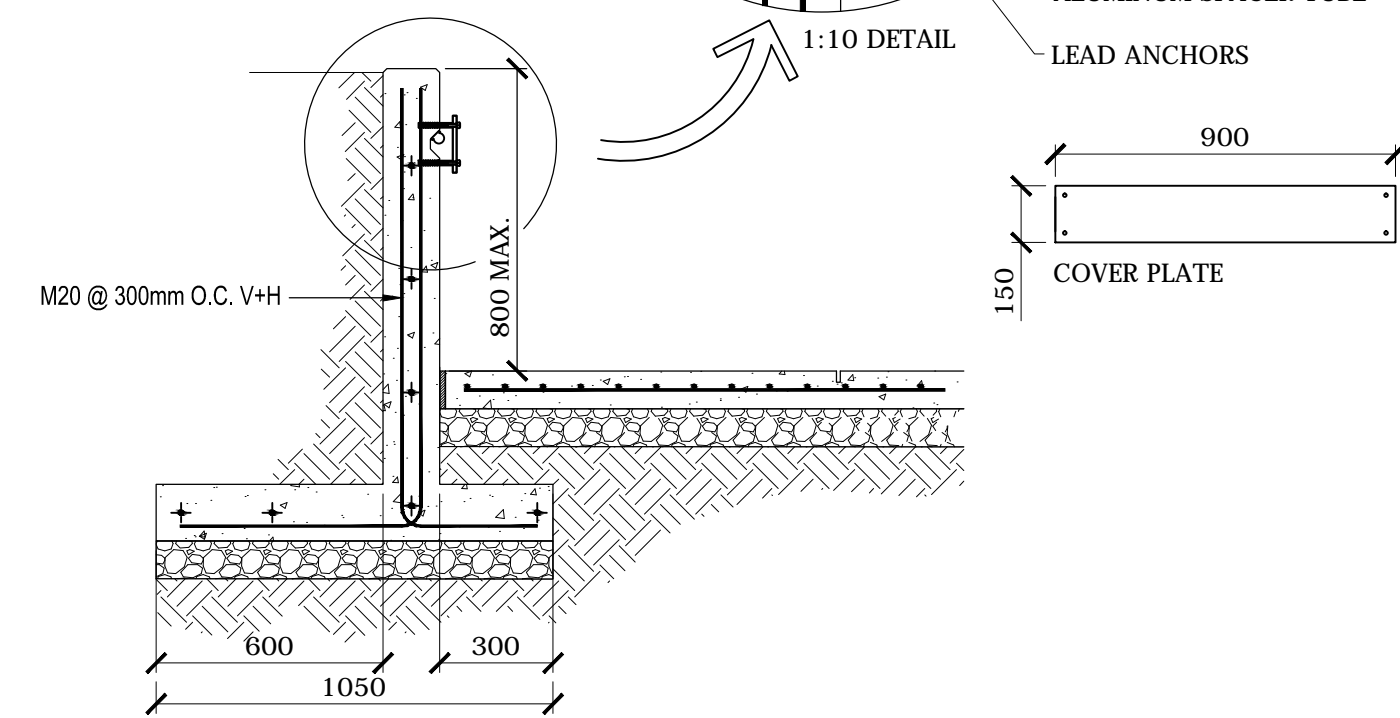
05 C.I.P. DECORATIVE CONCRETE BANDS
L5-02 SCALE 1:20



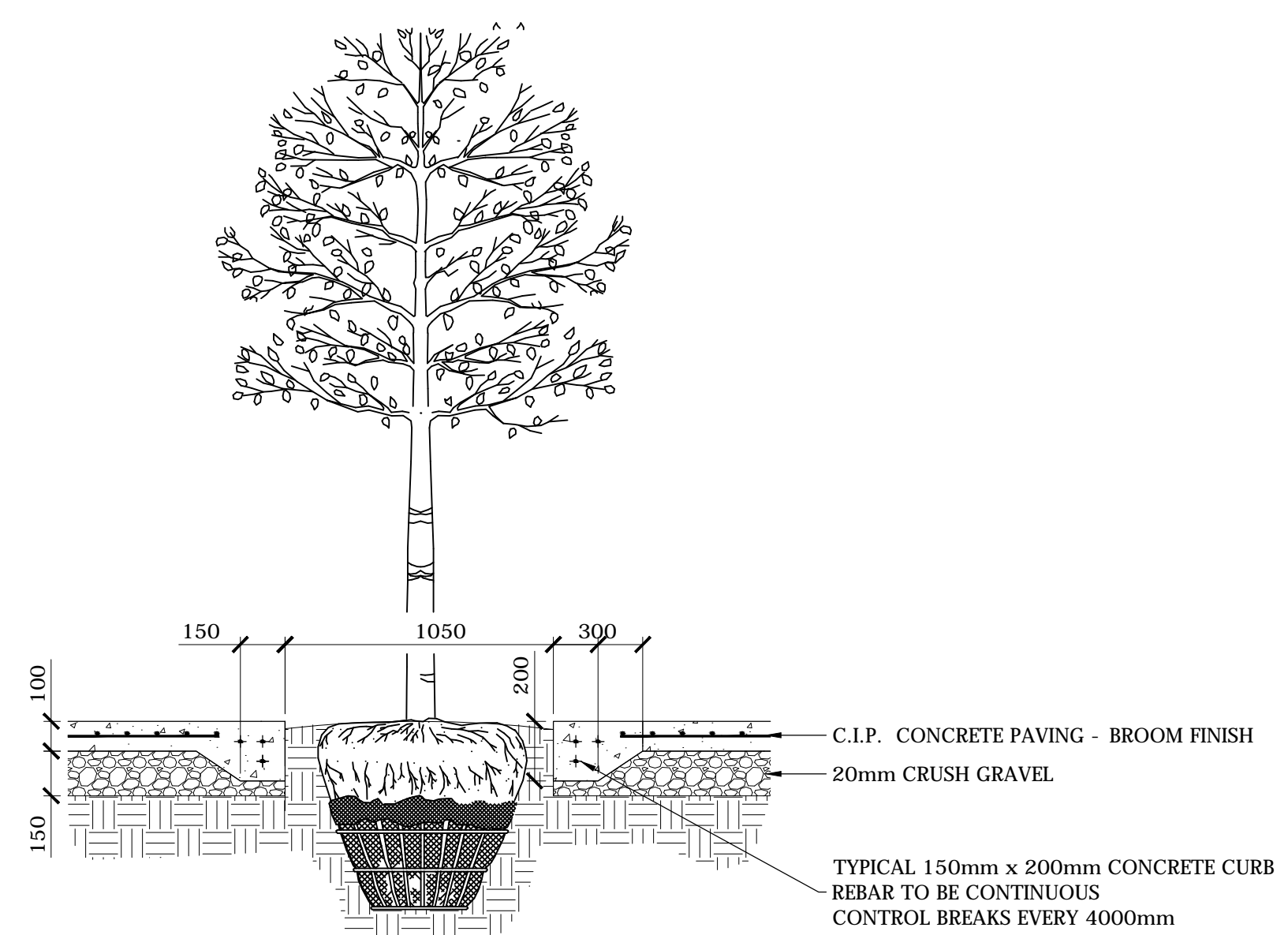
08 C.I.P. CONCRETE WALL w/ FEATURE L.E.D. LIGHT
L5-02 SCALE 1:20



06 DECORATIVE GARDEN SWALE
L5-02 SCALE 1:20



09 TREE PLANTING IN C.I.P. CONCRETE PAVING
L5-02 SCALE 1:20



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Arborist:
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Structural:
Mechanical:
Electrical:

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Drawn: D.Duncan
Revision:

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2353 & 2361 Sooke Rd.

prepared for:
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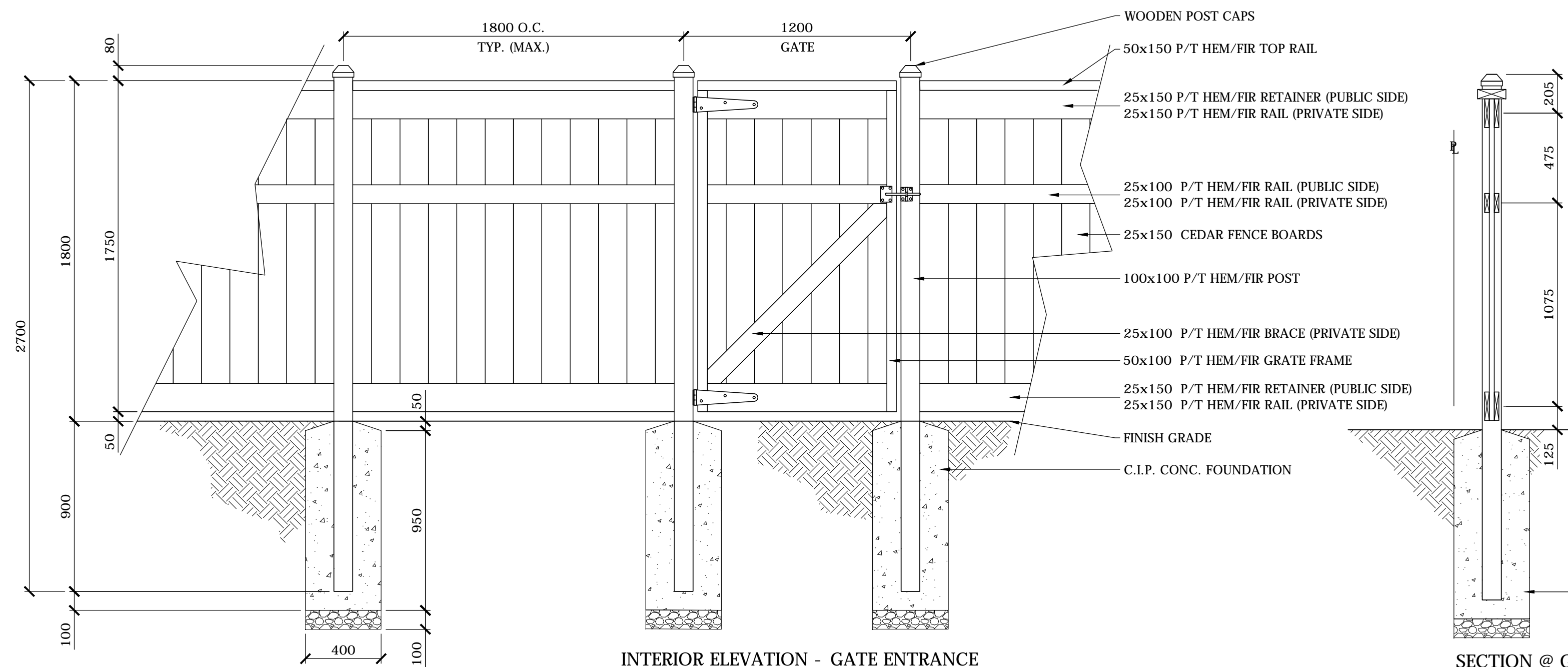
Drawing Title
LANDSCAPE DETAILS

Check Scale (may be photo reduced)
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Project No. 22-0152 (JMA# 2021-14)

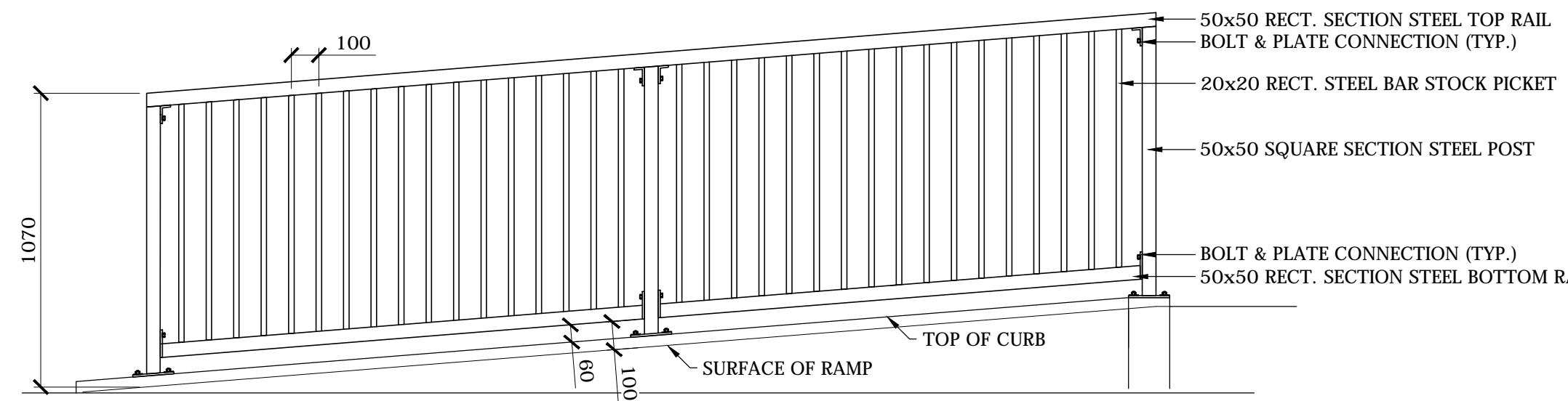
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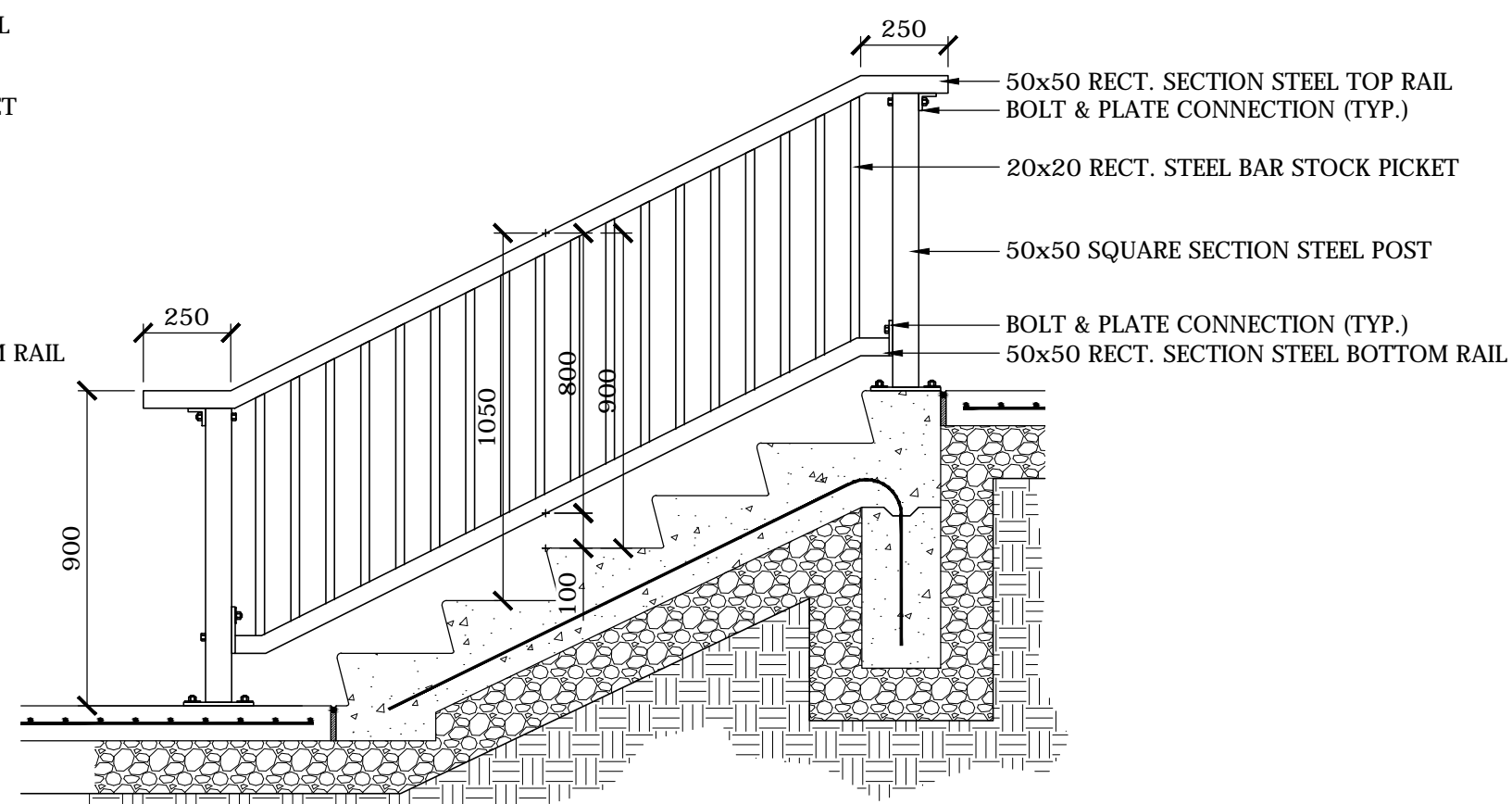


- NOTES:
1. ALL PORTIONS OF FENCE, INCLUDING FOUNDATIONS, TO BE WITHIN PRIVATE PROPERTY.
 2. ALL TIMBER SHALL BE WESTERN RED CEDAR OR PRESSURE TREATED HEM / FIR AS NOTED. ALL TIMBER TO BE STANDARD OR BETTER AND FREE OF CHECKS, SPLITS, WARPS OR OPEN KNOTS.
 3. SET FENCE POSTS IN CONCRETE FOOTING WITH MIN. OF 1/3 POST LENGTH.
 4. POST HOLES TO HAVE 400mm DIA.
 5. ENTRY TO BE OUT-SWING GATE COMPLETE WITH LATCH.
 6. ALL HARDWARE AND METAL FIXTURES TO BE HOT DIPPED GALVANIZED.
 7. FENCE TO BE UNSTAINED/UNPAINTED.

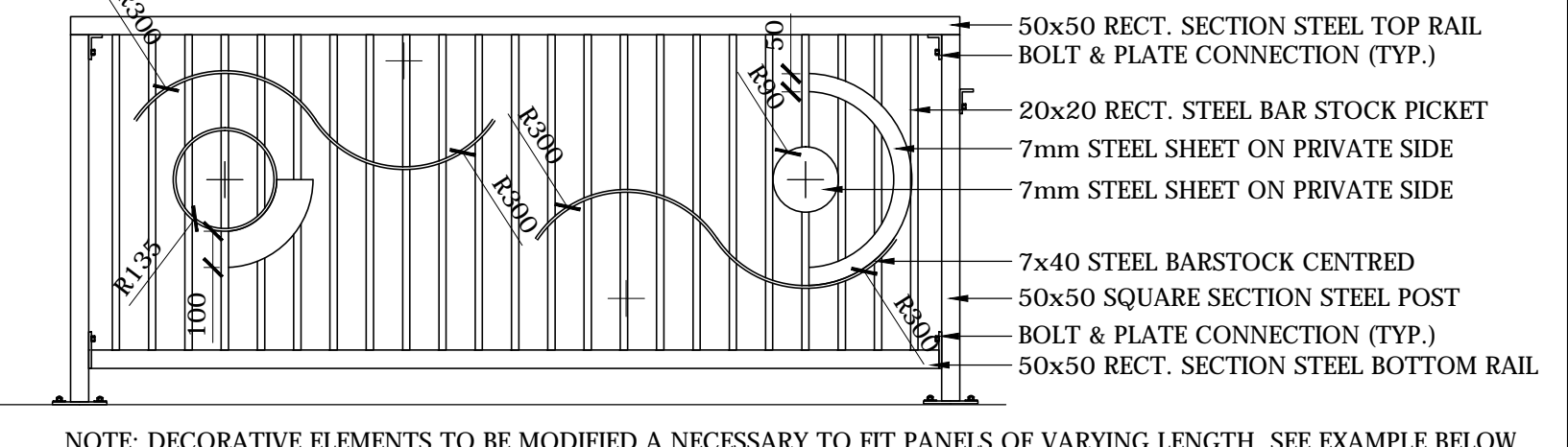
01 WOODEN BARRIER FENCE
L5-03 SCALE 1:20



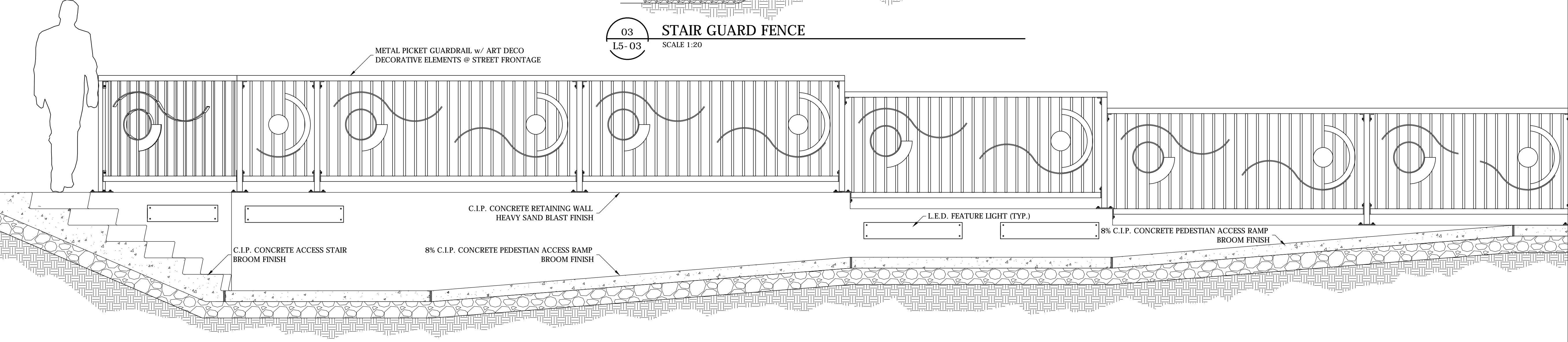
02 RAMP GUARD FENCE
L5-03 SCALE 1:20



03 STAIR GUARD FENCE
L5-03 SCALE 1:20



04 PERIMETER RETAINING WALL GUARD FENCE
L5-03 SCALE 1:20



05 SECTION AT ENTRY RAMP & STAIR AT SEATING PLAZA
L5-03 SCALE 1:20

DATE	ISSUED FOR	REV
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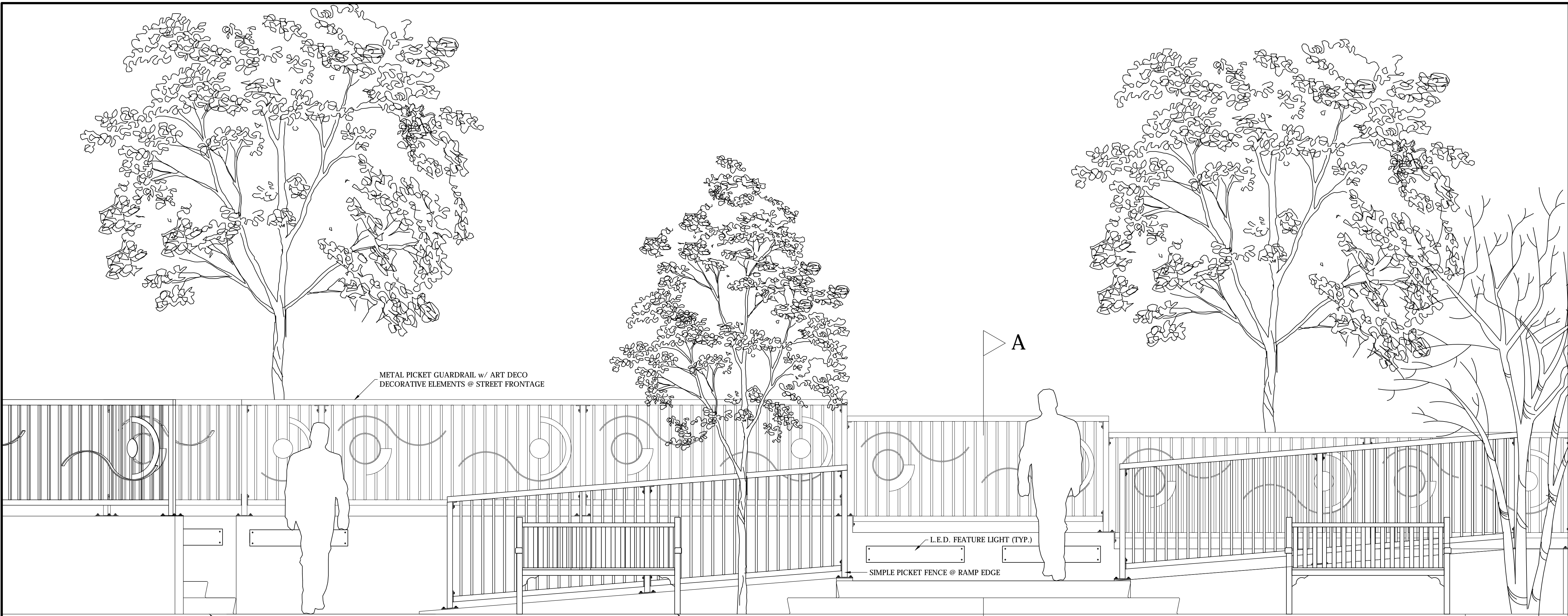
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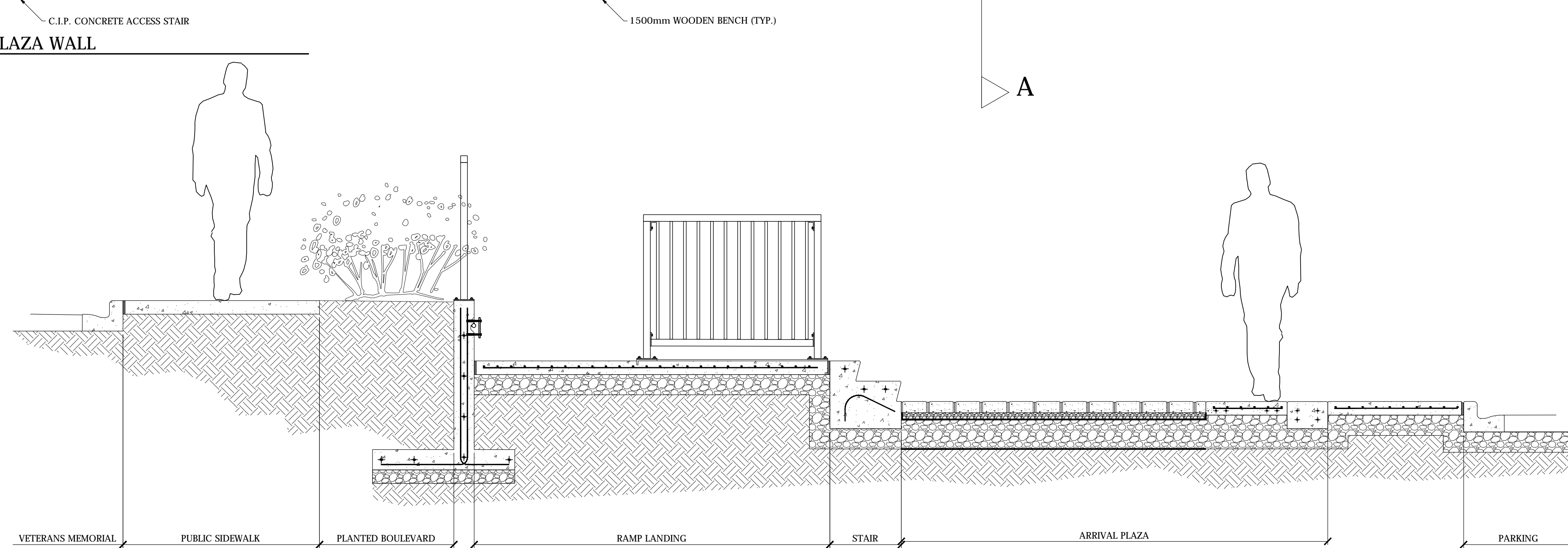
Project No. 22-0152 (JMA# 2021-14)

Drawing No. **L5-03**

PLOT DATE: April 19, 2023 TIME: 7:44 PM FULL PATH AND FILENAME: D:\PROJECTS\D22-0152 SPEEDWASH COLWOOD 200- DELIVERABLES\210- LAND\01- DP\TITLE\L5-04.DWG PLOTSYCLE TABLE:



01
L5-04 **ELEVATION OF PLAZA WALL**
SCALE 1:20



05
L5-04 **SECTION @ RAMPS LANDING (A-A)**
SCALE 1:20

DATE	ISSUED FOR	REV
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Drawing Title
LANDSCAPE DETAILS

Check Scale (may be photo reduced)
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Project No. 22-0152 (JMA# 2021-14)

Drawing No. **L5-04**

SCHEDULE 4



Scotty Tree & Arborist Service Ltd.

Tree Assessment and Development Report

Prepared for Speedwash, 2353 and 2361
Sook Road, Colwood BC.

SUBMITTED
28 April, 2023



Scott Mitchell
ISA Arborist PN-6138-A
Hazard Tree Assessor CTRA 309
TRAQ certified
250-220-9298

To whom it may concern,

By request, Scotty Tree & Arborist Service Ltd has assessed the trees identified for retention on the properties of 2353 and 2361 Sook Road, Colwood BC for a development proposal.

Executive Summary:

The proposal combines two properties for a commercial development. As most of the combined lots will be excavated, almost all of the trees will be removed. 30 trees were tagged and assessed for retention potential. Most of these trees are not suitable for retention due the encroachment of the excavations into critical and structural rooting zones. Due to borderline retention potential of these trees, several have been identified as to be determined post excavations. Previously, the trees on the two lots were catalogued by surveyors. That catalogue will be included for the total tree removal count.

Tree impact summary table for trees assessed for retention and municipal trees.

Tree status	Total	retained	removed	planted
Assessed on site bylaw protected	25	5	10 + 10 TBD	0
Assessed on site non-bylaw protected	5	2	1 + 2 TBD	0
Municipal trees	9	0	9	0
Previously surveyed for removal bylaw (not assessed by Scotty Tree)	55	0	55	0
Previously surveyed for removal non-bylaw (not assessed by Scotty Tree)	10	0	10	0
total	104	7	85 + 12 TBD	0

See tree inventory table for complete tree summary.

Introduction:

Scotty tree was contracted to assess the trees on this property to determine the viability of retaining trees that were on the borders of the development. This report will also list the municipal trees being removed for the project. The assessments of trees were limited to trees that had potential to be retained.

Methodology:

Detailed analysis of the proposed development plan was used to inform analysis of the trees, particularly in terms of the anticipated excavations. Scotty Tree used standard arboricultural observation and physical examinations to determine tree health and confirm rooting areas. Soil analysis was conducted by physical exploration. Consultation with the leading reference book (*Trees and Development*, Nelda Matheny and James R. Clark) was used to determine protected root zones and tree impacts for these properties.

Observations and Discussion:

1. All municipal trees require removal:

Due to the project's road access and egress points as well as the widening of the road, all nine municipal trees require removal. *See attached tree management plan.*

2. SE corner tree retention:

With over excavation, the proposed driveway access will come within 3m to 4m of trees tagged #7 through #10: suitable for retention. Douglas fir trees #11 (23cm) and #12 (20cm) which deal well with development, are small enough the excavations within 1m may leave them suitable for retention. Likely tree 12 will not be suitable for retention due to structural root loss. *See attached tree management site plan.*

3. NE tree retention:

With over excavation, the proposed driveway access will come within 2m to four 4m of trees tagged #29 through #31: suitable for retention. Arbutus trees #32 (67cm) and #33 (47 and 38cm stems) are approaching 2m from excavations which puts excavations on the edge of structural roots. Arbutus do not do well with development and are assessed to be marginal for retention. Assessments of structural compression roots will need to be made at the time of excavation. Assuming the trees are structurally sound post development, likely these trees will decline and require removal in the coming years.

Douglas fir tree #34 (58cm) and cedar #35 are back enough from excavations they should be retainable. Tree #34 is losing compression roots on the lean side. This is much less structurally compromising than losing tension roots behind a lean. The cedar is in decline and it is expected the development stress will accelerate deterioration.

Douglas fir #36 (52cm) is losing structural roots on the tension side and should be removed. *See attached tree management site plan.*

4. Middle side tree retention:

Two factors complicate tree retention in this area. Mainly, with the exception of the area near tree #28 (85cm Douglas fir), the excavations are dropping the grade up to 2m. Also of note is the removal of the stand of trees will leave the retained edge trees very exposed to new wind forces. With homes adjacent these large trees the consequences of wind throw will likely be extreme.

Douglas firs #16 (38cm) and #20 (32cm) will also require removal if over excavations go beyond 1m.

Tree #28 if retained it will require no excavations or machinery without arborist approval in a 6m radius from its base. The area should be built up to the finished grade starting with 30 cm minus rock to facilitate air and water penetration into the intact rooting zone. Leverage reduction with wind firming on the newly exposed fir tree should be applied. *See attached tree management site plan.*

Middle side tree retention continued:

If over excavation can't be limited to 30cm, Arbutus trees #18 (15cm), #19 (43cm) and #22 (#75cm) will require removal. If tree #22 can be retained, it will need leverage reduction due to the lean over a neighbouring home, and new exposure.

5. Municipal trees:

Nine municipal trees were identified for removal. The placement of the infrastructure leaves no capacity for retention. *See attached tree management site plan.*

Conclusions:

The development proposal is challenging from a tree management perspective. Careful excavations will be critical to prevent unnecessary root damage to retained trees. Excavating machinery should pull soils away from trees, not laterally to root direction, to avoid shattering roots beyond the excavation line.

Recommendations:

1. Limit over excavation to 30cm:

As many of the trees are marginal for retention, limiting over excavation to 30cm will make the difference for retention/ removal. This is particularly notable for the area the grade has to be lowered. Bank stability will dictate how much over excavation is required in this area.

2. End weight leverage reduction on trees #22 and #28:

If these two trees are to be retained, they both will be exposed to previously unseen wind. Reducing the branch length on the arbutus will greatly aid in structural stability: for example, a 30 percent reduction in leverage results in 70 percent less sheer torque at the fulcrum point. The Douglas fir will increase its stability by thinning the upper crown and reducing its branch length. As Douglas fir is prone to shedding large limbs under normal conditions, reducing branch length will be important to mitigate the exposure problems. It may be prudent to reduce the height 2 to 3 meters with a heading cut under 10cm to stunt the upward growth for a few years.

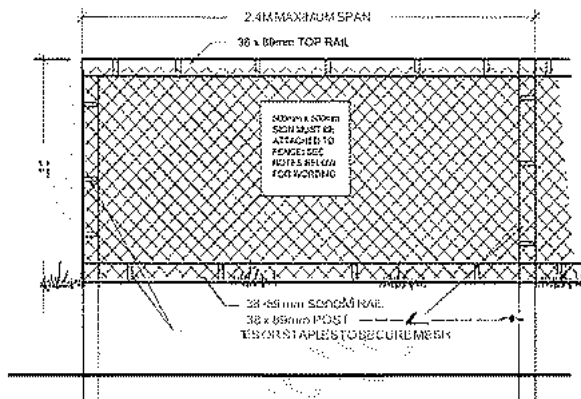
3. Inspection of excavations critical:

Arborist inspection of the excavations near the trees in question, before the areas are covered over, will be vital to determining the suitability for retention.

4. Protective fencing:

Note: This is the Colwood protective fence document guide for installation and signage.

SCHEDULE "B" TREE PROTECTION BARRIER REQUIREMENTS



Notes

- Tree diameter at breast height (dbh) to be measured at 1.4m from grade.
- Install the tree protection barrier before construction begins and keep in place until landscape construction is complete.
- Attach a 500mm x 500mm sign with the following wording: **WARNING – TREE PROTECTION AREA**. This sign must be affixed on every fence face or at least every 10 linear metres.
- Storage of building materials and litter within, or against the tree protection barrier is prohibited. The developer/owner are responsible for the maintenance within the tree protection barrier.
- Maintain existing grades at protection barrier for all protected and retained trees.
- Re-grading outside of the protection barrier should not adversely compromise protected, retained and existing trees.

Link to Colwood tree bylaw:

<https://colwood.civicweb.net/document/132905/>

a. Establish a protective fence along the NE corner:

b. Establish a protective fence along SE garden bed:

A single continuous fence 30cm from the surveyed proposed road edges will ensure as much as possible protection is afforded the trees from construction related damage. *See attached tree management site plan.*

c. Middle side protection fence:

The final protection fence for this area will be determined post excavation. The fence(s) will be along the excavation, encompass the root zones and return to the property lines. If tree #28 is to be retained, to stop compaction, a protection fence should be placed in a 6m radius from the tree until such time the rock is moved in. The fence can then be moved to the road edge and root zone edges. *See attached tree management site plan.*

For further clarifications feel free to text 250-220-9298.

Sincerely,

Scott Mitchell

Scott Mitchell
Submitted
28 April 2023

ISA Arborist, PN-6138-A, PNW CTRA 309, TRAQ certified
Pacific Northwest Hazard Tree Assessor, CTA 309

Scotty Tree & Arborist Service
#7 10075 Fifth St, Sidney BC, V8L-2X8

Tree Inventory Table for trees assessed for retention, including municipal trees:

Tree ID	Species	Status	DBH (cm)	PRZ * Factor	PRZ* (m) Radius	Canopy Spread (m) Dia	Health	Structural Condition	Site specific Construction Tolerance	Retain or: removal - Reason	Remarks / Recommendations
M1 1150	Douglas fir	Municipal	56	12:1	6.7	6	Moderate	Good	Good	Remove excavations	
M2 1044	Douglas fir	Municipal	35	12:1	4.2	4	Good	Good	Good	Remove excavations	
M3 1041	Douglas fir	Municipal	25	12:1	3	4	Good	Good	Good	Remove excavations	
M4 1026	Arbutus	Municipal	25	12:1	3	4	Good	Good	Moderate	Remove excavations	
M5 1025	Douglas fir	Municipal	40	12:1	4.8	6	Good	Good	Good	Remove excavations	
M6 1024	Douglas fir	Municipal	40	12:1	4.8	6	Good	Moderate	Good	Remove excavations	
M7	Arbutus	Municipal	40	12:1	4.8	4	Good	Good	Moderate	Remove excavations	
M8 1023	Douglas fir	Municipal	40	12:1	4.8	4	Good	Good	Good	Remove excavations	
M9 1022	Douglas fir	Municipal	35	12:1	4.2	4	Good	Good	Good	Remove excavations	
7	Douglas fir	NBL	21	12:1	2.5	3	Good	Good	Good	Retain	
8 1031	Arbutus	Bylaw	23	12:1	2.6	2	Good	Good	Moderate	Retain	
9 1032	Douglas fir	Bylaw	53	12:1	6.4	7	Good	Good	Good	Retain	
10 1033	Douglas fir	Bylaw	65	12:1	7.8	6	Good	Good	Good	Retain	
11 1036	Douglas fir	NBL	23	12:1	2.7	2	Good	Good	Good	TBD	
12 1035	Douglas fir	NBL	20	12:1	2.4	2	Good	Good	Good	TBD	
13	Douglas fir	Bylaw	33	12:1	4.0	4	Good	Good	Good	Remove excavations	
14	Douglas fir	NBL	21	12:1	2.5	3	Good	Good	Good	Remove excavations	
15 1084	Douglas fir	Bylaw	40	12:1	4.8	6	Good	Good	Good	Remove excavations	

Tree ID	Species	Status	DBH (cm)	PRZ * Factor	PRZ* (m) Radius	Canopy Spread (m) Dia	Health	Structural Condition	Site specific Construction Tolerance	Retain or: removal - Reason	Remarks / Recommendations
16 1088	Douglas fir	Bylaw	38	12:1	4.6	5	Good	Good	Good	TBD	
17 1087	Arbutus	Bylaw	38	12:1	4.6	7	Good	Good	Moderate	TBD	
18 1089	Arbutus	Bylaw	15	12:1	1.8	2	Good	Good	Moderate	Remove excavations	
19 1090	Arbutus	Bylaw	43	12:1	5.1	5	Good	Good	Moderate	TBD	
20	Douglas fir	Bylaw	32	12:1	3.8	3	Good	Good	Good	TBD	
21 1096	Douglas fir	Bylaw	70	12:1	8.4	8	Good	Good	Good	Remove excavations	
22 1100	Arbutus	Bylaw	75	12:1	9.2	10	Good	Good	Moderate	TBD	Leaning
23 1099	Douglas fir	Bylaw	80	12:1	9.6	8	Good	Good	Good	Remove excavations	
24 1098	Douglas fir	Bylaw	40	12:1	4.8	3	Good	Good	Good	Remove excavations	
25 1108	Cedar	Bylaw	150	12:1	18	8	Good	Good	Moderate	Remove excavations	
26 1111	Douglas fir	Bylaw	80	12:1	9.6	6	Good	Good	Good	Remove excavations	Uneven canopy
27	Dogwood	Bylaw	25	12:1	3.0	3	Good	Good	Good	Remove hazard	Mostly dead
28 1133	Douglas fir	Bylaw	85	12:1	10.2	12	Good	Good	Good	TBD	
29 1166	Douglas fir	Bylaw	52	12:1	6.2	6	Good	Good	Good	Retain	
30 1164	Douglas fir	Bylaw	48	12:1	5.8	6	Good	Good	Good	Retain	
31 1165	Douglas fir	NBL	27	12:1	2.7	3	Good	Good	Good	Retain	
32 1163	Arbutus	Bylaw	67	12:1	8.0	10	Good	Good	Moderate	TBD	
33 1162/1161	Arbutus	Bylaw	85/ 60**	12:1	10.2/ 7.2**	10	Good	Good	Moderate	TBD	

Tree ID	Species	Status	DBH (cm)	PRZ * Factor	PRZ* (m) Radius	Canopy Spread (m) Dia	Health	Structural Condition	Site specific Construction Tolerance	Retain or: removal - Reason	Remarks / Recommendations
34 1159	Douglas fir	Bylaw	58	12:1	7.0	6	Good	Good	Good	TBD	
35 1158	Cedar	Bylaw	33	12:1	4.0	3	Good	Good	Moderate	TBD	In decline
36 1157	Douglas fir	Bylaw	52	12:1	6.2	6	Good	Good	Good	Remove excavations	

*PRZ - Protected Root Zone (12 to 1 for Good-Moderate construction tolerance & healthy trees / 18 to 1 for Poor construction tolerance or poor health)

NBL = Non-Bylaw protected tree. ** - adjusted root zone for multi stem and or reduced canopy trees.

Tree survey table (trees assessed for retention and municipal trees blocked out):

POINT #	CONIFEROUS OR DECIDUOUS	CROWN	DIMETER	TYPE
1027	TRD	10	0.2	
1028	TRD	10	0.3	
1029	TRD	14	0.35	
1030	TRD	10	0.3	
1034	TRC	8	0.6	
1037	TRD	14	0.35	
1038	TRD	14	0.35	
1039	TRD	8	0.25	
1040	TRD	14	0.25	
1042	TRD	10	0.2	
1043	TRC	1	0.6	STUMP
1045	TRC	4	0.5	
1046	TRC	10	0.6	
1047	TRD	10	0.2	
1048	TRD	10	0.2	
1049	TRD	5	0.15	
1051	TRD	1	0.06	
1052	TRD	6	0.2	
1053	TRC	12	0.7	
1054	TRD	12	0.4	
1074	TRD	12	0.4	ARB
1075	TRC	10	0.6	
1076	TRC	10	0.6	
1077	TRC	10	0.6	
1078	TRC	10	0.6	
1079	TRC	10	0.6	
1080	TRC	10	0.6	
1081	TRC	10	0.6	
1082	TRC	10	0.6	
1083	TRC	10	0.6	
1091	TRC	3	0.3	
1092	TRC	4	0.75	
1097	TRC	8	0.95	

POINT #	CONIFEROUS OR DECIDUOUS	CROWN	DIMETER	TYPE
1101	TRD	4	0.2	ARB
1106	TRC	10	1.2	
1125	TRD	12	0.3	GO
1148	TRC	14	1.1	
1149	TRC	6	0.25	3 CEDAR CLUSTER
1150	TRC	8	0.6	
1151	TRC	8	0.6	
1160	TRC	1	0.55	STUMP
1167	TRD	5	0.25	GO
1168	TRD	12	0.9	ARB
1193	TRD	8	0.1	4 CLUSTER
1194	TRD	8	0.1	4 CLUSTER
3006	TRC	16	1.2	YEW
3007	TRD	16	0.8	MAPLE
3008	TRC	16	1	CEDAR
3009	TRC	1	0.4	FIR
3017	TRD	1	0.01	ARB
3018	TRD	1	0.01	ARB
3019	TRD	1	0.01	ARB
3020	TRD	1	0.01	ARB
3021	TRD	1	0.01	ARB
3022	TRD	1	0.01	ARB
3023	TRD	1	0.01	ARB
3024	TRD	1	0.01	ARB
3025	TRD	1	0.01	ARB
3026	TRD	1	0.01	ARB
3027	TRD	1	0.01	ARB
3028	TRD	3	0.02	ARB
3029	TRD	3	0.02	ARB
3030	TRD	3	0.02	ARB
3031	TRD	3	0.02	ARB
3032	TRD	3	0.02	ARB
3151	TRD	4	0.2	ARB
3152	TRD	6	0.25	ARB
3153	TRD	6	0.25	ARB
3154	TRD	6	0.25	ARB
3155	TRD	6	0.25	ARB
3156	TRD	3	0.15	ARB

TREE MANAGEMENT SITE PLAN

MODIFIED FROM CLIENT PROVIDED SITE PLAN








For informational purposes only

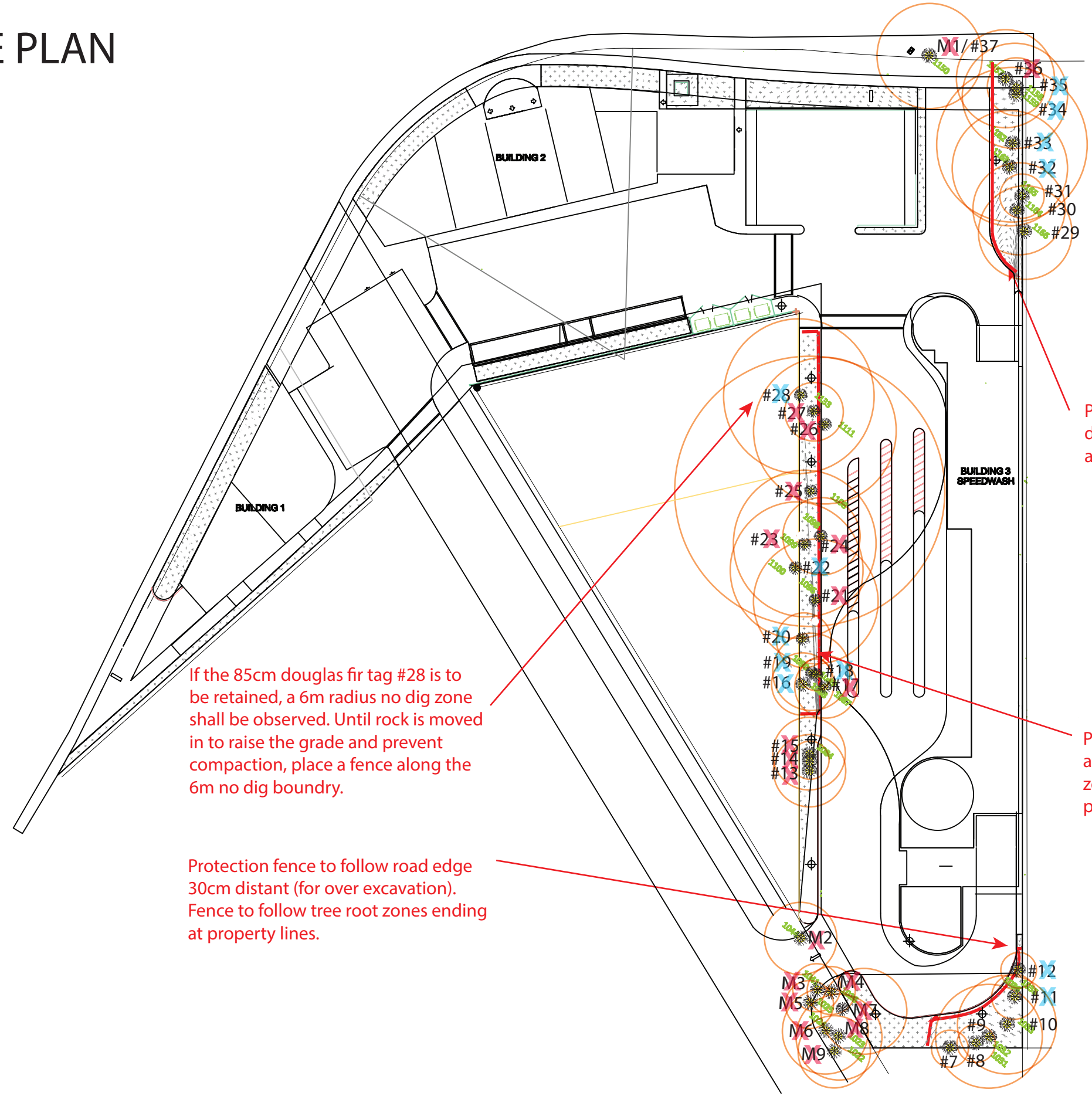
28 April, 2023

Scotty Tree and Arborist

#7 10075 Fifth St
Sidney, BC, V8L 2X8



-  Protected Root Zone established by DBH or assessments
-  Tree removal to be determined
-  Tree to be removed
-  Potential Tree Replacement soil Zone
-  Anti-compaction Zone (2 X 19mm plywood/20cm wood chips)
-  Protective Fencing
-  Unfenced protected area - no storage of material or construction activities without arborist supervision. No transiting machinery or vehicles without arborist supervision and/or anti-compaction measures.



If the 85cm douglas fir tag #28 is to be retained, a 6m radius no dig zone shall be observed. Until rock is moved in to raise the grade and prevent compaction, place a fence along the 6m no dig boundry.

Protection fence to follow road edge 30cm distant (for over excavation). Fence to follow tree root zones ending at property lines.

Protection fence to follow road edge 30cm distant (for over excavation) terminating at property lines.

Protection fence, if trees can be retained after over excavation, will contain root zones, excavation edge and terminate at property line.

SCALE: 1:400
*UNITS ARE IN METERS

