



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP-22-021

### DEVELOPMENT PERMIT DP-22-021

THIS PERMIT, issued June 26 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: 82 Trumpeter Developments Ltd.  
301-1106 Cook Street  
Victoria, BC V8V 3Z9

(the "Permittee")

- 
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 82 PLAN EPP117070 SECTION 38 ESQUIMALT  
3439 Trumpeter Street  
(the "Lands")

2. This Development Permit regulates the development of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form and character considerations for a building strata development containing 44 townhome units and associated site improvements are consistent with the design guidelines for areas designated as "Neighbourhood - Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.

6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
  - Schedule 1 Architectural Drawings prepared by Ekistics Architecture, dated June 20, 2023.
  - Schedule 2 Landscape Plan prepared by LADR Landscape Architects, dated May 18, 2023.
  - Schedule 3 Landscape Cost Estimate prepared by LADR Landscape Architects, dated May 18, 2023.
8. This Development Permit authorizes the construction of a building strata development containing 44 townhome units along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

#### **FORM AND CHARACTER CONDITIONS**

##### **Building Features**

- 8.1. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Ekistics Architecture (Schedule 1).
- 8.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.3. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.

##### **Landscaping**

- 8.5. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by LADR Landscape Architects (Schedule 2).

##### **Signage and Lighting**

- 8.6. Signage must be in substantial compliance with the Landscape Drawings prepared by LADR Landscape Architects (Schedule 2).
- 8.7. Prior to the issuance of a Building Permit, the Permittee shall provide a Lighting Plan to the satisfaction of the City of Colwood's Development Services department. In addition to including specifications of all proposed exterior lighting plan, the plan must include details on the following:

8.7.1. Signage indicating "No Parking – Fire Lane" within all roadways that provide fire access.

#### SECURITIES

9. Prior to the issuance of a Building Permit, a security deposit in the amount of 110% of the landscape cost estimate (Schedule 3) must be submitted by the Permittee to the City of Colwood. The amount of security to be remitted is **\$305,219.20**.
- 9.1. This amount, or a portion thereof, shall be returned upon receipt of a signed statement of substantial completion from the registered landscape architect, to the satisfaction of the Director of Development Services or their delegate.

#### VARIANCES

10. The Colwood Official Community Plan (Bylaw No. 1700) encourages the provision of short-term and long-term bicycle parking to help improve the safety, comfort, convenience, and enjoyment of cycling for both recreational and destination-oriented trips.

Policies 8.2.3.5 and 8.2.3.6 of the Official Community Plan encourage short-term bicycle parking in commercial, community and recreation areas and long-term bicycle parking in multi-unit residential, workplace, and transit areas.

Given that **1)** the policies of the Official Community Plan prioritize long-term bicycle parking in residential areas, **2)** the Permittee is able to accommodate both long-term and short-term bicycle parking within the garages of each dwelling unit and **3)** the proposed site layout meets the design guidelines for private open space and amenity areas (OCP, Section 25.11), the requirement for short-term bicycle parking in the Colwood Off-Street Parking Bylaw No. 1909 is varied as follows:

- 10.1. Vary Section 5.1.2 of the City of Colwood Off-Street Parking Bylaw No. 1909 to decrease the number of required short-term bicycle spaces from 6 spaces per building (a total of 60 spaces) to 6 spaces per outdoor amenity area (a total of 6 spaces).

ISSUED ON THIS 26 DAY OF JUNE, 2023.



YAZMIN HERNANDEZ

DIRECTOR OF DEVELOPMENT SERVICES

# ETTA - TRUMPETER LOT 82 TOWNHOUSE DEVELOPMENTS

2023 / 11 / 10 - ISSUED FOR DP AMENDMENT

## ADDRESSES

**CIVIC ADDRESS**  
82 Trumpeter Street, Colwood, B.C.

**LEGAL ADDRESS**  
Lot 82, Section 38, Esquimalt District, Plan EPP117070

## PROJECT TEAM

**DEVELOPER:**  
ABSTRACT DEVELOPMENTS.  
301-1106 COOK STREET  
VICTORIA, BC, V8V 3Z9  
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E. bsmith@abstractdevelopments.com  
**CONTACT:** BEN SMITH

**ARCHITECT:**  
EKISTICS ARCHITECTURE INC.  
1925 MAIN STREET  
VANCOUVER, BC, V5T 3C1  
T. 604.876.5050  
E. blackwood@ekistics.ca  
**CONTACT:** MARK BLACKWOOD

**CIVIL ENGINEER:**  
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**CONTACT:** ROSS TUCK

**LANDSCAPE ARCHITECT:**  
LADR  
#3-864 QUEENS AVENUE  
VICTORIA, BC, V8T 1M5  
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E. sleogreen@ladrla.ca  
**CONTACT:** SEAN LEOGREEN

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- C1 SECTIONS
- B2 FLOOR PLANS
- B2 SECTIONS
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- B1/ B1-a SECTIONS



REVISIONS

ISSUES	DATE
8	
7	
6	ISSUED FOR DP AMENDMENT 2023-11-10
5	ISSUED FOR BP APPLICATION 2023-10-27
4	RE-ISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**COVER SHEET/ DRAWING INDEX**

DRAWING No.

**TRUMPETER TOWNHOMES**  
3439 TRUMPETER STREET

**LEGAL ADDRESSES:**  
Lot 82, Section 38, Esquimalt District, Plan EPP117070

**GENERAL STATISTICS AND ZONING COMPLIANCE**

	AREA		PERCENTAGE	UNITS/ACRE	PERMITTED BUILDING HEIGHT	PROPOSED BUILDING HEIGHT	PERMITTED	PROPOSED
	(SQ M)	(SQ FT)						
TOTAL LOT AREA	7,465.32	80,356.00	100%	24	3 STOREYS (12.5m MAX.)	3 STOREYS (10.84m MAX.)		
NET LOT AREA	7,465.32	80,356.00	100%	24				*REFER TO SITE ELEVATIONS FOR BUILDING HEIGHTS
<b>ZONING RBCD 5</b>								
PERMITTED LOT COVERAGE	3,732.66	40,178.00	50%		SETBACKS:			
PROPOSED LOT COVERAGE (TOTAL FOOTPRINT)	2,866.20	30,851.56	38%		FRONT	3.0m	3.0m	3.0m
					REAR	6.0m	6.0m	6.0m
					SIDE	1.2m	1.2m	1.2m
PERMITTED FSR	N/A	N/A	N/A					
PROPOSED FSR	5,935.70	63,893.40	0.8					

**TOWNHOMES - OVERALL SITE**

UNIT TYPE	WIDTH (FT)	COUNT	BEDROOMS	PARKING TYPE	LOWER FLOOR AREA (SQ FT)	MAIN FLOOR AREA (SQ FT)	UPPER FLOOR AREA (SQ FT)	GARAGE AREA (SQ FT)	MECHANICAL AREA (SQ FT)	NET FLOOR AREA (SQ FT)
A	A1	2	3	TANDEM	559.8	616.0	644.4	481.1	0.0	1,339.1
		<b>SUBTOTAL</b>	<b>2</b>							
B	B1/ B1-a	2	3	TANDEM	634.0	615.9	640.0	534.9	0.0	1,355.0
	B2	2	3	TANDEM	633.5	616.0	640.0	534.9	0.0	1,354.6
	B3	1	3	TANDEM	640.1	622.3	646.7	541.5	0.0	1,367.6
	B4	1	3	TANDEM	640.0	622.1	646.3	541.4	0.0	1,367.0
		<b>SUBTOTAL</b>	<b>6</b>							
C	C1	1	3	TANDEM	634.0	615.9	640.0	534.9	0.0	1,355.0
	C1-a	1	3	TANDEM	634.0	616.0	640.0	534.9	0.0	1,355.1
	C2/ C2-a	2	3	TANDEM	633.5	616.0	640.0	534.9	0.0	1,354.6
	C3	1	3	TANDEM	639.9	654.6	646.3	541.3	0.0	1,399.5
	C4	1	3	TANDEM	640.1	648.3	646.7	541.5	0.0	1,393.6
		<b>SUBTOTAL</b>	<b>6</b>							
D	D1	5	3	DOUBLE	641.8	630.6	613.2	407.1	0.0	1,478.5
	D1-a	3	3	DOUBLE	641.8	630.6	613.2	407.1	0.0	1,478.5
	D2	2	3	DOUBLE	646.3	635.1	617.7	410.5	0.0	1,488.6
	D2-a	2	3	DOUBLE	646.3	635.1	617.7	410.5	0.0	1,488.6
	D3	4	3	DOUBLE	646.3	654.5	617.7	410.5	0.0	1,508.0
	D3-a	2	3	DOUBLE	646.3	654.5	617.7	410.5	0.0	1,508.0
		<b>SUBTOTAL</b>	<b>18</b>							
E	E1	1	3	DOUBLE	713.1	672.0	641.7	428.6	0.0	1,598.2
	E2	1	3	DOUBLE	713.1	694.7	641.7	428.6	0.0	1,620.9
		<b>SUBTOTAL</b>	<b>2</b>							
F	F1	2	3	TANDEM	559.3	640.0	645.0	311.9	0.0	1,532.4
	F2	2	3	DOUBLE	713.1	647.4	641.7	428.6	0.0	1,573.6
	F3	2	3	TANDEM	633.4	616.0	640.0	254.8	0.0	1,634.6
	F4	2	3	TANDEM	633.5	616.0	640.0	255.0	0.0	1,634.5
	F5	1	3	TANDEM	640.1	654.9	646.7	258.6	0.0	1,683.1
	F6	1	3	TANDEM	640.1	654.9	646.7	258.7	0.0	1,683.0
		<b>SUBTOTAL</b>	<b>10</b>							
<b>TOTAL</b>		<b>44</b>								

**PARKING**

	FORMULA	TOTAL
REQUIRED RESIDENTIAL PARKING	2.0 CARS/DWELLING	88.0
PROVIDED RESIDENTIAL PARKING		92.0
PERMITTED SMALL CAR PARKING	30%	27.6
PROVIDED SMALL CAR PARKING	0.0%	0.0
REQUIRED VISITOR PARKING	0.1 CARS/DWELLING	4.4
PROVIDED VISITOR PARKING		6.0
<b>TOTAL PARKING STALLS</b>		<b>98.0</b>

**BIKE STALLS**

	FORMULA	TOTAL
REQUIRED RESIDENT BIKE STALLS	1.0 STALLS/DWELLING	44.0
PROVIDED RESIDENT BIKE STALLS	2.0 STALLS/DWELLING	88.0
REQUIRED SHORT TERM BIKE STALLS		6.0
PROVIDED SHORT TERM BIKE STALLS		6.0

**AMENITY, OPEN SPACE**

	FORMULA	TOTAL (SQ M)	TOTAL (SQ FT)
REQUIRED AMENITY AREA (DGL)	15% MIN. NET SITE COVERAGE	1,119.8	12,053.4
REQUIRED AMENITY AREA (OCP)	3.0 SQ M /BEDROOM	396.0	4,262.5
PROVIDED AMENITY AREA	9.8%	732.3	7,882.2
REQUIRED PRIVATE OUTDOOR SPACE	10.0 SQ M /DWELLING	440.0	
PROVIDED PRIVATE OUTDOOR SPACE	10.0 SQ M /DWELLING	440.0	

**OTHER REGULATIONS**

	TOTAL (M)	TOTAL (FT)
MAXIMUM BUILDING HEIGHT	12.50	41.01
PROVIDED MAXIMUM BUILDING HEIGHT	12.27	40.26



**BUILDING FLOOR AREA (FSR)**

BUILDING FLOOR AREA (FSR)				LOT COVERAGE AREA - FOOTPRINT AREA (INCL. PROJECTIONS)			
BUILDING NUMBER	BLDG TYPE	TOTAL FLOOR AREA (SQ FT)	TOTAL FLOOR AREA (SQ M)	BUILDING NUMBER	BLDG TYPE	TOTAL LOT COVERAGE (SQ FT)	TOTAL LOT COVERAGE (SQ M)
1	D3-D1-D1-D3a	5,973.00	554.91	1	D3-D1-D1-D3a	2,639.67	245.23
	Sprinkler Closet	54.72	5.08		Sprinkler Closet	54.72	5.08
2	D2a-D1a-D1a-D2a	5,934.20	551.31	2	D2a-D1a-D1a-D2a	2,601.00	241.64
3	D3-D1-D1-D3	4,494.50	417.55	3	D3-D1-D1-D3	2,639.67	245.23
	Sprinkler Closet	54.06	5.02		Sprinkler Closet	54.06	5.02
4	D2-D1-D2	4,455.70	413.95	4	D2-D1-D2	1,963.00	181.44
	Sprinkler Closet	52.86	4.91		Sprinkler Closet	52.86	4.91
5	D3-D1a-D3a	4,494.50	417.55	5	D3-D1a-D3a	1,991.67	185.03
6	C3-C2-C1a-C2a-C1-C4	8,212.40	762.96	6	C3-C2-C1a-C2a-C1-C4	4,273.62	397.03
7	B3-B2-B1-B2-B1a-B4	8,153.80	757.51	7	B3-B2-B1-B2-B1a-B4	4,247.27	394.58
8	F5-F4-F3-F4-F3-F6	9,904.30	920.14	8	F5-F4-F3-F4-F3-F6	4,279.97	397.62
9	F2-A1-A1-F2	5,825.46	541.20	9	F2-A1-A1-F2	2,936.28	272.79
10	E1-F1-F1-E2	6,283.90	583.79	10	E1-F1-F1-E2	3,127.77	290.58
<b>TOTAL</b>		<b>63,893.40</b>	<b>5,935.89</b>	<b>TOTAL</b>		<b>30,851.56</b>	<b>2,866.20</b>

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

1925 Main Street  
Vancouver, BC,  
Canada, V5T 3C1  
T. 604.876.5050  
F. 604.876.5060  
ekistics.com

ISSUES	DATE
8	
7	
6	ISSUED FOR DP AMENDMENT 2023-11-10
5	ISSUED FOR BP APPLICATION 2023-10-27
4	RE-ISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER DD-92

DRAWN BY PM / RV

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET

COLWOOD, BC

DRAWING TITLE

**PROJECT STATISTICS**

DRAWING No.

**A0.02**

△ Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

**EKISTICS**  
Architecture

1245 Main Street  
Vancouver, BC,  
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T: 604.875.9091  
F: 604.276.9450  
ekistics.com

**ETTA**

REVISIONS

ISSUE #	DATE
1	
2	
3	2023-11-03
4	2023-10-27
5	2023-08-20
6	2023-06-20
7	2023-05-24
8	2023-03-03
9	2023-02-11

PROJECT NUMBER	00-00
DRAWN BY	PA - RJ
CHECKED BY	NA
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3408 TRUMPETER STREET

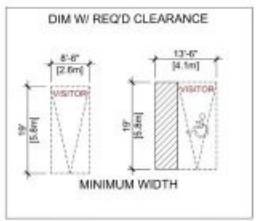
COLWOOD, BC

DRAWING TITLE

**OVERALL SITEPLAN**

DRAWING No:

**A1.00**



1 SITE PLAN SCALE: 1/32" = 1'-0"

ISSUE	DATE
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	

PROJECT NUMBER	00-00
DRAWN BY	RM - RJ
CHECKED BY	MB
DATE CHECKED	
CONSULTANT	



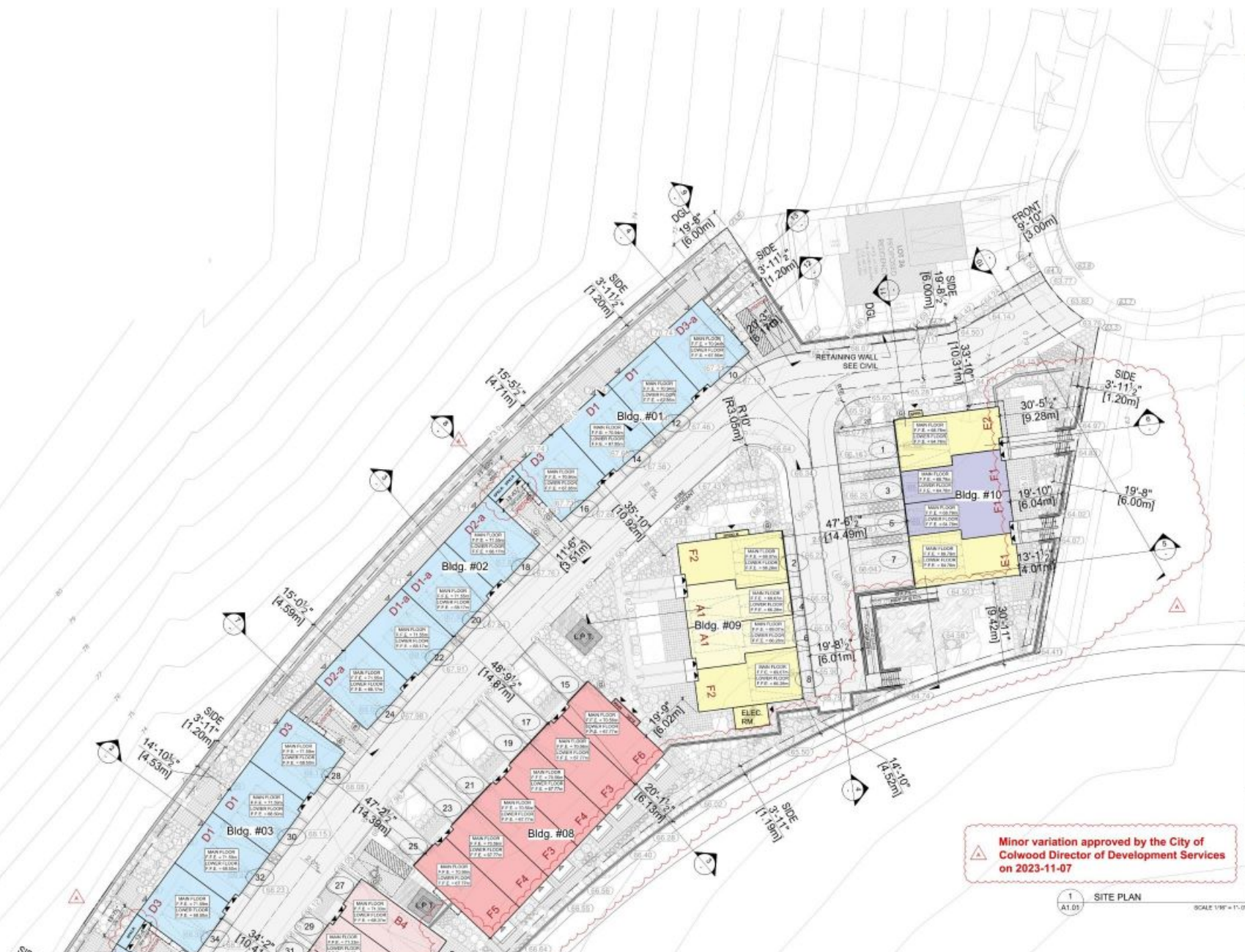
**ETTA TOWNHOUSE DEVELOPMENT**  
3408 TRUMPER STREET  
COLWOOD, BC

DRAWING TITLE

**PARTIAL SITE PLAN**

DRAWING NO.

**A1.01**



Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

1 SITE PLAN  
A1.01 SCALE 1/8" = 1'-0"



REVISIONS

ISSUE	DATE
1	
2	
3	2023-11-03
4	2023-10-27
5	2023-08-20
6	2023-06-24
7	2023-05-03
8	2023-03-11

PROJECT NUMBER	00-00
DRAWN BY	RM - RJ
CHECKED BY	MB
DATE CHECKED	
CONSULTANT	



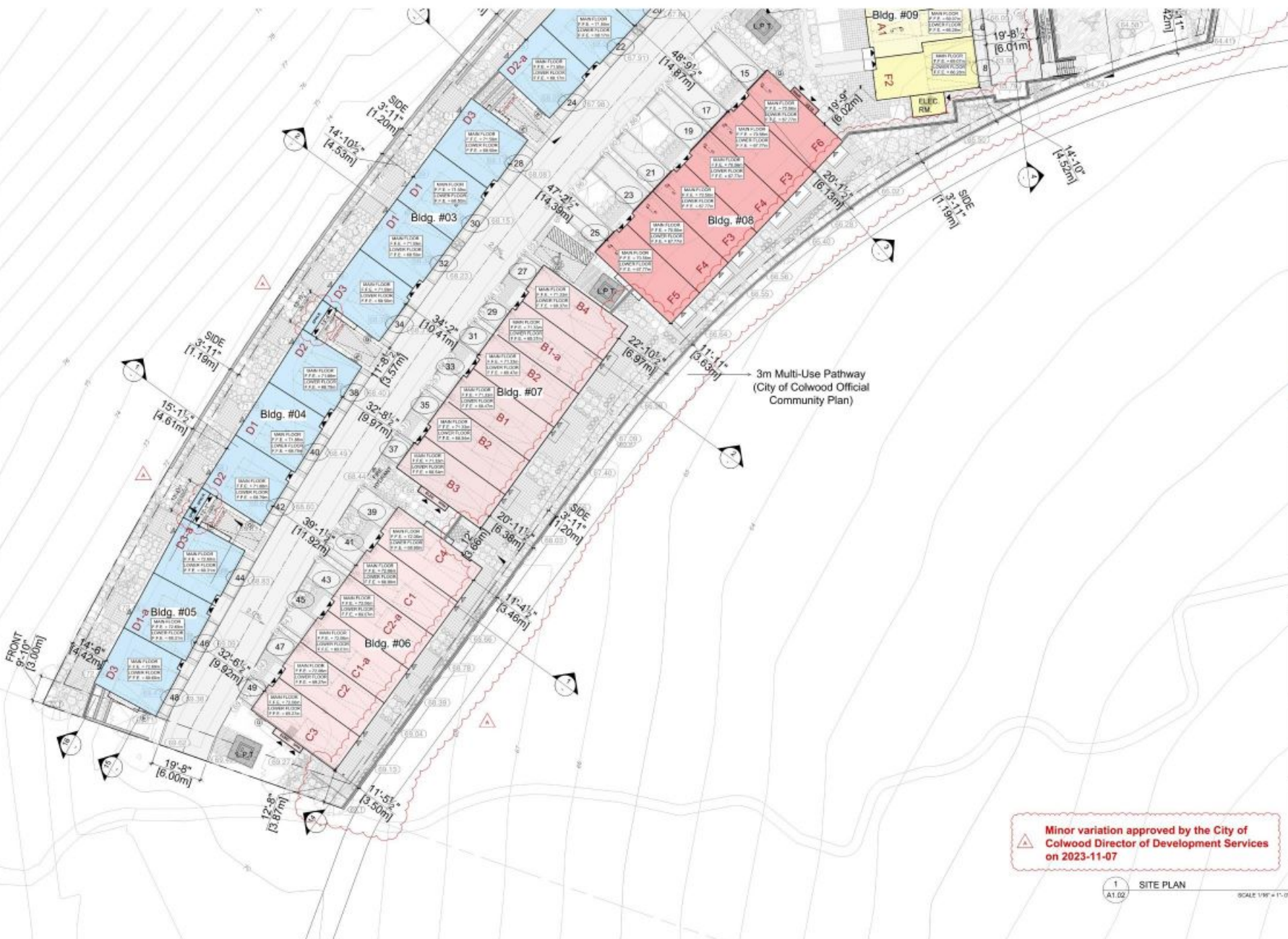
**ETTA TOWNHOUSE DEVELOPMENT**  
3403 TRANSMETER STREET  
COLWOOD, BC

DRAWING TITLE

**PARTIAL SITEPLAN**

DRAWING NO.

**A1.02**



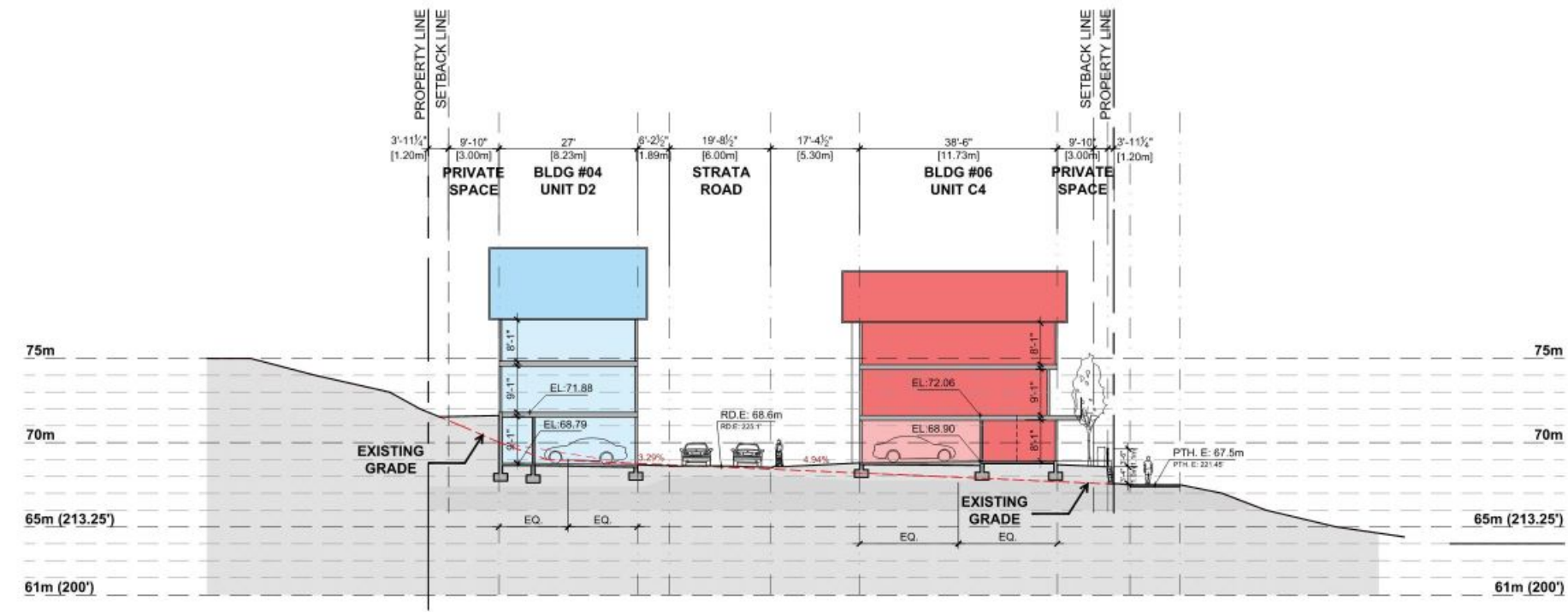
**Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07**

1 SITE PLAN  
A1.02 SCALE 1/8" = 1'-0"





**1** SITE PLAN  
A1.11 Scale: 1/16" = 1'-0"



**2** SITE SECTION - 1.1  
A1.11 Scale: 1/16" = 1'-0"



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER: DD-92

DRAWN BY: PM / RV

CHECKED BY: RR

DATE CHECKED:

CONSULTANT:

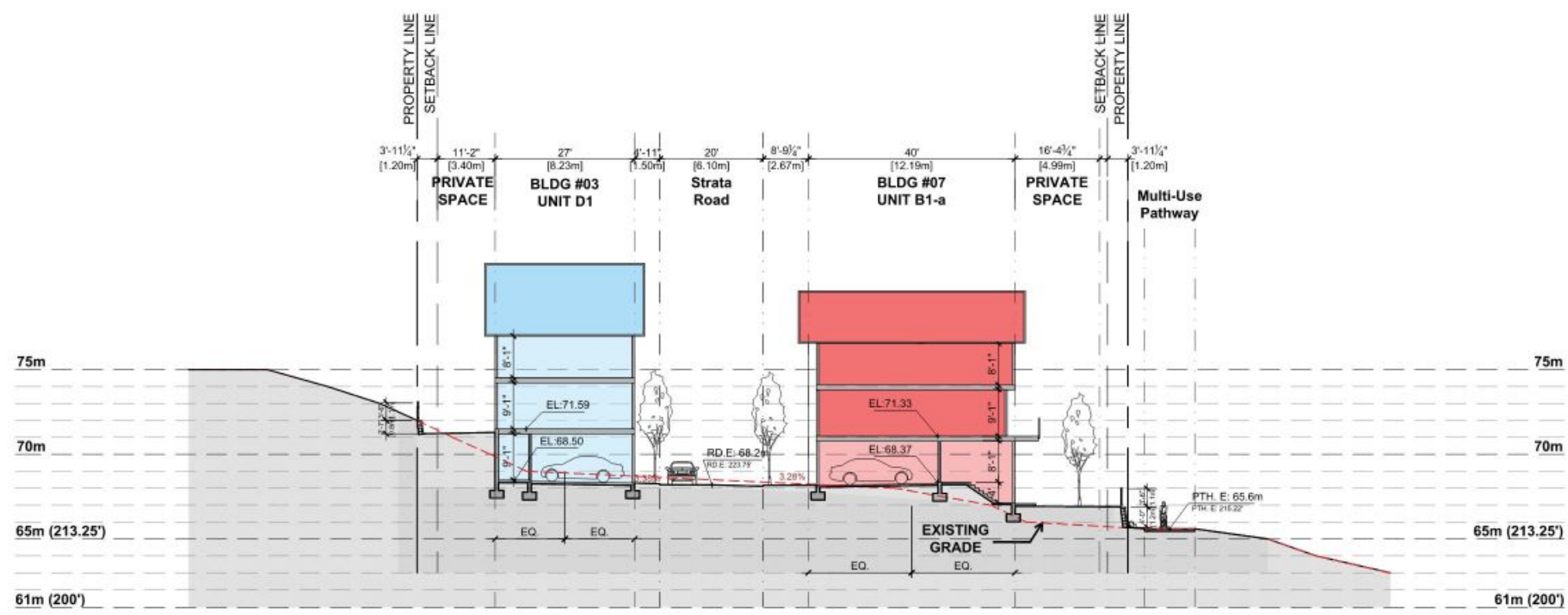
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**SITE SECTION #1**

DRAWING No.



**1** SITE PLAN  
A1.12 Scale: 1/16" = 1'-0"



**2** SITE SECTION - 2.2  
A1.12 Scale: 1/16" = 1'-0"



ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

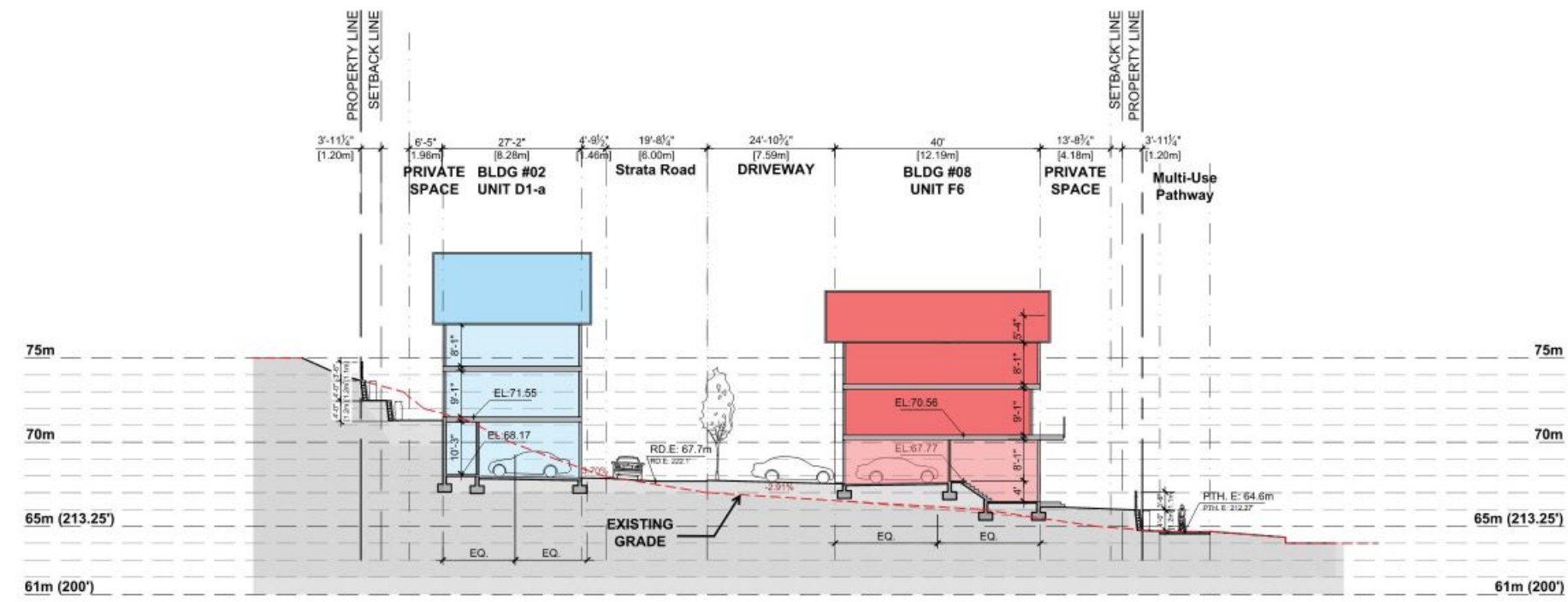
DRAWING TITLE  
**SITE SECTION #2**

DRAWING No.



Multi-Use Pathway  
(Wood Official  
City Plan)

**1** SITE PLAN  
A1.13 Scale: 1/16" = 1'-0"



**2** SITE SECTION - 3.3  
A1.13 Scale: 1/16" = 1'-0"



ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



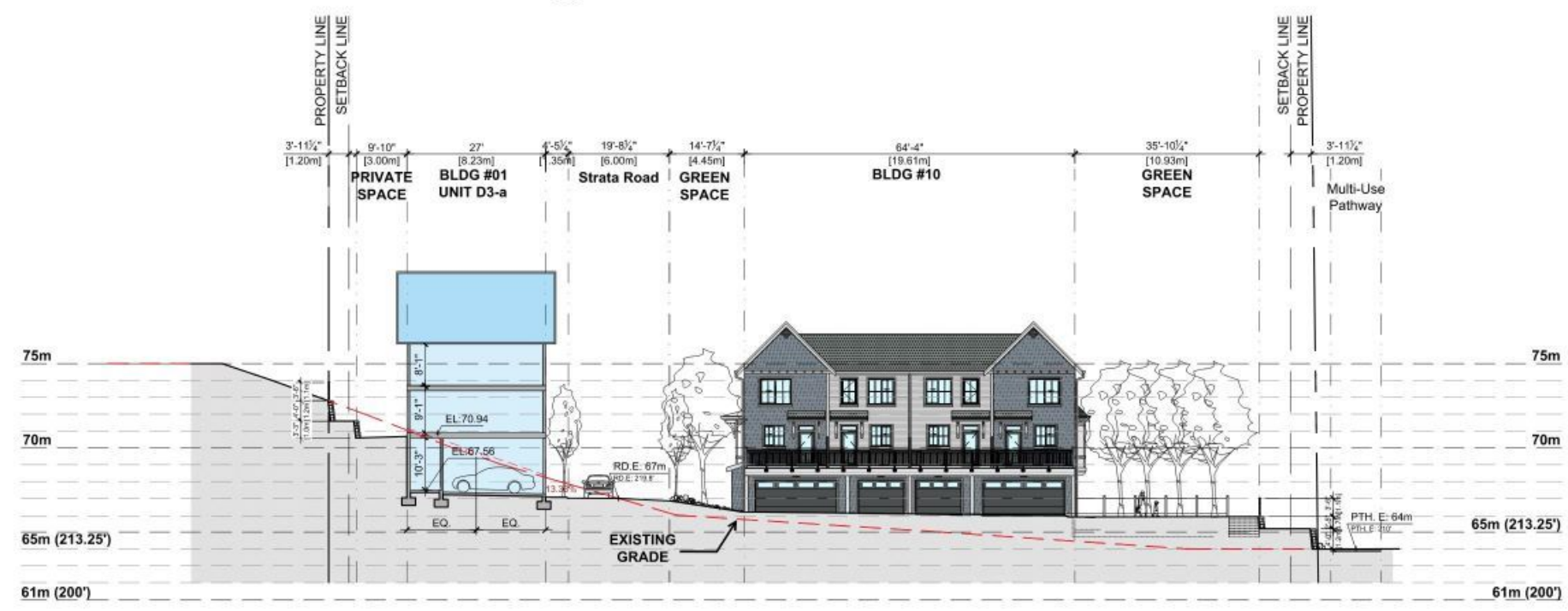
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**SITE SECTION #3**

DRAWING No.



1 SITE PLAN  
A1.14 Scale: 1/16" = 1'-0"



2 SITE SECTION - 4.4  
A1.14 Scale: 1/16" = 1'-0"

REVISIONS	
ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



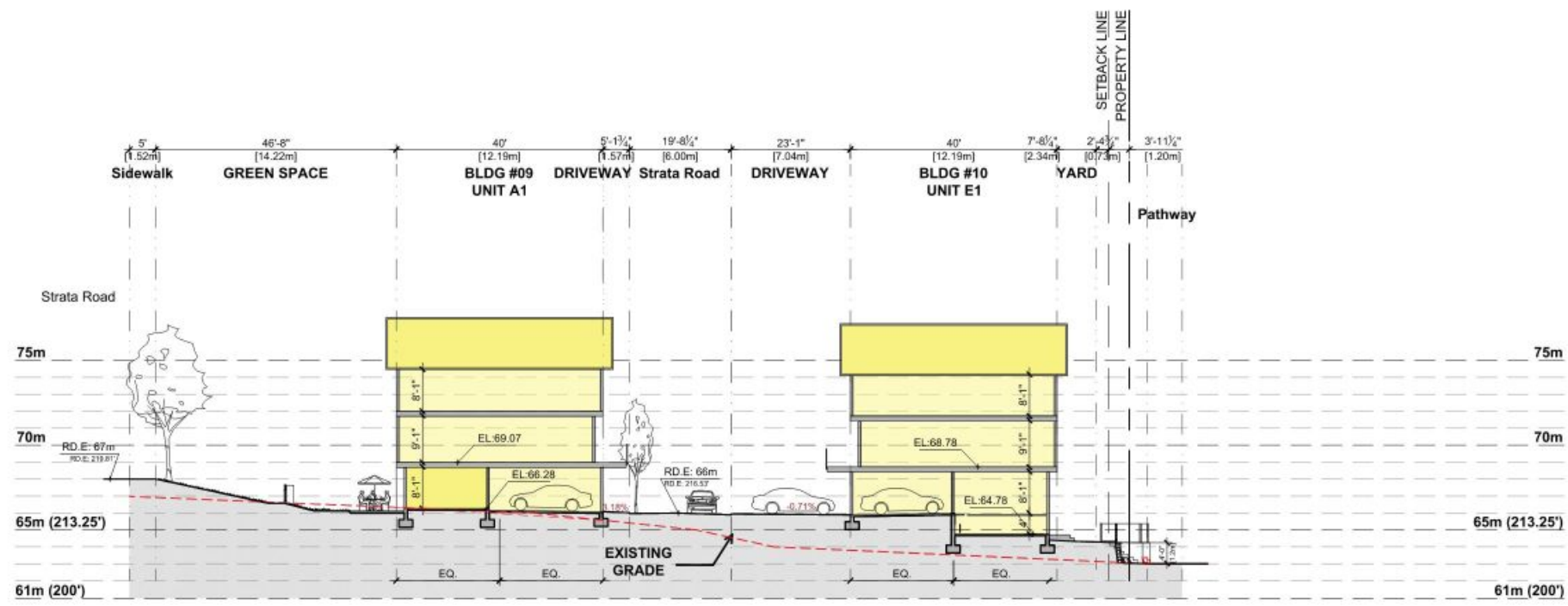
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**SITE SECTION #4**

DRAWING No.



1 SITE PLAN  
A1.15 Scale: 1/16" = 1'-0"



2 SITE SECTION - 5.5  
A1.15 Scale: 1/16" = 1'-0"



REVISIONS

ISSUES	DATE
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7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
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4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER: DD-92

DRAWN BY: PM / RV

CHECKED BY: RR

DATE CHECKED:

CONSULTANT:



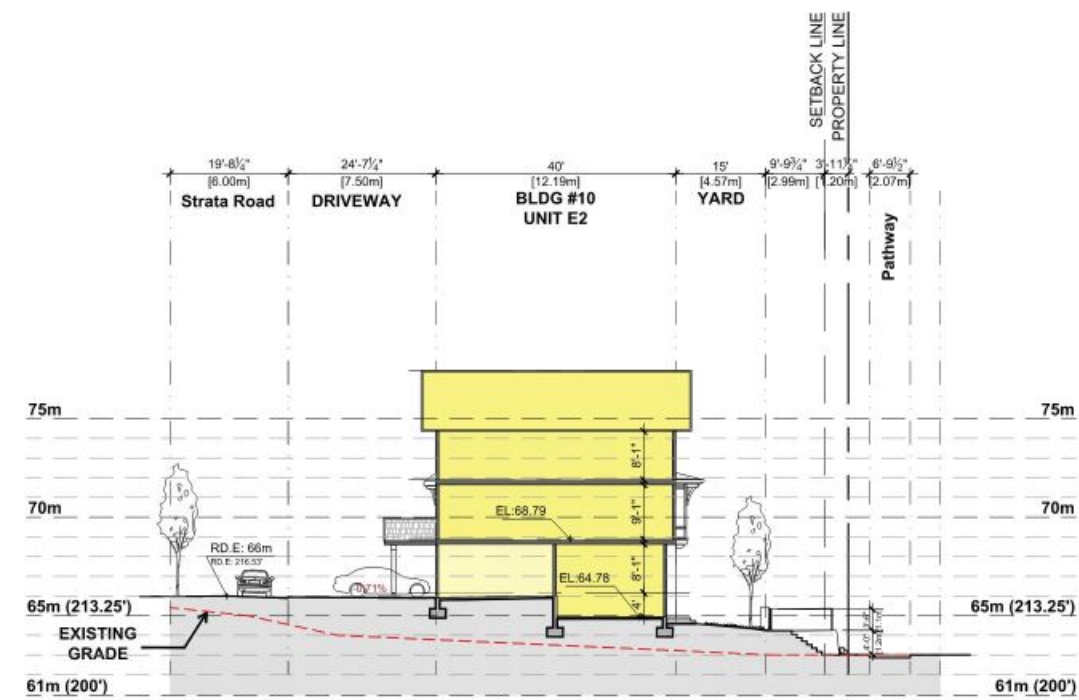
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**SITE SECTION #5**

DRAWING No.



1 SITE PLAN  
A1.16 Scale: 1/16" = 1'-0"



2 SITE SECTION - 6  
A1.16 Scale: 1/16" = 1'-0"



REVISIONS

ISSUES	DATE
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CHECKED BY: RR

DATE CHECKED:

CONSULTANT:



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET

COLWOOD, BC

DRAWING TITLE

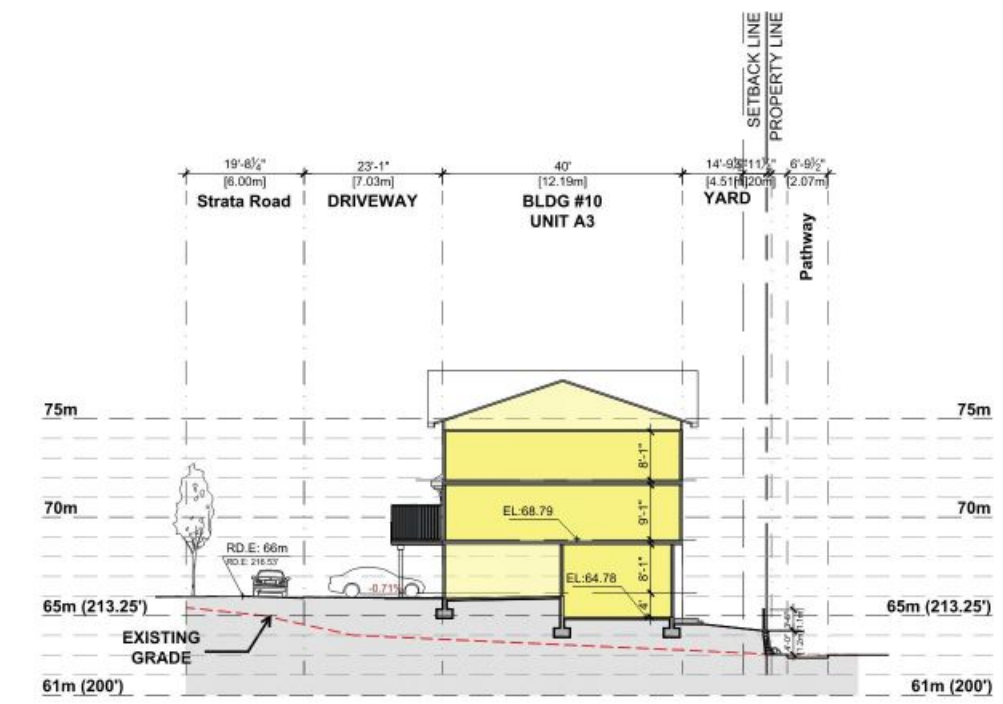
**SITE SECTION #6**

DRAWING No.

**A1.16**



**1 SITE PLAN**  
A1.17 Scale: 1/16" = 1'-0"



**2 SITE SECTION - 5.5**  
A1.17 Scale: 1/16" = 1'-0"



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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER: DD-92  
DRAWN BY: PM / RV  
CHECKED BY: RR  
DATE CHECKED:  
CONSULTANT:



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**SITE SECTION #5**

DRAWING No.

**A1.17**



REVISIONS

ISSUES	DATE
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PROJECT NUMBER: DD-92

DRAWN BY: PM / RV

CHECKED BY: RR

DATE CHECKED:

CONSULTANT:



PROJECT

**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET

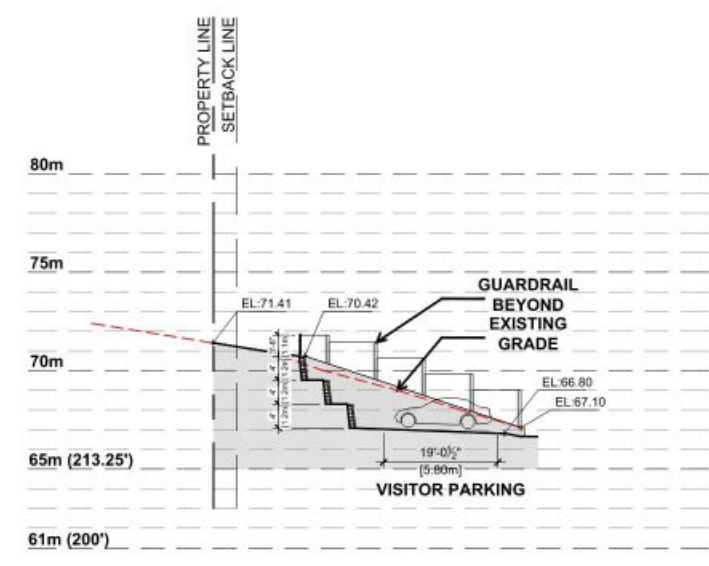
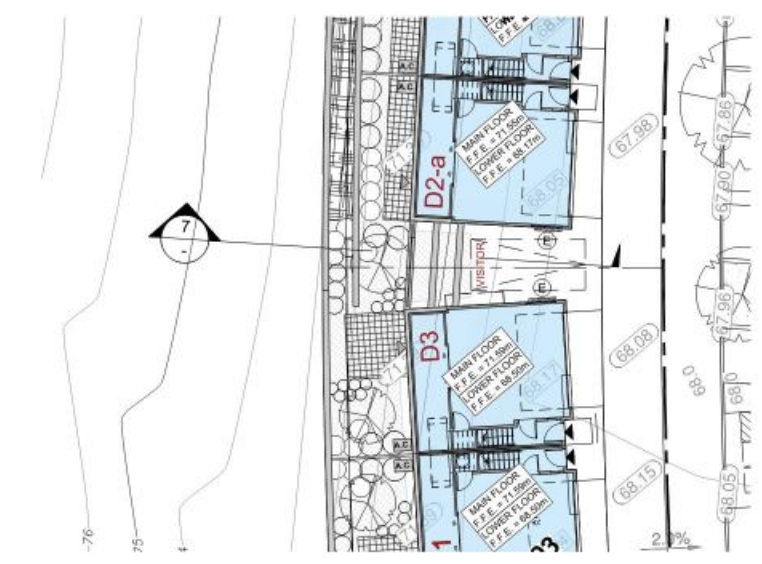
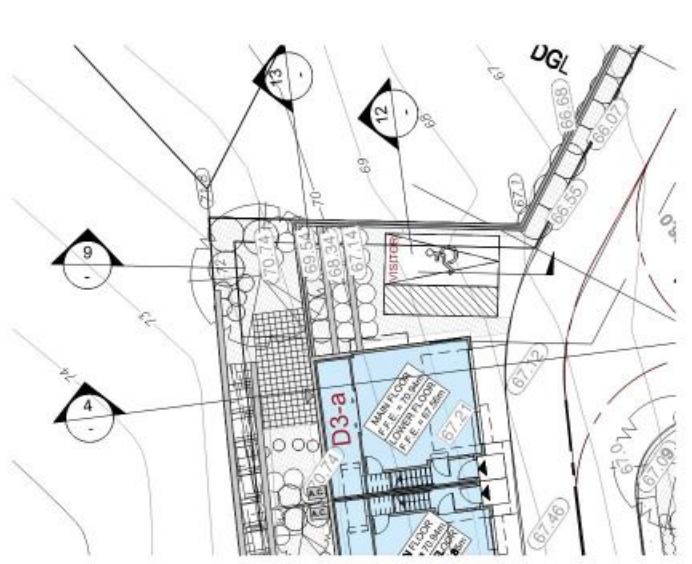
COLWOOD, BC

DRAWING TITLE

**SITE SECTION**

DRAWING No.

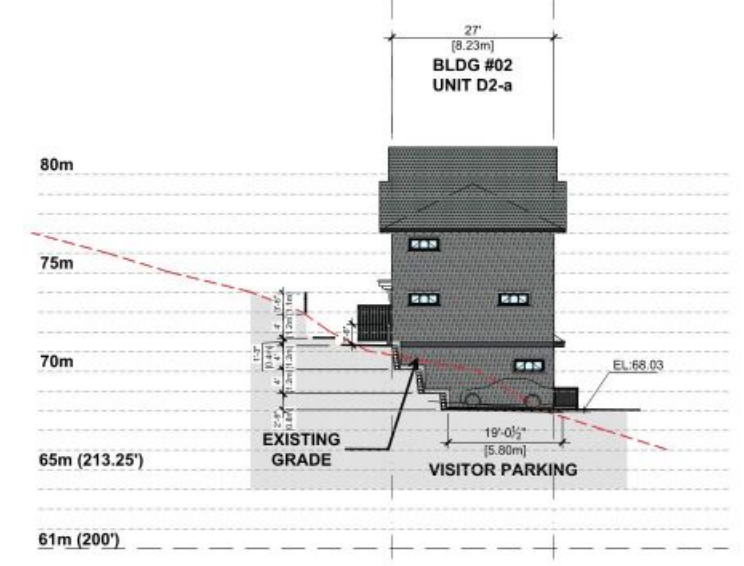
**A1.18**



**1** SITE SECTION - 9  
A1.18 Scale: 1/16" = 1'-0"



**2** SITE SECTION - 8  
A1.18 Scale: 1/16" = 1'-0"



**3** SITE SECTION - 7  
A1.18 Scale: 1/16" = 1'-0"





REVISIONS

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CONSULTANT	



PROJECT

**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE

**BUILDING #1 FLOOR PLANS**

DRAWING No.

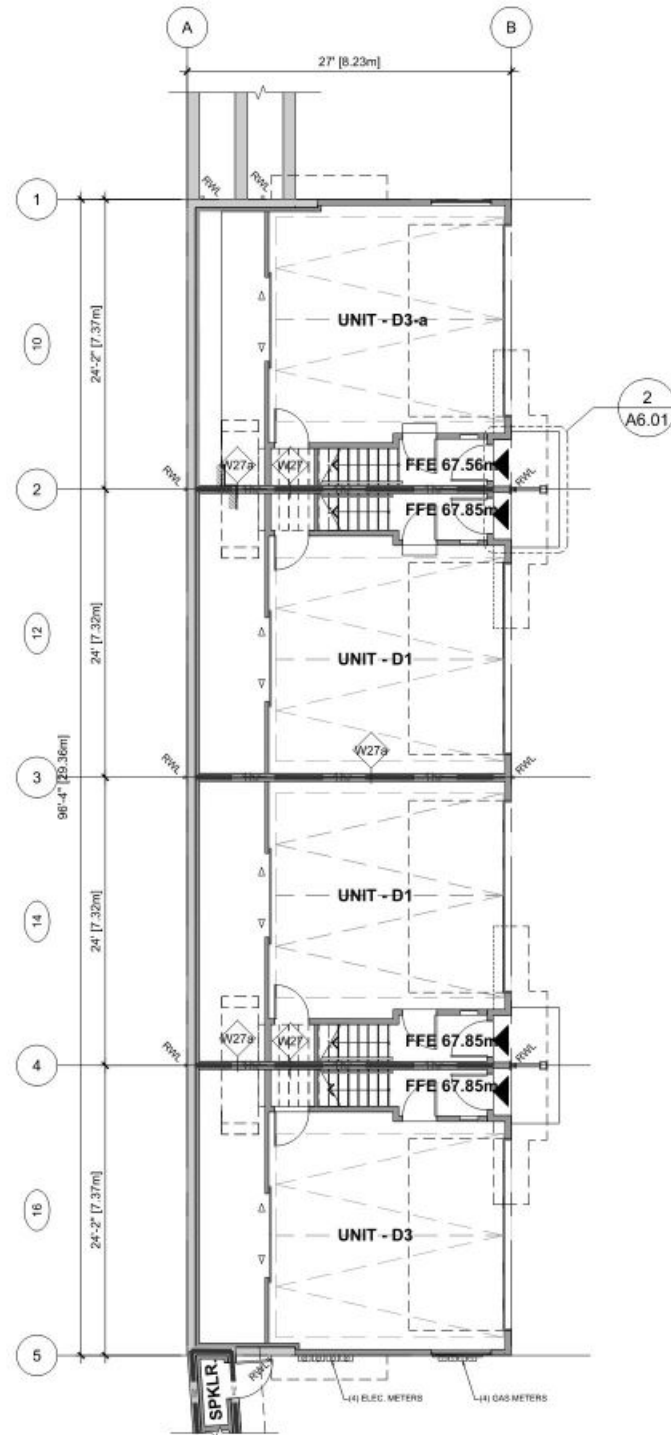
**A2.01a**

**PARTY WALL & ATTIC FIRE RATINGS**

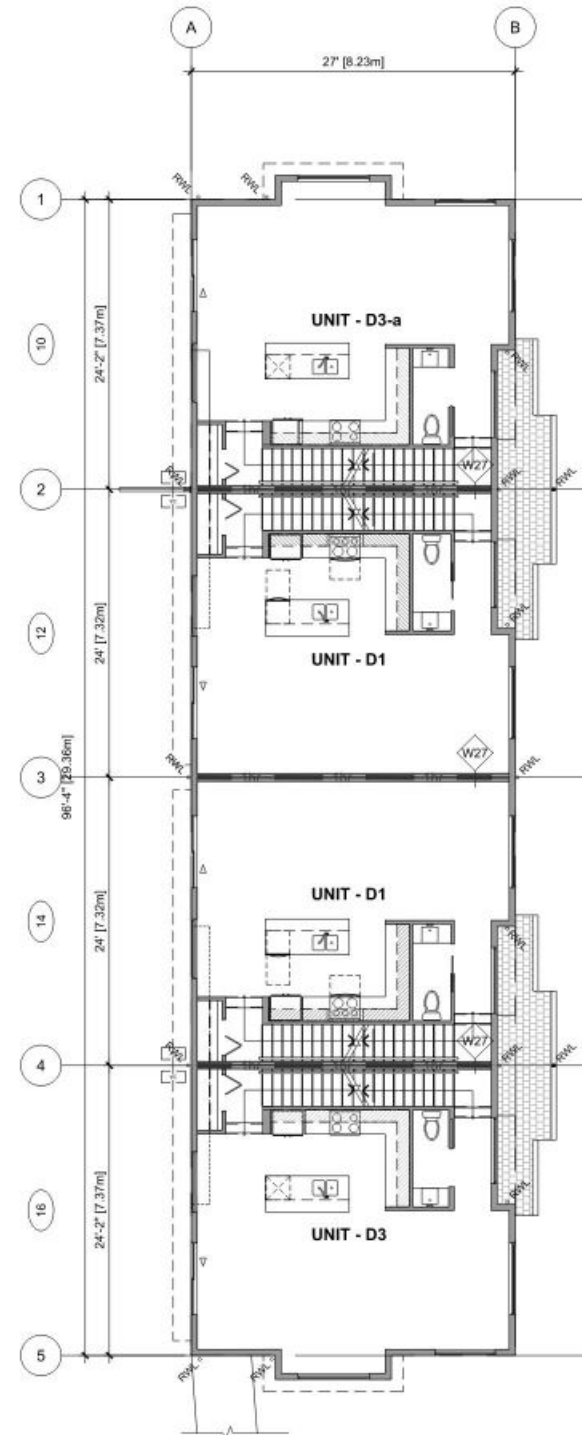
DENOTES 1 HR. FIRE RESISTANCE RATING

DENOTES 2 HR. FIRE RESISTANCE RATING

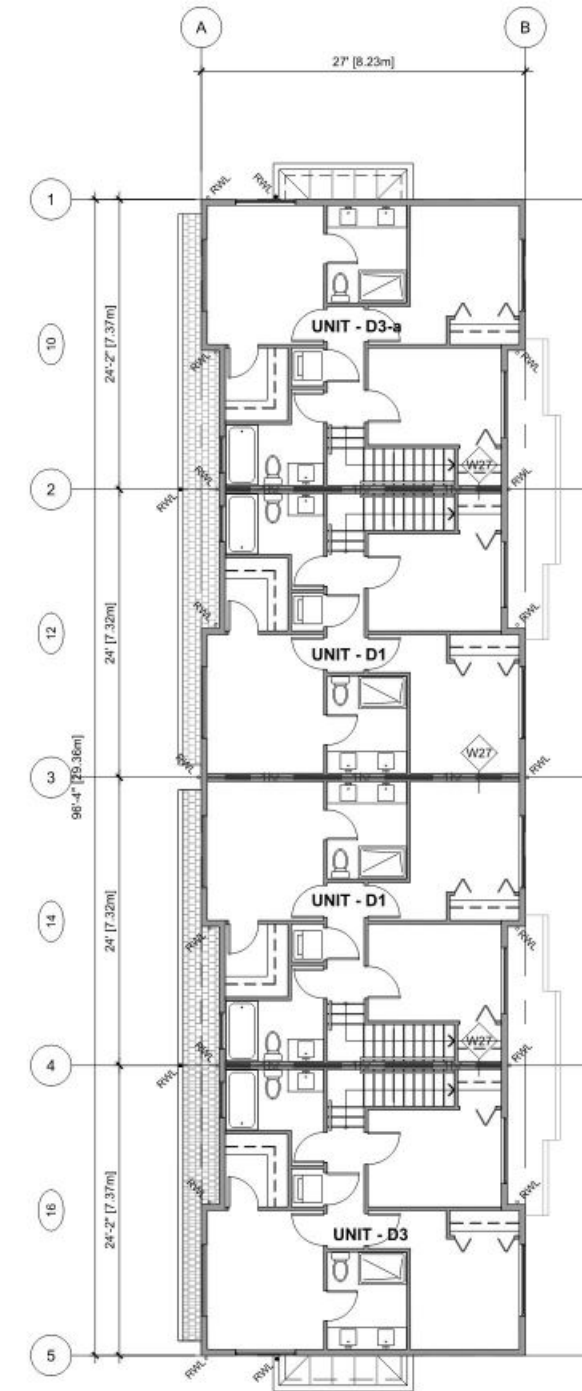
- LEGEND:**
- TYPICAL BLUKEAD / DROPPED CEILING (12')
  - TYPICAL BLUKEAD / DROPPED CEILING (4')
  - FIRE RATED FLOOR ASSEMBLY
  - BELOW SLAB INSULATION
  - RWL (RAIN WATER LEADER)
  - RWL TO BELOW
  - BRICK CLADDING / BRICK LEDGE
  - WALL ASSEMBLY MARK
  - FLOOR & ROOF ASSEMBLY MARK
  - DOOR MARK
  - WINDOW MARK
  - DETAIL NUMBER REFERENCE DRAWING
  - BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - 6" THICK FOUNDATION WALL
  - SMOKE/CO DETECTOR REFER TO ELECTRICAL



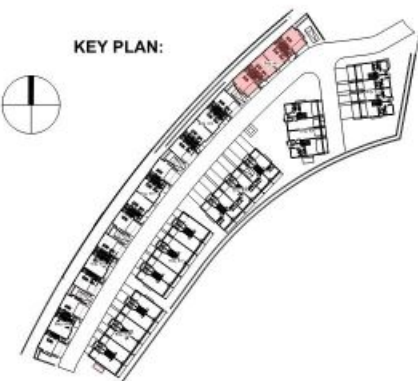
**1** GROUND FLOOR PLAN  
A2.01a Scale: 1/8" = 1'-0"



**2** MAIN FLOOR PLAN  
A2.01a Scale: 1/8" = 1'-0"



**3** UPPER FLOOR PLAN  
A2.01a Scale: 1/8" = 1'-0"



BUILDING #1 AREAS	S.F.	S.M.
- GROUND FLOOR	940.84	87.41
- MAIN FLOOR	2,570.17	238.78
- UPPER FLOOR	2,462.00	228.73
<b>- TOTAL FLOOR AREA</b>	<b>5,973.00</b>	<b>554.91</b>



REVISIONS

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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
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DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #1  
ROOF PLANS**

DRAWING No.

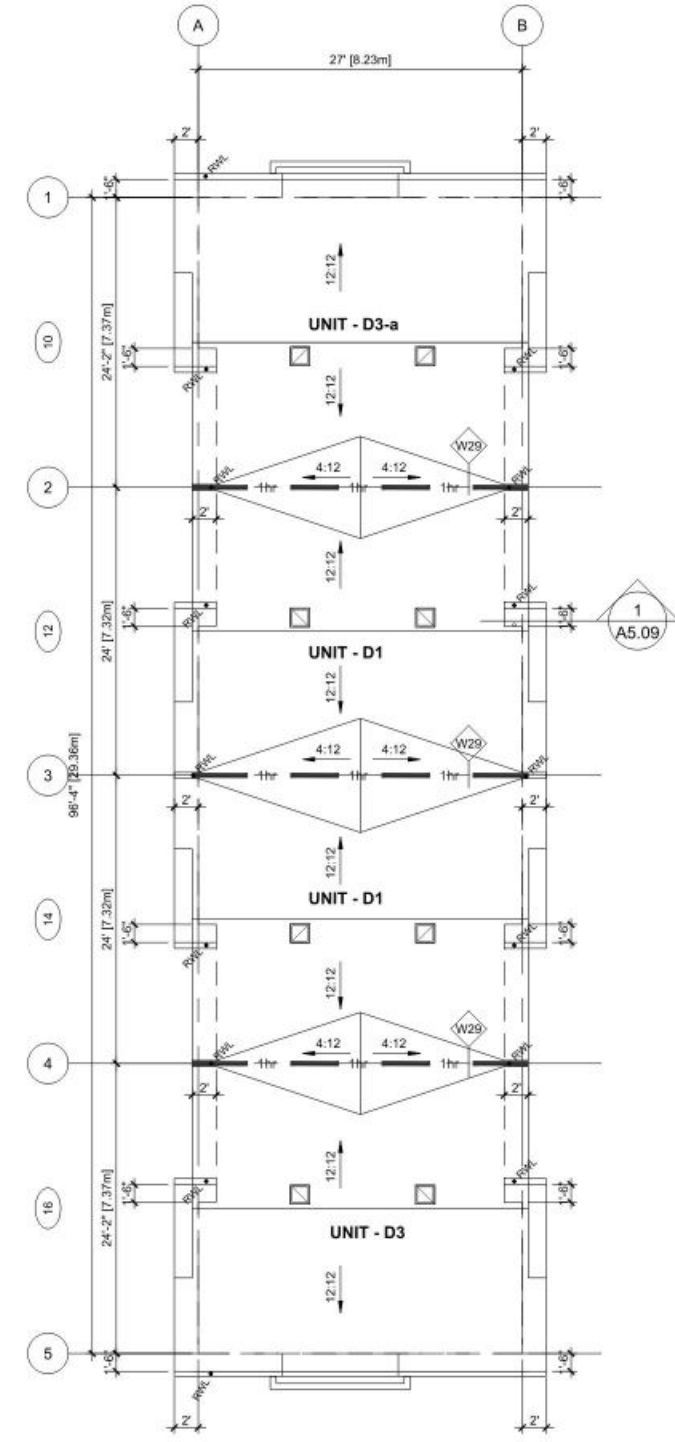
**A2.01b**

**PARTY WALL & ATTIC  
FIRE RATINGS**

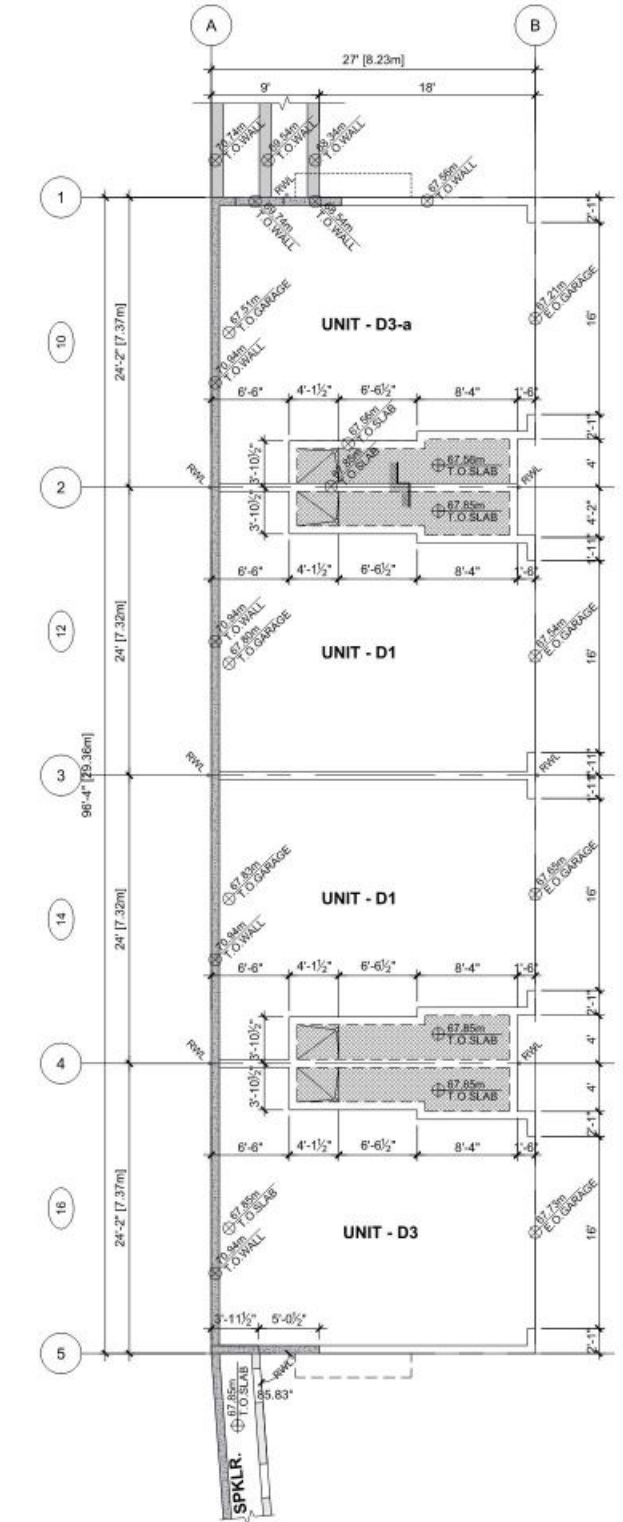
-----  
DENOTES 1 HR. FIRE  
RESISTANCE RATING

-----  
DENOTES 2 HR. FIRE  
RESISTANCE RATING

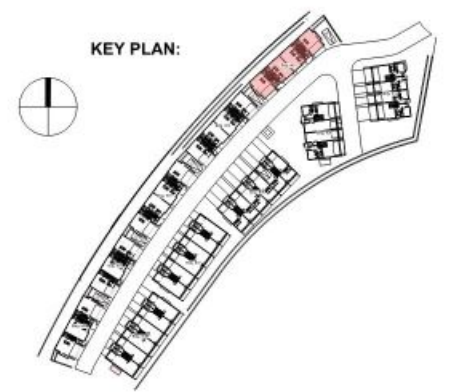
- LEGEND:**
- TYPICAL BULKHEAD / DROPPED CEILING (12')
  - TYPICAL BULKHEAD / DROPPED CEILING (4')
  - FIRE RATED FLOOR ASSEMBLY
  - BELOW SLAB INSULATION
  - RWL (RAIN WATER LEADER)
  - RWL TO BELOW
  - BRICK CLADDING / BRICK LEDGE
  - WALL ASSEMBLY MARK
  - FLOOR & ROOF ASSEMBLY MARK
  - DOOR MARK
  - WINDOW MARK
  - DETAIL NUMBER REFERENCE DRAWING
  - BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - 6" THICK FOUNDATION WALL
  - SMOKE/CO DETECTOR REFER TO ELECTRICAL



**1** ROOF PLAN  
A2.01b Scale: 1/8" = 1'-0"



**2** FOUNDATION PLAN  
A2.01b Scale: 1/8" = 1'-0"





REVISIONS

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PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
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DATE CHECKED	
CONSULTANT	



PROJECT

**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET

COLWOOD, BC

DRAWING TITLE

**BUILDING #2  
FLOOR PLANS**

DRAWING No.

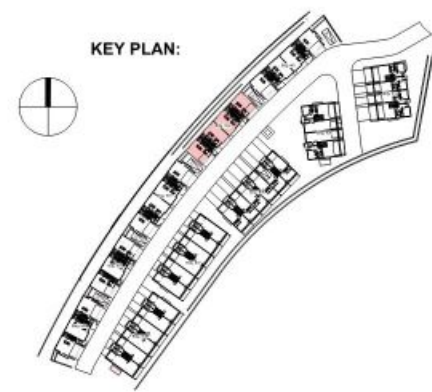
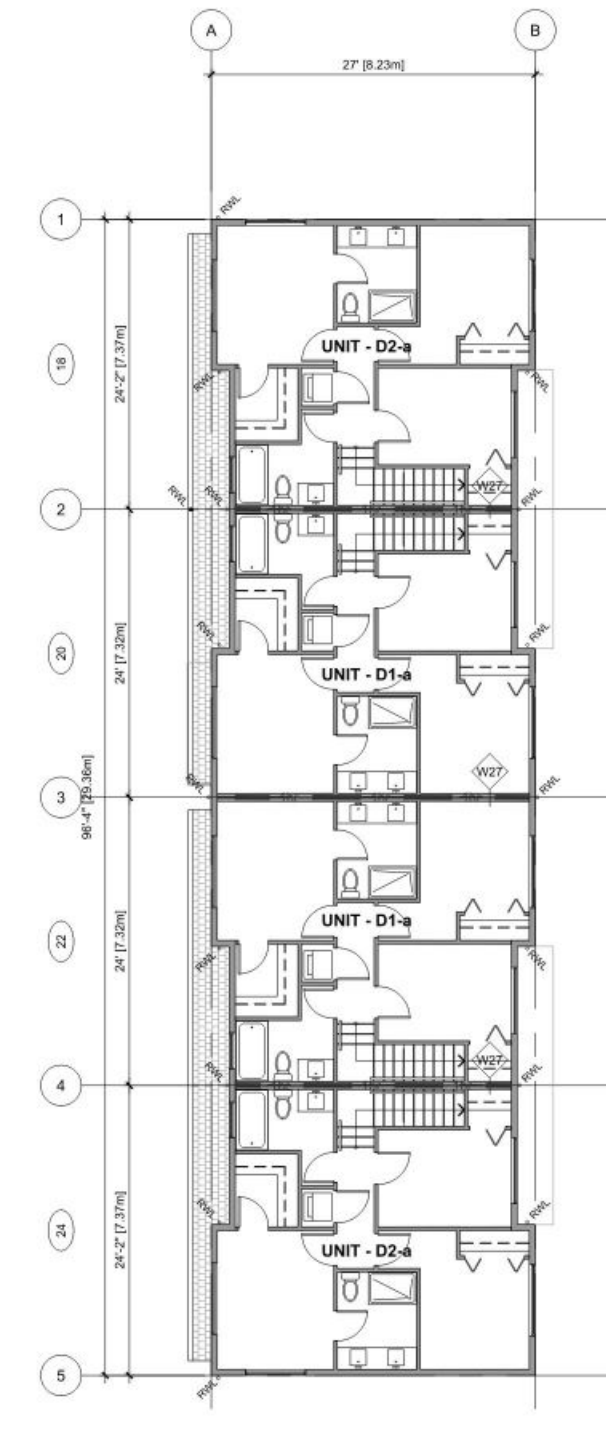
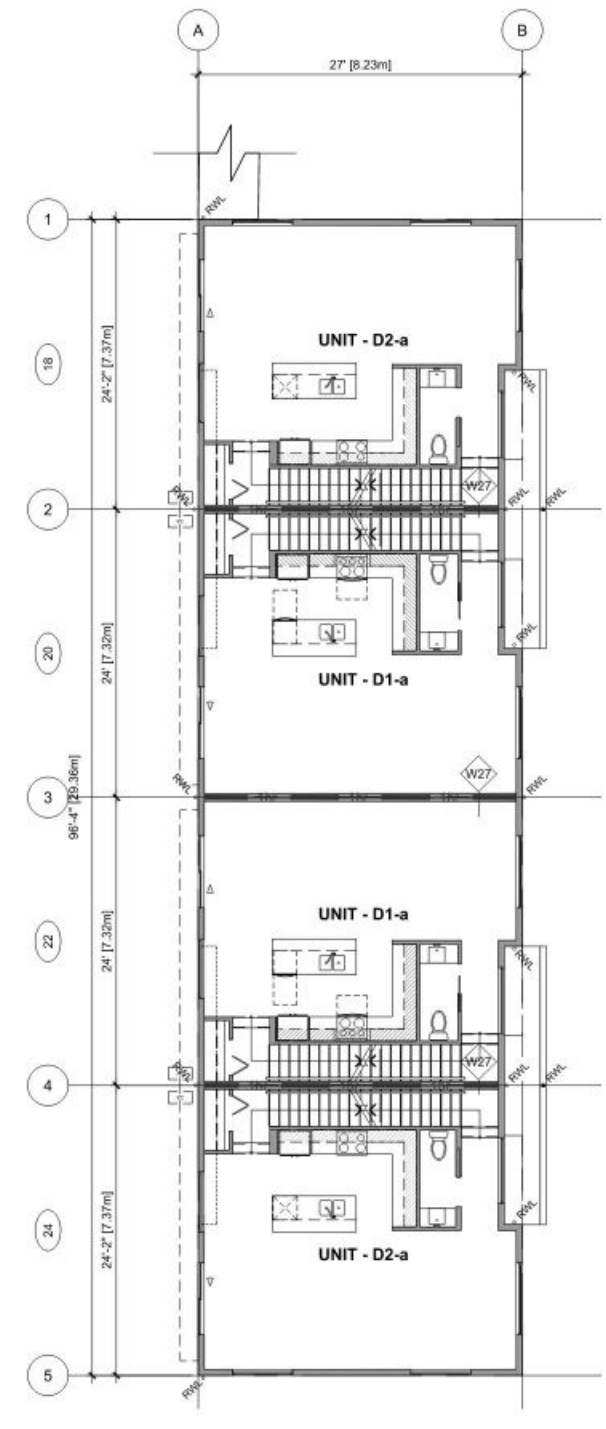
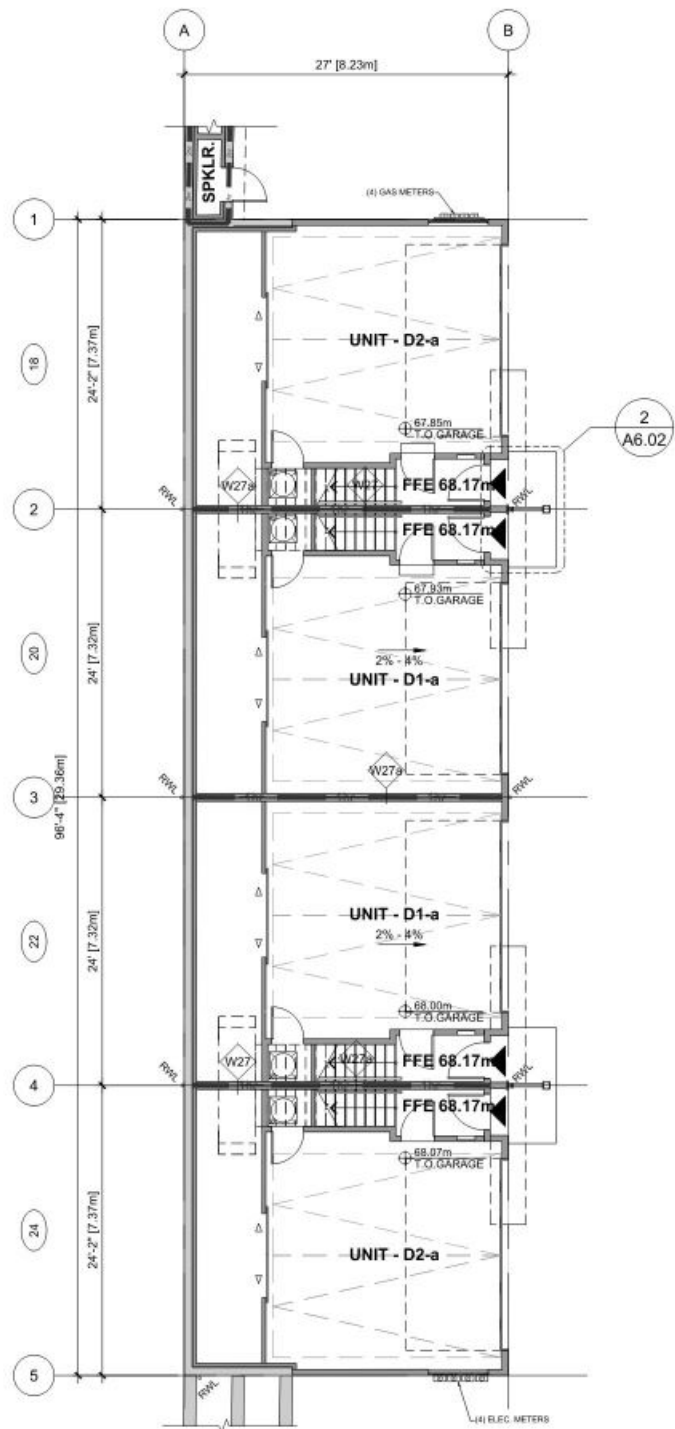
**A2.02a**

**PARTY WALL & ATTIC  
FIRE RATINGS**

-----  
DENOTES 1 HR. FIRE  
RESISTANCE RATING

-----  
DENOTES 2 HR. FIRE  
RESISTANCE RATING

- LEGEND:**
- [Pattern] TYPICAL BLUKHEAD / DROPPED CEILING (12')
  - [Pattern] TYPICAL BLUKHEAD / DROPPED CEILING (4')
  - [Pattern] FIRE RATED FLOOR ASSEMBLY
  - [Pattern] BELOW SLAB INSULATION
  - [Symbol] RWL (RAIN WATER LEADER)
  - [Symbol] RWL TO BELOW
  - [Symbol] BRICK CLADDING / BRICK LEDGE
  - [Symbol] WALL ASSEMBLY MARK
  - [Symbol] FLOOR & ROOF ASSEMBLY MARK
  - [Symbol] DOOR MARK
  - [Symbol] WINDOW MARK
  - [Symbol] DETAIL NUMBER REFERENCE DRAWING
  - [Symbol] BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - [Symbol] 6" THICK FOUNDATION WALL
  - [Symbol] SMOKE/CO DETECTOR REFER TO ELECTRICAL



**BUILDING #2 AREAS**

	S.F.	S.M.
- GROUND FLOOR	940.84	87.41
- MAIN FLOOR	2,531.50	235.18
- UPPER FLOOR	2,462.00	228.73
<b>- TOTAL FLOOR AREA</b>	<b>5,934.34</b>	<b>551.32</b>



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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
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CONSULTANT	



PROJECT

**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET

COLWOOD, BC

DRAWING TITLE

**BUILDING #2  
ROOF PLANS**

DRAWING No.

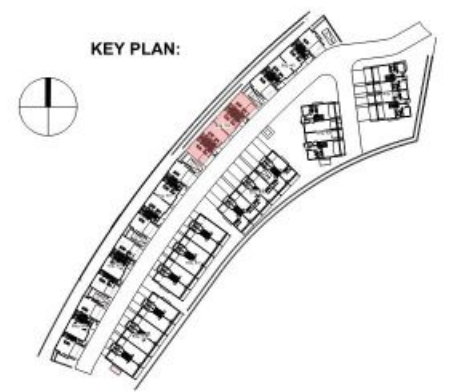
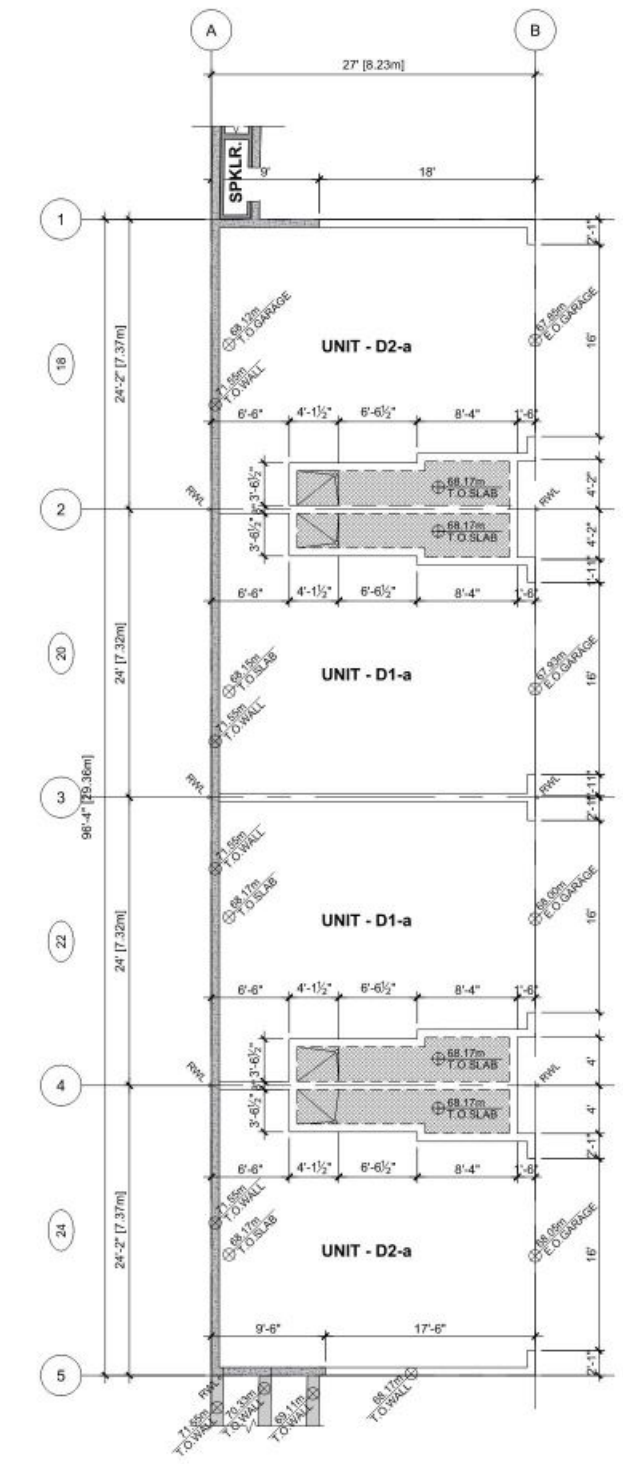
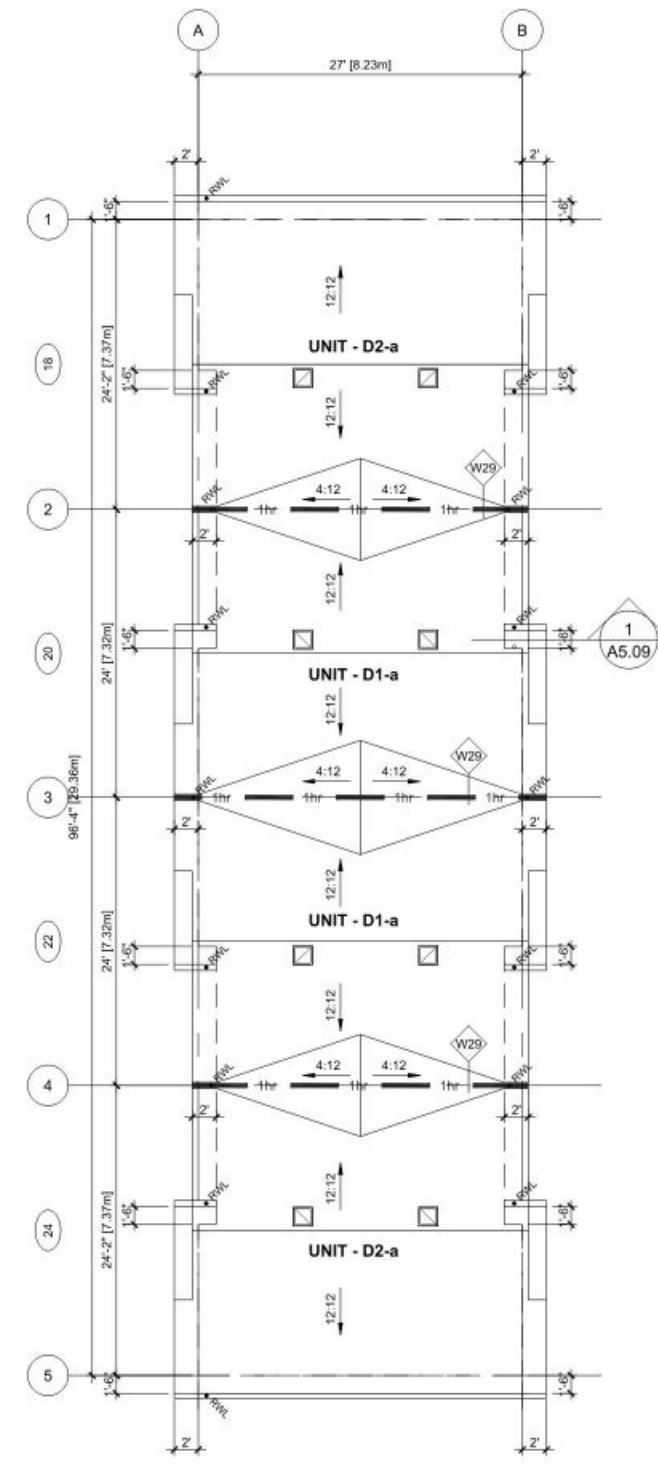
**A2.02b**

**PARTY WALL & ATTIC  
FIRE RATINGS**

-----  
DENOTES 1 HR. FIRE  
RESISTANCE RATING

-----  
DENOTES 2 HR. FIRE  
RESISTANCE RATING

- LEGEND:**
- TYPICAL BULKHEAD / DROPPED CEILING (12')
  - TYPICAL BULKHEAD / DROPPED CEILING (4')
  - FIRE RATED FLOOR ASSEMBLY
  - BELOW SLAB INSULATION
  - RWL (RAIN WATER LEADER)
  - RWL TO BELOW
  - BRICK CLADDING / BRICK LEDGE
  - WALL ASSEMBLY MARK
  - FLOOR & ROOF ASSEMBLY MARK
  - DOOR MARK
  - WINDOW MARK
  - DETAIL NUMBER REFERENCE DRAWING
  - BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - 6" THICK FOUNDATION WALL
  - SMOKE/CO DETECTOR REFER TO ELECTRICAL

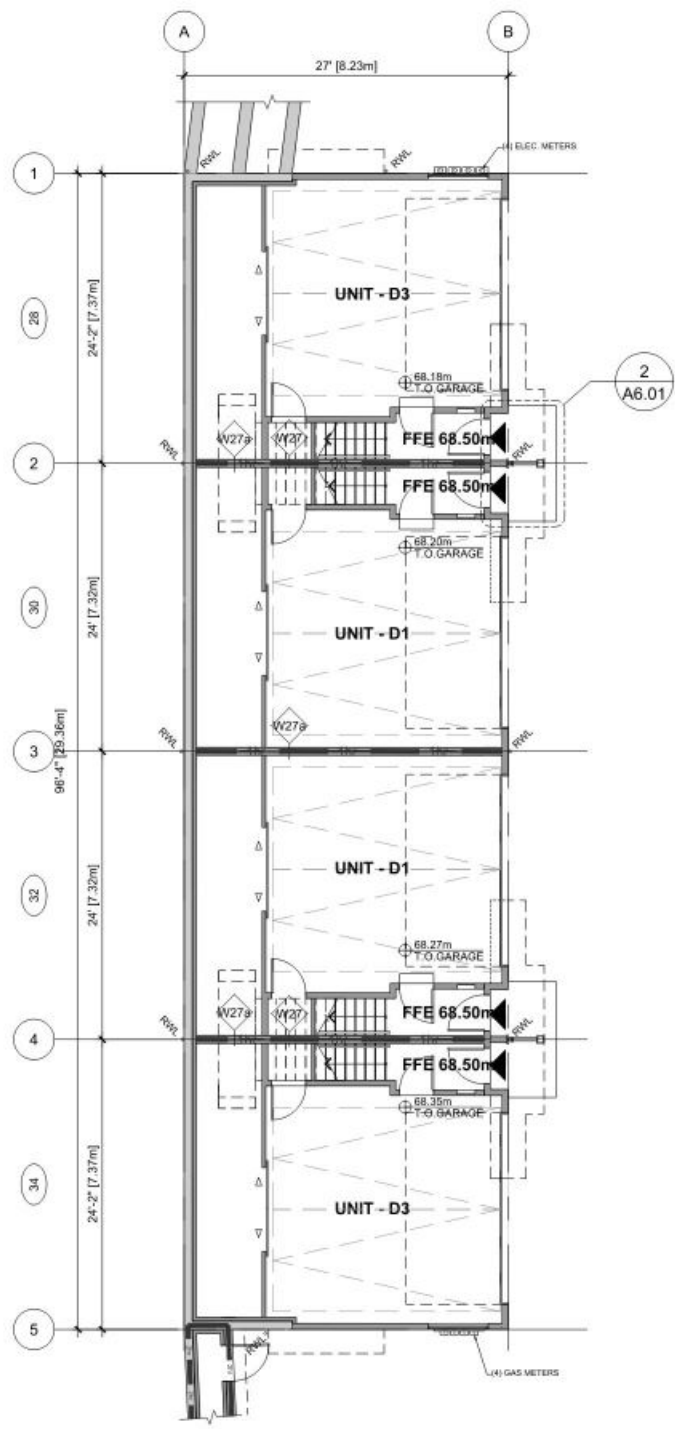


**PARTY WALL & ATTIC  
FIRE RATINGS**

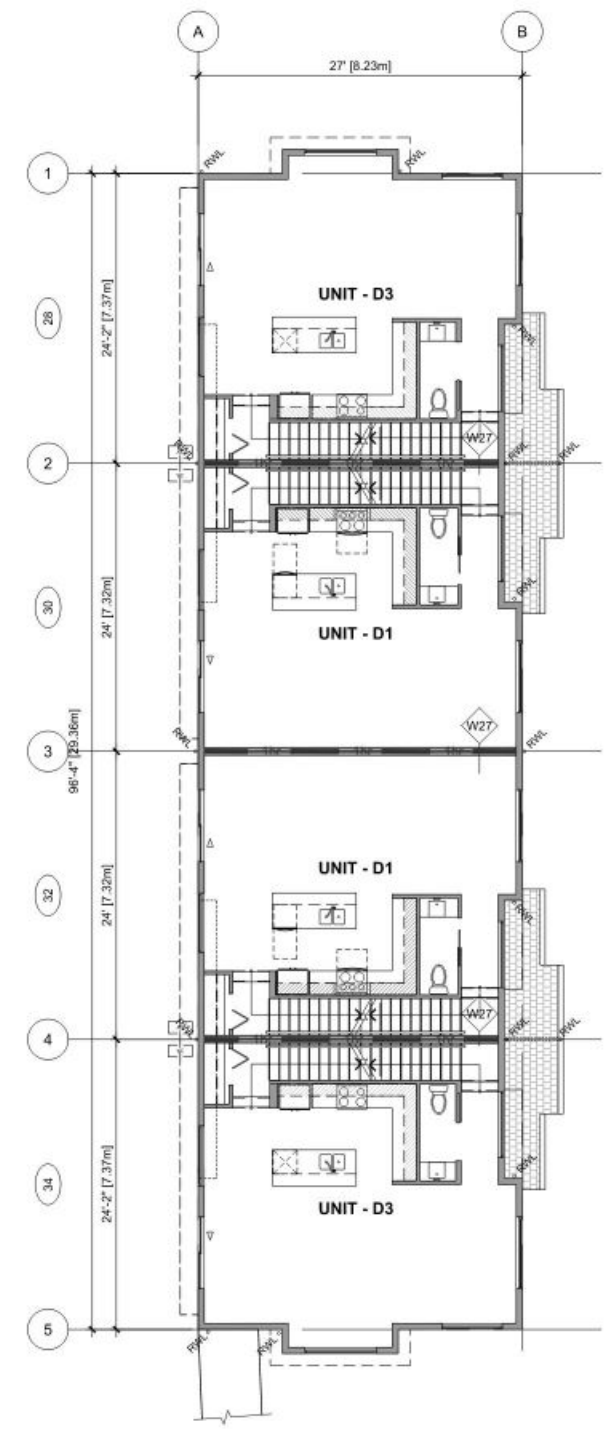
-----  
DENOTES 1 HR. FIRE  
RESISTANCE RATING

-----  
DENOTES 2 HR. FIRE  
RESISTANCE RATING

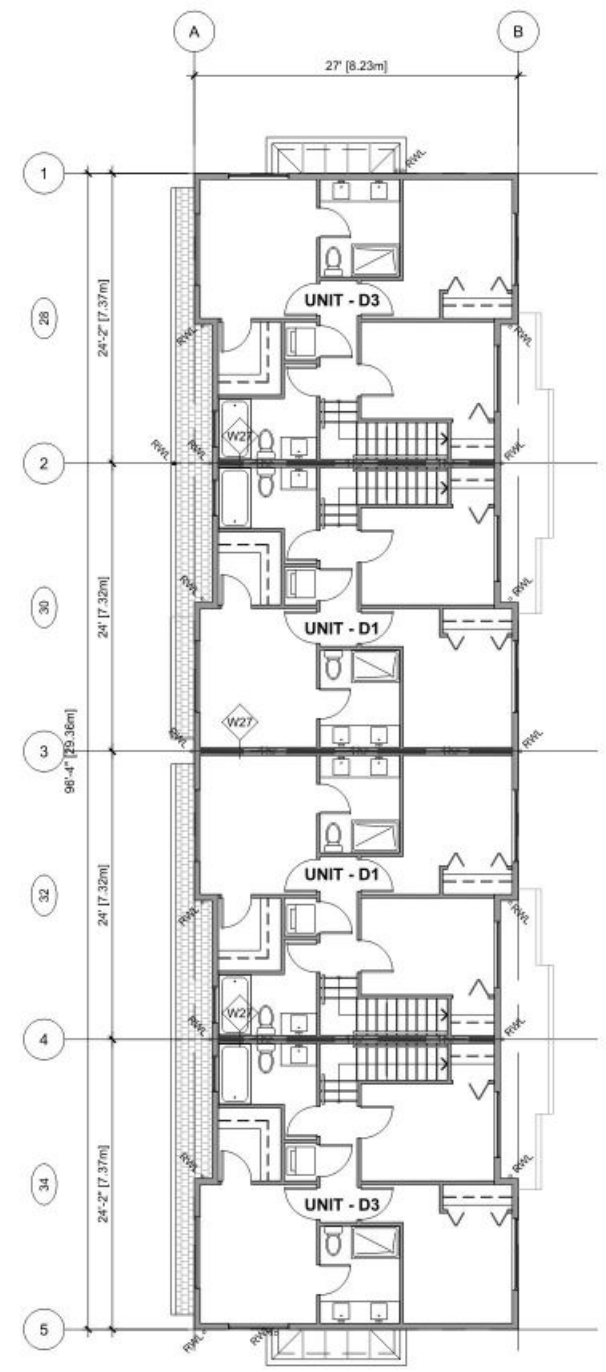
- LEGEND:**
- TYPICAL BULKHEAD / DROPPED CEILING (12")
  - TYPICAL BULKHEAD / DROPPED CEILING (4")
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  - BELOW SLAB INSULATION
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  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
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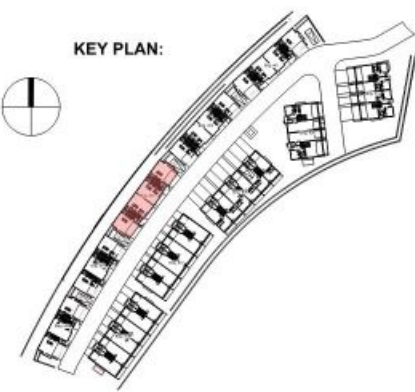
**1** GROUND FLOOR PLAN  
A2.03a Scale: 1/8" = 1'-0"



**2** MAIN FLOOR PLAN  
A2.03a Scale: 1/8" = 1'-0"



**3** UPPER FLOOR PLAN  
A2.03a Scale: 1/8" = 1'-0"



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PROJECT NUMBER: DD-92  
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CONSULTANT:



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #3 FLOOR PLANS**

DRAWING No.

**BUILDING #3 AREAS**

	S.F.	S.M.
- GROUND FLOOR	940.84	87.41
- MAIN FLOOR	2,570.17	238.78
- UPPER FLOOR	2,462.00	228.73
<b>- TOTAL FLOOR AREA</b>	<b>5,973.00</b>	<b>554.91</b>

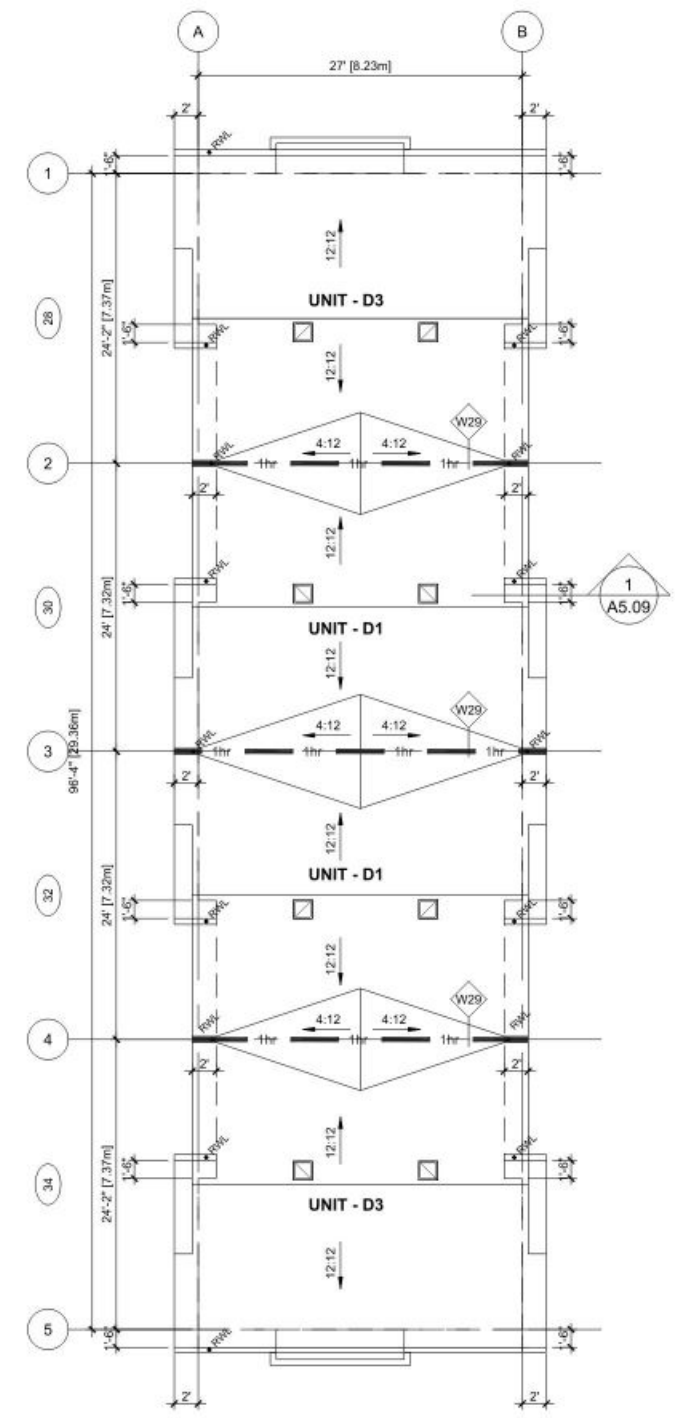
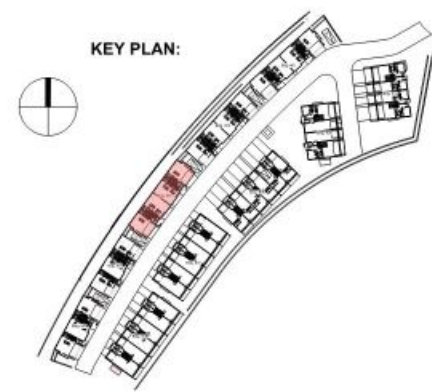
**A2.03a**

**PARTY WALL & ATTIC FIRE RATINGS**

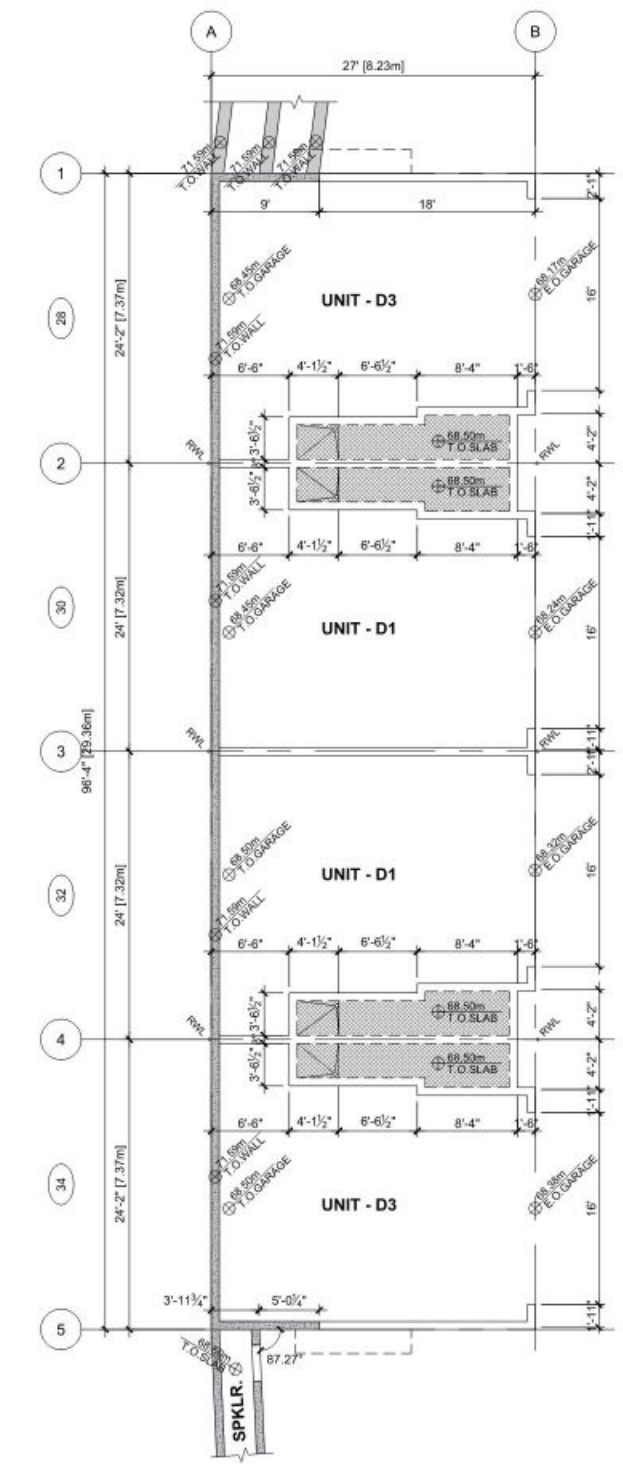
-----  
**DENOTES 1 HR. FIRE RESISTANCE RATING**

-----  
**DENOTES 2 HR. FIRE RESISTANCE RATING**

- LEGEND:**
- TYPICAL BULKHEAD / DROPPED CEILING (12")
  - TYPICAL BULKHEAD / DROPPED CEILING (4")
  - FIRE RATED FLOOR ASSEMBLY
  - BELOW SLAB INSULATION
  - RWL (RAIN WATER LEADER)
  - RWL TO BELOW
  - BRICK CLADDING / BRICK LEDGE
  - WALL ASSEMBLY MARK
  - FLOOR & ROOF ASSEMBLY MARK
  - DOOR MARK
  - WINDOW MARK
  - DETAIL NUMBER REFERENCE DRAWING
  - BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - 6" THICK FOUNDATION WALL
  - SMOKE/CO DETECTOR REFER TO ELECTRICAL



**1 ROOF PLAN**  
 A2.03b Scale: 1/8" = 1'-0"



**2 FOUNDATION PLAN**  
 A2.03b Scale: 1/8" = 1'-0"

1925 Main Street  
 Vancouver, BC,  
 Canada, V5T 3C1  
 T. 604.876.5050  
 F. 604.876.5060  
 ekistics.com



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER: DD-92  
 DRAWN BY: PM / RV  
 CHECKED BY: RR  
 DATE CHECKED:  
 CONSULTANT:



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
 3439 TRUMPETER STREET  
 COLWOOD, BC

DRAWING TITLE  
**BUILDING #3 ROOF PLANS**

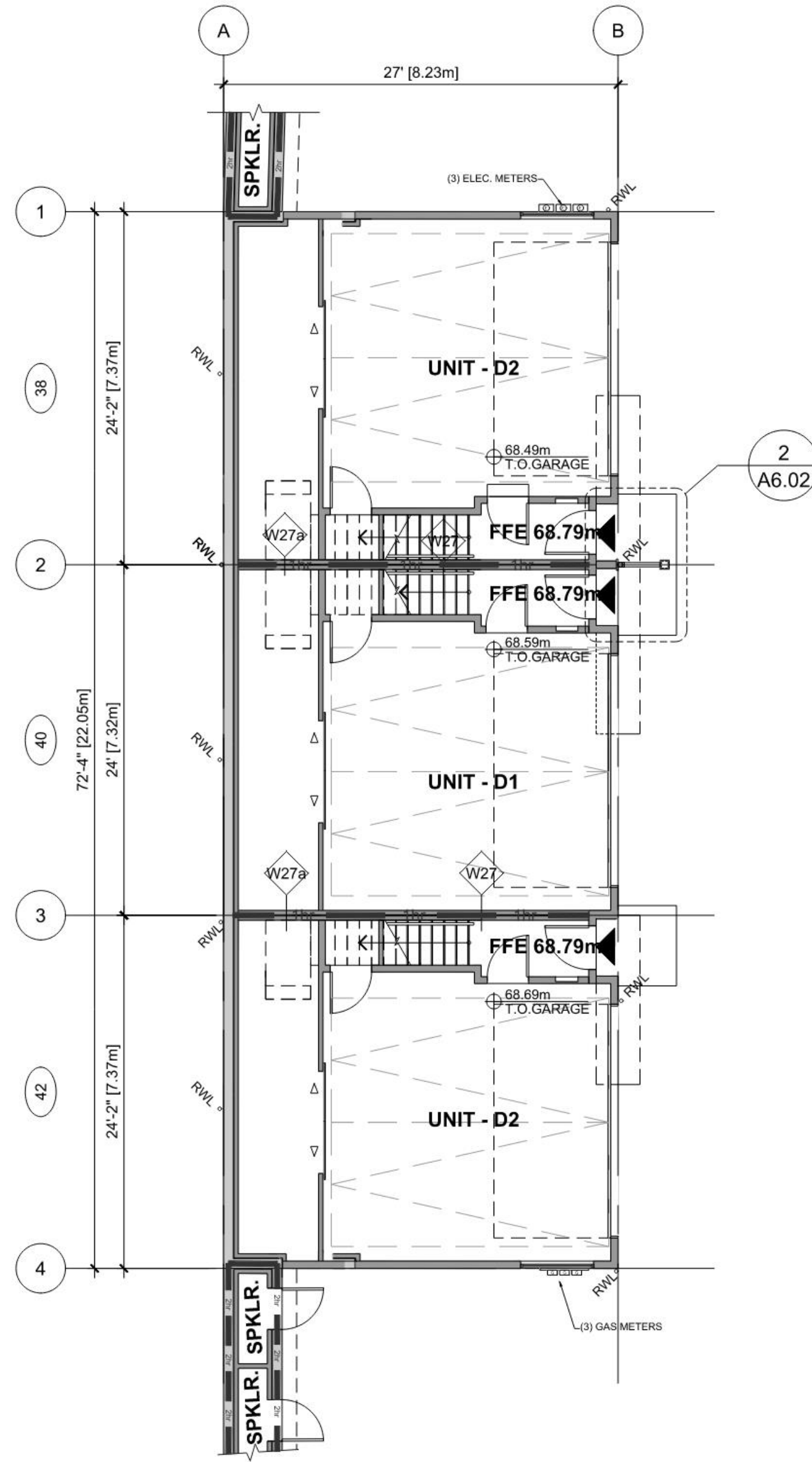
DRAWING No.  
**A2.03b**

**PARTY WALL & ATTIC  
FIRE RATINGS**

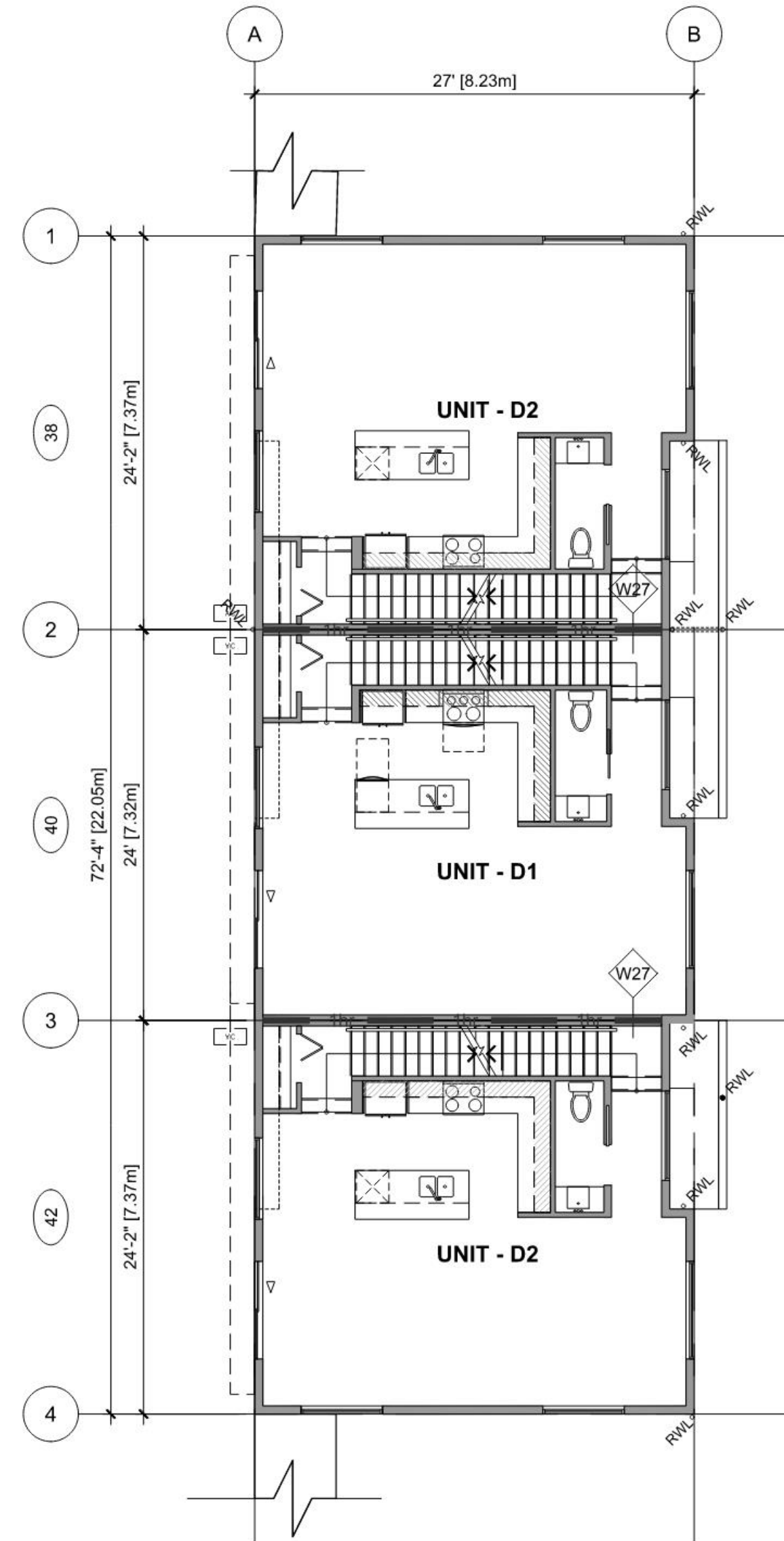
DENOTES 1 HR. FIRE  
RESISTANCE RATING

DENOTES 2 HR. FIRE  
RESISTANCE RATING

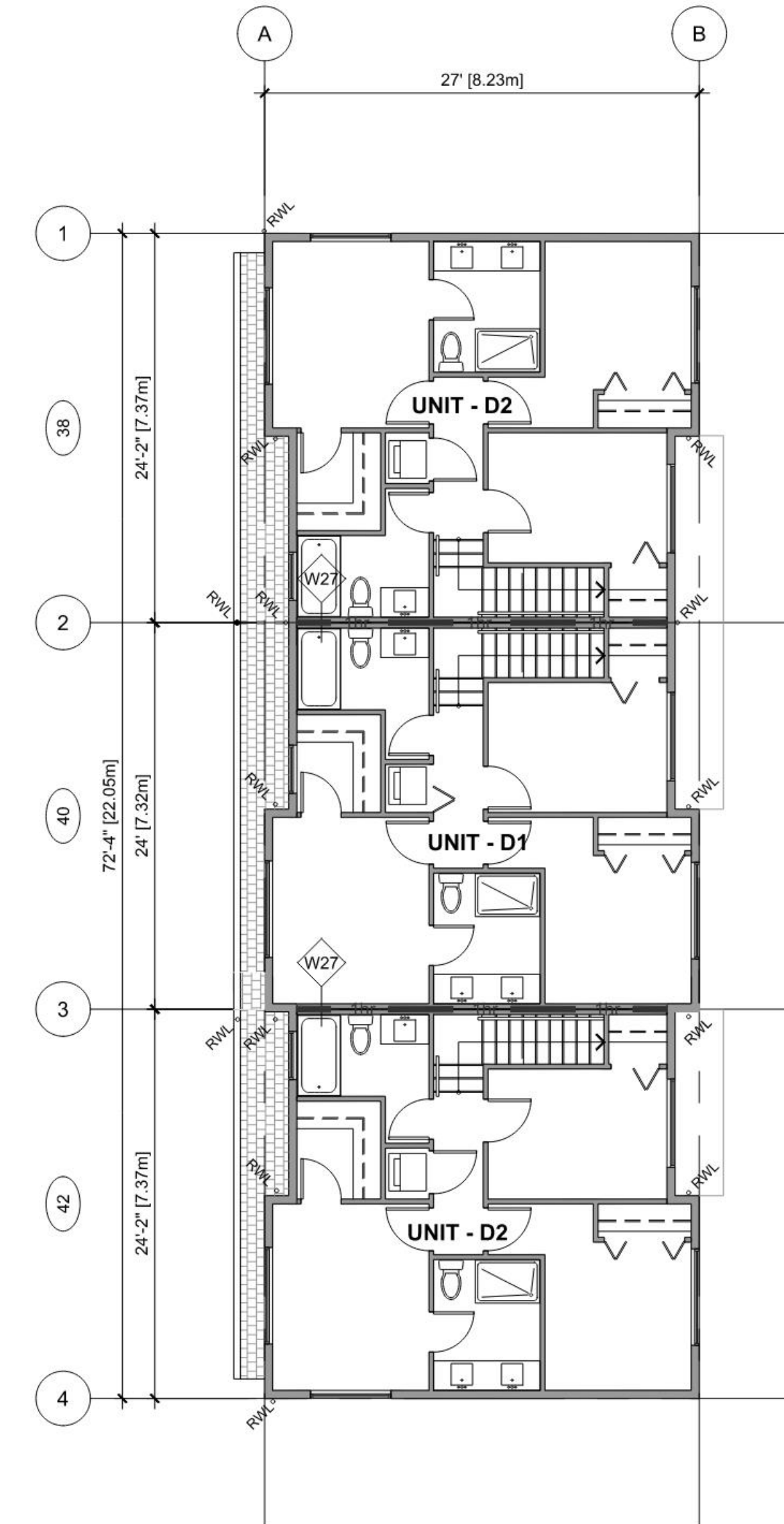
- LEGEND:**
- TYPICAL BULKHEAD / DROPPED CEILING (12")
  - TYPICAL BULKHEAD / DROPPED CEILING (4")
  - FIRE RATED FLOOR ASSEMBLY
  - BELOW SLAB INSULATION
  - RWL (RAIN WATER LEADER)
  - RWL TO BELOW
  - BRICK CLADDING / BRICK LEDGE
  - WALL ASSEMBLY MARK
  - FLOOR & ROOF ASSEMBLY MARK
  - DOOR MARK
  - WINDOW MARK
  - DETAIL NUMBER REFERENCE DRAWING
  - BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - SMOKE/CO DETECTOR REFER TO ELECTRICAL



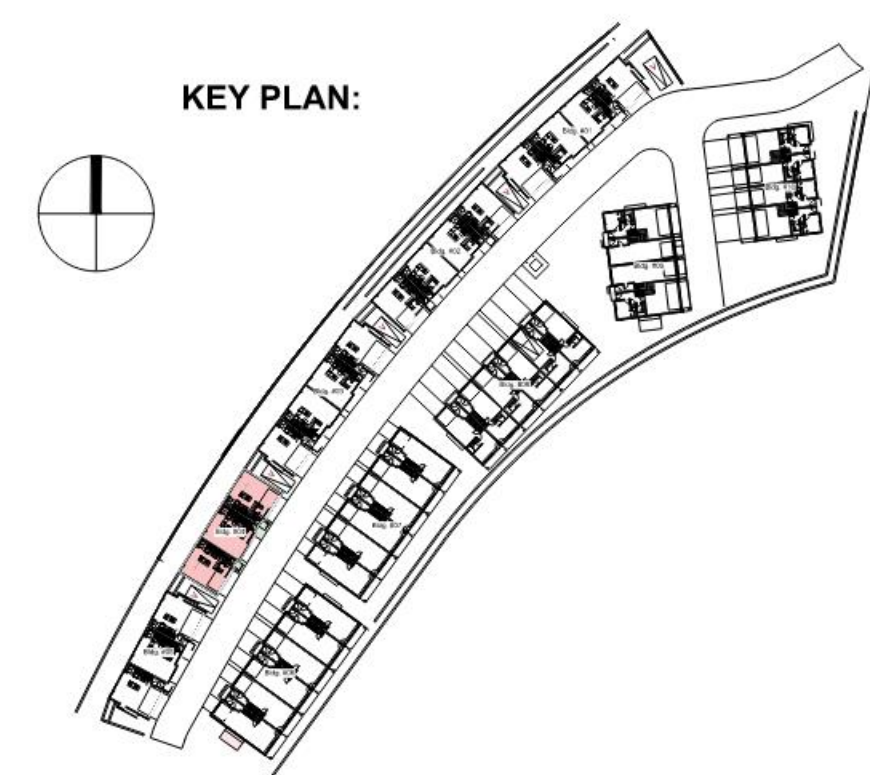
**1** GROUND FLOOR PLAN  
A2.04a Scale: 1/8" = 1'-0"



**2** MAIN FLOOR PLAN  
A2.04a Scale: 1/8" = 1'-0"



**3** UPPER FLOOR PLAN  
A2.04a Scale: 1/8" = 1'-0"



REVISIONS

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7	
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2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE  
DEVELOPMENT**  
3439 TRUMPETER STREET  
  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #4  
FLOOR PLANS**

DRAWING No.

BUILDING #4 AREAS	S.F.	S.M.
- GROUND FLOOR	706.18	65.61
- MAIN FLOOR	1,901.13	176.62
- UPPER FLOOR	1,849.25	171.80
<b>- TOTAL FLOOR AREA</b>	<b>4,456.56</b>	<b>414.03</b>

**A2.04a**



REVISIONS

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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #4 ROOF PLANS**

DRAWING No.

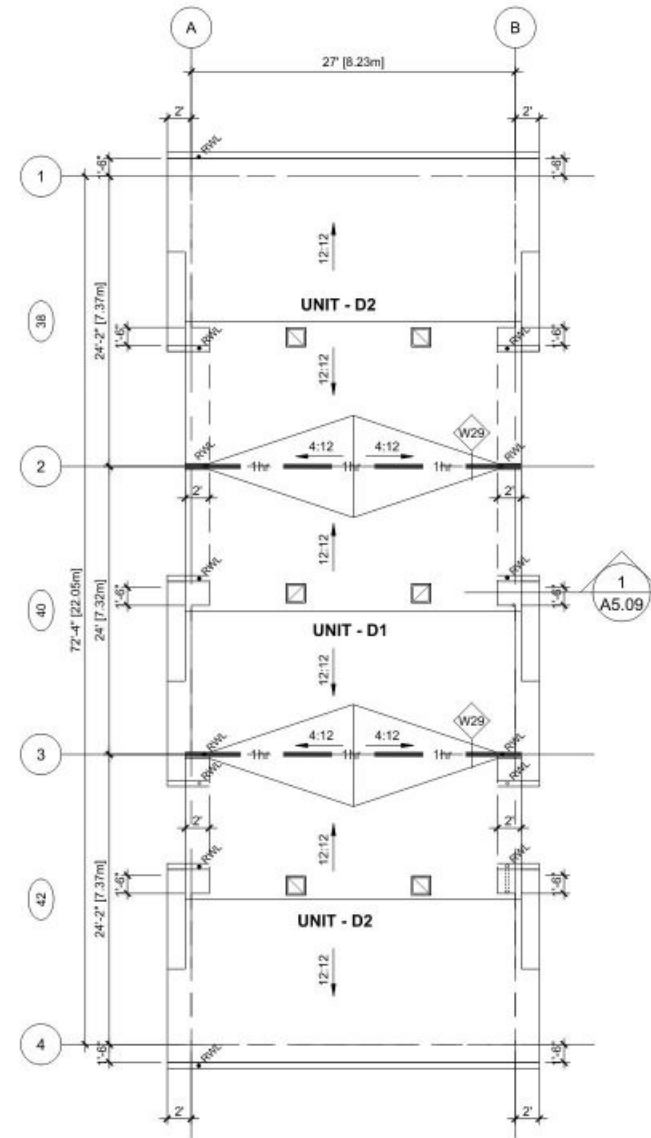
**A2.04b**

**PARTY WALL & ATTIC FIRE RATINGS**

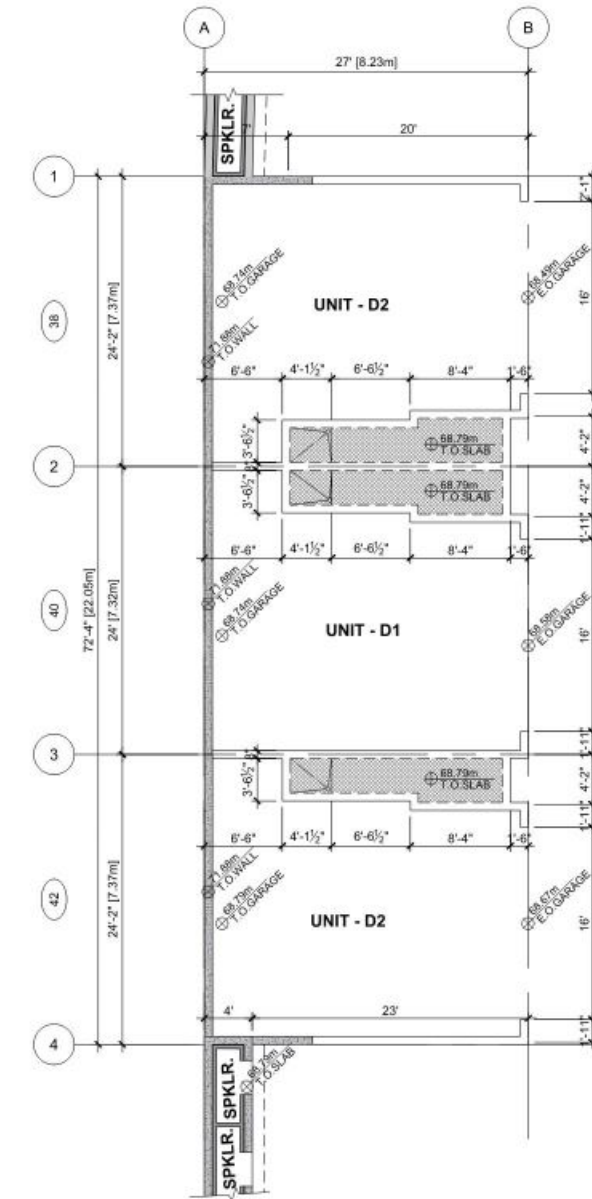
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DENOTES 1 HR. FIRE RESISTANCE RATING  
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DENOTES 2 HR. FIRE RESISTANCE RATING  
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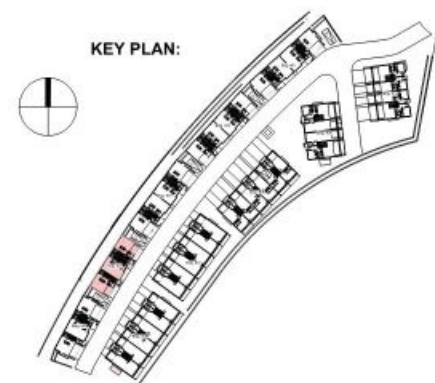
- LEGEND:**
- TYPICAL BULKHEAD / DROPPED CEILING (12")
  - TYPICAL BULKHEAD / DROPPED CEILING (4")
  - FIRE RATED FLOOR ASSEMBLY
  - BELOW SLAB INSULATION
  - RWL (RAIN WATER LEADER)
  - RWL TO BELOW
  - BRICK CLADDING / BRICK LEDGE
  - WALL ASSEMBLY MARK
  - FLOOR & ROOF ASSEMBLY MARK
  - DOOR MARK
  - WINDOW MARK
  - DETAIL NUMBER REFERENCE DRAWING
  - BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - 6" THICK FOUNDATION WALL
  - SMOKE/CO DETECTOR REFER TO ELECTRICAL



**1 ROOF PLAN**  
A2.04b Scale: 1/8" = 1'-0"



**2 FOUNDATION PLAN**  
A2.04b Scale: 1/8" = 1'-0"







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PROJECT NUMBER	DD-92
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DATE CHECKED	
CONSULTANT	



PROJECT

**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET

COLWOOD, BC

DRAWING TITLE

**BUILDING #5 FLOOR PLANS**

DRAWING No.

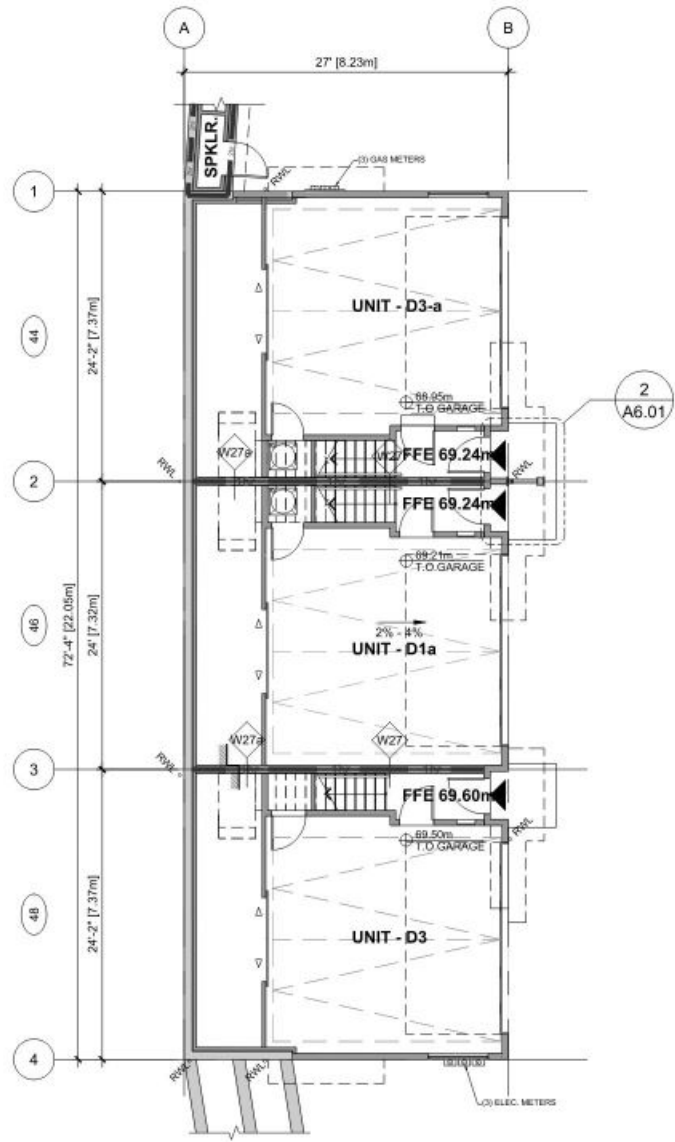
**A2.05a**

**PARTY WALL & ATTIC FIRE RATINGS**

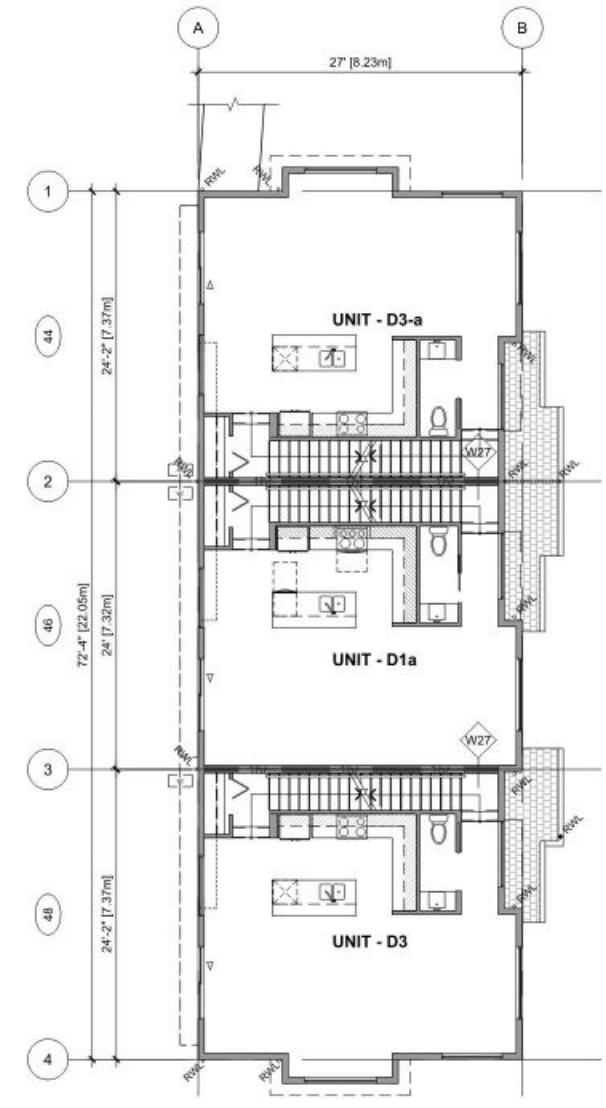
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DENOTES 1 HR. FIRE RESISTANCE RATING

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DENOTES 2 HR. FIRE RESISTANCE RATING

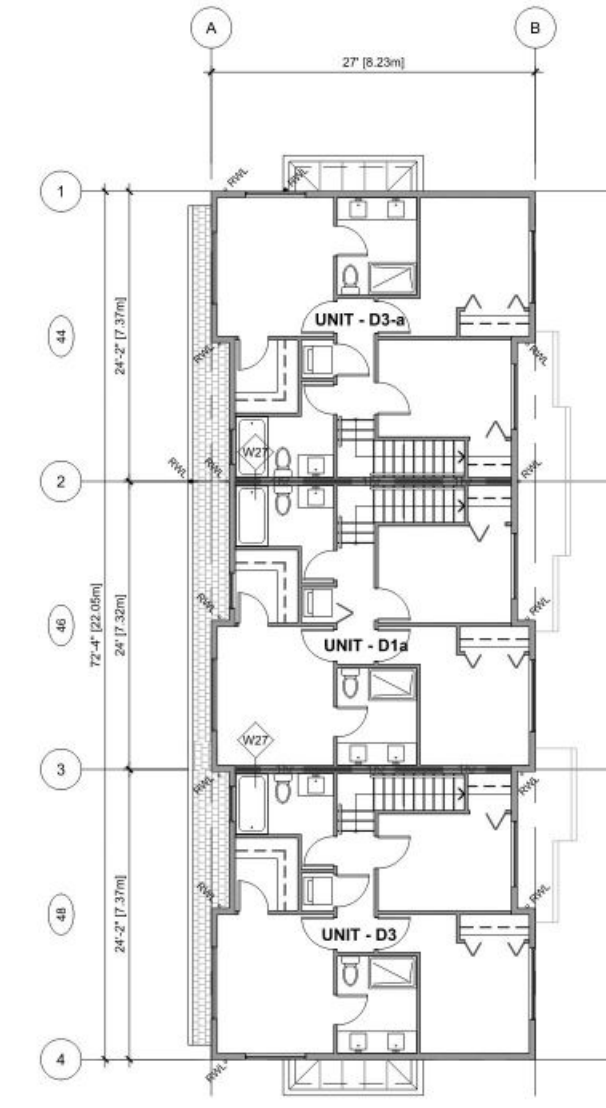
- LEGEND:**
- [Pattern] TYPICAL BULKHEAD / DROPPED CEILING (12')
  - [Pattern] TYPICAL BULKHEAD / DROPPED CEILING (4')
  - [Pattern] FIRE RATED FLOOR ASSEMBLY
  - [Pattern] BELOW SLAB INSULATION
  - [Symbol] RWL (RAIN WATER LEADER)
  - [Symbol] RWL TO BELOW
  - [Symbol] BRICK CLADDING / BRICK LEDGE
  - [Symbol] WALL ASSEMBLY MARK
  - [Symbol] FLOOR & ROOF ASSEMBLY MARK
  - [Symbol] DOOR MARK
  - [Symbol] WINDOW MARK
  - [Symbol] DETAIL NUMBER REFERENCE DRAWING
  - [Symbol] BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - [Symbol] 6" THICK FOUNDATION WALL
  - [Symbol] SMOKE/CO DETECTOR REFER TO ELECTRICAL



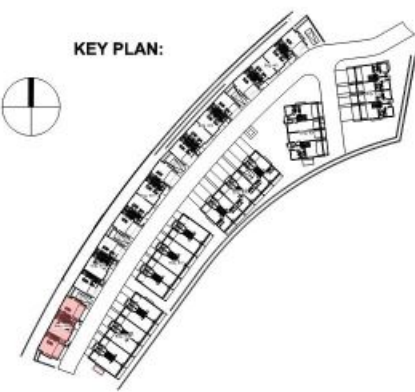
**1 GROUND FLOOR PLAN**  
A2.05a Scale: 1/8" = 1'-0"



**2 MAIN FLOOR PLAN**  
A2.05a Scale: 1/8" = 1'-0"



**3 UPPER FLOOR PLAN**  
A2.05a Scale: 1/8" = 1'-0"



BUILDING #5 AREAS	S.F.	S.M.
- GROUND FLOOR	706.18	65.61
- MAIN FLOOR	1,939.79	180.21
- UPPER FLOOR	1,849.25	171.80
<b>- TOTAL FLOOR AREA</b>	<b>4,495.22</b>	<b>417.62</b>



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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #5 ROOF PLANS**

DRAWING No.

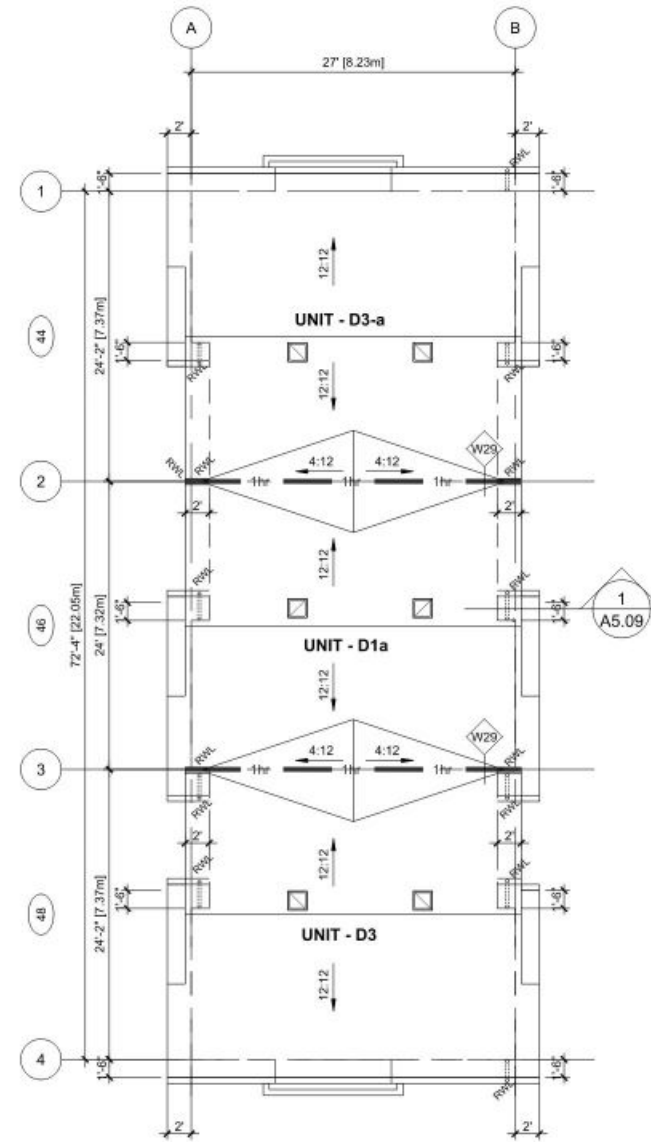
**A2.05b**

**PARTY WALL & ATTIC FIRE RATINGS**

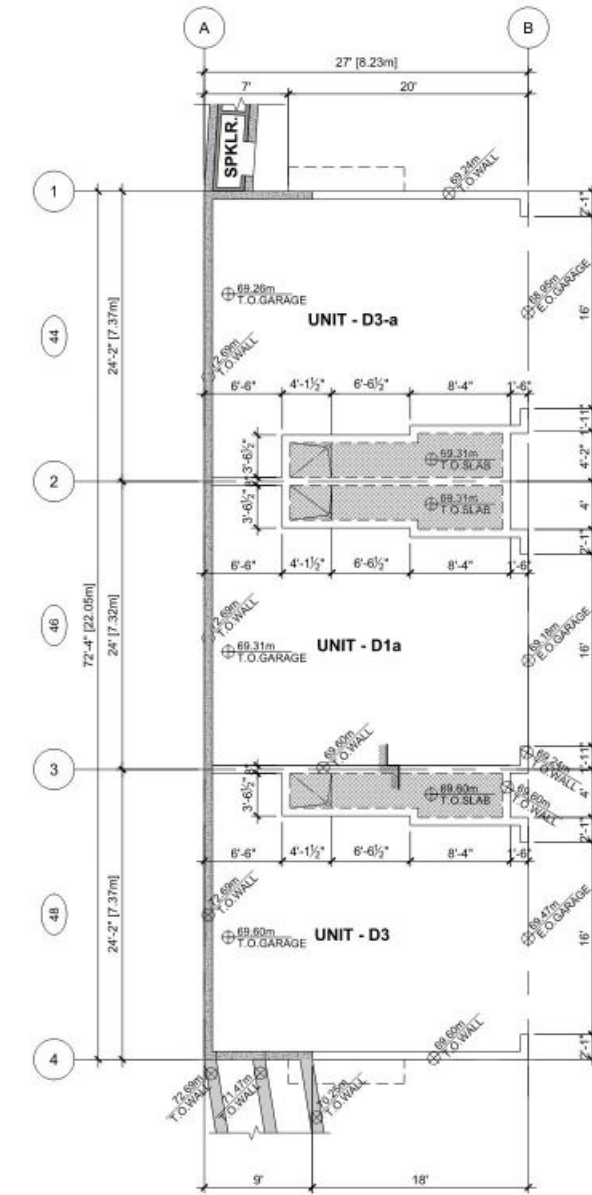
-----  
DENOTES 1 HR. FIRE RESISTANCE RATING  
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DENOTES 2 HR. FIRE RESISTANCE RATING  
-----

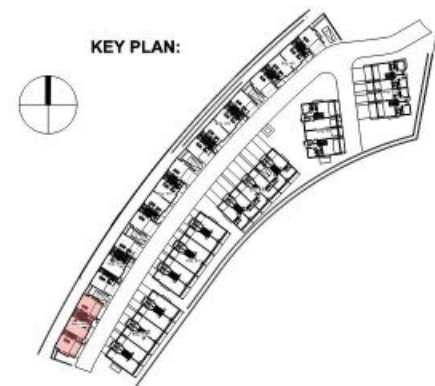
- LEGEND:**
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  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - 6" THICK FOUNDATION WALL
  - SMOKE/CO DETECTOR REFER TO ELECTRICAL



**1 ROOF PLAN**  
A2.05b Scale: 1/8" = 1'-0"



**2 FOUNDATION PLAN**  
A2.05b Scale: 1/8" = 1'-0"





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PROJECT NUMBER	DD-92
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CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE

**BUILDING #6  
FLOOR PLANS**

DRAWING No.

**A2.06a**

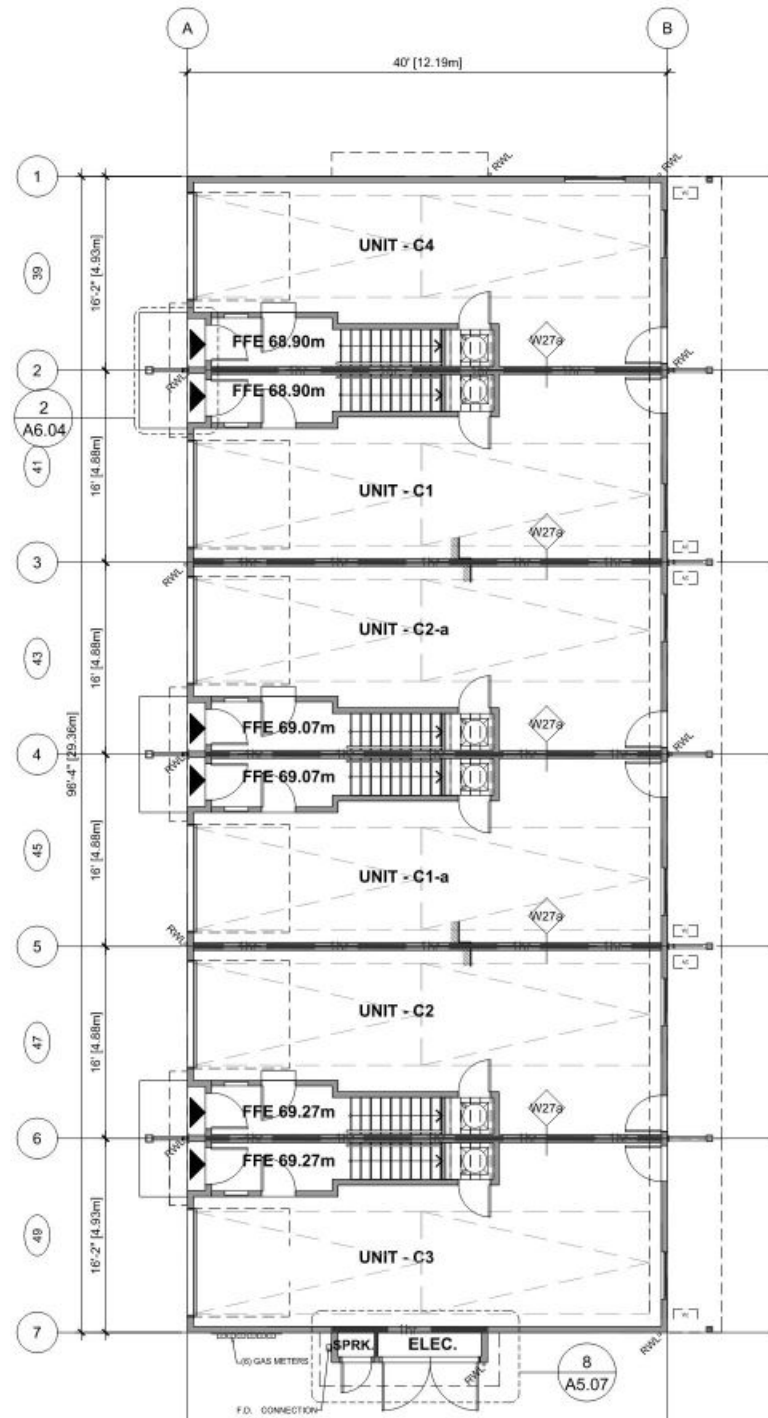
**PARTY WALL & ATTIC  
FIRE RATINGS**

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DENOTES 1 HR. FIRE  
RESISTANCE RATING

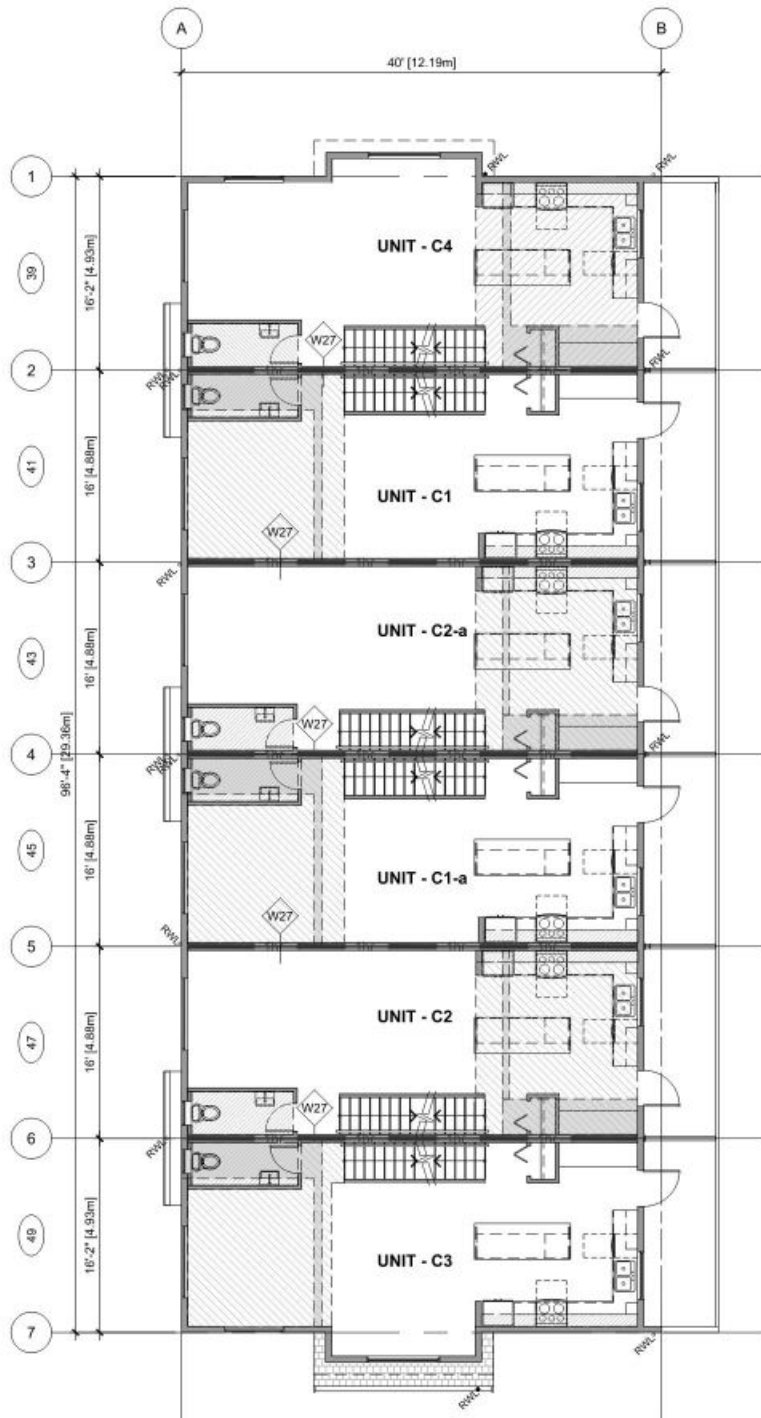
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DENOTES 2 HR. FIRE  
RESISTANCE RATING

**LEGEND:**

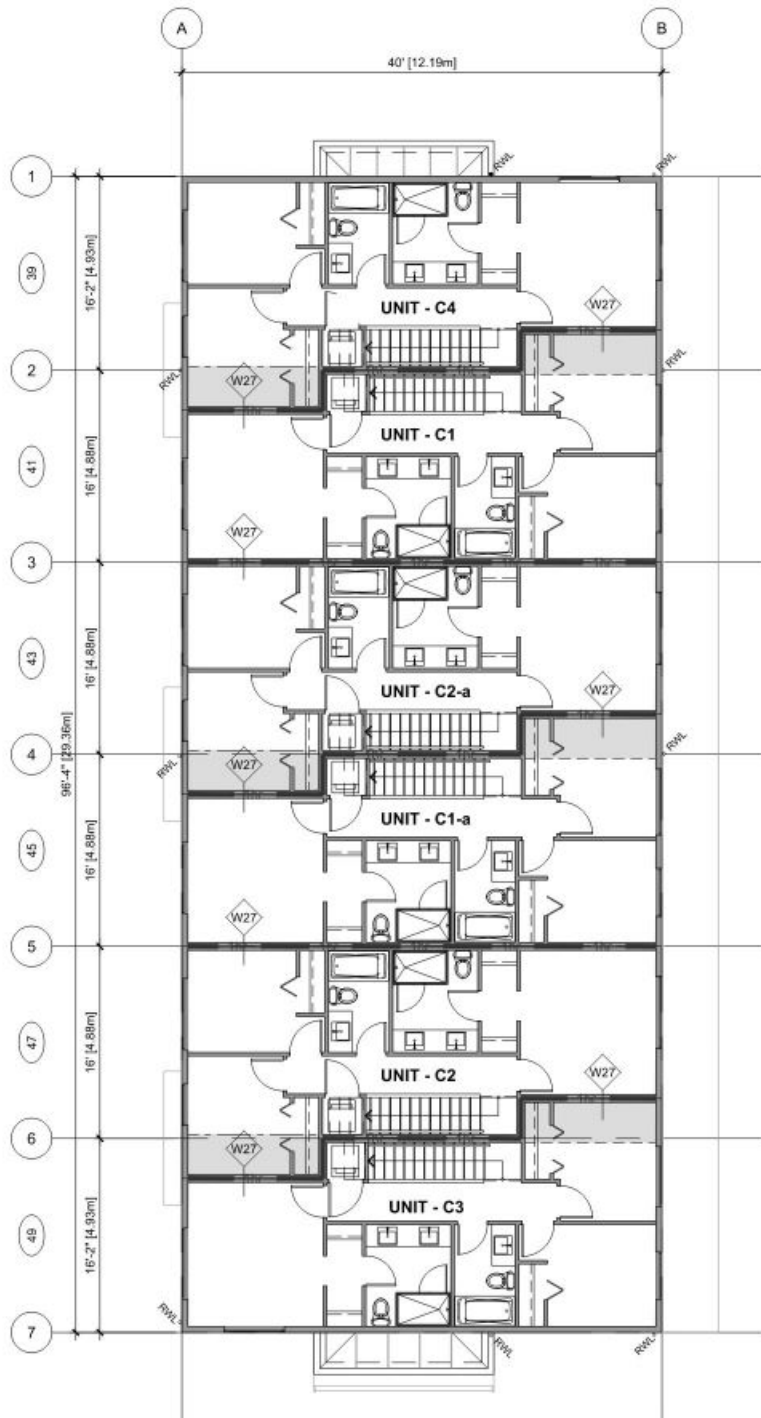
- TYPICAL BULKHEAD / DROPPED CEILING (12'')
- TYPICAL BULKHEAD / DROPPED CEILING (4'')
- FIRE RATED FLOOR ASSEMBLY
- BELOW SLAB INSULATION
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- RWL TO BELOW
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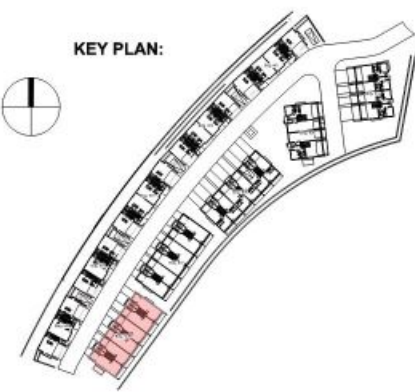
1 GROUND FLOOR PLAN  
A2.06a Scale: 1/8" = 1'-0"



2 MAIN FLOOR PLAN  
A2.06a Scale: 1/8" = 1'-0"



3 UPPER FLOOR PLAN  
A2.06a Scale: 1/8" = 1'-0"



**BUILDING #6 AREAS**

	S.F.	S.M.
- GROUND FLOOR	588.02	54.63
- MAIN FLOOR	3,766.80	349.95
- UPPER FLOOR	3,853.33	357.99
<b>- TOTAL FLOOR AREA</b>	<b>8,208.14</b>	<b>762.56</b>



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PROJECT NUMBER	DD-92
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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #6  
ROOF PLANS**

DRAWING No.

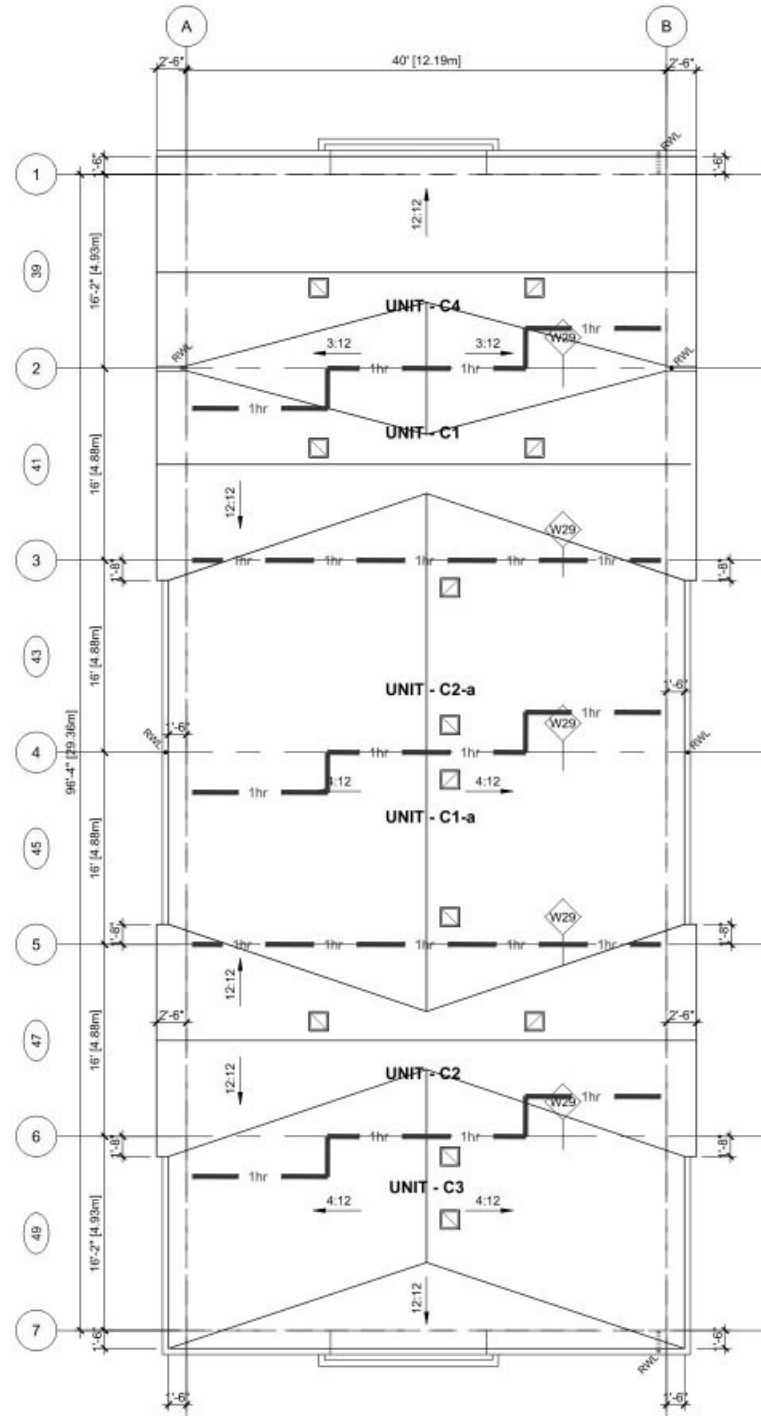
**A2.06b**

**PARTY WALL & ATTIC  
FIRE RATINGS**

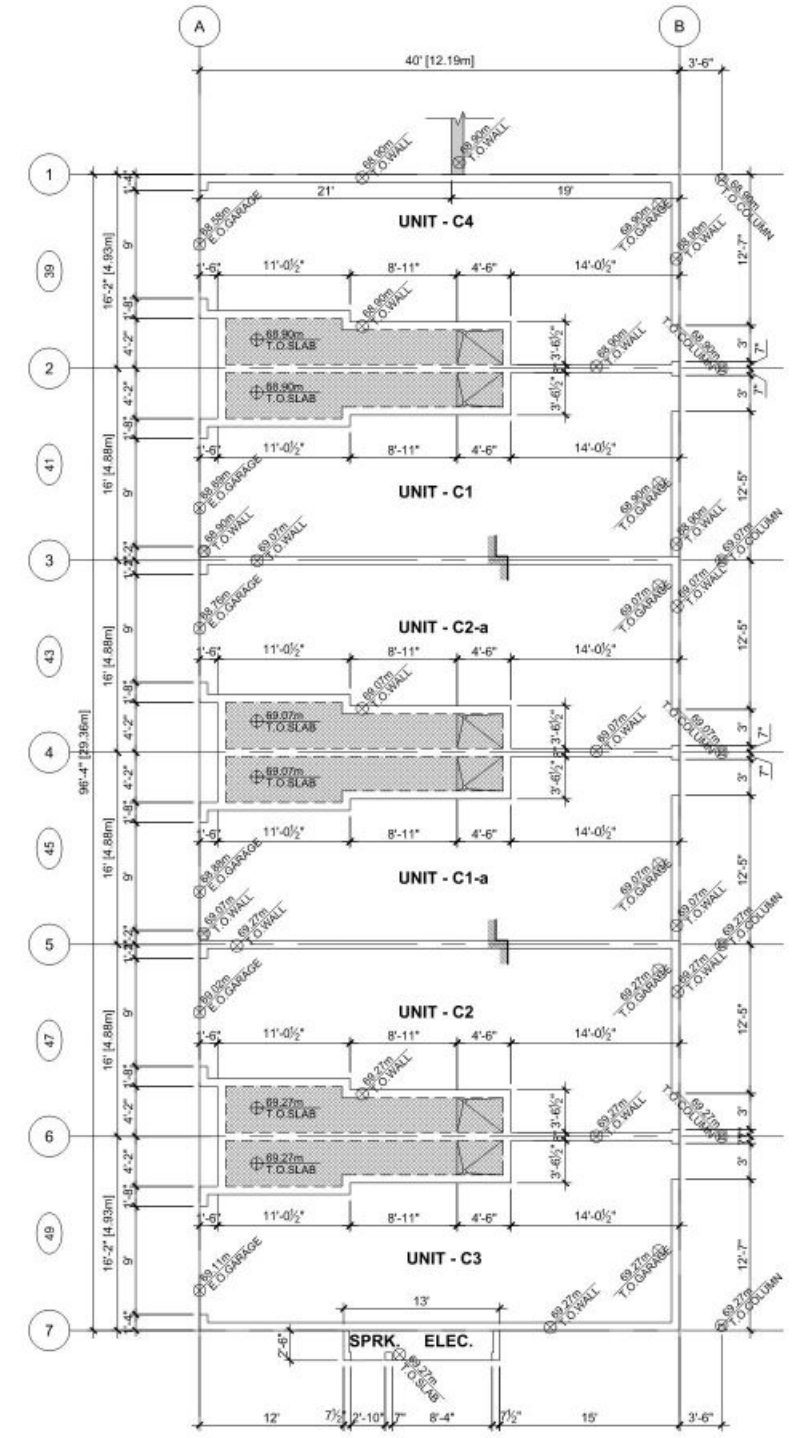
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DENOTES 1 HR. FIRE  
RESISTANCE RATING

-----  
DENOTES 2 HR. FIRE  
RESISTANCE RATING

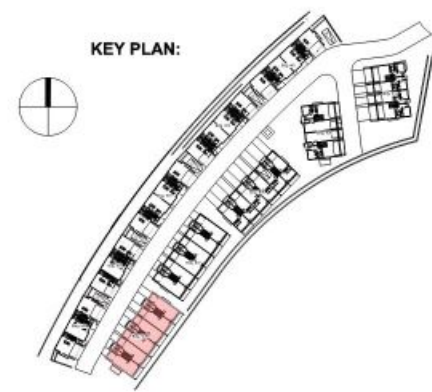
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1 ROOF PLAN  
A2.06b Scale: 1/8" = 1'-0"



2 FOUNDATION PLAN  
A2.06b Scale: 1/8" = 1'-0"



Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

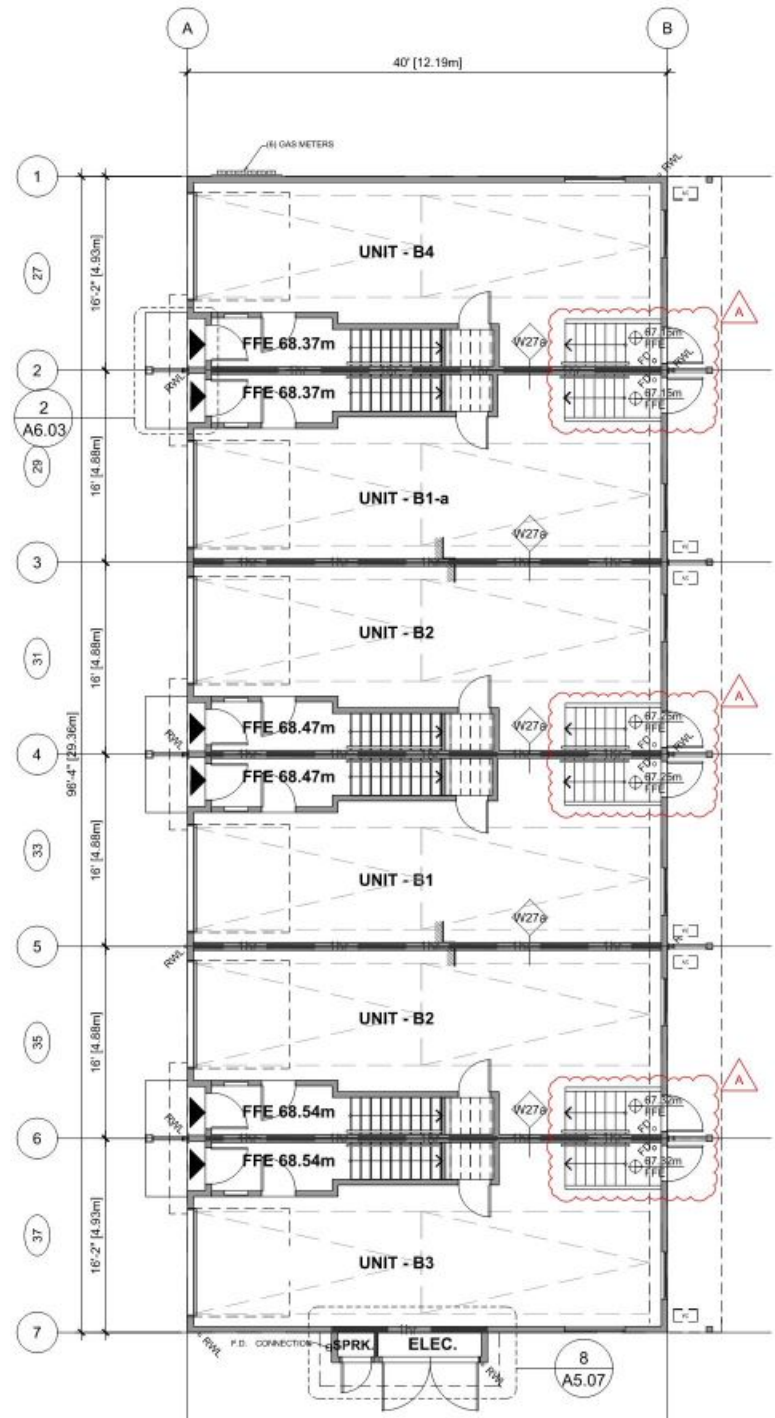
1925 Main Street  
Vancouver, BC,  
Canada, V5T 3C1  
T. 604.876.5050  
F. 604.876.5060  
ekistics.com

**PARTY WALL & ATTIC FIRE RATINGS**

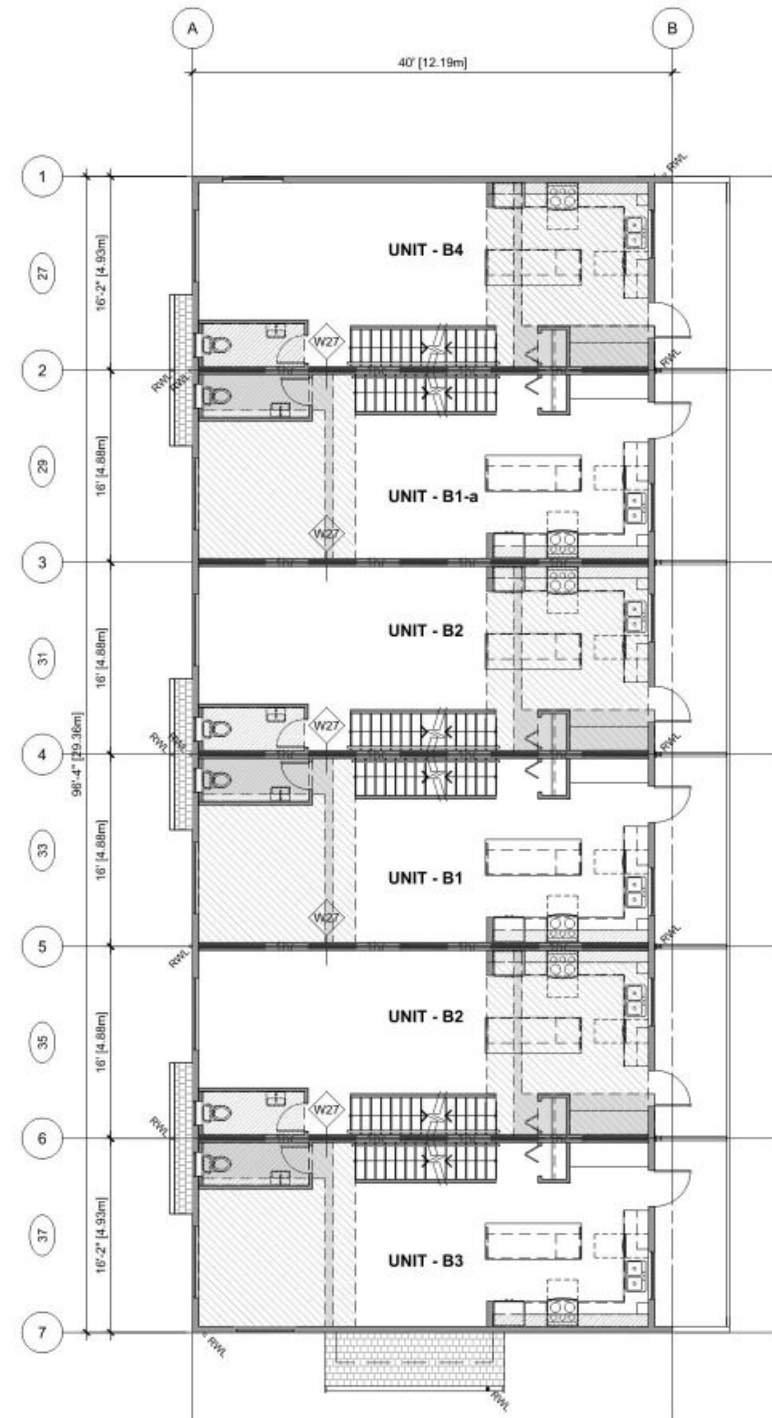
DENOTES 1 HR. FIRE RESISTANCE RATING

DENOTES 2 HR. FIRE RESISTANCE RATING

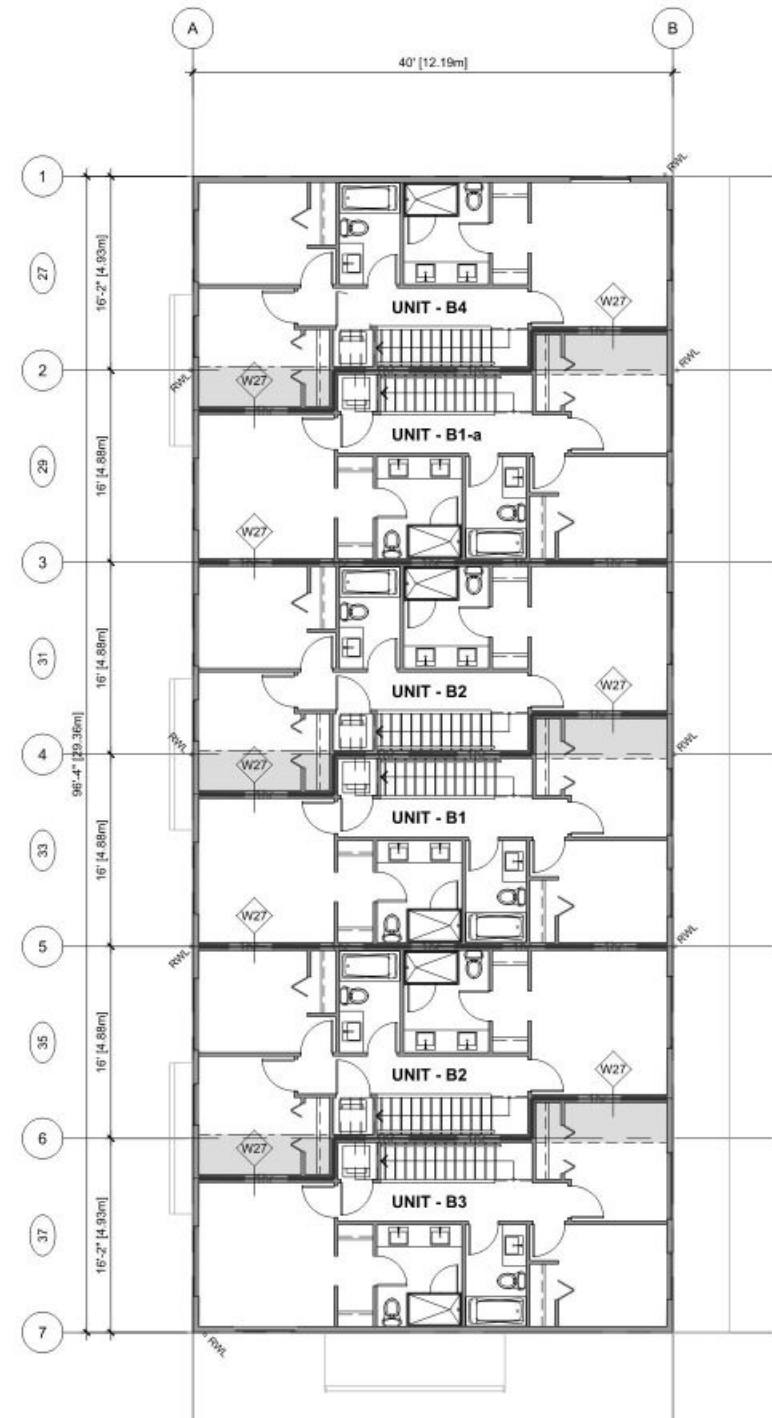
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  - WALL ASSEMBLY MARK
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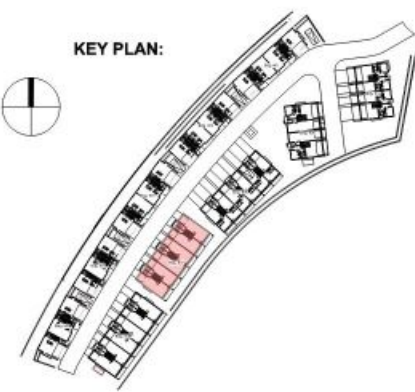
1 GROUND FLOOR PLAN  
Scale: 1/8" = 1'-0"



2 MAIN FLOOR PLAN  
Scale: 1/8" = 1'-0"



3 UPPER FLOOR PLAN  
Scale: 1/8" = 1'-0"



**BUILDING #7 AREAS**

	S.F.	S.M.
- GROUND FLOOR	591.79	54.98
- MAIN FLOOR	3,708.80	344.56
- UPPER FLOOR	3,853.33	357.99
<b>- TOTAL FLOOR AREA</b>	<b>8,153.92</b>	<b>757.52</b>



REVISIONS

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2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #7 FLOOR PLANS**

DRAWING No.

**A2.07a**



REVISIONS

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7	
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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #7  
ROOF PLANS**

DRAWING No.

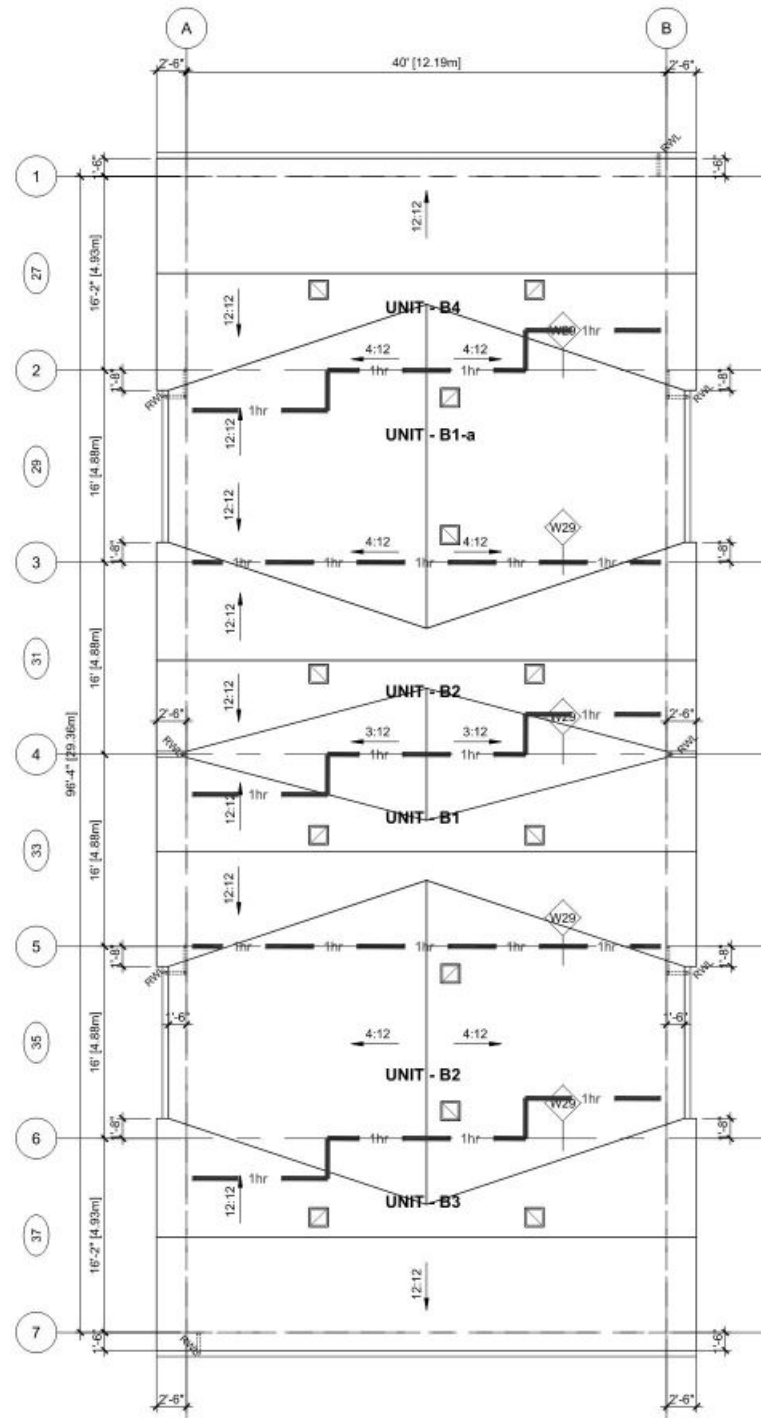
**A2.07b**

**PARTY WALL & ATTIC  
FIRE RATINGS**

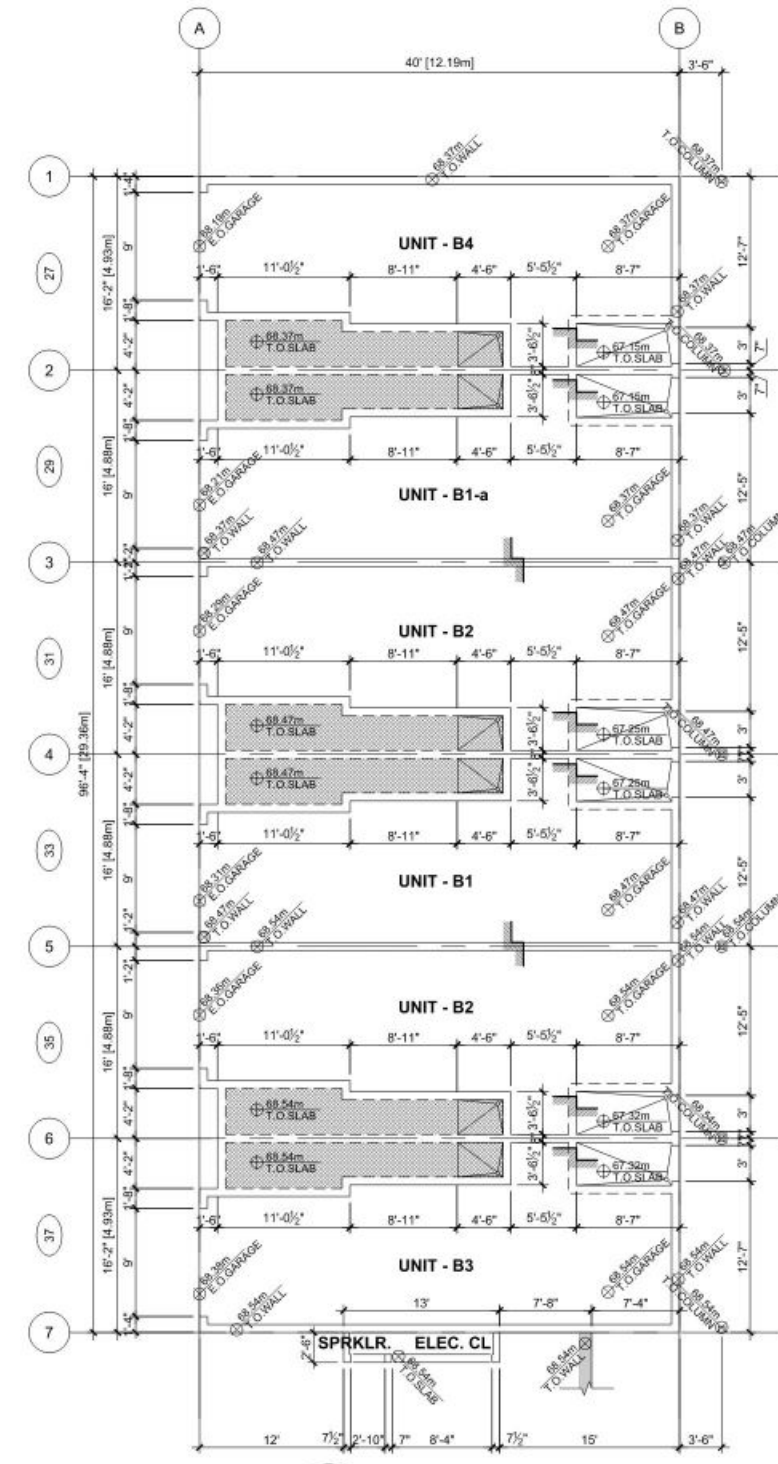
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DENOTES 1 HR. FIRE  
RESISTANCE RATING

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DENOTES 2 HR. FIRE  
RESISTANCE RATING

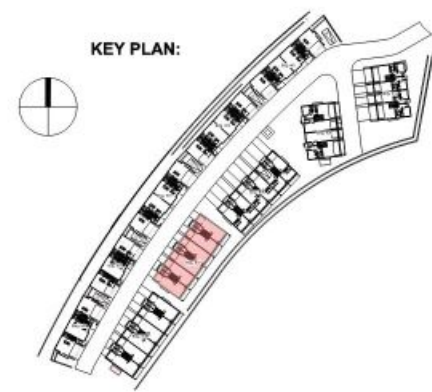
- LEGEND:**
- TYPICAL BULKHEAD / DROPPED CEILING (12')
  - TYPICAL BULKHEAD / DROPPED CEILING (4')
  - FIRE RATED FLOOR ASSEMBLY
  - BELOW SLAB INSULATION
  - RWL (RAIN WATER LEADER)
  - RWL TO BELOW
  - BRICK CLADDING / BRICK LEDGE
  - WALL ASSEMBLY MARK
  - FLOOR & ROOF ASSEMBLY MARK
  - DOOR MARK
  - WINDOW MARK
  - DETAIL NUMBER REFERENCE DRAWING
  - BUILDING SECTION MARK
  - DW DISH WASHER
  - F. REFRIGERATOR
  - F.G. FINISHED GRADE
  - P. PANTRY
  - T.O.S. TOP OF SLAB
  - W/D WASHER / DRYER
  - 6" THICK FOUNDATION WALL
  - SMOKE/CO DETECTOR REFER TO ELECTRICAL



1 ROOF PLAN  
Scale: 1/8" = 1'-0"



2 FOUNDATION PLAN  
Scale: 1/8" = 1'-0"



Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

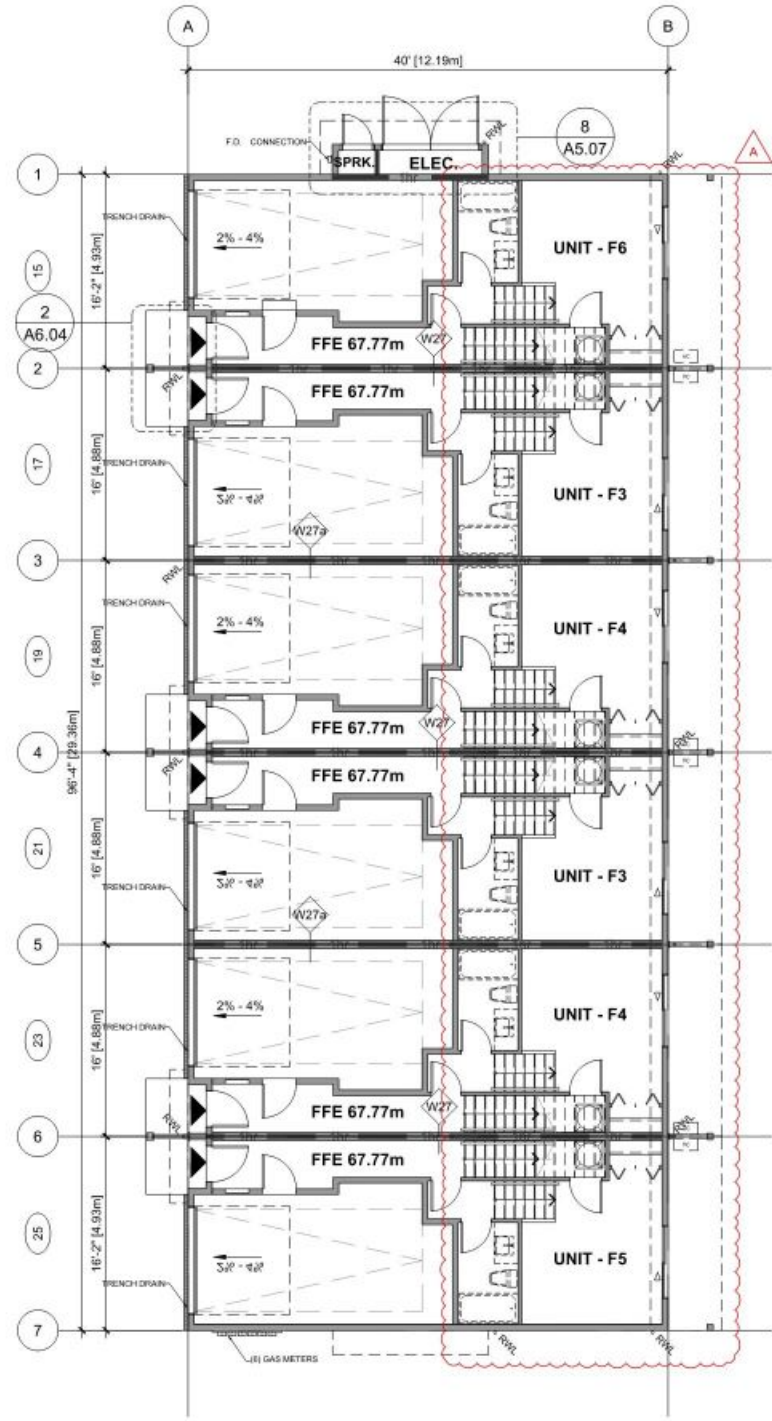
1925 Main Street  
Vancouver, BC,  
Canada, V5T 3C1  
T. 604.876.5050  
F. 604.876.5060  
ekistics.com

**PARTY WALL & ATTIC FIRE RATINGS**

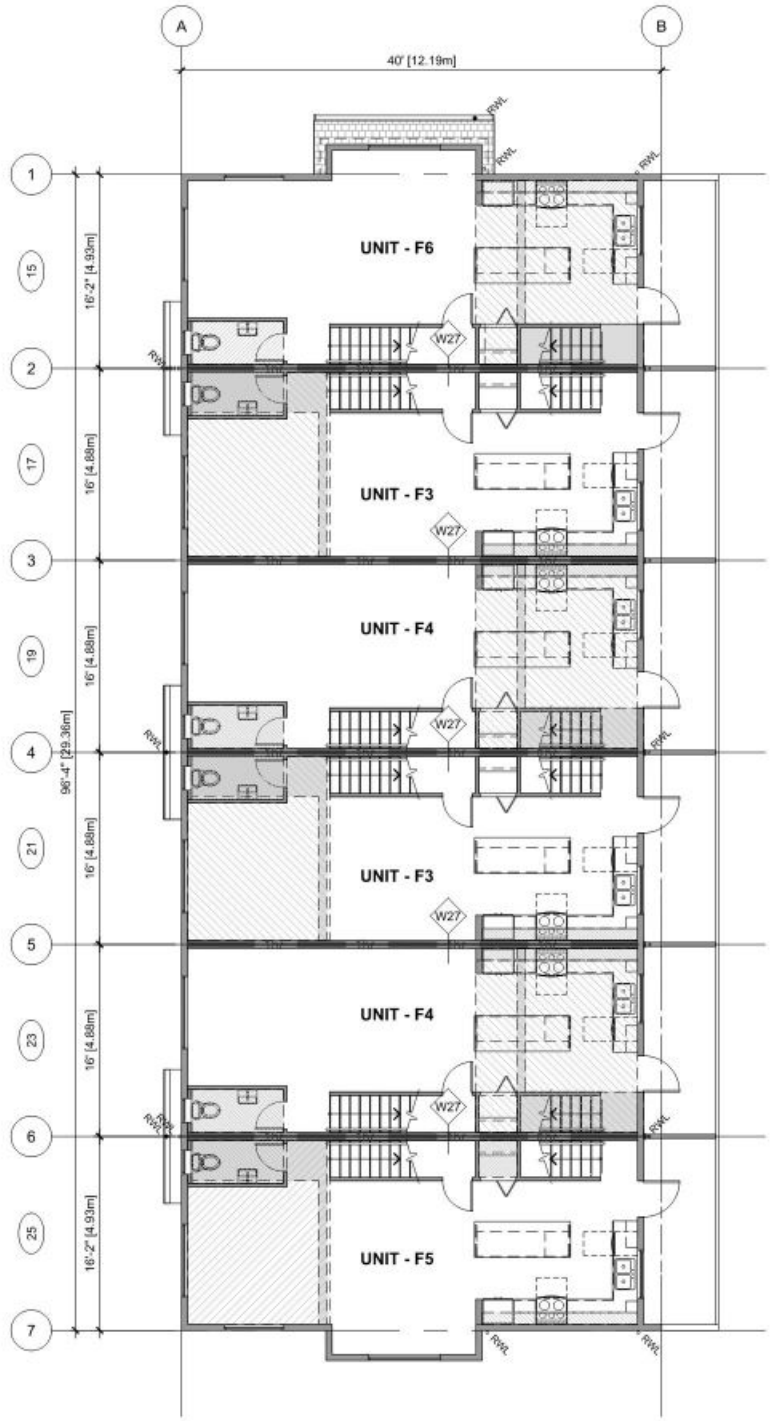
DENOTES 1 HR. FIRE RESISTANCE RATING

DENOTES 2 HR. FIRE RESISTANCE RATING

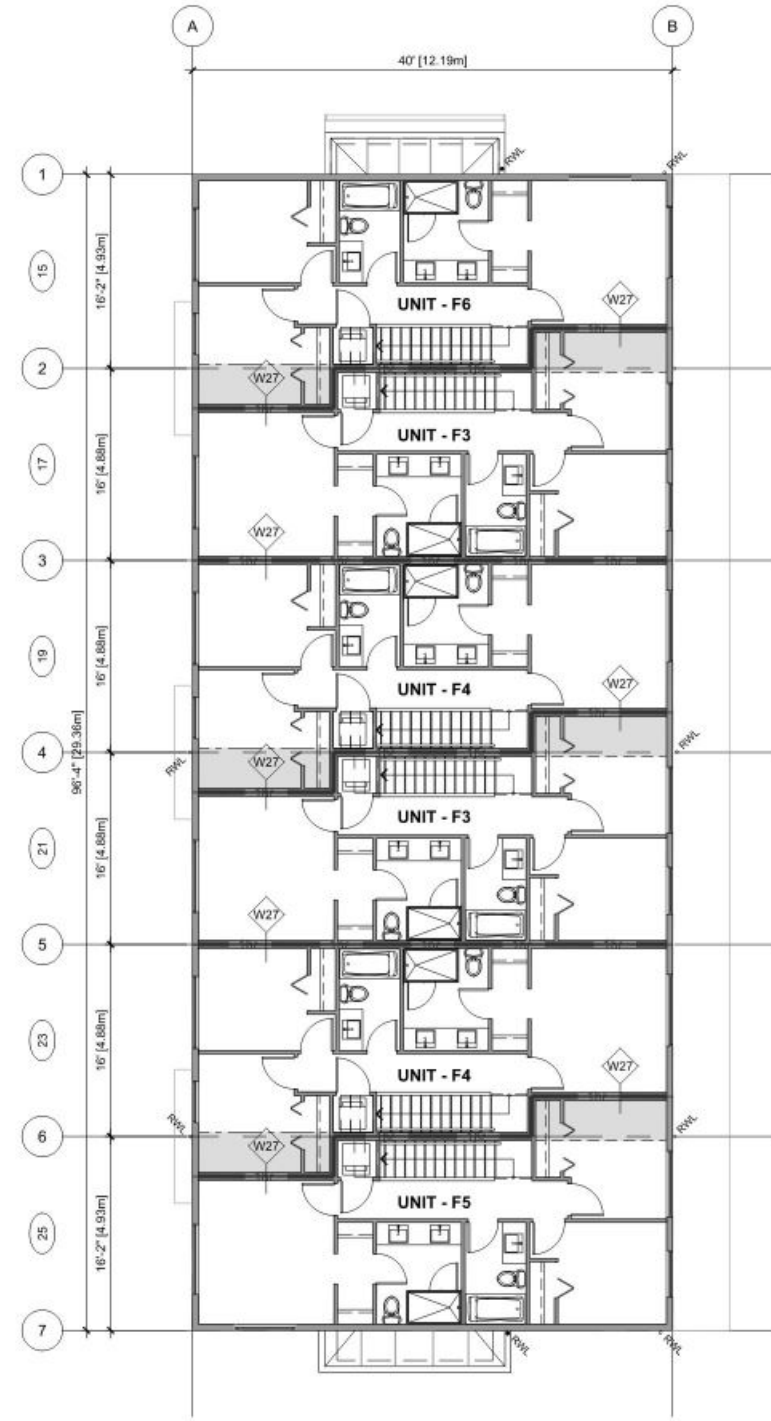
- LEGEND:**
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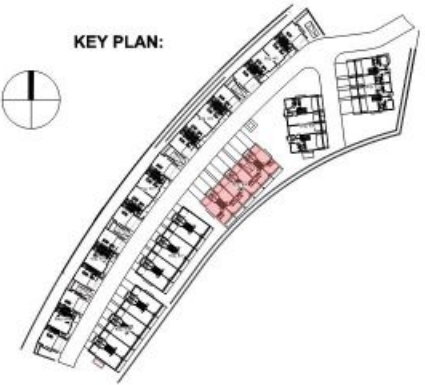
**1 GROUND FLOOR PLAN**  
Scale: 1/8" = 1'-0"



**2 MAIN FLOOR PLAN**  
Scale: 1/8" = 1'-0"



**3 UPPER FLOOR PLAN**  
Scale: 1/8" = 1'-0"



ISSUES

ISSUES	DATE
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PROJECT NUMBER: DD-92

DRAWN BY: PM / RV

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DATE CHECKED:

CONSULTANT:



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #8 FLOOR PLANS**

DRAWING No.

**BUILDING #8 AREAS**

	S.F.	S.M.
- GROUND FLOOR	2,272.54	211.13
- MAIN FLOOR	3,767.30	349.99
- UPPER FLOOR	3,853.33	357.99
<b>- TOTAL FLOOR AREA</b>	<b>9,893.17</b>	<b>919.11</b>

**A2.08a**



REVISIONS

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PROJECT

**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET

COLWOOD, BC

DRAWING TITLE

**BUILDING #8  
ROOF PLANS**

DRAWING No.

**A2.08b**

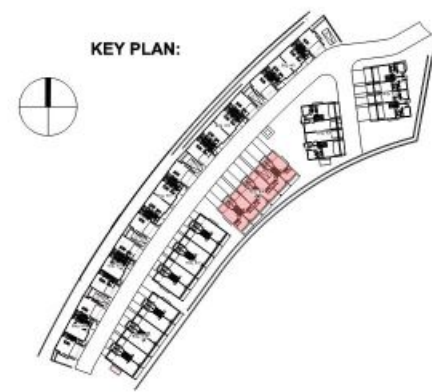
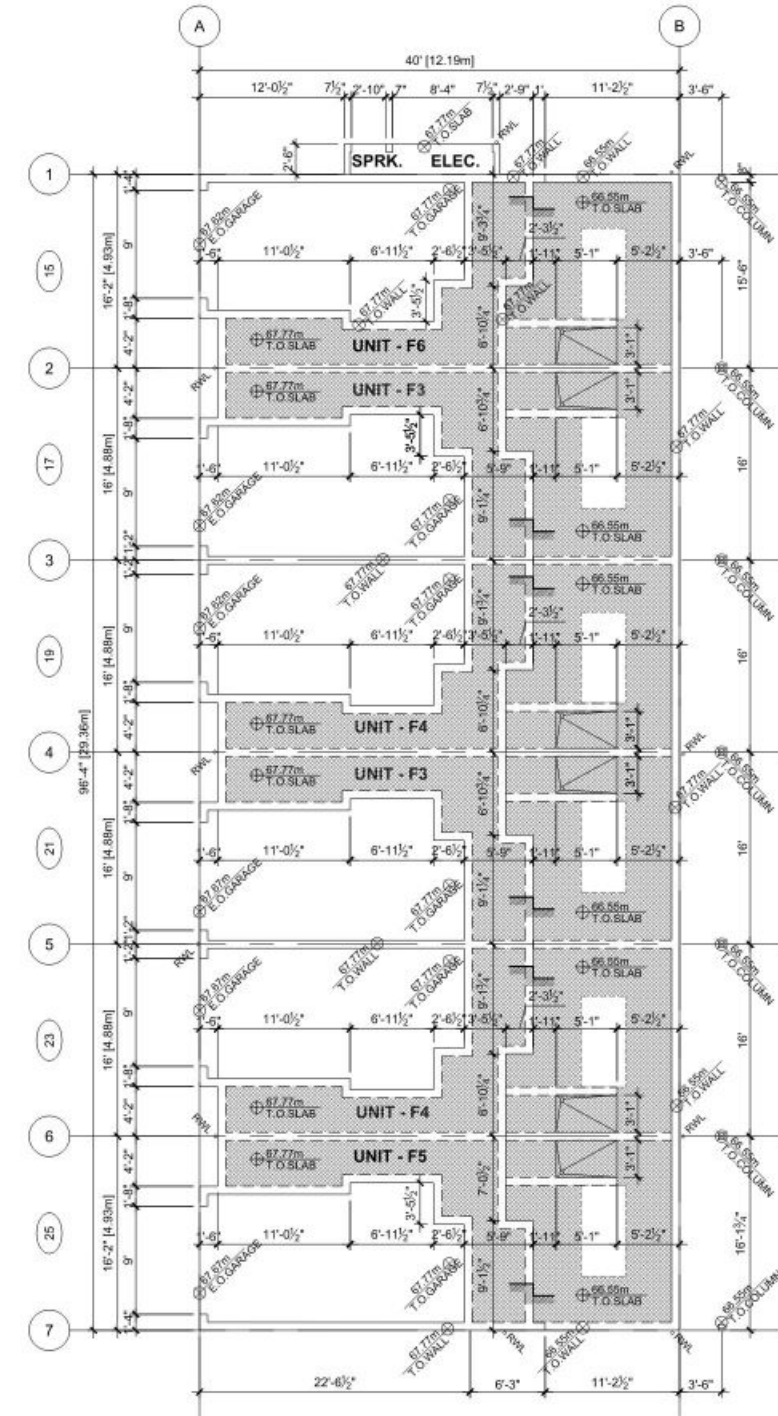
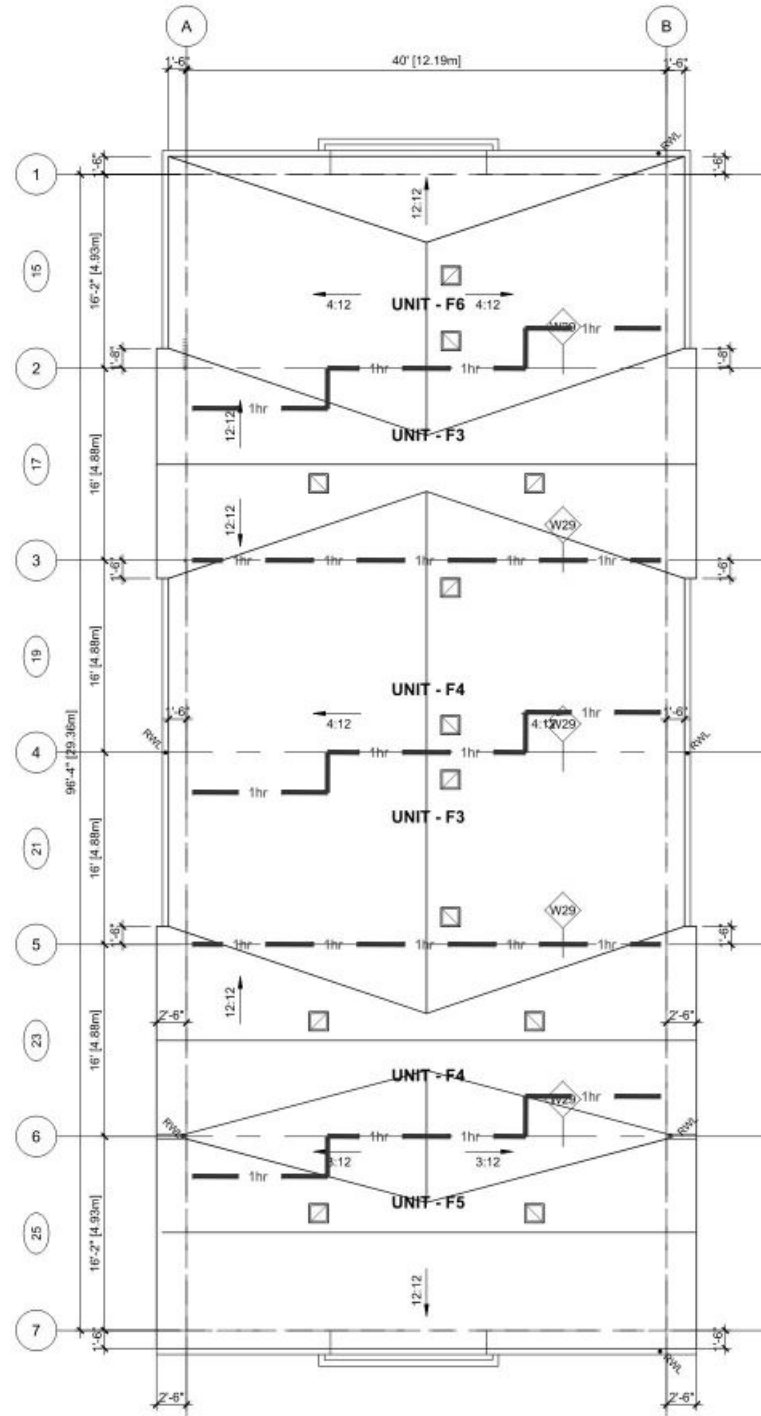
**PARTY WALL & ATTIC  
FIRE RATINGS**

-----  
DENOTES 1 HR. FIRE  
RESISTANCE RATING

-----  
DENOTES 2 HR. FIRE  
RESISTANCE RATING

**LEGEND:**

- TYPICAL BULKHEAD / DROPPED CEILING (12')
- TYPICAL BULKHEAD / DROPPED CEILING (4')
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- BELOW SLAB INSULATION
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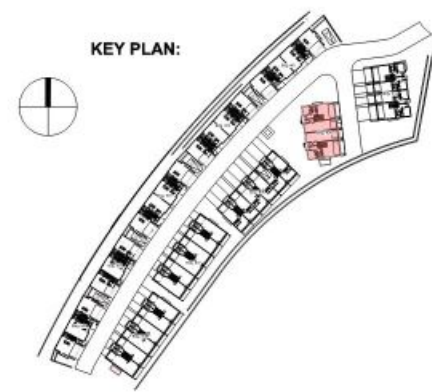
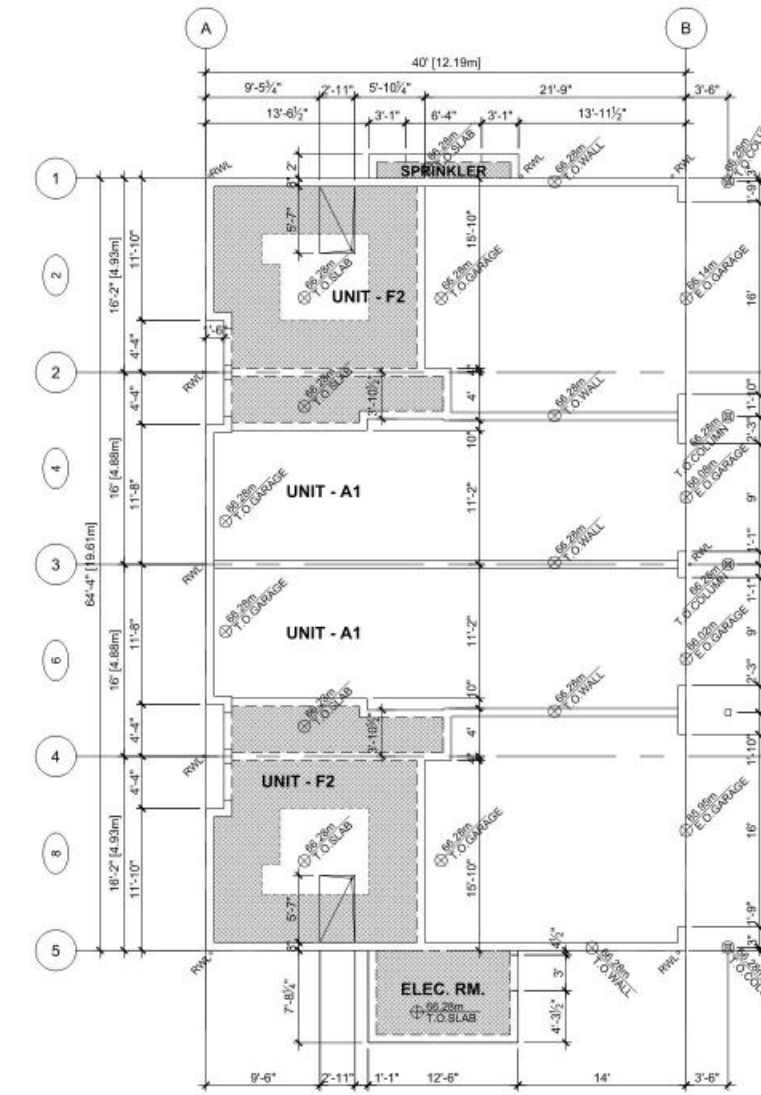
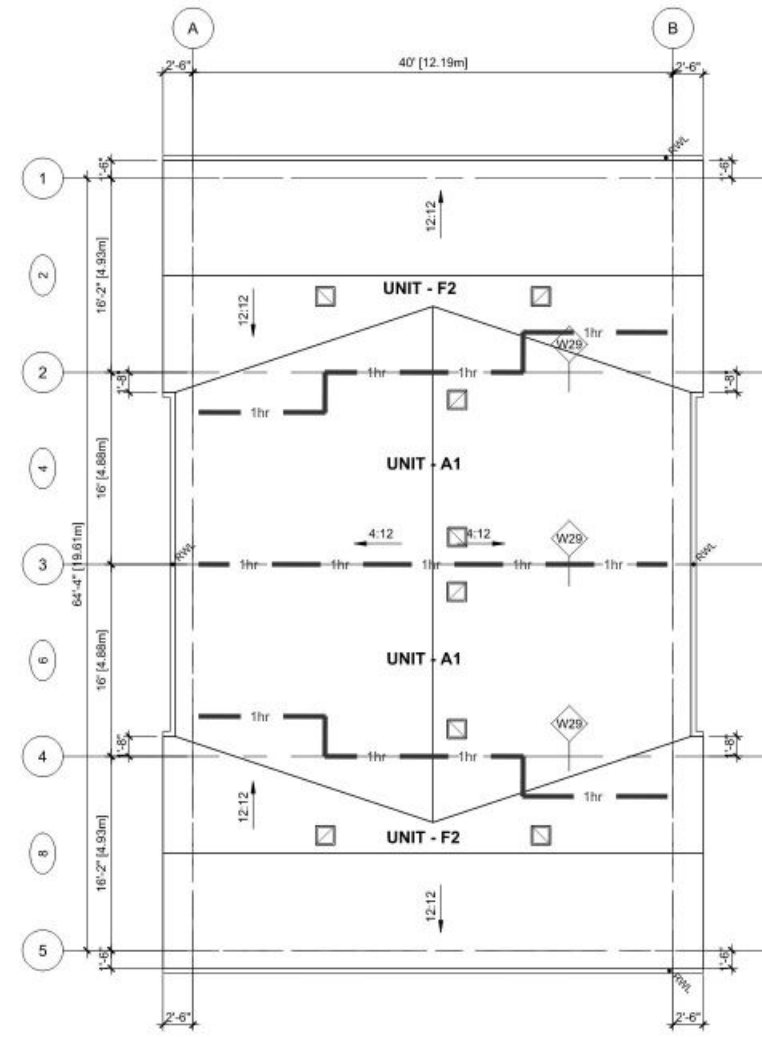


**PARTY WALL & ATTIC  
FIRE RATINGS**

-----  
DENOTES 1 HR. FIRE  
RESISTANCE RATING

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DENOTES 2 HR. FIRE  
RESISTANCE RATING

- LEGEND:**
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PROJECT  
**ETTA TOWNHOUSE  
DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #9  
ROOF PLANS**

DRAWING No.  
**A2.09b**

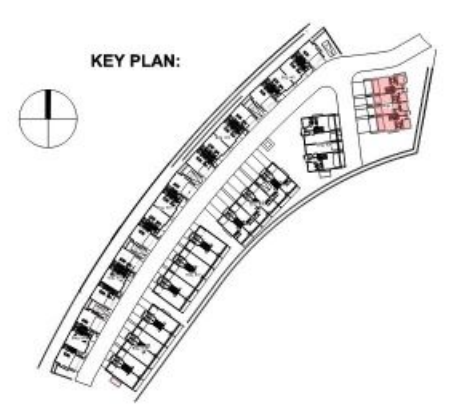
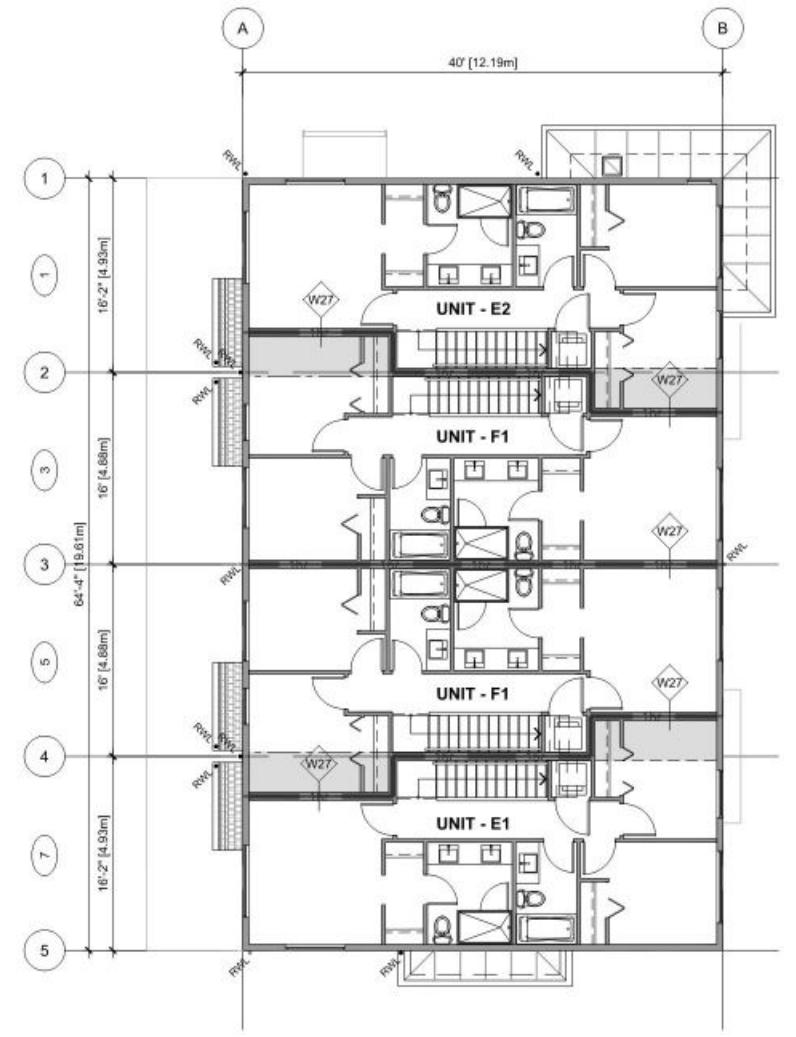
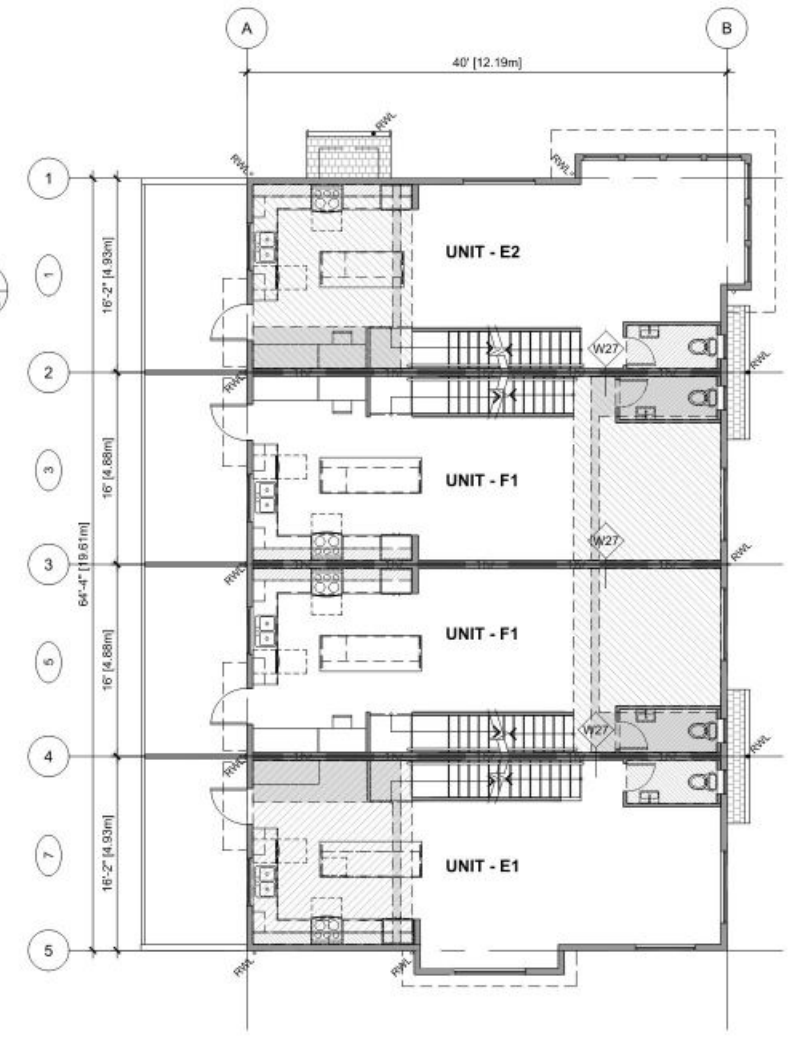
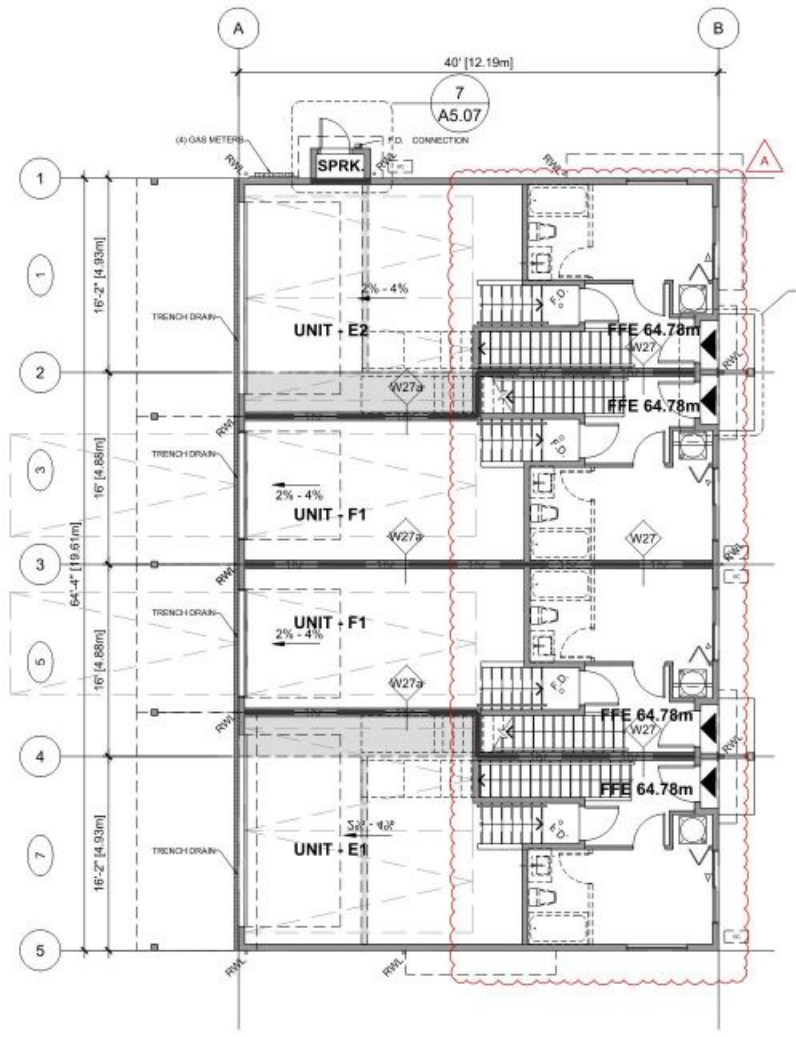
**PARTY WALL & ATTIC FIRE RATINGS**

DENOTES 1 HR. FIRE RESISTANCE RATING

DENOTES 2 HR. FIRE RESISTANCE RATING

**LEGEND:**

- TYPICAL BLUKEAD / DROPPED CEILING (12')
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- FIRE RATED FLOOR ASSEMBLY
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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #10 FLOOR PLANS**

DRAWING No.

BUILDING #10 AREAS	S.F.	S.M.
- GROUND FLOOR	992.82	92.24
- MAIN FLOOR	2,640.49	245.31
- UPPER FLOOR	2,573.33	239.07
<b>- TOTAL FLOOR AREA</b>	<b>6,206.65</b>	<b>576.62</b>

**A2.10a**



REVISIONS

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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #10 ROOF PLANS**

DRAWING No.

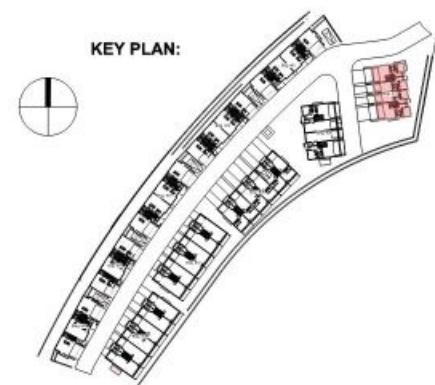
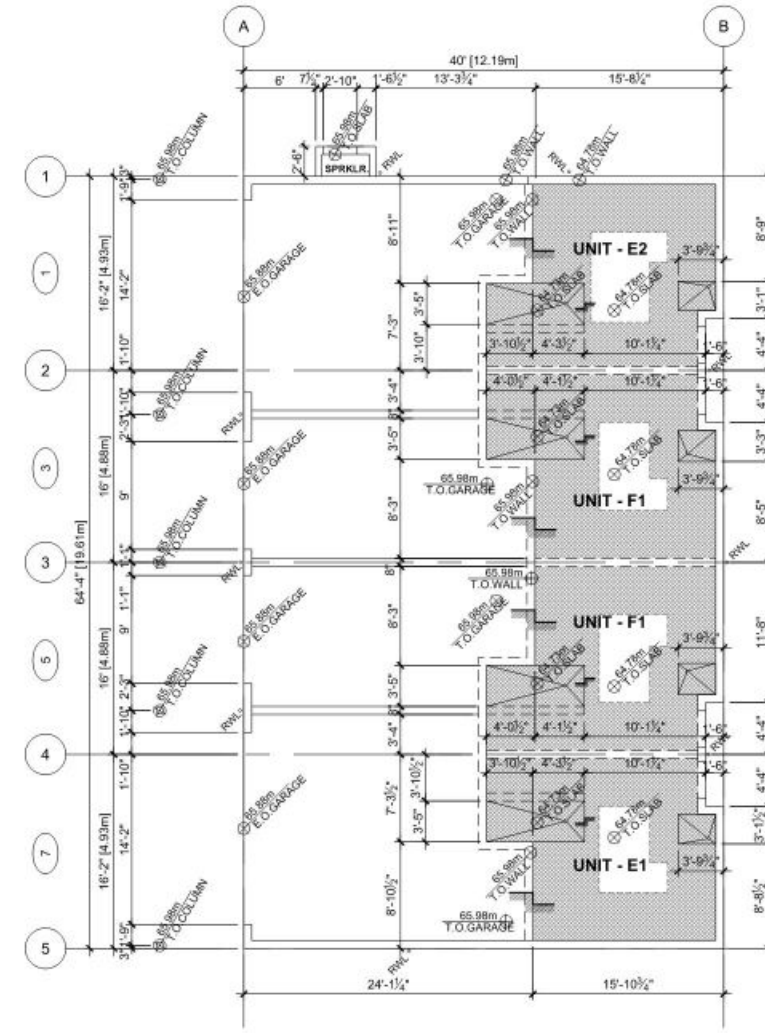
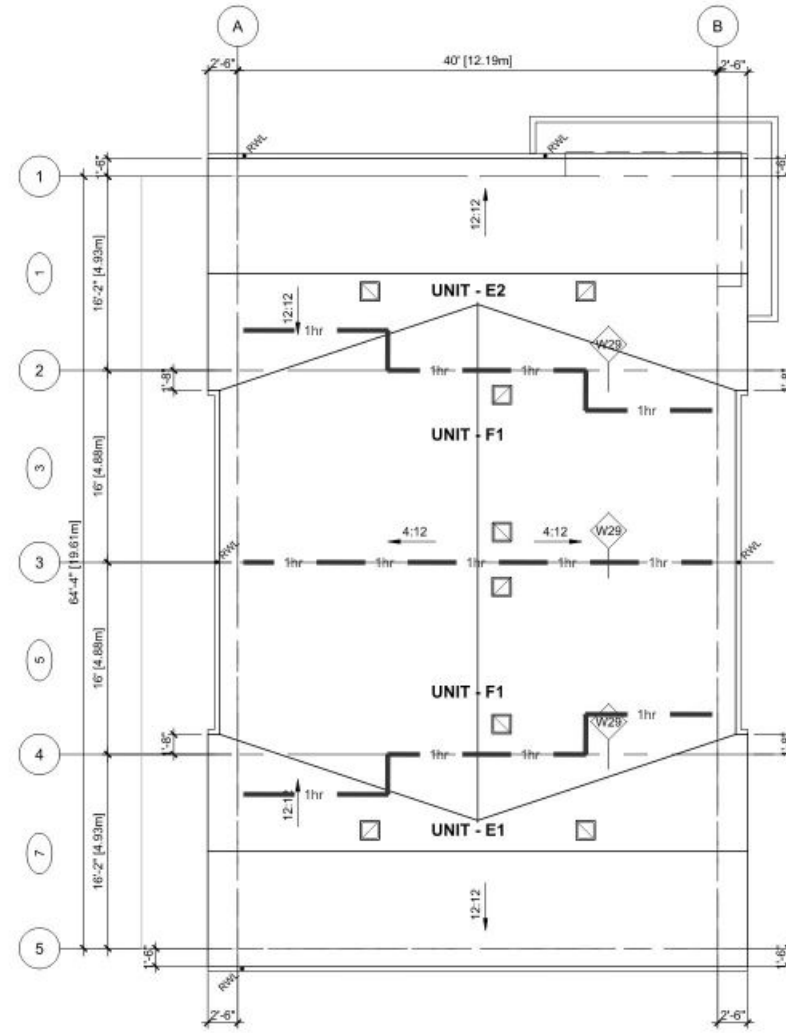
**A2.10b**

**PARTY WALL & ATTIC FIRE RATINGS**

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DENOTES 1 HR. FIRE RESISTANCE RATING  
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-----  
DENOTES 2 HR. FIRE RESISTANCE RATING  
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- LEGEND:**
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  - TYPICAL BULKHEAD / DROPPED CEILING (4'')
  - FIRE RATED FLOOR ASSEMBLY
  - BELOW SLAB INSULATION
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  - RWL TO BELOW
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**Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07**



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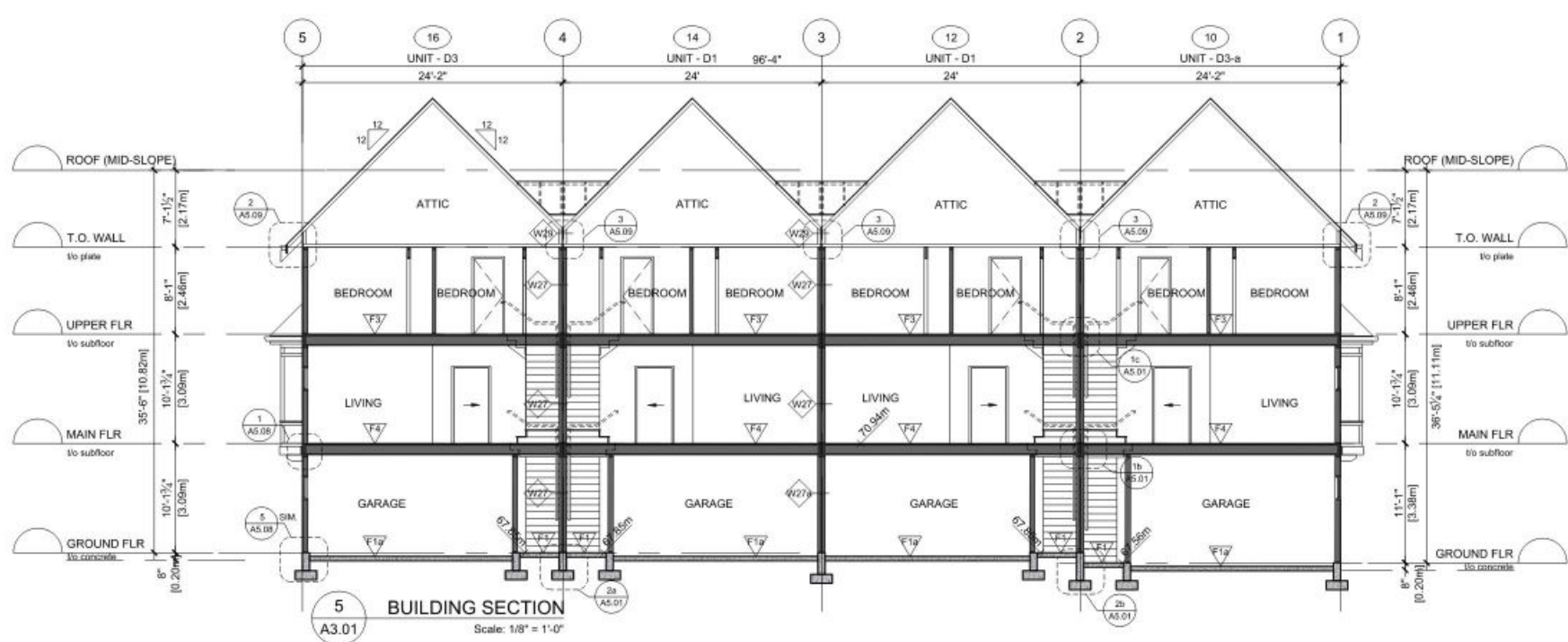
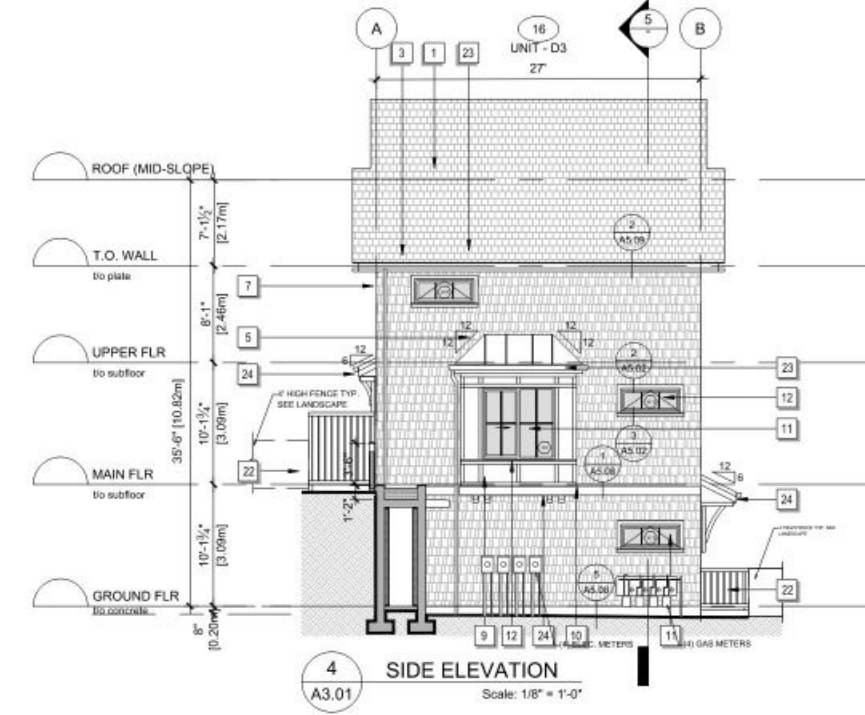
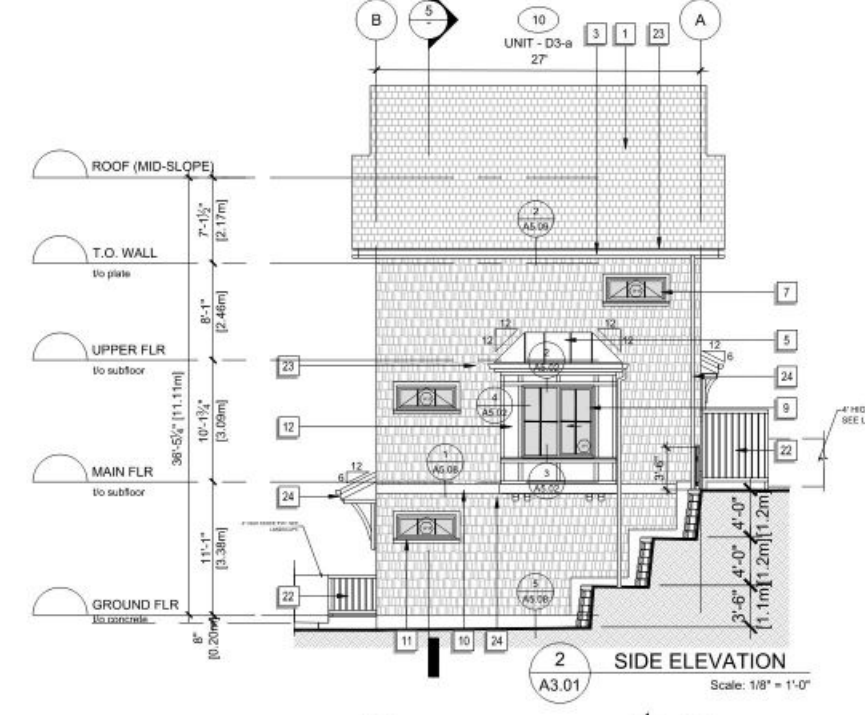


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #1 ELEVATIONS**

DRAWING No.

**A3.01**



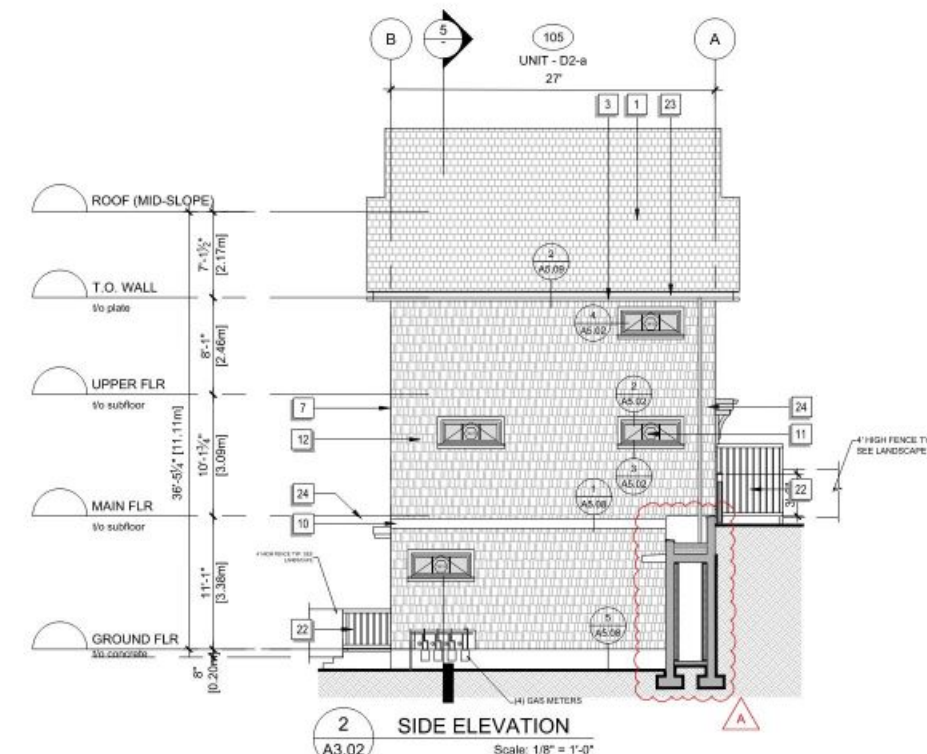
**COLOR SCHEME 2**

MATERIAL LEGEND	SCHEME 1	SCHEME 2
1 ASPHALT SHINGLE PITCHED ROOF	FINED ANTIQUE BLACK (SW BLACK)	
2 WOOD SHAKES PAINTED	LIGHT GREY (SW LIGHT GREY)	
3 PERFORATED VINYL COPPER	CHARCOAL GREY (SW CHARCOAL GREY)	
4 STAINED CREAM SHIPIT	OLYMPIC BLUE TRANSPARENT COLOUR MATCHING TOOLS	
5 METAL ROOF	CHARCOAL	
6 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE, PAINTED	CHARCOAL GREY (SW CHARCOAL GREY)	DEEP BLUE (SW DEEP BLUE)
7 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE, PAINTED	LIGHT GREY (SW LIGHT GREY)	DEEP BLUE (SW DEEP BLUE)
8 FIBRE CONCRETE SINGLE BOARD PAINTED	CHARCOAL GREY (SW CHARCOAL GREY)	DEEP BLUE (SW DEEP BLUE)
9 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS, PAINTED	CHARCOAL GREY (SW CHARCOAL GREY)	DEEP BLUE (SW DEEP BLUE)
10 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS, PAINTED	LIGHT GREY (SW LIGHT GREY)	DEEP BLUE (SW DEEP BLUE)
11 VINYL FRAMING WINDOWS	BLACK (SW BLACK)	
12 WOOD TRIM PAINTED	BLACK (SW BLACK)	
13 GYRO WOOD SHALLOON PANEL, PAINTED	BLACK (SW BLACK)	
14 ALUMINUM GARAGE DOOR PAINTED	CHARCOAL GREY (SW CHARCOAL GREY)	
15 WOOD SHALLOON BATHY POSTS, BATHS & MATTERS, PAINTED	EM LIGHT GREY (SW LIGHT GREY)	EM CREAM (SW CREAM)
16 SHALLOON DOOR	CHARCOAL GREY (SW CHARCOAL GREY)	
17 ENTRY DOOR METAL GLAZE (ALUMINUM) PAINTED	CHARCOAL GREY (SW CHARCOAL GREY)	
18 ALUMINUM GARAGE DOOR PAINTED	CHARCOAL GREY (SW CHARCOAL GREY)	
19 WOOD SHALLOON BATHY POSTS, BATHS & MATTERS, PAINTED	EM LIGHT GREY (SW LIGHT GREY)	EM CREAM (SW CREAM)
20 SHALLOON DOOR	CHARCOAL GREY (SW CHARCOAL GREY)	
21 PRIVACY SCREEN w/ WOOD FINISH & GLAZE	BLACK FRAME w/ PLATE COLOUR TO MATCH SHALLOON BATHS	
22 PRE-FINISHED ALUMINUM GUTTER & SILL	TO MATCH PANEL COLOUR	
23 WOOD DETAILS, BRACKET, DENTIL, PAINTED	EM LIGHT GREY (SW LIGHT GREY)	EM CREAM (SW CREAM)
24 WOOD PLANTER BOX, PAINTED	EM LIGHT GREY (SW LIGHT GREY)	EM CREAM (SW CREAM)
25 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE, PAINTED	BLACK	

NOTE: 1. ALL FURNISHINGS TO BE MATCH METALS - COLOURS TO MATCH TRIM



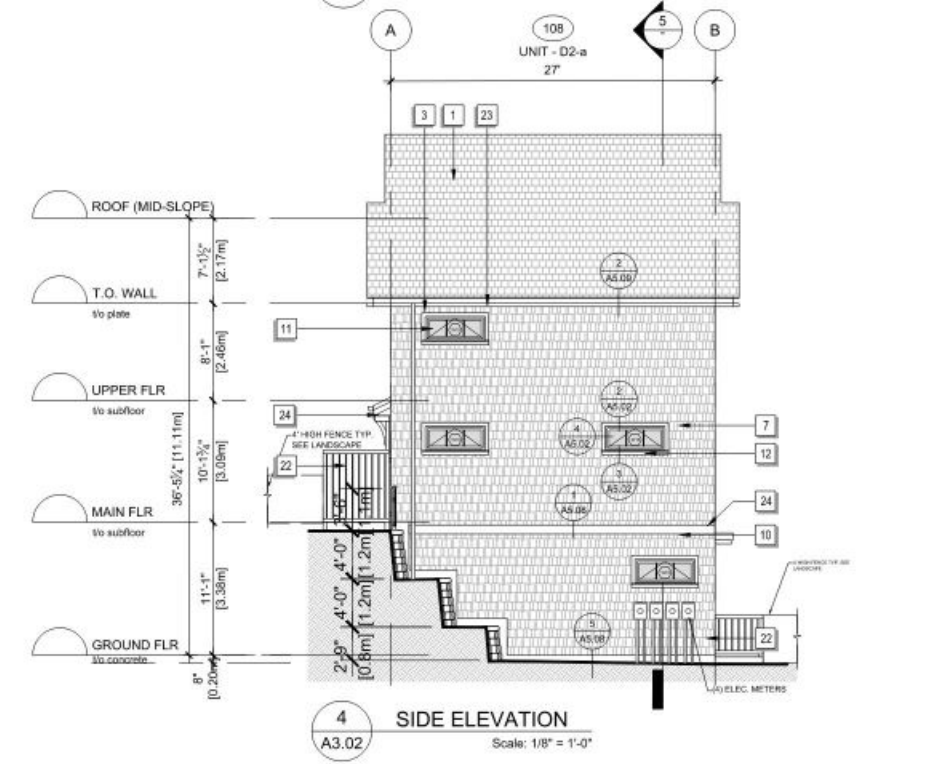
1 FRONT ELEVATION  
Scale: 1/8" = 1'-0"



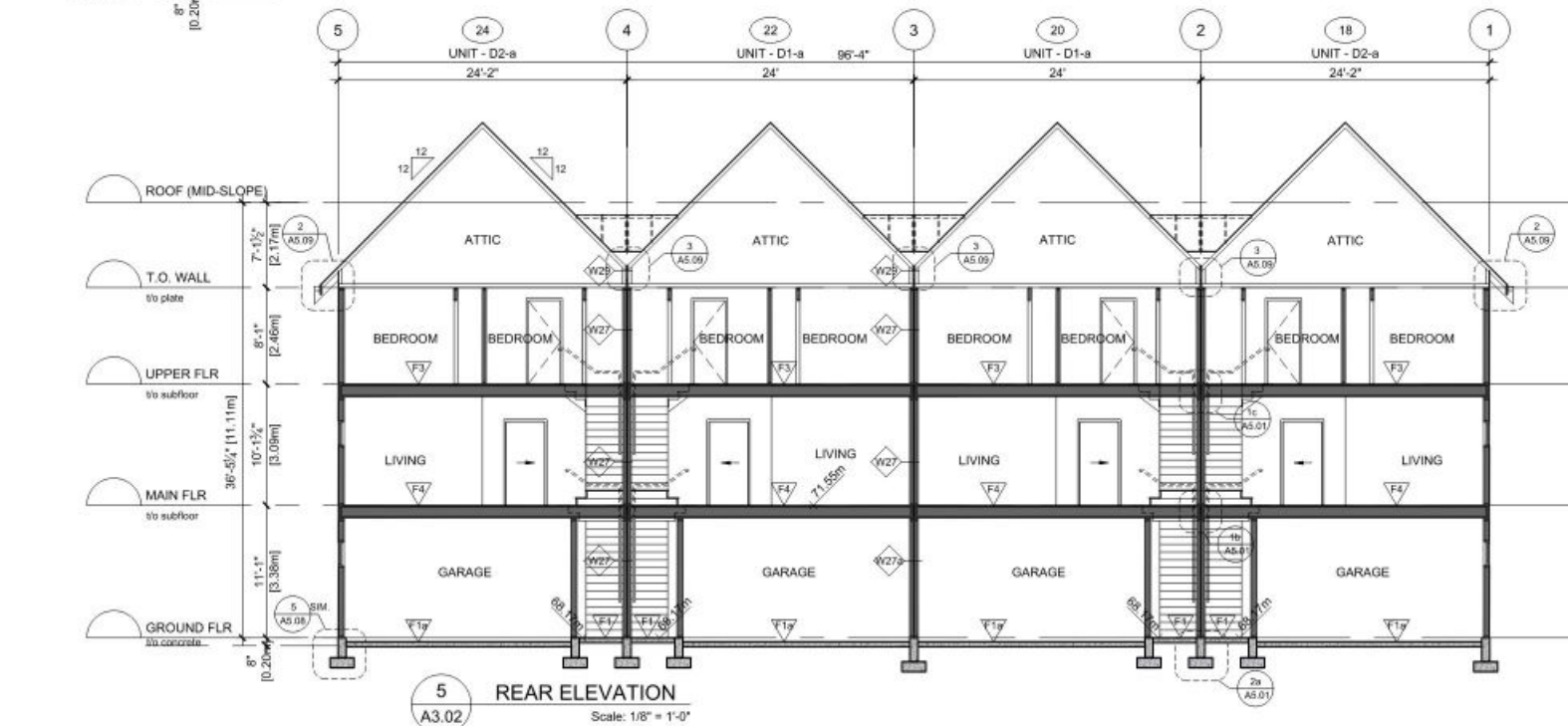
2 SIDE ELEVATION  
Scale: 1/8" = 1'-0"



3 REAR ELEVATION  
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION  
Scale: 1/8" = 1'-0"



5 REAR ELEVATION  
Scale: 1/8" = 1'-0"

COLOR SCHEME 1

MATERIAL LEGEND	SCHEME 1	SCHEME 2
	1 ASPHALT SHINGLE PITCHED ROOF	FINED ANTIQUE BLACK (SW-BLACK)
2 WOOD SHAKES PAINTED	LIGHT GREY (SW-DRUMMET)	CREAM (SW-DRUMMET)
3 PERFORATED VINYL COPPER	CHARCOAL (SW-DRUMMET)	
4 STAINED CREAM SHIPIT	SLIPPER BLUE TRANSFER FINISH (SW-NATURAL TONE)	
5 METAL ROOF	CHARCOAL	
6 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE PAINTED	CHARCOAL GREY (SW-CHARCOAL GREY)	DEEP BLUE (SW-CHARCOAL GREY)
7 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE PAINTED	LIGHT GREY (SW-DRUMMET)	CREAM (SW-DRUMMET)
8 FIBRE CONCRETE SINGLE BOARD PAINTED	CHARCOAL GREY (SW-CHARCOAL GREY)	DEEP BLUE (SW-CHARCOAL GREY)
9 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS PAINTED	CHARCOAL GREY (SW-CHARCOAL GREY)	CREAM (SW-DRUMMET)
10 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS PAINTED	LIGHT GREY (SW-DRUMMET)	CREAM (SW-DRUMMET)
11 VINYL FRAMING WINDOWS	BLACK (SW-BLACK)	
12 2x4 WOOD TRIM PAINTED	LIGHT GREY (SW-DRUMMET)	CREAM (SW-DRUMMET)
13 2x4 WOOD SHALLOONY FRAMING PAINTED	LIGHT GREY (SW-DRUMMET)	CREAM (SW-DRUMMET)
14 ENTRY DOOR METAL CLAD (VINYL) PAINTED	CHARCOAL GREY (SW-CHARCOAL GREY)	
15 ALUMINUM GARAGE DOOR PAINTED	CHARCOAL GREY (SW-CHARCOAL GREY)	
16 WOOD SHALLOONY DOOR PAINTED	EM LIGHT GREY (SW-DRUMMET)	EM CREAM (SW-DRUMMET)
17 BRASS DOOR	CHARCOAL GREY (SW-CHARCOAL GREY)	
18 PRIVACY SCREEN WOOD FINISH & GLASS	BLACK FRAME w/ GLASS COLOR TO MATCH SHIBUI BOARD	
19 PRE-FINISHED ALUMINUM GUTTER & DRAIN	TO MATCH FRAMING COLOR	
20 WOOD DETAILS BRACKET & DENTIL PAINTED	EM LIGHT GREY (SW-DRUMMET)	EM CREAM (SW-DRUMMET)
21 WOOD PLANTER BOX PAINTED	EM LIGHT GREY (SW-DRUMMET)	EM CREAM (SW-DRUMMET)
22 FINISHABLE ALUMINUM WINDOW LINER FINISH	TO MATCH TRIM COLOR	
23 WOOD PLANTER BOX PAINTED	BLACK	

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
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3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #2 ELEVATIONS**

DRAWING No.

**A3.02**

**Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07**

REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
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PROJECT NUMBER	DD-92
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CONSULTANT	

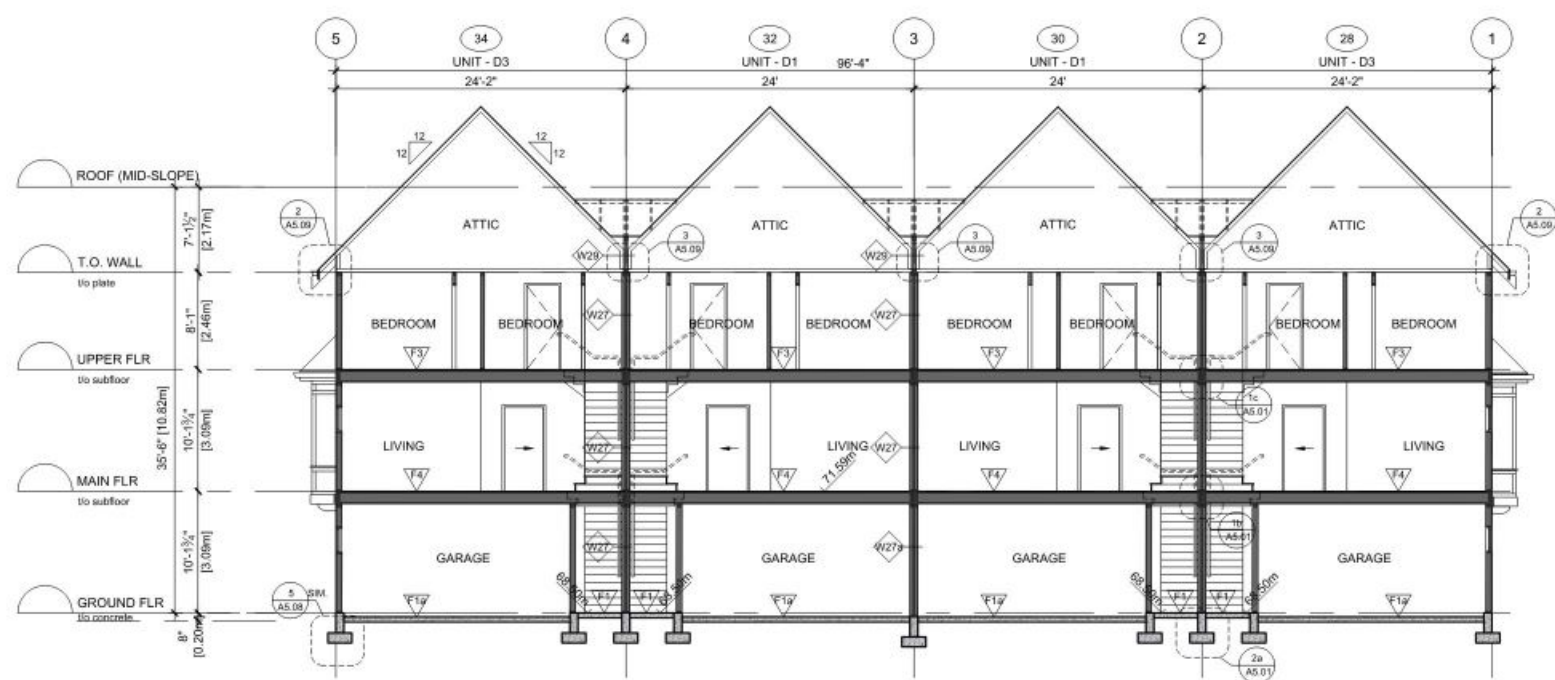
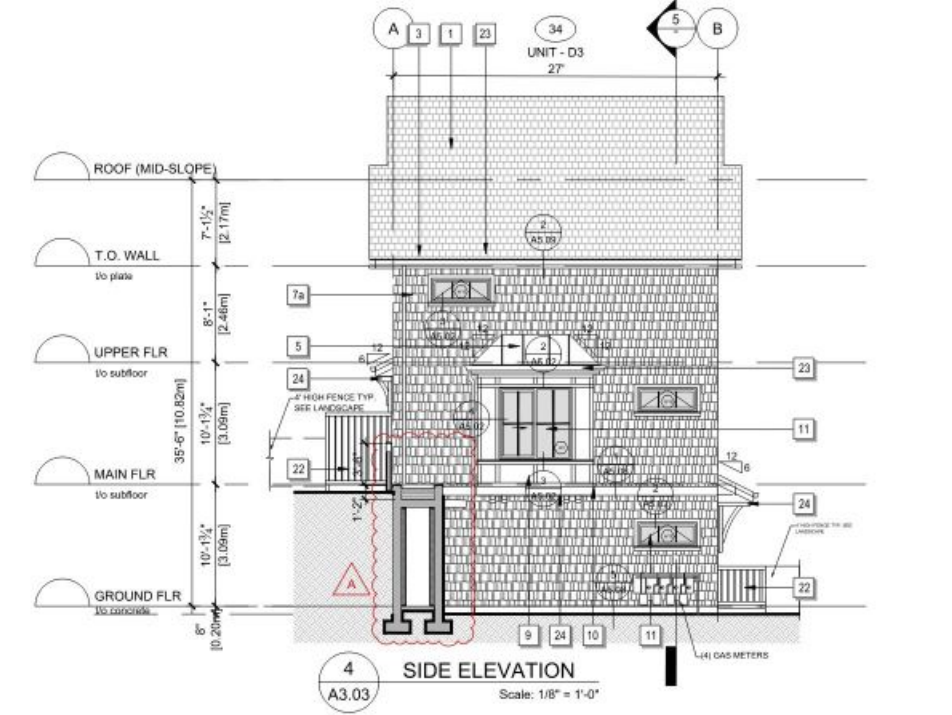
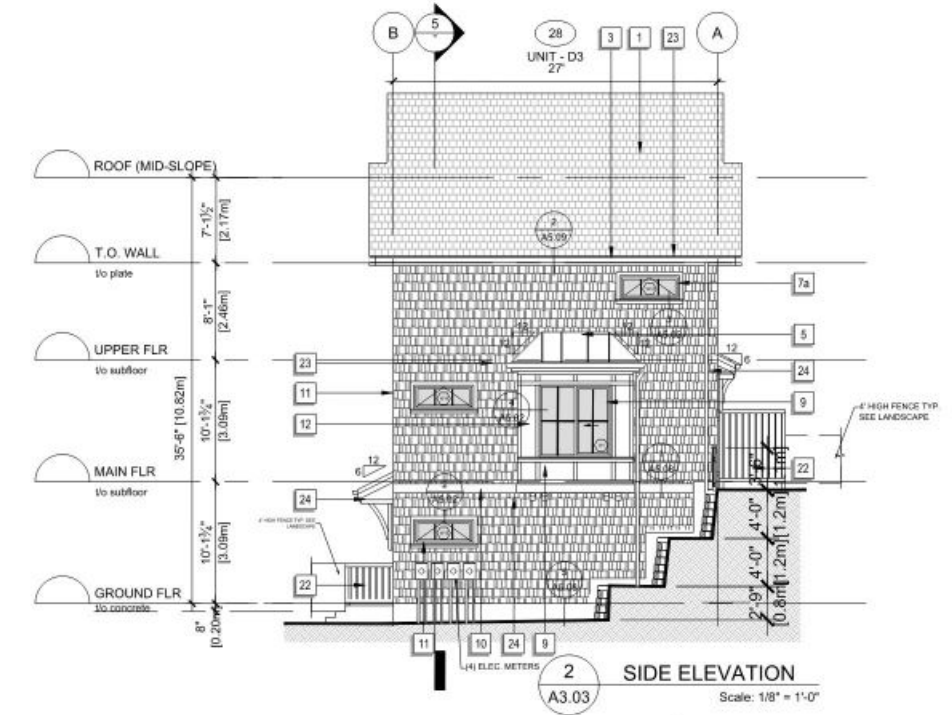
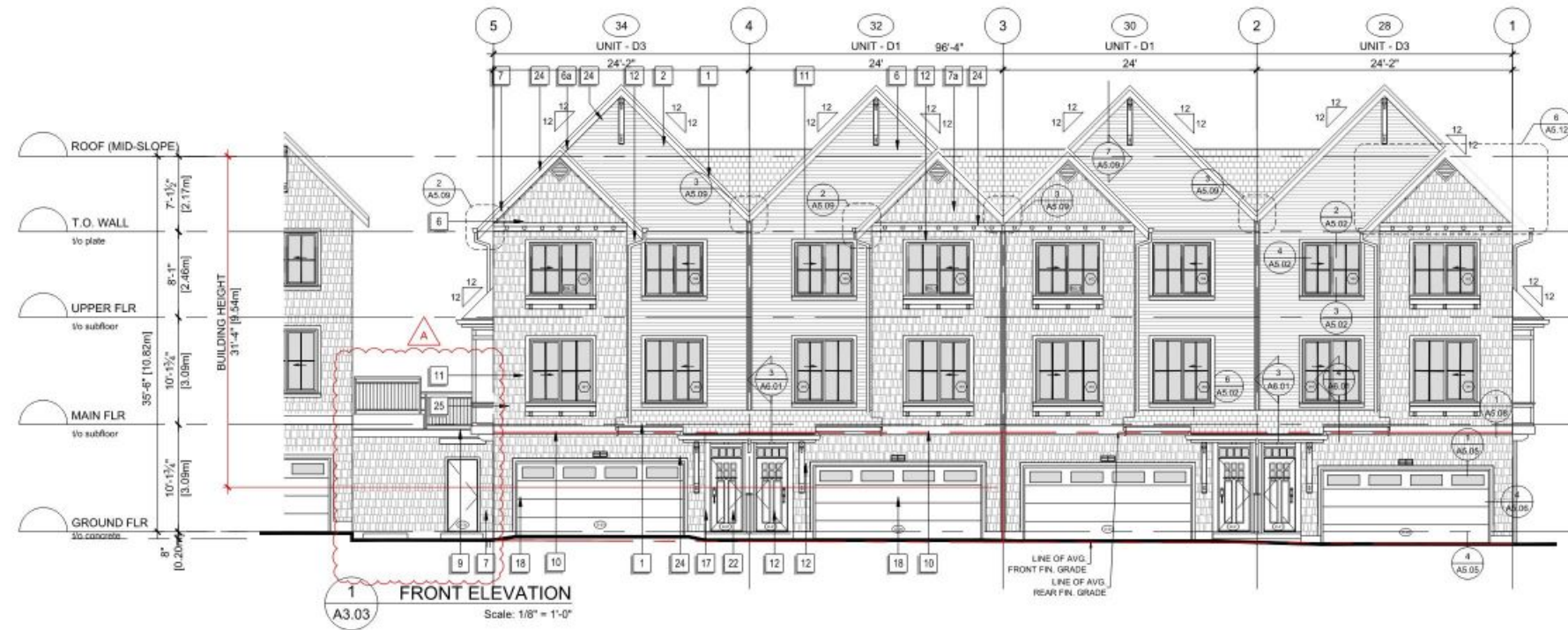


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #3 ELEVATIONS**

DRAWING No.

**A3.03**



**COLOR SCHEME 2**

MATERIAL LEGEND	SCHEME 1	SCHEME 2
1 ASPHALT SHINGLE PITCHED ROOF	OPTIONAL	FINED ANTIQUA BLACK (SW-BLACK)
2 WOOD SHAKES PAINTED	OPTIONAL	LIGHT GREY (SW-PAINTS)
3 PERFORATED VINYL COPPER	OPTIONAL	BRONZE GREEN (DZ)
4 STAINED CREAM SHIPIT	OPTIONAL	OLYMPIC BLUE-TAN (MCCM-NATURAL-TONE)
5 METAL ROOF	OPTIONAL	OPTIONAL
6 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE, PAINTED	CHARCOAL GREY (SW-CHARCOAL GREY)	DEEP BLUE (SW-DEEP BLUE)
7 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE, PAINTED	LIGHT GREY (SW-PAINTS)	CREAM (SW-CREAM)
8 FIBRE CONCRETE SINGLE BOARD PAINTED	CHARCOAL GREY (SW-CHARCOAL GREY)	DEEP BLUE (SW-DEEP BLUE)
9 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS, PAINTED	CHARCOAL GREY (SW-CHARCOAL GREY)	CREAM (SW-CREAM)
10 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS, PAINTED	LIGHT GREY (SW-PAINTS)	CREAM (SW-CREAM)
11 FIBRE CONCRETE PANEL (SMOOTH)	LIGHT GREY (SW-PAINTS)	CREAM (SW-CREAM)
12 RED WOOD SHIPIT SHAKES PAINTED	OPTIONAL	MATCH BRICK COLOR
13 VINYL FRAMING WINDOWS	OPTIONAL	BLACK OR BLACK
14 2x4 WOOD TRIM PAINTED	OPTIONAL	CREAM (SW-PAINTS)
15 2x4 WOOD SHIPIT TRIM PAINTED	OPTIONAL	CREAM (SW-PAINTS)
16 2x4 WOOD SHIPIT TRIM PAINTED	OPTIONAL	CREAM (SW-PAINTS)
17 ENTRY DOOR METAL SLIP-ON (ALUMINUM) PAINTED	OPTIONAL	CHARCOAL GREY (SW-CHARCOAL GREY)
18 ALUMINUM GARAGE DOOR PAINTED	OPTIONAL	CHARCOAL GREY (SW-CHARCOAL GREY)
19 WOOD SHIPIT DOOR (WOOD) PAINTED	OPTIONAL	EM-LIGHT GREY (SW-PAINTS)
20 BRICK DOOR	OPTIONAL	EM-LIGHT GREY (SW-PAINTS)
21 BRICK DOOR	OPTIONAL	EM-LIGHT GREY (SW-PAINTS)
22 PRIVACY SCREEN WOOD FINISH & GLASS	OPTIONAL	BLACK FRAME IN PLATE COLOR TO MATCH BRICK & BRICK
23 PRE-FINISHED ALUMINUM GUTTER & DRAIN	OPTIONAL	TO MATCH FAÇADE COLOR
24 WOOD DETAILS BRACKET, DENTIL PAINTED	OPTIONAL	EM-LIGHT GREY (SW-PAINTS)
25 WOOD PLANTER BOX PAINTED	OPTIONAL	EM-LIGHT GREY (SW-PAINTS)
26 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS, PAINTED	OPTIONAL	BRONZE GREEN (DZ)
27 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS, PAINTED	OPTIONAL	BLACK

NOTE: 1. ALL FINISHES TO BE MATCH METALS - COLORS TO MATCH TRIM.

**Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07**



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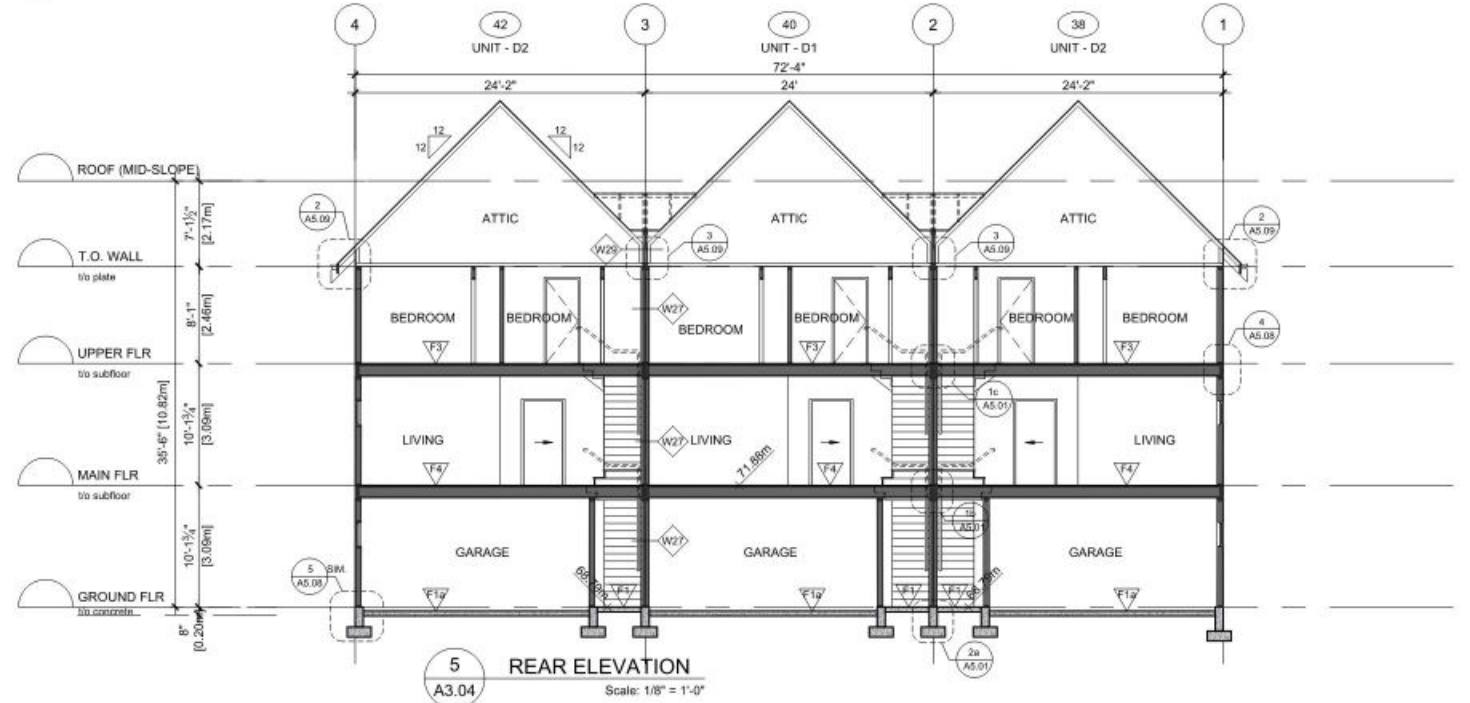
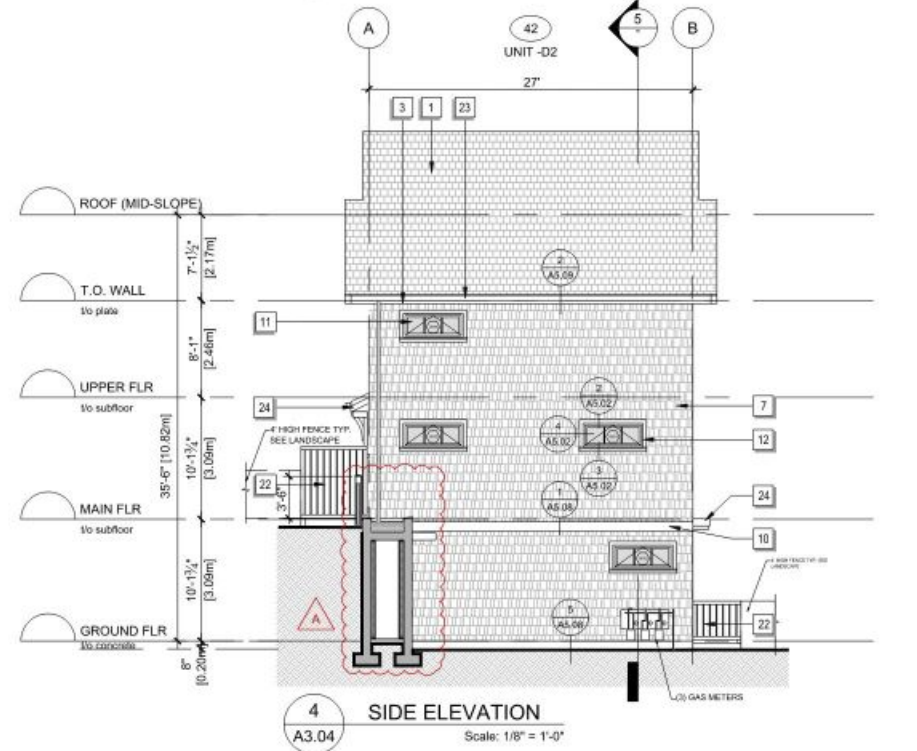
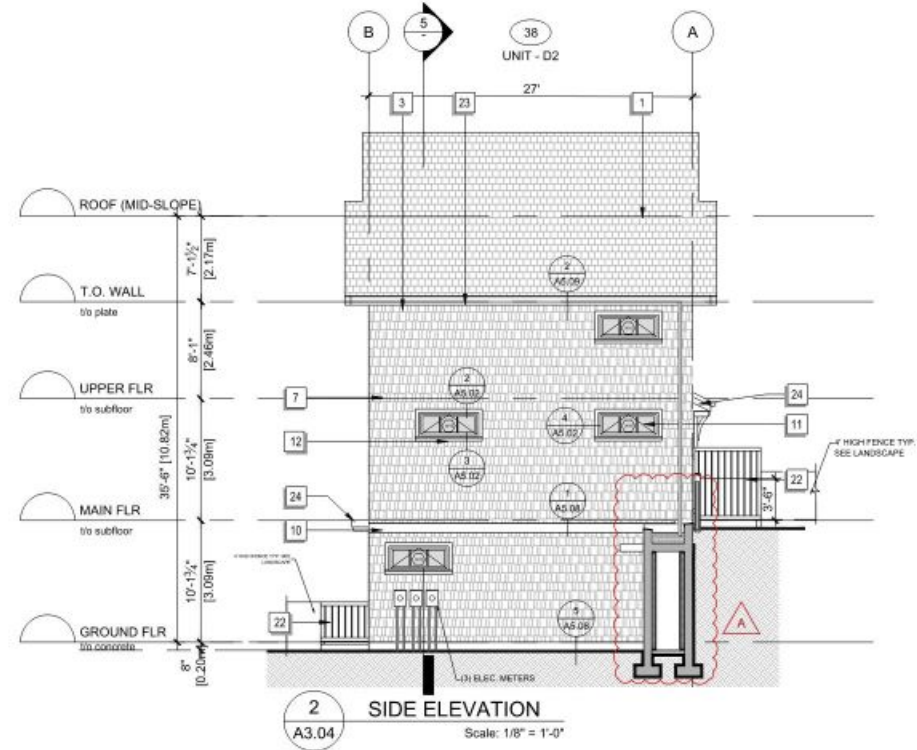


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #4 ELEVATIONS**

DRAWING No.

**A3.04**



**COLOR SCHEME 1**

MATERIAL LEGEND	SCHEME 1	SCHEME 2
1 ASPHALT SHINGLE PITCHED ROOF	FINED ANTIQUE BLACK (SW/BLACK)	
2 WOOD SHAKES PAINTED	LIGHT GREY (SW/WHITE)	CREAM (SW/LIGHT GREY)
3 PERFORATED VINYL COPPER		CHARCOAL GREY (SW/CHARCOAL GREY)
4 STAINED CEDAR SHIPIT		OLYMPIC BLUE-TAN/PAINTED OLYMPIC NATURAL/TAN
5 METAL ROOF		CHARCOAL
6 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	DARK BLUE (SW/DARK BLUE)
7 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE PAINTED	LIGHT GREY (SW/WHITE)	CREAM (SW/CREAM)
8 FIBRE CONCRETE SINGLE BOARD PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	DARK BLUE (SW/DARK BLUE)
9 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	CREAM (SW/CREAM)
10 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS PAINTED	LIGHT GREY (SW/WHITE)	CREAM (SW/CREAM)
11 VINYL FRAM WINDOWS	BLACK (SW/BLACK)	
12 WOOD TRIM PAINTED	BLACK (SW/BLACK)	
13 OFF-WHITE BALCONY FLOOR PAINTED	LIGHT GREY (SW/WHITE)	CREAM (SW/LIGHT GREY)
14 ALUMINUM GARAGE DOOR PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	
15 WOOD SHAKES WITH POSTS, BATTENS & RAFTERS PAINTED	EM LIGHT GREY (SW/WHITE)	EM CREAM (SW/LIGHT GREY)
16 BRASSY OAK	CHARCOAL GREY (SW/CHARCOAL GREY)	
17 ENTRY DOOR METAL CLAD (ALUMINUM) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	
18 ALUMINUM GARAGE DOOR PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	
19 WOOD SHAKES WITH POSTS, BATTENS & RAFTERS PAINTED	EM LIGHT GREY (SW/WHITE)	EM CREAM (SW/LIGHT GREY)
20 PRIVACY SCREEN WOOD FINISH & GATES	BLACK FRAME w/ PLATE COLOR TO MATCH SHAKES SIDING	
21 PRE-FINISHED ALUMINUM GUTTER & SILL	TO MATCH FASCIA COLOR	
22 WOOD DETAILS BRACKET/ DENTIL PAINTED	EM LIGHT GREY (SW/WHITE)	EM CREAM (SW/LIGHT GREY)
23 WOOD PLASTER BOUL PAINTED	EM LIGHT GREY (SW/WHITE)	EM CREAM (SW/LIGHT GREY)
24 FINISHABLE ALUMINUM/STAINLESS STEEL FENCE	EM LIGHT GREY (SW/WHITE)	EM CREAM (SW/LIGHT GREY)
25 WOOD PLASTER BOUL PAINTED	EM LIGHT GREY (SW/WHITE)	EM CREAM (SW/LIGHT GREY)
26 FINISHABLE ALUMINUM/STAINLESS STEEL FENCE	BLACK	

NOTE: 1. ALL FINISHES TO BE MATCH METALS - COLORS TO MATCH TRIM

**Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07**



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1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-92
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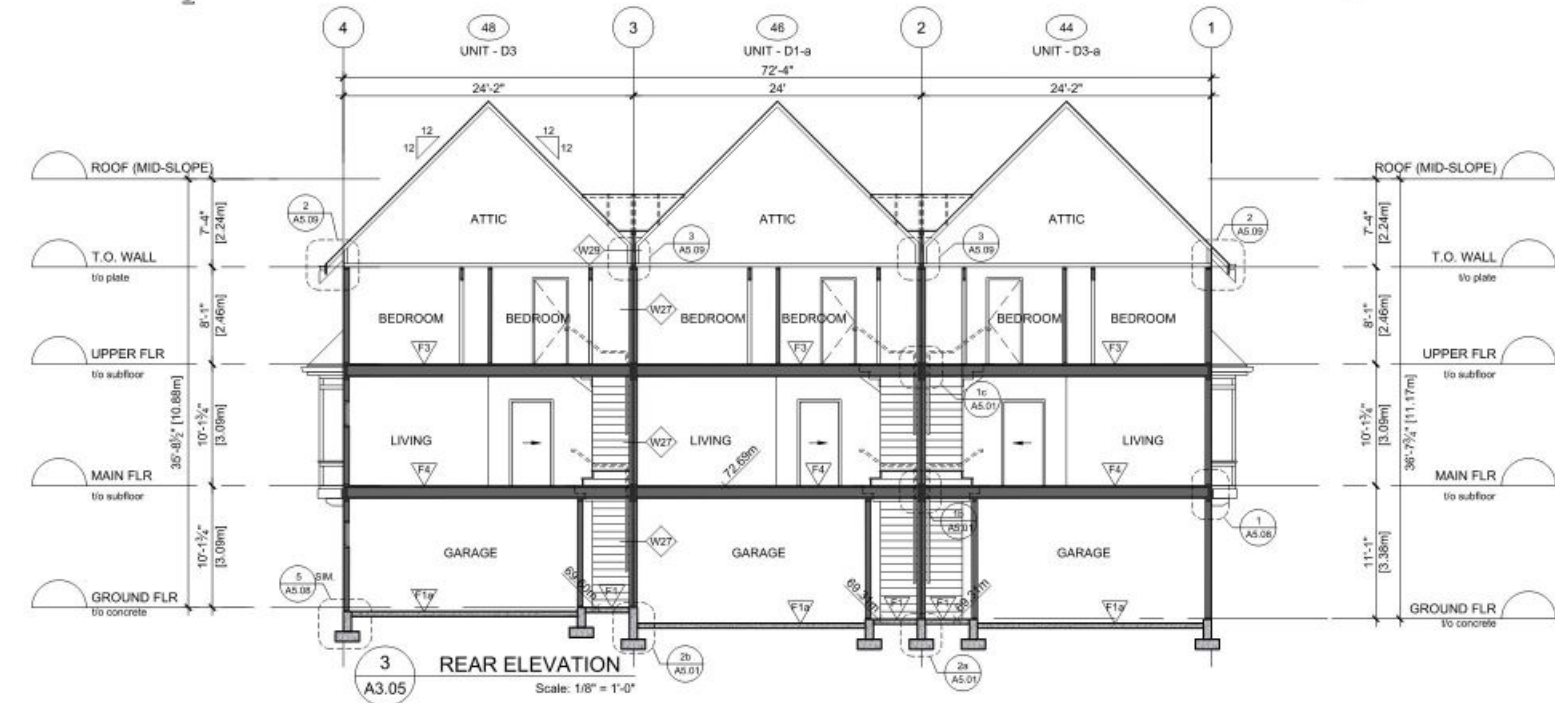
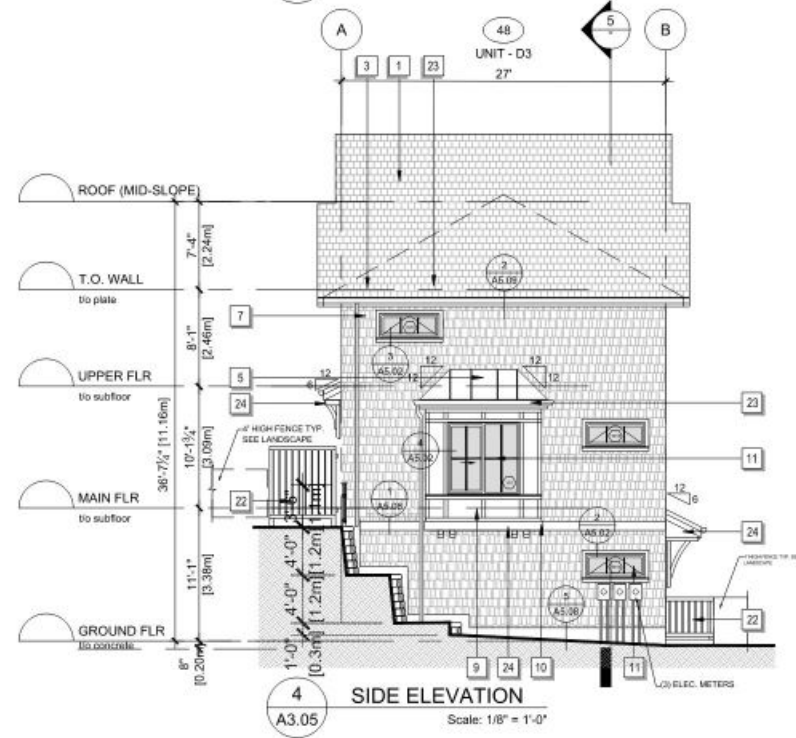
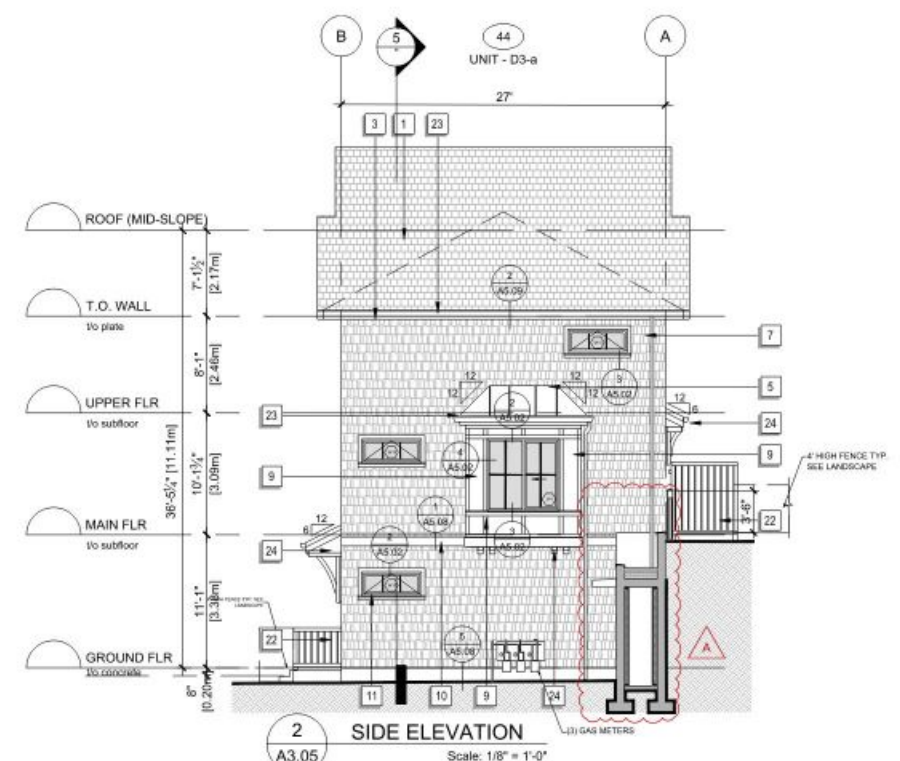


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
  
COLWOOD, BC

**BUILDING #5 ELEVATIONS**

DRAWING No.

**A3.05**

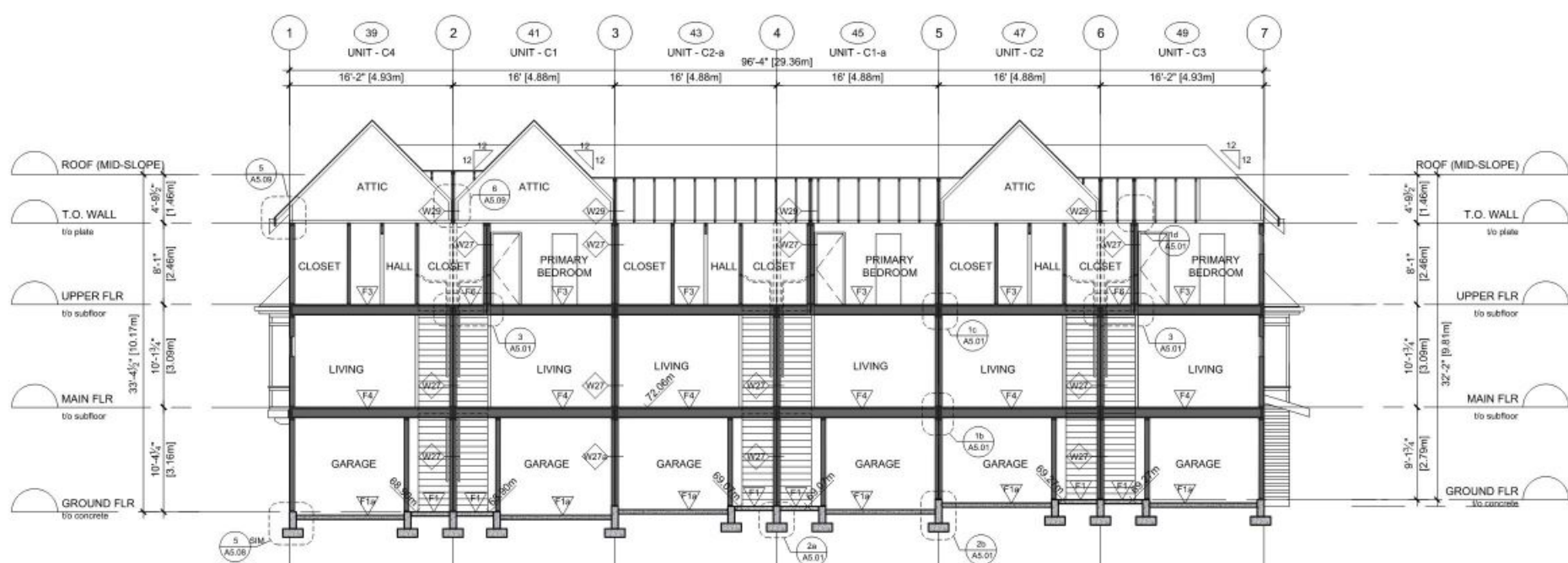
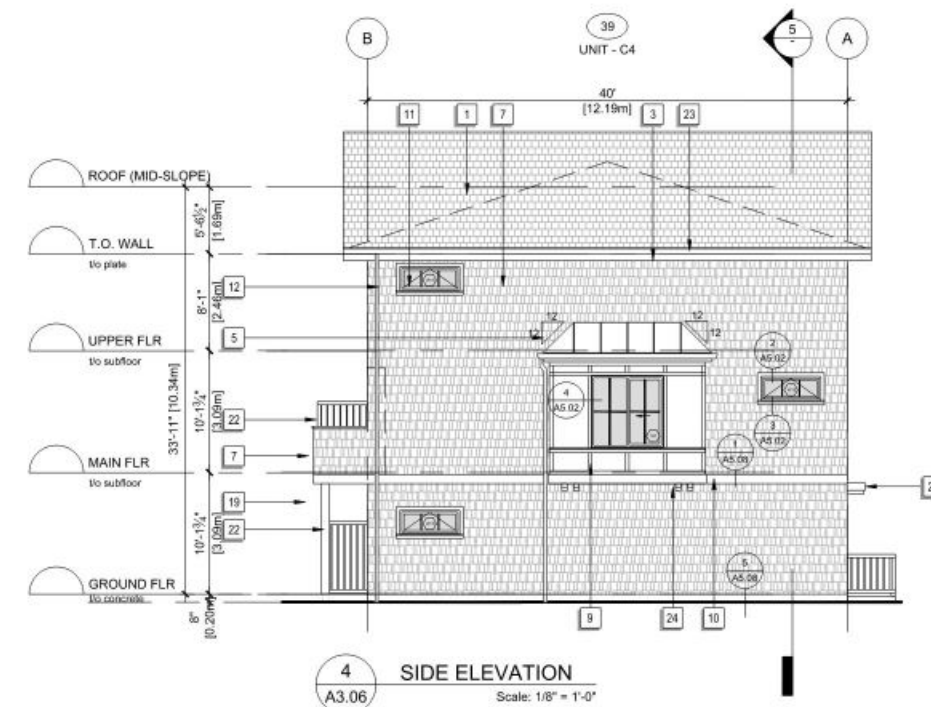
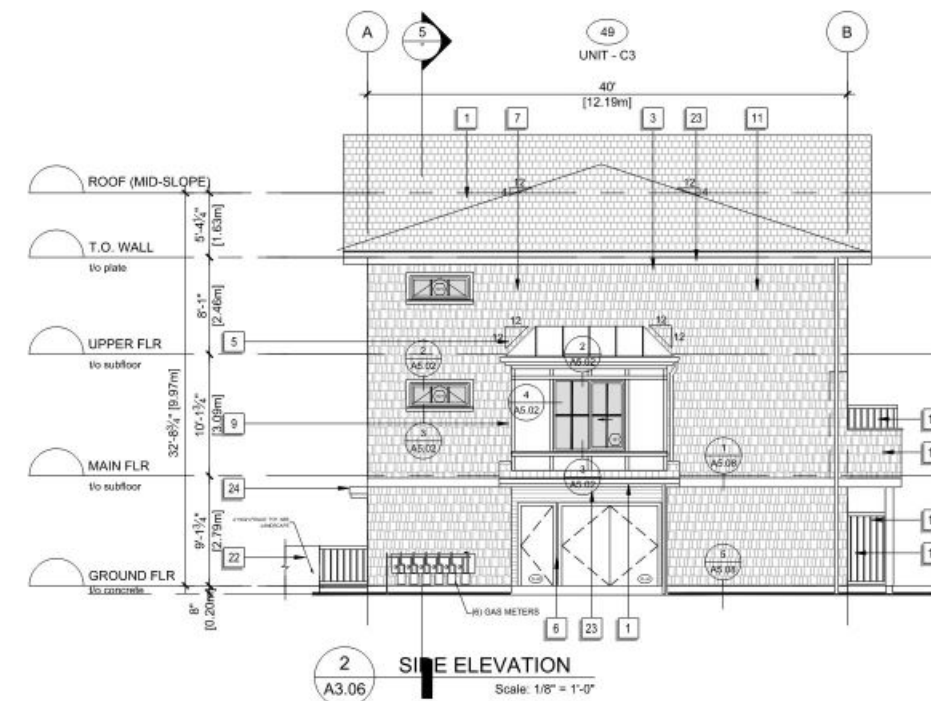


**COLOR SCHEME 2**

MATERIAL LEGEND	SCHEME 1		SCHEME 2	
	DESCRIPTION	COLOR	DESCRIPTION	COLOR
ROOF	1 ASPHALT SHINGLE PITCHED ROOF	FINED ANTIQUE BLACK (SW/BLACK)	2 ASPHALT SHINGLE PITCHED ROOF	FINED ANTIQUE BLACK (SW/BLACK)
WALL	3 WOOD SHAKES PAINTED	LIGHT GREY (SW/WHITE)	4 WOOD SHAKES PAINTED	CREAM (SW/LIGHT GREY)
	5 PERFORATED VINYL SHIPPY	CREAM (SW/WHITE)	6 PERFORATED VINYL SHIPPY	CREAM (SW/WHITE)
	7 STAINED CREAM SHIPPY	CREAM (SW/WHITE)	8 STAINED CREAM SHIPPY	CREAM (SW/WHITE)
	9 METAL ROOF	CHARCOAL GREY (SW/CHARCOAL GREY)	10 METAL ROOF	CHARCOAL GREY (SW/CHARCOAL GREY)
	11 FIBRE CONCRETE LAP BOARD (SMOOTH F' EXPOSURE) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	12 FIBRE CONCRETE LAP BOARD (SMOOTH F' EXPOSURE) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	13 FIBRE CONCRETE LAP BOARD (SMOOTH F' EXPOSURE) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	14 FIBRE CONCRETE LAP BOARD (SMOOTH F' EXPOSURE) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	15 FIBRE CONCRETE SINGLE BOARD PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	16 FIBRE CONCRETE SINGLE BOARD PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	17 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	18 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	19 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	20 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	21 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	22 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
DOOR	23 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	24 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	25 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	26 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	27 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	28 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	29 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	30 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	31 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	32 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	33 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	34 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	35 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	36 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	37 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	38 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	39 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	40 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	41 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	42 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
DETAILS	43 PRIVITY SCREEN WOOD FINISH & GATES	BLACK FRAME W/ PLATE COLOR TO MATCH SHAKES BOARD	44 PRE-FINISHED ALUMINUM GUTTER & SILL	TO MATCH FLOOR COLOR
	45 WOOD DETAILS BRACKET/ DENTIL PAINTED	SW/CREAM (SW/LIGHT GREY)	46 WOOD DETAILS BRACKET/ DENTIL PAINTED	SW/CREAM (SW/LIGHT GREY)
	47 WOOD PLANTER BOX PAINTED	SW/CREAM (SW/LIGHT GREY)	48 WOOD PLANTER BOX PAINTED	SW/CREAM (SW/LIGHT GREY)
	49 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	50 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	51 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	52 FIBRE CONCRETE PANEL (SMOOTH F' BATTERY) PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)

NOTE: 1. ALL FINISHES TO BE MATCH METALS - COLORS TO MATCH TRIM





**COLOR SCHEME 1**

MATERIAL LEGEND	SCHEME 1	SCHEME 2
1 ASPHALT SHINGLE PITCHED ROOF	FINISH ANTIQUE BLACK (SH/BLACK)	
2 WOOD SHAKES, PAINTED	LIGHT GREY (MM LIGHT GREY)	
3 PERFORATED VINYL COPPLY	CHARCOAL GREY (MM CHARCOAL GREY)	
4 STAINED CEMENT SIDING	CHARCOAL GREY (MM CHARCOAL GREY)	
5 METAL ROOF	CHARCOAL GREY (MM CHARCOAL GREY)	
6 FIBRE CEMENT LAP BOARD SMOOTH (F) EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	CHAR BLUE (MM CHAR BLUE)
7 FIBRE CEMENT LAP BOARD SMOOTH (F) EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	CHAR BLUE (MM CHAR BLUE)
8 FIBRE CEMENT LAP BOARD SMOOTH (F) EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	CHAR BLUE (MM CHAR BLUE)
9 FIBRE CEMENT LAP BOARD SMOOTH (F) EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	CHAR BLUE (MM CHAR BLUE)
10 FIBRE CEMENT LAP BOARD SMOOTH (F) EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	CHAR BLUE (MM CHAR BLUE)
11 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
12 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
13 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
14 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
15 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
16 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
17 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
18 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
19 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
20 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
21 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
22 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
23 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
24 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
25 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
26 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
27 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
28 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
29 VINYL FRAM WINDOWS	BLACK (MM BLACK)	
30 VINYL FRAM WINDOWS	BLACK (MM BLACK)	

NOTE: 1. ALL FINISHES TO BE MATCHED TO THE COLOR CHART.

**EKISTICS**  
Architecture

1925 Main Street  
Vancouver, BC,  
Canada, V5T 3C1  
T: 604.876.5050  
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ekistics.com

**ETTA**

REVISIONS

ISSUES	DATE
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PROJECT NUMBER: DD-92  
DRAWN BY: PM / RV  
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CONSULTANT:



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #6 ELEVATIONS**

DRAWING No. **A3.06**

Minor variation  
approved by the  
City of Colwood  
Director of  
Development  
Services on  
2023-11-07

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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET

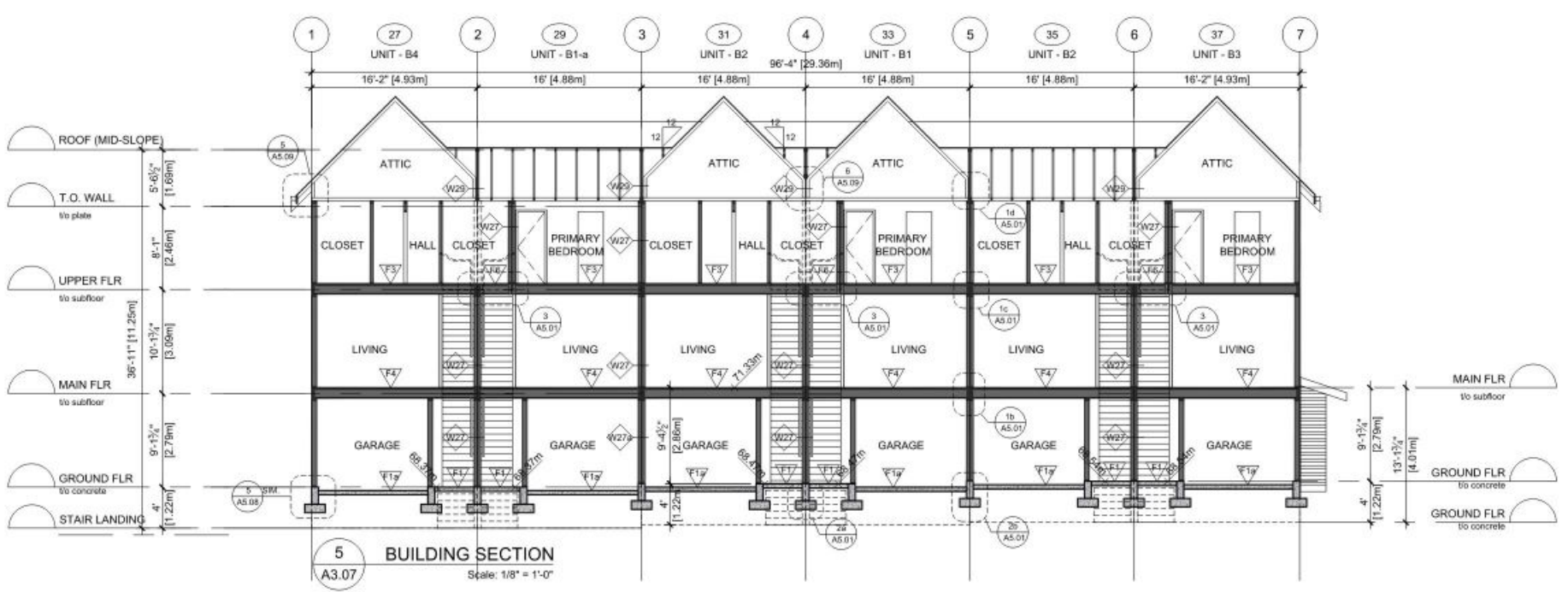
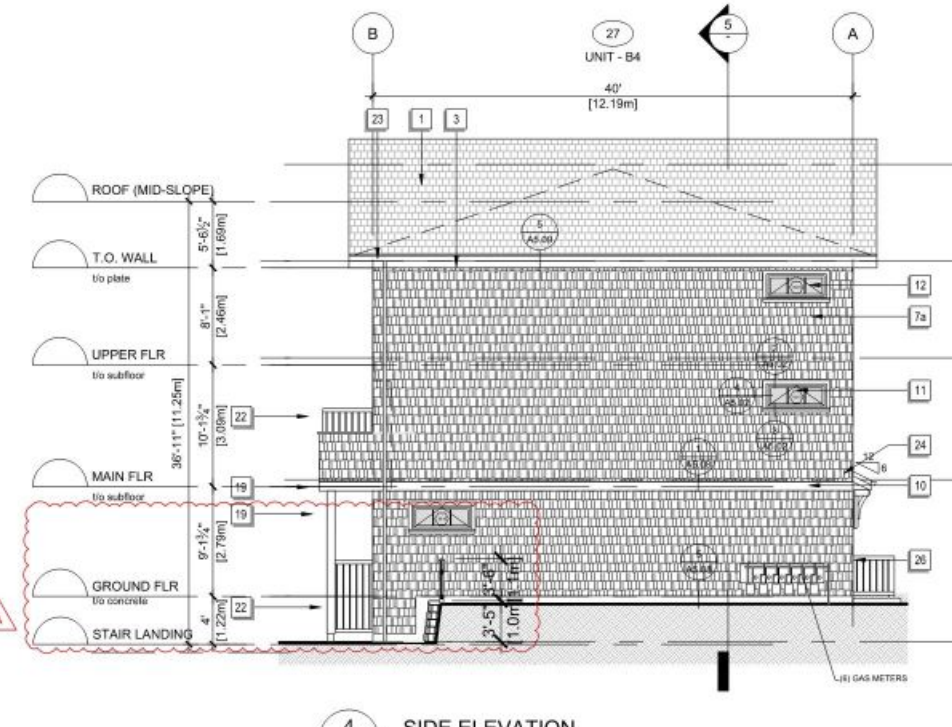
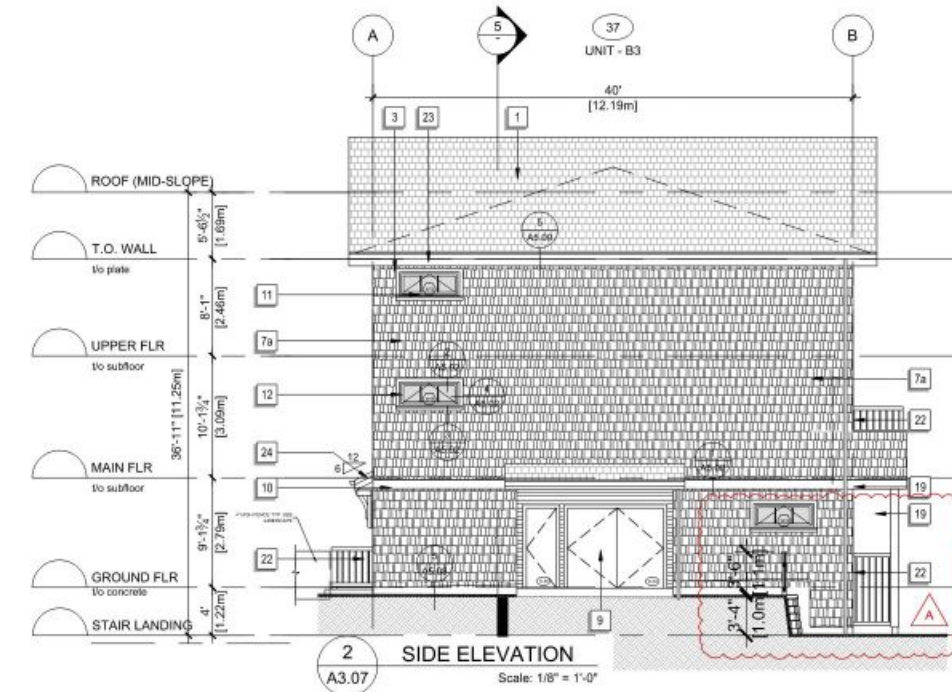
COLWOOD, BC

DRAWING TITLE

**BUILDING #7 ELEVATIONS**

DRAWING NO.

**A3.07**



**COLOR SCHEME 2**

MATERIAL LEGEND	SCHEME 1	SCHEME 2
ROOF	1 ASPHALT/FLYSH PITCHED ROOF	1 PANEL PATTERNS BLACK (PM BLACK)
	2 WOOD PANEL PAINTED	2 LIGHT GREY (PM GREY)
	3 PERFORATED VINYL DOOR	3 DRESS (PM DRESS)
	4 STAINED WOOD DOOR	4 (SEE ITEM 10)
	5 METAL ROOF	5 CHARCOAL
	6 FINE COMB LIP BOARD SMOOTH, F EXPOSURE, PAINTED	6 CHARCOAL GREY (PM CHARCOAL GREY)
	7 FINE COMB LAP BOARD SMOOTH, F EXPOSURE, PAINTED	7 LIGHT GREY (PM LIGHT GREY)
	8 FINE COMB SINGLE BOARD PAINTED	8 CHARCOAL GREY (PM CHARCOAL GREY)
	9 FINE COMB PANEL SMOOTH W/ BATTERS, PAINTED	9 CHARCOAL GREY (PM CHARCOAL GREY)
	10 FINE COMB PANEL SMOOTH W/ BATTERS, PAINTED	10 LIGHT GREY (PM LIGHT GREY)
	11 (SEE ITEM 10)	11 DRESS (PM DRESS)
	12 (SEE ITEM 10)	12 DRESS (PM DRESS)
	13 (SEE ITEM 10)	13 DRESS (PM DRESS)
	14 (SEE ITEM 10)	14 DRESS (PM DRESS)
	15 (SEE ITEM 10)	15 DRESS (PM DRESS)
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	19 (SEE ITEM 10)	19 DRESS (PM DRESS)
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	82 (SEE ITEM 10)	82 DRESS (PM DRESS)
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	97 (SEE ITEM 10)	97 DRESS (PM DRESS)
	98 (SEE ITEM 10)	98 DRESS (PM DRESS)
	99 (SEE ITEM 10)	99 DRESS (PM DRESS)
	100 (SEE ITEM 10)	100 DRESS (PM DRESS)

NOTE: 1. ALL FLASHINGS TO BE MATCH METAL. 2. COLORS TO MATCH TRIM.

Minor variation  
approved by the  
City of Colwood  
Director of  
Development  
Services on  
2023-11-07

REVISIONS

ISSUES	DATE
8	
7	
6	ISSUED FOR DP AMENDMENT 2023-10-10
5	ISSUED FOR BP APPLICATION 2023-10-27
4	RE-ISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER: DD-92  
DRAWN BY: PM / RV  
CHECKED BY: RR  
DATE CHECKED:  
CONSULTANT:

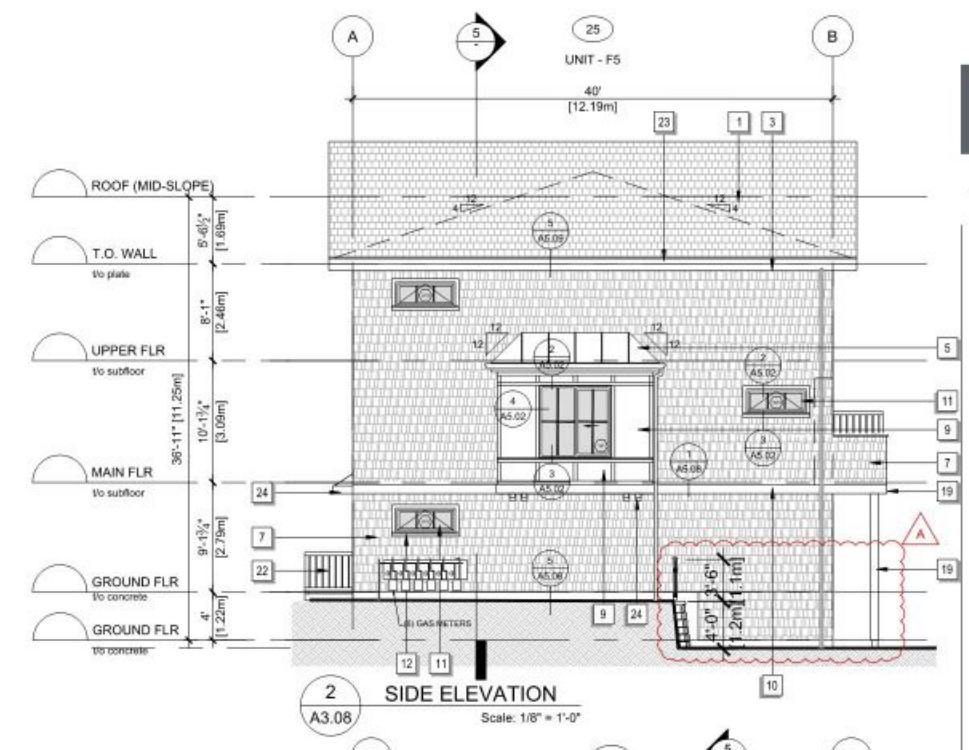
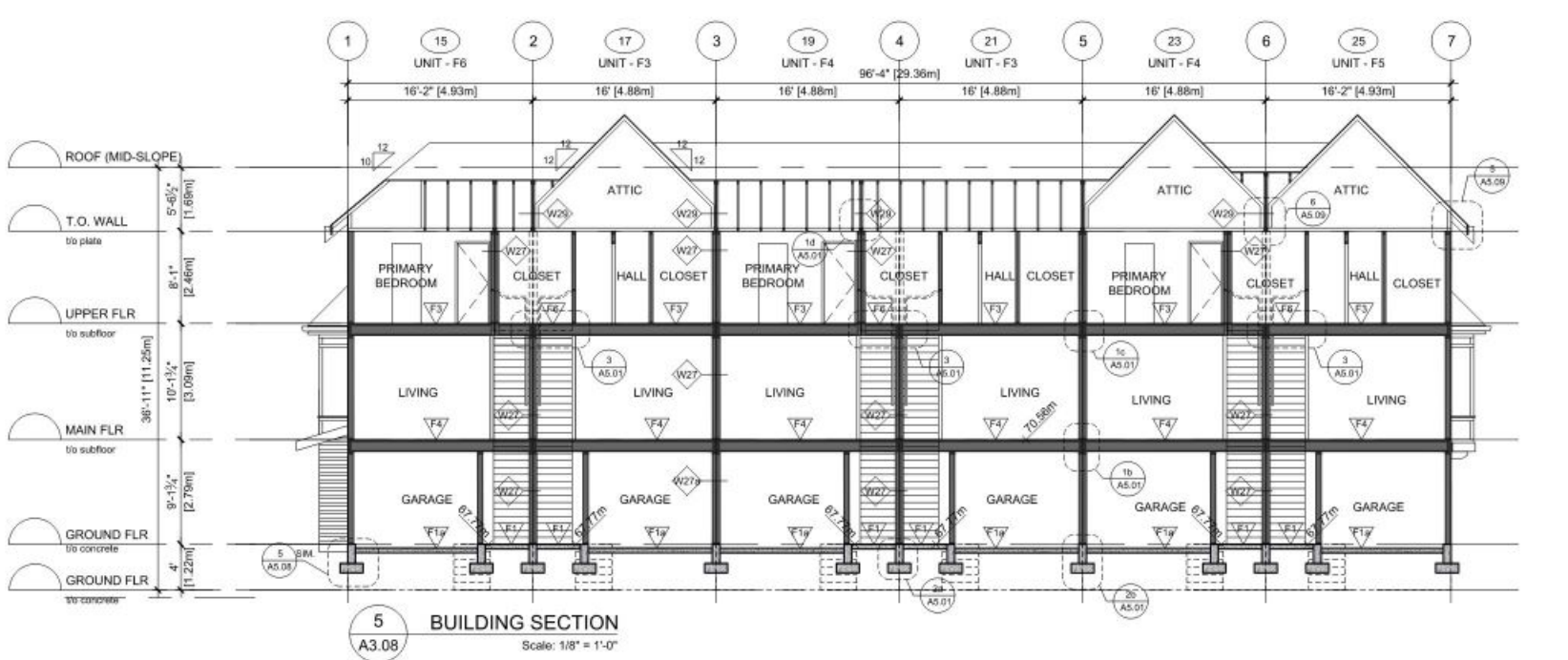


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #8 ELEVATIONS**

DRAWING No.

**A3.08**



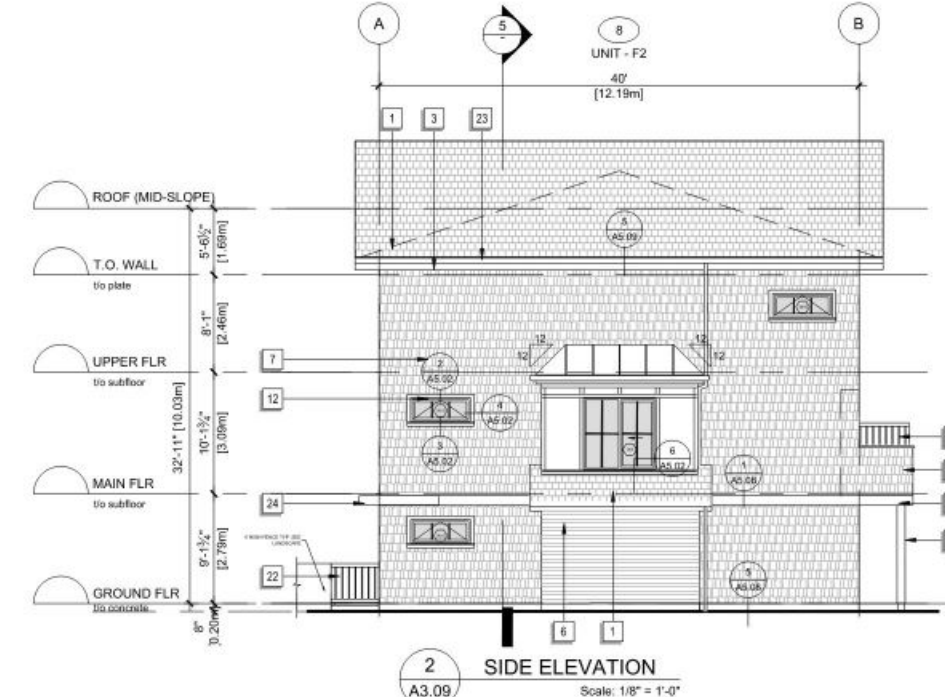
**COLOR SCHEME 1**

MATERIAL LEGEND	SCHEME 1	SCHEME 2
1 ASPHALT SHINGLE PITCHED ROOF	FINED ANTIQUE BLACK (SW/BLACK)	
2 WOOD SHAKES PAINTED	LIGHT GREY (SW/LIGHT GREY)	CREAM (SW/CREAM)
3 PERFORATED VINYL COPPER	(MATCH LIVEN (2))	
4 STAINED CREAM SHIPIT	SLIPFIC BLUE-TAN/PAINTED CREAM/PAINTED	
5 METAL ROOF	CORONA/COL	
6 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	DEEP BLUE (SW/DEEP BLUE)
7 FIBRE CONCRETE LAP BOARD (SMOOTH) w/ EXPOSURE PAINTED	LIGHT GREY (SW/LIGHT GREY)	CREAM (SW/CREAM)
8 FIBRE CONCRETE SINGLE BOARD PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	DEEP BLUE (SW/DEEP BLUE)
9 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	CREAM (SW/CREAM)
10 FIBRE CONCRETE PANEL (SMOOTH) w/ BATTENS PAINTED	LIGHT GREY (SW/LIGHT GREY)	CREAM (SW/CREAM)
11 VINYL FRAMING WINDOWS	BLACK (SW/BLACK)	
12 2x4 WOOD TRIM PAINTED	LIGHT GREY (SW/LIGHT GREY)	CREAM (SW/CREAM)
13 2x4 WOOD SHALLOON PAINTED	LIGHT GREY (SW/LIGHT GREY)	CREAM (SW/CREAM)
14 ENTRY DOOR METAL SLIP-ON/PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	
15 ALUMINUM GARAGE DOOR PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)	
16 WOOD CLADDING WITH POSTS, RAILS & BATTERS PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	EM. CREAM (SW/EM. CREAM)
17 BRASS DOOR	CHARCOAL GREY (SW/CHARCOAL GREY)	
18 PRIVACY SCREEN WOOD FINISH & GATES	BLACK FRAME w/ PLATE COLOR TO MATCH SHAKES & BOARDS	
19 PRE-FINISHED ALUMINUM GUTTER & SILL	TO MATCH FAÇADE COLOR	
20 WOOD DETAILS, BRACKET, DENTIL PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
21 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
22 FINISH FLOOR SLAB/CONCRETE/CONCRETE/CONCRETE	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
23 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
24 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
25 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
26 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
27 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
28 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
29 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	
30 WOOD PLANTED BOULDER PAINTED	EM. LIGHT GREY (SW/EM. LIGHT GREY)	

NOTE: 1. ALL FINISHES TO BE MATCH METALS - COLORS TO MATCH TRIM



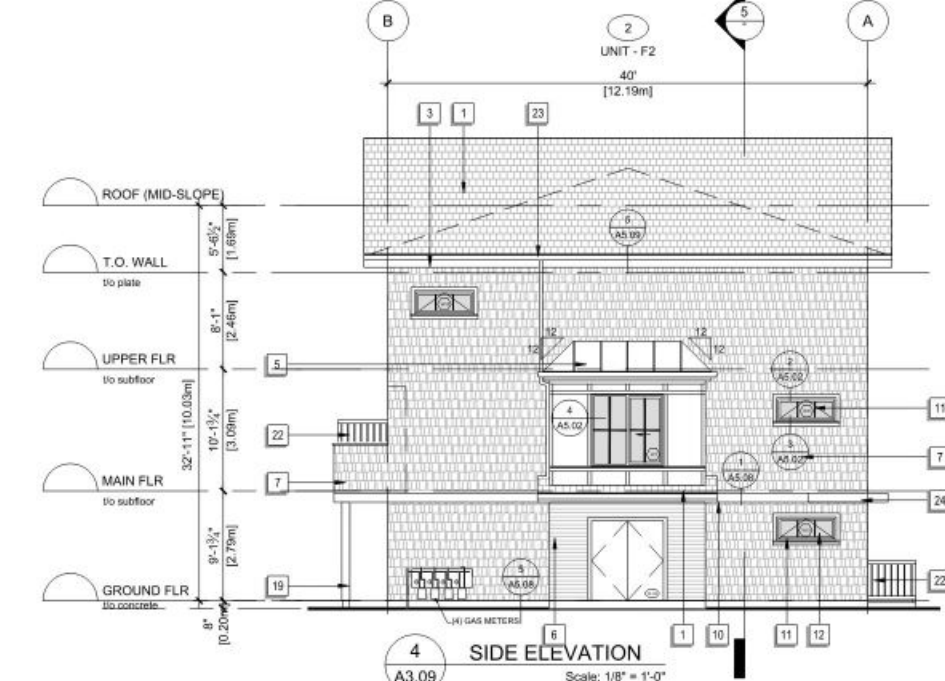
1 FRONT ELEVATION  
A3.09 Scale: 1/8" = 1'-0"



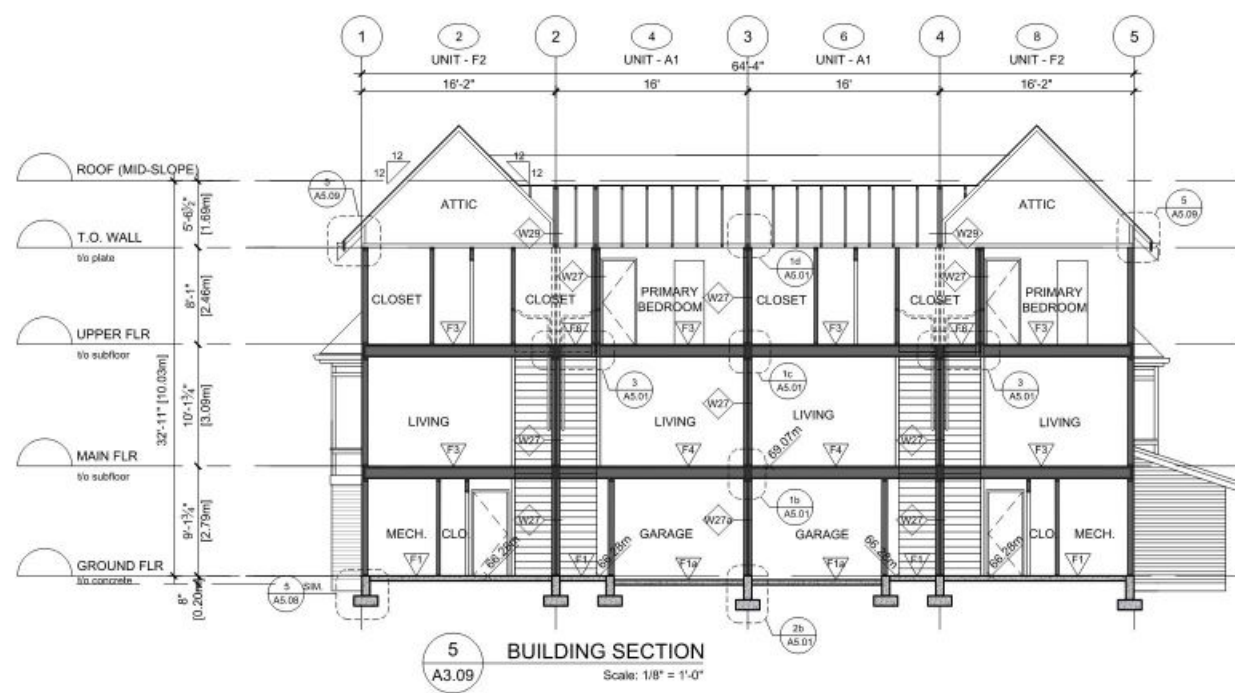
2 SIDE ELEVATION  
A3.09 Scale: 1/8" = 1'-0"



3 REAR ELEVATION  
A3.09 Scale: 1/8" = 1'-0"



4 SIDE ELEVATION  
A3.09 Scale: 1/8" = 1'-0"



5 BUILDING SECTION  
A3.09 Scale: 1/8" = 1'-0"

COLOR SCHEME 1

MATERIAL LEGEND		SCHEME 1	SCHEME 2
ROOF	1. METAL ROOFING	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
WALL	2. EXTERIOR WALLS	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	3. WINDOW CASINGS	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	4. DOOR CASINGS	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	5. BALCONY RAILINGS	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	6. GARAGE DOOR	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	7. MECH. ENCLOSURE	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	8. ATTIC WALLS	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
FLOOR	9. MAIN FLOOR	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	10. UPPER FLOOR	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	11. GARAGE FLOOR	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	12. ATTIC FLOOR	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
DETAILS	13. WINDOW SILL	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	14. DOOR SILL	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	15. BALCONY FLOOR	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)
	16. GARAGE FLOOR	CHARCOAL GREY (SM CHARCOAL GREY)	CHARCOAL GREY (SM CHARCOAL GREY)

REVISIONS

ISSUES	DATE
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7	
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5	ISSUED FOR BP APPLICATION 2023-10-27
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2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER: DD-92  
DRAWN BY: PM / RV  
CHECKED BY: RR  
DATE CHECKED:  
CONSULTANT:



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

**BUILDING #9 ELEVATIONS**

DRAWING No.

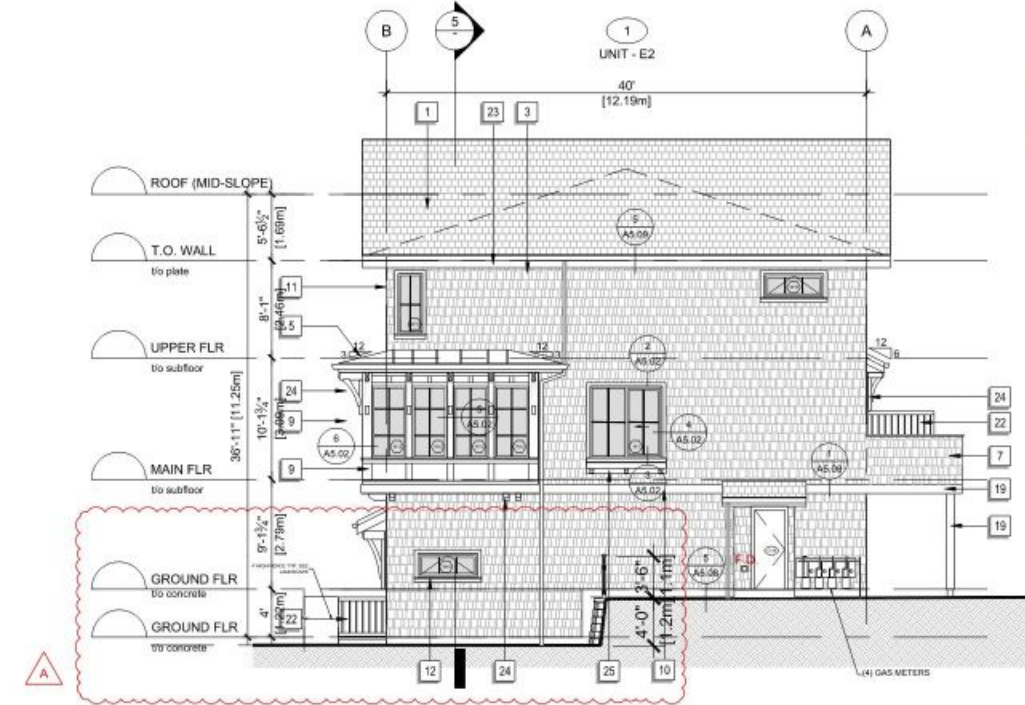
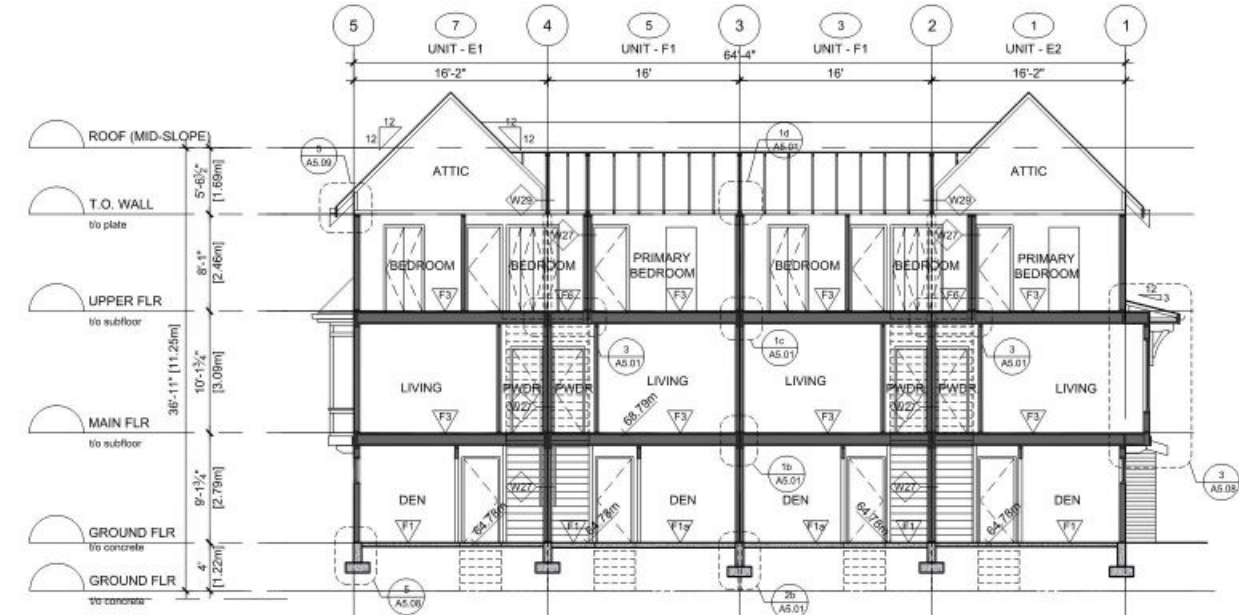
**A3.09**



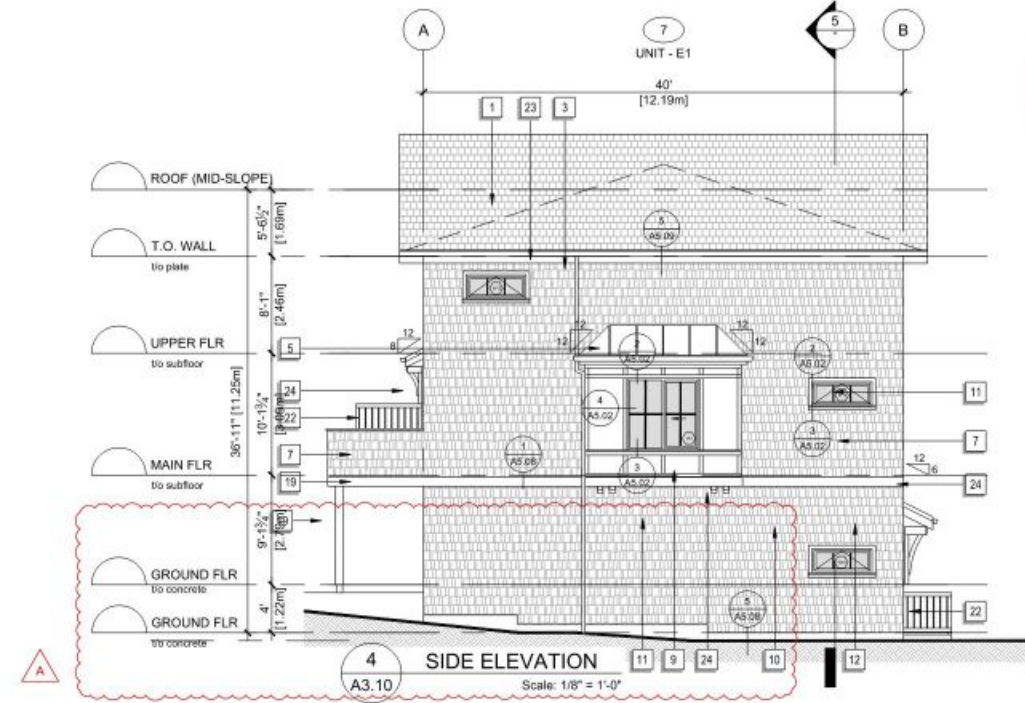
**1 FRONT ELEVATION**  
A3.10 Scale: 1/8" = 1'-0"



**3 REAR ELEVATION**  
A3.10 Scale: 1/8" = 1'-0"



**2 SIDE ELEVATION**  
A3.10 Scale: 1/8" = 1'-0"



**4 SIDE ELEVATION**  
A3.10 Scale: 1/8" = 1'-0"

**COLOR SCHEME 2**

MATERIAL LEGEND	SCHEME 1	SCHEME 2
ROOF	1 ASPHALT SHINGLE PITCHED ROOF	FINISH ANTIQUA BLACK (SW/BLACK)
	2 WOOD SHAKES PAINTED	1 LIGHT GREY (SW/WHITE)
	3 PERFORATED VINYL COPPER	GREY (SW/WHITE)
	4 STAINED CREAM SHIPIT	12 PINE BLUE TRANSFER WHITE (SW/NAVY/WHITE)
	5 METAL ROOF	CHARCOAL
	6 FIBRE CEMENT LAP BOARD (SMOOTH) w/ EXPOSURE PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	7 FIBRE CEMENT LAP BOARD (SMOOTH) w/ EXPOSURE PAINTED	1 LIGHT GREY (SW/WHITE)
	8 FIBRE CEMENT SHINGLE (SINGLE) PAINTED	12 PINE BLUE (SW/NAVY/WHITE)
	9 FIBRE CEMENT SHINGLE (SINGLE) PAINTED	12 PINE BLUE (SW/NAVY/WHITE)
	10 FIBRE CEMENT PANEL (SMOOTH) w/ BATTERY PAINTED	CHARCOAL GREY (SW/CHARCOAL GREY)
	11 FIBRE CEMENT PANEL (SMOOTH) w/ BATTERY PAINTED	1 LIGHT GREY (SW/WHITE)
	12 FIBRE CEMENT PANEL (SMOOTH) w/ BATTERY PAINTED	1 LIGHT GREY (SW/WHITE)
	13 3/4\"/>	

**Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07**



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
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4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
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CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



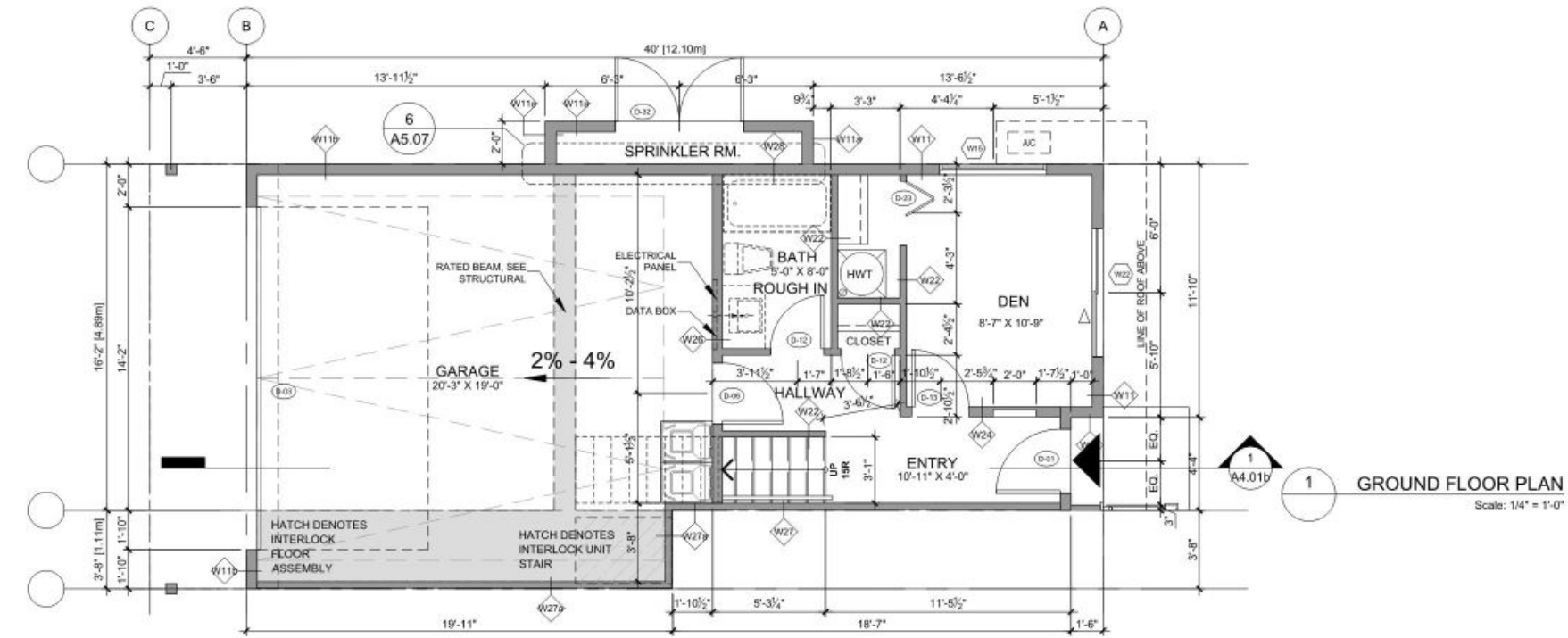
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**BUILDING #10 ELEVATIONS**

DRAWING No.

**A3.10**

UNIT F2 AREAS:	S.F.	S.M.
- GROUND FLOOR	284.5	26.43
- MAIN FLOOR	647.4	60.15
- UPPER FLOOR	641.7	59.62
<b>- AREA TOTAL (GROSS) =</b>	<b>1,573.63</b>	<b>146.20</b>
- GARAGE	428.6	39.82
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>2,002.22</b>	<b>186.01</b>



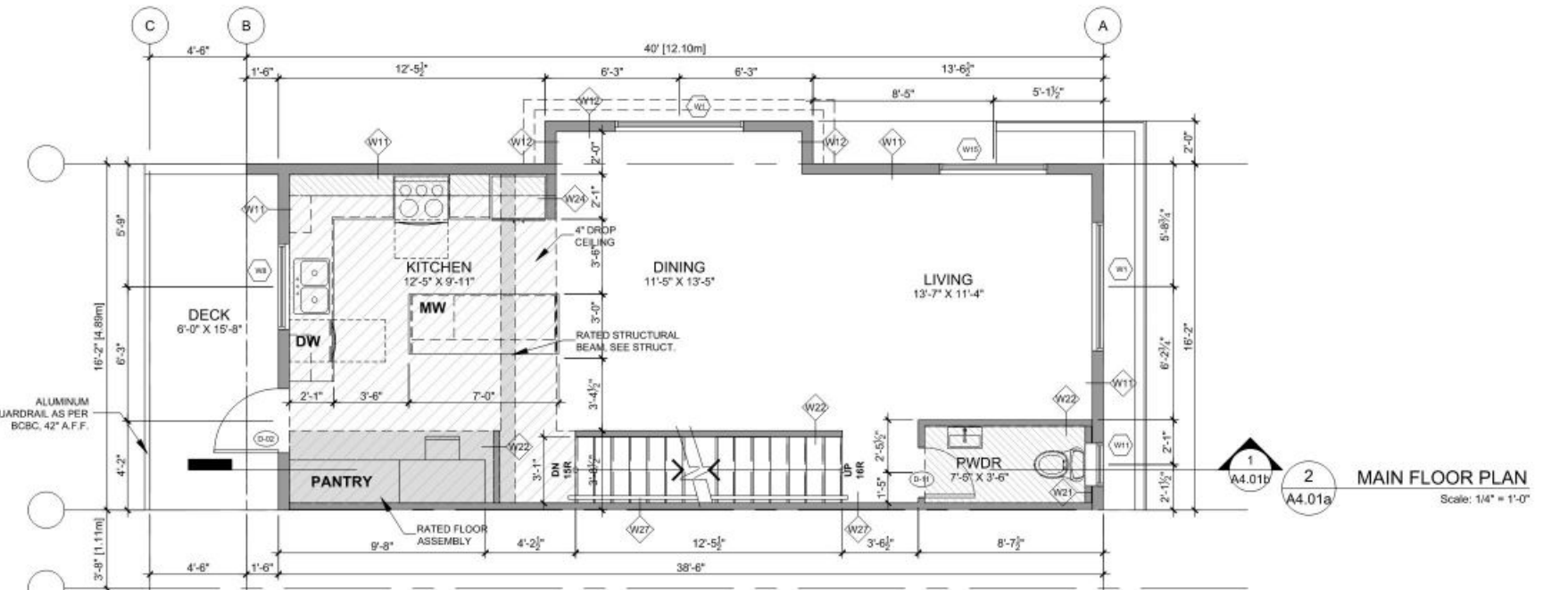
**1 GROUND FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2

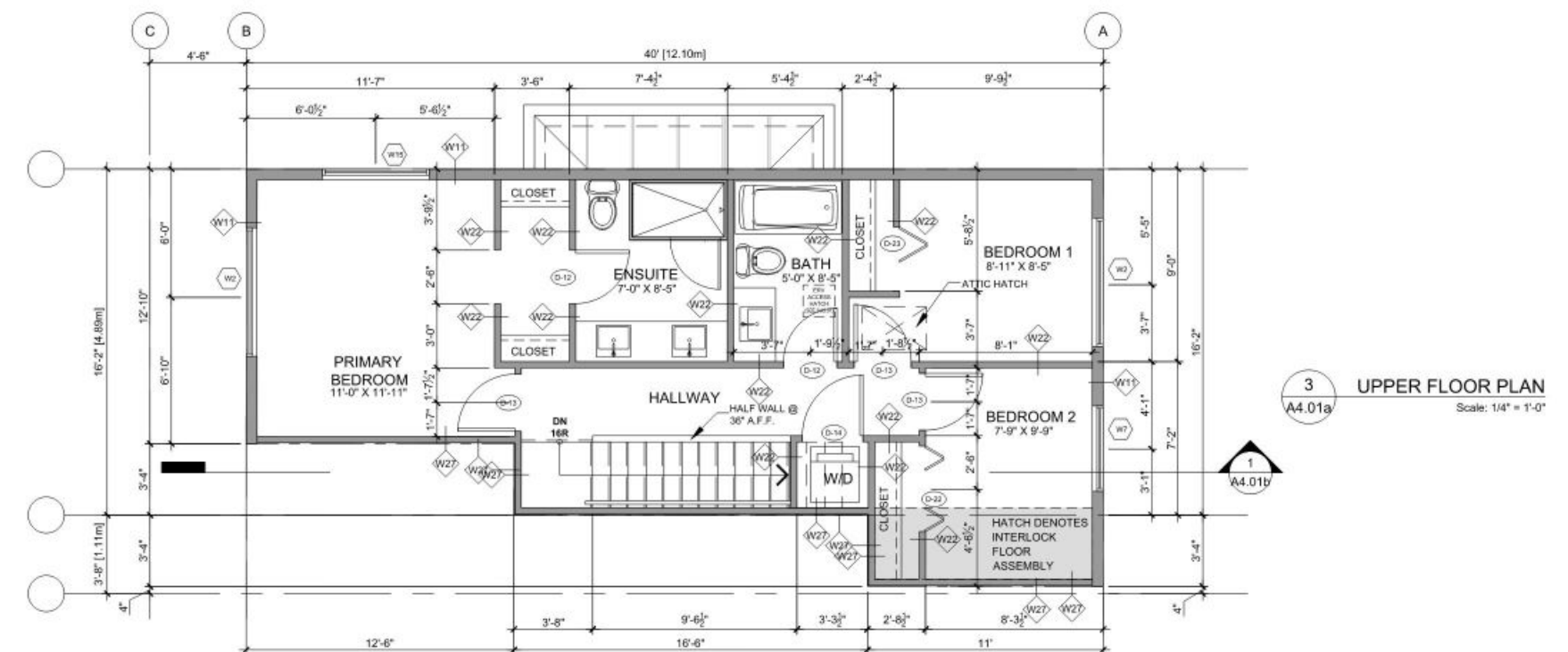
HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



**2 MAIN FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**3 UPPER FLOOR PLAN**  
Scale: 1/4" = 1'-0"



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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER: DD-92

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DATE CHECKED:

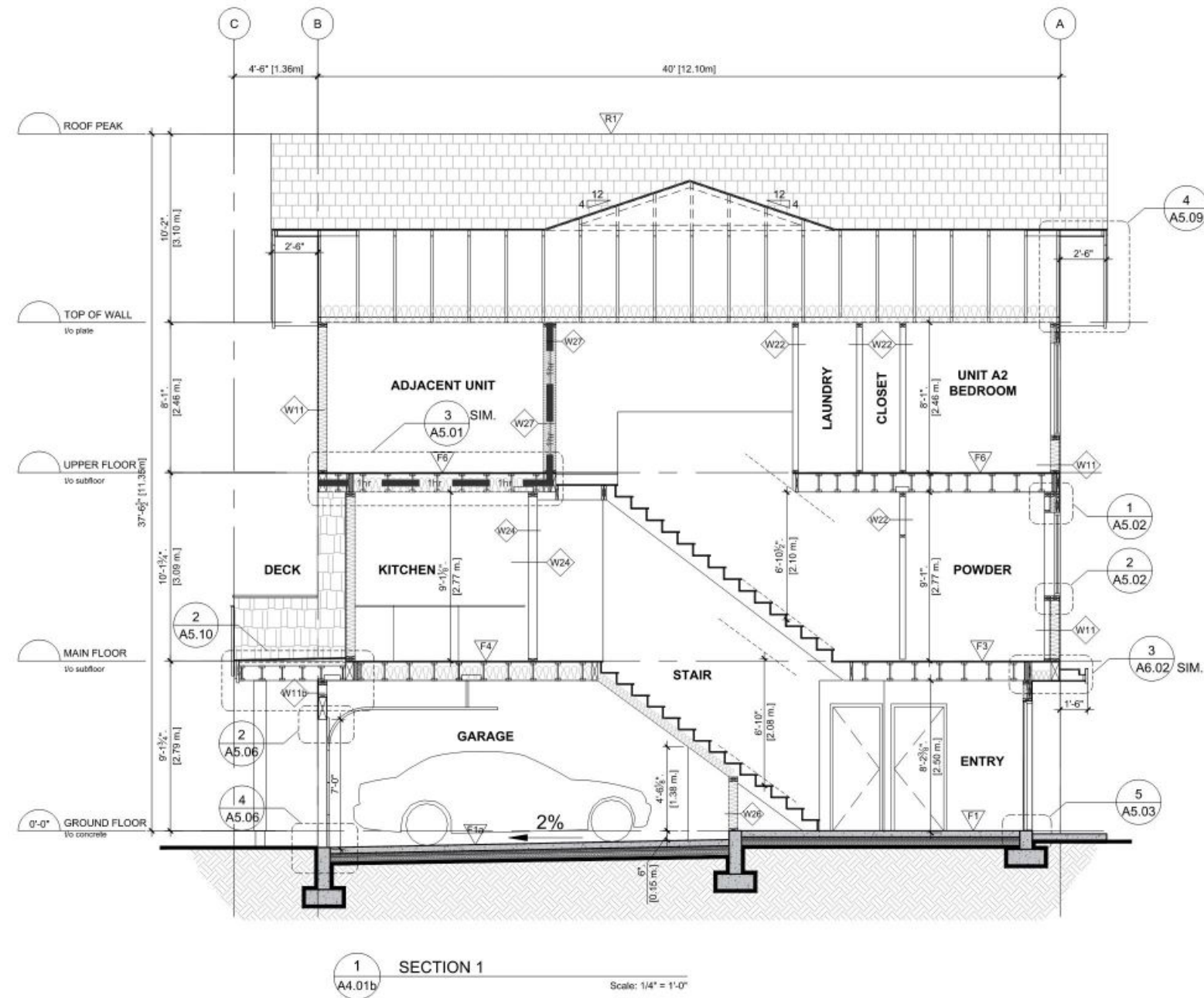
CONSULTANT:

PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - F2 FLOOR PLANS**

DRAWING No.

**A4.01a**



**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2

HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

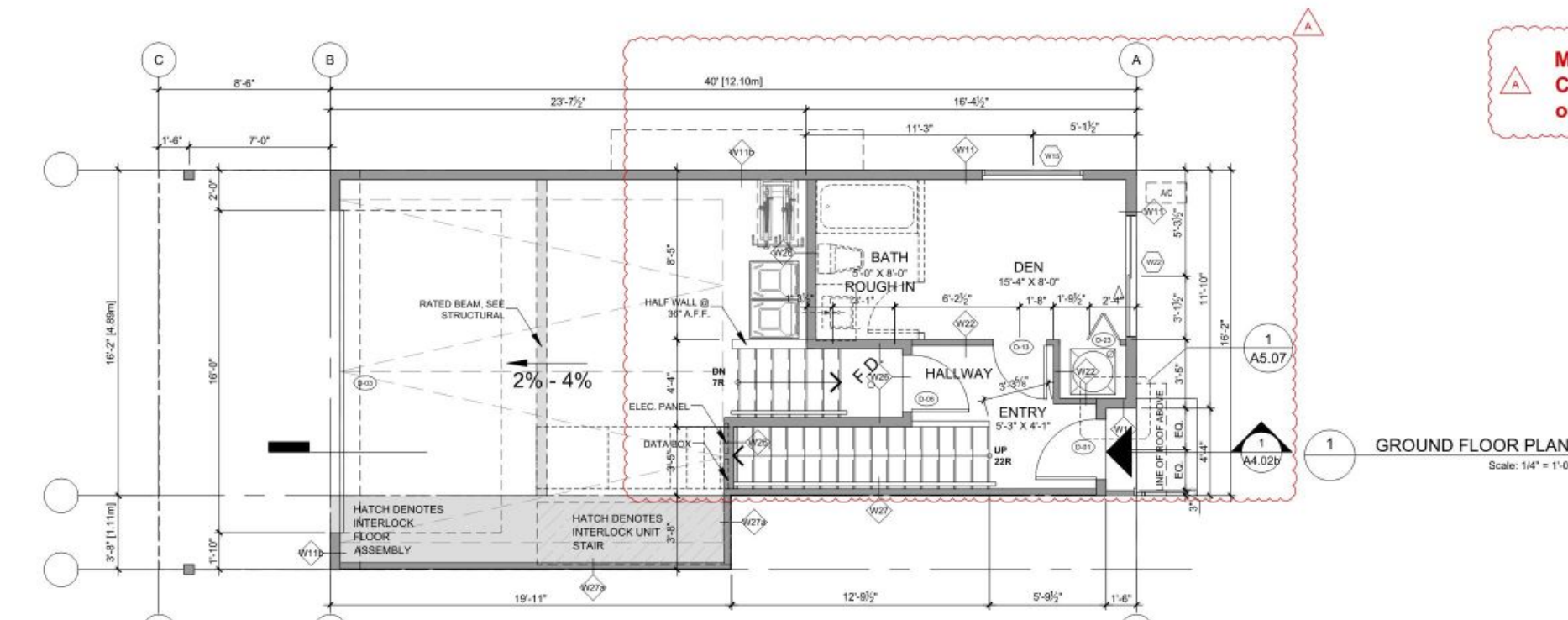
DRAWING TITLE  
**UNIT - F2 SECTIONS**

DRAWING No.  
**A4.01b**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

1925 Main Street  
Vancouver, BC,  
Canada, V5T 3C1  
T. 604.876.5050  
F. 604.876.5060  
ekistics.com

UNIT E1 AREAS:	S.F.	S.M.
- GROUND FLOOR	284.5	26.43
- MAIN FLOOR	672.0	62.43
- UPPER FLOOR	641.7	59.62
<b>- AREA TOTAL (GROSS) =</b>	<b>1,598.18</b>	<b>148.48</b>
- GARAGE	428.6	39.82
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>2,026.76</b>	<b>188.29</b>

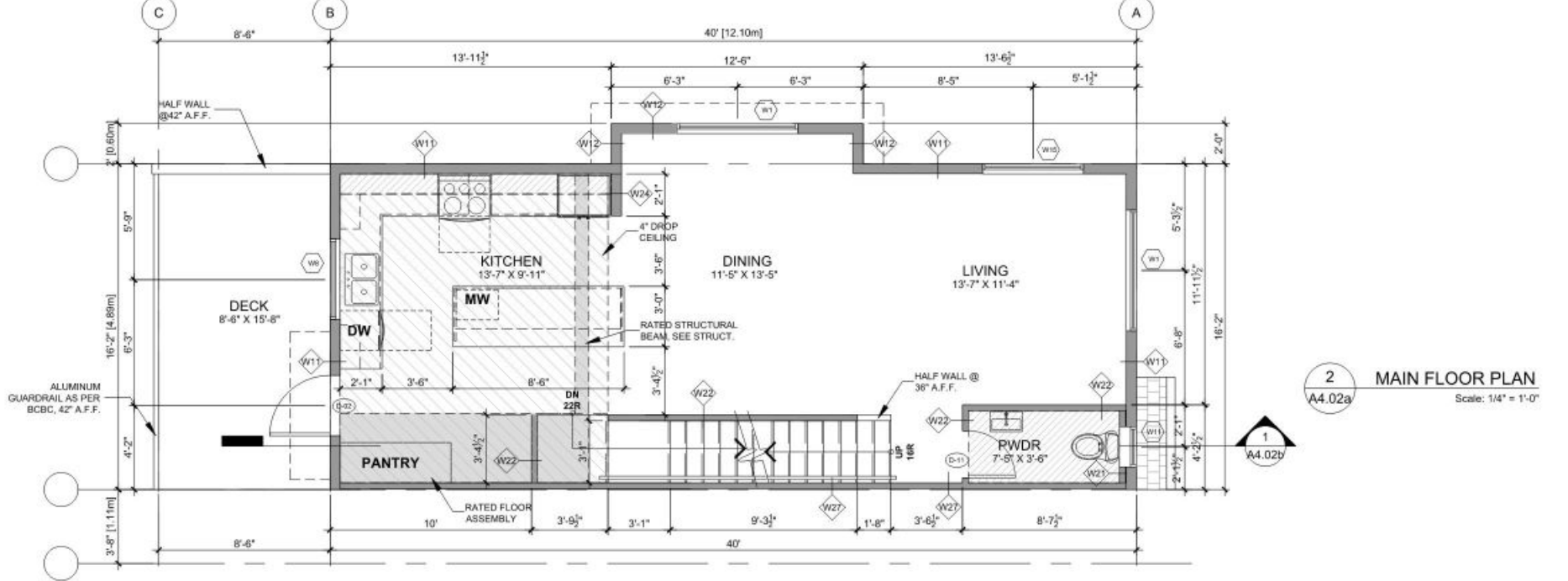


**1 GROUND FLOOR PLAN**  
Scale: 1/4" = 1'-0"

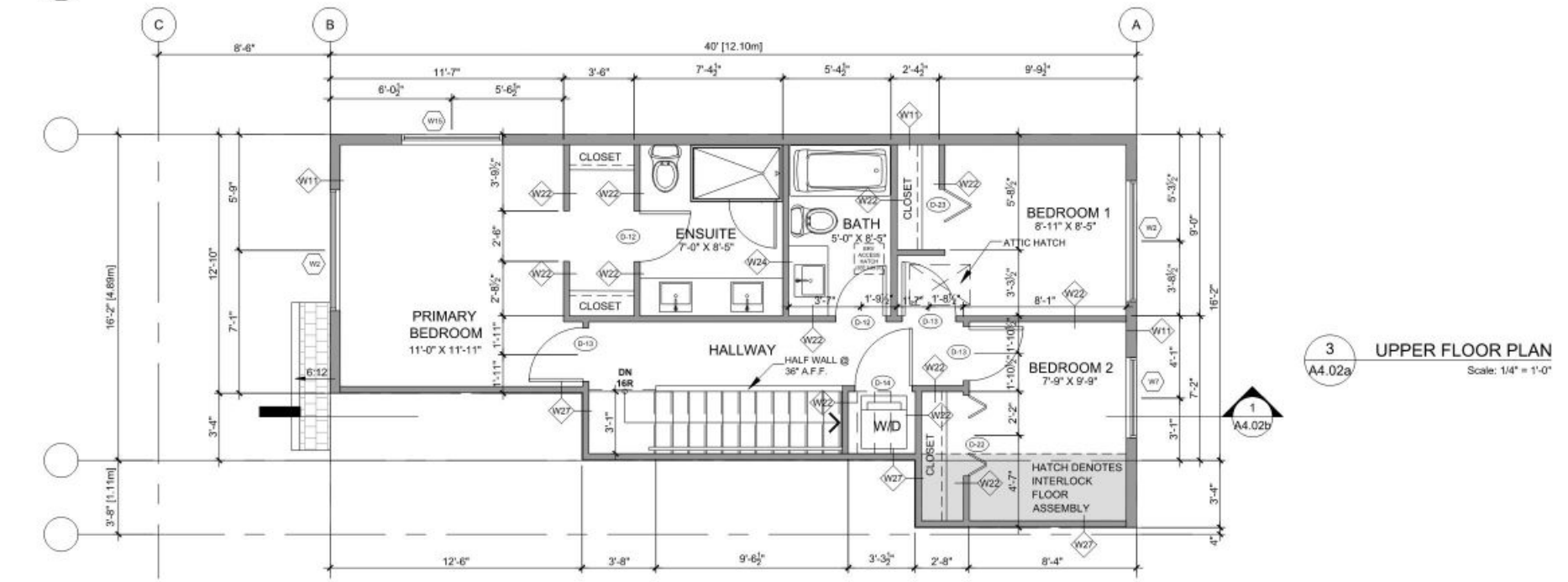
**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
HEIGHT: 13'-1 3/4" [4.01m]  
RISE: 22 @ 7 1/2" [182.3mm]  
RUN: 19 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



**2 MAIN FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**3 UPPER FLOOR PLAN**  
Scale: 1/4" = 1'-0"



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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
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CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - E1 FLOOR PLANS**

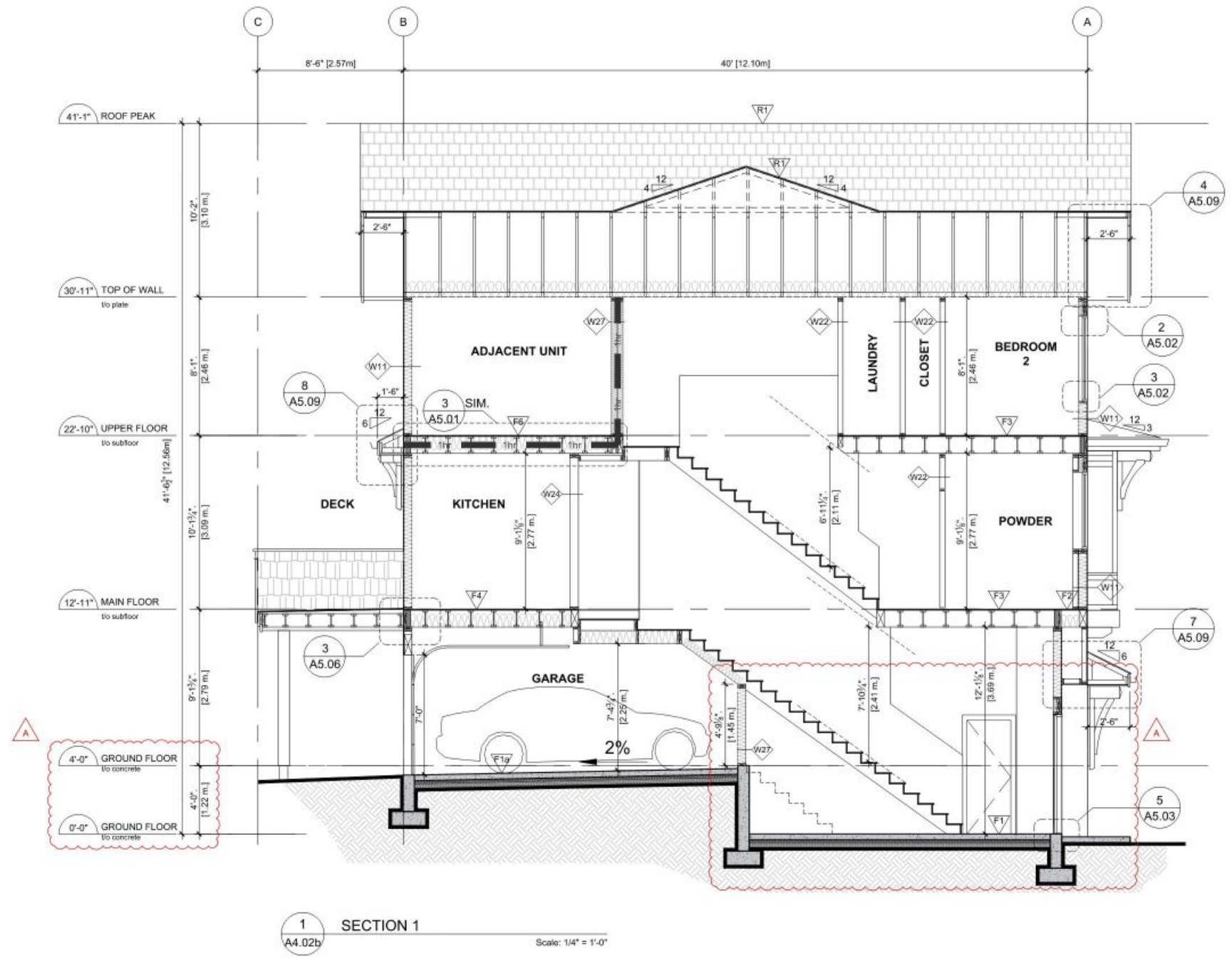
DRAWING No.

**A4.02a**



Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

1925 Main Street  
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**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
HEIGHT: 13'-1 3/4" [4.01m]  
RISE: 22 @ 7 1/2" [182.3mm]  
RUN: 19 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
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2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - E1 SECTIONS**

DRAWING No.  
**A4.02b**

**Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07**

**UNIT E2 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	284.5	26.43
- MAIN FLOOR	694.7	64.54
- UPPER FLOOR	641.7	59.62
<b>- AREA TOTAL (GROSS) =</b>	<b>1,620.87</b>	<b>150.58</b>
- GARAGE	428.6	39.82
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>2,049.46</b>	<b>190.40</b>

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**

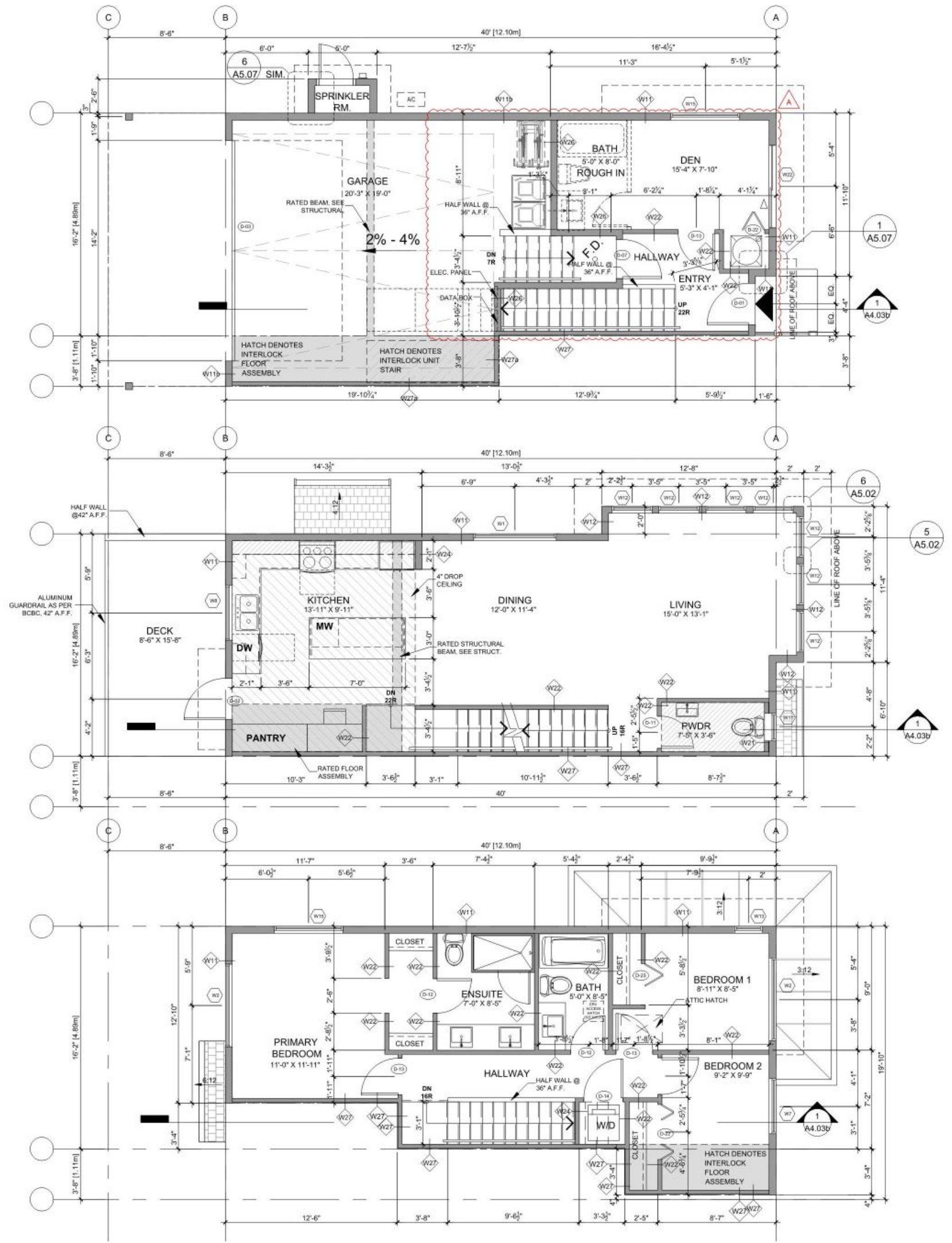
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**

HEIGHT: 13'-1 3/4" [4.01m]  
RISE: 22 @ 7 1/2" [182.3mm]  
RUN: 19 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



**1 GROUND FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**2 MAIN FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**3 UPPER FLOOR PLAN**  
Scale: 1/4" = 1'-0"



REVISIONS

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1 ISSUED FOR DP APPLICATION	2022-10-17

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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

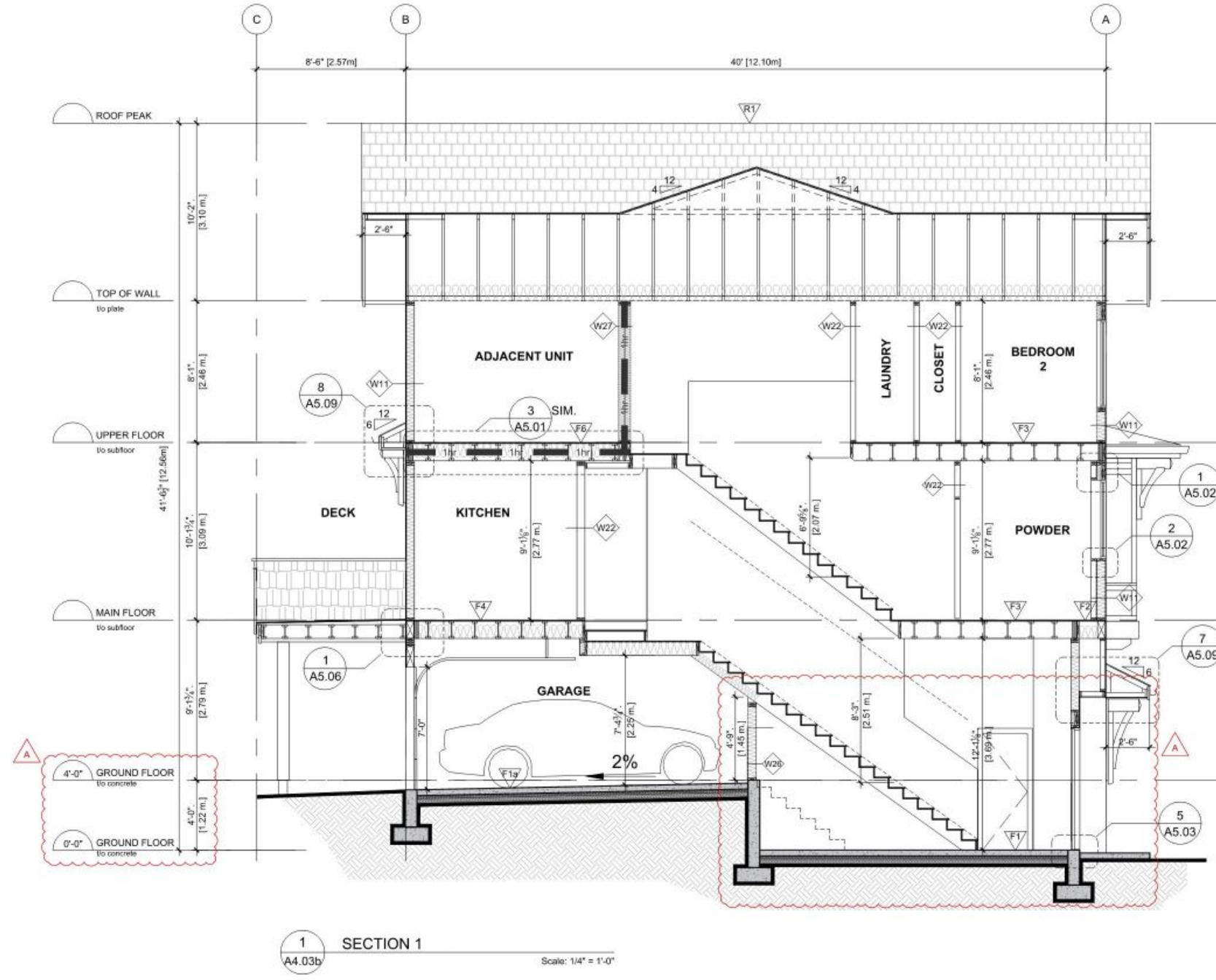
DRAWING TITLE  
**UNIT - E2 FLOOR PLANS**

DRAWING No.

**A4.03a**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
HEIGHT: 13'-1 3/4" [4.01m]  
RISE: 22 @ 7 1/2" [182.3mm]  
RUN: 19 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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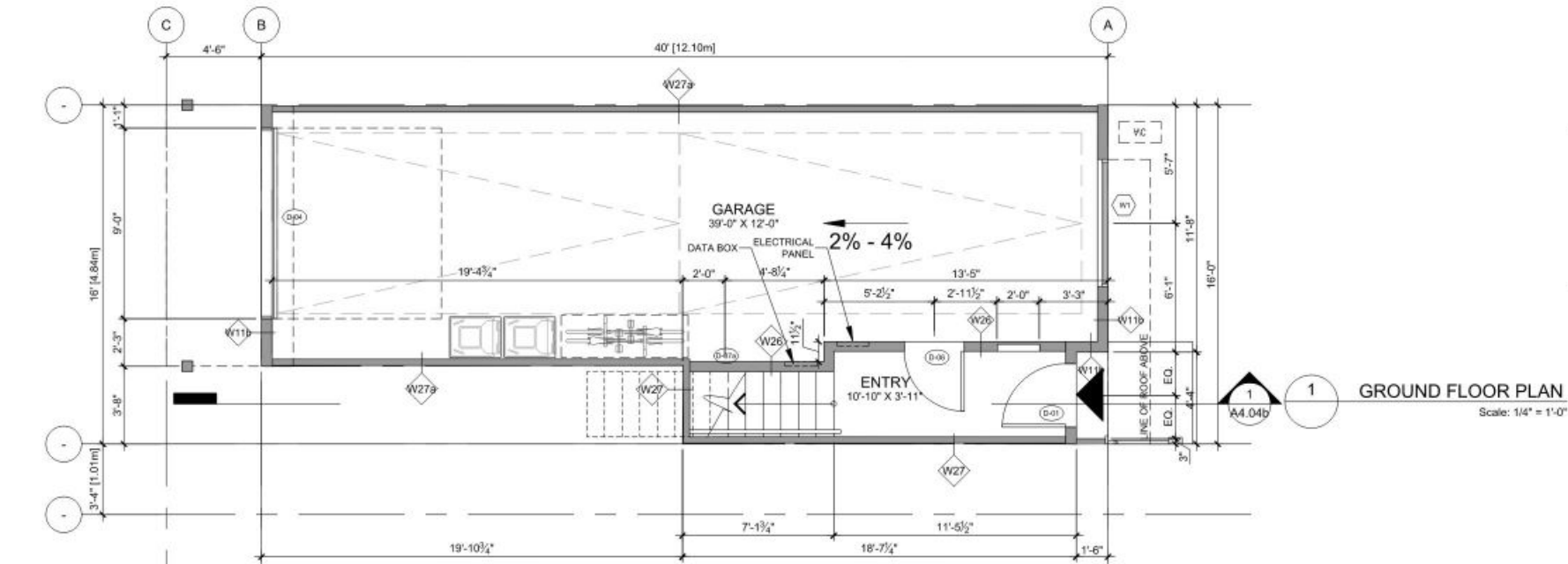
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - E2 SECTIONS**

DRAWING No.  
**A4.03b**

**UNIT A1 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	78.7	7.31
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	644.4	59.87
<b>- AREA TOTAL (GROSS) =</b>	<b>1,339.10</b>	<b>124.41</b>
- GARAGE	481.1	44.70
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>1,820.22</b>	<b>169.10</b>

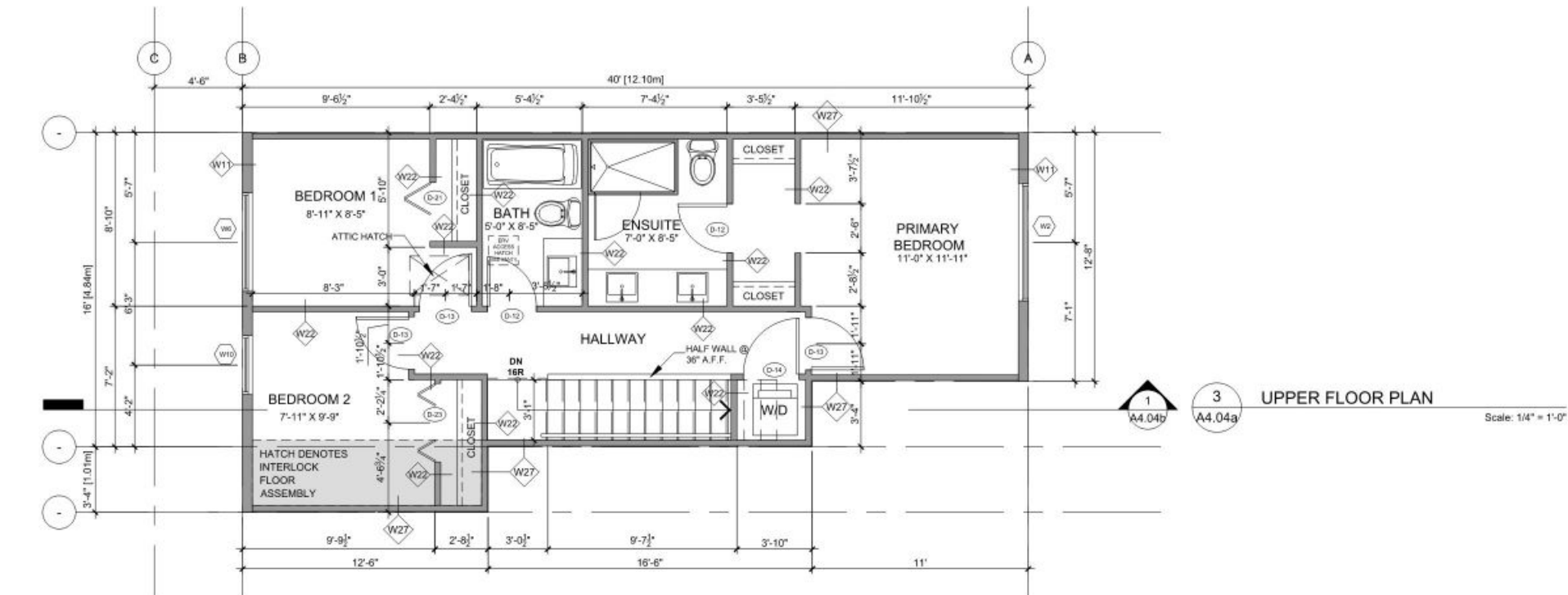
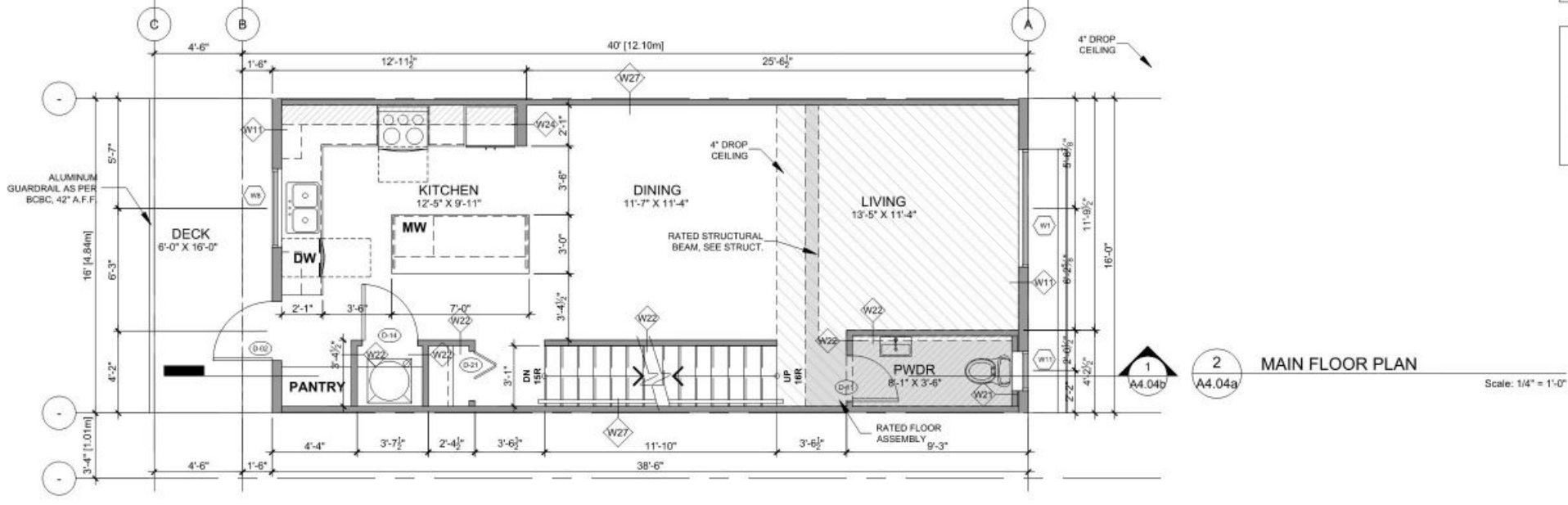


**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2

HEIGHT: 9'-1 3/4" [2.79m]  
 RISE: 15 @ 7 1/4" [186.0mm]  
 RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
 RISE: 16 @ 7 1/2" [193.1mm]  
 RUN: 15 @ 10" [255.0mm]



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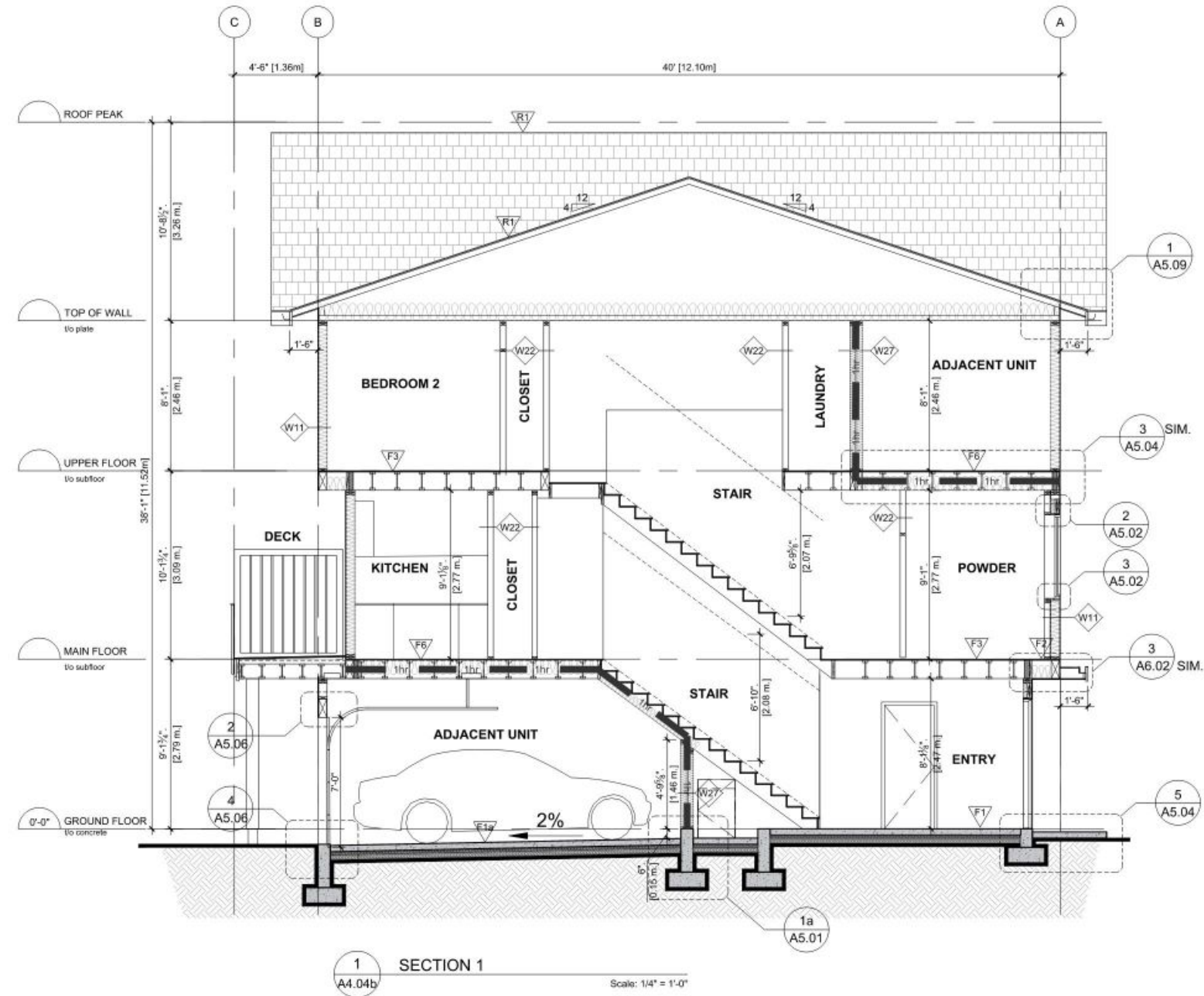


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
 3439 TRUMPETER STREET  
 COLWOOD, BC

DRAWING TITLE  
**UNIT - A1 FLOOR PLANS**

DRAWING No.

**A4.04a**



**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2

HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

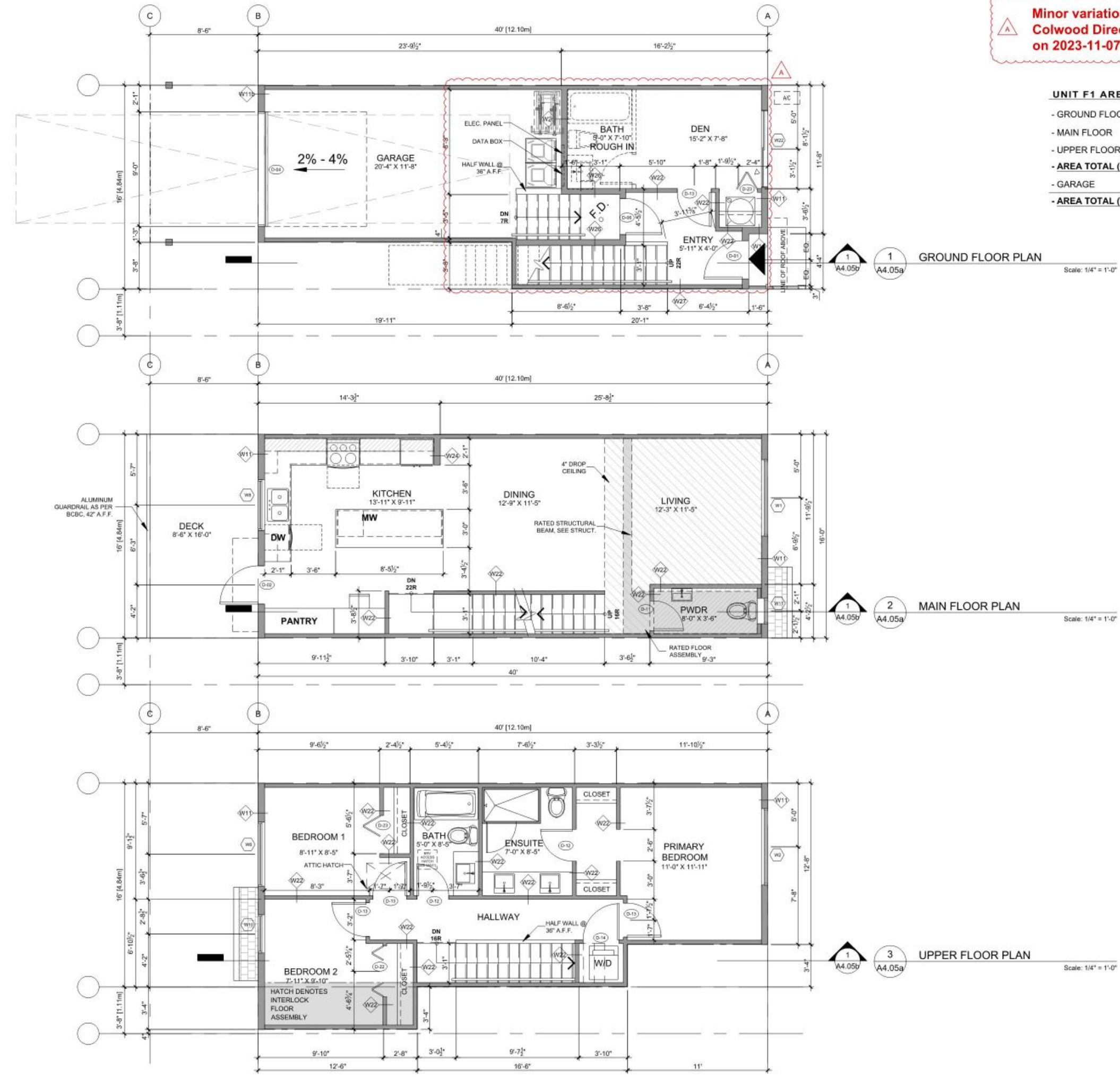
DRAWING TITLE  
**UNIT - A1 SECTIONS**

DRAWING No.

**A4.04b**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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**UNIT F1 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	247.4	22.98
- MAIN FLOOR	640.0	59.46
- UPPER FLOOR	645.0	59.92
<b>- AREA TOTAL (GROSS) =</b>	<b>1,532.40</b>	<b>142.36</b>
- GARAGE	311.9	28.97
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>1,844.28</b>	<b>171.34</b>

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
 HEIGHT: 4'-0" [1.22m]  
 RISE: 7 @ 6 3/4" [174.3mm]  
 RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
 HEIGHT: 13'-1 3/4" [4.01m]  
 RISE: 22 @ 7 1/2" [182.3mm]  
 RUN: 19 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
 HEIGHT: 10'-1 3/4" [3.09m]  
 RISE: 16 @ 7 1/2" [193.1mm]  
 RUN: 15 @ 10" [255.0mm]



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 DRAWN BY: PM / RV  
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 DATE CHECKED:  
 CONSULTANT:

PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
 3439 TRUMPETER STREET  
 COLWOOD, BC

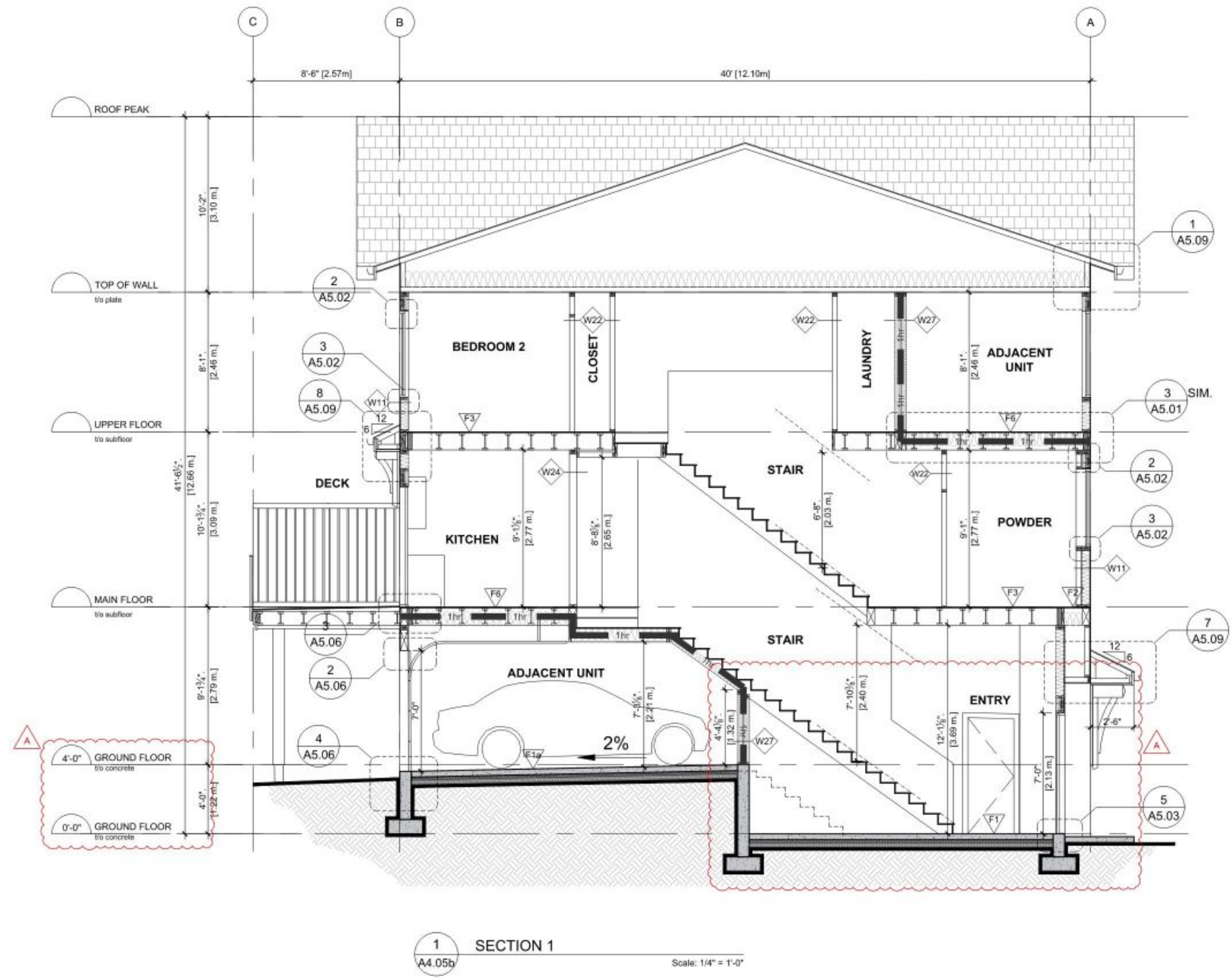
DRAWING TITLE  
**UNIT - F1 FLOOR PLANS**

DRAWING No.

**A4.05a**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
HEIGHT: 13'-1 3/4" [4.01m]  
RISE: 22 @ 7 1/2" [182.3mm]  
RUN: 19 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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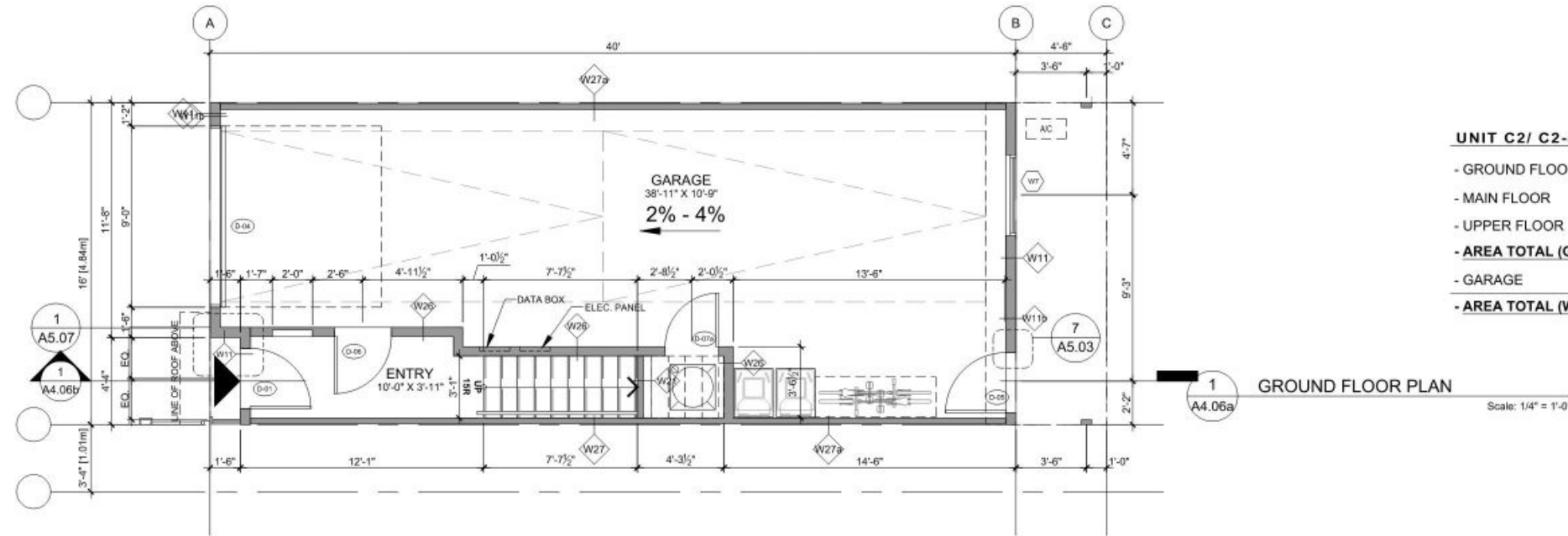


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - F1 SECTIONS**

DRAWING No.

**A4.05b**



**UNIT C2/ C2-a AREAS:**

	S.F.	S.M.
- GROUND FLOOR	98.6	9.16
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	640.0	59.46
- AREA TOTAL (GROSS) =	<b>1,354.65</b>	<b>125.85</b>
- GARAGE	534.9	49.69
- AREA TOTAL (W/ GARAGE) =	<b>1,889.52</b>	<b>175.54</b>

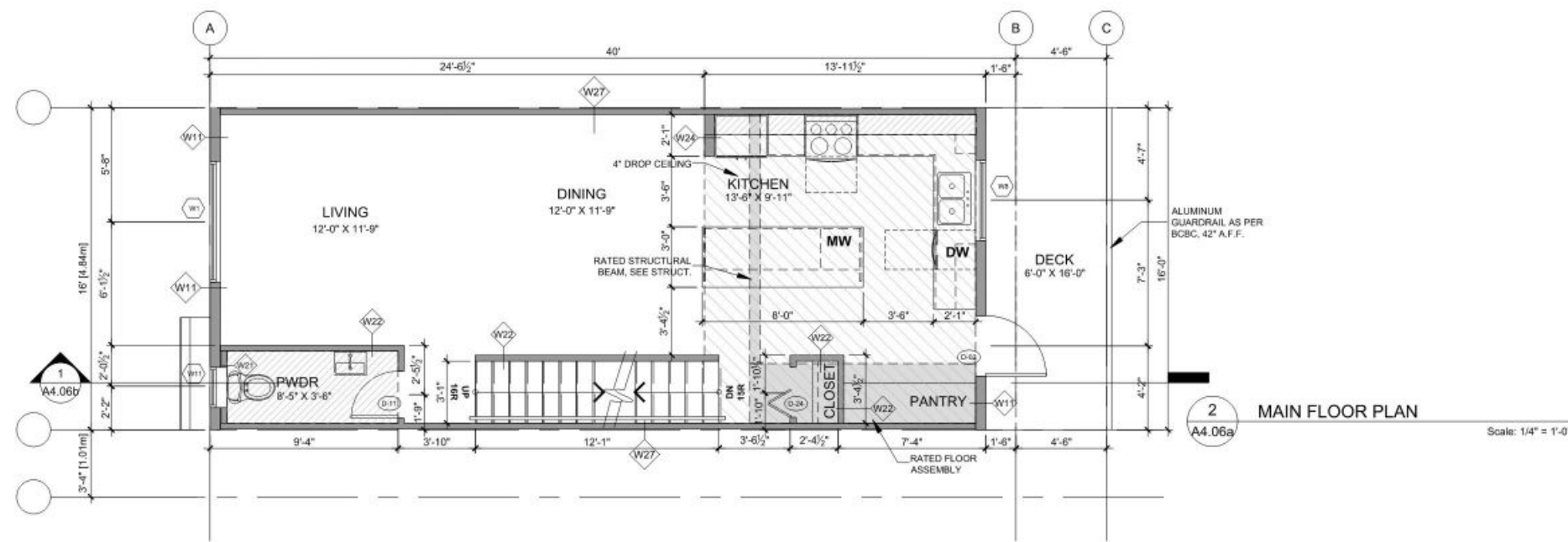
**UNIT C2-a - STAIR CALCULATION**

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**

HEIGHT: 9'-7" [2.92m]  
RISE: 15 @ 7 1/2" [194.7mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**

HEIGHT: 9'-11" [3.02m]  
RISE: 16 @ 7 1/2" [188.8mm]  
RUN: 15 @ 10" [255.0mm]



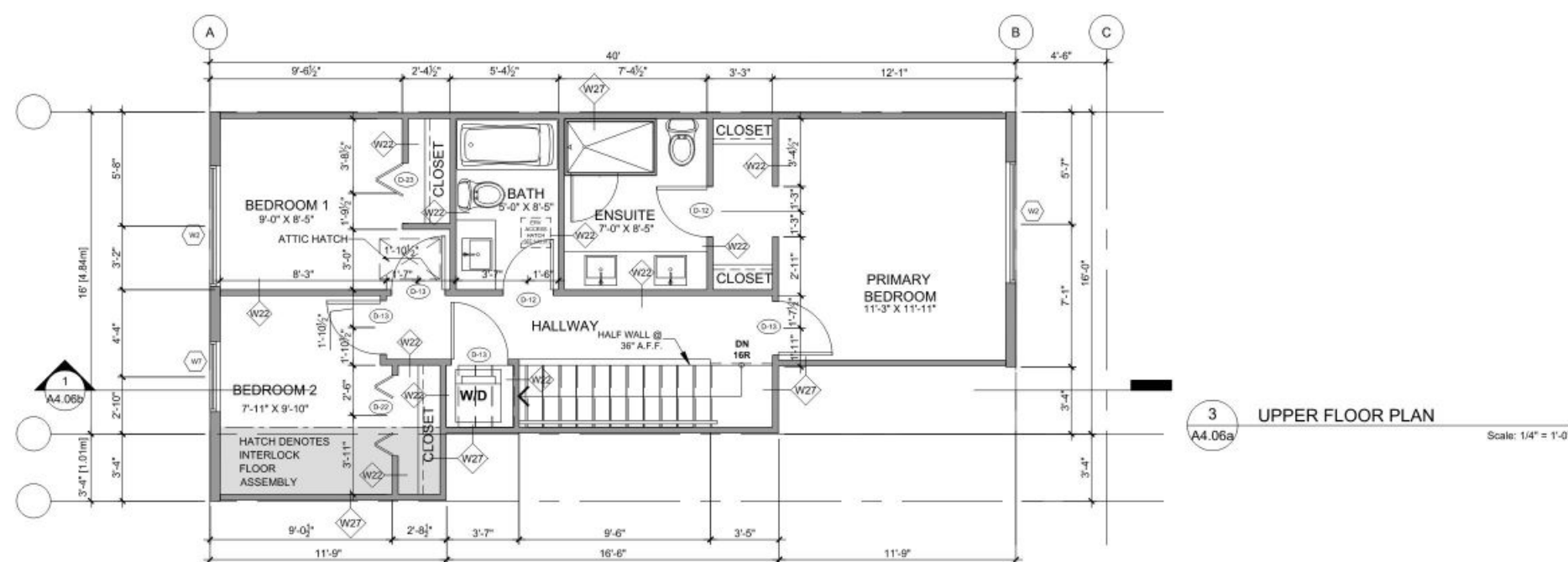
**UNIT C2 - STAIR CALCULATION**

**STAIR CALCULATION LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 1 - LEVEL 2**

HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]



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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - C2/ C2-a FLOOR PLANS**

DRAWING No.

**A4.06a**





ISSUES	DATE
8	
7	
6	ISSUED FOR DP AMENDMENT 2023-11-10
5	ISSUED FOR BP APPLICATION 2023-10-27
4	RE-ISSUED FOR DP APPLICATION 2023-06-20
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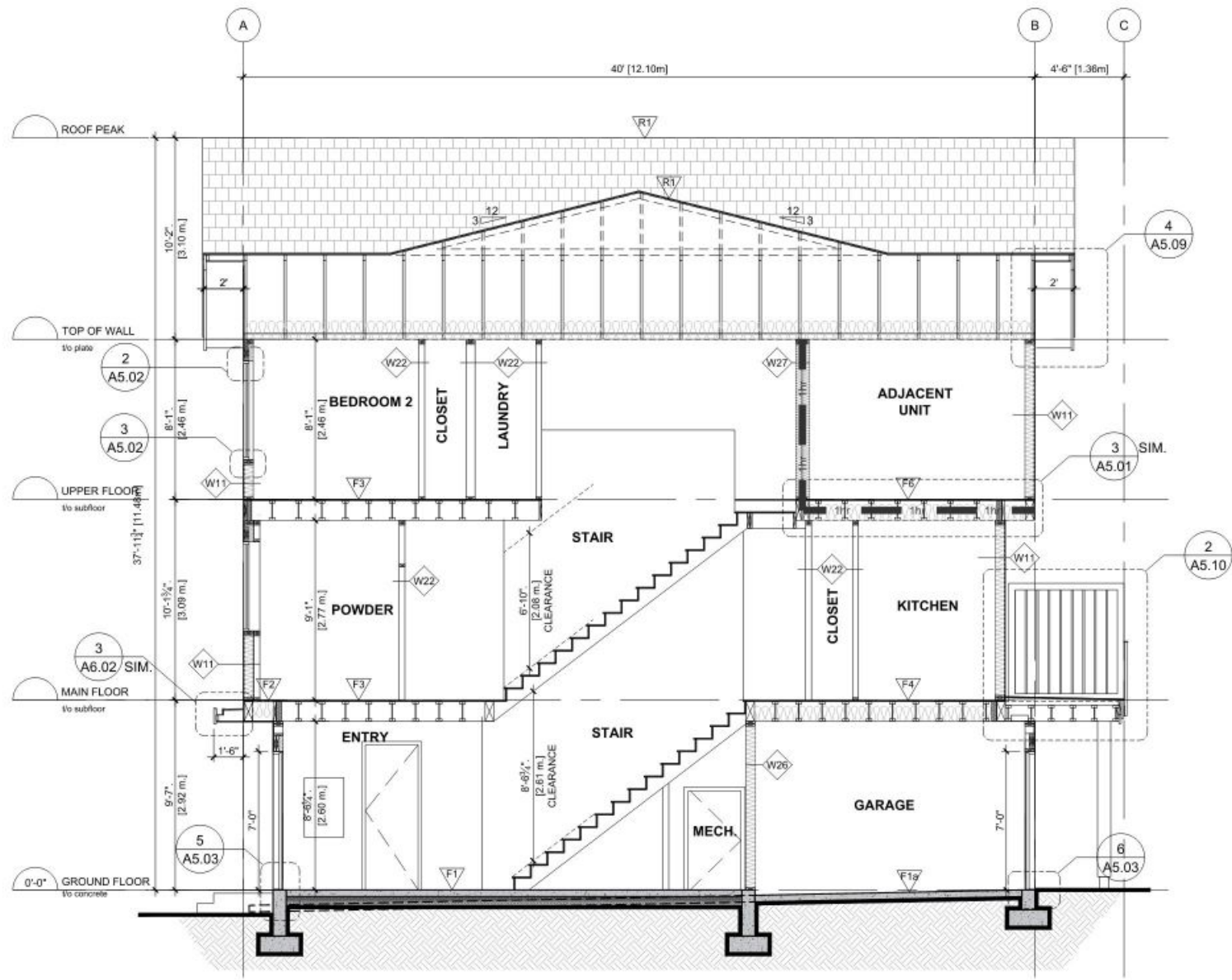


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - C2/ C2-a SECTIONS**

DRAWING No.

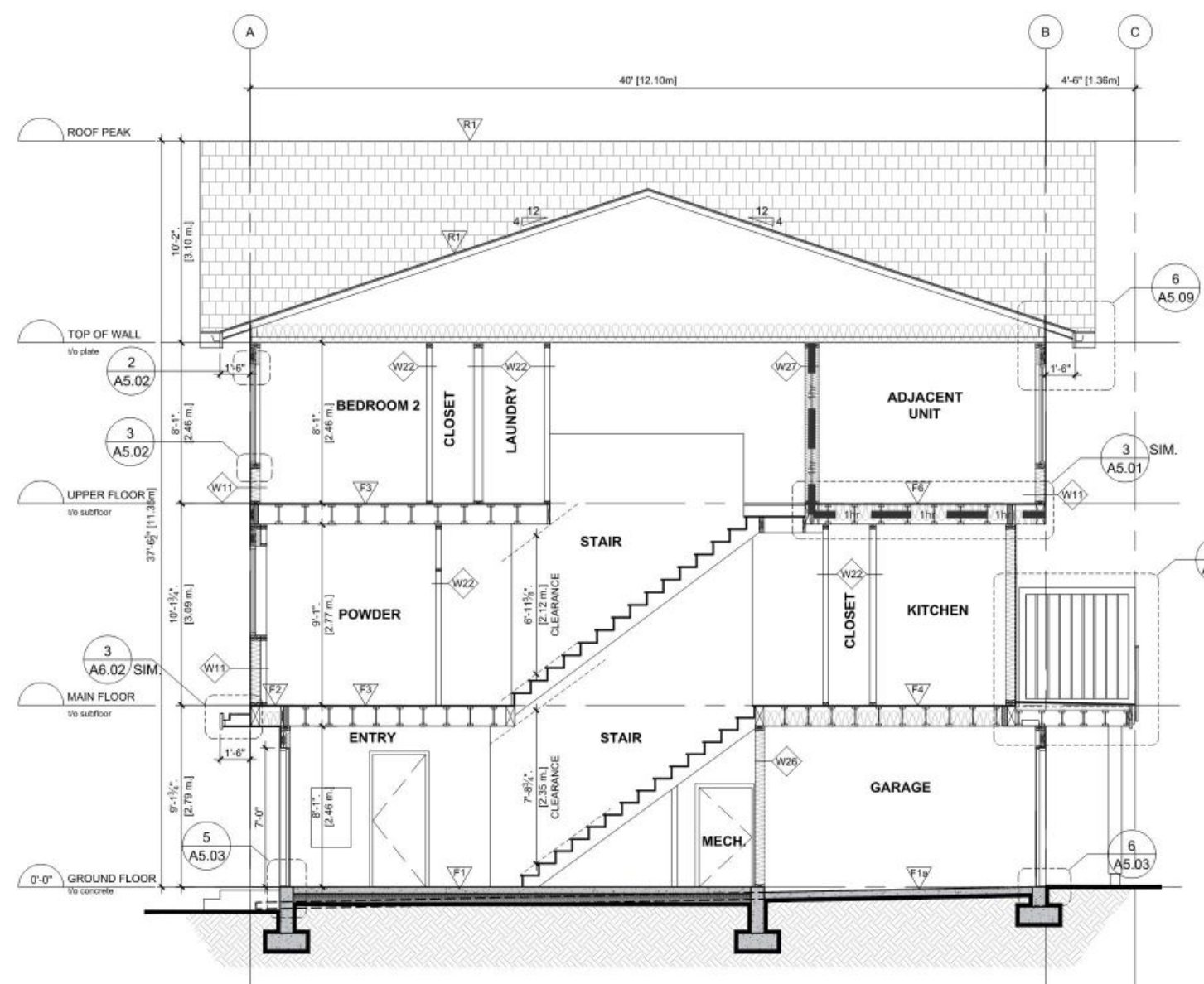
**A4.06b**



**1 SECTION -UNIT C2**  
A4.06b Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

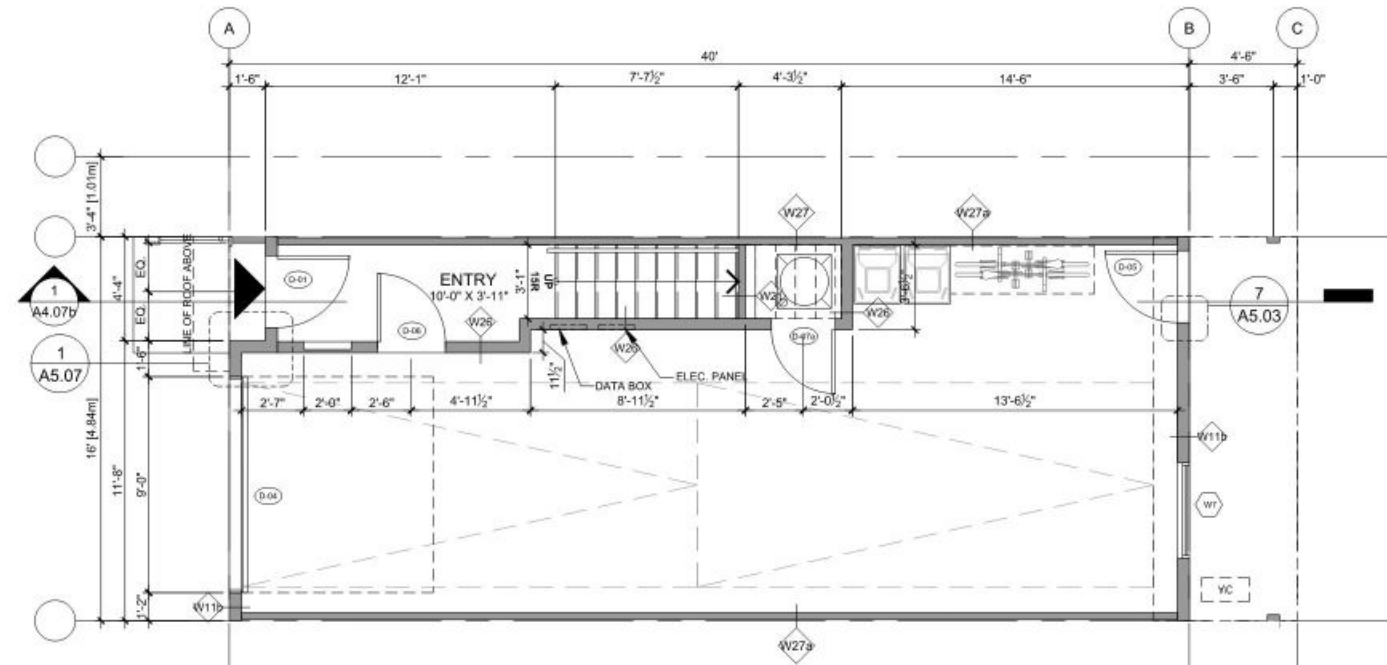
**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2  
HEIGHT: 9'-7" [2.92m]  
RISE: 15 @ 7 1/2" [194.7mm]  
RUN: 14 @ 10" [255.0mm]



**2 SECTION -UNIT C2-a**  
A4.06b Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2  
HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]



**1** GROUND FLOOR PLAN  
A4.07a Scale: 1/4" = 1'-0"

**UNIT C1-a AREAS:**

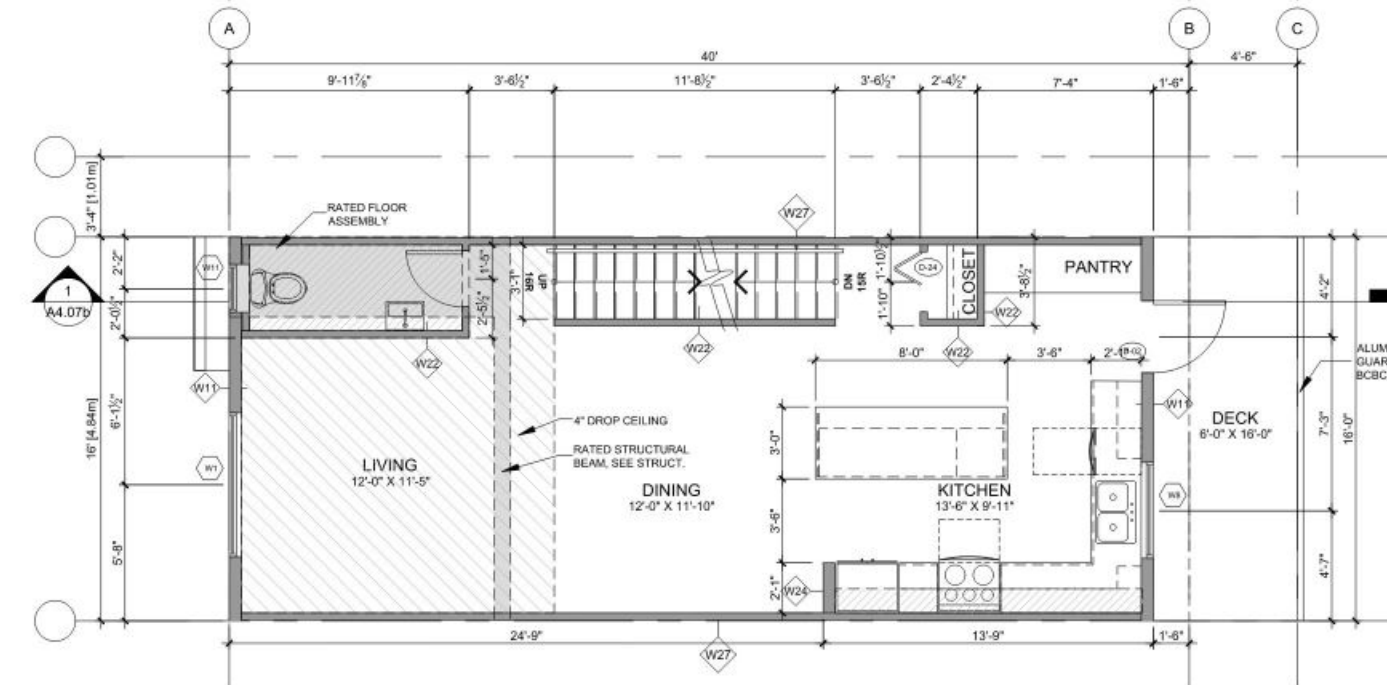
	S.F.	S.M.
- GROUND FLOOR	99.1	9.21
- MAIN FLOOR	615.9	57.22
- UPPER FLOOR	640.0	59.46
<b>- AREA TOTAL (GROSS) =</b>	<b>1,355.02</b>	<b>125.89</b>
- GARAGE	534.9	49.69
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>1,889.89</b>	<b>175.58</b>

**STAIR CALCULATION - TYPICAL  
LEVEL 1 - LEVEL 2**

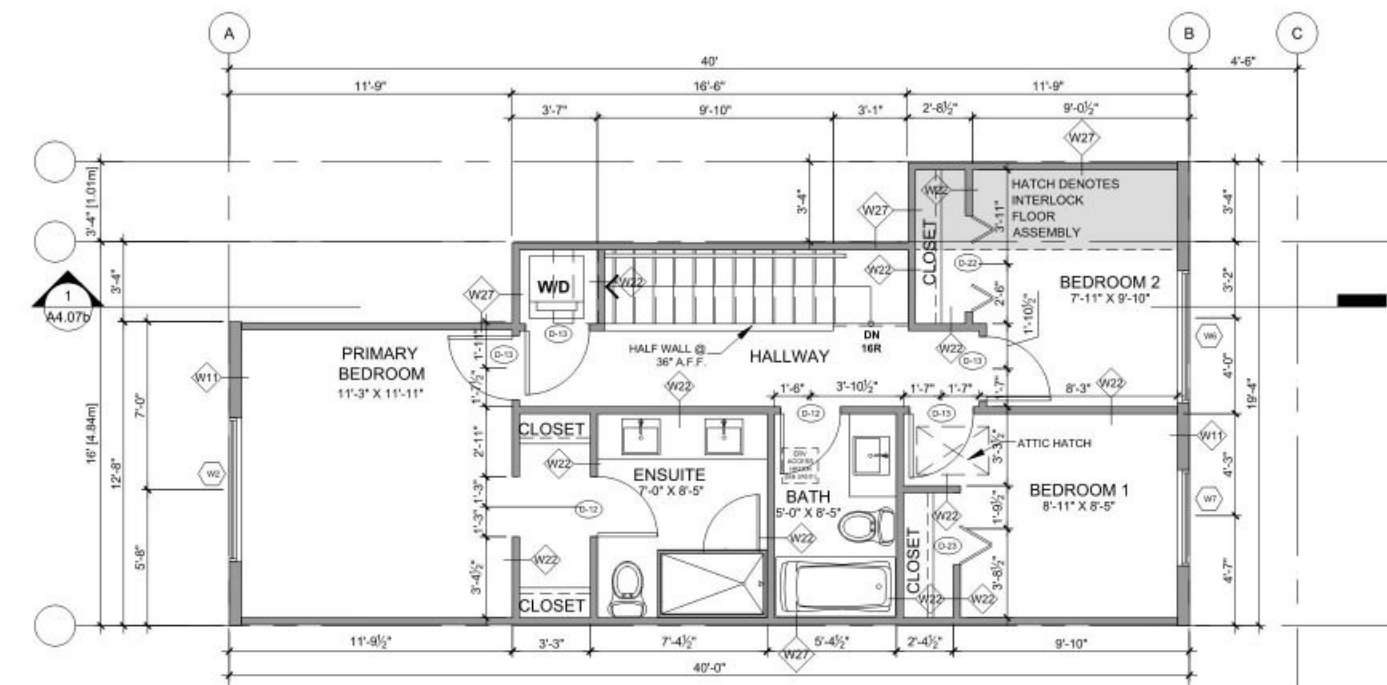
HEIGHT: 9'-7" [2.92m]  
RISE: 15 @ 7 3/4" [198.8mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



**2** MAIN FLOOR PLAN  
A4.07a Scale: 1/4" = 1'-0"



**3** UPPER FLOOR PLAN  
A4.07a Scale: 1/4" = 1'-0"



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PROJECT

**ETTA TOWNHOUSE  
DEVELOPMENT**  
3439 TRUMPETER STREET

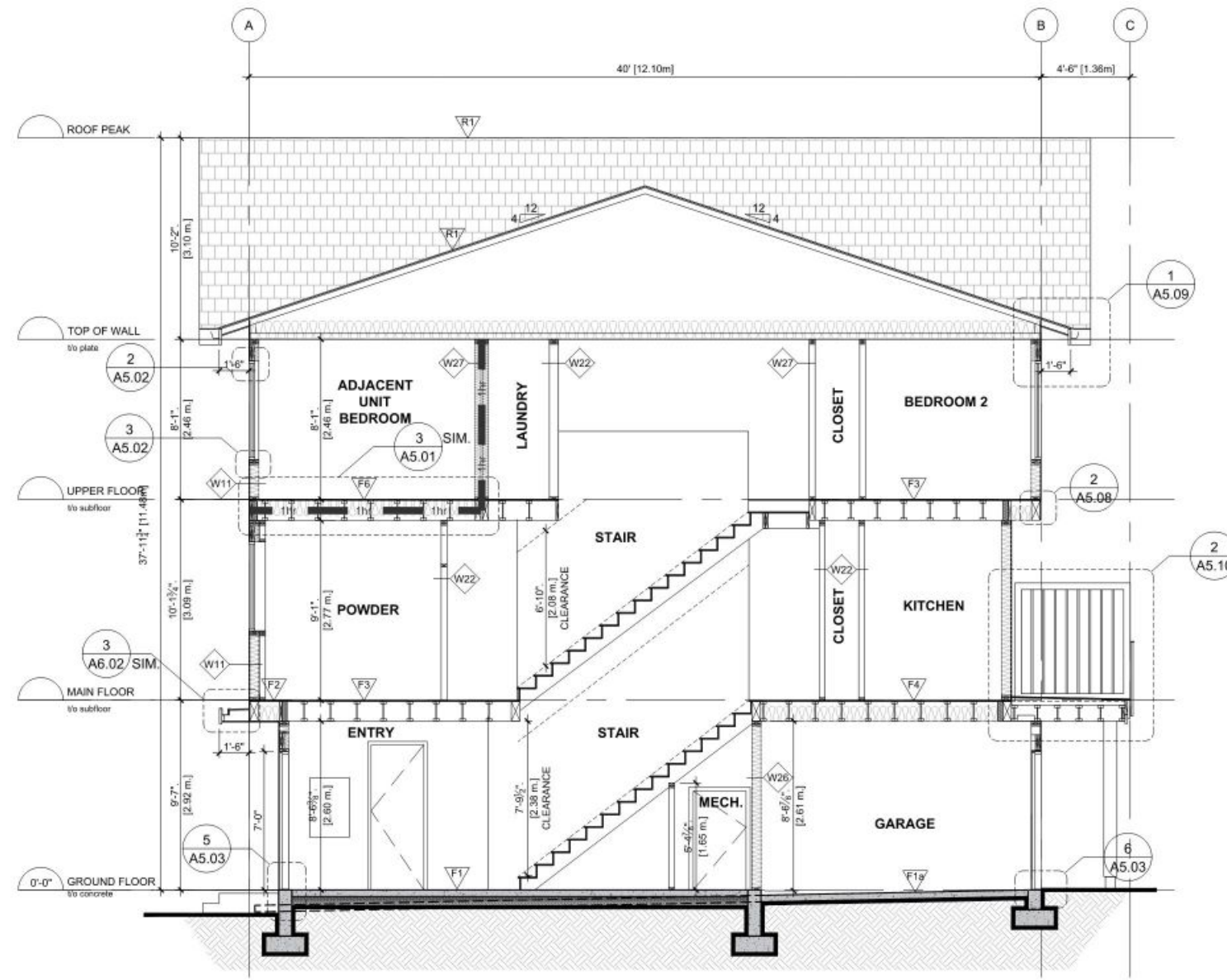
COLWOOD, BC

DRAWING TITLE

**UNIT - C1-a  
FLOOR PLANS**

DRAWING No.

**A4.07a**



1 SECTION - UNIT C1-a  
A4.07b Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2

HEIGHT: 9'-7" [2.92m]  
RISE: 15 @ 7 3/4" [194.7mm]  
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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

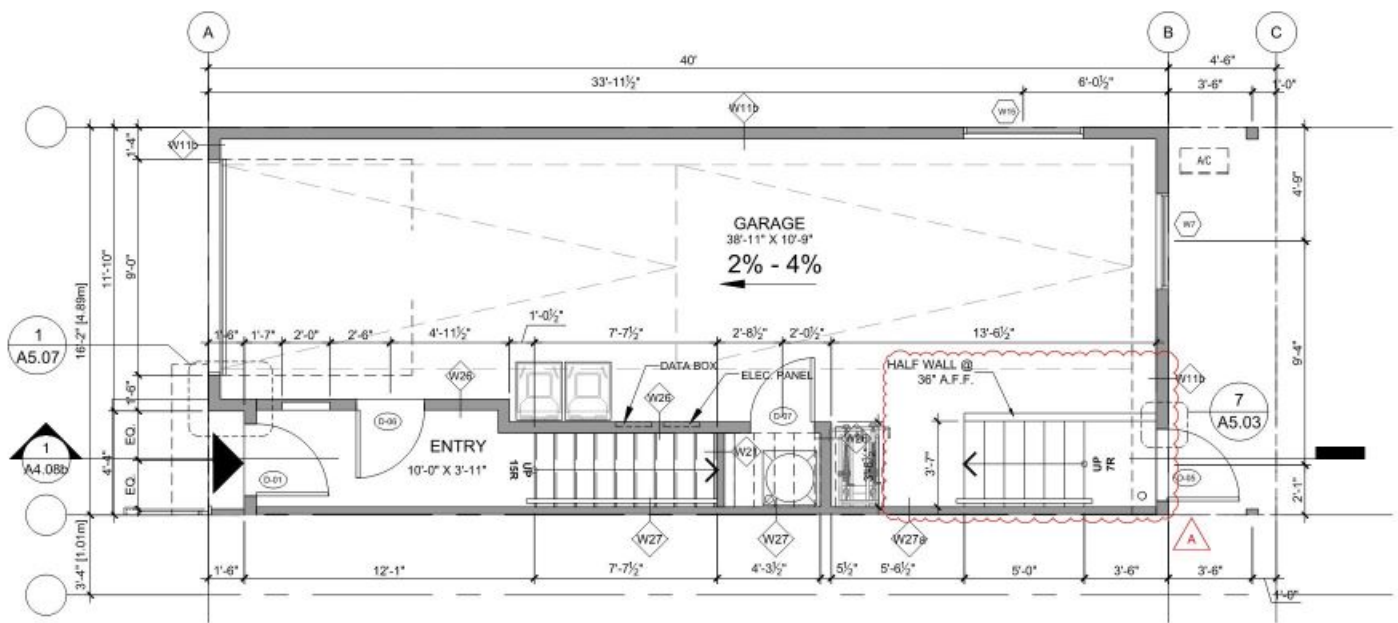
DRAWING TITLE  
**UNIT - C1-a SECTIONS**

DRAWING No.

**A4.07b**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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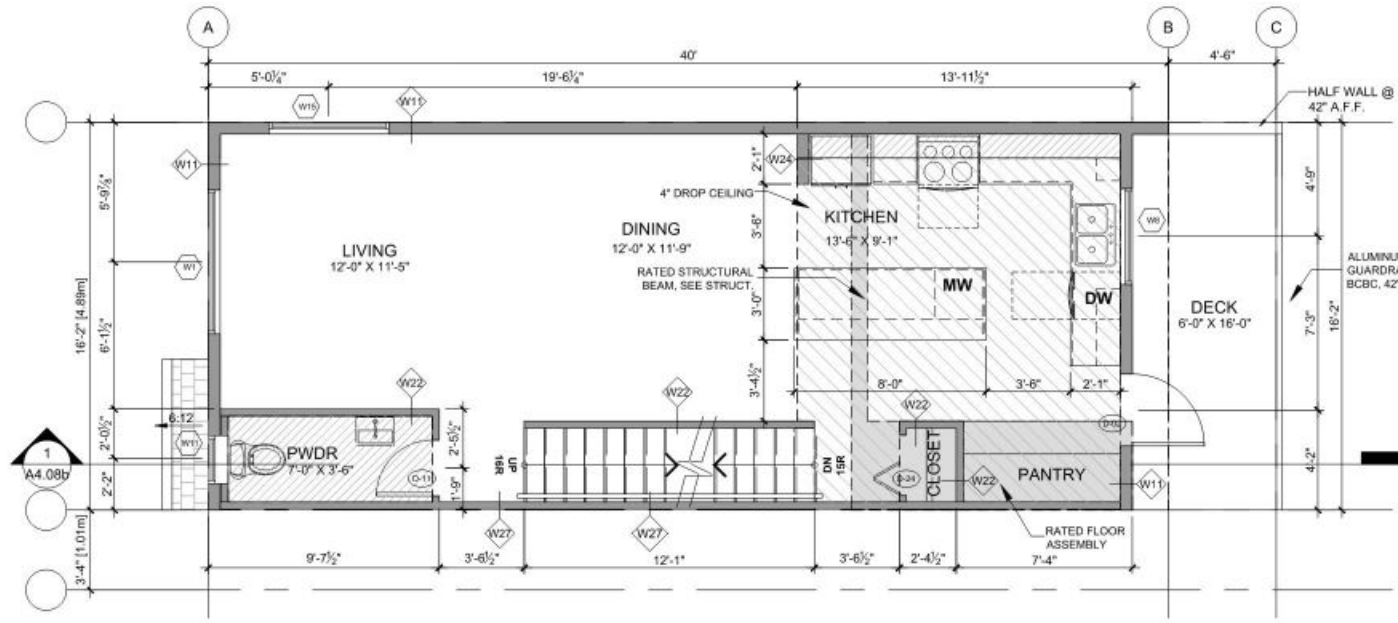
1 GROUND FLOOR PLAN  
Scale: 1/4" = 1'-0"

UNIT B4 AREAS:	S.F.	S.M.
- GROUND FLOOR	98.6	9.16
- MAIN FLOOR	622.1	57.80
- UPPER FLOOR	646.3	60.04
- AREA TOTAL (GROSS) =	<b>1,367.02</b>	<b>127.00</b>
- GARAGE	541.4	50.30
- AREA TOTAL (W/ GARAGE) =	<b>1,908.42</b>	<b>177.30</b>

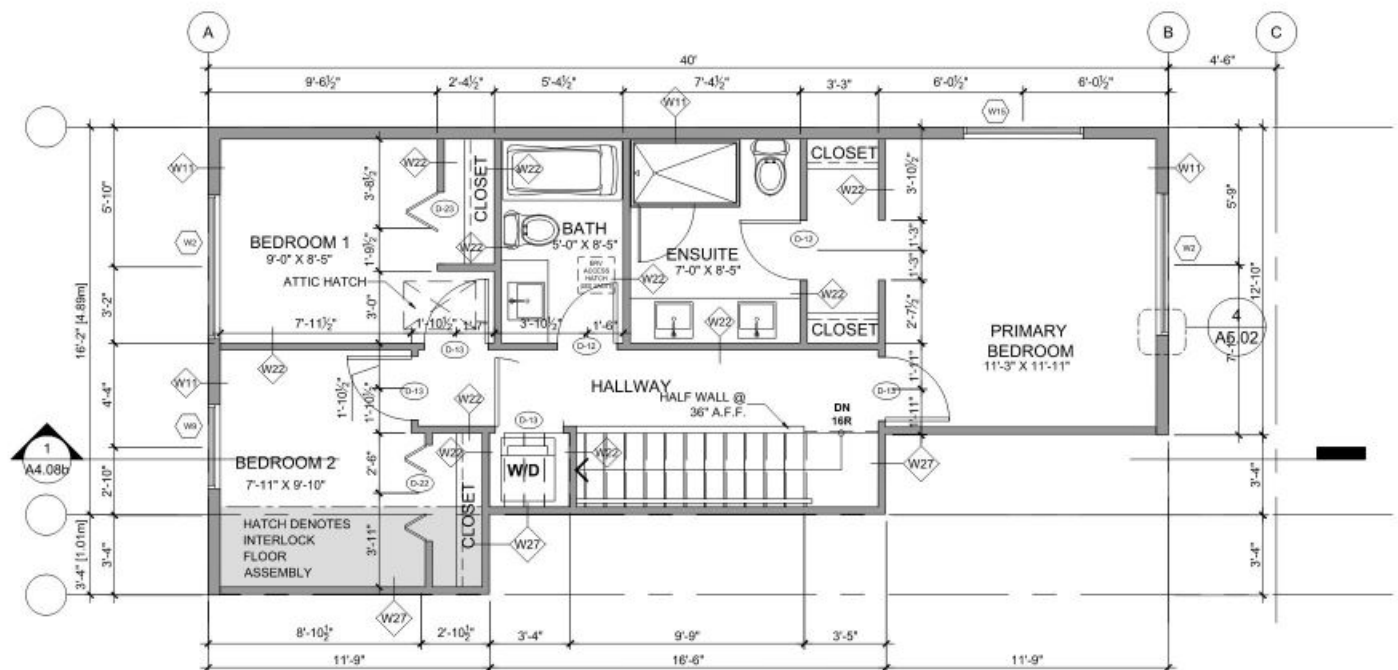
**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [171.45mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
HEIGHT: 9'-8 1/2" [2.96m]  
RISE: 15 @ 7 3/4" [197.3mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 3/4" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



2 MAIN FLOOR PLAN  
Scale: 1/4" = 1'-0"



3 UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

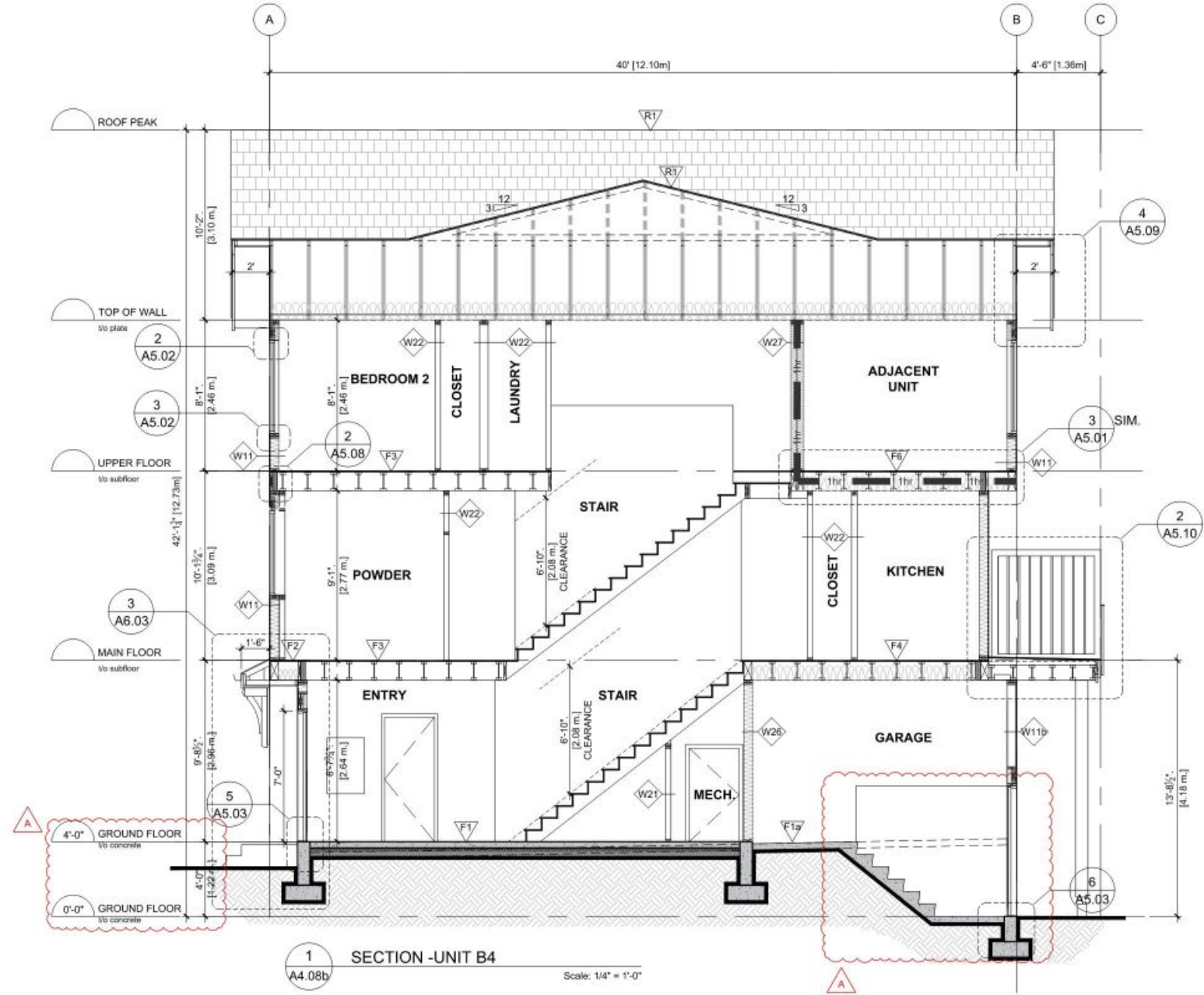
DRAWING TITLE  
**UNIT - B4 FLOOR PLANS**

DRAWING No.

**A4.08a**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 3/4" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2  
HEIGHT: 9'-8 1/2" [2.96m]  
RISE: 15 @ 7 3/4" [197.3mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 0 - LEVEL 1  
HEIGHT: 4' [1.22m]  
RISE: 7 @ 6.75" [171.45mm]  
RUN: 6 @ 10" [255.0mm]

1 SECTION - UNIT B4  
A4.08b Scale: 1/4" = 1'-0"



ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



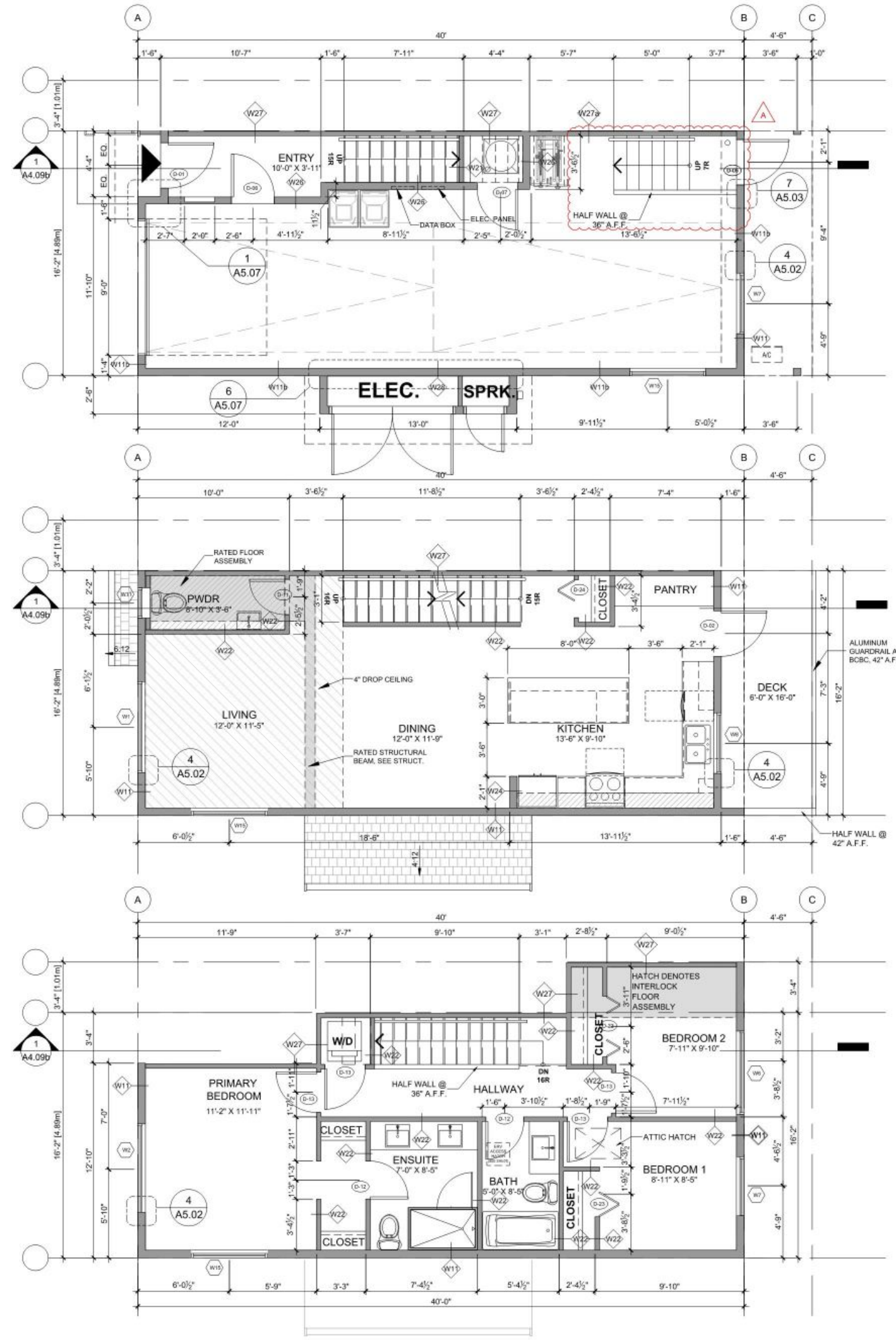
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - B4 SECTIONS**

DRAWING No.  
**A4.08b**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

UNIT B3 AREAS:	S.F.	S.M.
- GROUND FLOOR	98.6	9.16
- MAIN FLOOR	622.3	57.82
- UPPER FLOOR	646.7	60.08
<b>- AREA TOTAL (GROSS) =</b>	<b>1,367.63</b>	<b>127.06</b>
- GARAGE	541.5	50.31
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>1,909.17</b>	<b>177.37</b>



1 GROUND FLOOR PLAN  
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN  
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 3/4" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
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DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

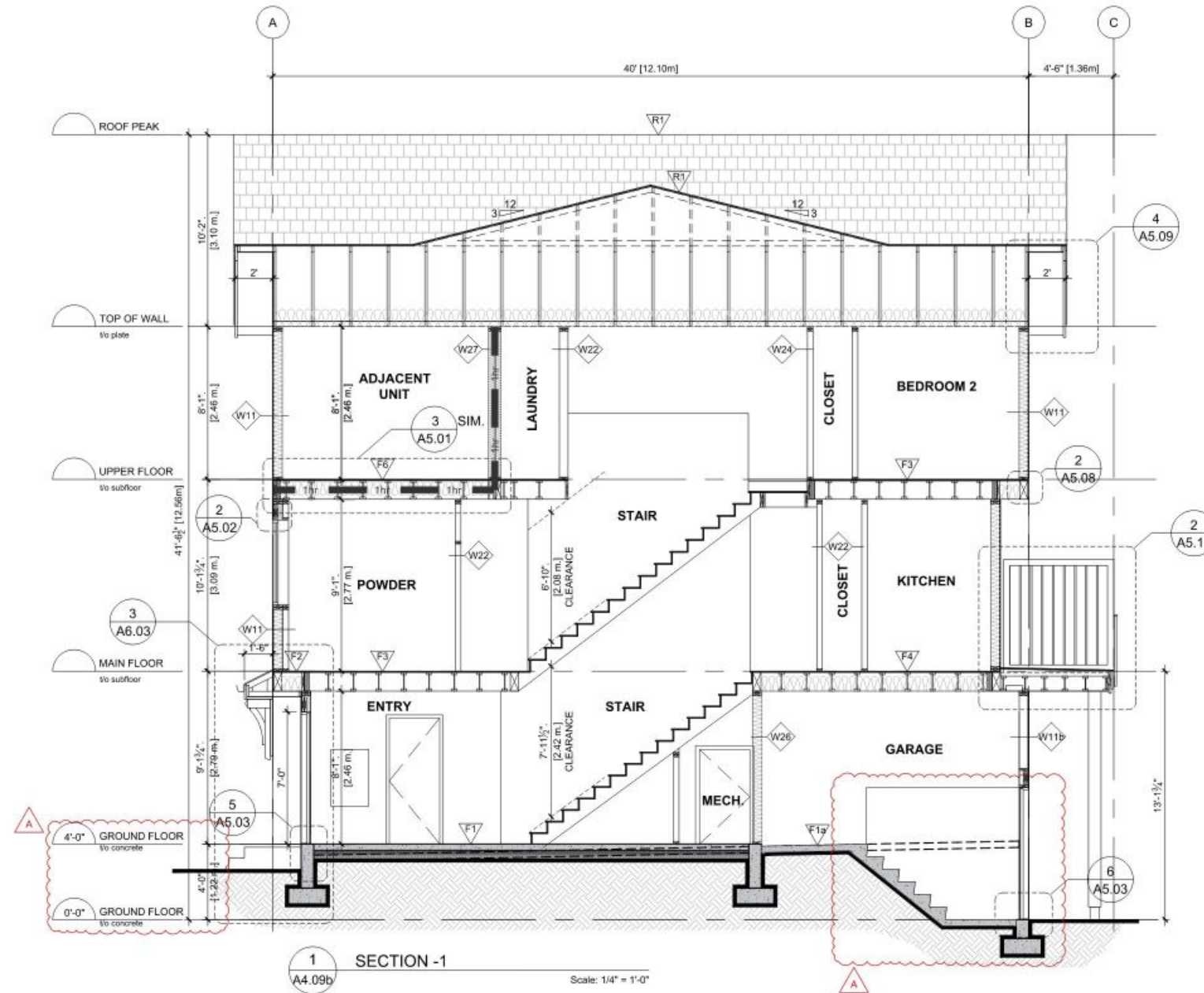
DRAWING TITLE  
**UNIT - B3 FLOOR PLANS**

DRAWING No.

**A4.09a**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2  
HEIGHT: 9'-1 3/4" [2.72m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 0 - LEVEL 1  
HEIGHT: 4' [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]



ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
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3 RE-ISSUED FOR DP APPLICATION	2023-05-24
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1 ISSUED FOR DP APPLICATION	2022-10-17

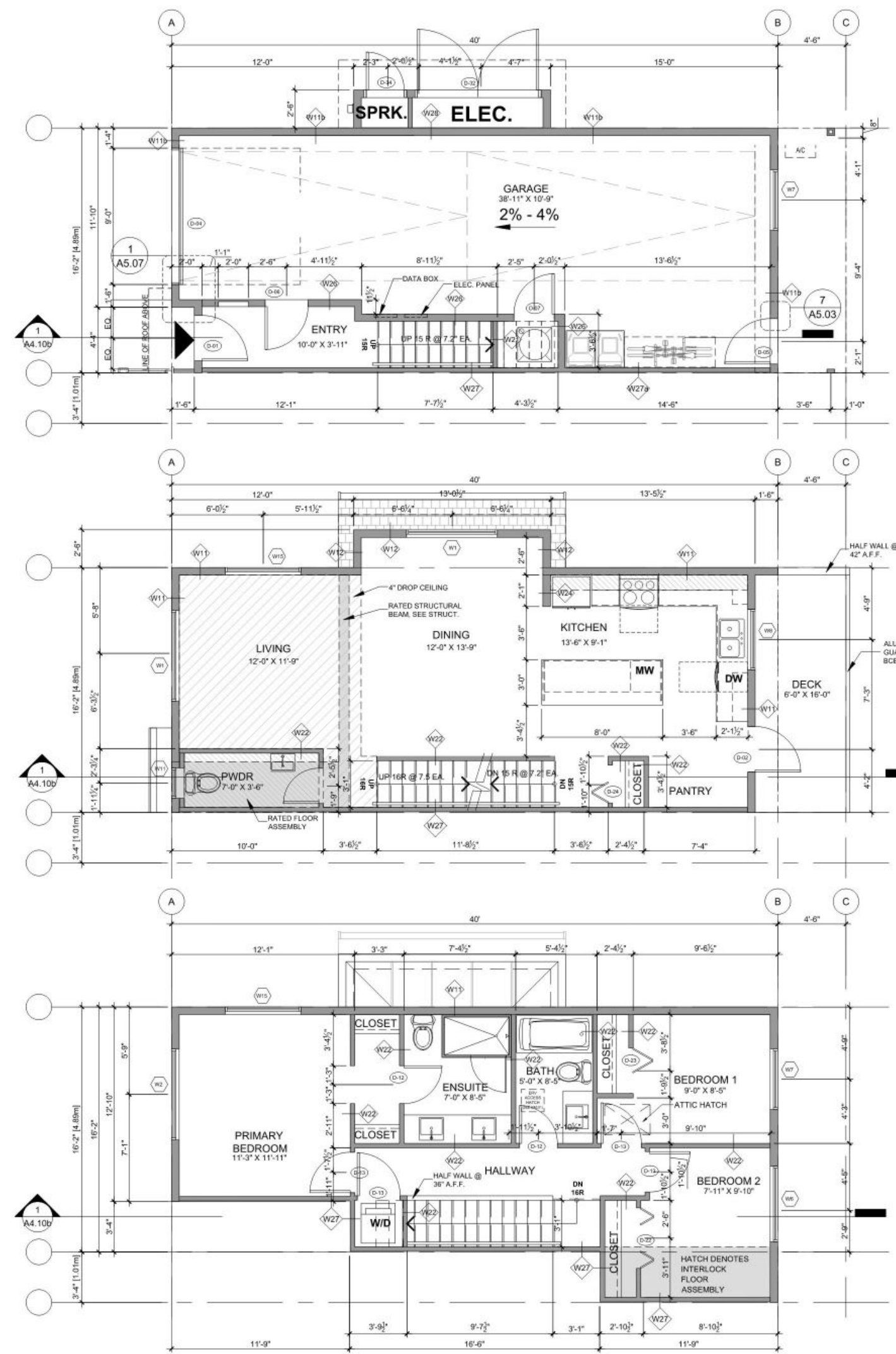
PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
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DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - B3 SECTIONS**

DRAWING No.  
**A4.09b**



**UNIT C3 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	98.6	9.16
- MAIN FLOOR	654.6	60.81
- UPPER FLOOR	646.3	60.04
- <b>AREA TOTAL (GROSS) =</b>	<b>1,399.45</b>	<b>130.01</b>
- GARAGE	541.3	50.29
- <b>AREA TOTAL (W/ GARAGE) =</b>	<b>1,940.79</b>	<b>180.31</b>

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**

HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

1 GROUND FLOOR PLAN Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN Scale: 1/4" = 1'-0"



REVISIONS

ISSUES	DATE
8	
7	
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5 ISSUED FOR BP APPLICATION	2023-10-27
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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



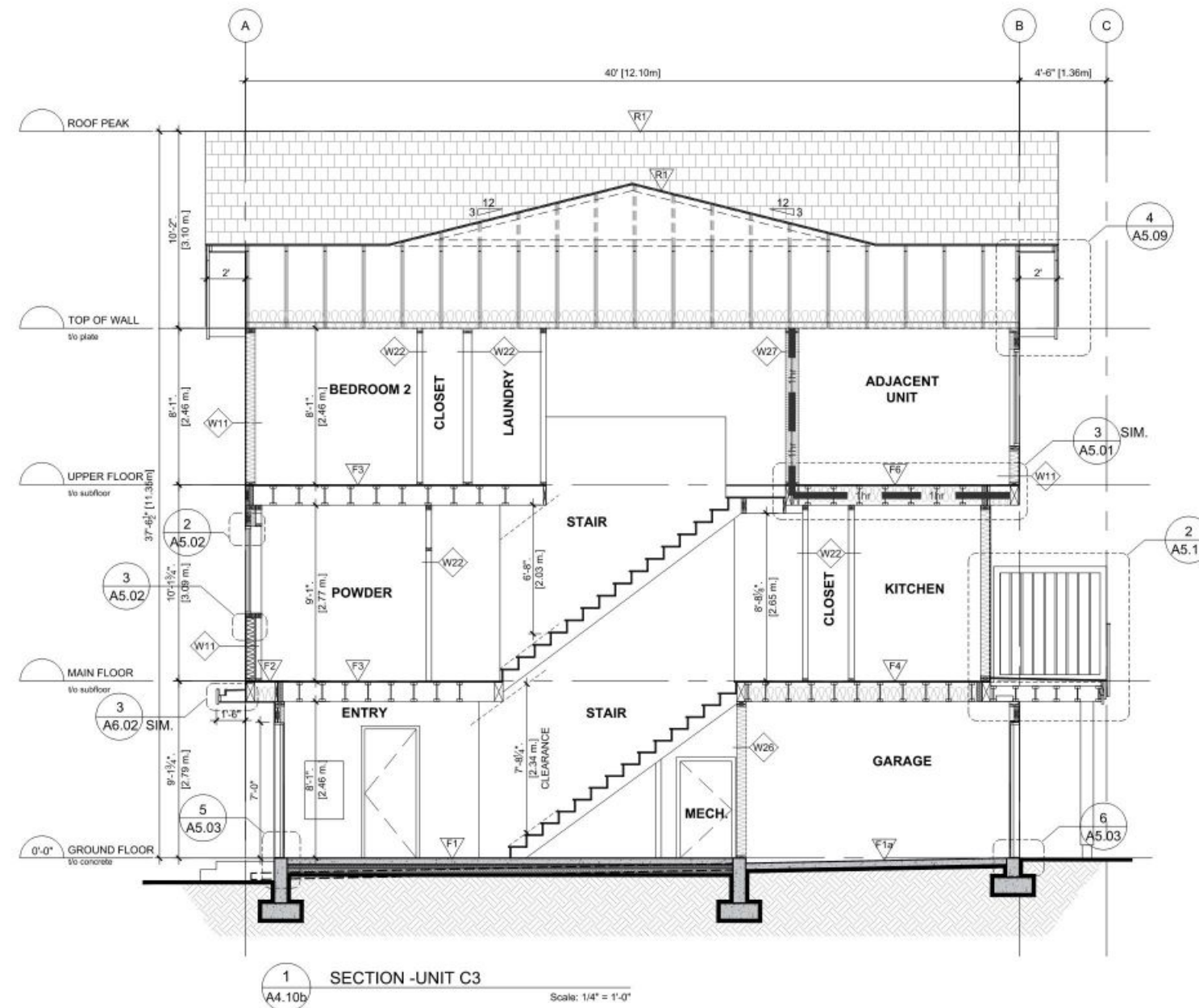
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - C3 FLOOR PLANS**

DRAWING No.

**A4.10a**





1 SECTION - UNIT C3  
A4.10b Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2

HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
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7	
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2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

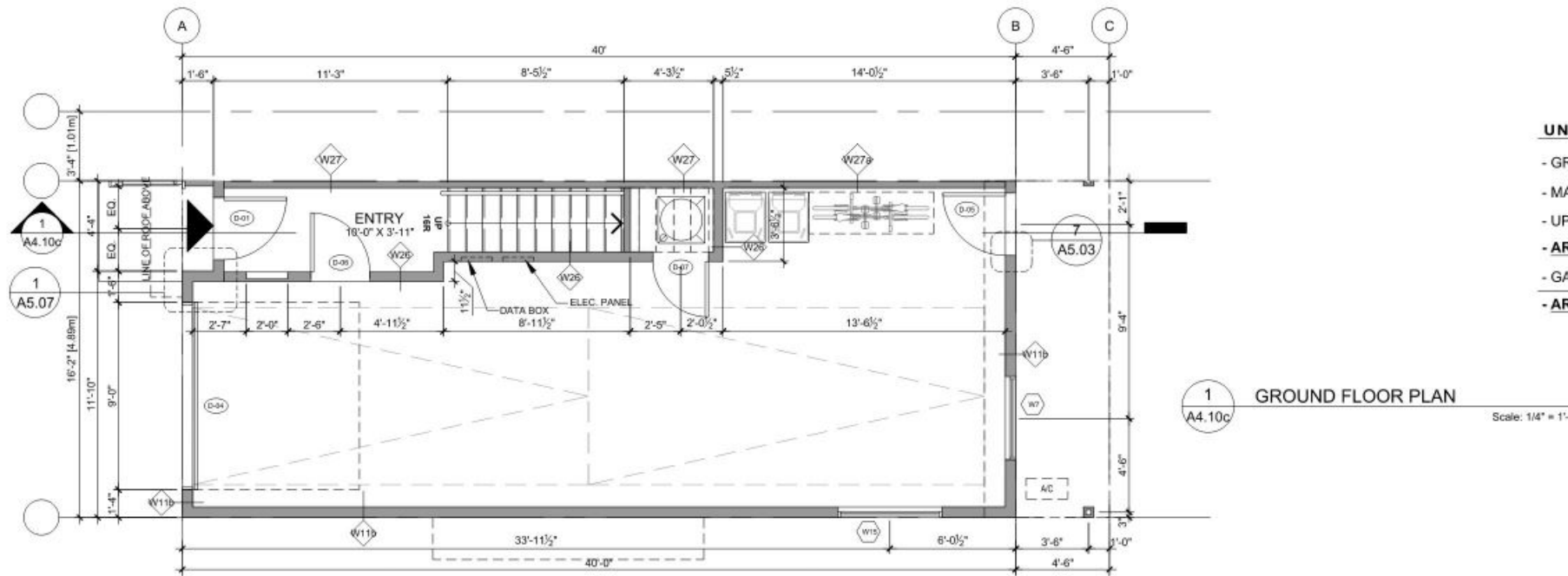
PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - C3 SECTIONS**

DRAWING No.  
**A4.10b**



**UNIT C4 AREAS:**

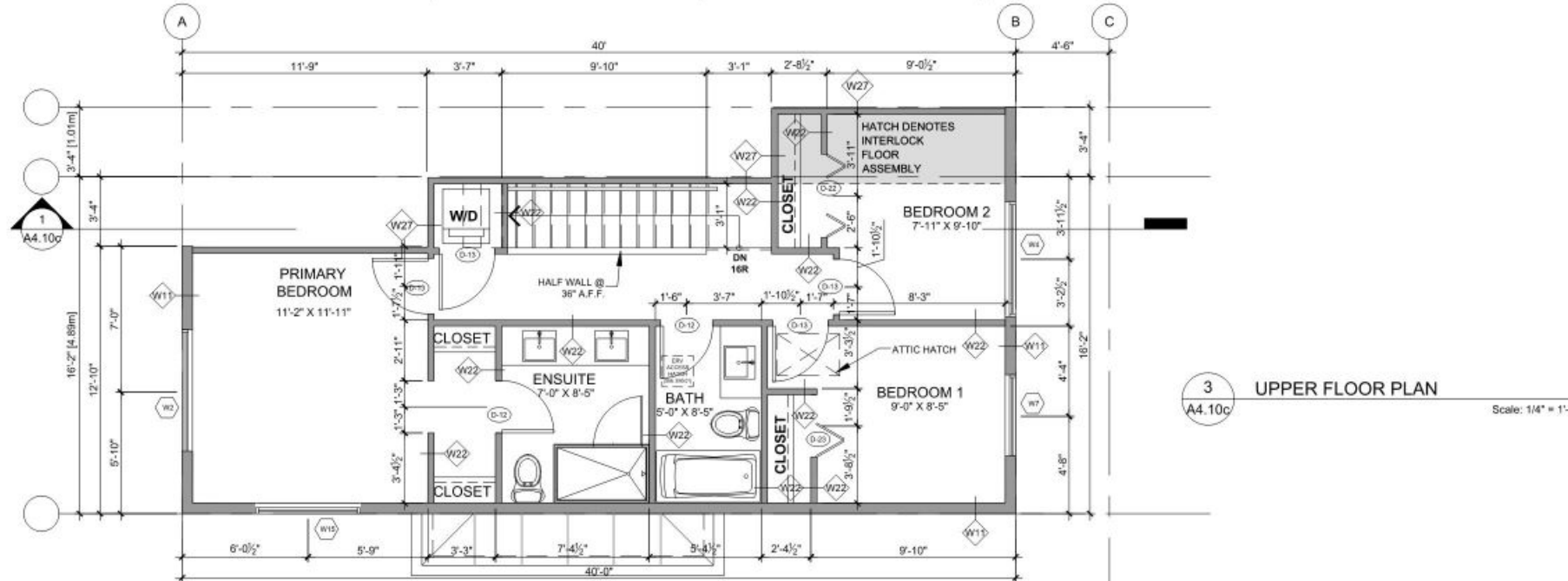
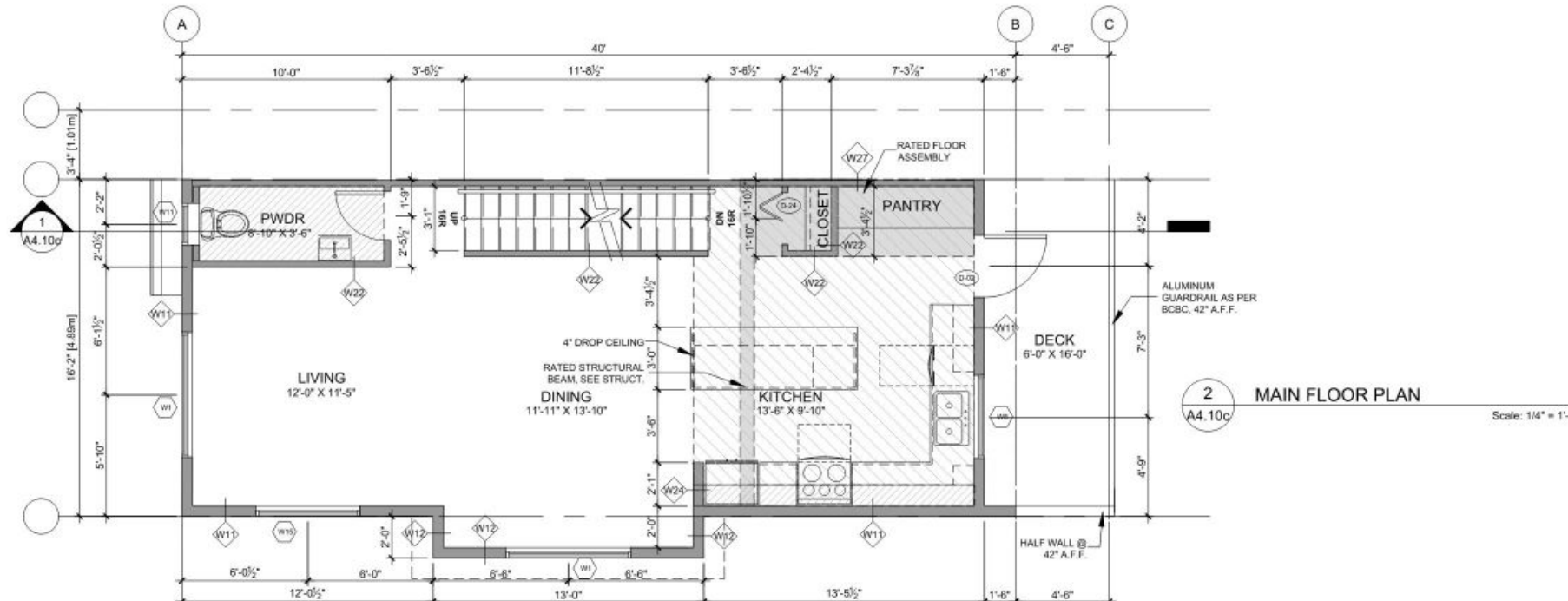
	S.F.	S.M.
- GROUND FLOOR	98.6	9.16
- MAIN FLOOR	648.3	60.23
- UPPER FLOOR	646.7	60.08
<b>- AREA TOTAL (GROSS) =</b>	<b>1,393.63</b>	<b>129.47</b>
- GARAGE	541.5	50.31
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>1,935.17</b>	<b>179.78</b>

**STAIR CALCULATION - TYPICAL**  
LEVEL 1 - LEVEL 2

HEIGHT: 10'-4" [3.16m]  
RISE: 16 @ 7 3/4" [197.5mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

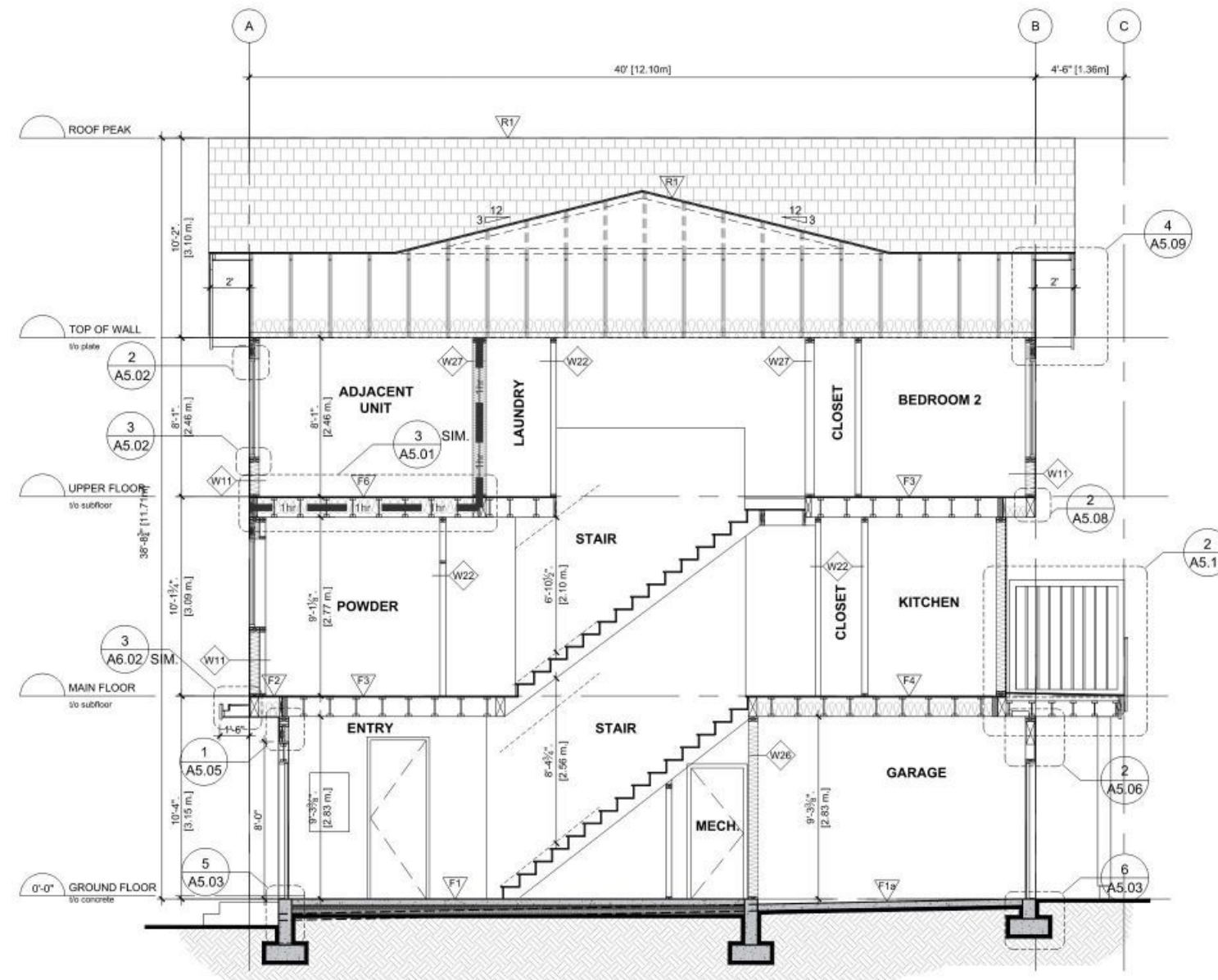


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - C4 FLOOR PLANS**

DRAWING No.

**A4.10c**



**1 SECTION -UNIT C1**  
A4.10d Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL**  
LEVEL 1 - LEVEL 2

HEIGHT: 10'-4" [3.16m]  
RISE: 16 @ 7 3/4" [197.5mm]  
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
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3 RE-ISSUED FOR DP APPLICATION	2023-05-24
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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
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DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

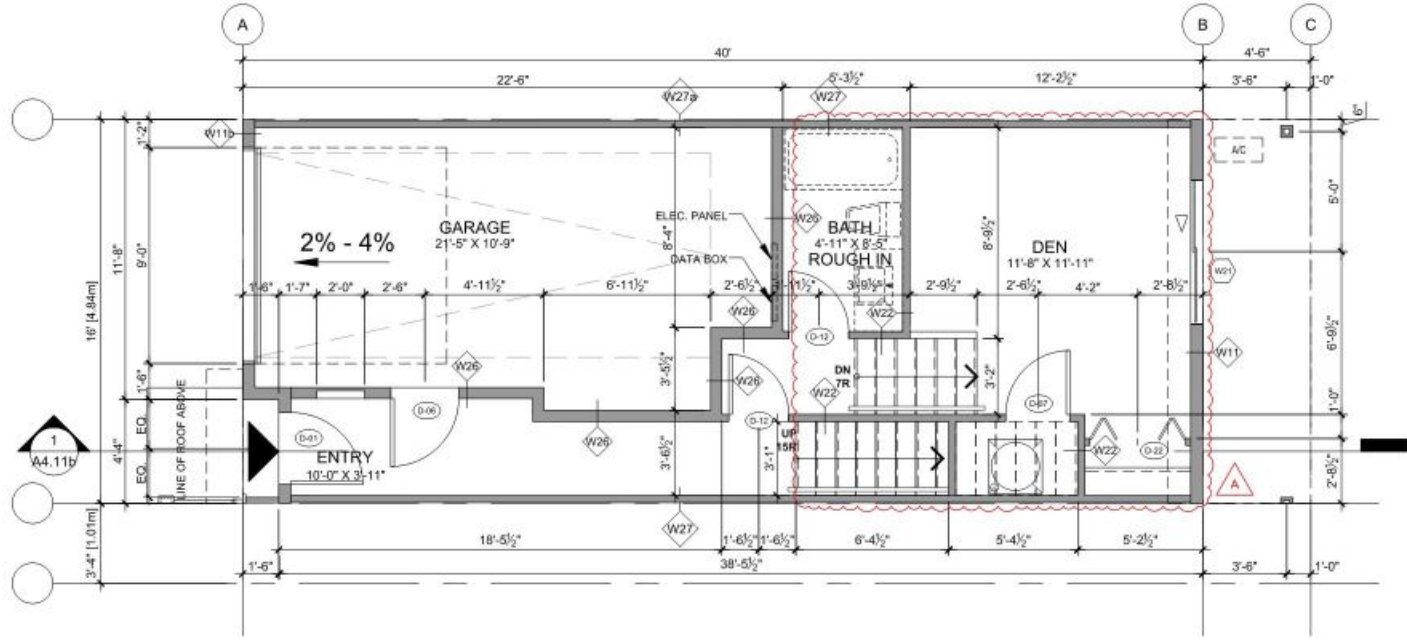
DRAWING TITLE  
**UNIT - C4 SECTIONS**

DRAWING No.

**A4.10d**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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1 GROUND FLOOR PLAN  
Scale: 1/4" = 1'-0"

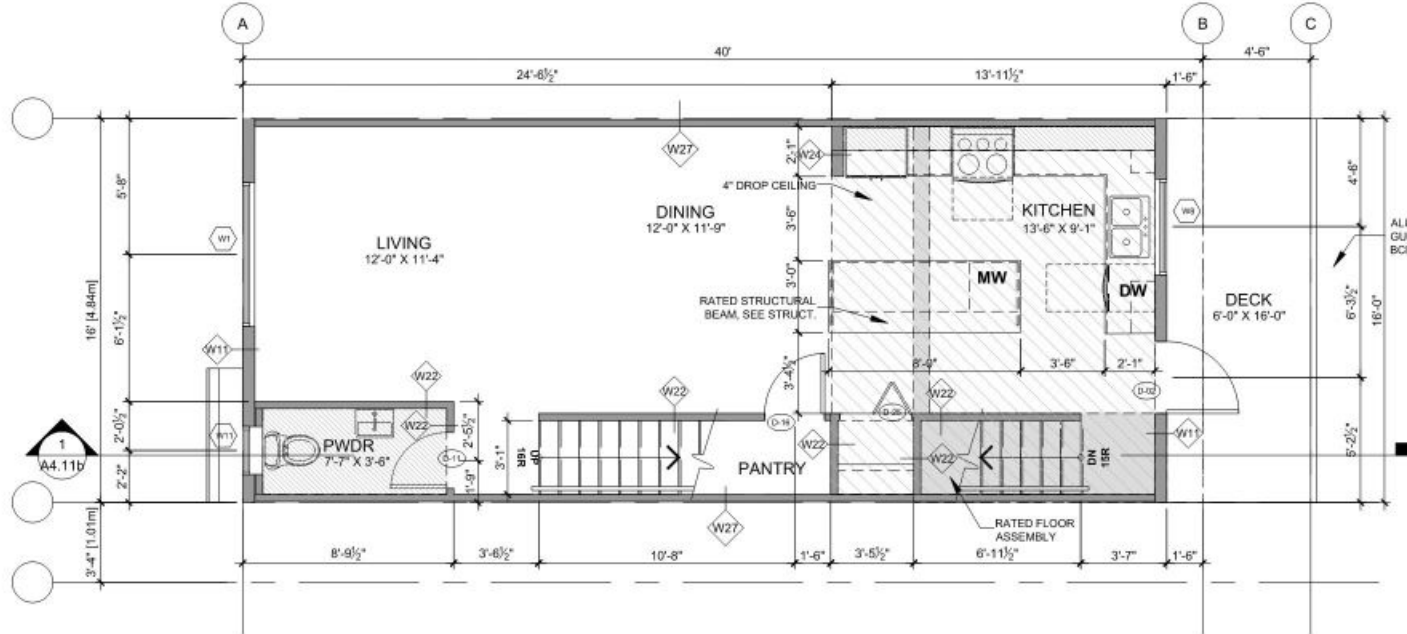
**UNIT F4 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	378.5	35.16
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	640.0	59.46
- AREA TOTAL (GROSS) =	<b>1,634.52</b>	<b>151.85</b>
- GARAGE	255.0	23.69
- AREA TOTAL (W/ GARAGE) =	<b>1,889.50</b>	<b>175.54</b>

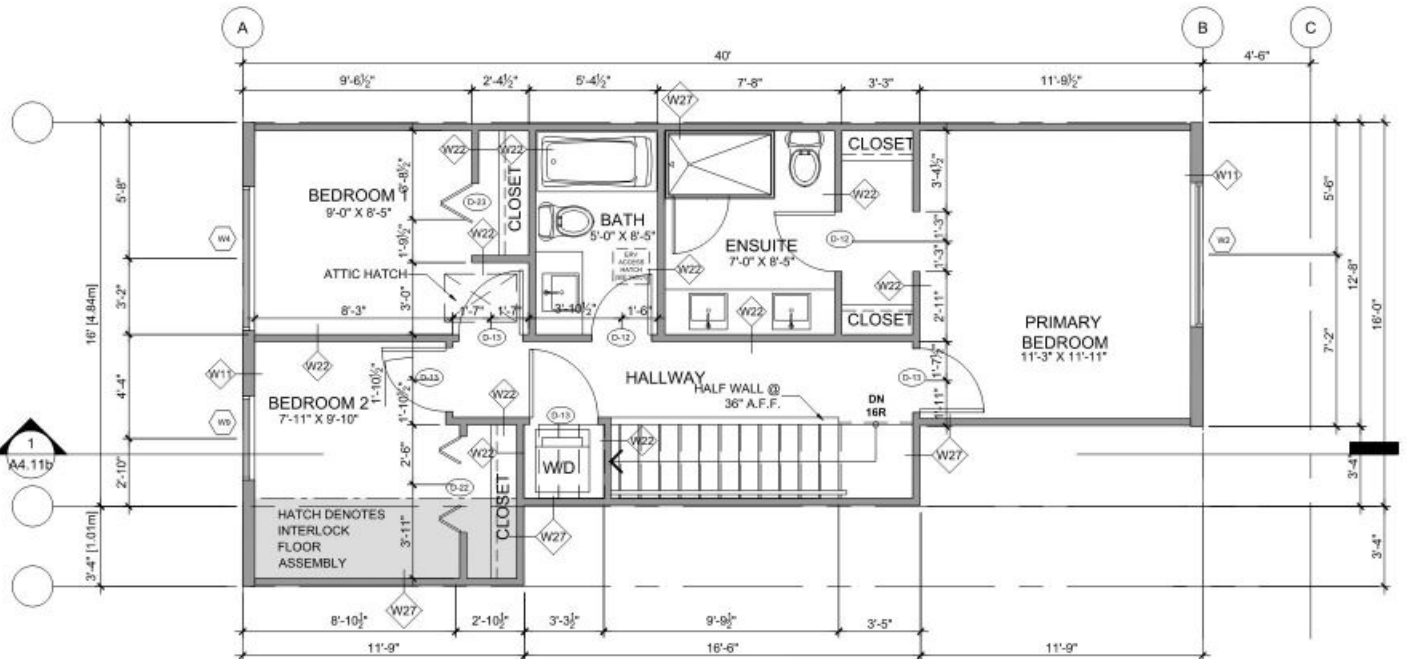
**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



2 MAIN FLOOR PLAN  
Scale: 1/4" = 1'-0"



3 UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
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DATE CHECKED	
CONSULTANT	

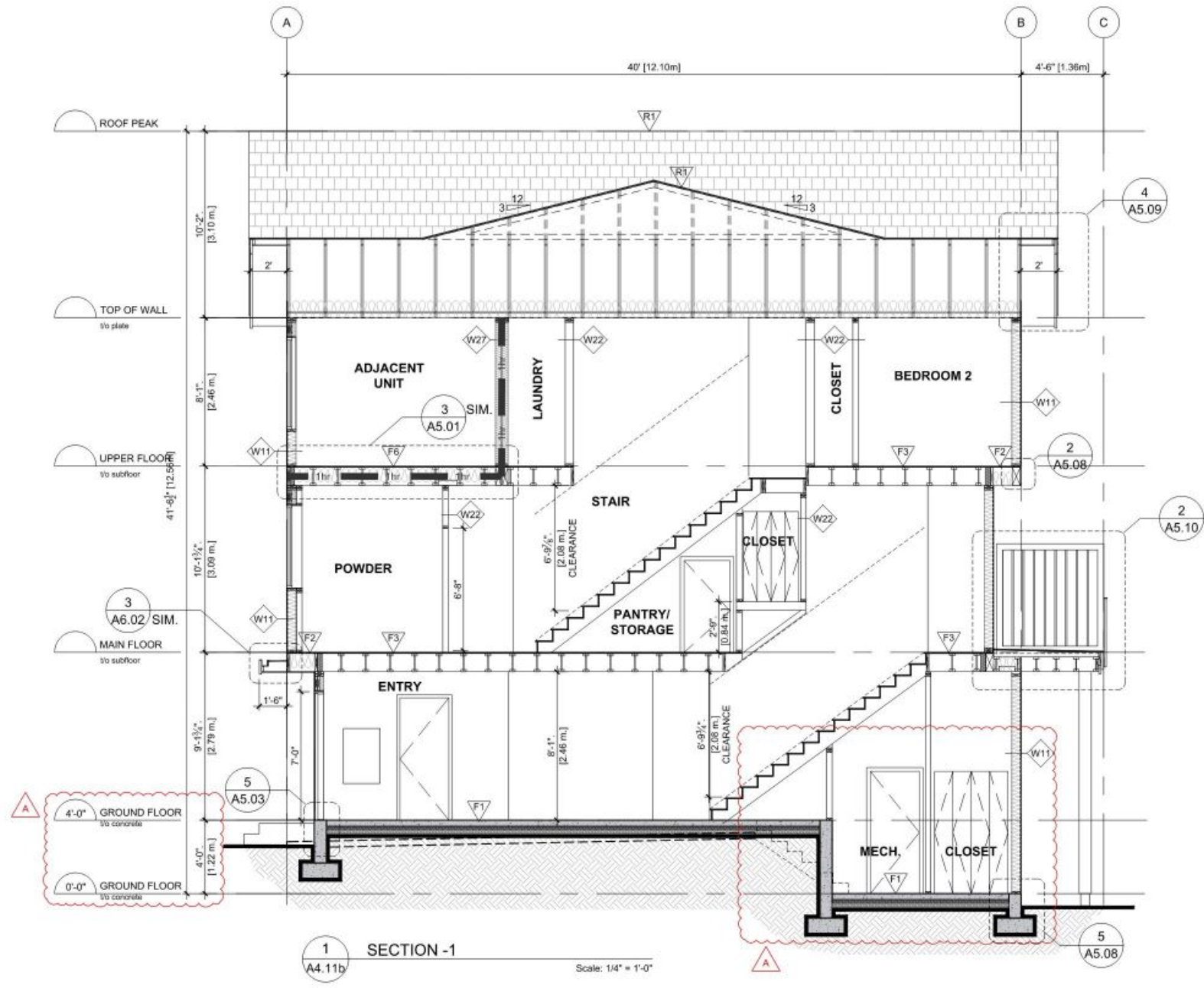


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - F4 FLOOR PLANS**

DRAWING No.

**A4.11a**



Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
 HEIGHT: 4'-0" [1.22m]  
 RISE: 7 @ 6 3/4" [174.3mm]  
 RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
 HEIGHT: 9'-1 3/4" [2.79m]  
 RISE: 15 @ 7 1/4" [186.0mm]  
 RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
 HEIGHT: 10'-1 3/4" [3.09m]  
 RISE: 16 @ 7 1/2" [193.1mm]  
 RUN: 15 @ 10" [255.0mm]

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ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
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DATE CHECKED	
CONSULTANT	



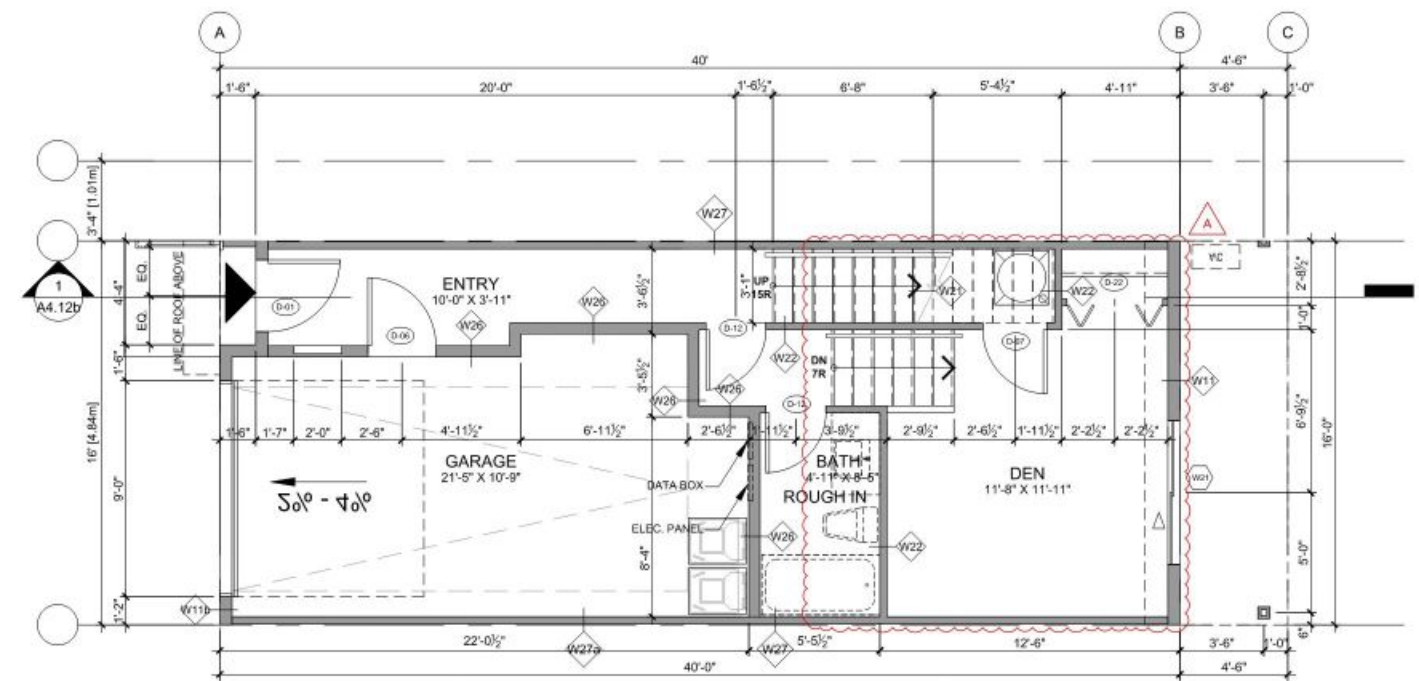
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
 3439 TRUMPETER STREET  
 COLWOOD, BC

DRAWING TITLE  
**UNIT - F4 SECTIONS**

DRAWING No.  
**A4.11b**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

UNIT F3 AREAS:	S.F.	S.M.
- GROUND FLOOR	378.6	35.18
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	640.0	59.46
- AREA TOTAL (GROSS) =	<b>1,634.64</b>	<b>151.86</b>
- GARAGE	254.8	23.67
- AREA TOTAL (W/ GARAGE) =	<b>1,889.46</b>	<b>175.54</b>



STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1

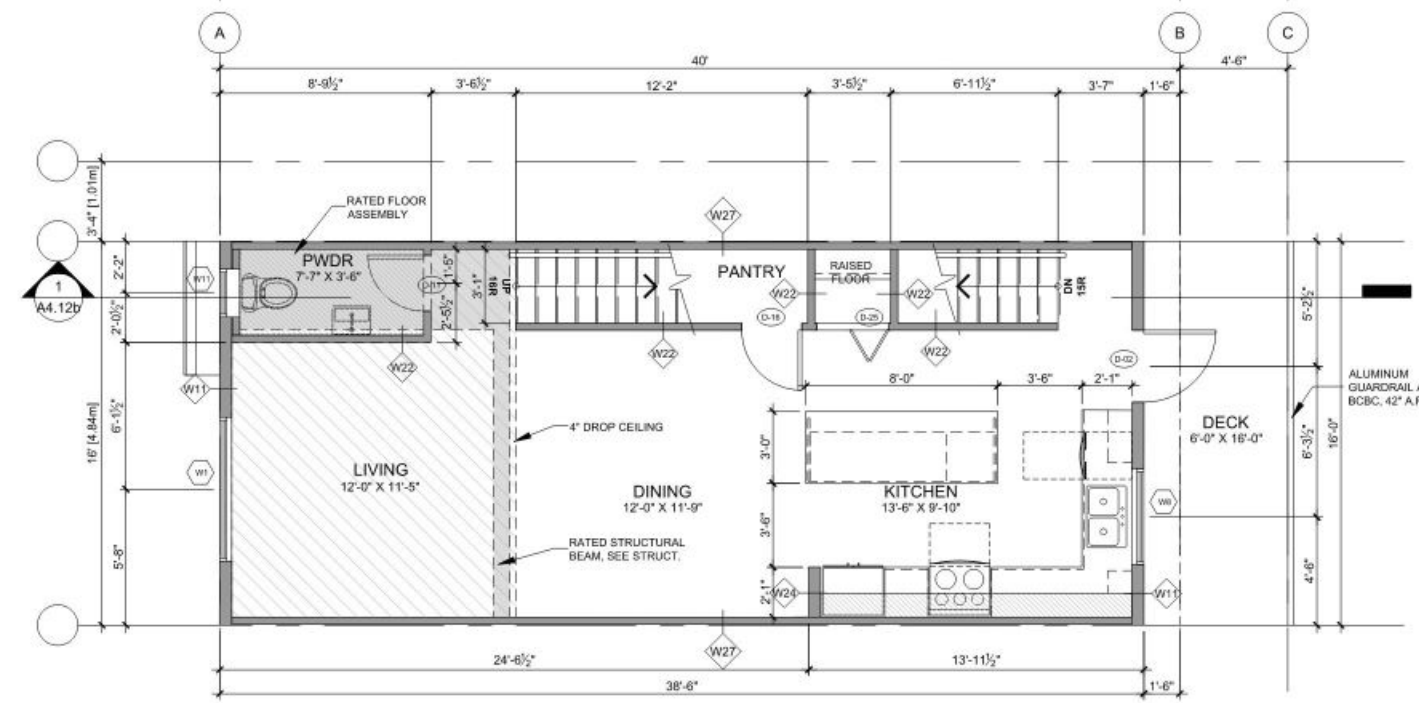
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

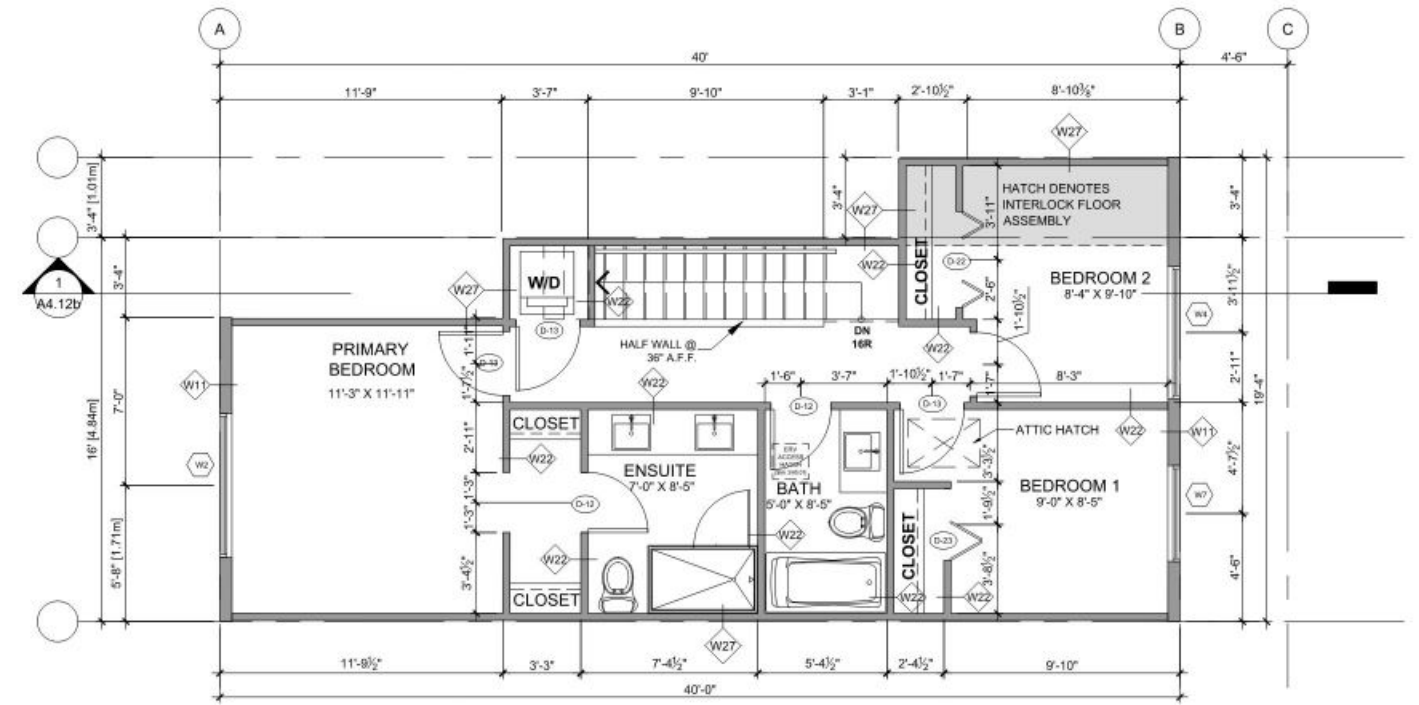
HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



ISSUES	DATE
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1 ISSUED FOR DP APPLICATION	2022-10-17



PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
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CONSULTANT	

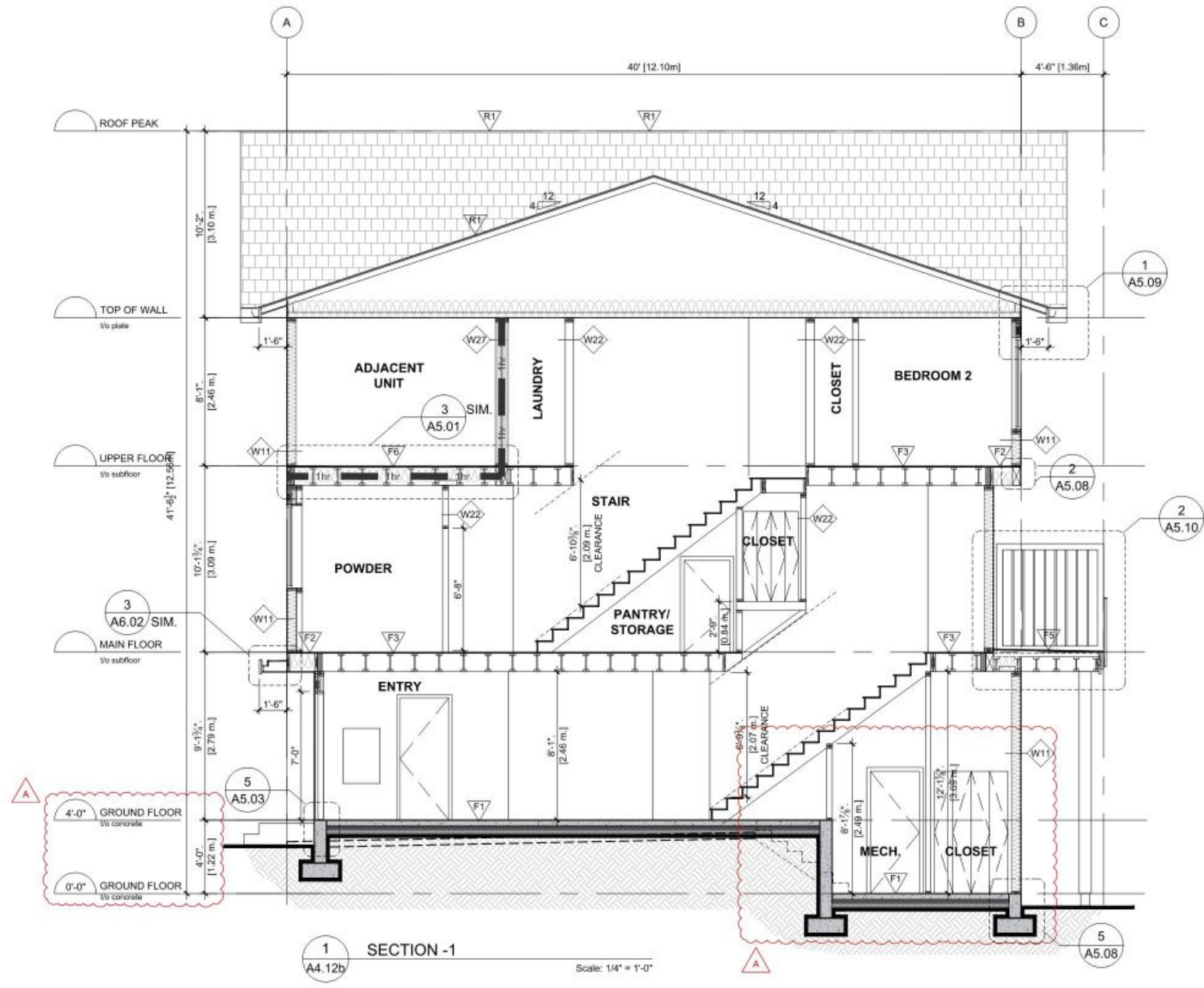


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - F3 FLOOR PLANS**

DRAWING No.

**A4.12a**



Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
 HEIGHT: 4'-0" [1.22m]  
 RISE: 7 @ 6 3/4" [174.3mm]  
 RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
 HEIGHT: 9'-1 3/4" [2.79m]  
 RISE: 15 @ 7 1/4" [186.0mm]  
 RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
 HEIGHT: 10'-1 3/4" [3.09m]  
 RISE: 16 @ 7 1/2" [193.1mm]  
 RUN: 15 @ 10" [255.0mm]

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7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
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3 RE-ISSUED FOR DP APPLICATION	2023-05-24
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1 ISSUED FOR DP APPLICATION	2022-10-17

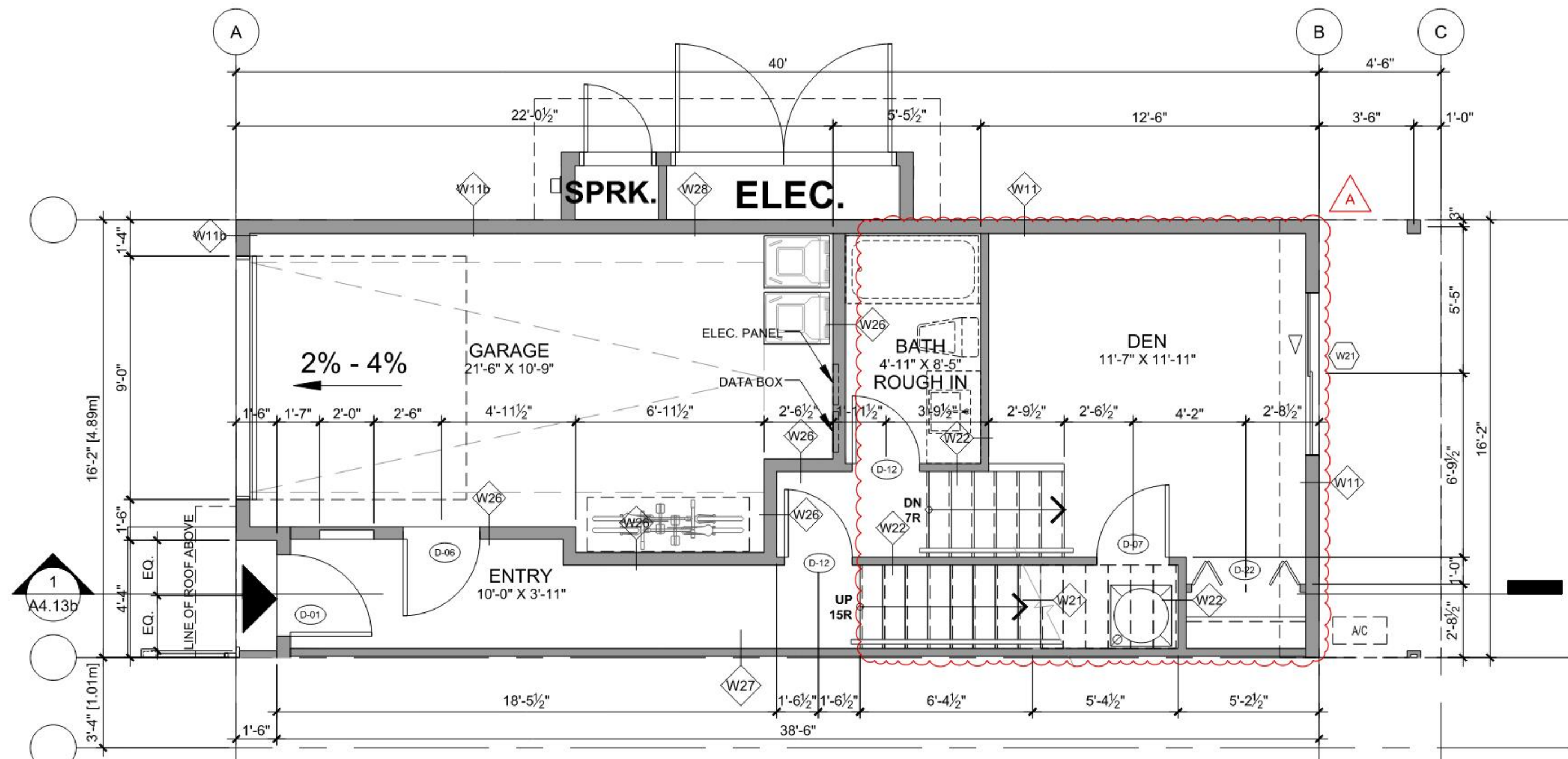
PROJECT NUMBER	DD-92
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CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
 3439 TRUMPETER STREET  
 COLWOOD, BC

DRAWING TITLE  
**UNIT - F3 SECTIONS**

DRAWING No.  
**A4.12b**



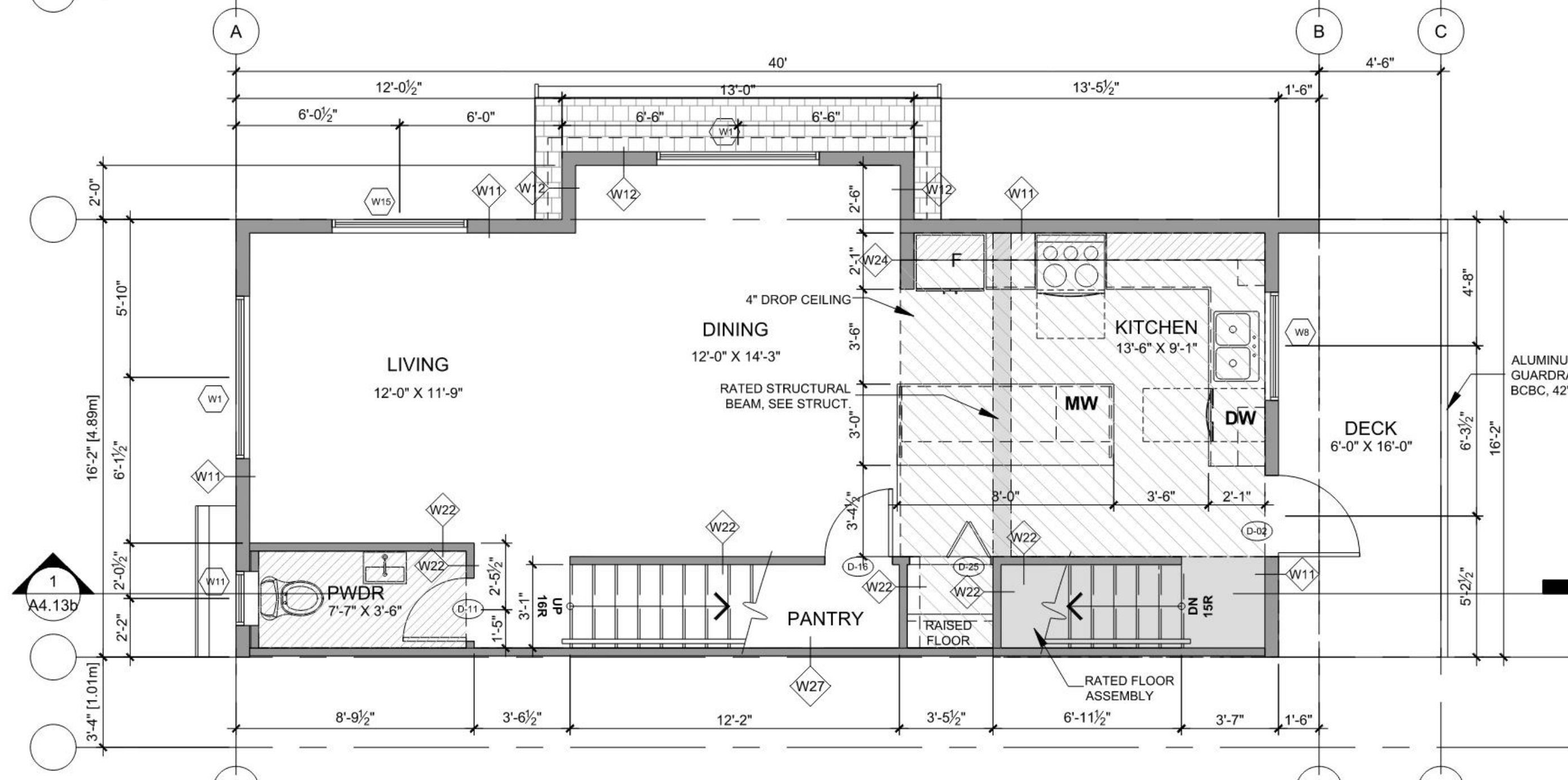
1 GROUND FLOOR PLAN  
Scale: 1/4" = 1'-0"

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

**UNIT F6 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	381.4	35.43
- MAIN FLOOR	654.9	60.84
- UPPER FLOOR	646.7	60.08
- AREA TOTAL (GROSS) =	<b>1,682.98</b>	<b>156.35</b>
- GARAGE	258.7	24.04
- AREA TOTAL (W/ GARAGE) =	<b>1,941.73</b>	<b>180.39</b>

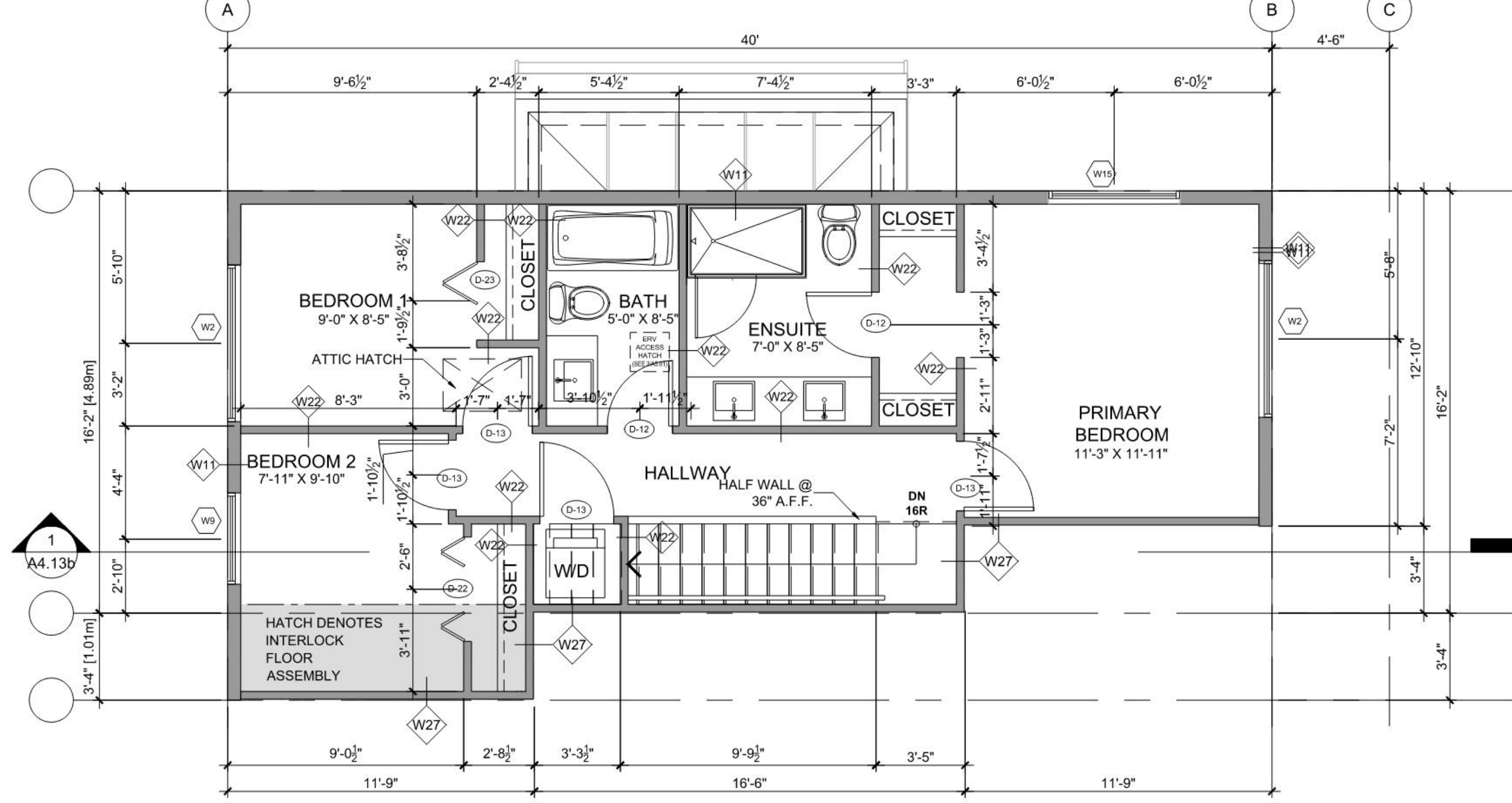
**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
 HEIGHT: 4'-0" [1.22m]  
 RISE: 7 @ 6 3/4" [174.3mm]  
 RUN: 6 @ 10" [255.0mm]



2 MAIN FLOOR PLAN  
Scale: 1/4" = 1'-0"

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
 HEIGHT: 9'-1 3/4" [2.79m]  
 RISE: 15 @ 7 1/4" [186.0mm]  
 RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
 HEIGHT: 10'-1 3/4" [3.09m]  
 RISE: 16 @ 7 1/2" [193.1mm]  
 RUN: 15 @ 10" [255.0mm]



3 UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"

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1 ISSUED FOR DP APPLICATION	2022-10-17

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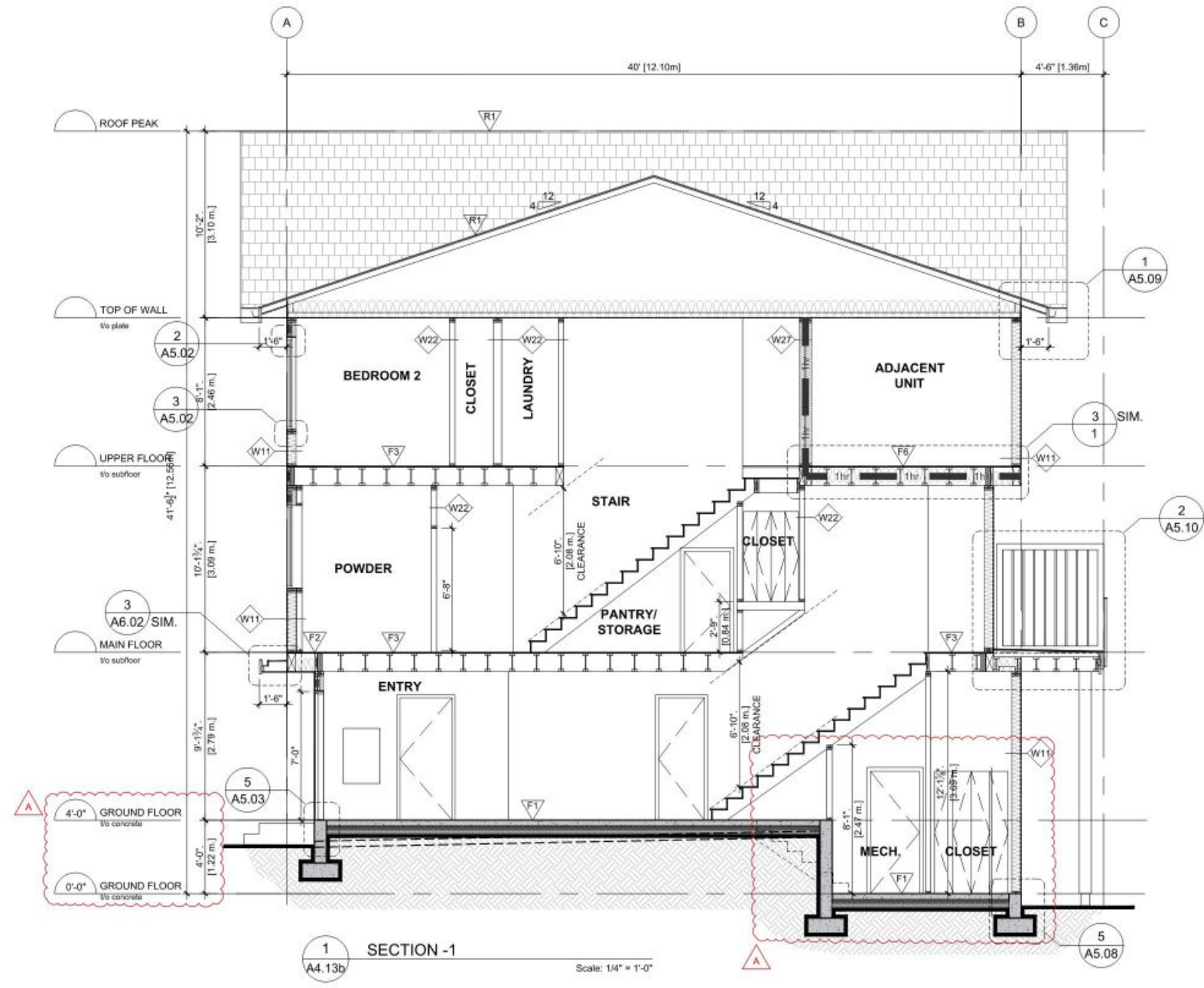
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
 3439 TRUMPETER STREET  
 COLWOOD, BC

DRAWING TITLE  
**UNIT - F6 FLOOR PLANS**

DRAWING No.

**A4.13a**





Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
 HEIGHT: 4'-0" [1.22m]  
 RISE: 7 @ 6 3/4" [174.3mm]  
 RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
 HEIGHT: 9'-1 3/4" [2.79m]  
 RISE: 15 @ 7 1/4" [186.0mm]  
 RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
 HEIGHT: 10'-1 3/4" [3.09m]  
 RISE: 16 @ 7 1/2" [193.1mm]  
 RUN: 15 @ 10" [255.0mm]

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1 ISSUED FOR DP APPLICATION	2022-10-17

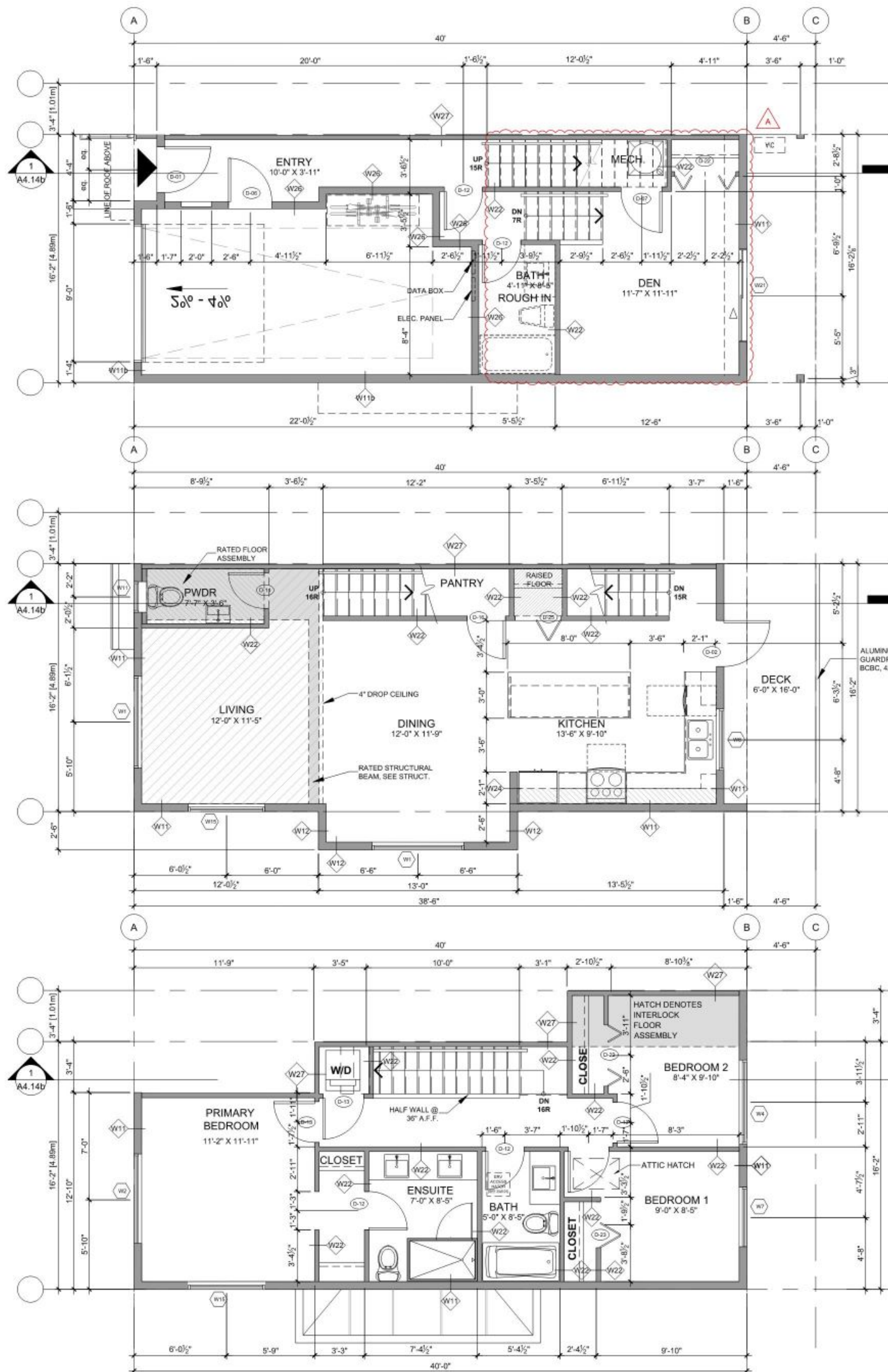
PROJECT NUMBER	DD-92
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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
 3439 TRUMPETER STREET  
 COLWOOD, BC

DRAWING TITLE  
**UNIT - F6 SECTIONS**

DRAWING No.  
**A4.13b**



Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

**UNIT F5 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	381.5	35.44
- MAIN FLOOR	654.9	60.84
- UPPER FLOOR	646.7	60.08
- AREA TOTAL (GROSS) =	<b>1,683.09</b>	<b>156.36</b>
- GARAGE	258.6	24.03
- AREA TOTAL (W/ GARAGE) =	<b>1,941.72</b>	<b>180.39</b>

1 GROUND FLOOR PLAN Scale: 1/4" = 1'-0"

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
 HEIGHT: 4'-0" [1.22m]  
 RISE: 7 @ 6 3/4" [174.3mm]  
 RUN: 6 @ 10" [255.0mm]

2 MAIN FLOOR PLAN Scale: 1/4" = 1'-0"

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
 HEIGHT: 9'-1 3/4" [2.79m]  
 RISE: 15 @ 7 1/4" [186.0mm]  
 RUN: 14 @ 10" [255.0mm]

3 UPPER FLOOR PLAN Scale: 1/4" = 1'-0"

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
 HEIGHT: 10'-1 3/4" [3.09m]  
 RISE: 16 @ 7 1/2" [193.1mm]  
 RUN: 15 @ 10" [255.0mm]



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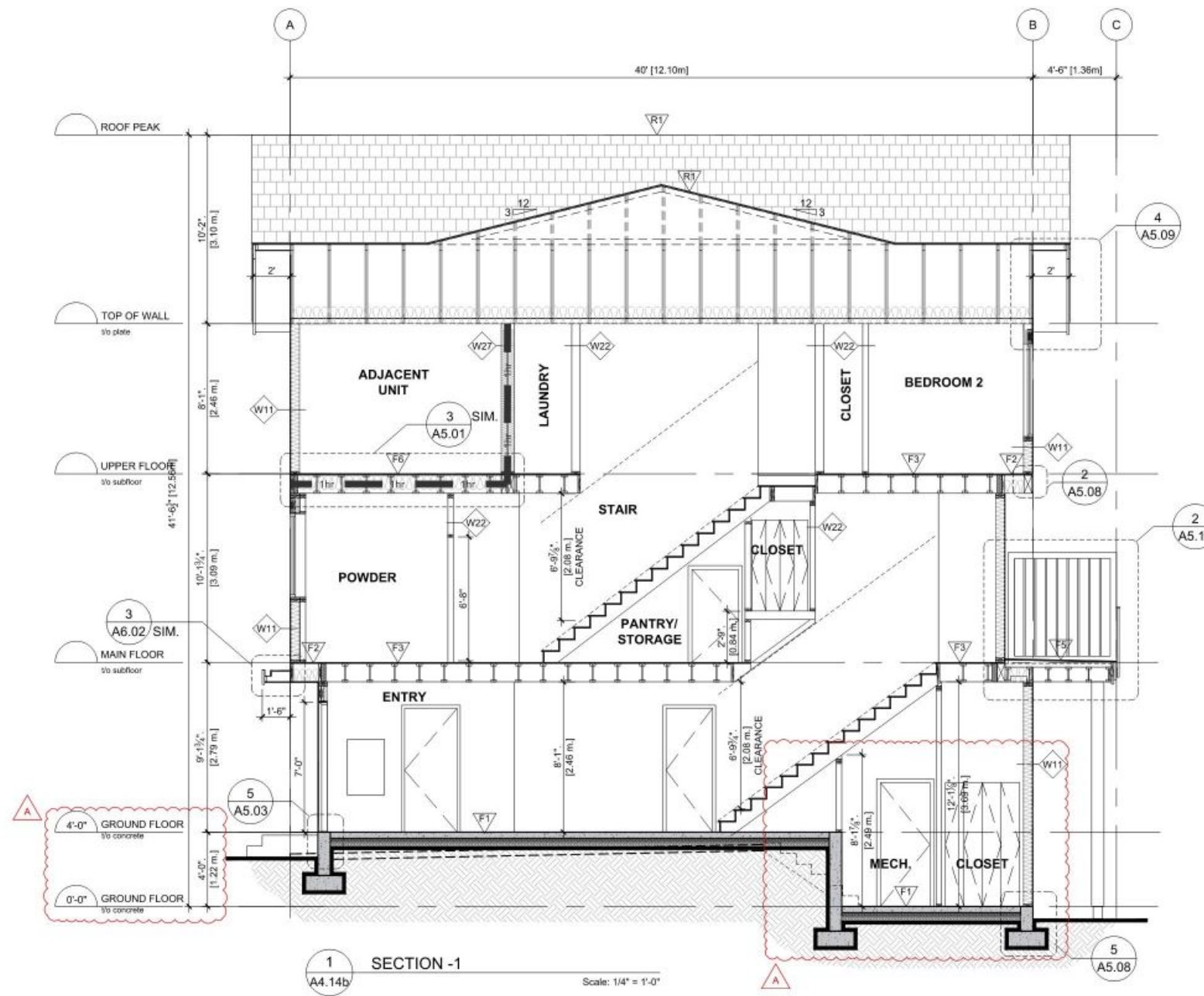


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
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DRAWING TITLE  
**UNIT - F5 FLOOR PLANS**

DRAWING No.

**A4.14a**



Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
 HEIGHT: 4'-0" [1.22m]  
 RISE: 7 @ 6 3/4" [174.3mm]  
 RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
 HEIGHT: 9'-1 3/4" [2.79m]  
 RISE: 15 @ 7 1/4" [186.0mm]  
 RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
 HEIGHT: 10'-1 3/4" [3.09m]  
 RISE: 16 @ 7 1/2" [193.1mm]  
 RUN: 15 @ 10" [255.0mm]

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PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
 3439 TRUMPETER STREET  
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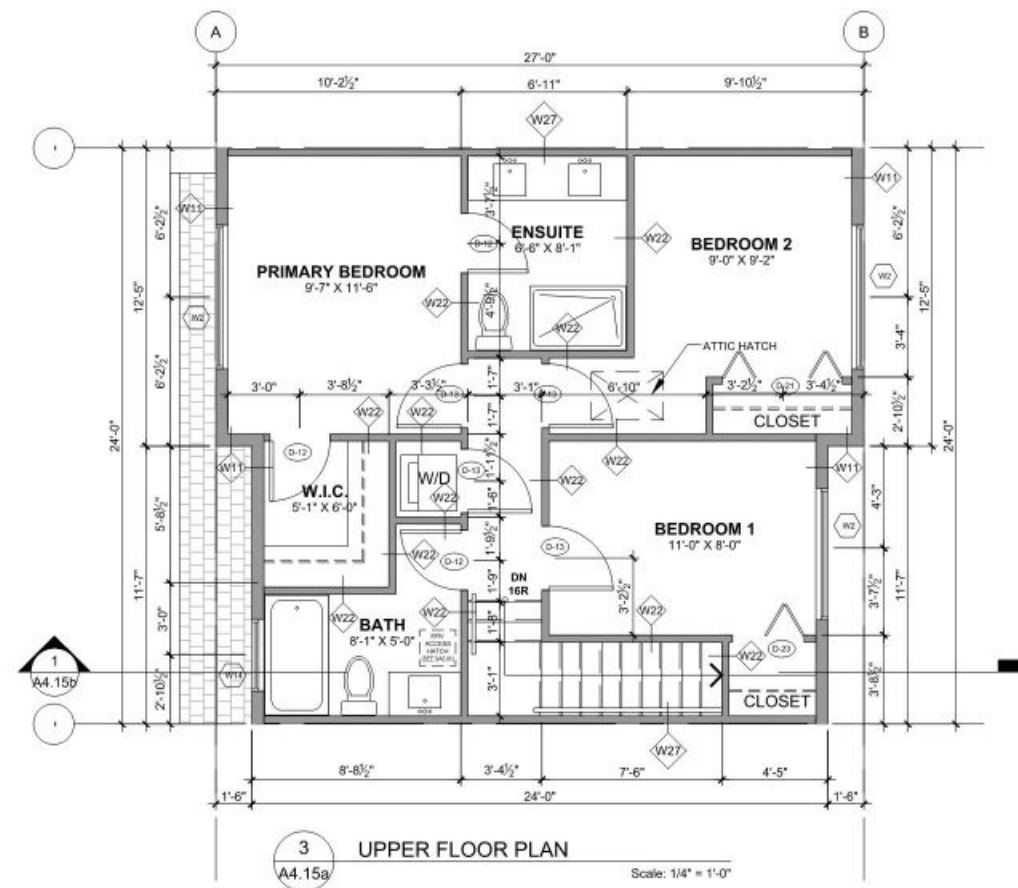
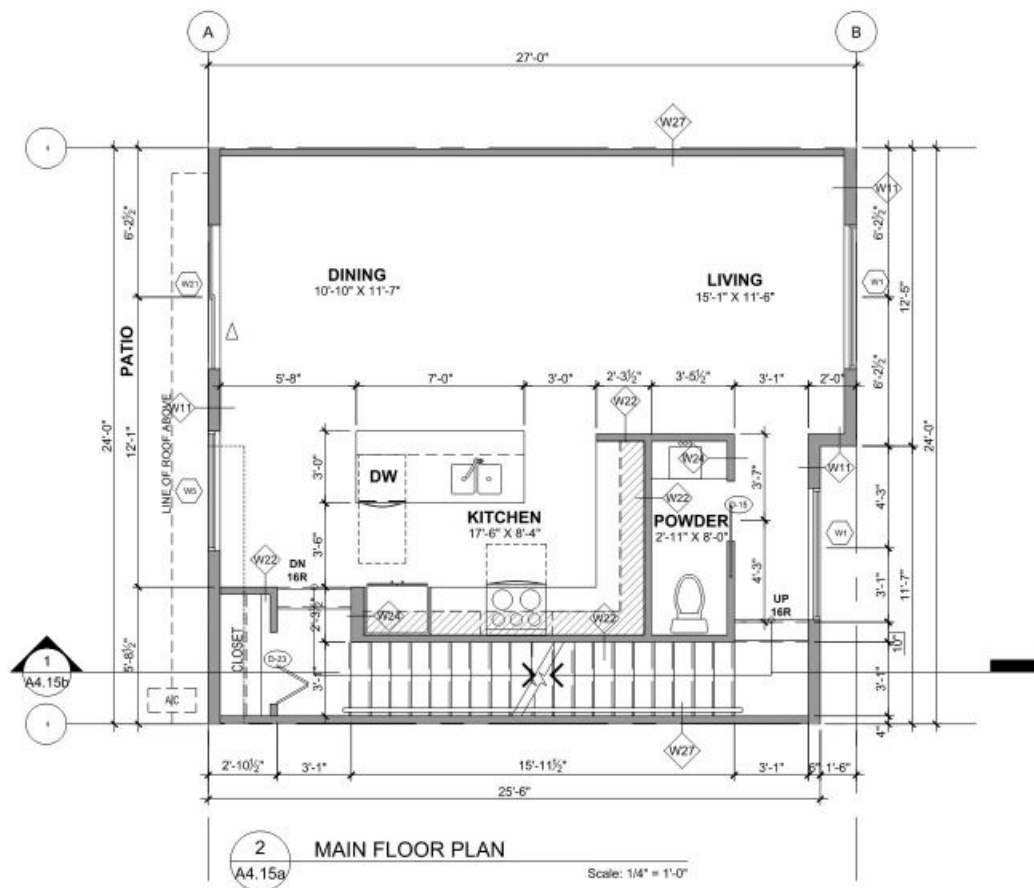
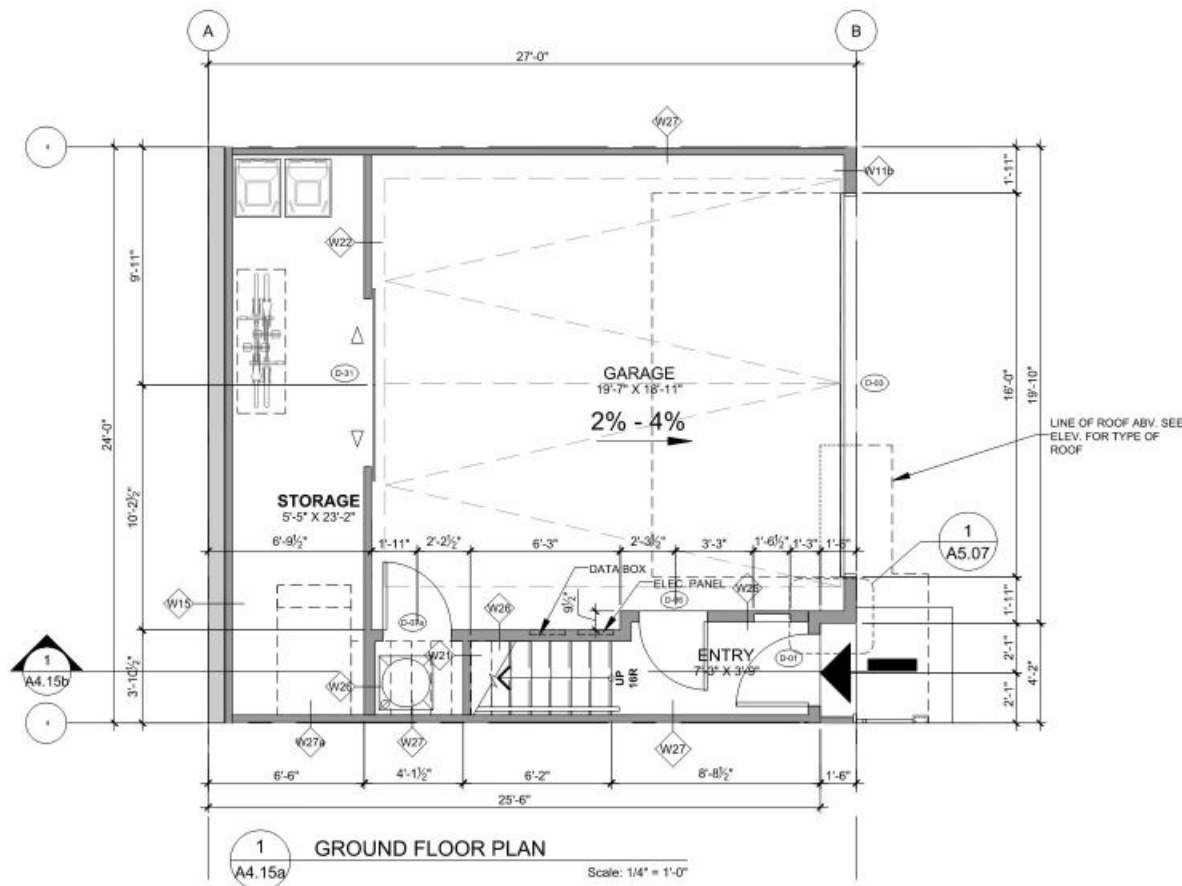
DRAWING TITLE  
**UNIT - F5 SECTIONS**

DRAWING No.  
**A4.14b**

UNIT D1 AREAS:	S.F.	S.M.
- GROUND FLOOR	234.7	21.80
- MAIN FLOOR	630.6	58.59
- UPPER FLOOR	613.2	56.97
<b>AREA TOTAL (GROSS) =</b>	<b>1,478.53</b>	<b>137.36</b>
- GARAGE	407.1	37.82
<b>- AREA TOTAL (Including Garage) =</b>	<b>1,885.62</b>	<b>175.18</b>

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2	
HEIGHT:	10'-1 3/4" [3.09m]
RISE:	16 @ 7 1/2" [193.1mm]
RUN:	15 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3	
HEIGHT:	10'-1 3/4" [3.09m]
RISE:	16 @ 7 1/2" [193.1mm]
RUN:	15 @ 10" [255.0mm]



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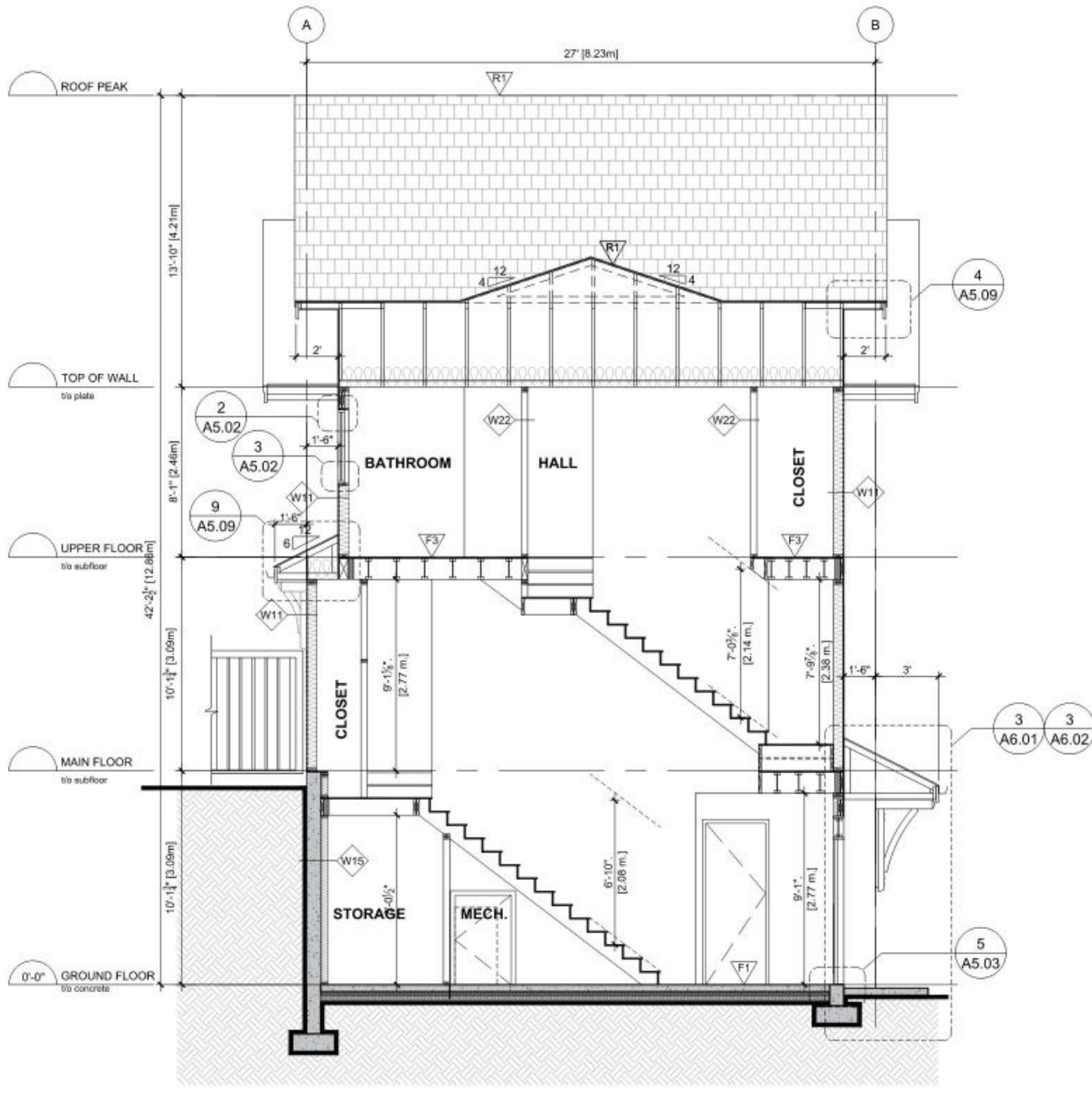


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D1 FLOOR PLANS**

DRAWING No.

**A4.15a**



**1** SECTION -1  
A4.15b Scale: 1/4" = 1'-0"

**STAIR CALCULATION - TYPICAL  
LEVEL 1 - LEVEL 2**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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PROJECT  
**ETTA TOWNHOUSE  
DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D1  
SECTIONS**

DRAWING No.  
**A4.15b**

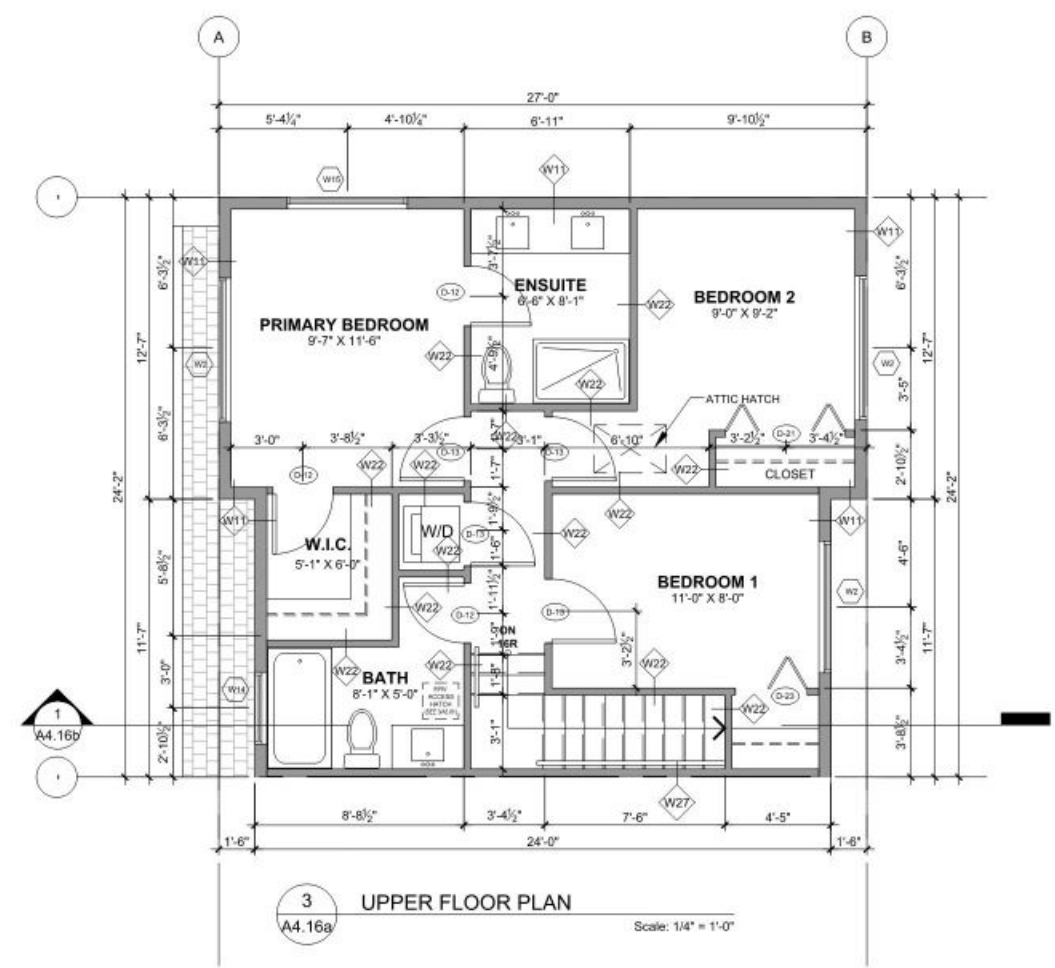
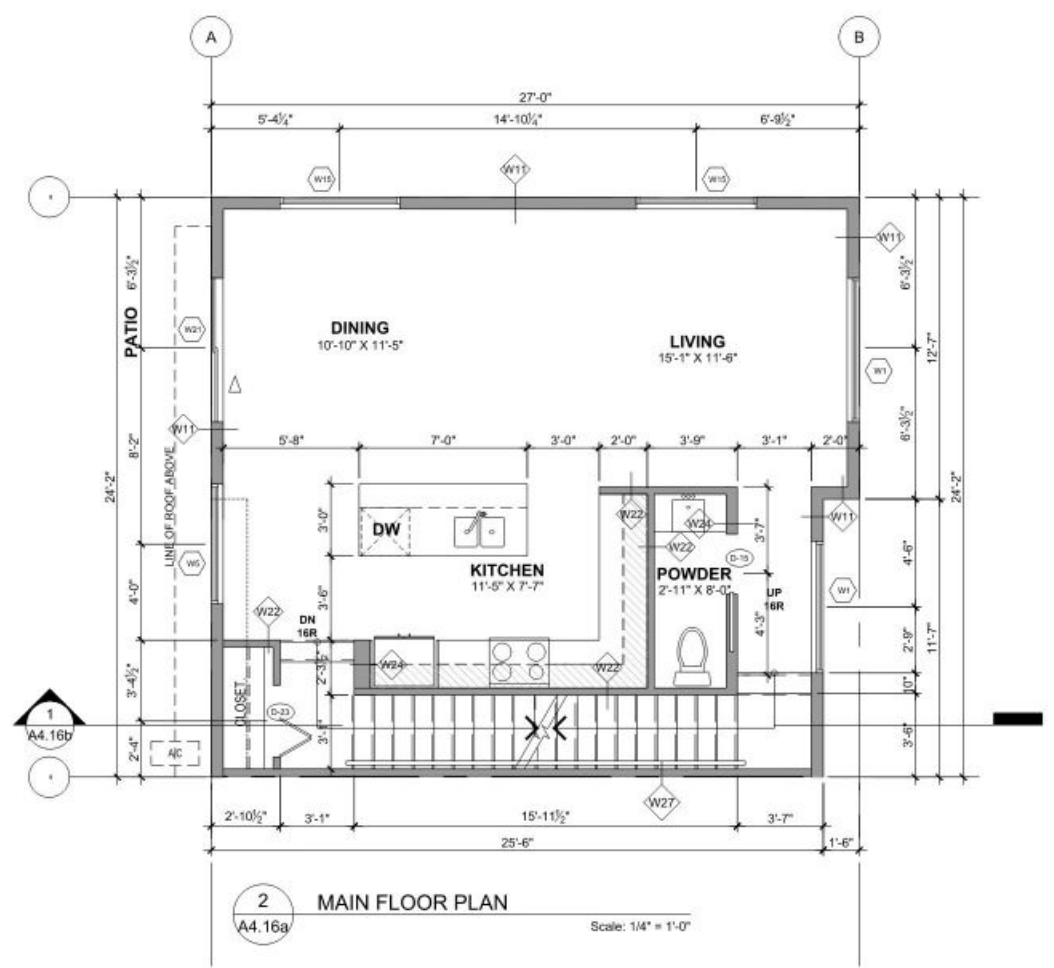
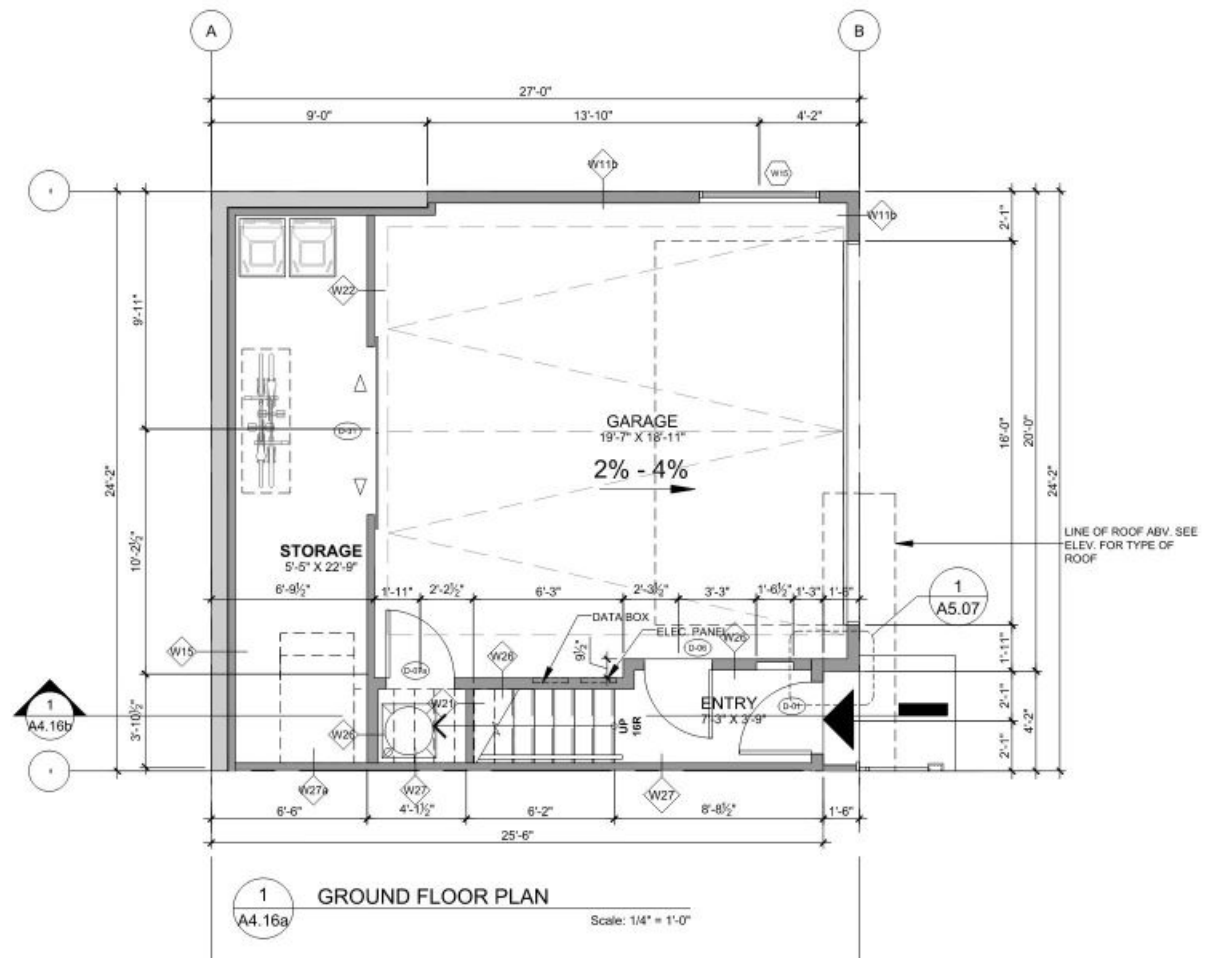
UNIT D2 AREAS:	S.F.	S.M.
- GROUND FLOOR	235.7	21.90
- MAIN FLOOR	635.1	59.01
- UPPER FLOOR	617.7	57.39
<b>AREA TOTAL (GROSS) =</b>	<b>1,488.62</b>	<b>138.30</b>
- GARAGE	410.5	38.14
<b>- AREA TOTAL (Including Garage) =</b>	<b>1,899.12</b>	<b>176.43</b>

**STAIR CALCULATION - TYPICAL  
LEVEL 1 - LEVEL 2**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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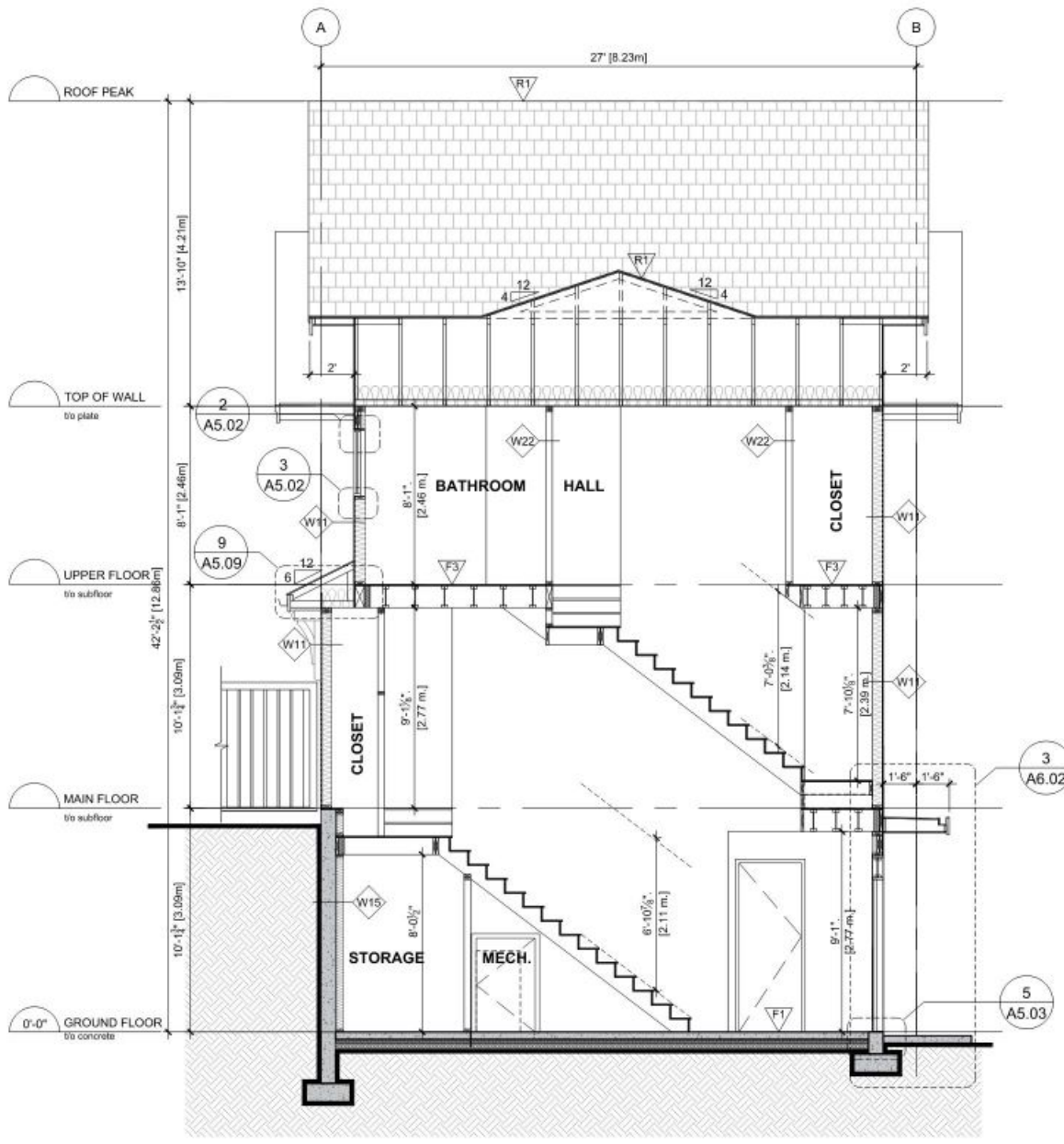


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
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COLWOOD, BC

DRAWING TITLE  
**UNIT - D2 FLOOR PLANS**

DRAWING No.

**A4.16a**



**1** SECTION - 1  
A4.16b Scale: 1/4" = 1'-0"

**STAIR CALCULATION - TYPICAL  
LEVEL 1 - LEVEL 2**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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PROJECT  
**ETTA TOWNHOUSE  
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COLWOOD, BC

DRAWING TITLE  
**UNIT - D2  
SECTIONS**

DRAWING No.  
**A4.16b**

**UNIT D3 AREAS:**

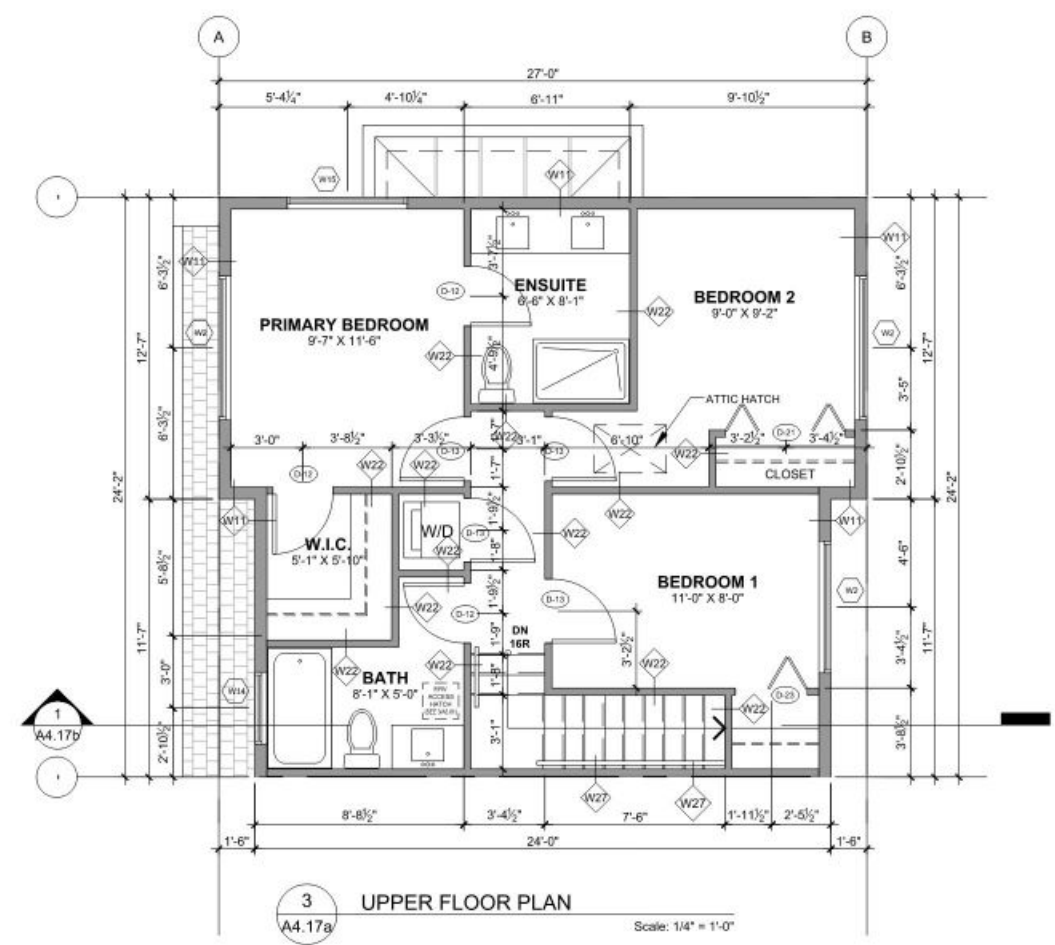
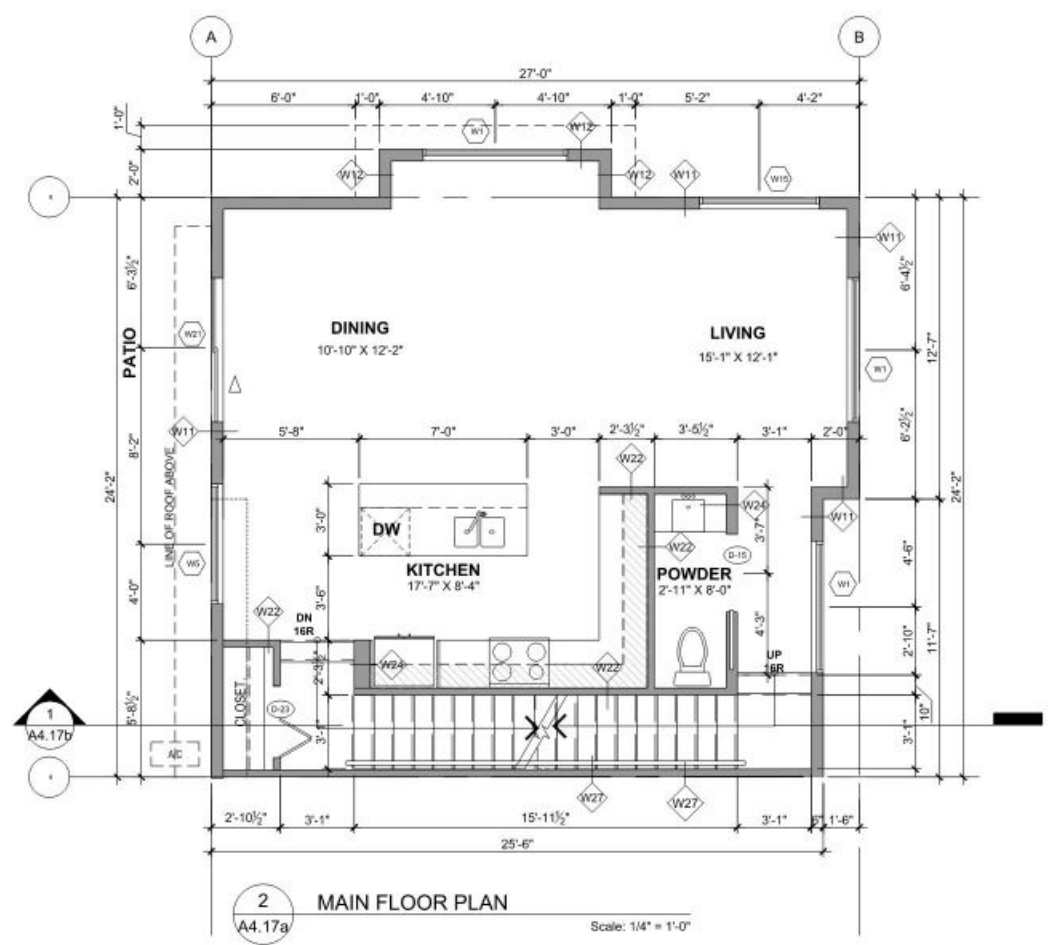
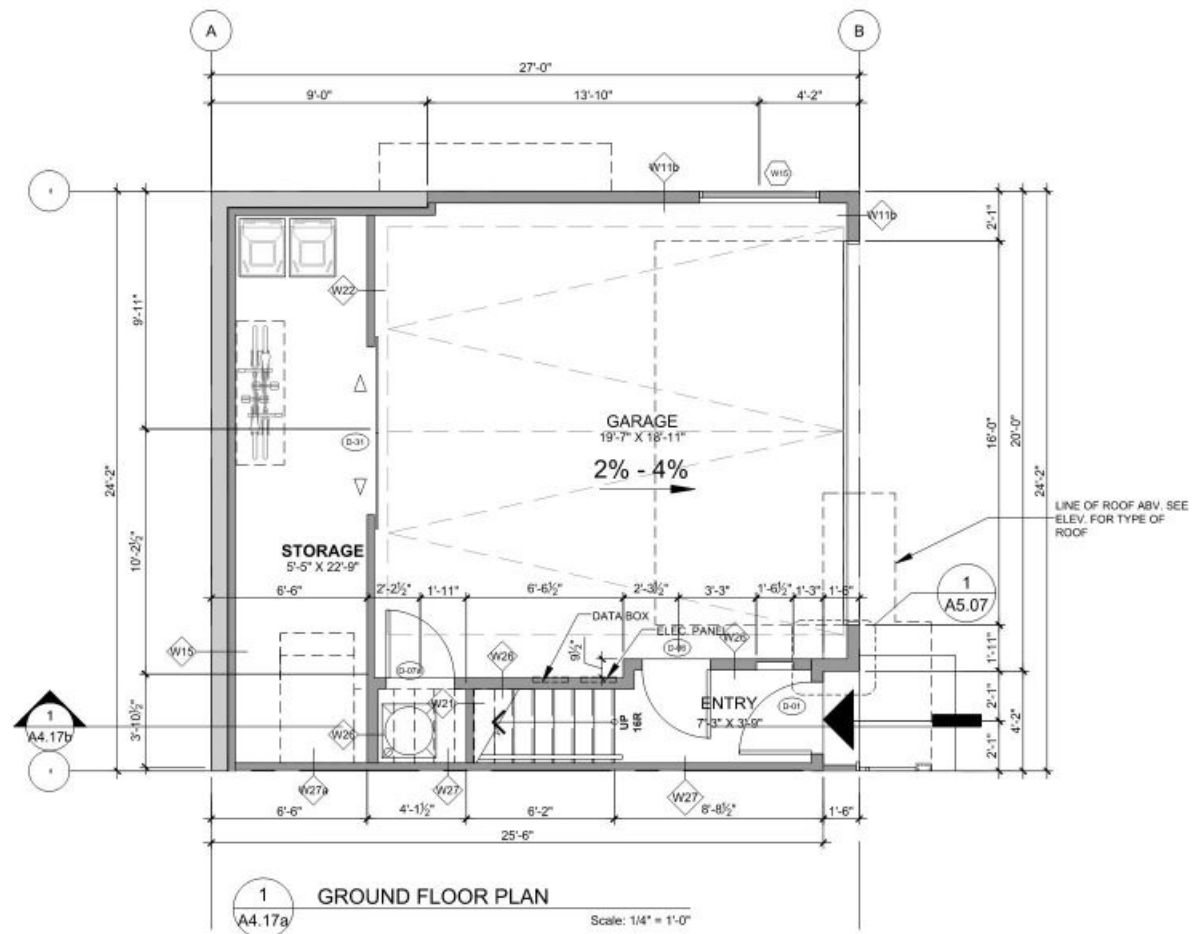
	S.F.	S.M.
- GROUND FLOOR	235.8	21.90
- MAIN FLOOR	654.5	60.80
- UPPER FLOOR	617.7	57.39
<b>AREA TOTAL (GROSS) =</b>	<b>1,507.97</b>	<b>140.10</b>
- GARAGE	410.5	38.14
<b>- AREA TOTAL (Including Garage) =</b>	<b>1,918.46</b>	<b>178.23</b>

**STAIR CALCULATION - TYPICAL  
LEVEL 1 - LEVEL 2**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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CONSULTANT:



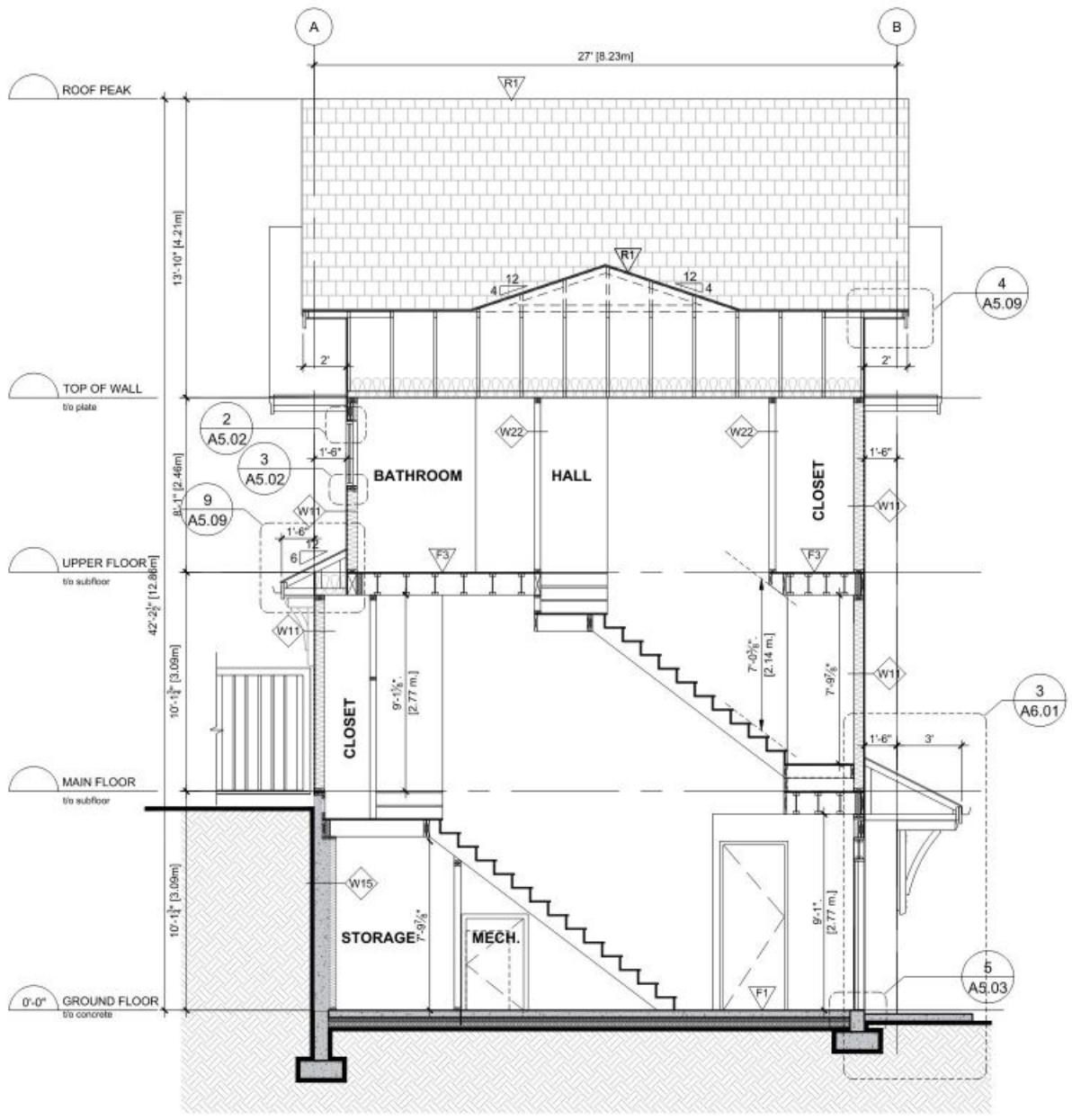
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D3 FLOOR PLANS**

DRAWING No.

**A4.17a**





**1** SECTION - 1  
A4.17b Scale: 1/4" = 1'-0"

**STAIR CALCULATION - TYPICAL  
LEVEL 1 - LEVEL 2**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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PROJECT  
**ETTA TOWNHOUSE  
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COLWOOD, BC

DRAWING TITLE  
**UNIT - D3  
SECTIONS**

DRAWING No.  
**A4.17b**

**UNIT D3-a AREAS:**

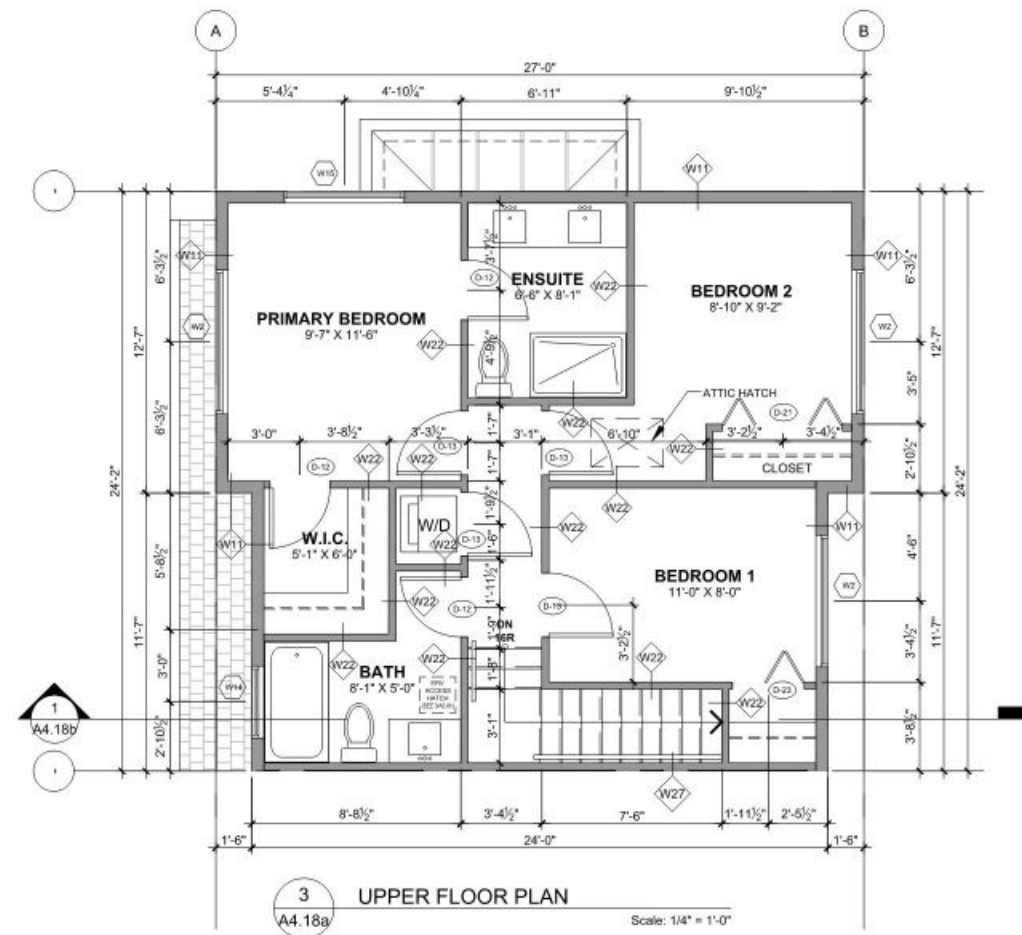
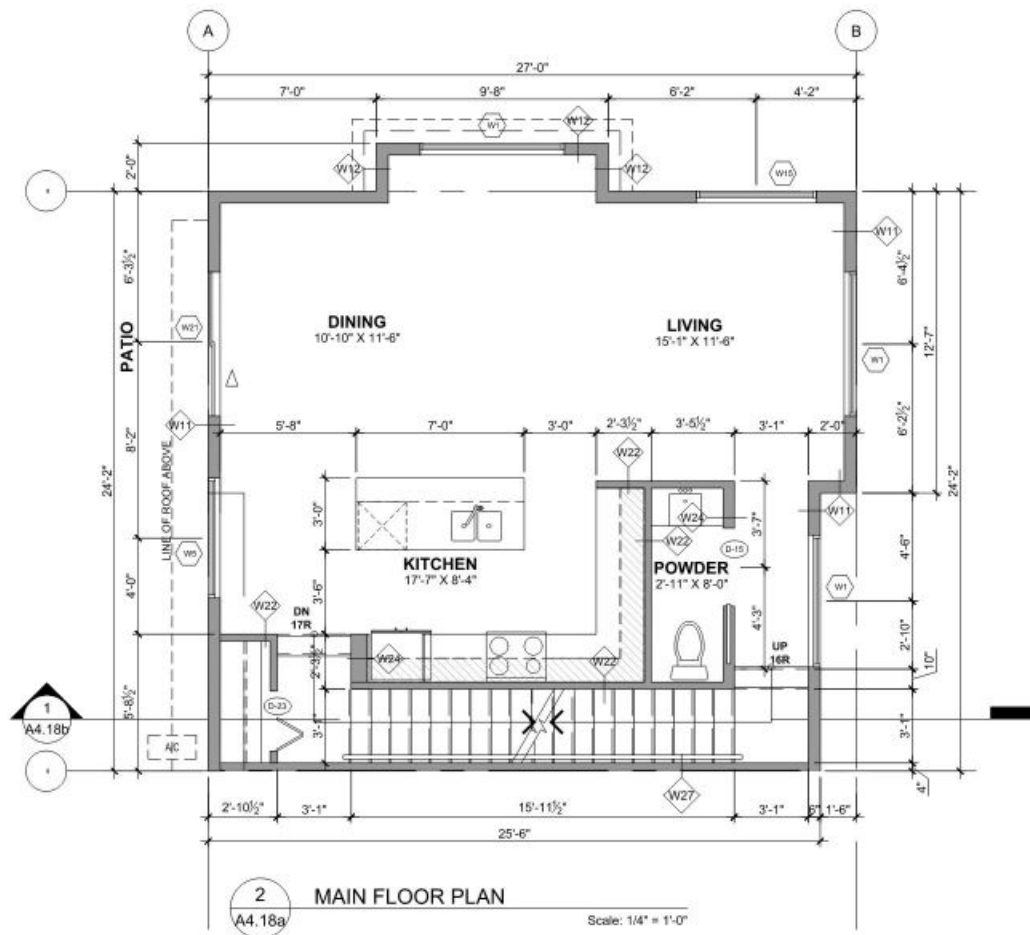
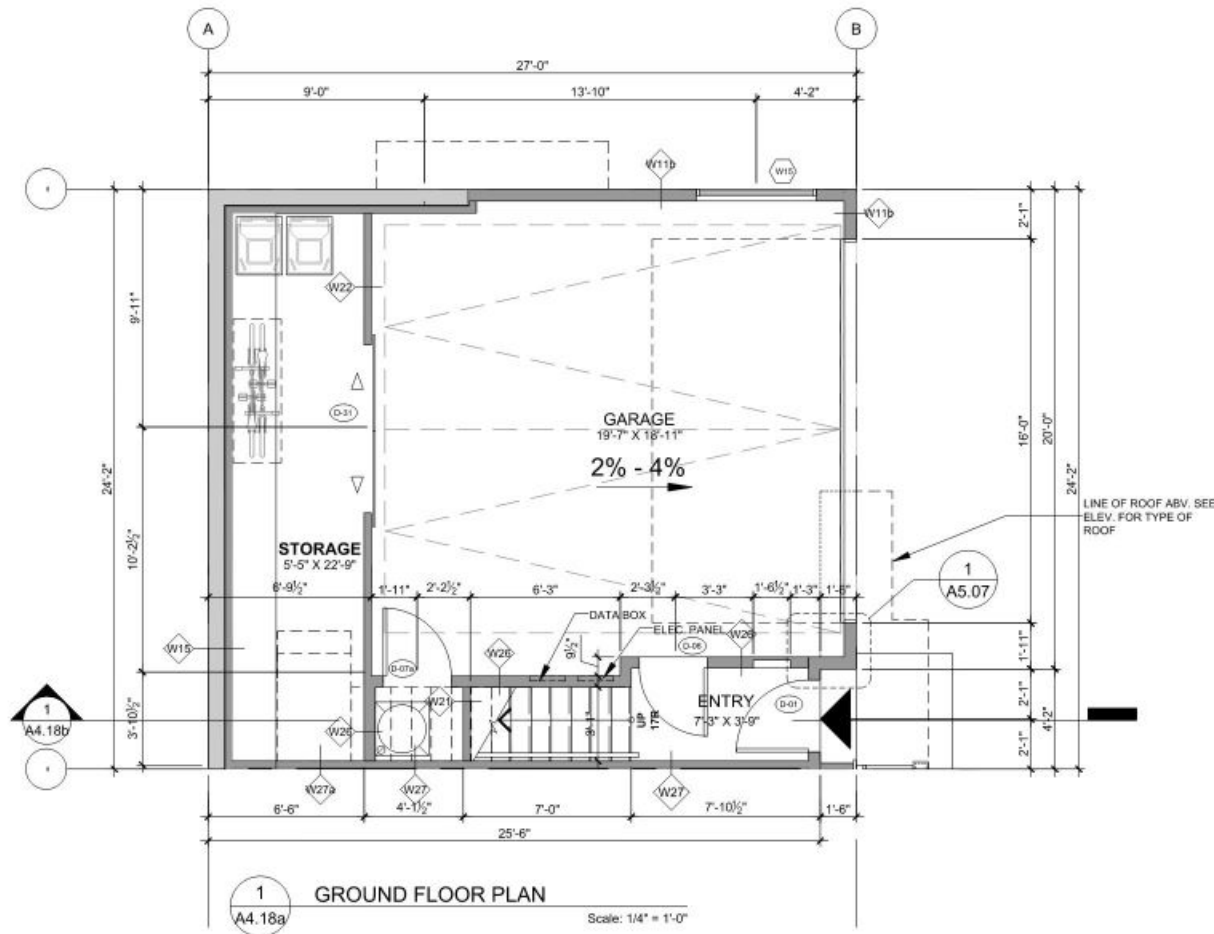
	S.F.	S.M.
- GROUND FLOOR	235.8	21.90
- MAIN FLOOR	654.5	60.80
- UPPER FLOOR	617.7	57.39
<b>AREA TOTAL (GROSS) =</b>	<b>1,507.97</b>	<b>140.10</b>
- GARAGE	410.5	38.14
<b>- AREA TOTAL (Including Garage) =</b>	<b>1,918.46</b>	<b>178.23</b>

**STAIR CALCULATION - TYPICAL  
LEVEL 1 - LEVEL 2**

HEIGHT: 11'-1" [3.38m]  
RISE: 17 @ 7 3/4" [198.8mm]  
RUN: 16 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



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3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

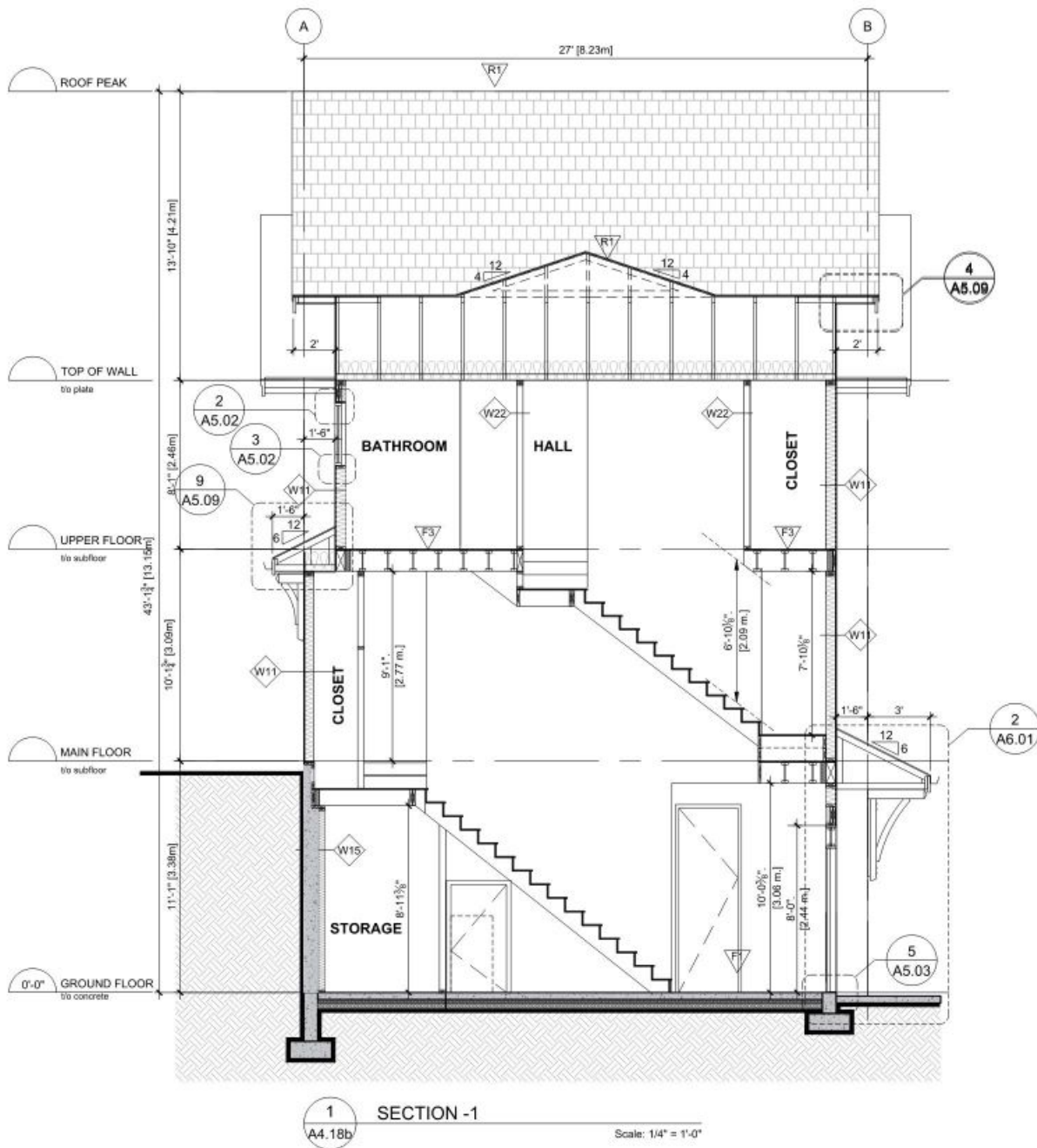
PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D3-a  
FLOOR PLANS**

DRAWING No.



**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2

HEIGHT: 11'-1" [3.38m]  
RISE: 17 @ 7 3/4" [198.8mm]  
RUN: 16 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

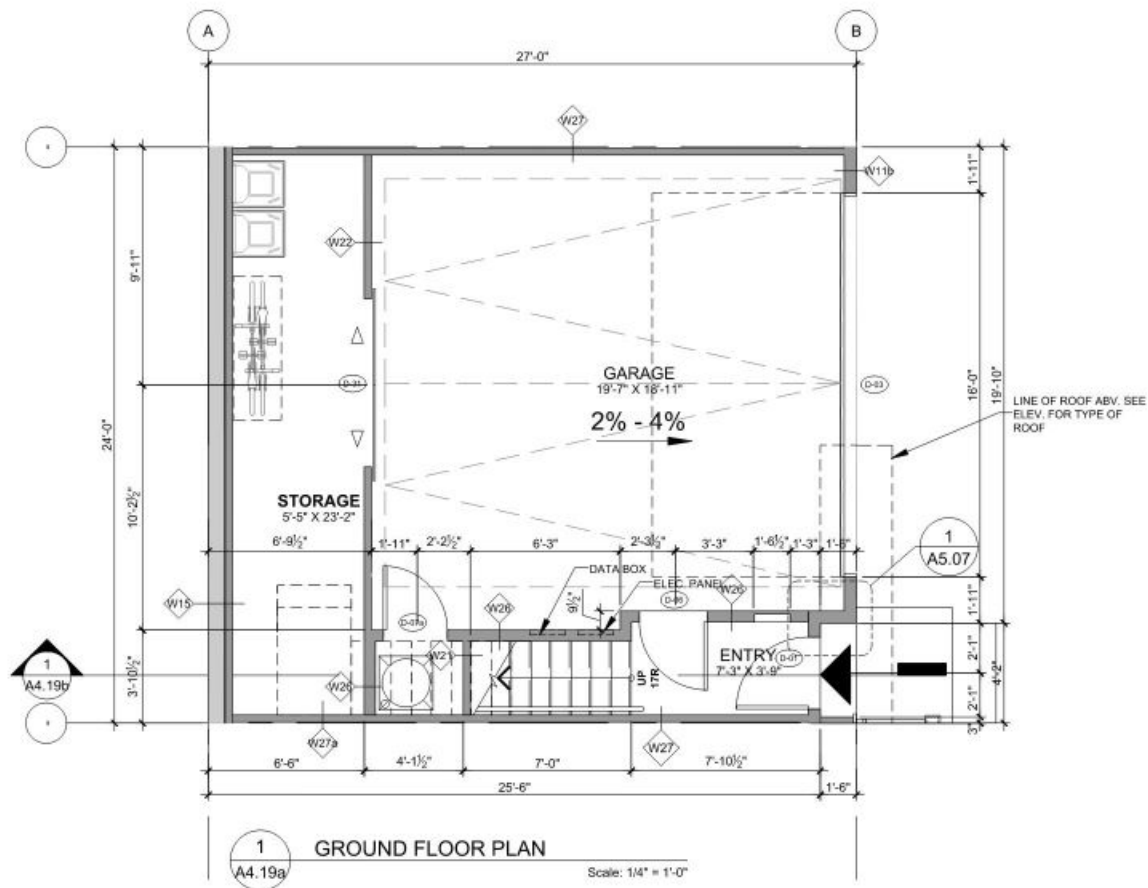


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D3-a SECTIONS**

DRAWING No.

**A4.18b**



**UNIT D1-a AREAS:**

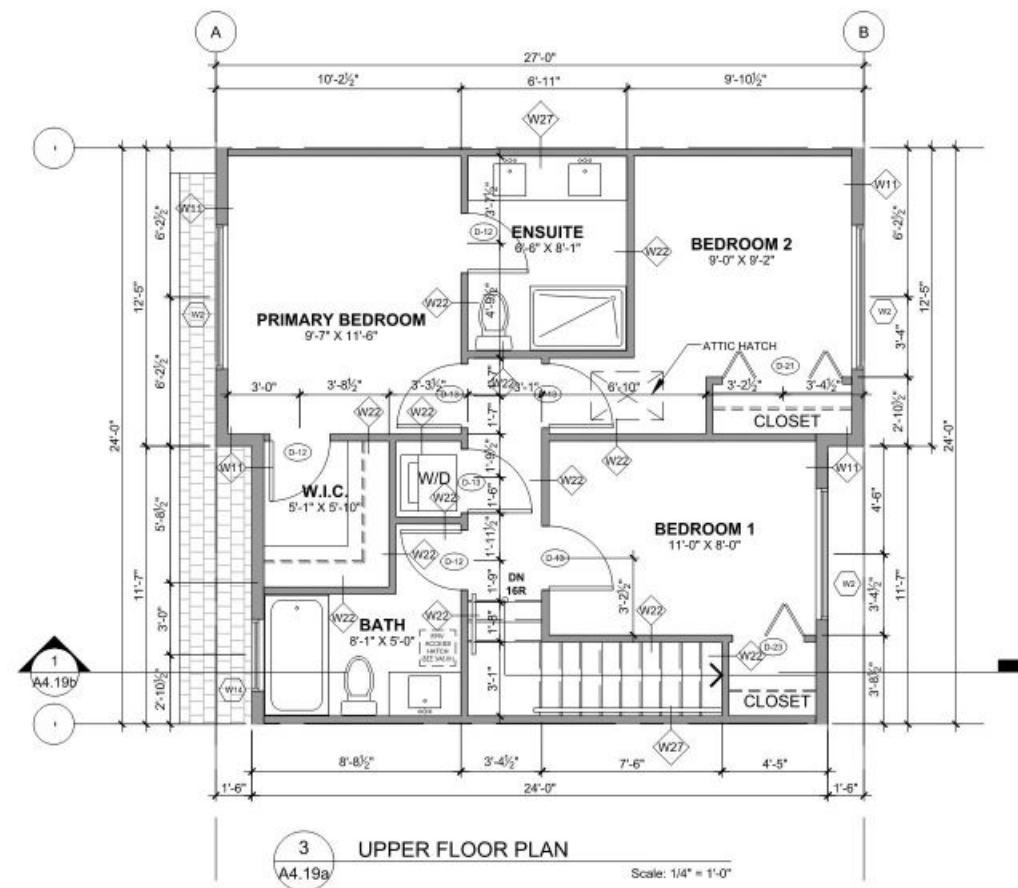
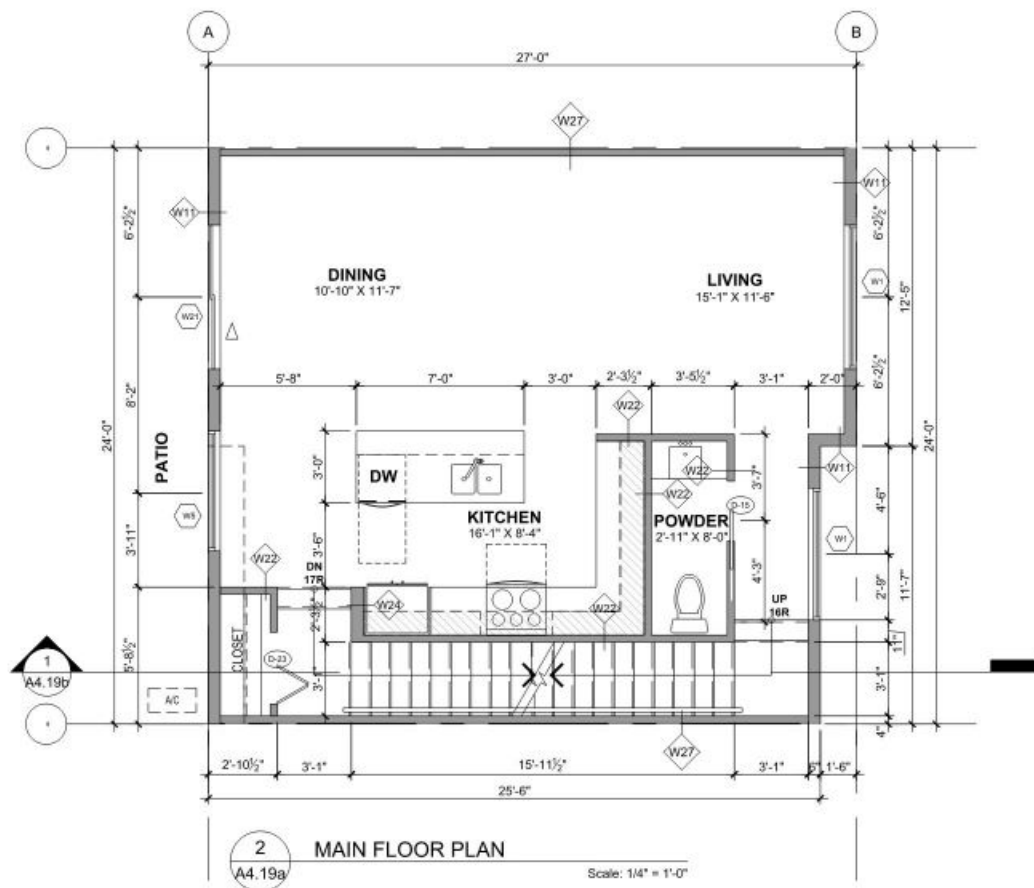
	S.F.	S.M.
- GROUND FLOOR	234.7	21.80
- MAIN FLOOR	630.6	58.59
- UPPER FLOOR	613.2	56.97
<b>AREA TOTAL (GROSS) =</b>	<b>1,478.53</b>	<b>137.36</b>
- GARAGE	407.1	37.82
<b>- AREA TOTAL (Including Garage) =</b>	<b>1,885.62</b>	<b>175.18</b>

**STAIR CALCULATION - BLDG 2  
LEVEL 1 - LEVEL 2**

HEIGHT: 11'-1" [3.38m]  
RISE: 17 @ 7 3/4" [196.0mm]  
RUN: 16 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



ISSUES

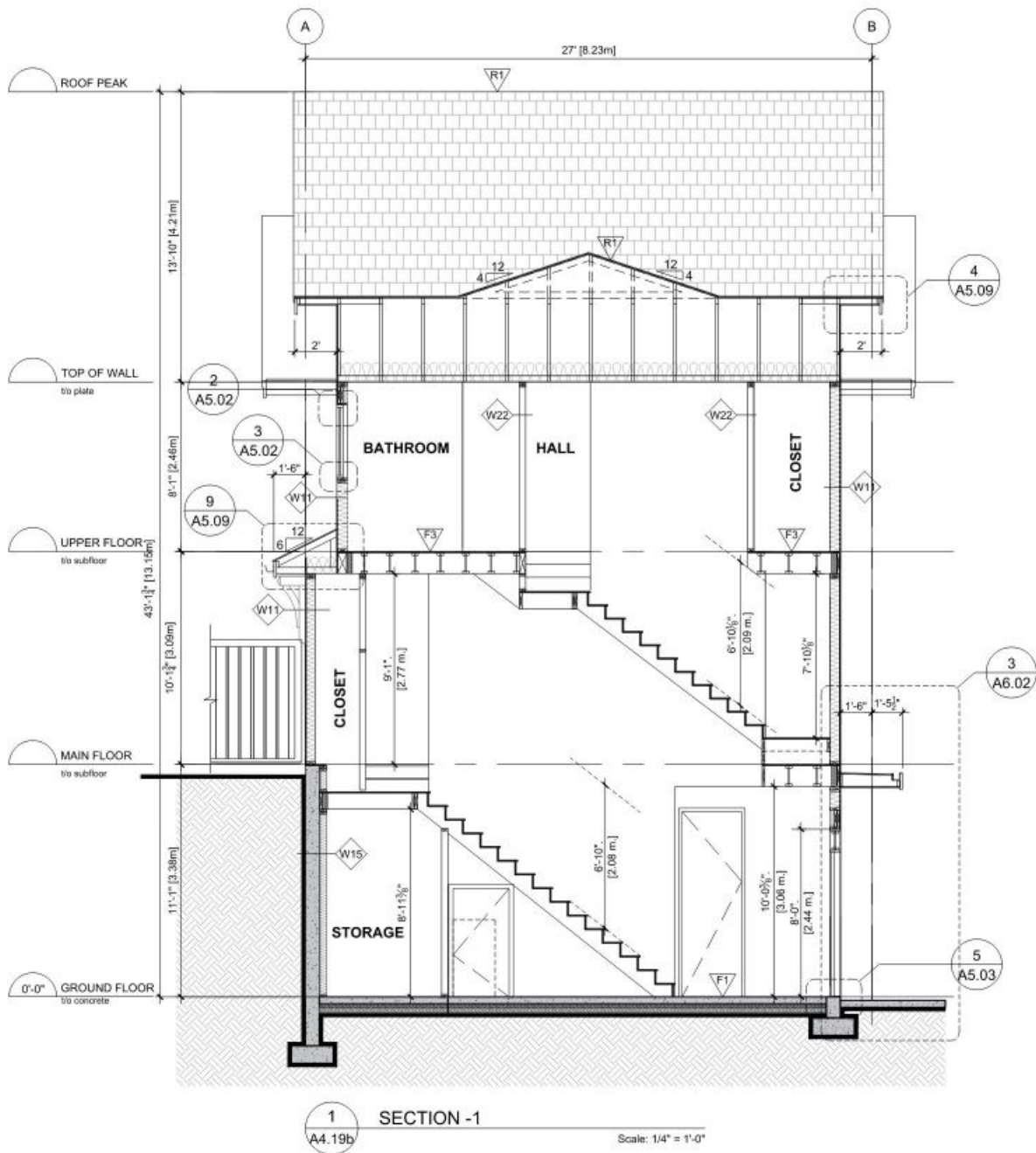
ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER: DD-92  
DRAWN BY: PM / RV  
CHECKED BY: RR  
DATE CHECKED:  
CONSULTANT:

PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D1-a FLOOR PLANS**

DRAWING No.



**STAIR CALCULATION - BLDG 2**  
LEVEL 1 - LEVEL 2

HEIGHT: 11'-1" [3.38m]  
RISE: 17 @ 7 3/4" [198.8mm]  
RUN: 16 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
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1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

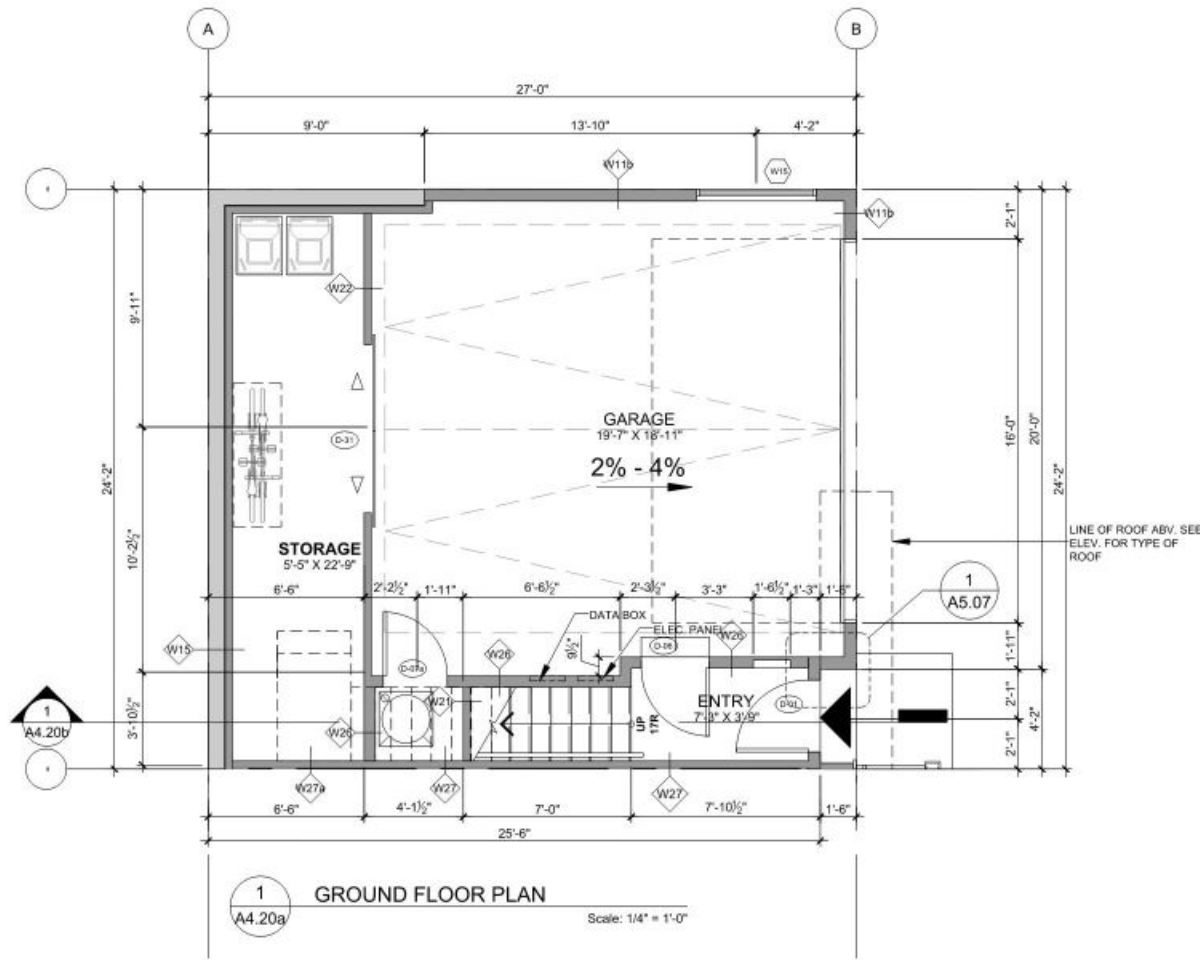


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D1-a SECTIONS**

DRAWING No.

**A4.19b**



**UNIT D2-a AREAS:**

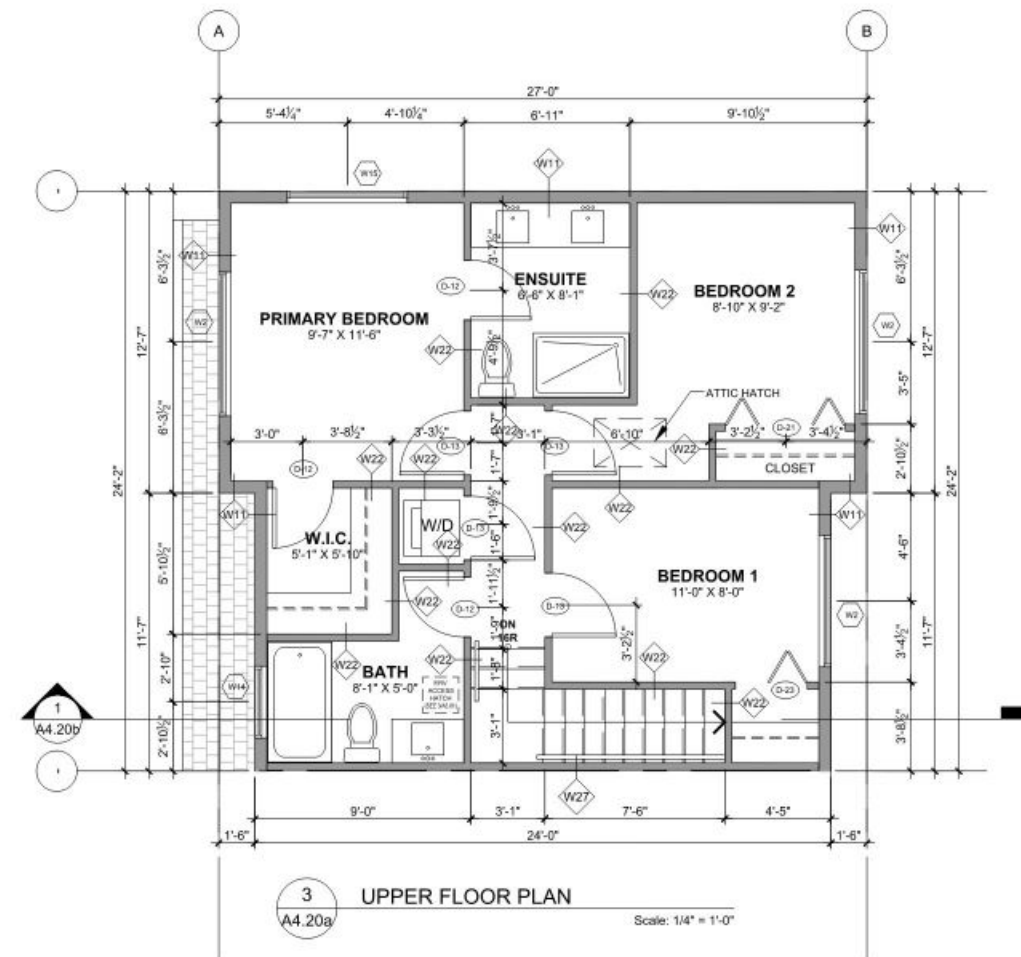
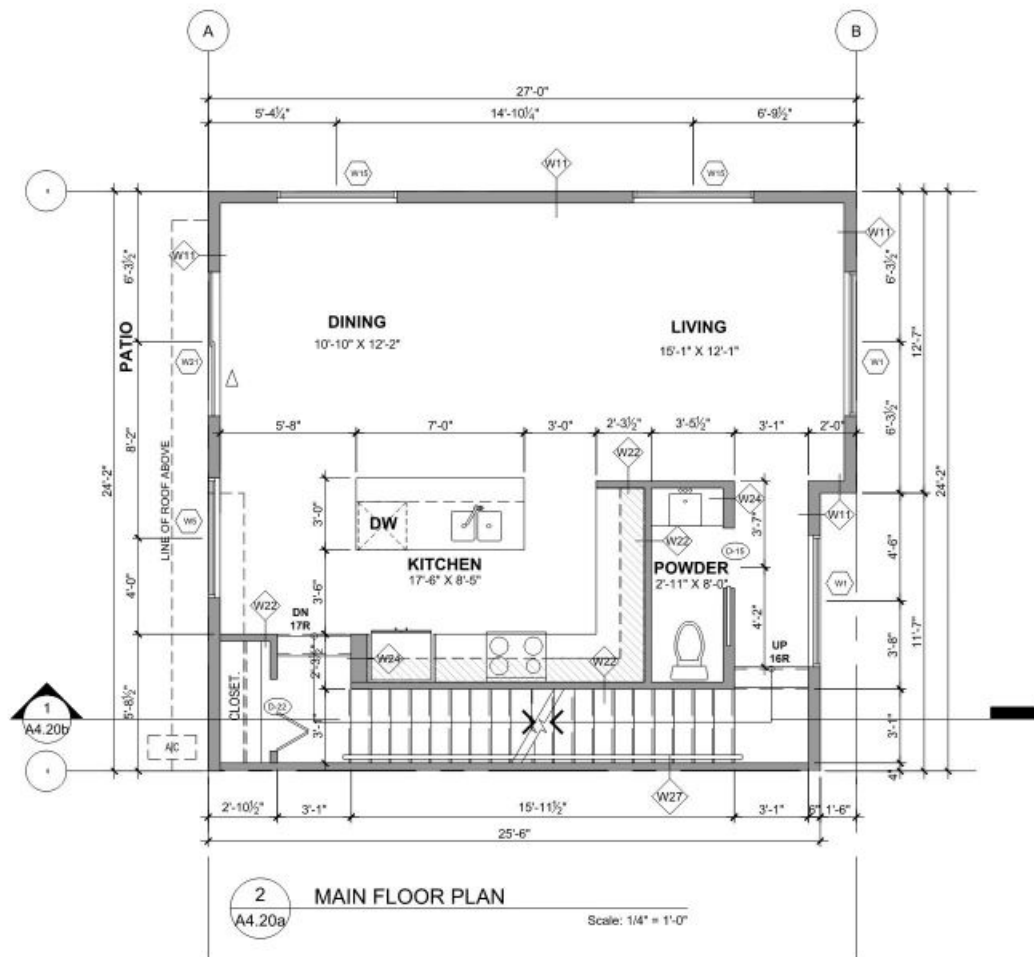
	S.F.	S.M.
- GROUND FLOOR	235.7	21.90
- MAIN FLOOR	635.1	59.01
- UPPER FLOOR	617.7	57.39
<b>AREA TOTAL (GROSS) =</b>	<b>1,488.62</b>	<b>138.30</b>
- GARAGE	410.5	38.14
<b>- AREA TOTAL (Including Garage) =</b>	<b>1,899.12</b>	<b>176.43</b>

**STAIR CALCULATION - BLDG 2  
LEVEL 1 - LEVEL 2**

HEIGHT: 11'-1" [3.38m]  
RISE: 17 @ 7 3/4" [198.8mm]  
RUN: 16 @ 10" [255.0mm]

**STAIR CALCULATION  
LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER: DD-92  
DRAWN BY: PM / RV  
CHECKED BY: RR  
DATE CHECKED:  
CONSULTANT:

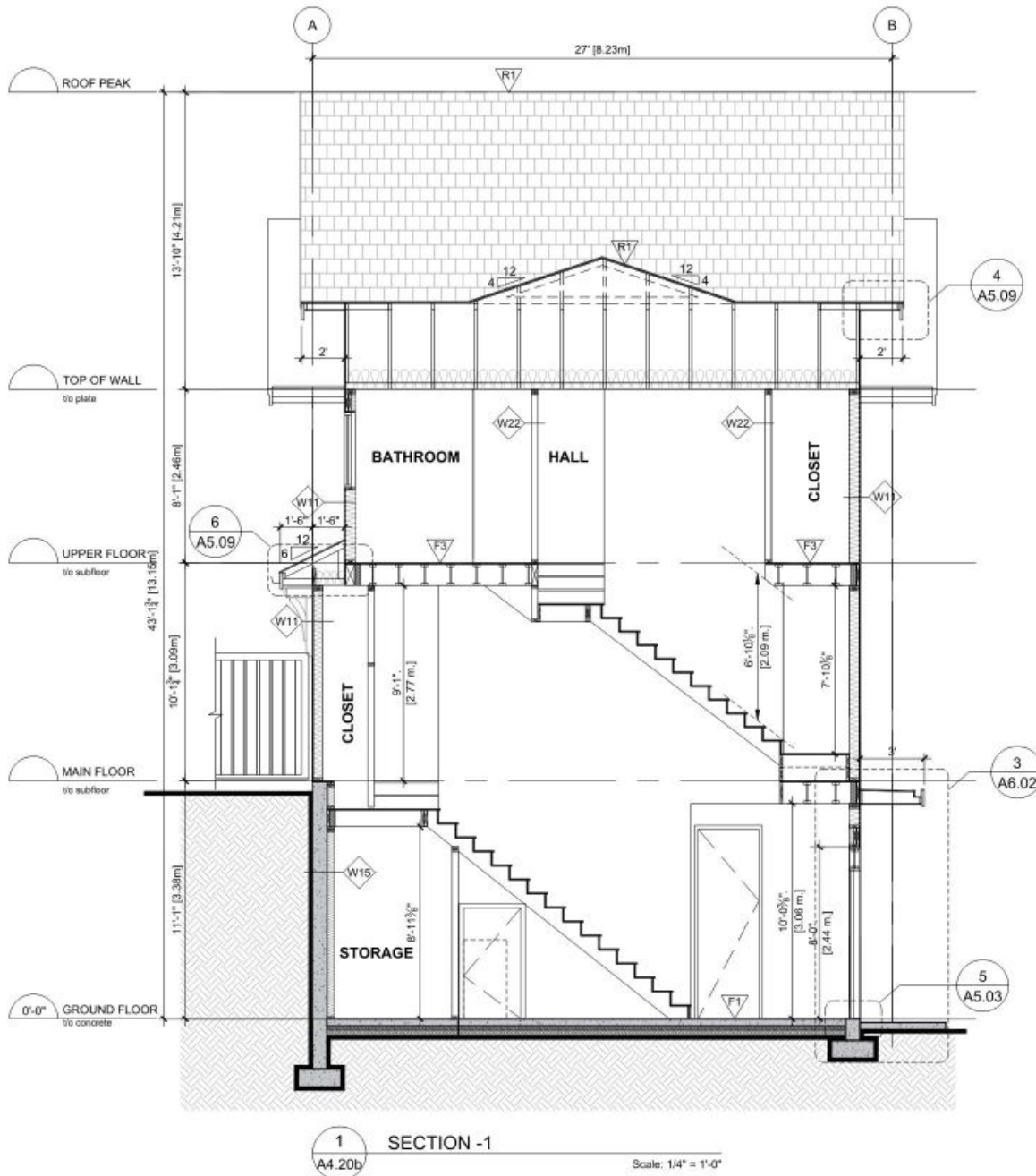


PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D2-a FLOOR PLANS**

DRAWING No.

**A4.20a**



**STAIR CALCULATION - BLDG 2**  
LEVEL 1 - LEVEL 2

HEIGHT: 11'-1" [3.38m]  
RISE: 17 @ 7 3/4" [198.8mm]  
RUN: 16 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

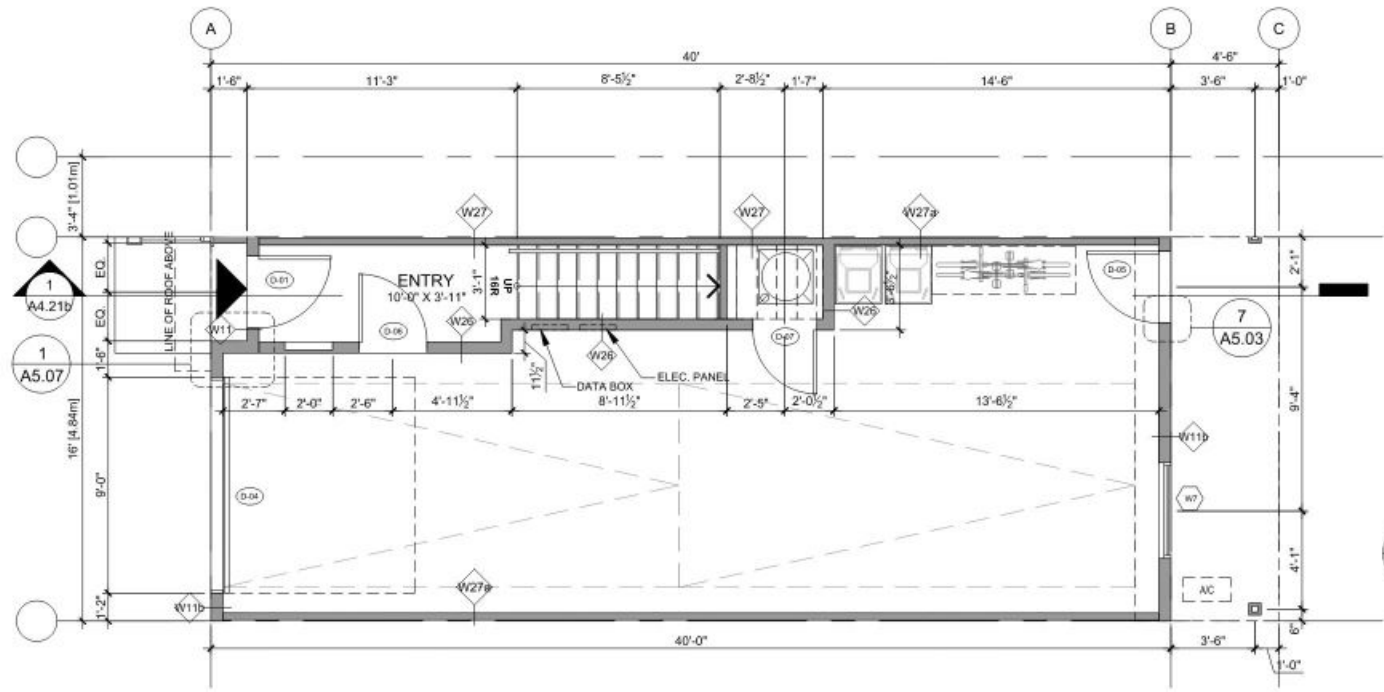
PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - D2-a SECTIONS**

DRAWING No.  
**A4.20b**



**1 GROUND FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**UNIT C1 AREAS:**

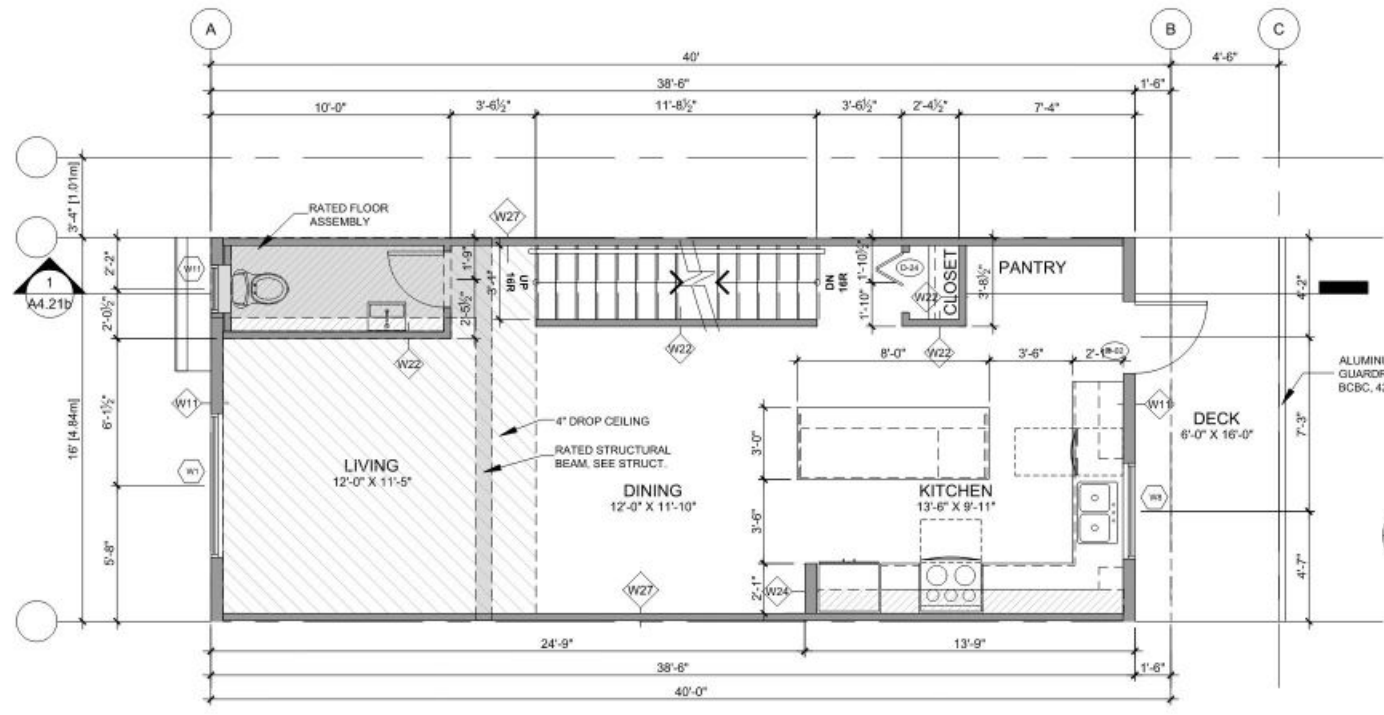
	S.F.	S.M.
- GROUND FLOOR	99.1	9.21
- MAIN FLOOR	615.9	57.22
- UPPER FLOOR	640.0	59.46
<b>- AREA TOTAL (GROSS) =</b>	<b>1,355.02</b>	<b>125.89</b>
- GARAGE	534.9	49.69
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>1,889.89</b>	<b>175.58</b>

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**

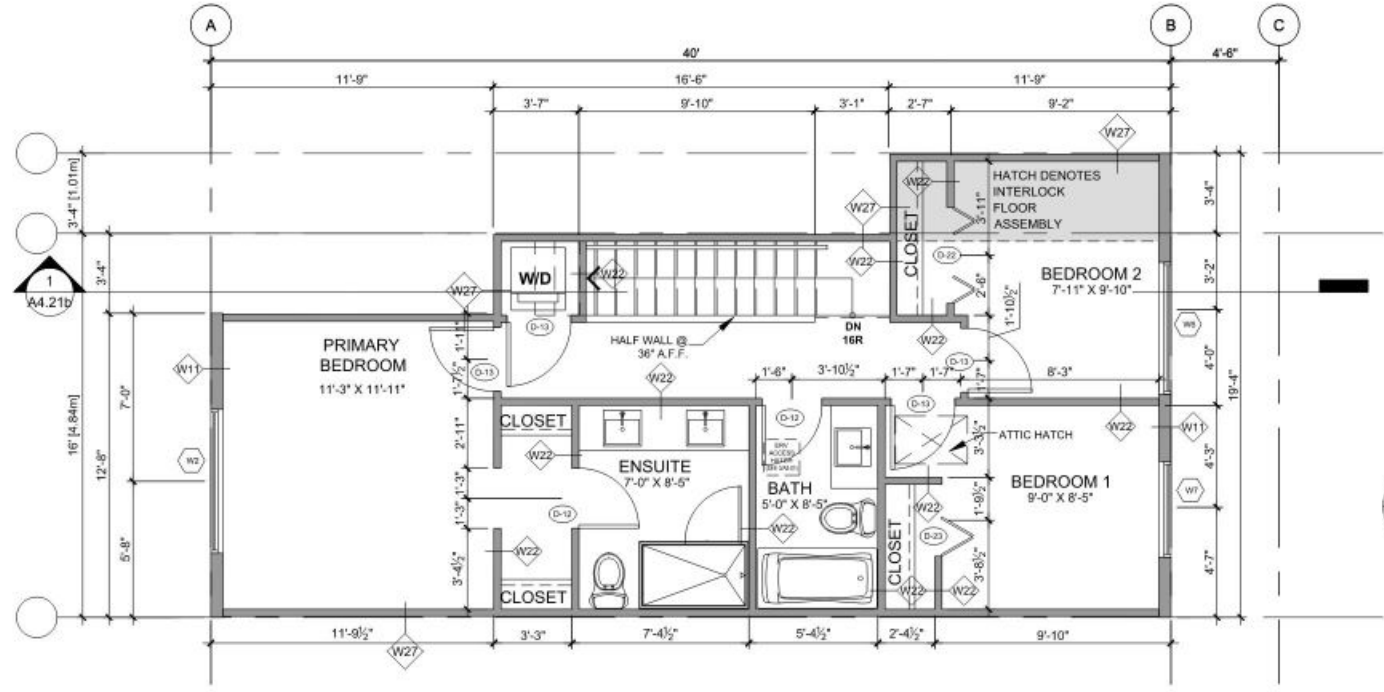
HEIGHT:	10'-4" [3.16m]
RISE:	16 @ 7 3/4" [197.5mm]
RUN:	15 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**

HEIGHT:	10'-1 3/4" [3.09m]
RISE:	16 @ 7 1/2" [193.1mm]
RUN:	15 @ 10" [255.0mm]



**2 MAIN FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**3 UPPER FLOOR PLAN**  
Scale: 1/4" = 1'-0"



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
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3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
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CONSULTANT	



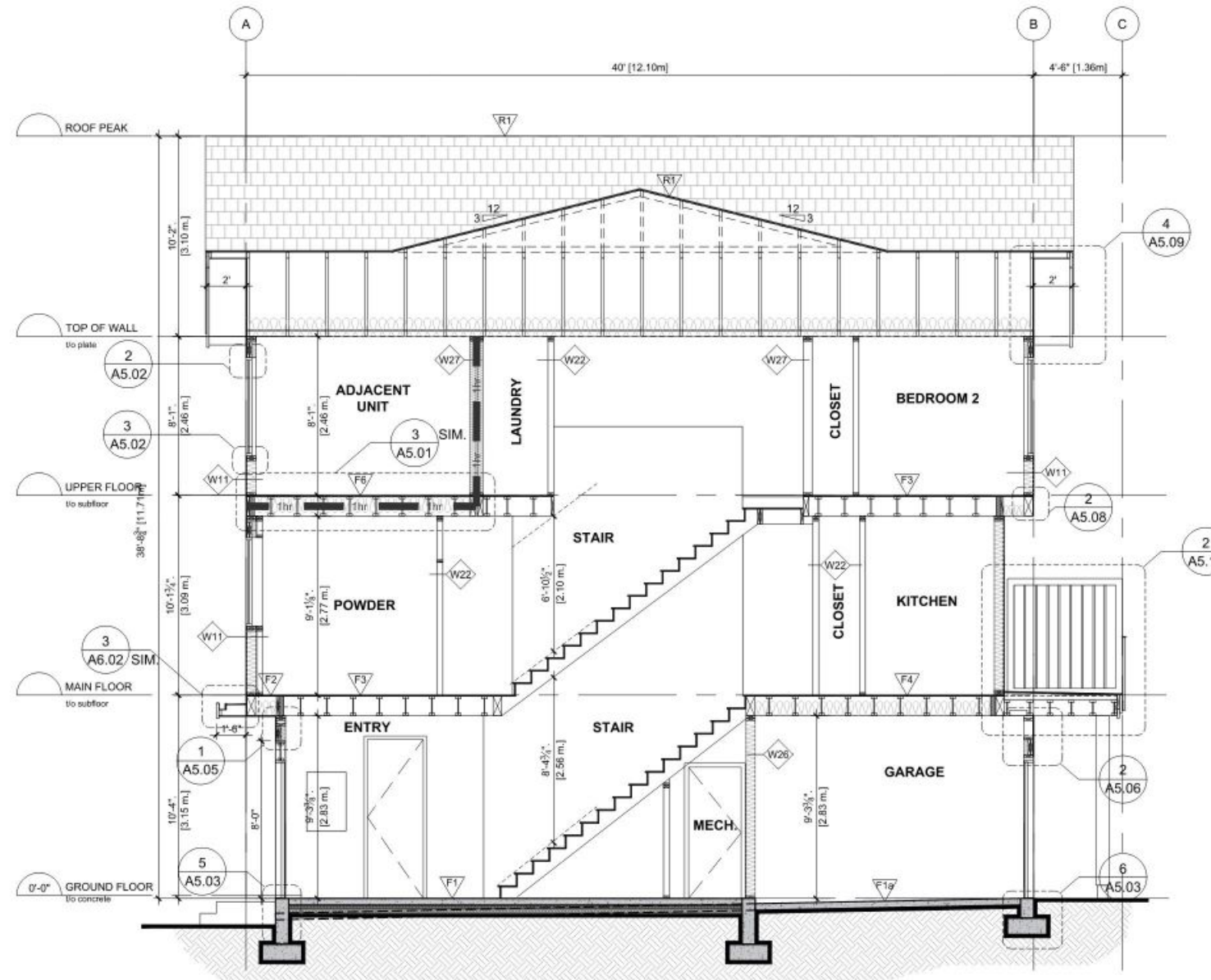
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - C1 FLOOR PLANS**

DRAWING No.

**A4.21a**





1 SECTION -UNIT C1  
A4.21b Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL**  
LEVEL 1 - LEVEL 2

HEIGHT: 10'-4" [3.16m]  
RISE: 16 @ 7 3/4" [197.5mm]  
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
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3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
  
COLWOOD, BC

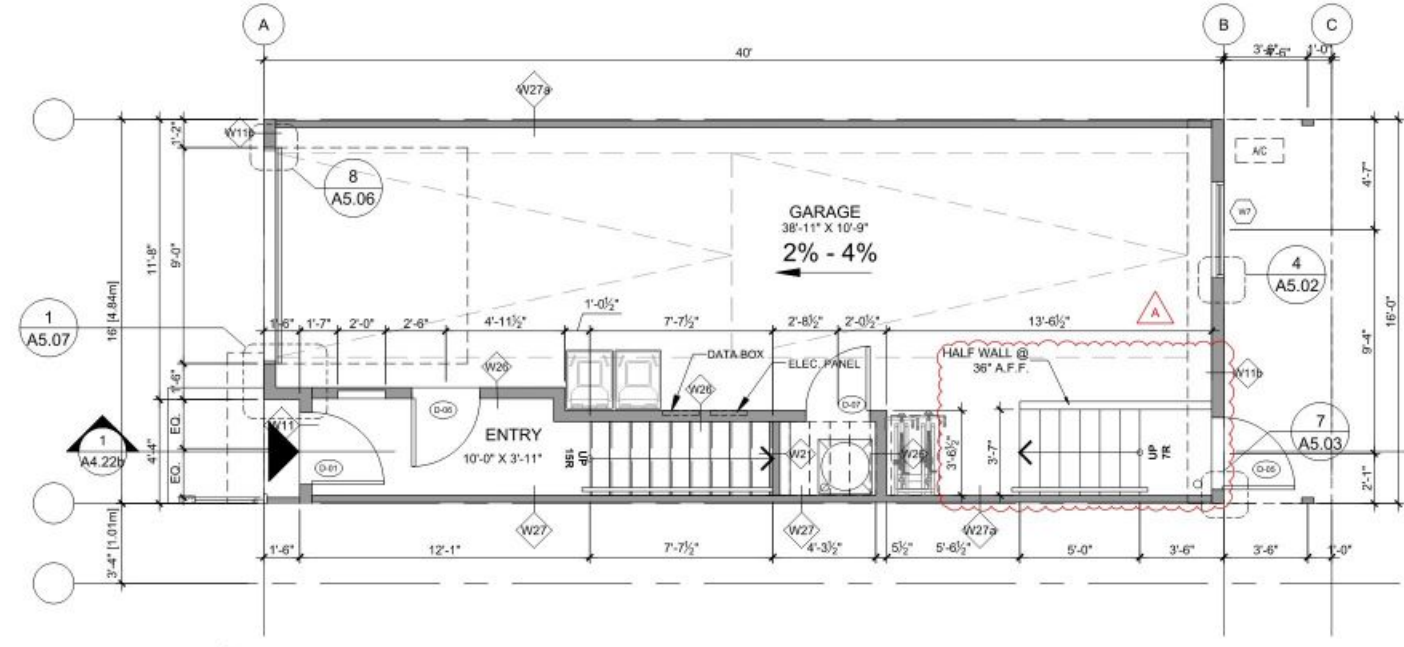
DRAWING TITLE  
**UNIT - C1 SECTIONS**

DRAWING No.

**A4.21b**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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**1 GROUND FLOOR PLAN**  
Scale: 1/4" = 1'-0"

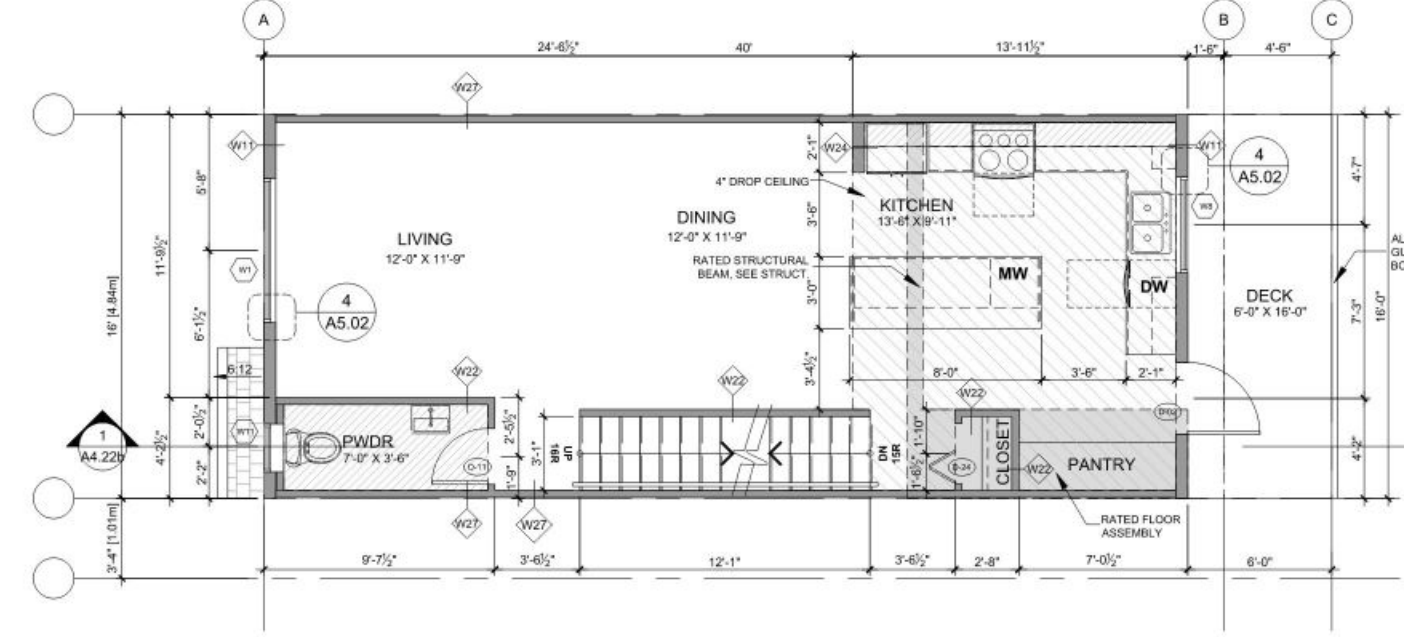
**UNIT B2 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	98.6	9.16
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	640.0	59.46
- <b>AREA TOTAL (GROSS) =</b>	<b>1,354.65</b>	<b>125.85</b>
- GARAGE	534.9	49.69
- <b>AREA TOTAL (W/ GARAGE) =</b>	<b>1,889.52</b>	<b>175.54</b>

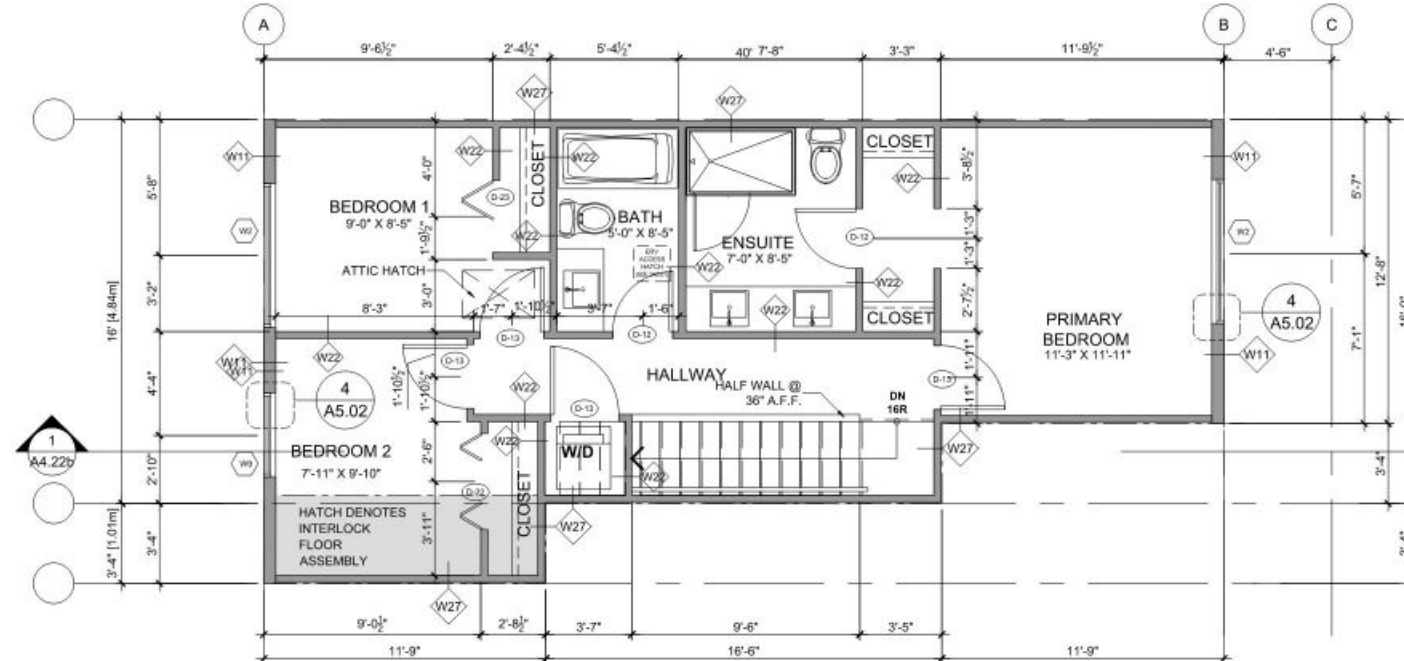
**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**  
HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [171.45mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**  
HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]



**2 MAIN FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**3 UPPER FLOOR PLAN**  
Scale: 1/4" = 1'-0"



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

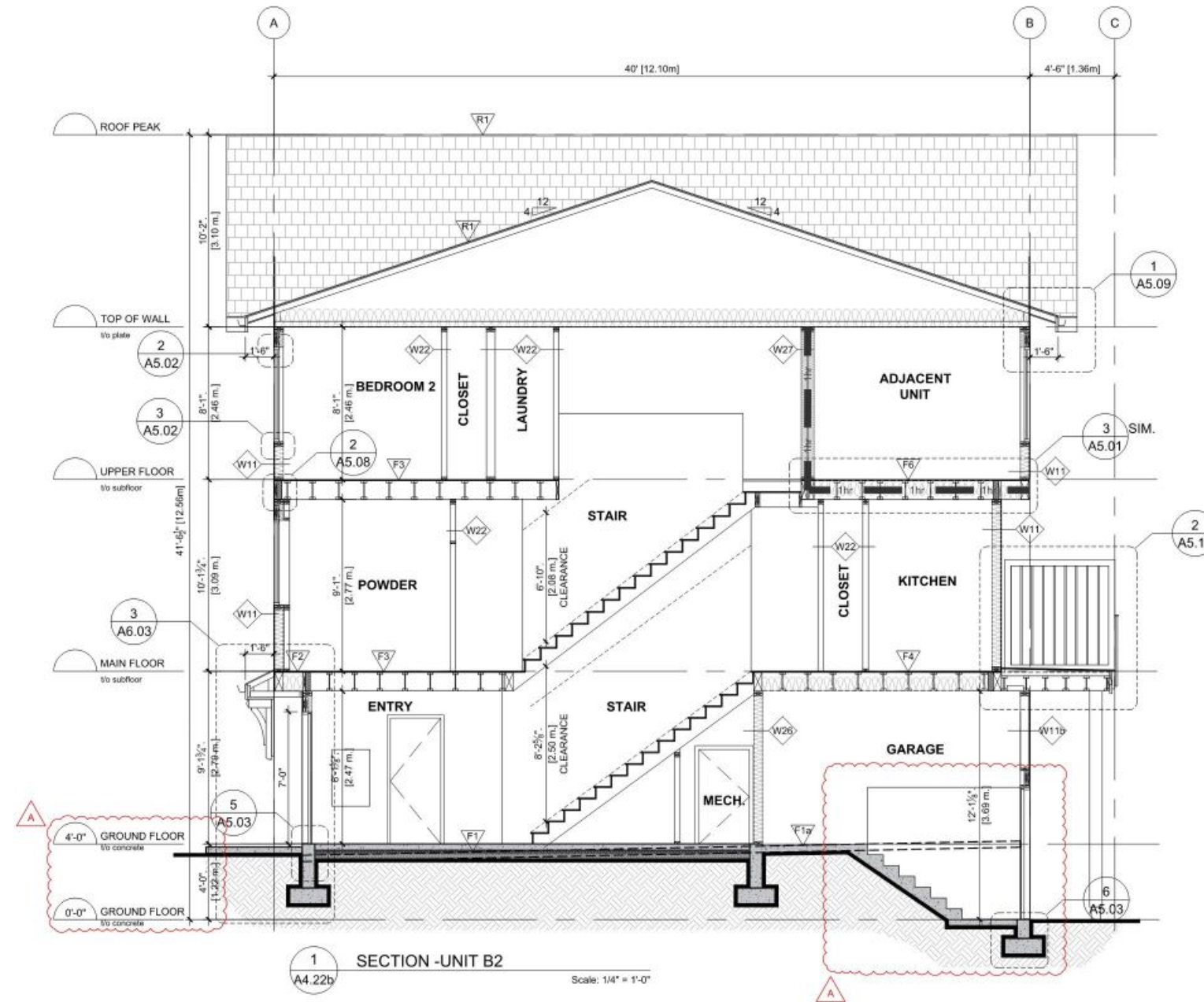
DRAWING TITLE  
**UNIT - B2 FLOOR PLANS**

DRAWING No.

**A4.22a**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

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1 SECTION -UNIT B2  
A4.22b Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2  
HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/2" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 0 - LEVEL 1  
HEIGHT: 4' [1.22m]  
RISE: 7 @ 6.75" [171.45mm]  
RUN: 6 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

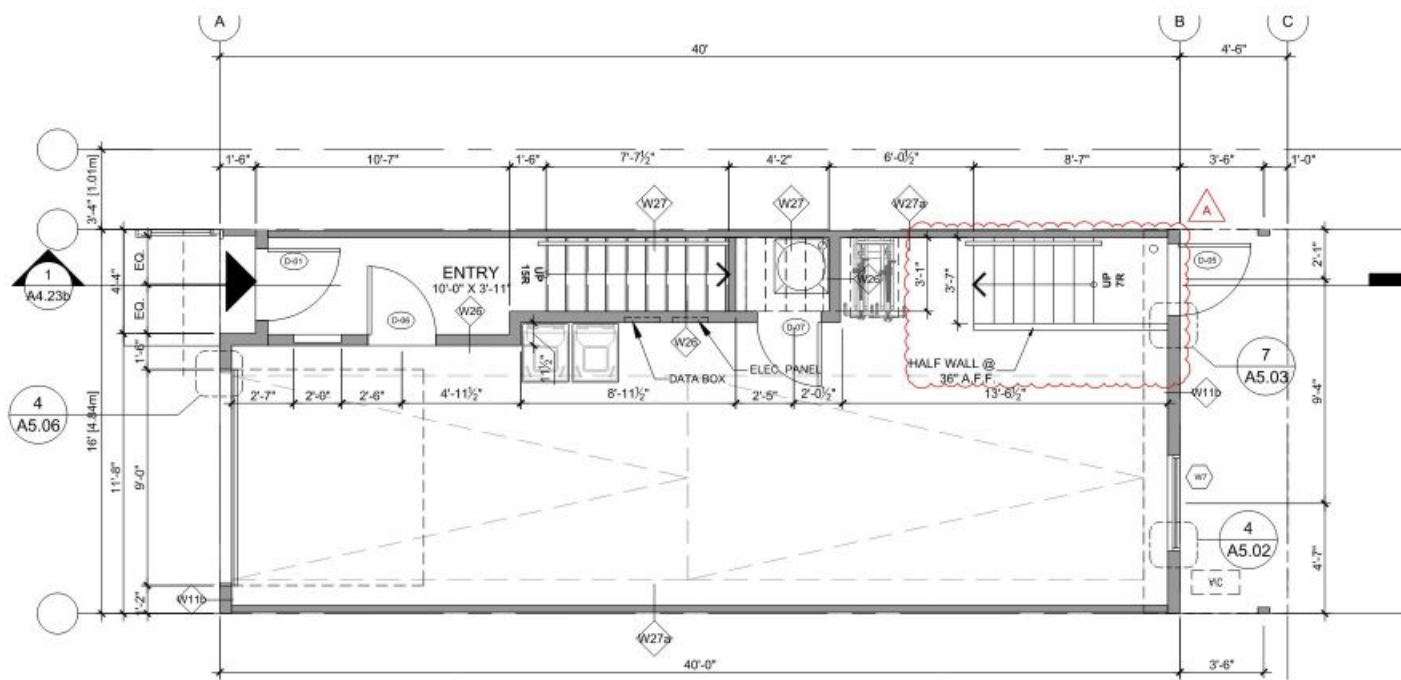
PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



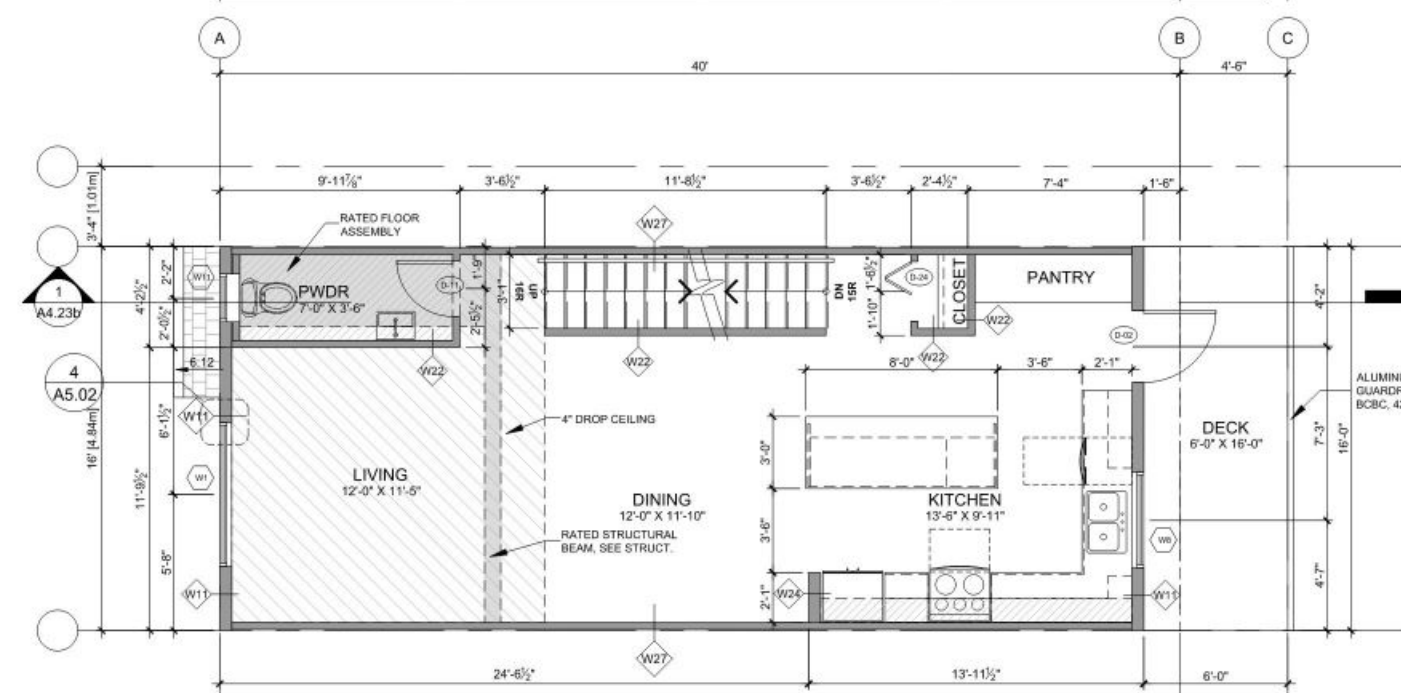
PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - B2 SECTIONS**

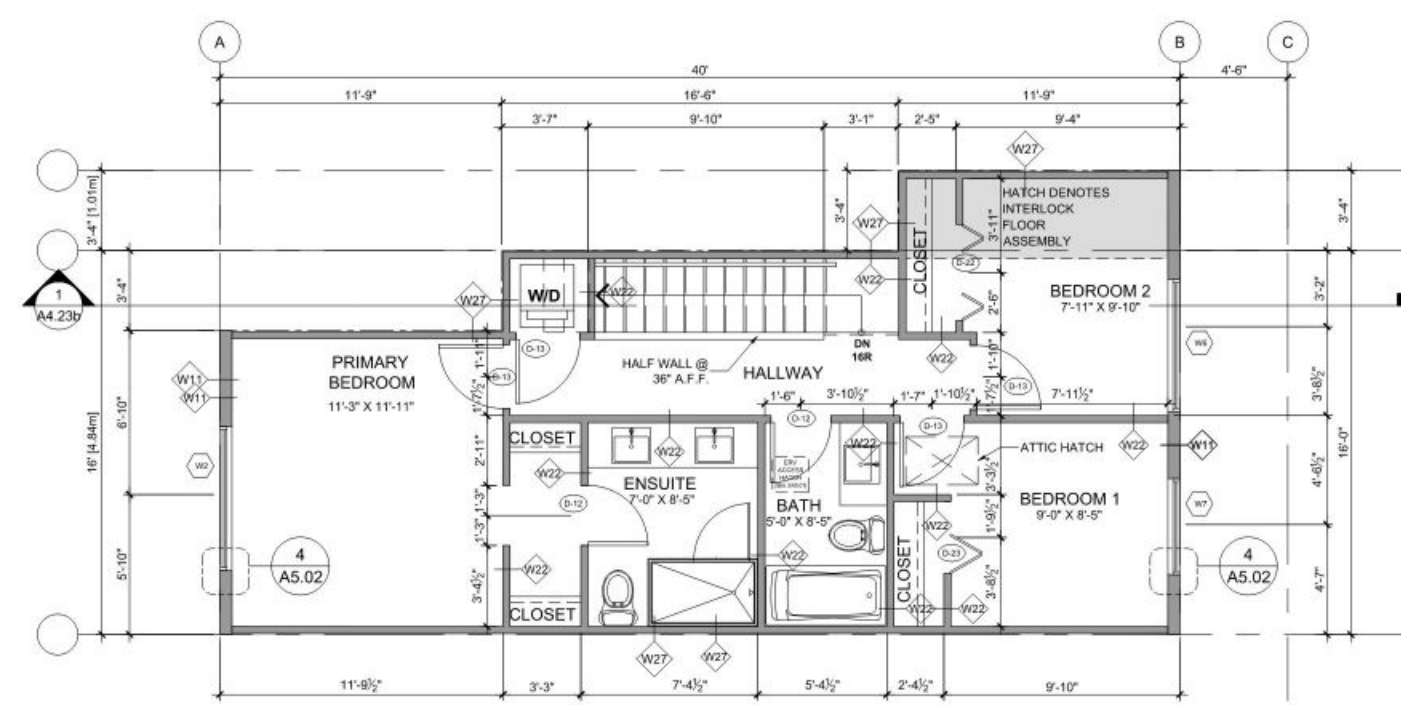
DRAWING No.  
**A4.22b**



**1 GROUND FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**2 MAIN FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**3 UPPER FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07**

**UNIT B1 AREAS:**

	S.F.	S.M.
- GROUND FLOOR	99.1	9.21
- MAIN FLOOR	615.9	57.22
- UPPER FLOOR	640.0	59.46
<b>- AREA TOTAL (GROSS) =</b>	<b>1,355.02</b>	<b>125.89</b>
- GARAGE	534.9	49.69
<b>- AREA TOTAL (W/ GARAGE) =</b>	<b>1,889.89</b>	<b>175.58</b>

**UNIT B1 - STAIR CALCULATION**

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**

HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**

HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/2" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**UNIT B1-a - STAIR CALCULATION**

**STAIR CALCULATION - TYPICAL LEVEL 0 - LEVEL 1**

HEIGHT: 4'-0" [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]

**STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2**

HEIGHT: 9'-8 1/2" [2.96m]  
RISE: 15 @ 7 3/4" [197.3mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION LEVEL 2 - LEVEL 3**

HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

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**REVISIONS**

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
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PROJECT NUMBER	DD-92
DRAWN BY	PM / RV
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

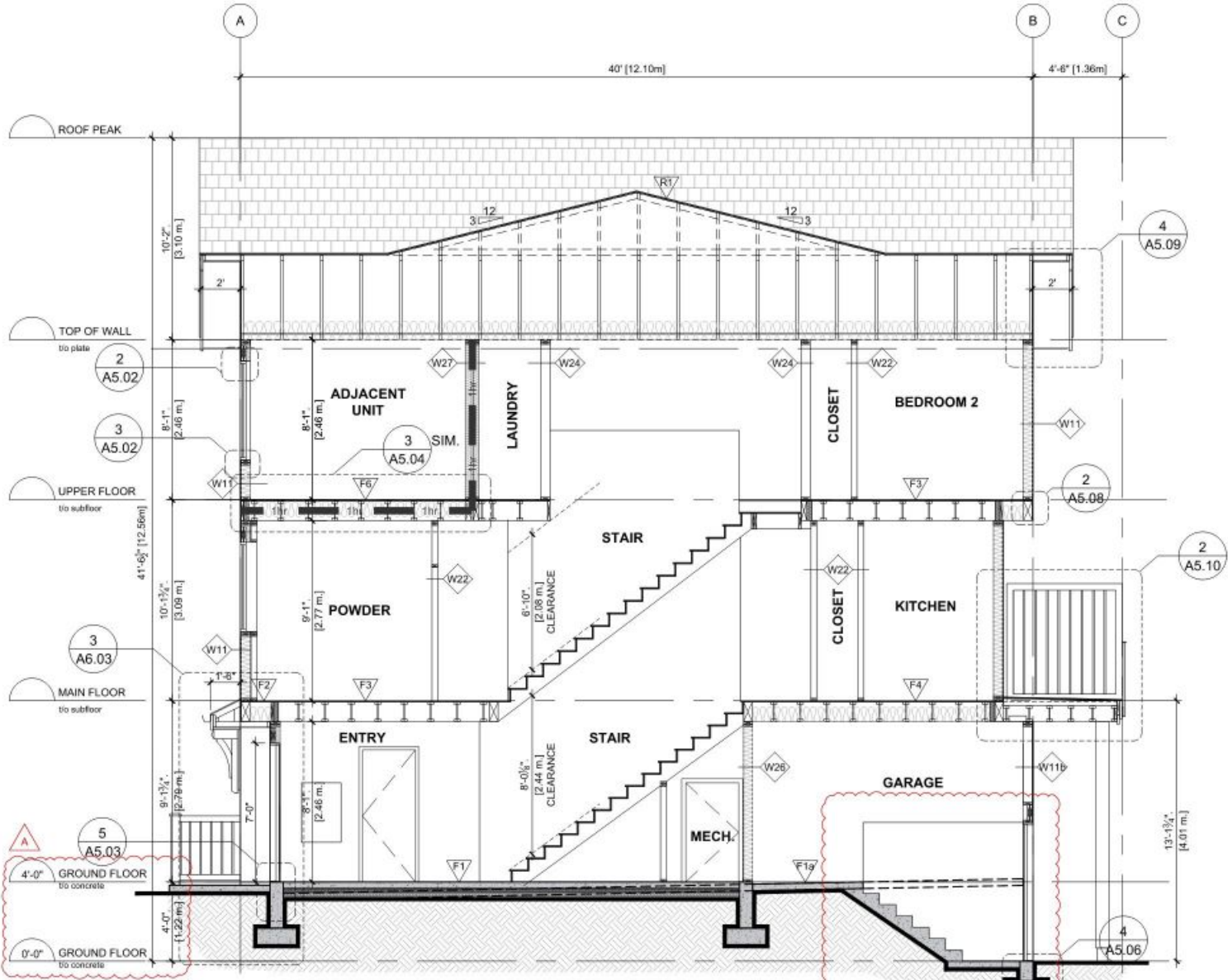
DRAWING TITLE  
**UNIT - B1/ B1-a FLOOR PLANS**

DRAWING No.

**A4.23a**

Minor variation approved by the City of Colwood Director of Development Services on 2023-11-07

1925 Main Street  
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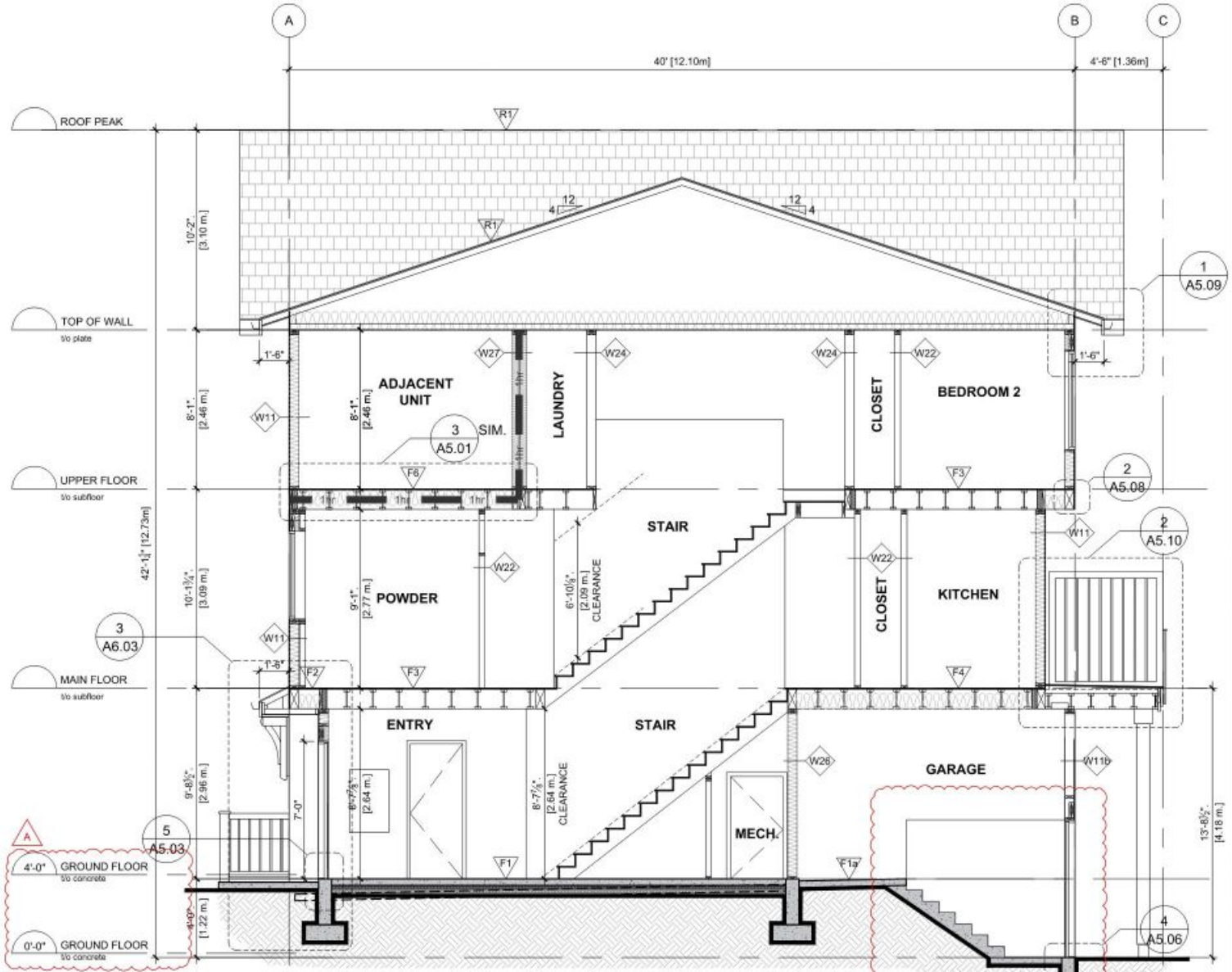


**1 SECTION -UNIT B1**  
A4.23b Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2  
HEIGHT: 9'-1 3/4" [2.79m]  
RISE: 15 @ 7 1/4" [186.0mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 0 - LEVEL 1  
HEIGHT: 4' [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]



**2 SECTION -UNIT B1-a**  
A4.23b Scale: 1/4" = 1'-0"

**STAIR CALCULATION**  
LEVEL 2 - LEVEL 3  
HEIGHT: 10'-1 3/4" [3.09m]  
RISE: 16 @ 7 1/2" [193.1mm]  
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 1 - LEVEL 2  
HEIGHT: 9'-8 1/2" [2.96m]  
RISE: 15 @ 7 3/4" [197.3mm]  
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION**  
LEVEL 0 - LEVEL 1  
HEIGHT: 4' [1.22m]  
RISE: 7 @ 6 3/4" [174.3mm]  
RUN: 6 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
7	
6 ISSUED FOR DP AMENDMENT	2023-11-10
5 ISSUED FOR BP APPLICATION	2023-10-27
4 RE-ISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER DD-92  
DRAWN BY PM / RV  
CHECKED BY RR  
DATE CHECKED  
CONSULTANT



PROJECT  
**ETTA TOWNHOUSE DEVELOPMENT**  
3439 TRUMPETER STREET  
COLWOOD, BC

DRAWING TITLE  
**UNIT - B1/ B1-a SECTIONS**

DRAWING No.

**A4.23b**



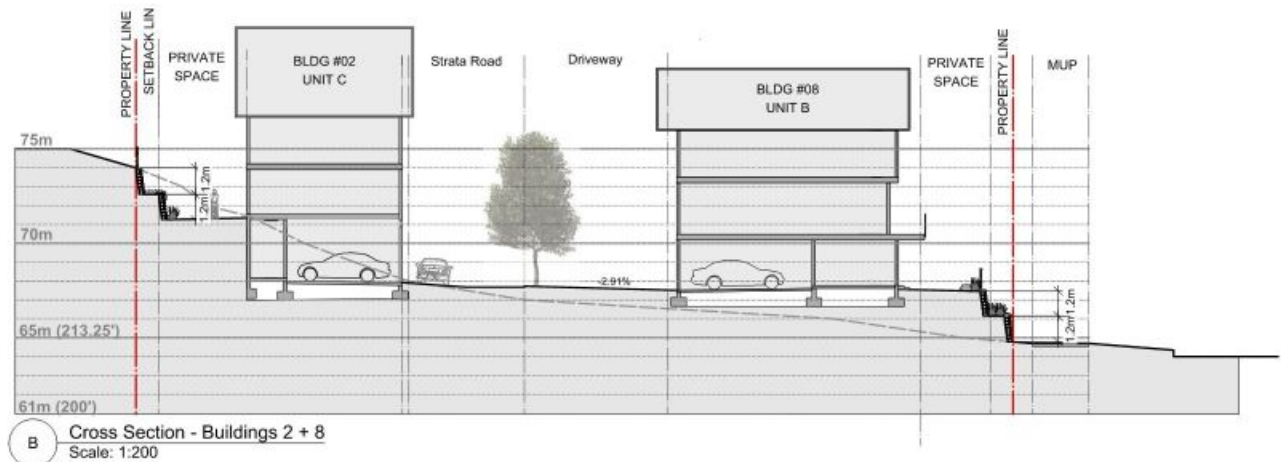
1 Landscape Concept Plan Scale: 1:250



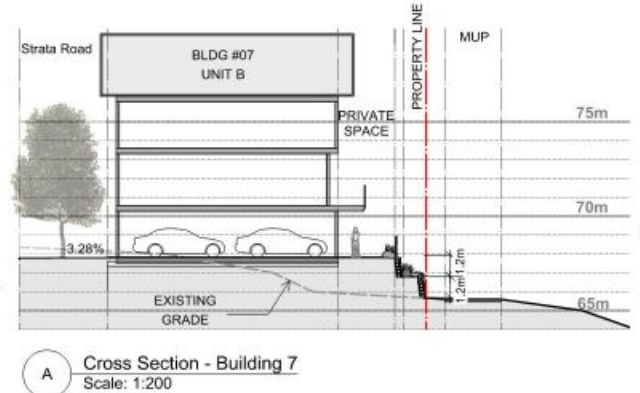
Recommended Nursery Stock

Trees	Botanical Name	Common Name	Size	
Total: 43	<i>Acer circinatum</i>	Vine Maple	2.5m ht.	
	<i>Acer palmatum</i> 'Osakazuki'	Osakazuki Japanese Maple	6cm cal.	
	<i>Acer rubrum</i> 'Autumn Flame'	Autumn Flame Scarlet Maple	6cm cal.	
	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	6cm cal.	
	<i>Amelanchier x grandiflora</i> 'autumn Brilliance'	Autumn Brilliance Serviceberry	4cm cal.	
	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	6cm cal.	
	<i>Magnolia</i> Galaxy	Galaxy Magnolia	6cm cal.	
	Large Shrubs Total: 103	<i>Juniperus communis</i>	Common Juniper	1.0m ht.
		<i>Philadelphus</i> 'Belle Etoile'	Belle Etoile Mock Orange	#5 pot
		<i>Philadelphus lewisii</i>	Mock Orange	#5 pot
<i>Taxus x media</i> 'Hicksii'		Hicks Yew	1.0m ht.	
<i>Vaccinium ovatum</i>		Evergreen Huckleberry	#5 pot	
Medium Shrubs Total: 471	<i>Hydrangea macrophylla</i> 'Lanarth White'	Lanarth White Hydrangea	#3 pot	
	<i>Rhododendron</i> 'Hino-crimson'	Evergreen Azalea	#3 pot	
	<i>Rhododendron</i> 'Rosa Mundi'	Rosa Mundi Rhododendron	#3 pot	
	<i>Ribes sanguineum</i> 'King Edward VII'	King Edward VII Flowering Currant	#3 pot	
	<i>Symphoricarpos albus</i>	Snowberry	#3 pot	
	Small Shrubs Total: 952	<i>Azalea japonica</i> 'Herbert'	Herbert Evergreen Azalea	#1 pot
		<i>Cistus x argenteus</i> 'Silver Pink'	Silver Pink Rock Rose	#1 pot
<i>Cornus stolonifera</i> 'Kelsey'		Kelsey Dogwood	#1 pot	
<i>Gaultheria shallon</i>		Salal	#1 pot	
<i>Lavender stoechas</i> 'Anoluk'		Spanish Lavender	#1 pot	
<i>Mahonia nervosa</i>		Low Oregon Grape	#1 pot	
<i>Nandina domestica</i> 'Fire Power'		Fire Power Heavenly Bamboo	#1 pot	
<i>Pinus mugo</i> 'Jakobsen'		Jakobsen Mugo Pine	#1 pot	
<i>Sarcococca hookeriana</i> var. <i>humilis</i>		Dwarf Sweet Box	#1 pot	
Perennials, Annuals and Ferns Total: 490		<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
		<i>Helictotrichon sempervirens</i>	Blue Oat Grass	#1 pot
	<i>Perovskia atriplicifolia</i>	Russian Sage	#1 pot	
	<i>Polystichum munitum</i>	Sword Fern	#1 pot	

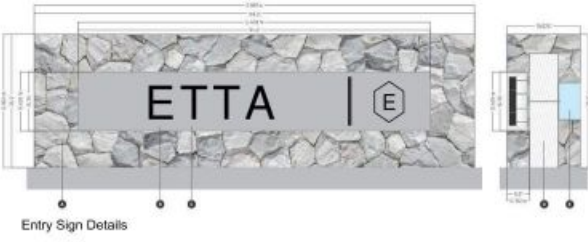
Notes:  
 1. All work to be completed to current CSLA Landscape Standards  
 2. All soft landscape to be irrigated with an automatic irrigation system



B Cross Section - Buildings 2 + 8 Scale: 1:200



A Cross Section - Building 7 Scale: 1:200



CHARACTER IMAGES

# Landscape Plan - Trumpeter Lot 82



## 82 Trumpeter Landscape Budget Estimate

A. SOFT LANDSCAPE	Quantity	Units	Price	Extension
<b>1. PLANTS</b>				
Trees (6 cm caliper)	36	each	\$525.00	\$18,900.00
Trees (4cm caliper)	3	each	\$350.00	\$1,050.00
Trees (2.5m ht)	4	each	\$285.00	\$1,140.00
Shrubs (1.0m ht)	34	each	\$150.00	\$5,100.00
Shrubs (#5 pot)	69	each	\$75.00	\$5,175.00
Shrubs (#3 pot)	471	each	\$57.00	\$26,847.00
Shrubs (#1 pot)	952	each	\$16.50	\$15,708.00
Perennials, Annuals, Ferns (#1 pot)	490	each	\$16.50	\$8,085.00
<b>SUB-TOTAL PLANTS</b>				<b>\$82,005.00</b>
<b>2. GRASS</b>				
Sod	254	m.sq.	\$14.50	\$3,683.00
Meadow Mix	248	m.sq.	\$2.00	\$496.00
<b>3. SOIL</b>				
Soil (Trees and Planting Beds)	679	m.cu.	\$32.00	\$21,728.00
Soil (Meadow Area)	74	m.cu.	\$32.00	\$2,368.00
Mulch (All Beds)	138	m.cu.	\$40.00	\$5,520.00
<b>SUBTOTAL SOFT LANDSCAPE</b>				<b>\$115,800.00</b>
<b>B. HARD LANDSCAPE</b>				
<b>1. IRRIGATION ALLOWANCE</b>				<b>\$18,700.00</b>
<b>2. STONE AND ROCK</b>				
River Rock 155mm depth	38	m.cu.	\$98.00	\$3,724.00
<b>3. SURFACING</b>				
Fibar 200mm depth	6	m.cu.	\$50.00	\$310.00
Concrete Slabs	38	m.sq.	\$33.50	\$1,273.00
Decorative Concrete Slabs	487	m.sq.	\$40.00	\$19,480.00
Decorative Concrete Pavers	301	m.sq.	\$135.00	\$40,635.00
<b>4. SITE FURNISHINGS</b>				
Inverted 'U' Bicycle Racks	3	each	\$500.00	\$1,500.00
Picnic table	1	each	\$2,500.00	\$2,500.00
Benches	1	each	\$1,500.00	\$1,500.00
Chairs	2	each	\$900.00	\$1,800.00
Play Elements (Allowance)				\$5,000.00
<b>5. FENCING</b>				
1800mm Privacy Fence	522	l.m.	\$125.00	\$65,250.00
<b>SUBTOTAL HARD LANDSCAPE</b>				<b>\$161,672.00</b>
<b>TOTAL LANDSCAPE BUDGET ESTIMATE</b>				<b>\$277,472.00</b>
				<b>Exclusive of GST</b>
Prices include labour and materials. For bonding purposes only; this is not a construction estimate.				
Prepared by LADR Landscape Architects			10/12/2022; updated 5/18/2023	