



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP-22-022

### DEVELOPMENT PERMIT DP-22-022

THIS PERMIT, issued **JULY 6 2023** is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: RB Commons Apartments Limited Partnership and Royal Bay Holdings No. 2 Ltd.  
#1774 – 1055 Dunsmuir Street  
Box 49221  
Vancouver, BC V7X 1L2 (the "Permittee")

- 
1. This Form and Character Development Permit, for the construction of five apartment buildings in lands designated within the Centres Development Permit Area, is issued subject to compliance with all of the bylaws of the City of Colwood applicable thereto, except as specifically varied or supplemented by this Permit.
  2. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:  

Lot 1 Esquimalt District Plan EPP122243 Sections 40 and 54  
(the "Lands")
  3. This Development Permit regulates the development of the Land, and supplements the "Colwood Land Use Bylaw, 1989" (Bylaw No. 151), to ensure the form and character considerations for five apartment buildings and associated site improvements are consistent with the design guidelines for areas designated as "Seaside Village" in the City of Colwood Official Community Plan (Bylaw No. 1700).
  4. This Development Permit is **NOT** a Building Permit or a subdivision approval.
  5. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.

6. The Director of Development Services may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
7. This Development Permit authorizes the construction of five apartment buildings along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

#### **FORM AND CHARACTER CONDITIONS**

##### **Building Features**

- 7.1. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by RH Architects Inc. (Schedule 1).
- 7.2. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 7.3. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

##### **Landscaping**

- 7.4. The design and construction of the proposed landscaping shall be in accordance with the Landscape Plan prepared by Connect Landscape Architecture (Schedule 2).
- 7.5. Prior to the issuance of a Building Permit, provide the City with a written letter of engagement from a registered landscape architect agreeing to:
  - 7.5.1. Supervise and install the landscape works in accordance with the approved landscape plan (Schedule 2); and,
  - 7.5.2. Perform a final inspection and submit an inspection report to the City confirming substantial compliance with the approved landscape plan.
- 7.6. Prior to the issuance of a Building Permit, a security deposit in the amount of 110% of the landscape cost estimate in Schedule 3 must be submitted by the Permittee to the City of Colwood in the form of an irrevocable letter of credit or certified cheque. The amount of security to be remitted is **\$2,391,468.20**; this amount, or a portion thereof, shall be returned two years after the City receives a signed statement of partial or substantial completion from a registered BCLSA landscape architect, to the satisfaction of the Director of Development Services.

##### **Signage**

- 7.7. Signage shall be in substantial compliance with the signage plan prepared by Graphic FX Signworks (Schedule 4).
- 7.8. No fascia sign may exceed a width of 25 feet.

**ENVIRONMENTAL CONDITIONS**

**Site Clearing**

7.8. Clearing of the lot prior to issuance of a Building Permit shall be limited to the minimum area required for construction.

**PLANS AND SPECIFICATIONS**

8. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form part of this permit:

**Schedule 1** – Architectural Drawings prepared by RH Architecture Ltd. dated June 29, 2023

**Schedule 2** – Landscape Plan prepared by Connect Landscape Architecture, BCLSA dated May 2, 2023

**Schedule 3** – Landscape Cost Estimate prepared by Connect Landscape Architecture, BCLSA dated March, 2023

**Schedule 4** – Signage Plan prepared by **Graphic FX** dated June 30, 2023

ISSUED ON THIS 6 DAY OF July 2023.

Yazmin Hernández B.

YAZMIN HERNANDEZ, MCIP, RPP

DIRECTOR OF DEVELOPMENT SERVICES



# SCHEDULE 1

## PARCEL B COLWOOD, B.C.



RH Architects Inc.

130 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1S1

1-804-669-6000  
1-804-669-5192

www.rharchitects.ca

ISSUE	DATE
1. DEVELOPMENT PERMIT	30 MAY 2022
2. DEVELOPMENT PERMIT	30 MAY 2022
3. DEVELOPMENT PERMIT	30 MAY 2022
4. DEVELOPMENT PERMIT	29 JUN 2023

ISSUED FOR  
**DP RESUBMISSION #3**  
29 JUN 2023

**NO VISIBILITY** DATE

THIS DRAWING IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC. THE PERMISSION TO REPRODUCE THIS DRAWING IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THIS DRAWING.

**APPROPRIATE, SEAL**



**PROJECTS DIRECTORY:**

PROJECT	LOCATION	DATE
1. PARCEL B	COLWOOD, B.C.	2023
2. PARCEL A	COLWOOD, B.C.	2022
3. PARCEL C	COLWOOD, B.C.	2022
4. PARCEL D	COLWOOD, B.C.	2022
5. PARCEL E	COLWOOD, B.C.	2022
6. PARCEL F	COLWOOD, B.C.	2022
7. PARCEL G	COLWOOD, B.C.	2022
8. PARCEL H	COLWOOD, B.C.	2022
9. PARCEL I	COLWOOD, B.C.	2022
10. PARCEL J	COLWOOD, B.C.	2022
11. PARCEL K	COLWOOD, B.C.	2022
12. PARCEL L	COLWOOD, B.C.	2022
13. PARCEL M	COLWOOD, B.C.	2022
14. PARCEL N	COLWOOD, B.C.	2022
15. PARCEL O	COLWOOD, B.C.	2022
16. PARCEL P	COLWOOD, B.C.	2022
17. PARCEL Q	COLWOOD, B.C.	2022
18. PARCEL R	COLWOOD, B.C.	2022
19. PARCEL S	COLWOOD, B.C.	2022
20. PARCEL T	COLWOOD, B.C.	2022
21. PARCEL U	COLWOOD, B.C.	2022
22. PARCEL V	COLWOOD, B.C.	2022
23. PARCEL W	COLWOOD, B.C.	2022
24. PARCEL X	COLWOOD, B.C.	2022
25. PARCEL Y	COLWOOD, B.C.	2022
26. PARCEL Z	COLWOOD, B.C.	2022

**DRAWINGS LIST:**

NO.	DESCRIPTION	DATE	STATUS
001	CONCEPT	2022	ISSUED
002	CONCEPT	2022	ISSUED
003	CONCEPT	2022	ISSUED
004	CONCEPT	2022	ISSUED
005	CONCEPT	2022	ISSUED
006	CONCEPT	2022	ISSUED
007	CONCEPT	2022	ISSUED
008	CONCEPT	2022	ISSUED
009	CONCEPT	2022	ISSUED
010	CONCEPT	2022	ISSUED
011	CONCEPT	2022	ISSUED
012	CONCEPT	2022	ISSUED
013	CONCEPT	2022	ISSUED
014	CONCEPT	2022	ISSUED
015	CONCEPT	2022	ISSUED
016	CONCEPT	2022	ISSUED
017	CONCEPT	2022	ISSUED
018	CONCEPT	2022	ISSUED
019	CONCEPT	2022	ISSUED
020	CONCEPT	2022	ISSUED
021	CONCEPT	2022	ISSUED
022	CONCEPT	2022	ISSUED
023	CONCEPT	2022	ISSUED
024	CONCEPT	2022	ISSUED
025	CONCEPT	2022	ISSUED
026	CONCEPT	2022	ISSUED
027	CONCEPT	2022	ISSUED
028	CONCEPT	2022	ISSUED
029	CONCEPT	2022	ISSUED
030	CONCEPT	2022	ISSUED
031	CONCEPT	2022	ISSUED
032	CONCEPT	2022	ISSUED
033	CONCEPT	2022	ISSUED
034	CONCEPT	2022	ISSUED
035	CONCEPT	2022	ISSUED
036	CONCEPT	2022	ISSUED
037	CONCEPT	2022	ISSUED
038	CONCEPT	2022	ISSUED
039	CONCEPT	2022	ISSUED
040	CONCEPT	2022	ISSUED
041	CONCEPT	2022	ISSUED
042	CONCEPT	2022	ISSUED
043	CONCEPT	2022	ISSUED
044	CONCEPT	2022	ISSUED
045	CONCEPT	2022	ISSUED
046	CONCEPT	2022	ISSUED
047	CONCEPT	2022	ISSUED
048	CONCEPT	2022	ISSUED
049	CONCEPT	2022	ISSUED
050	CONCEPT	2022	ISSUED
051	CONCEPT	2022	ISSUED
052	CONCEPT	2022	ISSUED
053	CONCEPT	2022	ISSUED
054	CONCEPT	2022	ISSUED
055	CONCEPT	2022	ISSUED
056	CONCEPT	2022	ISSUED
057	CONCEPT	2022	ISSUED
058	CONCEPT	2022	ISSUED
059	CONCEPT	2022	ISSUED
060	CONCEPT	2022	ISSUED
061	CONCEPT	2022	ISSUED
062	CONCEPT	2022	ISSUED
063	CONCEPT	2022	ISSUED
064	CONCEPT	2022	ISSUED
065	CONCEPT	2022	ISSUED
066	CONCEPT	2022	ISSUED
067	CONCEPT	2022	ISSUED
068	CONCEPT	2022	ISSUED
069	CONCEPT	2022	ISSUED
070	CONCEPT	2022	ISSUED
071	CONCEPT	2022	ISSUED
072	CONCEPT	2022	ISSUED
073	CONCEPT	2022	ISSUED
074	CONCEPT	2022	ISSUED
075	CONCEPT	2022	ISSUED
076	CONCEPT	2022	ISSUED
077	CONCEPT	2022	ISSUED
078	CONCEPT	2022	ISSUED
079	CONCEPT	2022	ISSUED
080	CONCEPT	2022	ISSUED
081	CONCEPT	2022	ISSUED
082	CONCEPT	2022	ISSUED
083	CONCEPT	2022	ISSUED
084	CONCEPT	2022	ISSUED
085	CONCEPT	2022	ISSUED
086	CONCEPT	2022	ISSUED
087	CONCEPT	2022	ISSUED
088	CONCEPT	2022	ISSUED
089	CONCEPT	2022	ISSUED
090	CONCEPT	2022	ISSUED
091	CONCEPT	2022	ISSUED
092	CONCEPT	2022	ISSUED
093	CONCEPT	2022	ISSUED
094	CONCEPT	2022	ISSUED
095	CONCEPT	2022	ISSUED
096	CONCEPT	2022	ISSUED
097	CONCEPT	2022	ISSUED
098	CONCEPT	2022	ISSUED
099	CONCEPT	2022	ISSUED
100	CONCEPT	2022	ISSUED

DATE: 30 MAY 2023  
**AO.00**

PROJECT NO: 2126/2138

CLIENT: PARCARGROUP

PROJECT: PARCEL B COLWOOD B.C.

DATE: 30 MAY 2023







RH Architects Inc.

200 Pearl Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

1-800-669-0992  
 1-604-699-0992  
 www.rharchitects.ca

PROJECT: 2019-2022  
 2. DESIGN DEVELOPMENT  
 3. PERMITTING  
 4. PRELIMINARY DESIGN  
 5. PRELIMINARY DESIGN

PROJECT NO: 2126/2138

DATE: 01 JUN 2023

PEREGROUP  
 1000 West 10th Avenue  
 Vancouver, BC V6H 1G5

PROJECT NO: 2126/2138

AO.01a

EOT REQUIRED				EOT PROPOSED			
Shower	toilet	Sink	Bathtub	Shower	toilet	Sink	Bathtub
1	1	1	1	1	1	1	1
<b>Apartment A</b>							
Total							
<b>Apartment B</b>							
Total							
<b>Apartment C</b>							
Total							
<b>Apartment D</b>							
Total							
<b>Total</b>							
1	1	1	1	1	1	1	1

Proposed Use PL	Room Description	Max. Use Building - Required	Max. Use Building - Proposed
Proposed Use PL	Hotel Commercial Board	6.56 Feet	2.00 Feet
West PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
East PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
South PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
Proposed Use PL	Hotel Commercial Board	6.56 Feet	2.00 Feet
West PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
East PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
South PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
Proposed Use PL	Hotel Commercial Board	6.56 Feet	2.00 Feet
West PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
East PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
South PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
Proposed Use PL	Hotel Commercial Board	6.56 Feet	2.00 Feet
West PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
East PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
South PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
Proposed Use PL	Hotel Commercial Board	6.56 Feet	2.00 Feet
West PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
East PL	Hotel Commercial Board	3.28 Feet	4.00 Feet
South PL	Hotel Commercial Board	3.28 Feet	4.00 Feet

PROJECT NO: 2126/2138

PEREGROUP

PROJECT NO: 2126/2138

AO.01a

# Mixed Use Residential Unit Count

Floor level	Gross Area	Res. Net.	Common Area	Units Count
Level-1	1,777	16,111	1,777	23,000
Level-2	18,367	18,111	2,156	23,000
Level-3	18,367	18,111	2,156	23,000
Level-4	18,367	18,111	2,156	23,000
Level-5				
Roof Deck				
<b>Total (sq. ft.)</b>	<b>56,578</b>	<b>48,333</b>	<b>8,245</b>	<b>69,000</b>
<b>Total (sq. m.)</b>	<b>5,236</b>	<b>4,490</b>	<b>766</b>	

Unit Name	Area (sq. ft.)	Type	Count/Fl.	Total (sq. ft.)	Count/Type	Percentage	Percentage
NA1	483	Studio	9	4,327		13%	
NB1	637	1 Bed + Den	36	22,532		52%	
NB2	719	1 Bed + Den	6	4,314	42	5%	62%
NC1	810	2 Bed	6	4,860		9%	
NC4	990	2 Bed + Den	12	11,880	18	17%	26%
<b>Total</b>			<b>69</b>	<b>48,333</b>	<b>69</b>	<b>100.00%</b>	<b>100.00%</b>



RH Architects Inc.

100 Royal Street, Suite 30  
 Vancouver, BC Canada  
 V6A 1G1

1-800-669-0992  
 604-682-0992  
 www.rharchitects.ca

PROJECT: 2126/2138  
 DATE: 30 JUN 2023  
 DRAWING NO: 2126/2138-01  
 DATE: 30 JUN 2023  
 DRAWING NO: 2126/2138-01  
 DATE: 30 JUN 2023

PROJECT: 2126/2138  
 DATE: 30 JUN 2023  
 DRAWING NO: 2126/2138-01  
 DATE: 30 JUN 2023

PROJECT: 2126/2138  
 DATE: 30 JUN 2023  
 DRAWING NO: 2126/2138-01  
 DATE: 30 JUN 2023

PROJECT: 2126/2138  
 DATE: 30 JUN 2023  
 DRAWING NO: 2126/2138-01  
 DATE: 30 JUN 2023

PROJECT: 2126/2138  
 DATE: 30 JUN 2023  
 DRAWING NO: 2126/2138-01  
 DATE: 30 JUN 2023

PROJECT: 2126/2138  
 DATE: 30 JUN 2023  
 DRAWING NO: 2126/2138-01  
 DATE: 30 JUN 2023



### Buildings A B C Residential Unit Count ( Each)

Area Calculation			
Floor Level	Res. Gross	Res. Net.	Common Area
Level-1	11,231	8,919	2,312
Level-2	11,964	10,734	1,130
Level-3	11,964	10,734	1,130
Level-4	11,964	10,734	1,130
Level-5	11,964	10,734	1,130
Level-6	11,964	10,734	1,130
Roof Deck			
<b>Total (sq.ft.)</b>	<b>71,051</b>	<b>62,889</b>	<b>8,462</b>
<b>Total (sq.m.)</b>	<b>6,601</b>	<b>5,815</b>	<b>786</b>

Unit Mix Summary/Per Floor						
Unit Name	Area (sq.ft.)	Type	Count/Ft.	Total (sq.ft.)	Count/Type	Percentage
S11	488	Studio	12	5,856		15%
S11	643	1 Bnd + Den	24	15,432		29%
S12	757	1 Bnd + Den	12	9,264		15%
S13	869	2 Bnd	5	4,245		8%
S12	912	2 Bnd	6	5,472		7%
S13	965	2 Bnd + Den	5	4,825		8%
S14	984	2 Bnd + Den	5	5,795		7%
S15	995	2 Bnd + Den	12	11,940		15%
<b>Total</b>			<b>82</b>	<b>62,889</b>	<b>82</b>	<b>100.00%</b>

### Buildings D Residential Unit Count ( Each)

Area Calculation			
Floor Level	Res. Gross	Res. Net.	Common Area
Level-1	16,599	11,721	2,578
Level-2	15,063	13,596	1,527
Level-3	15,063	13,596	1,527
Level-4	15,063	13,596	1,527
Level-5	15,063	13,596	1,527
Level-6	15,063	13,596	1,527
Roof Deck			
<b>Total (sq.ft.)</b>	<b>86,614</b>	<b>79,401</b>	<b>10,213</b>
<b>Total (sq.m.)</b>	<b>8,325</b>	<b>7,377</b>	<b>949</b>

Unit Mix Summary/Per Floor						
Unit Name	Area (sq.ft.)	Type	Count/Ft.	Total (sq.ft.)	Count/Type	Percentage
S11	488	Studio	24	11,712		23%
S11	643	1 Bnd + Den	24	15,432		23%
S12	757	1 Bnd + Den	12	9,264		11%
S13	869	2 Bnd	5	4,245		6%
S12	912	2 Bnd	18	16,416		26%
S13	965	2 Bnd + Den	5	4,825		8%
S14	984	2 Bnd + Den	6	5,796		9%
S15	995	2 Bnd + Den	12	11,940		19%
<b>Total</b>			<b>106</b>	<b>79,401</b>	<b>106</b>	<b>100.00%</b>



RH Architects Inc.

200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1

1-800-669-0092  
 604-683-0992

www.rharchitects.ca

**PROJECT:** 2017-2022  
 200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1

**PROJECT:** 2017-2022  
 200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1

**DATE:** 01 MAY 2023  
**PROJECT:** 2017-2022  
 200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1

**PROJECT:** 2017-2022  
 200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1

**PROJECT:** 2017-2022  
 200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1

**PROJECT:** 2017-2022  
 200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1





RH Architects Inc.

200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

T: 604.684.9922  
 F: 604.684.9924

www.rharchitects.ca

REVISED	DATE
1. DESIGN DEVELOPMENT	20 JUN 2022
2. DP SUBMISSION #1	20 JUN 2022
3. DP SUBMISSION #2	20 JUN 2022
4. DP SUBMISSION #3	20 JUN 2022

**PROJEC**  
 DP RESUBMISSION #3  
 20 JUN 2022

**NOTES**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT**  
 31 MAY 2022  
 PEREgroup  
 1400-1000 West 10th Street  
 Vancouver, BC

**PROJECT**  
 PARCEL B  
 CONNAUGHT BLDG  
 AERIAL VIEW

**DATE PLO**  
 NIS  
 22 JUN 2022  
**DATE TIT**  
 22 JUN 2022  
**DATE PLO**  
 22 JUN 2022  
**DATE EIR**  
 2126/2138

**PROJECT No.** 2126/2138  
**DATE**  
 2022  
**NO.**  
 A0.03c





AERIAL VIEW - SOUTH WEST CORNER



RH Architects Inc.

200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.689.8922  
 F: 604.689.8921  
 www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING

**PARCEL FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2022

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

**PROJECT:** PARCEL B  
**CLIENT:** PORE GROUP  
**DATE:** 28 JUNE 2022

**CLIENT:** PORE GROUP  
 1000 Burrard Street, Suite 1000  
 Vancouver, BC V6Z 1G6

**PROJECT:** PARCEL B  
 3D MASSING

**DATE FILE:** 1/27/22 - 1.04  
**SCALE:** 1/2" = 1'-0"  
**REVISION:** 22 JUNE 2022  
**DESIGNER:** P. 58  
**CHECKER:** E.B.R.  
**PROJECT NO.:** 2126/2138

**Drawn by:** **AO.04**





AERIAL VIEW - SOUTH EAST CORNER



RH Architects Inc.

230 Powell Street, Unit 30  
 Vancouver, BC Canada  
 V6A 5G1

+1 604 684 9992  
 1 604 684 9992  
 www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING

**PROJECT No.** 2126/2138  
**DATE** 28 JUN 2022

**CLIENT** 31 MAY 2022

**PROJECT** PARCEL B  
 3D MASSING

**DATE FILE:** 1/27/2022  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**OWNER:** EBR

**PROJECT No.** 2126/2138  
**DATE:** 28 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**OWNER:** EBR

**PROJECT No.** 2126/2138  
**DATE:** 28 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**OWNER:** EBR





AERIAL VIEW - NORTH EAST CORNER



RH Architects Inc.  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 3G1

+1 604 684 9992  
 1 604 684 9992  
 www.rharchitects.ca

DATE	DESCRIPTION
30 SEP 2022	3D MASSING PREP
06 NOV 2022	2D ARCHITECTURAL PLAN
06 NOV 2022	3D RENDERING
29 JAN 2023	3D RENDERING

**PROJECT NO.**  
 DP RESUBMISSION #3  
 28 JUNE 2022

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. IS STRICTLY PROHIBITED.

2. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
 31 MAY 2022  
 PEREgroup  
 1401-1000 West 10th Street, Suite 1000  
 Vancouver, BC

**PROJECT:**  
 PARCEL B  
 COLWOOD BC  
 3D MASSING

**DATE FILE:** NIS  
**DATE:** 29 JUNE 2023  
**PROJECT NO.:** P-18  
**CLIENT:** PERE  
**PROJECT NO.:** 2126/2138

**SCALE:**  
 A0.06  
 DATE: 29 JUNE 2023





AERIAL VIEW - NORTH WEST CORNER



RH Architects Inc.

230 Powell Street, Unit 30  
 Vancouver, BC Canada  
 V6A 1G1

T: 604.683.8922  
 F: 604.683.8921  
 www.rharchitects.ca

DATE	DESCRIPTION
30 JUN 2023	3D MASSING
30 JUN 2023	3D MASSING
29 JUN 2023	3D MASSING

**PROJECT NO.**  
 DP RESUBMISSION #3  
 28 JUN 2023

**NOTES:**  
 1. This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved. © 2023 RH Architects Inc.

**CLIENT:** 31 MAY 2023  
**PEREgroup**  
 1400-100 West 10th Street  
 Vancouver, BC  
**PROJECT:**  
**PARCEL B**  
 CONDOMINIUM  
**3D MASSING**

**DATE PLOTTED:** 29 JUN 2023  
**SCALE:** NTS  
**PROJECT NO.:** 2126/2138  
**CLIENT:** PERE  
**DESIGNER:** EBR

**DATE PLOTTED:** 29 JUN 2023  
**SCALE:** NTS  
**PROJECT NO.:** 2126/2138  
**CLIENT:** PERE  
**DESIGNER:** EBR







VIEW SOUTH EAST OF MIXED USE BUILDING FROM ROYAL COMMONS ROAD



CORNER RESTAURANT PATIO - PRODUCERS WAY AND ROYAL COMMONS ROAD



RH Architects Inc.  
 200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1  
 Tel: 604.683.9922  
 Fax: 604.683.9921  
 www.rharchitects.ca

DATE	DESCRIPTION
30 MAY 2023	3D MASSING
29 MAY 2023	3D MASSING
28 MAY 2023	3D MASSING
27 MAY 2023	3D MASSING

**PROJECT INFO**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT**  
 30 MAY 2023  
 Peregri Group  
 1400-1000 West 10th Street, Suite 1000  
 Vancouver, BC V6H 1T5

**PROJECT**  
 PARCEL B  
 CONDOMINIUM B/C  
 3D MASSING

**DATE FILE:** NIS  
**MEET:** 29 JUNE 2023  
**PERMIT:** P-21-58  
**OWNER:** EBR  
**PROJECT No.:** 2126/2138

**DATE:** 2023  
**NO.:** AO.08





VIEW SOUTH WEST OF MIXED USE BUILDING FROM ROYAL COMMONS ROAD



RH Architects Inc.

230 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

T: 604.688.0900  
 F: 604.688.0951

www.rharchitects.ca

ISSUES	DATE
1. DESIGN DEVELOPMENT PERMIT	30 JUN 2023
2. DP EXCISEMENT PERMIT	30 JUN 2023
3. DP EXCISEMENT PERMIT	30 JUN 2023
4. DP EXCISEMENT PERMIT	29 JUN 2023

**PRELIM PERM**  
**DP RESUBMISSION #3**  
 28 JUN 2023

**NOTIFICATION** DATE

This document is the property of RH Architects Inc. and is intended for the use of the client only. It is not to be distributed, copied, or used in any way without the written consent of RH Architects Inc. The information contained herein is confidential and may be subject to legal proceedings. The information contained herein is confidential and may be subject to legal proceedings.

**NOTIFICATION STATE:**

**CLIENT:** 31 MAY 2023

**PEREGROUP**  
 1400-1000 West 10th Street, Vancouver

**PROJECT:**

**PARCEL B**  
 COLUMBIA BLDG.

**3D MASSING**

**DATE FILE:** NIS

**DATE:** 29 JUNE 2023

**PERMIT:** P-188

**OWNER:** EBR

**PROJECT No.:** 2126/2138

**DATE:** 29 JUNE 2023

**FILE No.:** A0.09





VIEW OF MIXED USE BUILDING BREEZEWAY FROM ROYAL COMMONS ROAD



RH Architects Inc.

230 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

T: 604.684.8922  
 F: 604.684.8921  
 www.rharchitects.ca

DESIGN	DATE
1. CONCEPT DESIGN PERMIT	20 JUN 2022
2. PRELIMINARY DESIGN PERMIT	20 JUN 2022
3. PRELIMINARY DESIGN PERMIT	20 JUN 2022
4. PRELIMINARY DESIGN PERMIT	20 JUN 2022

**PRELIMINARY PERMIT**  
 DP RESUBMISSION #3  
 28 JUN 2023

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

CLIENT: 307 WALK 2023

**pereregroup**  
 1400-1000 West 10th Street  
 Vancouver, BC  
 V6H 2G6

PROJECT: PARCEL B  
 307 WALK 2023

3D MASSING

DATE FILE: NIS  
 MODEL: 29 JUNE 2023  
 PERMIT: P1 58  
 CLIENT: EBR

PROJECT No: 2126/2138

**AO.10**





VIEW NORTH WEST OF MIXED USE BUILDING FROM NORTH LANE



RH Architects Inc.

200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

1-844-668-9992  
 604-683-0992  
 www.rharchitects.ca

EVENT	DATE
1. DESIGN CONCEPT PERMIT	20 JAN 2023
2. DP EXAMINATION #1	20 MAR 2023
3. DP EXAMINATION #2	06 MAY 2023
4. DP EXAMINATION #3	29 JUN 2023

**PRELIM PERM**  
 DP RESUBMISSION #3  
 28 JAN 2023

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

**NOTIFICATION DATE:**

**CLIENT** 31 MAY 2023

**PEREGROUP**  
 1400-1000 West 10th Avenue  
 VANCOUVER, BC  
**PARCEL B**  
 COLWOOD INC.  
 3D MASSING

**DATE FILE:** NIS  
**ISSUE DATE:** 29 JUNE 2023  
**PROJECT NO.:** 2126/2138

**DATE FILE:** NIS  
**ISSUE DATE:** 29 JUNE 2023  
**PROJECT NO.:** 2126/2138

**AO.11**





VIEW NORTH EAST OF MIXED USE BUILDING FROM NORTH LANE



RH Architects Inc.

230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 3G1

1-800-669-8992  
 604-683-0952

www.rharchitects.ca

PROJECT	DATE
1. DESIGN CONCEPT PERMIT	30 JAN 2022
2. DP EXAMINATION #1	30 MAR 2022
3. DP EXAMINATION #2	30 MAR 2022
4. DP EXAMINATION #3	29 JUN 2022

**PRELIM PERM**  
**DP RESUBMISSION #3**  
 28 JUNE 2022

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

2. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
 31 WAIN, 2022

**ARCHITECT:**  
 PAREGROUP  
 1401-1000 West 10th Ave  
 COX/MOORE INC.

**PROJECT:**  
 PARCEL B  
 3D MASSING

**DATE FILE:** NIS  
 22 JUNE 2023

**DATE PRINT:** 22 JUNE 2023

**DESIGNER:** EBR

**PROJECT No.:** 2126/2138

**DATE:** 22 JUNE 2023

**PROJECT No.:** 2126/2138

**FILE No.:** AO.12





RH Architects Inc.

200 Powell Street, Suite 30  
Vancouver, BC Canada  
V6A 1G1

T: 604.689.8929  
F: 604.689.0951

www.rharchitects.ca

ISSUE	DATE
1. DESIGN CONCEPT PRESENTATION	20 JUN 2022
2. DP EXPLANATION #1	20 JUN 2022
3. DP EXPLANATION #2	20 JUN 2022
4. DP EXPLANATION #3	29 JUN 2022

**PRELIMINARY**  
DP RESUBMISSION #3  
28 JUN 2022

**NOTES:**  
1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

31 MAY 2022  
**pergroup**  
INCORPORATED  
1000-1000 West 10th Street  
Vancouver, BC  
CANADA V6H 1G5

**PARCEL B**  
3D MASSING

DATE FILE: NIS  
SCALE: AS SHOWN  
PERMIT: 22-0000-0000  
OWNER: EBR  
PROJECT No. 2126/2138

DATE: 2022  
**A0.13**



VIEW SOUTH OF AMENITY BUILDING FROM NORTH LANE





RH Architects Inc.

200 Powell Street, Suite 30  
Vancouver, BC Canada  
V6A 3G1

1-844-888-8992  
604-683-0952  
604-683-0952

www.rharchitects.ca

DATE	DESCRIPTION
30 JUN 2023	3D MASSING
30 JUN 2023	3D MASSING
30 JUN 2023	3D MASSING
30 JUN 2023	3D MASSING

**PLANNED FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2023

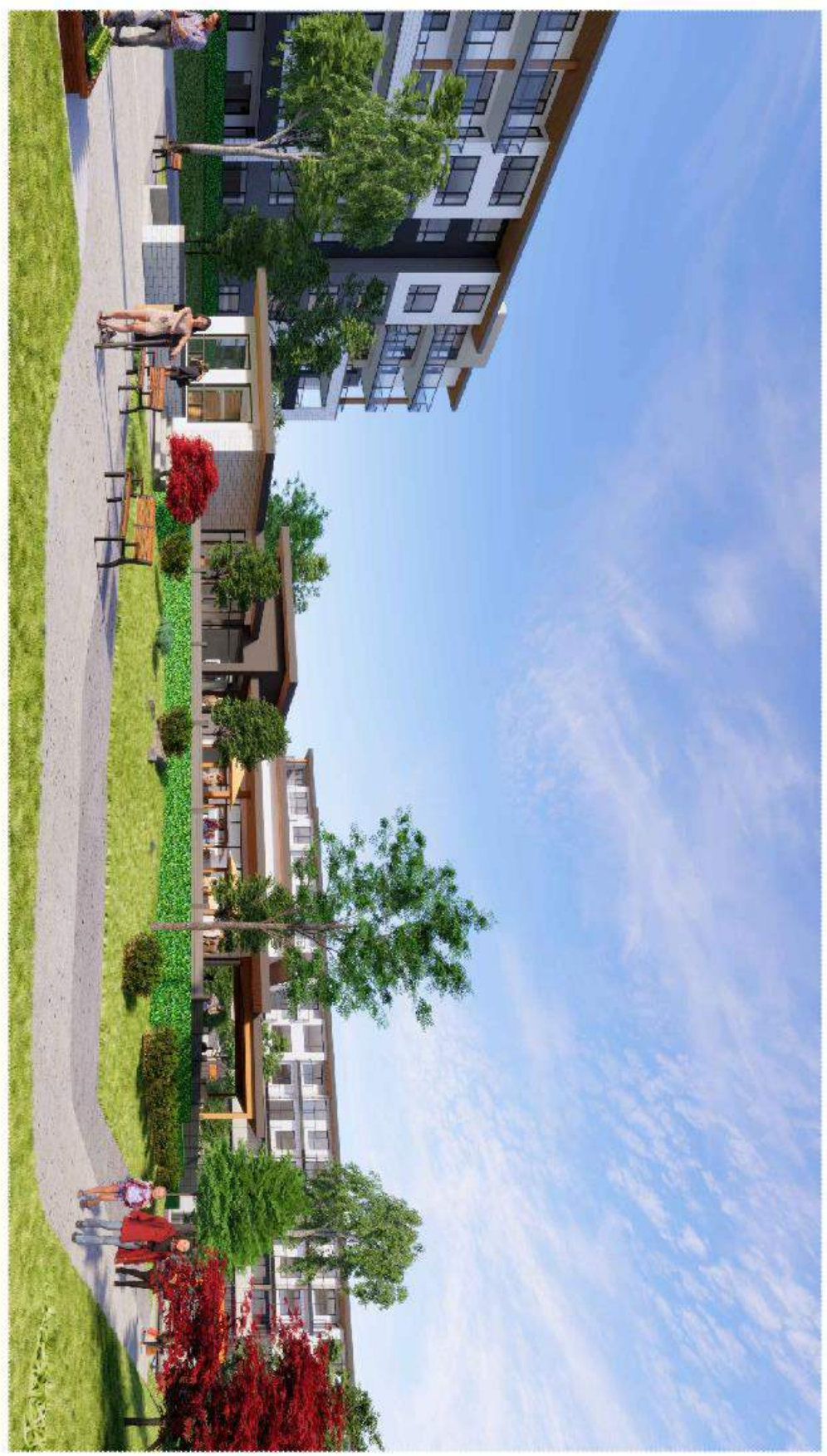
**NOTIFICATION** DATE

This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved. This drawing is for informational purposes only and is not to be used for construction. The information contained herein is for informational purposes only and is not to be used for construction. The information contained herein is for informational purposes only and is not to be used for construction.

**CLIENT** 30 JUNE 2023  
**PEREGRINE GROUP**  
 1400-1000 West 10th Street  
 Vancouver, BC  
**PROJECT**  
**PARCEL B**  
 CONDOMINIUM  
**3D MASSING**

**DATE FILE:** NIS  
**SCALE:** 1/8" = 1'-0"  
**PERMIT:** 22 JUNE 2023  
**DESIGNER:** P, J, S  
**CHECKER:** EBR  
**PROJECT No.:** 2126/2138

**DATE:** 2023  
**NO.:** AO.14



VIEW NORTH OF AMENITY BUILDING FROM INTERIOR COURTYARD





RH Architects Inc.

200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

1-800-668-0000  
 1-604-683-0000  
 www.rharchitects.ca

PROJECT	DATE
1. DEVELOPMENT PERMIT	30 JUN 2022
2. DP EXCISEMENT #1	30 JUN 2022
3. DP EXCISEMENT #2	30 JUN 2022
4. DP EXCISEMENT #3	29 JUN 2022

**PROJECT FILE**  
**DP RESUBMISSION #3**  
 28 JUNE 2022

**NOTIFICATION** DATE

Notwithstanding to whomsoever it may be directed, this notice is intended to advise you of the date on which the proposed development is scheduled to be reviewed by the City of Vancouver. It is your responsibility to ensure that you are available to attend the public hearing on the proposed development on the date specified in this notice. If you are unable to attend, you may request that you be represented by a representative of your organization. If you are unable to attend and do not have a representative, you may request that you be represented by a representative of your organization. If you are unable to attend and do not have a representative, you may request that you be represented by a representative of your organization.

**NOTIFICATION DATE:**

**CLIENT:** 30 JUNE 2022  
**PROJECT:**  
**PARCEL B**  
**CONTRACT NO.:**  
**3D MASSING**

**DATE FILE:** NIS  
**DATE FILED:** 29 JUNE 2022  
**OFFICIAL:** EBR  
**PROJECT No.:** 2126/2138

**DATE FILED:**  
**AO.15**



VIEW NORTH-EAST FROM PRODUCERS WAY





VIEW SOUTH OF BUILDING B AND C FROM INTERNAL COURTYARD



RH Architects Inc.

200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

1-844-668-8992  
 1-604-683-0992  
 www.rharchitects.ca

ISSUE	DATE
1. DESIGN DEVELOPMENT PERMIT	20 JAN 2023
2. PRELIMINARY PERMIT	20 JAN 2023
3. DP EXCISEMENT PERMIT	20 JAN 2023
4. DP EXCISEMENT PERMIT	20 JAN 2023

**PLANNED FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2023

**NOTICE:** DATE

This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. The user of this drawing is deemed to have accepted the terms and conditions of use set forth in the disclaimer on the back of this drawing. The user of this drawing is deemed to have accepted the terms and conditions of use set forth in the disclaimer on the back of this drawing.

**NOT TO BE USED FOR:**

**CLIENT:** 30 MAY 2023

**PROJECT:** PAREL B  
 COLWOOD INC.

**3D MASSING**

**DATE FILE:** NIS  
**DATE:** 22 JUNE 2023  
**DESIGNER:** PJS  
**CHECKER:** EBR

**PROJECT No. 2126/2138**

**DATE:** 2023  
**NO.:** A0.16





VIEW SOUTH OF BUILDING A AND B LOBBY FROM PRODUCERS WAY



RH Architects Inc.

230 Powell Street, Unit 30  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.683.8922  
 F: 604.683.8924  
 www.rharchitects.ca

EVENT	DATE
1. DESIGN CONCEPT PRESENTATION	30 MAY 2022
2. DP EXHIBITION #1	06 MAY 2023
3. DP EXHIBITION #2	13 MAY 2023
4. DP EXHIBITION #3	20 MAY 2023

**PRELIMINARY**  
 DP RESUBMISSION #3  
 20 MAY 2023

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

**NOTIFICATION DATE**

**CLIENT** 30 MAY 2023

**PEREGRINE GROUP**  
 1400-1000 West 32nd Street  
 Vancouver, BC

**PROJECT**  
 PARCEL B  
 COLWOOD INC.

**CONTRACT NO.** 2126/2138

**3D RENDERING**

**DATE FILE:** NIS

**DATE:** 22 JUNE 2023

**DESIGNER:** P. 58

**CHECKER:** EBB

**PROJECT NO.:** 2126/2138

**DATE:** 2023

**NO.:** AO.17





VIEW SOUTH OF BUILDING A AND B LOBBY FROM RYDER HESJEDAL



RH Architects Inc.  
 200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 5G1

1-844-666-9991  
 info@rharch.com  
 www.rharchitects.ca

ISSUE	DATE
1. DESIGN DEVELOPMENT	20 JUN 2022
2. PERMITTING	20 JUN 2022
3. PRELIMINARY	20 JUN 2022
4. PRELIMINARY	20 JUN 2022

**PRELIM FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2022

**NOTES:**

1. This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved.

2. This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved.

3. This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved.

4. This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved.

CLIENT: 307 WALK 2022  
 PEREGROUP  
 1400-1000 West 10th Street  
 Vancouver, BC  
 PARCEL B  
 COLWOOD INC.

DATE FILE: NIS  
 DRAWN: P2  
 CHECKED: EBR  
 PROJECT No: 2126/2138

DATE FILE: NIS  
 DRAWN: P2  
 CHECKED: EBR  
 PROJECT No: 2126/2138

**AO.18**





VIEW OF AMENITY EXTERIOR PATIO AND BARBEQUE AREA



RH Architects Inc.

230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 3G1

T: 604.684.9991  
 F: 604.684.9992  
 www.rharchitects.ca

DATE	DESCRIPTION
30 JUN 2023	3D MASSING
30 JUN 2023	2D PLAN SET
30 JUN 2023	2D SECTION SET
29 JUN 2023	2D ELEVATION SET

**PROJECT INFO**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES**

1. THIS DOCUMENT IS THE PROPERTY OF RHAI. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHAI. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

2. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE. PLEASE CONSULT YOUR FINANCIAL ADVISOR FOR MORE INFORMATION.

3. THE INFORMATION CONTAINED HEREIN IS SUBJECT TO CHANGE WITHOUT NOTICE.

**CLIENT**  
 31 MAY 2023

**PEREGRINE GROUP**  
 1400-100 West 10th Avenue  
 Vancouver, BC  
 CANADA V6E 2M6

**PROJECT**  
 PARCEL B  
 3D MASSING

**DATE FILE:** NIS  
**DATE:** 29 JUNE 2023  
**PROJECT NO.:** 2126/2138

**DESIGNER:** EBR  
**CHECKER:** EBR

**DATE:** 29 JUNE 2023  
**PROJECT NO.:** 2126/2138

**SCALE:** 1:100

**PROJECT NO.:** 2126/2138

**DATE:** 29 JUNE 2023

**PROJECT NO.:** 2126/2138





DATE: 2023  
 SCALE: 1/32" = 1'-0"  
 PLAN DATE: 20 JUN 2023  
 CLIENT: EBR  
 PROJECT NO.: 2126/2138  
**A1.00**

**PEARCGROUP**  
 CONSULTING ENGINEERS ARCHITECTS  
 PROJECT: PARCEL B  
 COLWOOD B.C.  
 DRAWING TITLE: SITE PLAN

DATE: 30 MAR 2023  
 NO. WORKSHEET: 01  
 DATE: 30 MAR 2023  
 APPROVED FOR: [Signature]  
 APPROVED BY: [Signature]  
 APPROVED FOR: [Signature]  
 APPROVED BY: [Signature]

ISSUED FOR:  
**DP RESUBMISSION #3**  
 29 JUN 2023

NO.	DATE	DESCRIPTION
1.	30 MAR 2023	PRELIMINARY PLAN
2.	05 MAY 2023	DP RESUBMISSION #2
3.	05 MAY 2023	DP RESUBMISSION #2
4.	29 JUN 2023	DP RESUBMISSION #3

**RHA**  
 RH Architects Inc.  
 130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1  
 1-844-668-6000  
 1-604-688-5182  
 www.rharchitects.ca





LEVEL P2



RH Architects Inc.

200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.689.8992  
 F: 604.689.8991  
 www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. DESIGN DEVELOPMENT
20 JUN 2022	2. PRELIMINARY PERMIT
20 JUN 2022	3. PRELIMINARY PERMIT
29 JUN 2022	4. PRELIMINARY PERMIT

**PARCEL B**  
 DP RESUBMISSION #3  
 28 JUNE 2022

**NOTES:**

1. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION.
5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY INFORMATION.

30 JUN 2022  
**pcaregroup**  
 PROJECT ENGINEER: [Signature]

**PARCEL B**  
 COLWOOD, B.C.

LEVEL P2 PLAN

DATE FILE: 1/27 - 148  
 MODEL: 22 JUNE 2023  
 NORTH: 0° 00' 00"  
 ORIGIN: EBN  
 PROJECT No. 2126/2138

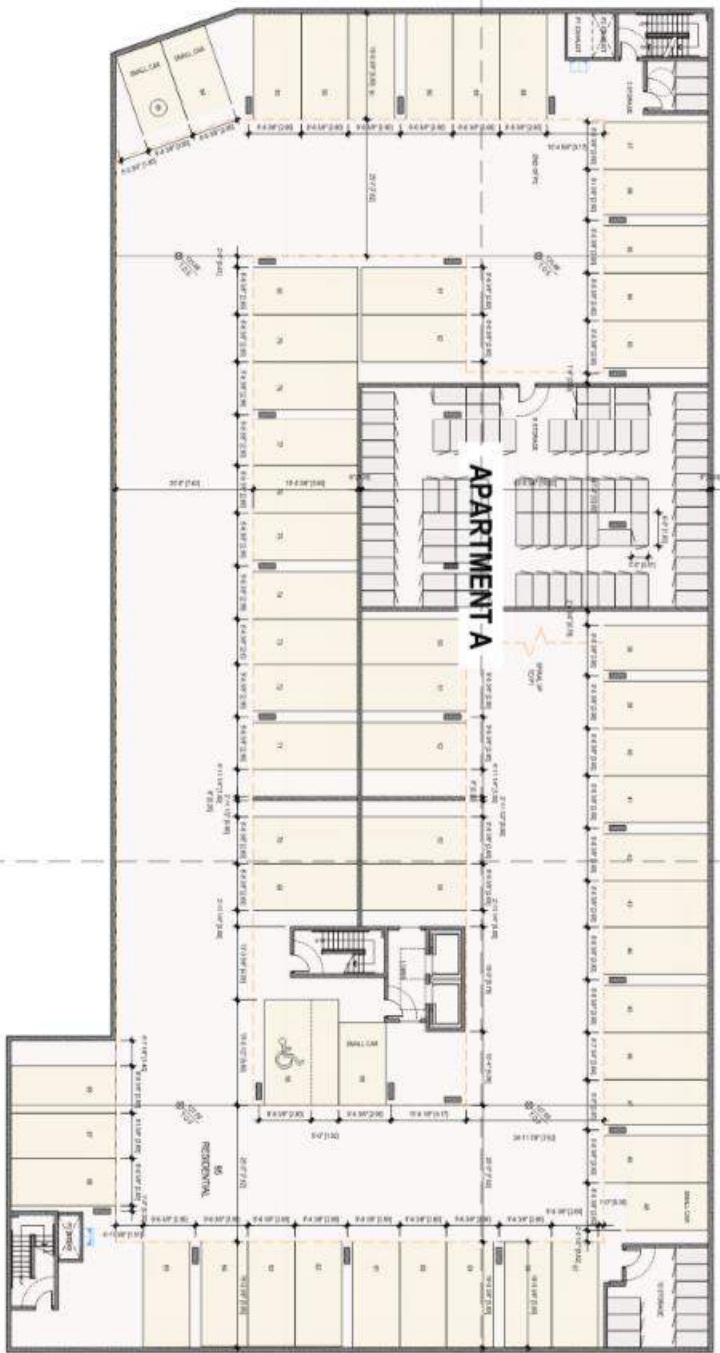
**A2.00**

# PRODUCERS WAY



4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE



# EAST LANE



RH Architects Inc.

330 POUND STREET, UNIT 10  
 YARROWNEY, BC CANADA  
 V4A 1G1  
 1-844-669-6000  
 1-604-469-5192  
 www.rharchitects.ca

REVISION	DATE
1. DEVELOPMENT PERMIT	30 MAY 2023
2. DEVELOPMENT PERMIT	30 MAY 2023
3. DP RESUBMISSION #3	29 JUN 2023
4. DP RESUBMISSION #3	29 JUN 2023

ISSUED FOR  
**DP RESUBMISSION #3**  
 29 JUN 2023

**NO WARRANTY** DATE

THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC. THE USER OF THIS DOCUMENT AGREES TO HOLD RHA ARCHITECTS INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT OR ANY INFORMATION STORED OR RETRIEVED THEREFROM.

**APPROPRIATE SEAL**

**CLIENT**  
 30 JUN 2023

**PEARCGROUP**  
 1000 WEST 10TH AVENUE  
 VANCOUVER, BC CANADA

**PROJECT**  
 PARCEL B  
 COWMOOD R.C.

**DESIGNER**  
 LEVEL P2 PLAN  
 APARTMENT A

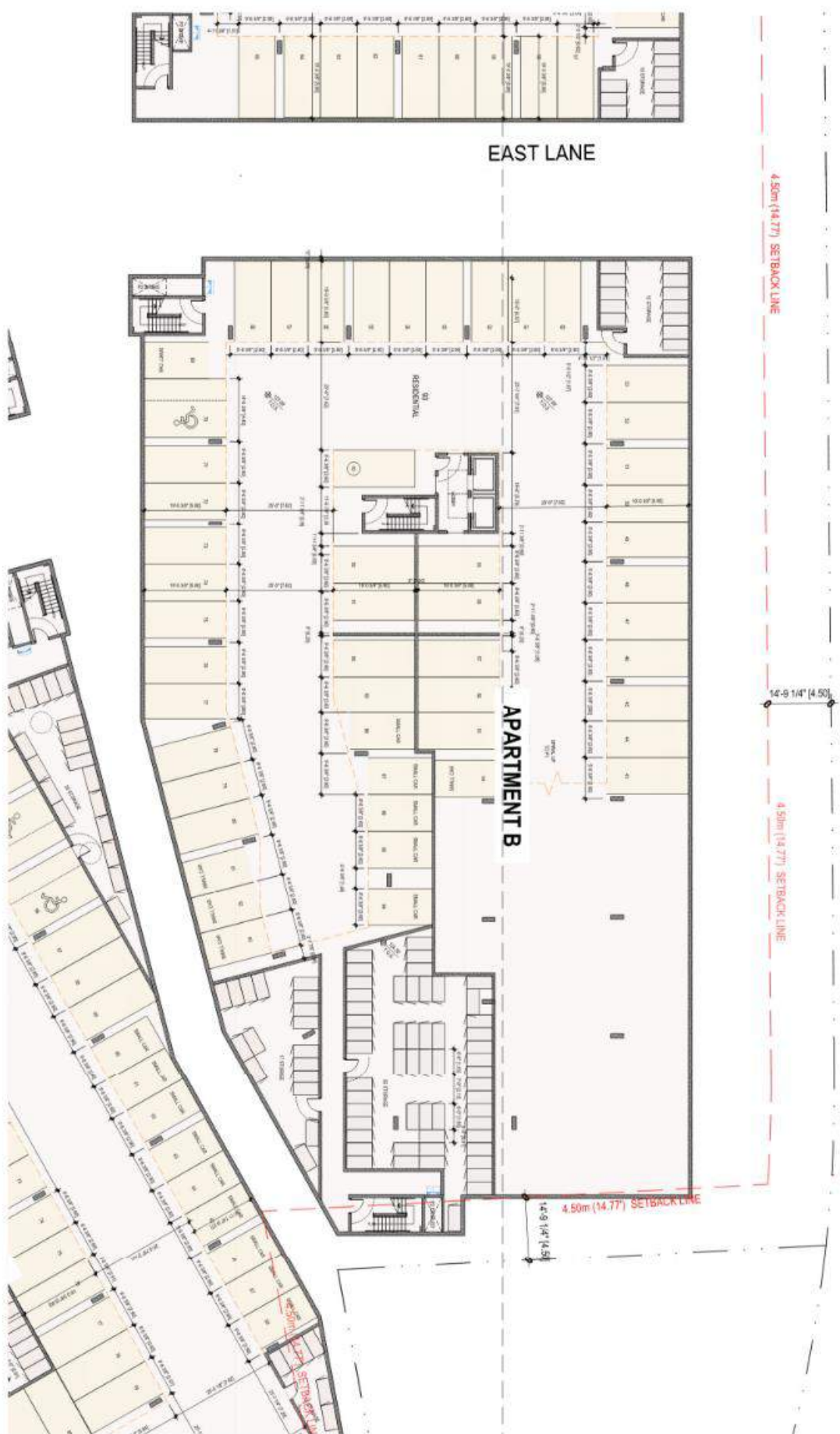
**DATE FILE:** 31.27 - 1.01  
**SCALE:** AS SHOWN  
**DATE PLOT:** 29 JUN 2023  
**ORIGIN:** EBR

**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**SCALE:** A2.03



# PRODUCERS WAY





**RH Architects Inc.**  
 130 Pined Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1S1  
 1-844-669-6902  
 1-604-689-5192  
 www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	ORIGINATING DRAWING
2.	20 JUN 2022	DP RESUBMISSION #3
3.	27 JUN 2022	DP RESUBMISSION #3
4.	27 JUN 2022	DP RESUBMISSION #3

**ISSUED FOR**  
**DP RESUBMISSION #3**  
 20 JUN 2022

**NO. WORKING**      **DATE**

30 JUN 2022

**CLIENT**  
**pcarrgroup**  
 1000 West Broadway  
 Vancouver, BC Canada  
 V6E 1V6

**PROJECT:**  
**PARCEL B**  
 COWMOOD R.C.

**DESIGNER:**  
**LEVEL P2 PLAN**  
**APARTMENT B**

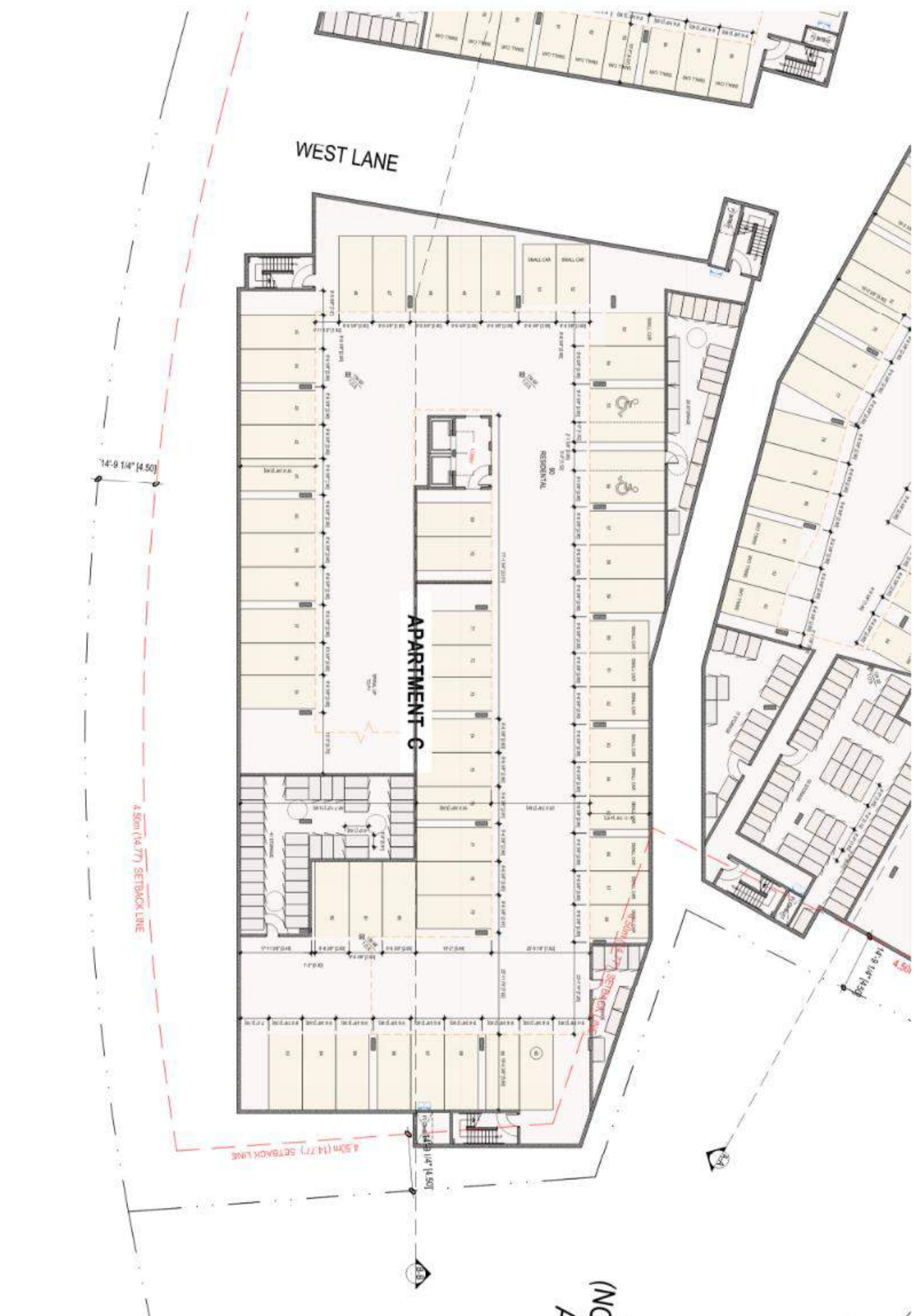
**SCALE:** 3/32" = 1'-0"  
**TITLE DATE:** 20 JUN 2022  
**DATE:** 20 JUN 2022  
**DESIGNED BY:** EBR  
**CHECKED BY:** EBR

**PROJECT NO.:** 2126/2138

**DATE:** 20 JUN 2022  
**SCALE:** A2.04

# APARTMENT C

OWNER HESJEDAL WAY



DATE: 05/20/2023  
**A2.05**

PROJECT NO: **2126/2138**

LEVEL P2 PLAN  
 APARTMENT C

CLIENT: **PCAR group**  
 30 MAY 2023

PARCEL B  
 COWBOOD R.C.

NO. REVISIONS: 0  
 DATE: 05/20/2023

DESIGNED FOR:  
**DP RESUBMISSION #3**  
 29 JUN 2023

NO.	REVISION	DATE
1.	ORIGINATION DRAWING	20 MAY 2023
2.	DP RESUBMISSION #1	26 MAY 2023
3.	DP RESUBMISSION #2	27 JUN 2023
4.	DP RESUBMISSION #3	29 JUN 2023

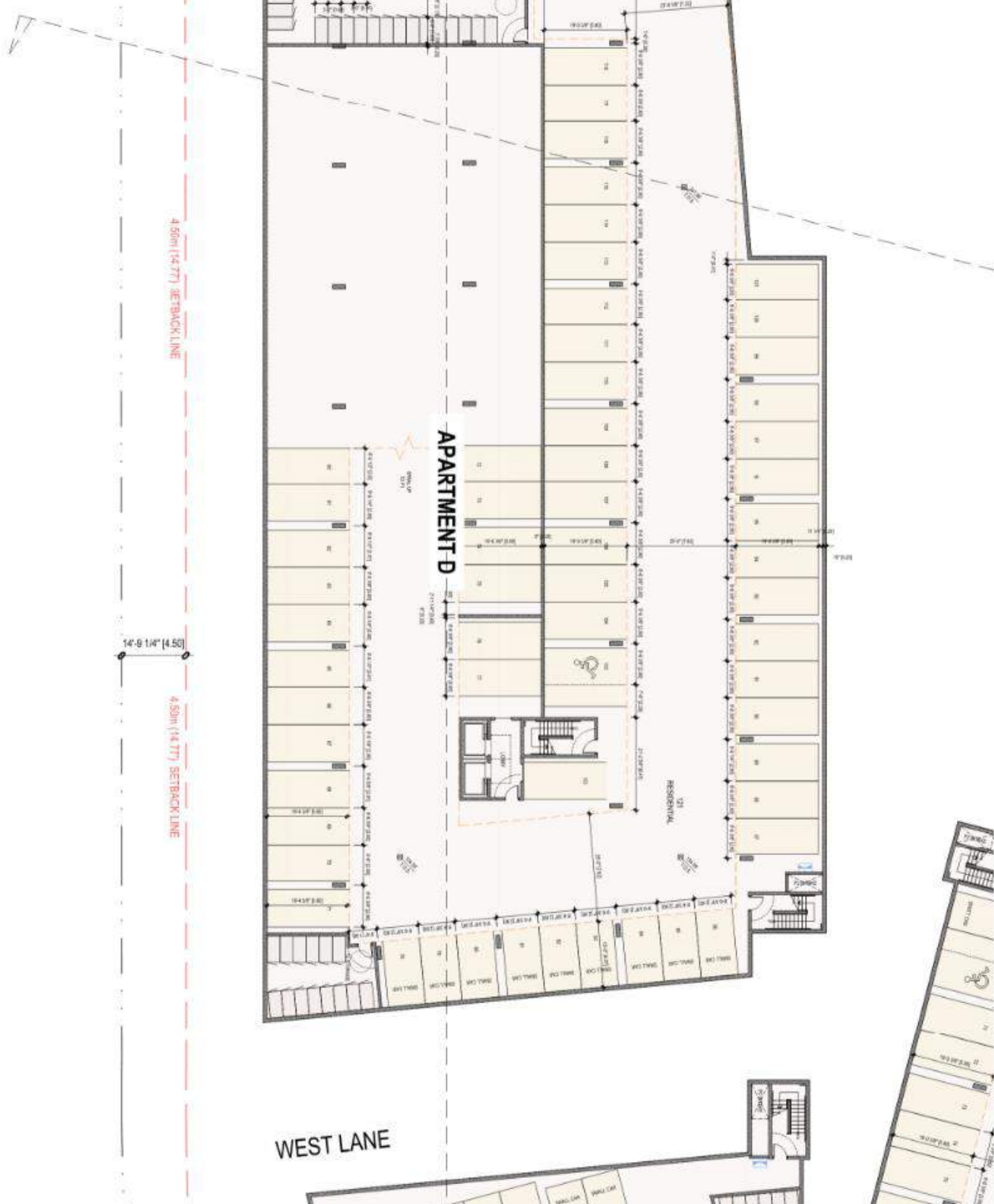
1-604-669-6000  
 1-800-469-5192  
 www.rharchitects.ca

RH Architects Inc.  
 130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1





RYDER HESJEDAL WAY



RH Architects Inc.  
 130 POUND STREET, SUITE 10  
 VANOVER, BC CANADA  
 V6A 1G1

1-844-669-6902  
 1-604-669-5192  
 www.rharchitects.ca

NO.	DESCRIPTION	DATE
1.	CONCEPT PLAN	20 MAY 2022
2.	DP RESUBMISSION #2	06 MAY 2022
3.	DP RESUBMISSION #3	27 JUN 2022
4.	DP RESUBMISSION #4	27 JUN 2022

ISSUED FOR  
**DP RESUBMISSION #3**  
 27 JUN 2022

**NO WARRANTY**  
 RHA ARCHITECTS INC. (RHA) PROVIDES ARCHITECTURAL SERVICES TO CLIENTS AND ASSURES THAT THE SERVICES WILL BE PROVIDED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS OF THE ARCHITECTURE ACT AND THE ARCHITECTS ASSOCIATION OF BC. RHA DOES NOT WARRANT THAT THE SERVICES WILL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECTURE ACT AND THE ARCHITECTS ASSOCIATION OF BC. RHA DOES NOT WARRANT THAT THE SERVICES WILL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECTURE ACT AND THE ARCHITECTS ASSOCIATION OF BC.

CLIENT  
 30 MAY 2022  
**pcarrgroup**  
 1000 WEST 10TH AVENUE  
 VANCOUVER, BC V6H 1G6

PROJECT  
**PARCEL B**  
 COLWOOD B.C.  
 LEVEL P2 PLAN  
 APARTMENT D

DATE FILE: 3/27/2022  
 DATE PLOT: 26 JUN 2023  
 DRAWN BY: EBR  
 CHECKED BY: EBR  
 PROJECT NO: 2126/2138

DATE: 26 JUN 2023  
**A2.06**



RH Architects Inc.  
 230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 5G1

1-800-668-0992  
 604-683-0992  
 www.rharchitects.ca

ISSUE	DATE
1. DESIGN CONCEPT PRELIMINARY	20 JUN 2022
2. PRELIMINARY DESIGN	20 JUN 2022
3. PRELIMINARY DESIGN	20 JUN 2022
4. PRELIMINARY DESIGN	20 JUN 2022

**PROJECT NO.**  
 DP RESUBMISSION #3  
 28 JUNE 2022

**NOTES:**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED.

**CLIENT:**  
 33 WALK 2022  
**PCARRgroup**  
 providing complete real estate services

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.  
**LEVEL P1 PLAN**

**DATE FILE:** 1/27/2024  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P1 SS  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**FILE NO.:** A2.10





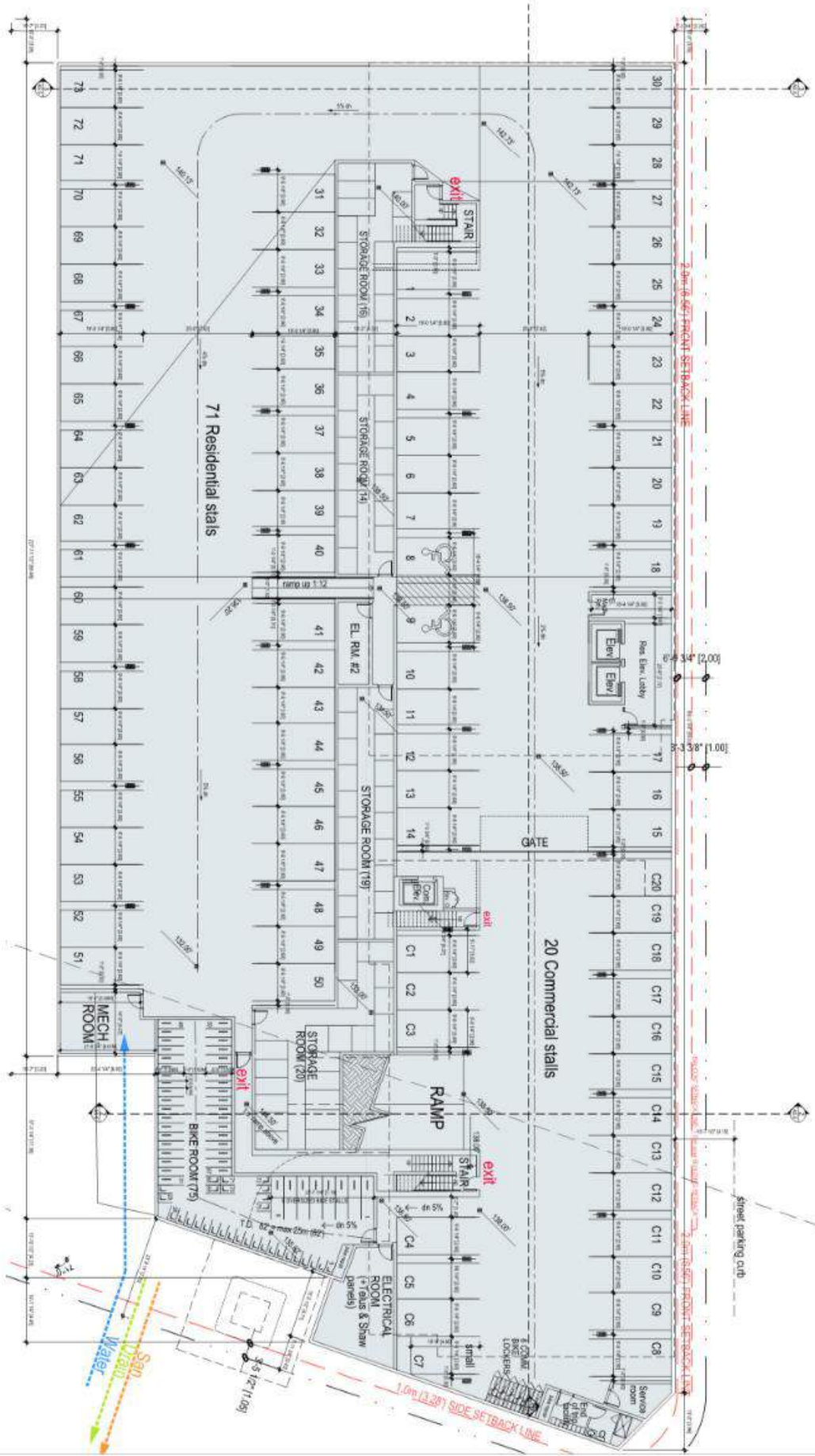
RH Architects Inc.

130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1

1-844-668-6002  
 1-604-688-5182  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 JUN 2022	DRYING/CONCRETE PERMIT
2.	20 JUN 2022	DRYING/CONCRETE PERMIT
3.	20 JUN 2022	DRYING/CONCRETE PERMIT
4.	27 JUN 2022	DRYING/CONCRETE PERMIT

ISSUED FOR  
**DP RESUBMISSION #3**  
 20 JUN 2022



DATE: 20 JUN 2022  
**A2.11**

PROJECT NO: **2126/2138**

LEVEL P2 PLAN  
 MIXED USE BUILDING

CLIENT: **PCARgroup**  
 PROJECT: **PARCEL B**  
 COLWOOD R.C.

DATE: 20 JUN 2022  
 SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN: EBR  
 CHECKED: EBR

NO. REVISION DATE  
 1. 20 JUN 2022  
 2. 20 JUN 2022  
 3. 20 JUN 2022  
 4. 27 JUN 2022

ISSUED FOR  
**DP RESUBMISSION #3**  
 20 JUN 2022

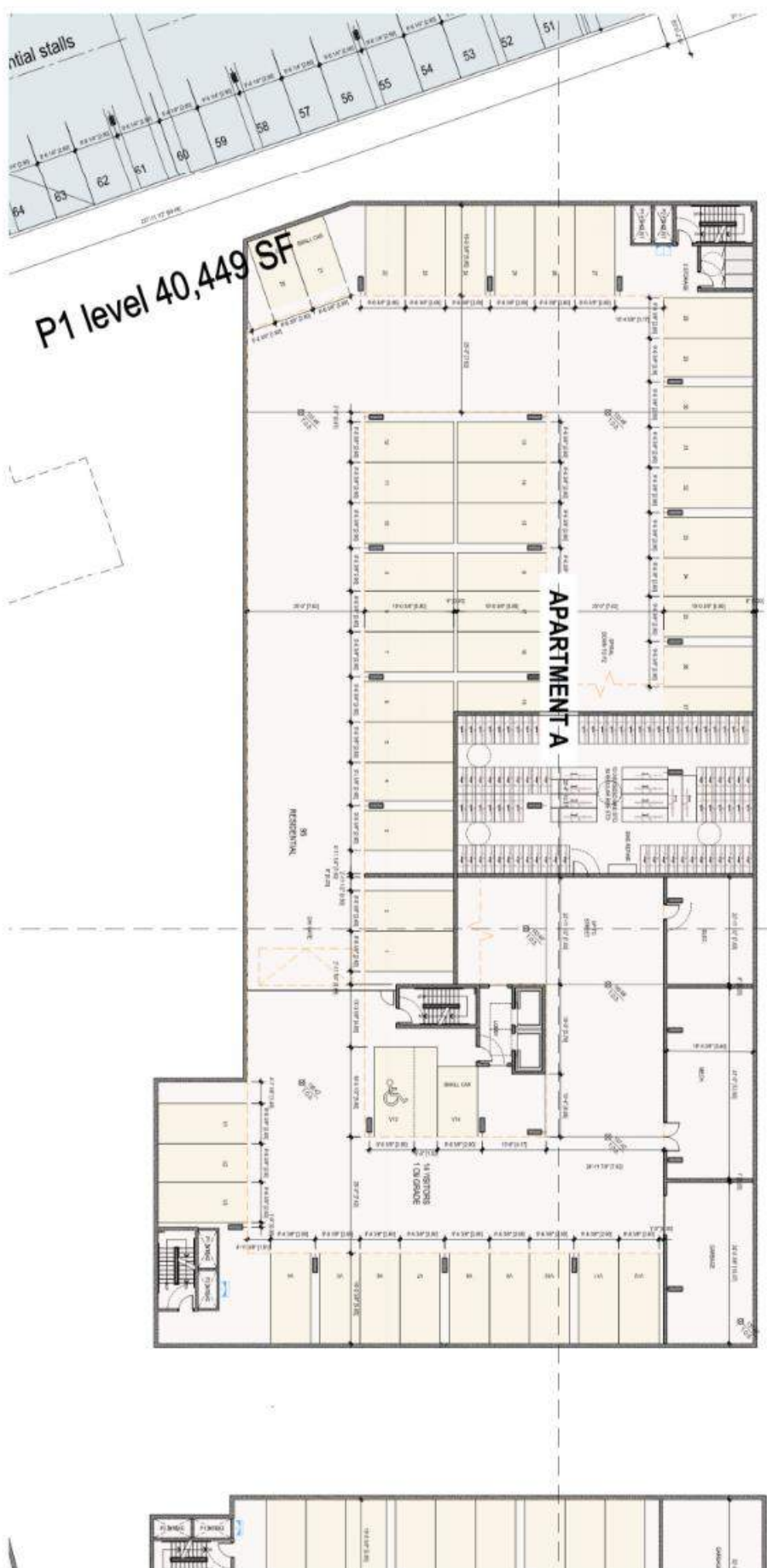
# PRODUCERS WAY



450m (14 77') SETBACK LINE

450m (14 77') SETBACK LINE

14-9 14'-4.50"





**RH Architects Inc.**  
 1300 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1G1  
 1-844-669-6000  
 1-604-689-5192  
 www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	ORIGINATOR'S DRAWING
2.	20 JUN 2022	REVISION #1
3.	20 JUN 2022	OR RESUBMISSION #2
4.	27 JUN 2023	OR RESUBMISSION #3

**CLIENT**  
 PARCARGROUP  
 2126/2138

**PROJECT**  
 PARCEL B  
 COWWOOD B.C.

**DATE**  
 30 JUN 2023

**ISSUED FOR**  
 DP RESUBMISSION #3  
 27 JUN 2023

**SCALE**  
 3/32" = 1'-0"

**DATE**  
 20 JUN 2023

**DESIGNED BY**  
 EBR

**PROJECT NO.**  
 2126/2138

**DATE**  
 A2.13

**NO. REVISION**

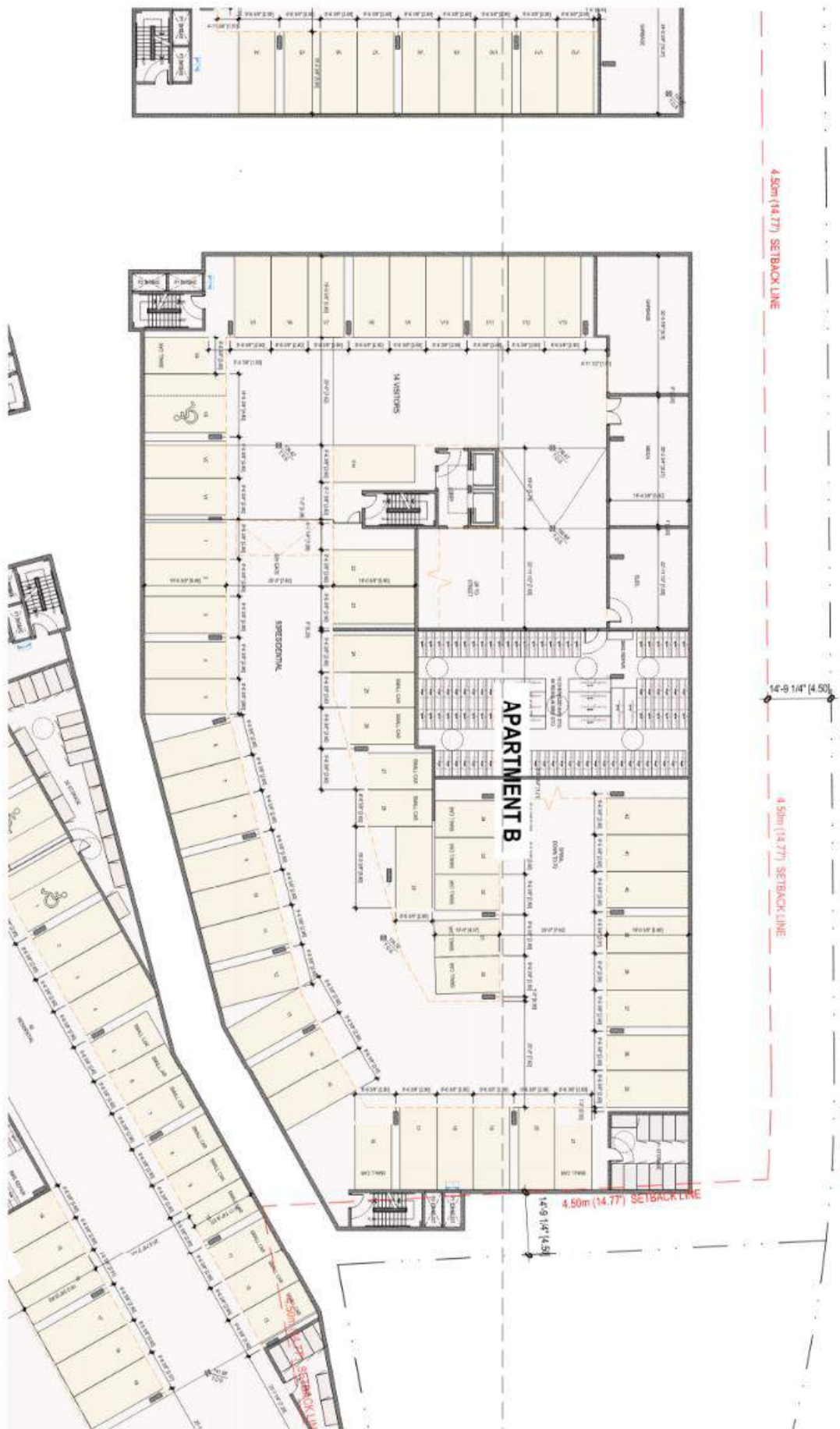
**DATE**

**DESCRIPTION**

**APPROVED BY**



# PRODUCERS WAY



**RHA**  
RH Architects Inc.  
330 Poydras Street, Suite 10  
New Orleans, LA 70112  
www.rharchitects.com

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	01 MAY 2022	PRELIMINARY PERMIT
2.	05 MAY 2022	DP RESUBMISSION #2
3.	07 MAY 2022	DP RESUBMISSION #3
4.	22 JUN 2023	DP RESUBMISSION #4

**CLIENT**      30 MAY 2023

**PROJECT**      **PARCEL B**

**LEVEL P1 PLAN**

**APARTMENT B**

**SCALE**      3/32" = 1'-0"

**DATE**      22 JUN 2023

**PROJECT NO.**      2126/2138

**DATE**      A2.14

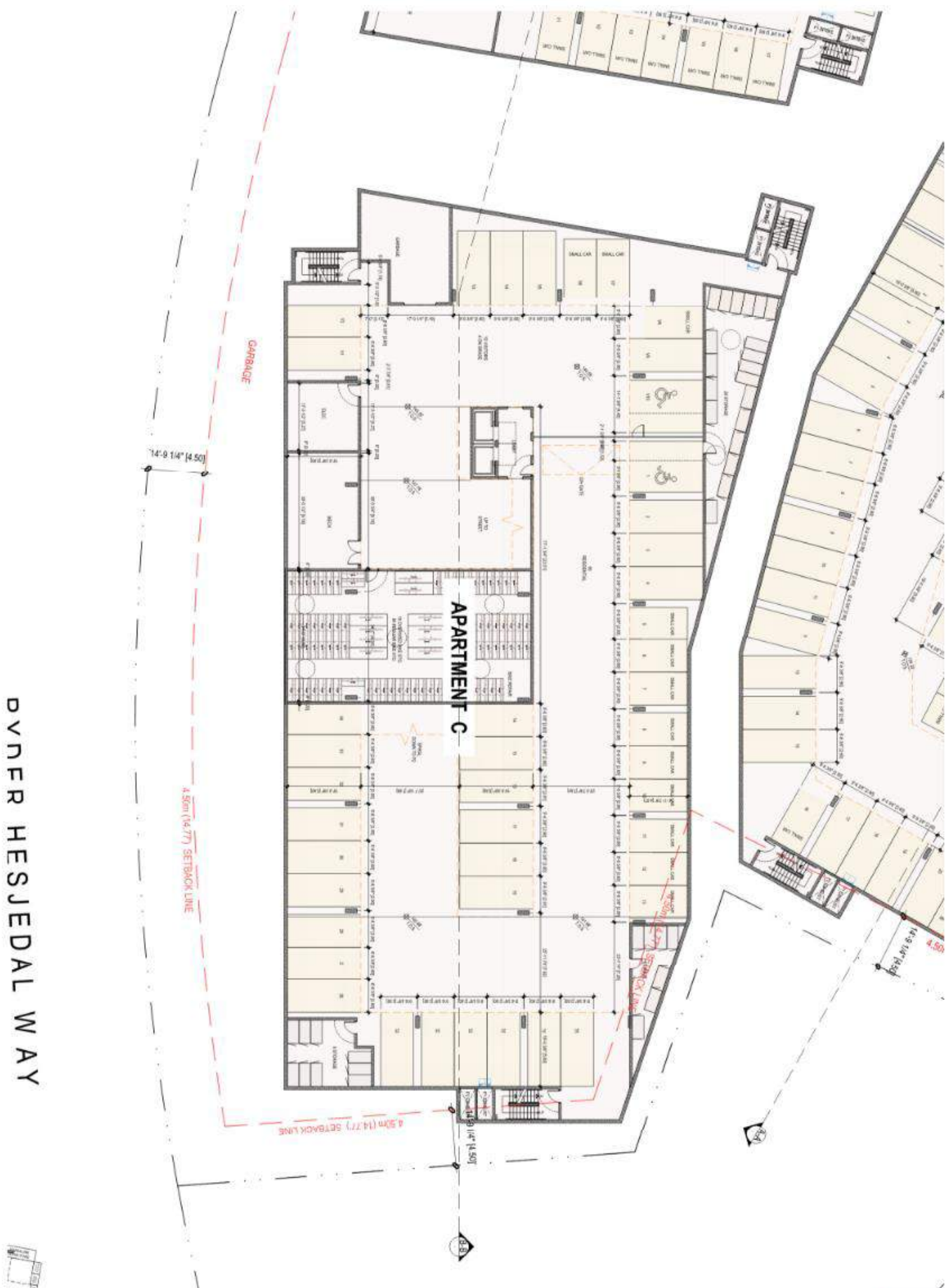
**PERMITS**

1. PRELIMINARY PERMIT      01 MAY 2022

2. DP RESUBMISSION #2      05 MAY 2022

3. DP RESUBMISSION #3      07 MAY 2022

4. DP RESUBMISSION #4      22 JUN 2023



DYNER HESJEDAL WAY



**RH Architects Inc.**  
 130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1G1  
 1-800-669-6902  
 1-604-689-5192  
 www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 MAY 2022	ORIGINATION/ISSUE
2.	20 MAY 2022	DP RESUBMISSION #1
3.	20 MAY 2022	DP RESUBMISSION #2
4.	27 JUN 2023	DP RESUBMISSION #3

**ISSUED FOR**  
**DP RESUBMISSION #3**  
 27 JUN 2023

**CLIENT**  
 30 MAY 2023

**PROJECT**  
**PARCEL B**  
 COWWOOD R.C.

**DESIGNER**  
**LEVEL P1 PLAN**  
**APARTMENT C**

**DATE:** 2126/2138  
**NO.:** A2.15





RH Architects Inc.

130 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

1-800-469-8000  
1-604-689-5192

www.rharchitects.ca

REVISION	DATE
1. DEVELOPMENT PERMIT	30 MAY 2022
2. DP RESUBMISSION #2	26 MAY 2022
3. DP RESUBMISSION #3	06 MAY 2022
4. DP RESUBMISSION #3	29 JUN 2023

ISSUED FOR  
DP RESUBMISSION #3  
29 JUN 2023

NO WORKING  
DATE  
THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE ARCHITECT'S RESPONSIBILITY IS TO DESIGN AND CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE CLIENT'S REQUIREMENTS AND THE APPLICABLE REGULATIONS AND STANDARDS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DELAYS OR COST OVERRUNS CAUSED BY THE CLIENT OR ANY OTHER PARTY.

30 MAY 2023

CLIENT  
PCAR group  
12001 120th Street, Surrey, BC V4N 1A1

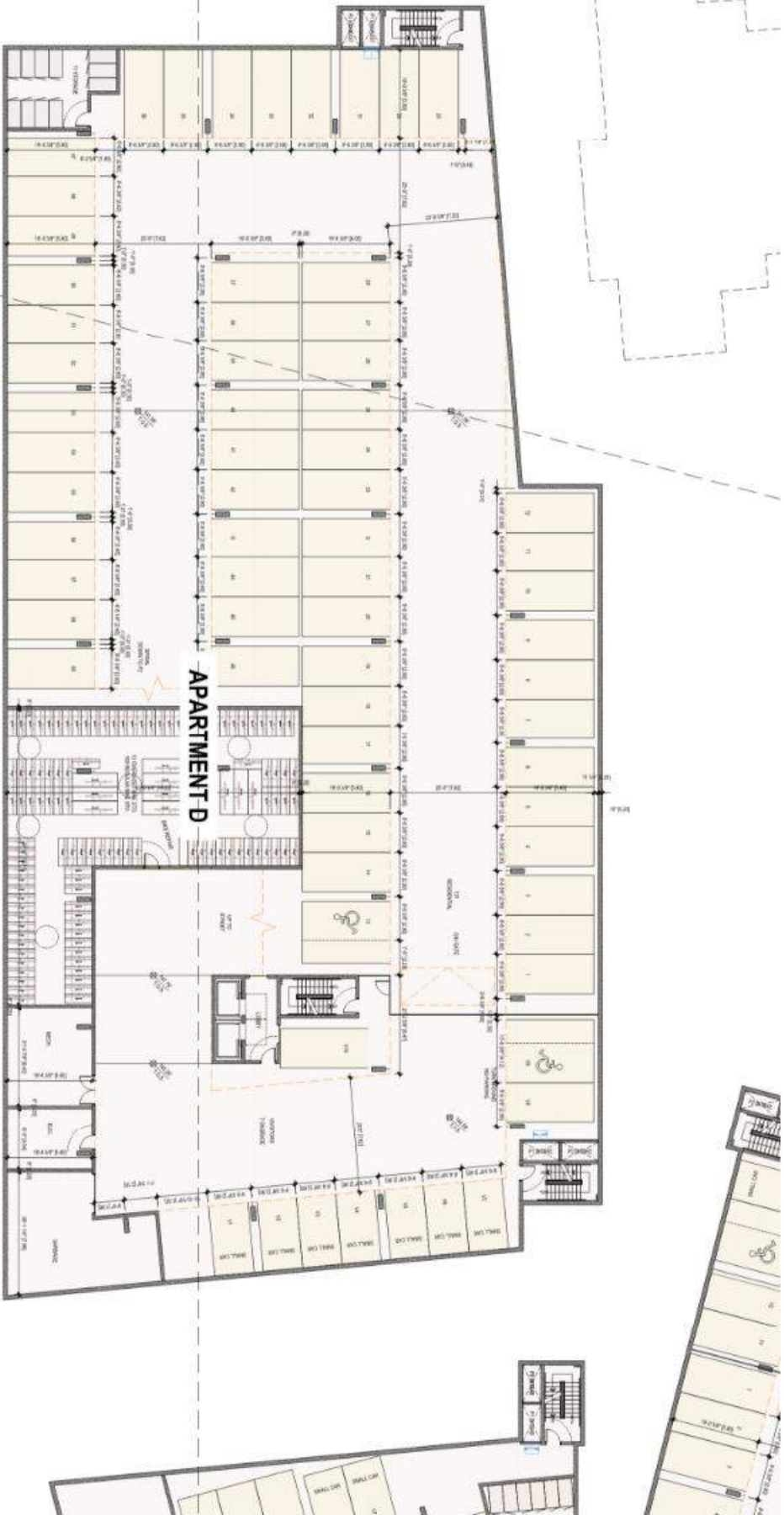
PROJECT  
PARCEL B  
COWMOOD R.C.

DESIGNED BY  
LEVEL P4 PLAN  
APARTMENT D

DRAWN BY  
SCALE: 3/32" = 1'-0"  
DATE: 29 JUN 2023  
CHECKED BY: EBR  
PROJECT NO.: 2126/2138

DATE: 29 JUN 2023  
PROJECT NO.: 2126/2138  
DRAWING NO.: A2.16

RYDER HESJEDAL WAY



4.50m (14'7") SETBACK LINE

4.50m (14'7") SETBACK LINE

14'-0 1/4" [4.50]





RH Architects Inc.

130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1

1-844-668-6000  
 1-604-688-5182  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 MAY 2022	ORIENTATION REVIEW
2.	20 MAY 2022	ORIENTATION REVIEW
3.	20 MAY 2022	ORIENTATION REVIEW
4.	27 JUNE 2023	ORIENTATION REVIEW

ISSUED FOR  
**DP RESUBMISSION #3**  
 27 JUNE 2023

**NO WORKING**

THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THE USER OF THIS DRAWING AGREES TO HOLD RH ARCHITECTS INC. HARMLESS FROM AND AGAINST ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, IN CONNECTION WITH THE USE OF THIS DRAWING FOR ANY PURPOSES OTHER THAN THAT AUTHORIZED BY RH ARCHITECTS INC.

**APPROVED FOR SUBMITTAL**

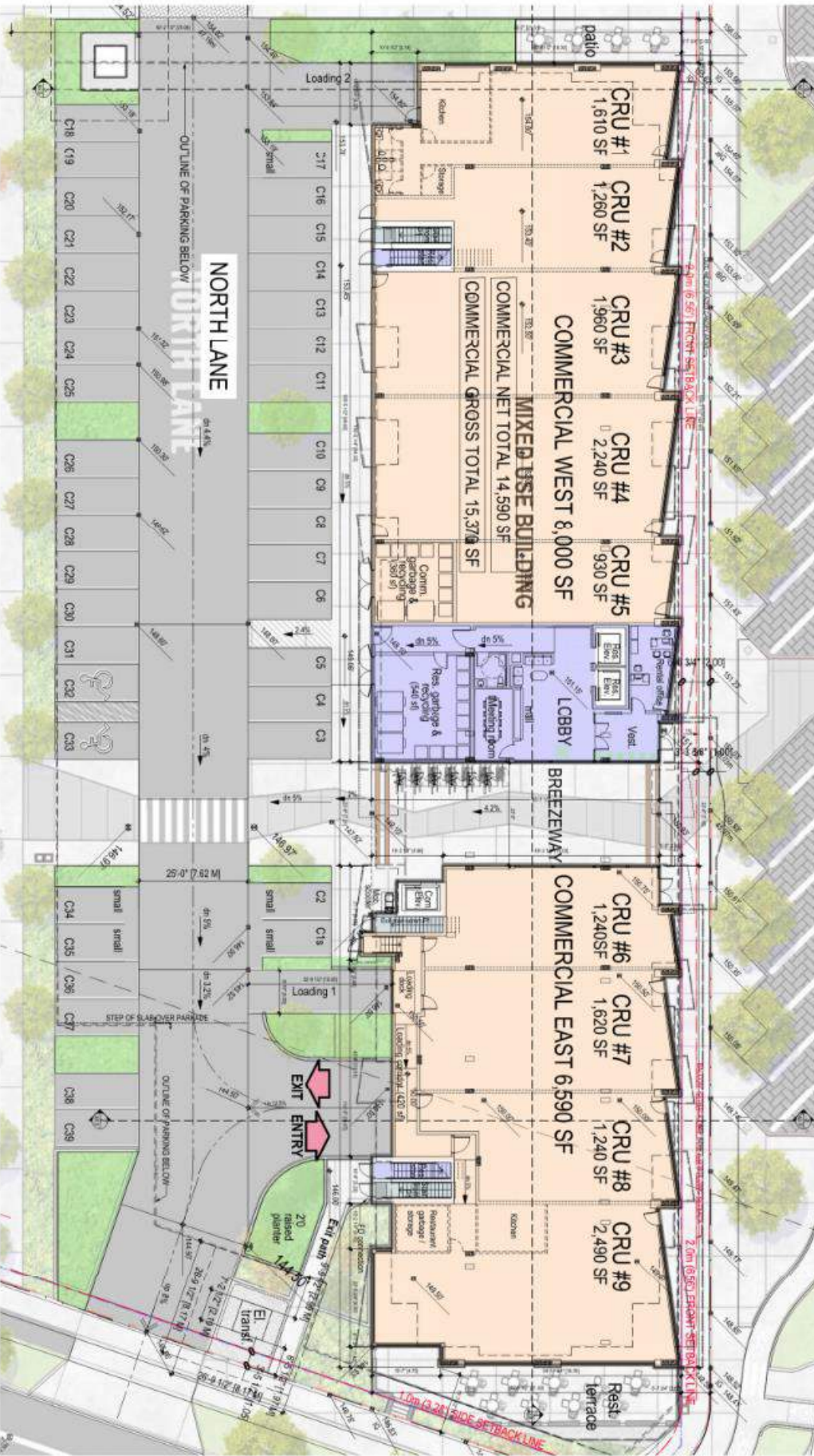
CLIENT: **parkgroup**  
 30 MAY 2023

PROJECT: **PARCEL B**  
 PARKWOOD B.C.  
 LEVEL 1 PLAN

DATE FILE: 1/27/2023  
 SCALE: 1/32" = 1'-0"  
 DRAWN BY: P. J. VAN 2023  
 CHECKED BY: EBR  
 PROJECT NO.: 2126/2138

DATE: 27 JUNE 2023  
**A3.10**





RH Architects Inc.

330 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 3E1  
 1-604-688-6000  
 1-604-688-5182  
 www.rharchitects.ca

NO.	REVISION	DATE
1.	CONCEPTUAL REVIEW	20 JUN 2022
2.	DP RESUBMISSION #3	20 JUN 2022
3.	DP RESUBMISSION #2	09 MAY 2022
4.	DP RESUBMISSION #1	22 JUN 2021

ISSUED FOR  
 DP RESUBMISSION #3  
 20 JUN 2022

NO VARIATION  
 DATE  
 CLIENT  
 PROJECT  
 PARCEL B  
 COLWOOD R.C.  
 30 JUN 2022

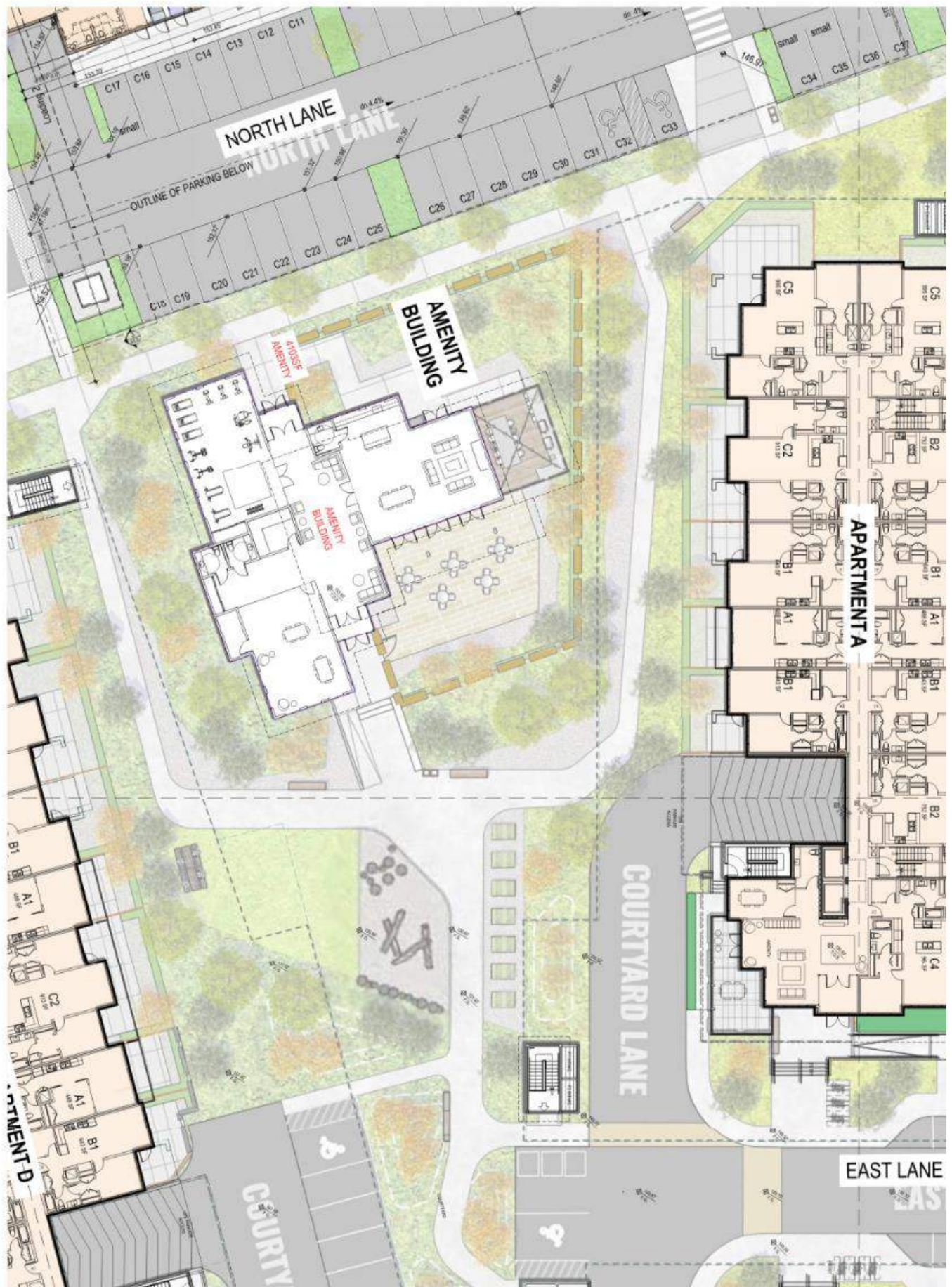
PEARCGROUP  
 30 JUN 2022

LEVEL 1 PLAN  
 MIXED USE BUILDING

DATE: 31/07/2022  
 SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN BY: EBR  
 PROJECT NO.: 2126/2138

DATE: 31/07/2022  
 A3.11





RH Architects Inc.

320 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1  
 1-844-888-6802  
 1-604-688-5182  
 www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	30 MAY 2022	PRELIMINARY REVIEW
2.	05 MAY 2022	DP RESUBMISSION #1
3.	05 MAY 2022	DP RESUBMISSION #2
4.	27 JUNE 2023	DP RESUBMISSION #3

ISSUED FOR  
**DP RESUBMISSION #3**  
 27 JUNE 2023

**NO WARRANTY**  
 RHA ARCHITECTS INC. AND ITS ARCHITECTS AND DESIGNERS ASSUME NO LIABILITY FOR THE CONSTRUCTION OF THE PROJECT OR THE PERFORMANCE OF THE PROJECT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL SERVICES FROM OTHER PROFESSIONALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL SERVICES FROM OTHER PROFESSIONALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL SERVICES FROM OTHER PROFESSIONALS.

**CLIENT:**  
 PARCERgroup  
 30 MAY 2023

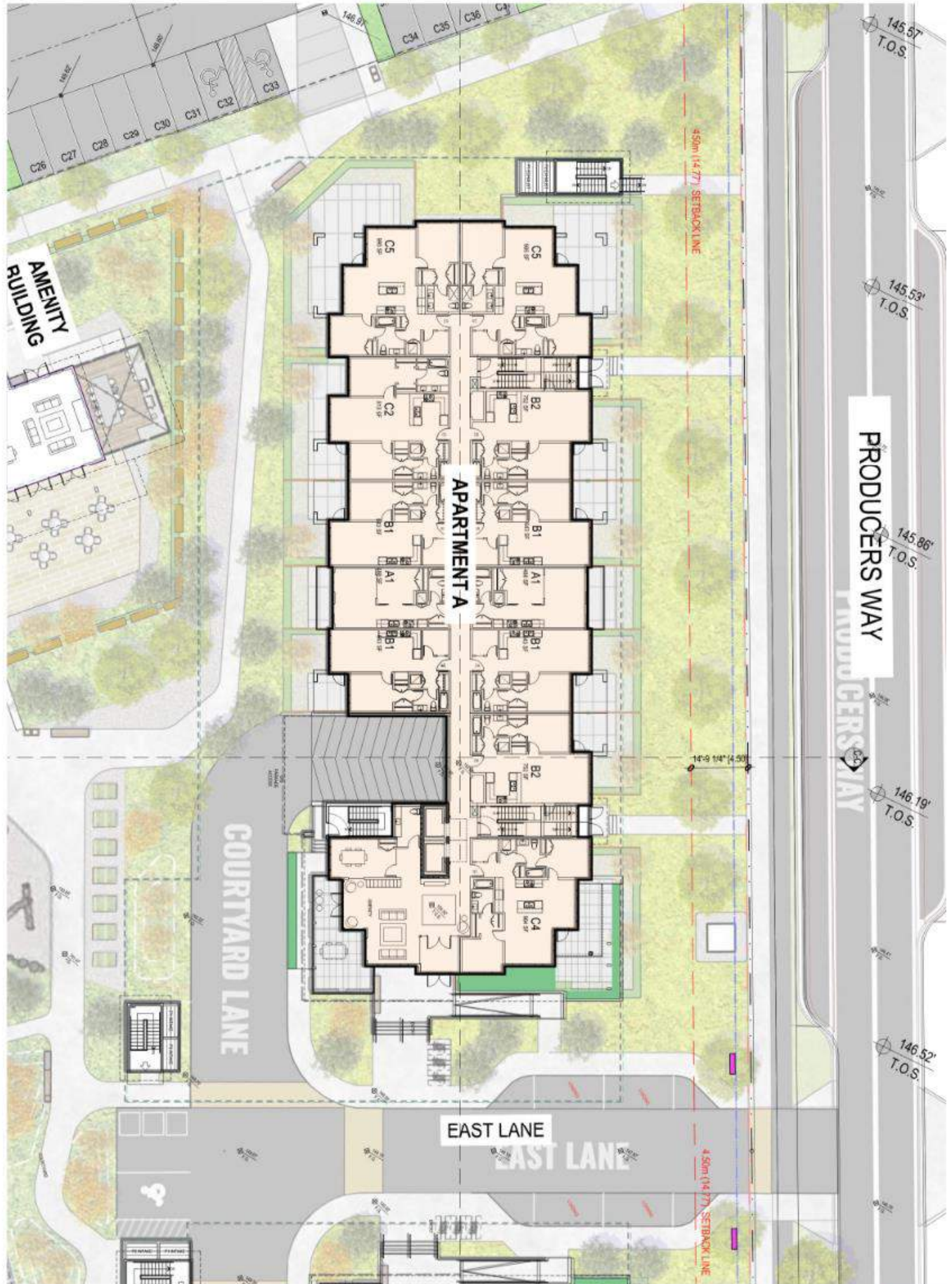
**PROJECT:**  
 PARCEL B  
 COWOOD R.C.

**DESIGNER:**  
 LEVEL 3 PLAN  
 AMENITY BUILDING

**DATE FILE:** 3/27/2023  
**SCALE:** 1/8" = 1'-0"  
**DATE PLOTTED:** 27 JUN 2023  
**ORIGINATOR:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 27 JUN 2023  
**NO.:** A3.12





PRODUCERS WAY

PRODUCERS WAY

EAST LANE

EAST LANE

AMENITY BUILDING

COURTYARD LANE

145.57' T.O.S.

145.53' T.O.S.

145.86' T.O.S.

146.19' T.O.S.

146.52' T.O.S.

450m (14.77') SETBACK LINE

450m (14.77') SETBACK LINE



RH Architects Inc.

330 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 3E1  
 1-844-888-8800  
 1-604-688-5182  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 MAY 2022	ORIENTATION REVIEW
2.	26 MAY 2022	DP RESUBMISSION #2
3.	06 JUN 2022	DP RESUBMISSION #3
4.	27 JUN 2023	DP RESUBMISSION #4

ISSUED FOR  
 DP RESUBMISSION #3  
 27 JUN 2023

**NO WARRANTY**  
 While the drawings are prepared in accordance with the professional standards of the architectural profession, the architect does not warrant that the drawings are free from errors or omissions, and the architect is not responsible for any consequences arising from the use of the drawings for any purpose other than that for which they were prepared. The architect is not responsible for any consequences arising from the use of the drawings for any purpose other than that for which they were prepared.

**CLIENT**  
 30 MAY 2023  
 PCRGROUP  
 1000-1000-1000

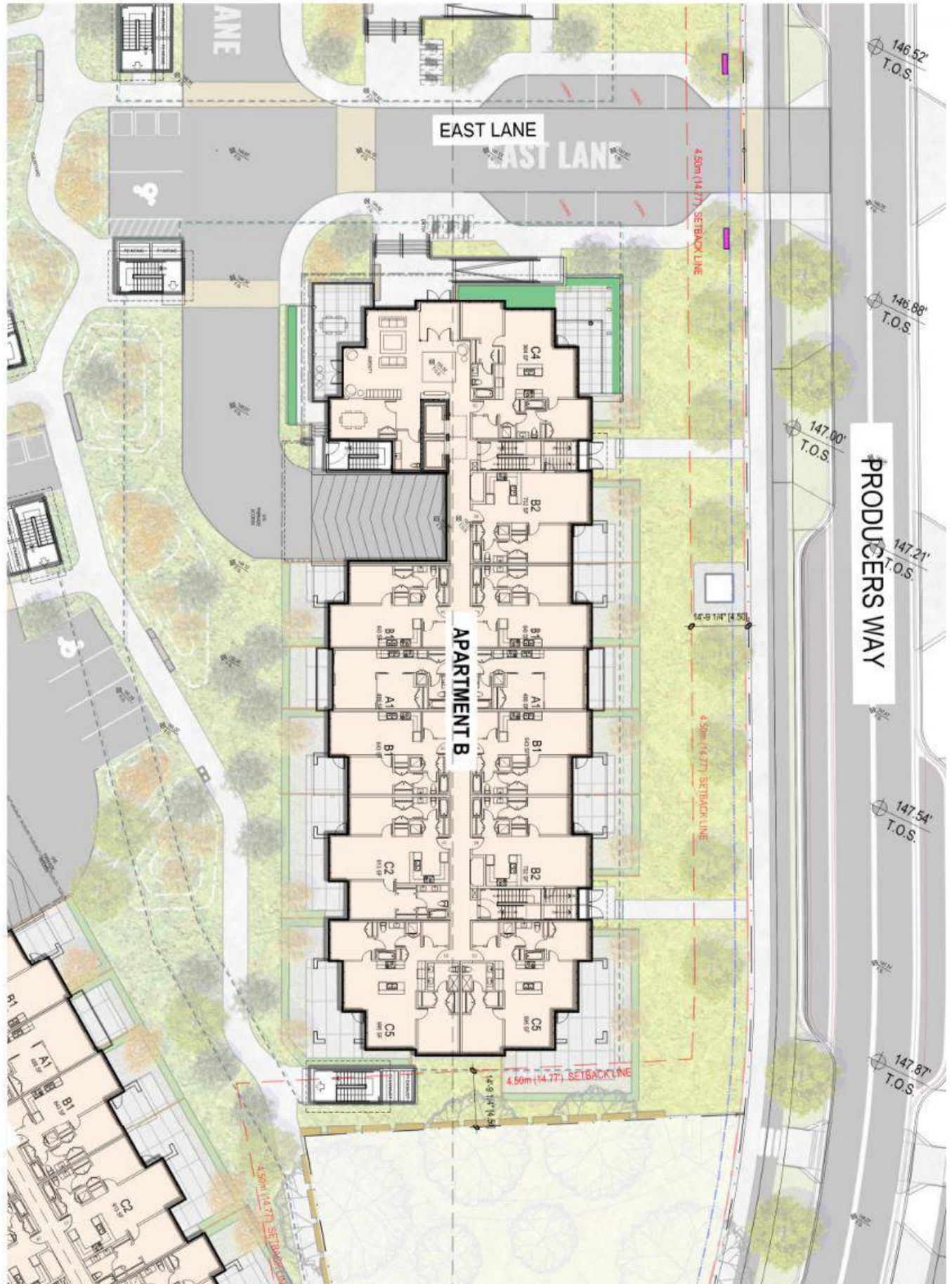
**PROJECT**  
 PARCEL B  
 CONWOOD R.C.  
 LEVEL 1 PLAN  
 APARTMENT A

**DATE:** 31.27' x 1.00'  
**SCALE:** 1/8" = 1'-0"  
**DATE:** 27 JUN 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 31.27' x 1.00'  
**SCALE:** 1/8" = 1'-0"  
**DATE:** 27 JUN 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 31.27' x 1.00'  
**SCALE:** 1/8" = 1'-0"  
**DATE:** 27 JUN 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138





**RHA**  
RH Architects Inc.  
330 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1E1  
1-604-688-6000  
1-604-688-5182  
www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	PRELIMINARY PERMIT
2.	20 JUN 2022	DP RESUBMISSION #3
3.	22 JUN 2022	DP RESUBMISSION #3
4.	22 JUN 2022	DP RESUBMISSION #3

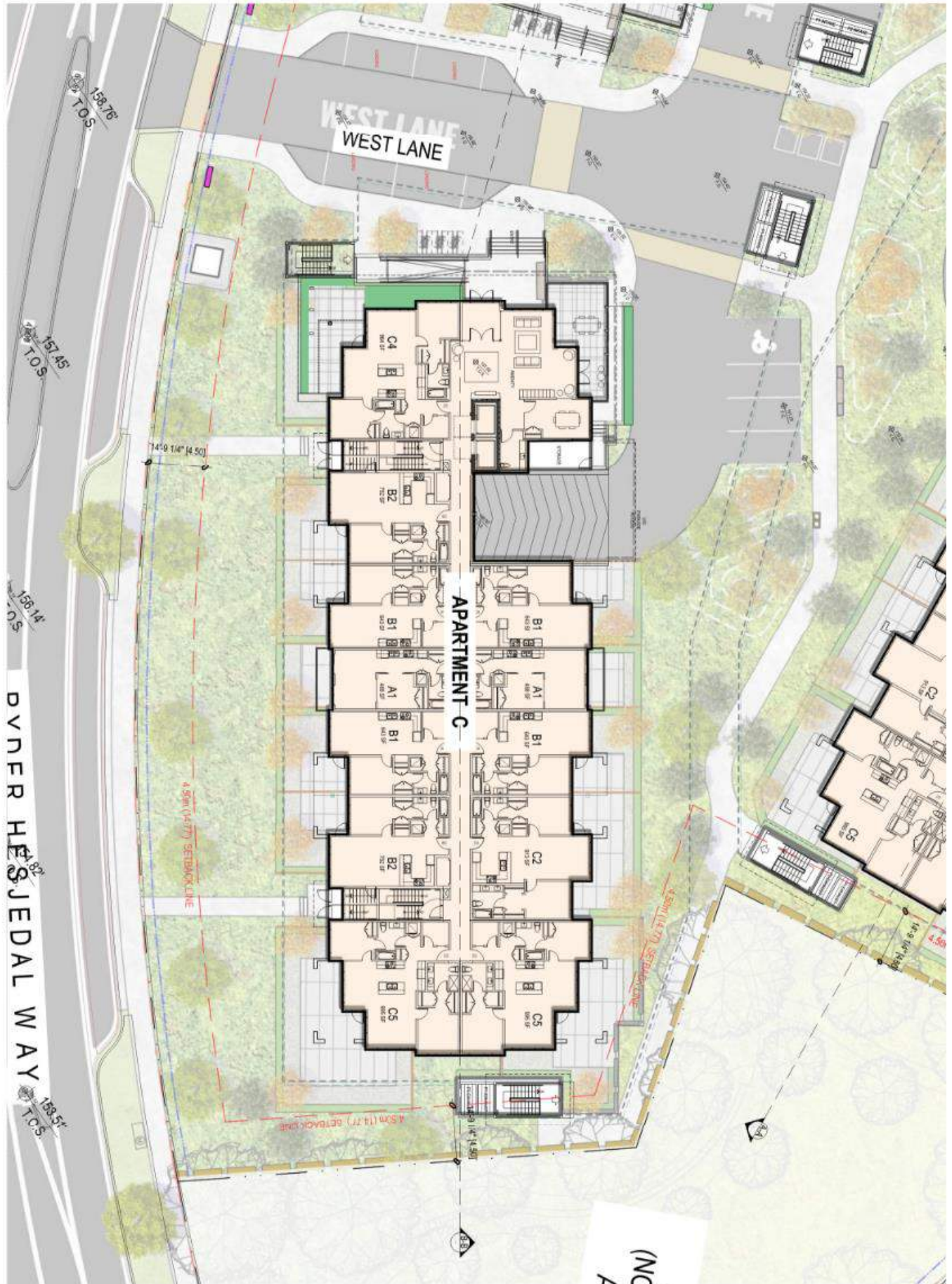
**CLIENT**  
30 MAY 2022  
pcarigroup  
2126/2138  
A3.14

**PROJECT**  
PARCEL B  
COWOOD R.C.  
LEVEL 1 PLAN  
APARTMENT B

**SCALE**  
3/32" = 1'-0"  
DATE: 20 JUN 2022  
DRAWN: PS  
CHECKED: EBR  
PROJECT NO.: 2126/2138  
DATE: 20 JUN 2022  
A3.14

**NOTES**  
1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.  
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
6. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
7. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
8. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
9. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
10. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.





**RHA**  
RH Architects Inc.  
330 Pined Street, Unit 10  
Vancouver, BC Canada  
V6A 1E1  
1-604-688-6000  
1-604-688-5182  
www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 MAY 2022	ORIENTATION REVIEW
2.	20 MAY 2022	DP RESUBMISSION #3
3.	20 MAY 2022	DP RESUBMISSION #3
4.	27 JUN 2023	DP RESUBMISSION #3

**CLIENT:** 30 MAY 2023

**PROJECT:** PARCEL B  
COWOOD R.C.

**LEVEL 1 PLAN**  
APARTMENT C

**DATE:** 2126/2138

**PROJECT NO.:** 2126/2138

**PCARgroup**  
ARCHITECTURAL TEAM

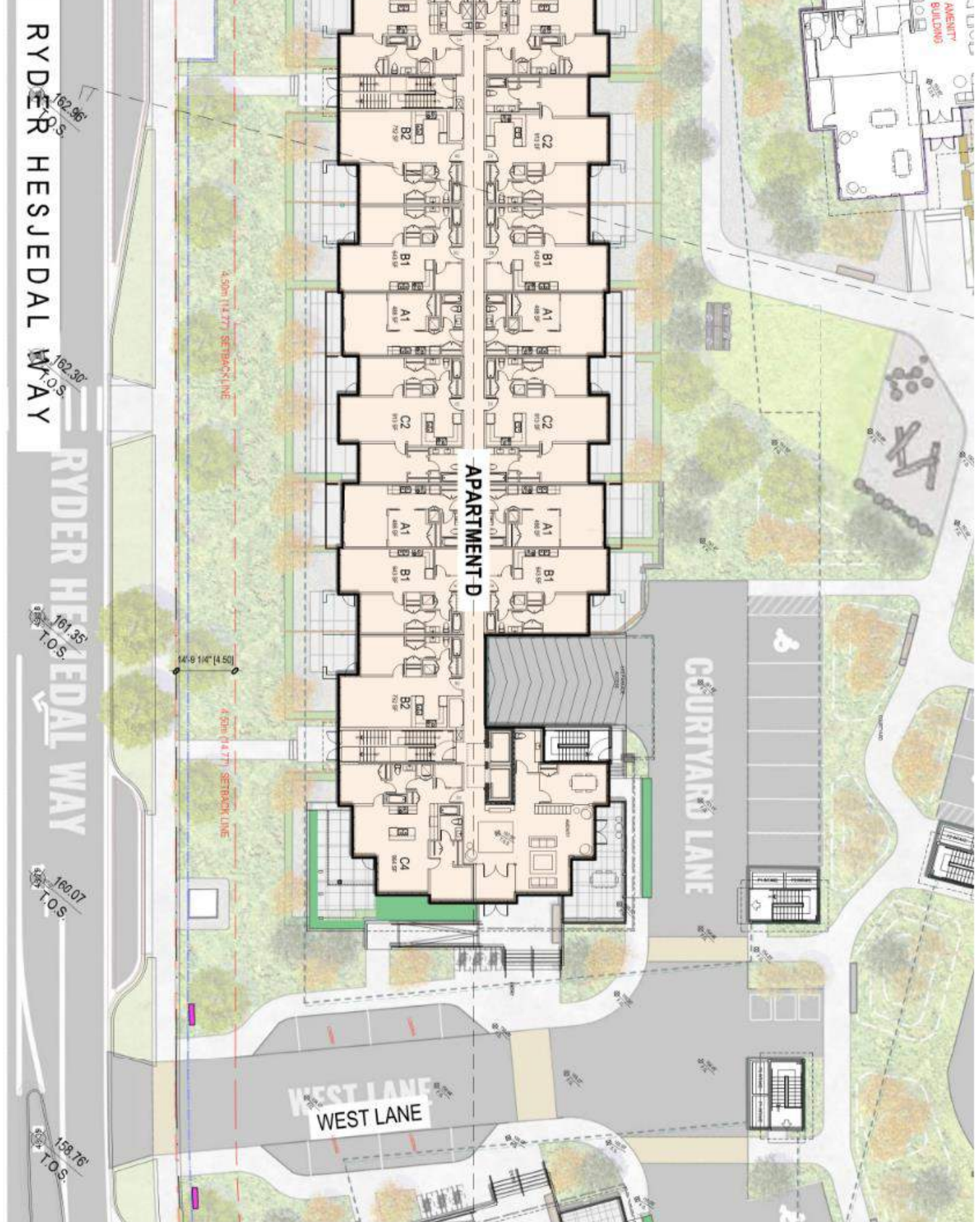
**DATE:** 30 MAY 2023

**PROJECT:** PARCEL B  
COWOOD R.C.

**LEVEL 1 PLAN**  
APARTMENT C

**DATE:** 2126/2138





**RH Architects Inc.**  
 1300 Poirer Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1  
 1-844-669-6970  
 1-604-689-5192  
 www.rharchitects.ca

REVISION	DATE
1. DEVELOPMENT REVIEW	20 MAY 2023
2. DEVELOPMENT REVIEW	20 MAY 2023
3. DEVELOPMENT REVIEW #2	26 MAY 2023
4. DEVELOPMENT REVIEW #3	27 JUN 2023

**DESIGNED FOR**  
**DP RESUBMISSION #3**  
 29 JUNE 2023

**NO WARRANTY**

**DATE**

**ARCHITECTURAL SEAL**

**CLIENT**

**DATE**

**PROJECT**

**PARCEL B**

**CONTRACT NO. 1**

**LEVEL 1 PLAN**

**APARTMENT D**

**DATE:** 2126/2138

**DATE:** A3.16





**RH Architects Inc.**  
 130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V5A 1S1  
 1-604-690-8903  
 1-604-690-1092  
 www.rharchitects.com

PROJECT	DATE
1. CONCEPT DESIGN	20 MAR 2023
2. PRELIMINARY DESIGN	20 MAR 2023
3. PERMITTING DESIGN	20 MAR 2023
4. PERMITTING DESIGN	22 MAR 2023

**REVISION #08**  
**DP RESUBMISSION #3**  
 20 MAR 2023

**NOTES:**  
 1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DRAWING IS PROVIDED TO YOU FOR YOUR INFORMATION AND USE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE USER OF THIS DRAWING IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THIS DRAWING IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THIS DRAWING IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

**CLIENT:**  
 30 MAR 2023  
**pcaregroup**  
 Pacific Capital Real Estate Group

**PROJECT:**  
 PARCEL B  
 COLUMBIA, B.C.  
 COMMERCIAL  
 LEVEL 2 PLAN

**DATE:** 17 SEP 2023  
**SCALE:** 1/32" = 1'-0"  
**PERFORMED BY:** PS/LS  
**DATE:** 17 SEP 2023  
**CHECKED BY:** EBR  
**DATE:** 17 SEP 2023  
**PROJECT NO.:** 2126/2138

**DATE:** 17 SEP 2023  
**SCALE:** A3.20



RH Architects Inc.

130 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1S1

1-800-690-0903  
1-604-690-1092

www.rharchitects.com

POSTED:	DRAWN:
1. PRELIMINARY DESIGN	30 MAR 2023
2. PERMIT SUBMISSION #1	30 MAR 2023
3. PERMIT SUBMISSION #2	06 MAY 2023
4. PERMIT SUBMISSION #3	22 MAY 2023

**DESIGN NAME**  
DP RESUBMISSION #3  
29 MAR 2023

**NOTES:**

1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.
2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:** 30 MAR 2023  
**pcaregroup**  
pacific capital real estate group

**PROJECT:**  
PARCEL B  
CELEWOOD, B.C.

**CONTRACT NO.:**  
LEVEL 2 PLAN  
MIXED USE BUILDING

**DATE P.L.:** 30 SEP 2023  
**SCALE:** 3/32" = 1'-0"  
**PERMIT NO.:** PS 7/58  
**ISSUE DATE:** 06 MAY 2023  
**CHANGED:** EBR  
**PROJECT NO.:** 2126/2138

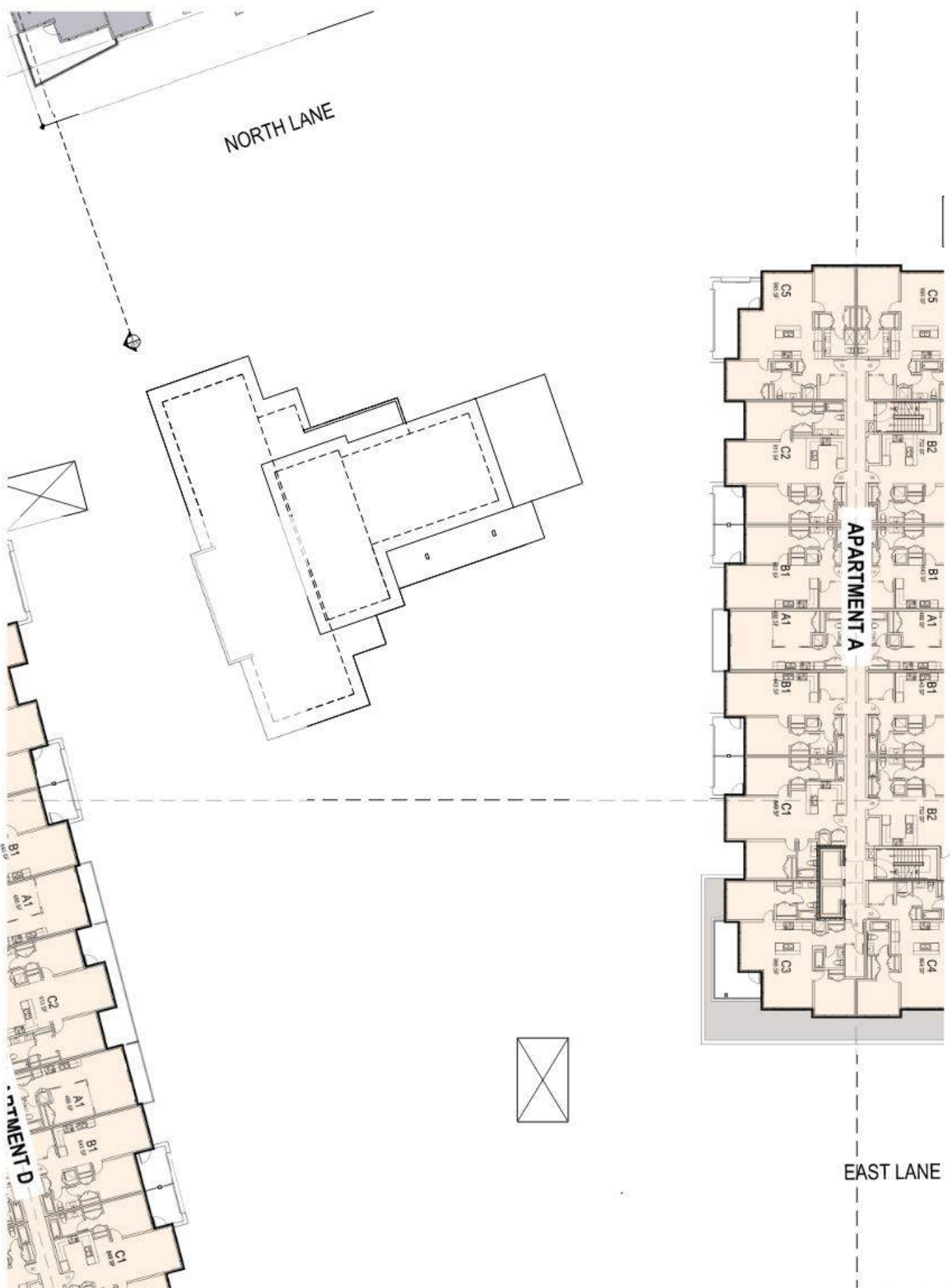
**DATE:**  
**A3.21**



ROYAL COMMONS ROAD

NORTH LANE





EAST LANE

NORTH LANE



RH Architects Inc.  
 230 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.683.0001  
 Fax: 604.683.0052  
 www.rharchitects.ca

DESIGN	DATE
1. CONCEPT DESIGN PERMIT	20 JUN 2022
2. DP EXHIBITION #1 & 2	20 JUN 2022
3. DP EXHIBITION #3	20 JUN 2022
4. DP EXHIBITION #4 & 5	20 JUN 2022

**PLANNED FOR**  
 DP RESUBMISSION #3  
 28 JUNE 2023

NOTIFICATION	DATE
1. PRELIMINARY PERMIT	20 JUN 2022
2. DP EXHIBITION #1 & 2	20 JUN 2022
3. DP EXHIBITION #3	20 JUN 2022
4. DP EXHIBITION #4 & 5	20 JUN 2022

CLIENT  
**PCARRgroup**  
 providing complete real estate services

PROJECT  
**PARCEL B**  
 COLWOOD, B.C.

DESIGN  
**LEVEL 2 PLAN**  
 AMENITY BUILDING

DATE FILED: 31 MAR 2023  
 SCALE: 3/32" = 1'-0"  
 PERMITTED BY: 22 JUNE 2023  
 DRAWING NO: EBB

PROJECT No: 2126/2138  
 DATE: 21 JUN 2023  
**A3.22**

# PRODUCERS WAY



**RH Architects Inc.**  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 1-800-668-0901  
 604-683-0951  
 www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. DESIGN DEVELOPMENT
20 JUN 2022	2. PRELIMINARY PERMIT
20 JUN 2022	3. PRELIMINARY PERMIT
20 JUN 2022	4. PRELIMINARY PERMIT

**PROJEC**  
 DP RESUBMISSION #3  
 28 JUN 2023

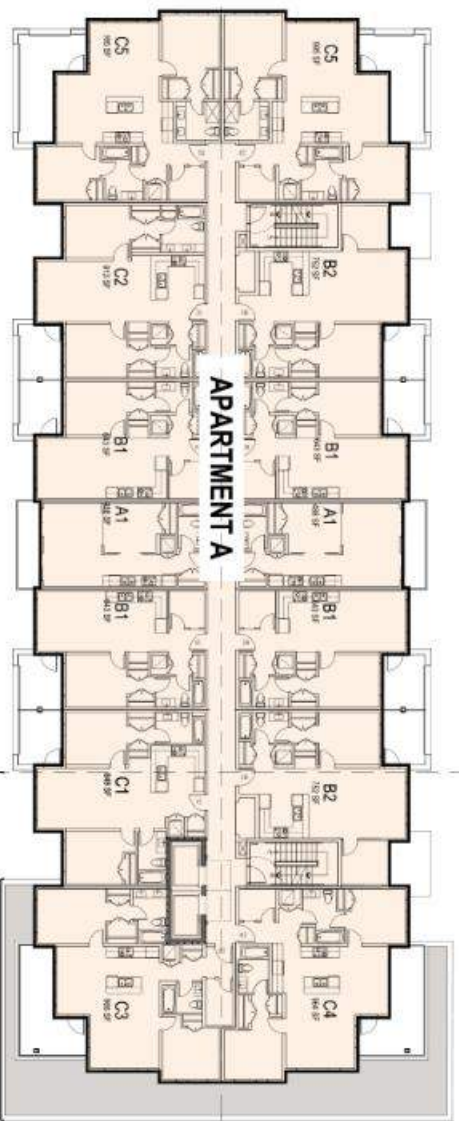
**DATE**  
 28 JUN 2023  
 28 JUN 2023  
 28 JUN 2023  
 28 JUN 2023

**CLIENT**  
 PCARRgroup  
 1212 Burrard Street  
 Vancouver, BC Canada  
 V6Z 1Y6

**PROJECT**  
 PARCEL B  
 COLWOOD, B.C.  
 1212 Burrard Street  
 Vancouver, BC Canada  
 V6Z 1Y6

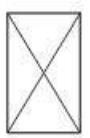
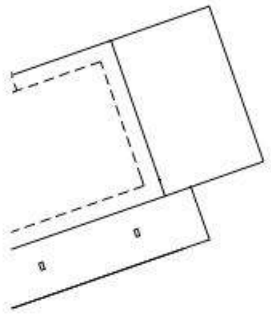
**DATE FILE**  
 31 MAR 2023  
**SCALE**  
 1/8" = 1'-0"  
**REVISION**  
 28 JUN 2023  
**DESIGNED BY**  
 EBR  
**PROJECT NO.**  
 2126/2138  
**DATE**  
 28 JUN 2023  
**SCALE**  
 1/8" = 1'-0"  
**REVISION**  
 28 JUN 2023

## EAST LANE



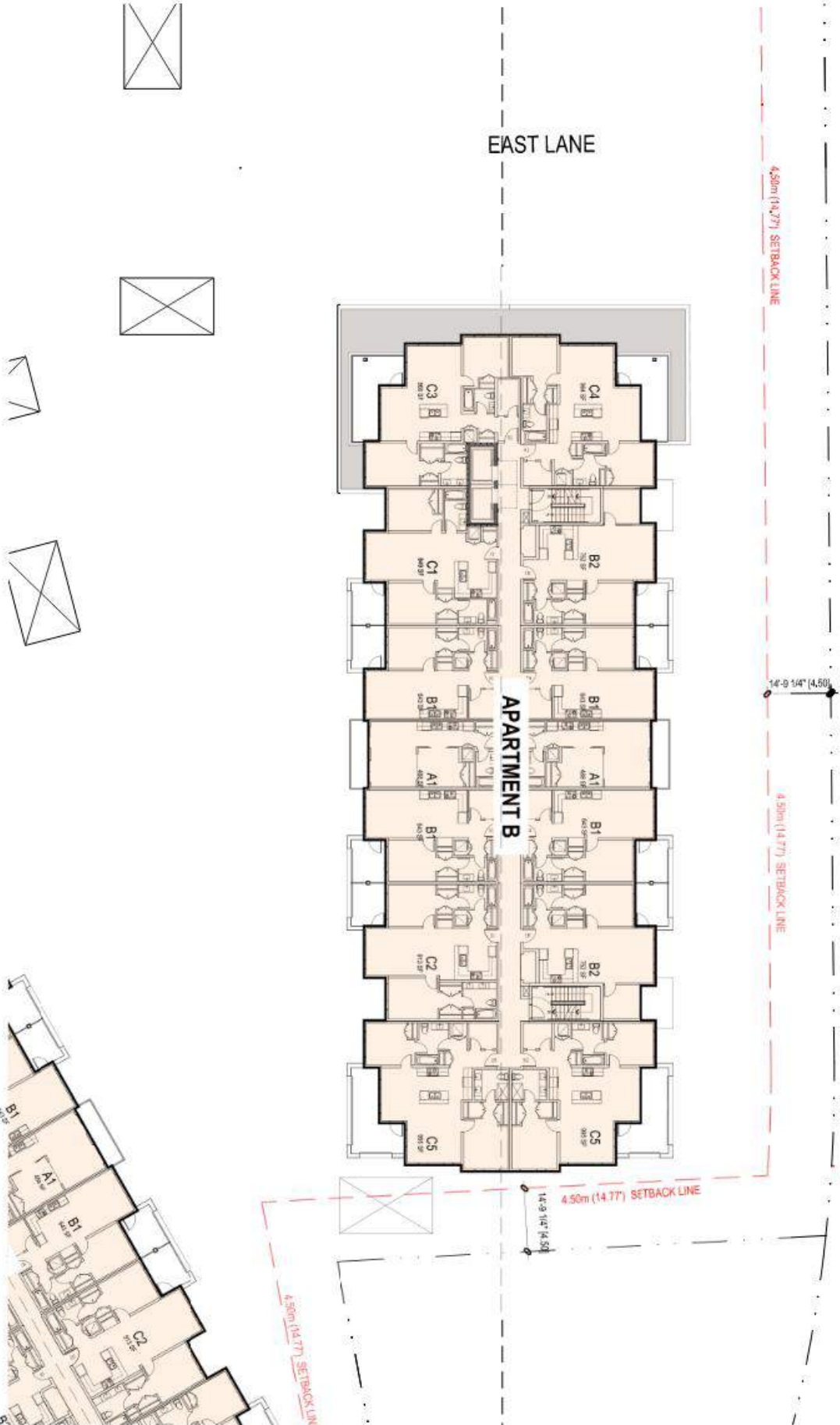
4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE





# PRODUCERS WAY





**RH Architects Inc.**  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.683.8992  
 Fax: 604.683.8991  
 www.rharchitects.ca

**PROJEC** DP RESUBMISSION #3  
 28 JUNE 2023

**DATE** 28 JUNE 2023  
**DESIGNED BY** A3.24  
**CHECKED BY** A3.24  
**DATE** 28 JUNE 2023  
**DESIGNED BY** A3.24  
**CHECKED BY** A3.24  
**DATE** 28 JUNE 2023

**CLIENT** 31 MAY 2023  
**PROJECT** PARCEL B  
 COLWOOD, B.C.  
**PROJECT NO.** 2126/2138

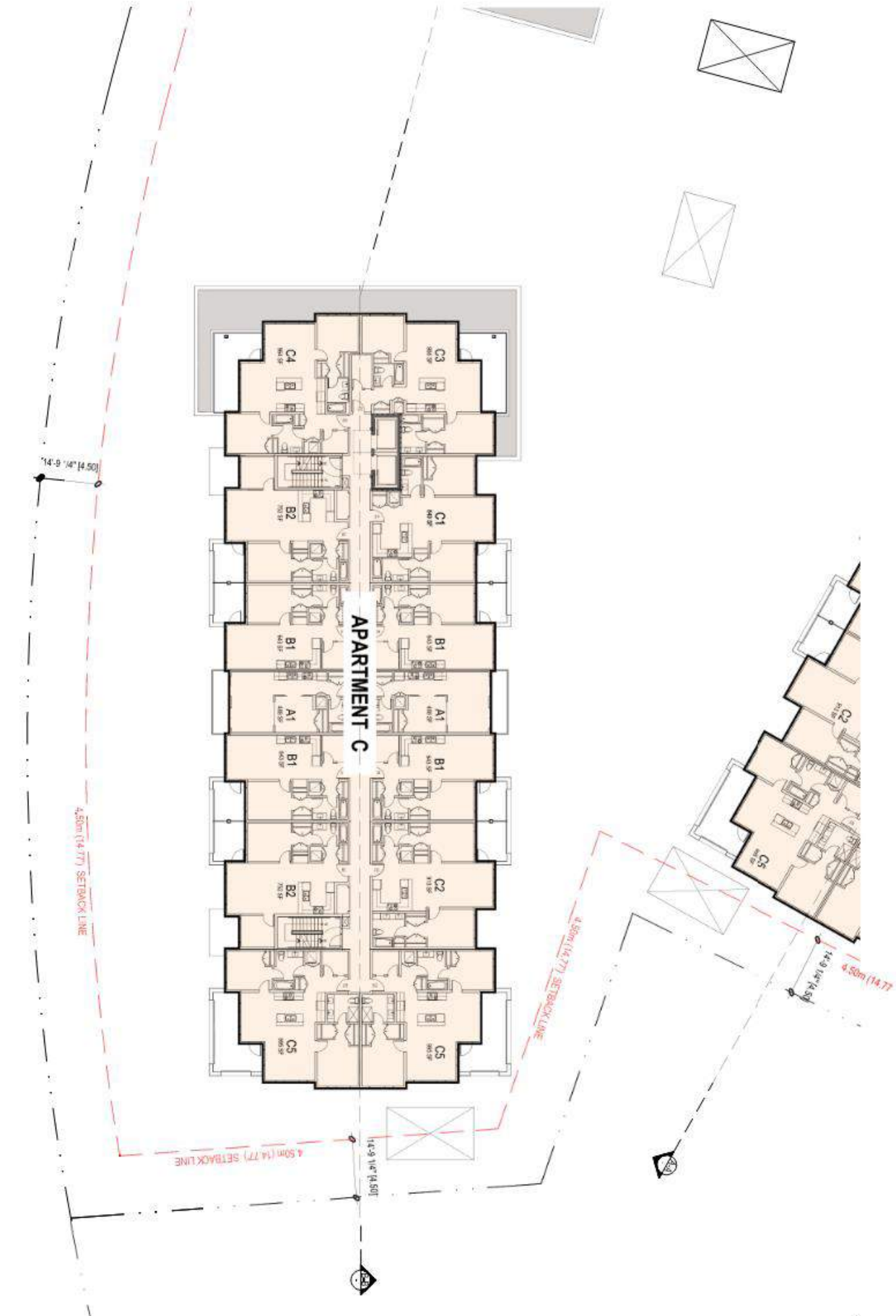
**DATE FILED** 27 JUNE 2023  
**SCALE** 3/32" = 1'-0"  
**PORTFOLIO** P2126/2138  
**OWNER** EBR

**PROJECT NO.** 2126/2138  
**DATE** 27 JUNE 2023  
**SCALE** 3/32" = 1'-0"  
**PORTFOLIO** P2126/2138  
**OWNER** EBR

**DATE** 27 JUNE 2023  
**SCALE** 3/32" = 1'-0"  
**PORTFOLIO** P2126/2138  
**OWNER** EBR

**DATE** 27 JUNE 2023  
**SCALE** 3/32" = 1'-0"  
**PORTFOLIO** P2126/2138  
**OWNER** EBR

DYNER HESJEDAL WAY



**RHA**  
RH Architects Inc.  
200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1  
1-800-669-0992  
1-604-683-0992  
www.rharchitects.ca

**PROJECT**  
DP RESUBMISSION #3  
28 JUNE 2023

**DATE**  
30 MAY 2023

**CLIENT**  
PCARRgroup  
Parcels require their existing permits

**PROJECT**  
PARCEL B  
COWWOOD, B.C.

**CONTRACT**  
LEVEL 2 PLAN  
APARTMENT C

**DATE FILE**  
3/2/23 ~ 140'

**SCALE**  
AS SHOWN

**PERMIT**  
22-106-2023

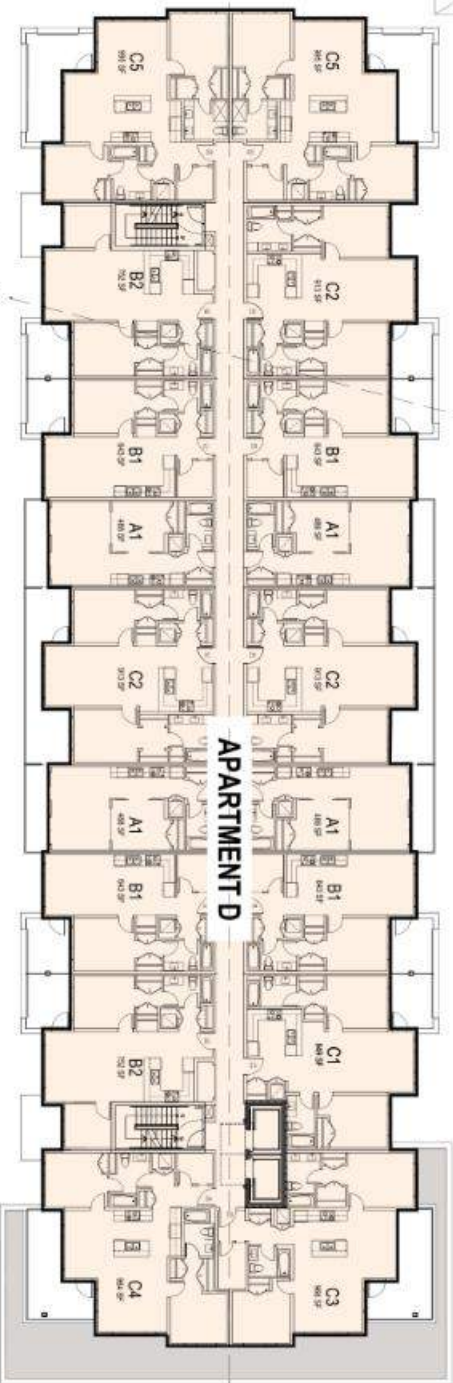
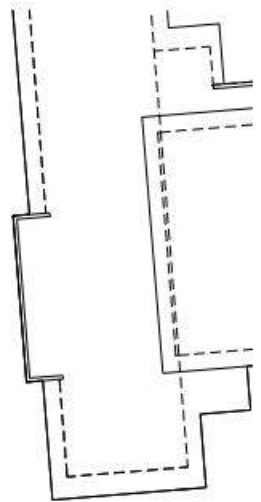
**OWNER**  
EBS

**PROJECT NO.**  
2126/2138

**DATE**  
2023

**NO. OF SHEETS**  
A3.25





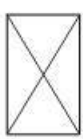
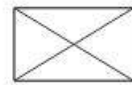
APARTMENT D

RYDER HESJEDAL WAY

4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

14'-0" x 14" (4.50)



RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.686.8991  
F: 604.686.8992  
www.rharchitects.ca

ISSUE	DATE
1. DESIGN DEVELOPMENT	20 JUN 2022
2. PERMITTING	20 JUN 2022
3. DP EXHIBIT #1 & #2	20 JUN 2022
4. DP EXHIBIT #3 & #4	29 JUN 2022

**PROJECT TITLE**  
DP RESUBMISSION #3  
28 JUNE 2022

**NOTES:**  
1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
6. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
7. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
8. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
9. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
10. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
33 WAIN 2023

**ARCHITECT:**  
RH ARCHITECTS INC.

**PROJECT:**  
PARCEL B  
COLWOOD, B.C.

**CONTRACT:**  
LEVEL 2 PLAN  
APARTMENT D

**DATE FILE:** 31/07/2021  
**SCALE:** 3/32" = 1'-0"  
**DATE PRINT:** 29 JUNE 2023  
**PROJECT NO.:** 2126/2138

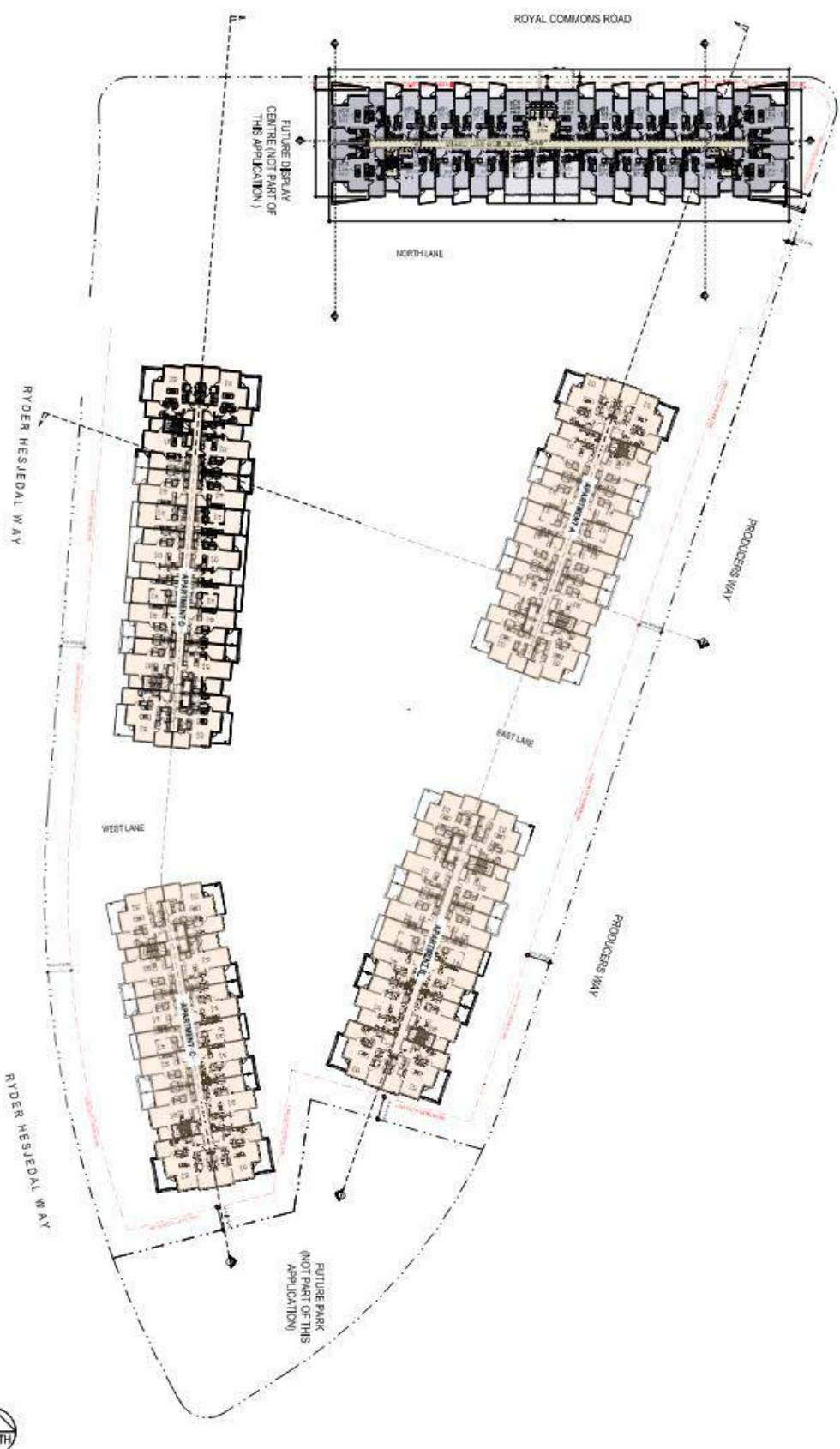
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023

**SCALE:** 3/32" = 1'-0"

**PROJECT NO.:** 2126/2138

**PROJECT NO.:** 2126/2138



**RH Architects Inc.**

130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V5A 1S1

1-800-690-0003  
 604-690-0003  
 www.rharchitects.com

PROJECT	DATE
1. CONCEPT PLAN	20 MAR 2023
2. PRELIMINARY PLAN	20 MAR 2023
3. PRELIMINARY PLAN	20 MAR 2023
4. PRELIMINARY PLAN	22 MAR 2023

**REVISION**  
 DP RESUBMISSION #3  
 20 MAR 2023

**NOTES**  
 1. ALL DIMENSIONS ARE IN METERS.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**CLIENT**  
 30 MAR 2023  
**pcaregroup**  
 Pacific Capital Real Estate Group

**PROJECT**  
 PARCEL B  
 COLUMBIA, B.C.  
 CONCEPT PLAN  
 LEVEL 3 PLAN

**DATE** 17.07.2023  
**SCALE** 1:300  
**PROJECT** PG 2/58  
**DATE** 17.07.2023  
**PROJECT** 2126/2138

**DATE** 17.07.2023  
**SCALE** A3.30





RH Architects Inc.

130 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1S1

1-604-690-0903  
1-604-690-1092  
www.rharchitects.ca

**PROJECT:**  
1. DP RESUBMISSION #3  
2. DP RESUBMISSION #4  
3. DP RESUBMISSION #5  
4. DP RESUBMISSION #6

**DATE:**  
30 MAR 2023  
30 MAR 2023  
30 MAR 2023  
22 MAR 2023

**REVISION #3**  
DP RESUBMISSION #3  
29 MAR 2023

**NOTES:**  
1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.  
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.  
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

**CLIENT:**  
33 MAR 2023  
PCRE group  
parcels inc. vancouver group

**PROJECT:**  
PARCEL B  
CERWOOD, B.C.

**CONTRACT NO.:**  
LEVEL 3 PLAN  
MIXED USE BUILDING

**DATE:** 30 MAR 2023  
**SCALE:** 3/32" = 1'-0"  
**DATE:** 29 MAR 2023  
**DATE:** 29 MAR 2023  
**DATE:** 29 MAR 2023  
**DATE:** 29 MAR 2023  
**PROJECT NO.:** 2126/2138

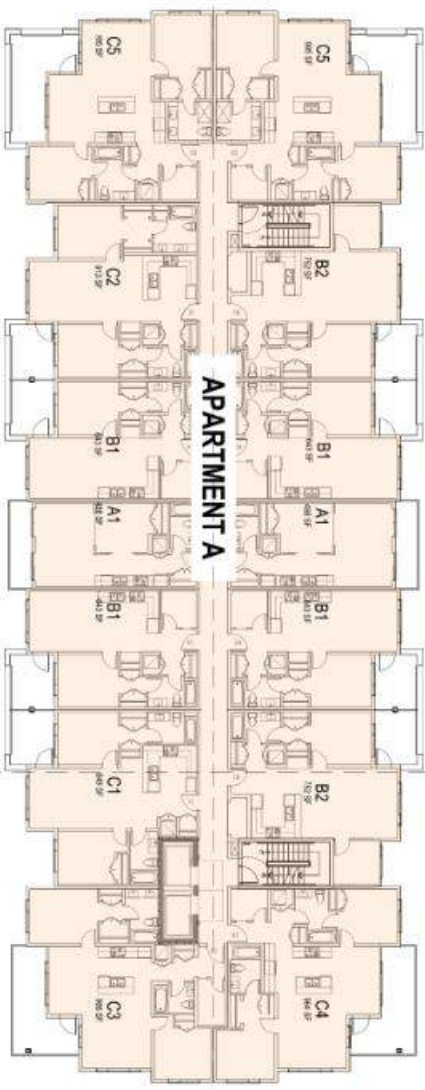
**DATE:** 29 MAR 2023  
**SCALE:** A3.31



# PRODUCERS WAY



4.50m (14.77') SETBACK LINE



# EAST LANE



**RH Architects Inc.**

230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.688.0991  
 F: 604.688.0991

www.rharchitects.ca

PROJECT	DATE
1. DEVELOPER/OWNER PERMIT	30 MAR 2022
2. DP RESUBMISSION #1	30 MAR 2022
3. DP RESUBMISSION #2	30 MAR 2022
4. DP RESUBMISSION #3	29 JUN 2023

**PROJECT TITLE**  
 DP RESUBMISSION #3  
 29 JUN 2023

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

2. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

3. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

**CLIENT:**  
 30 MAR 2023  
**PCARRgroup**  
 Pacific Empire West Building

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.

**CONTRACT:**  
 LEVEL 3 PLAN  
 APARTMENT A

**DATE FILE:** 31/07/2023  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P, S  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**BY:** [Signature]  
**SCALE:** A3.33



# PRODUCERS WAY

EAST LANE

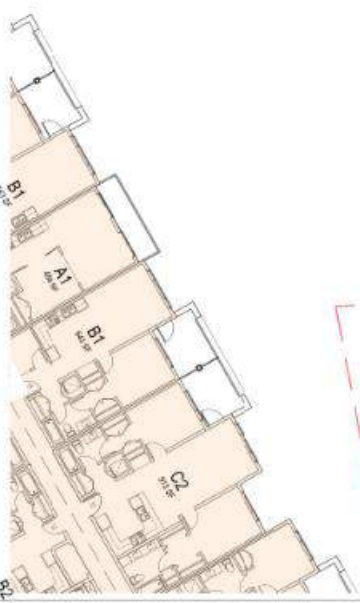
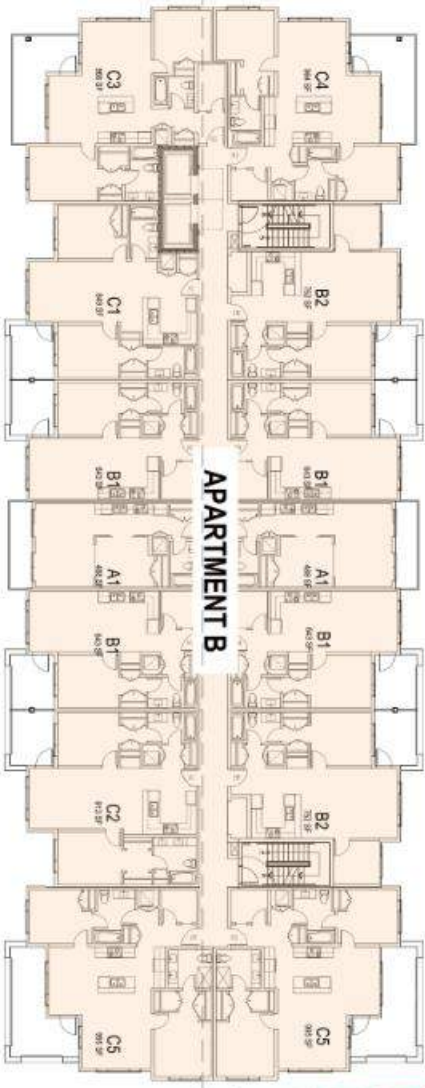
4.50m (14.77') SETBACK LINE

14'-9 1/4" (4.50)

4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

14'-9 1/4" (4.50)



RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1  
1-800-669-0992  
1-604-682-0992  
1-604-682-0991  
www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	20 MAR 2023	CONCEPT DESIGN PERMIT
2.	20 MAR 2023	DP RESUBMISSION #3
3.	20 MAR 2023	DP RESUBMISSION #4
4.	29 JUN 2023	DP RESUBMISSION #5

**PERMIT NO.**  
DP RESUBMISSION #3  
29 JUN 2023

**NOTES:**  
1. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
2. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
3. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
4. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
5. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
6. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
7. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
8. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
9. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.  
10. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

**CLIENT:**  
30 MAR 2023  
PCRRgroup  
provide support and advisory services

**PROJECT:**  
PARCEL B  
CRAWFORD, B.C.

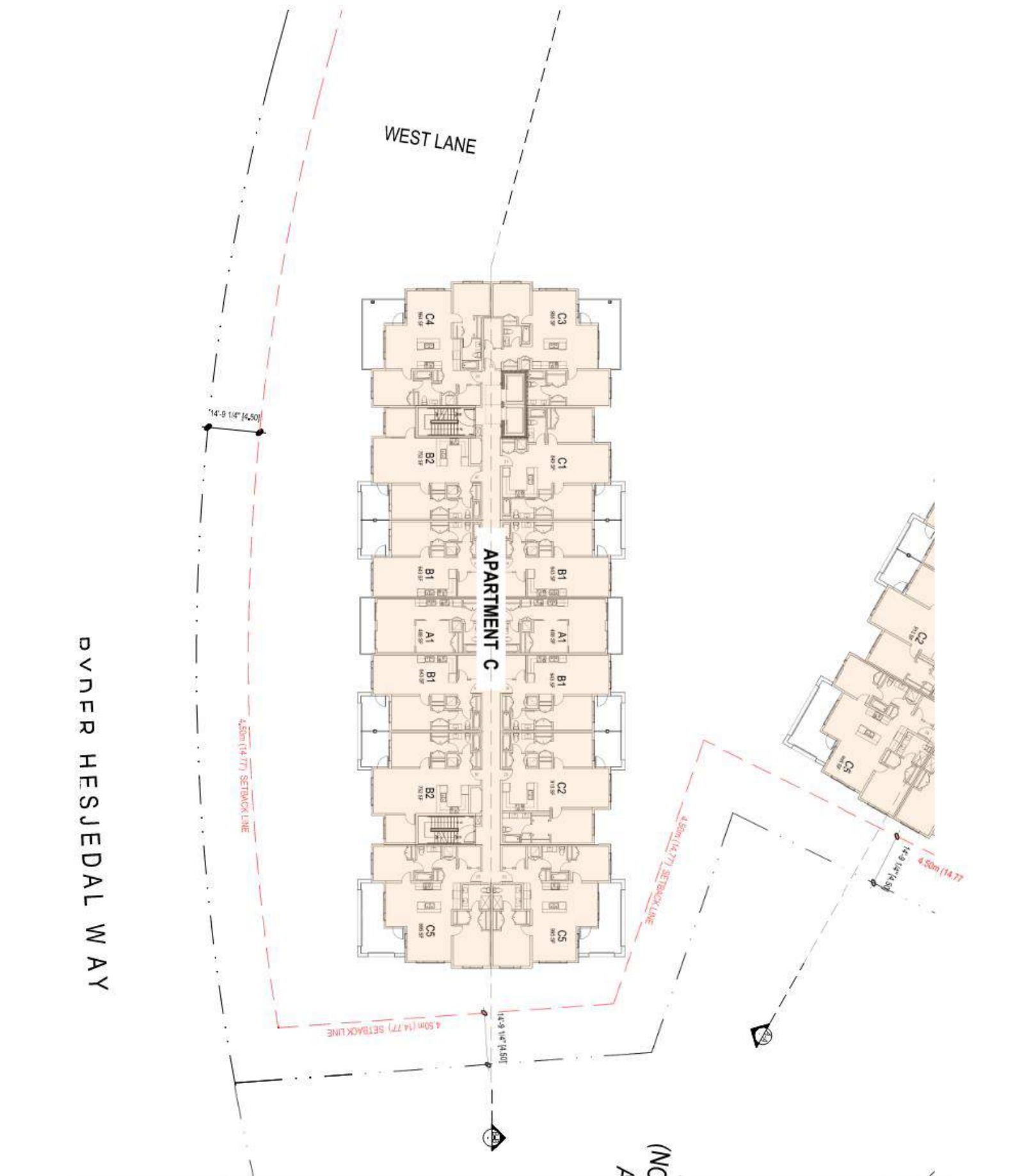
**DESIGN NO.:**  
LEVEL 3 PLAN  
APARTMENT B

**DATE FILE:** 31/03/2023  
**SCALE:** 3/32" = 1'-0"  
**PERMIT NO.:** 29 JUN 2023  
**OWNER:** EBR

**PROJECT NO.:** 2126/2138

**DATE:** 2023  
**NO.:** A3.34

BYNTER HESJEDAL WAY



**RHA**  
RH Architects Inc.  
230 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1  
1-800-669-0991  
1-604-683-0991  
www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1	20 JUN 2023	FOR PERMIT
2	20 JUN 2023	FOR EXAMINATION
3	20 JUN 2023	FOR EXAMINATION
4	20 JUN 2023	FOR EXAMINATION

**PROJECT**  
PARCEL B  
COWWOOD, B.C.

**CLIENT**  
PCARRgroup  
31 WAIN 2023

**DATE**  
20 JUN 2023

**PROJECT NO.**  
2126/2138

**SCALE**  
3/32" = 1'-0"

**DATE**  
20 JUN 2023

**DESIGNER**  
EBR

**PROJECT NO.**  
2126/2138

**SCALE**  
A3.35





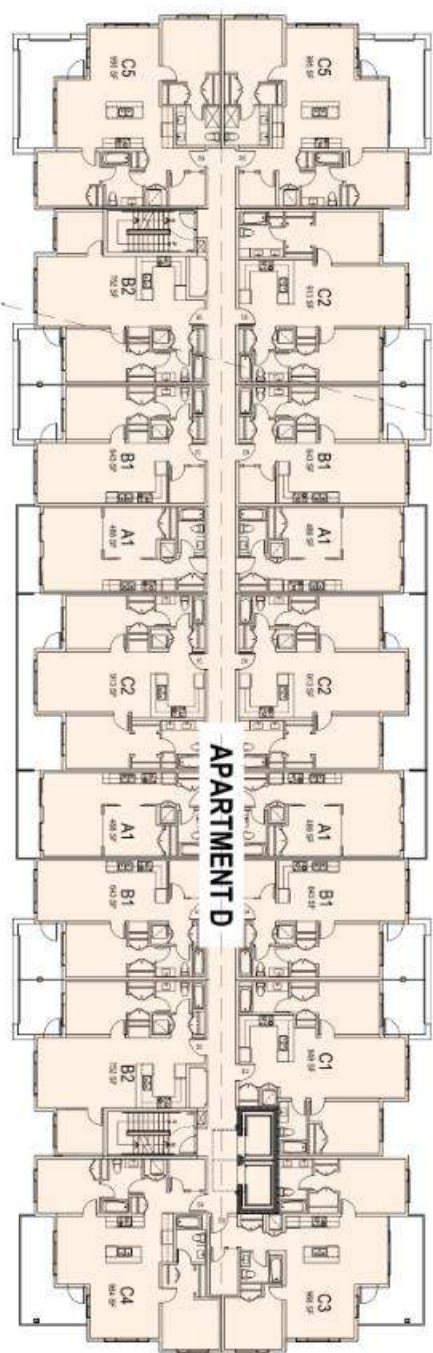
RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

+1 604 688 8991  
+1 604 688 8992  
info@rharchitects.com  
www.rharchitects.com

DATE	DESCRIPTION
20 JUN 2022	1. DESIGN CONCEPT PERMIT
20 JUN 2022	2. DP EXPLANATION #1 & 2
20 JUN 2022	3. DP EXPLANATION #3
29 JUN 2022	4. DP EXPLANATION #4 & 5

**PLANNED FOR**  
DP RESUBMISSION #3  
28 JUNE 2022



RYDER HESJEDAL WAY

4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

14'-0" 114" (4.50)

WEST LANE

30 JUN 2022

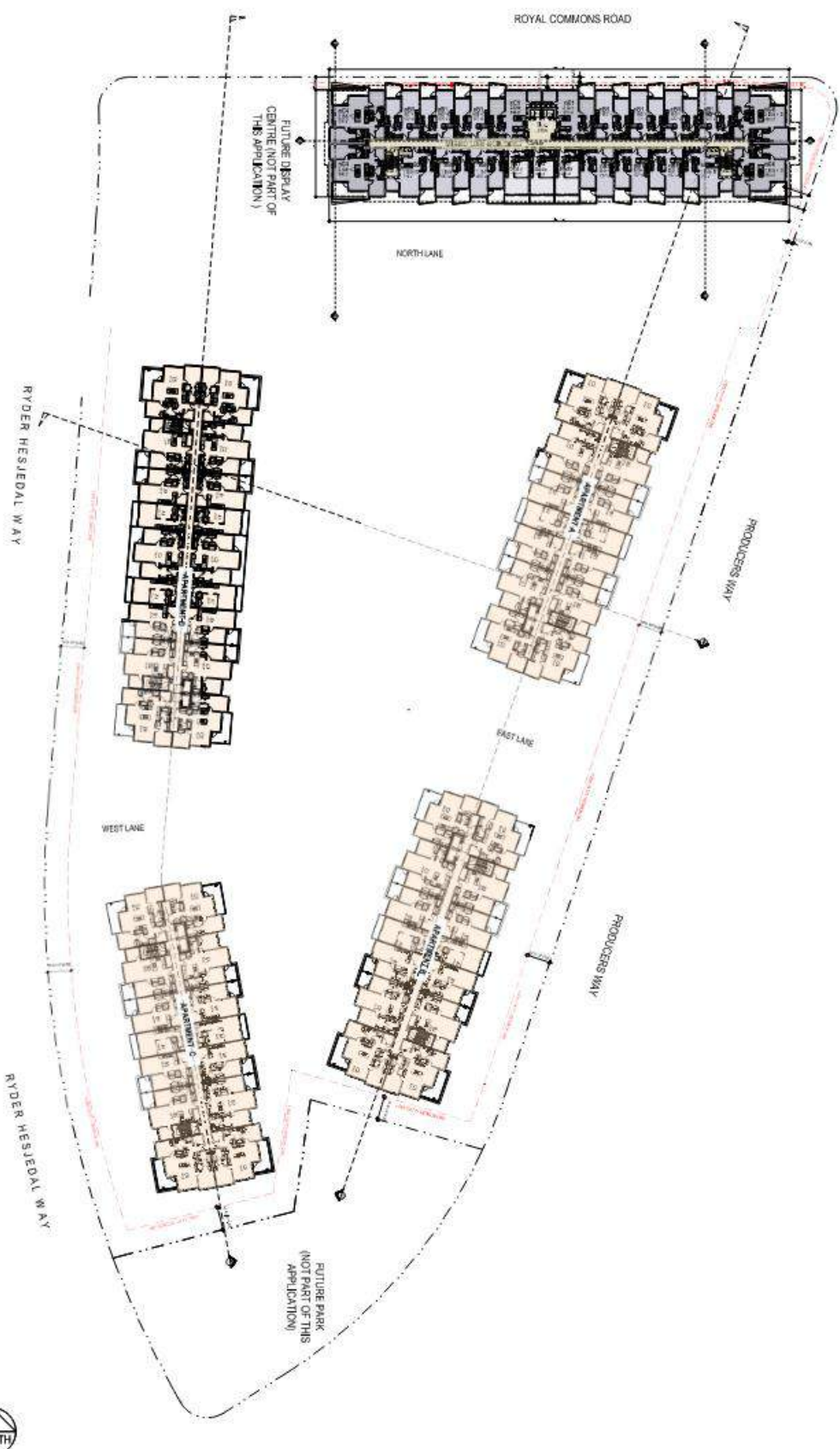
**pcaregroup**  
Project Support and Consulting Group

PROJECT  
PARCEL B  
COLWOOD, B.C.

CONTRACT  
LEVEL 3 PLAN  
APARTMENT D

DATE FILE: 3/27/22 ~ 148"  
SCALE: AS SHOWN  
REVISION: 29 JUNE 2023  
DRAWN: PJS  
CHECKED: EBR  
PROJECT No. 2126/2138

DATE: 2022  
NO: **A3.36**



**RH Architects Inc.**

130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V5A 1S1

1-800-690-8903  
 1-604-690-1092  
 www.rharchitects.com

PROJECT	DATE
1. CONCEPT DESIGN	20 MAR 2023
2. PRELIMINARY DESIGN	20 MAR 2023
3. PERMITTING DESIGN	20 MAR 2023
4. PERMITTING DESIGN	20 MAR 2023

**REVISION**  
 DP RESUBMISSION #3  
 20 MAR 2023

**NOTES:**  
 1. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT ACCEPTS THE RISK OF CONSTRUCTION OF THIS PROJECT WITHOUT THE NECESSITY OF OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT IS NOT RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**CLIENT:**  
 30 MAR 2023  
**pcaregroup**  
 project location: site nearby group

**PROJECT:**  
 PARCEL B  
 COLUMBIA, B.C.  
**LEVEL 4 PLAN**

**DATE:** 17 SEP 2023  
**SCALE:** 1/32" = 1'-0"  
**REVISION:** PS / JS  
**DATE:** 17 SEP 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 17 SEP 2023  
**SCALE:** A3.40





RH Architects Inc.

1300 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1S1

1-604-690-9900  
1-604-690-1092

www.rharchitects.com

**PROJECT:**  
1. 200 Powell Street, Unit 10  
2. 200 Powell Street, Unit 10  
3. 200 Powell Street, Unit 10  
4. 200 Powell Street, Unit 10

**DESIGN NAME:**  
DP RESUBMISSION #3  
29 MAR 2023

**DATE:**  
31 MAR 2023

**CLIENT:**  
PCRE group  
pacific capital real estate group

**PROJECT:**  
PARCEL B  
CELEWOOD, B.C.

**CONTRACT NO.:**  
LEVEL 4 PLAN  
MIXED USE BUILDING

**DATE:** 31.03.2023  
**SCALE:** 3/32" = 1'-0"  
**REVISION:** PG 7/58  
**DATE:** 21.06.2023  
**PROJECT NO.:** 2126/2138

**DATE:**  
**A3.41**



ROYAL COMMONS ROAD

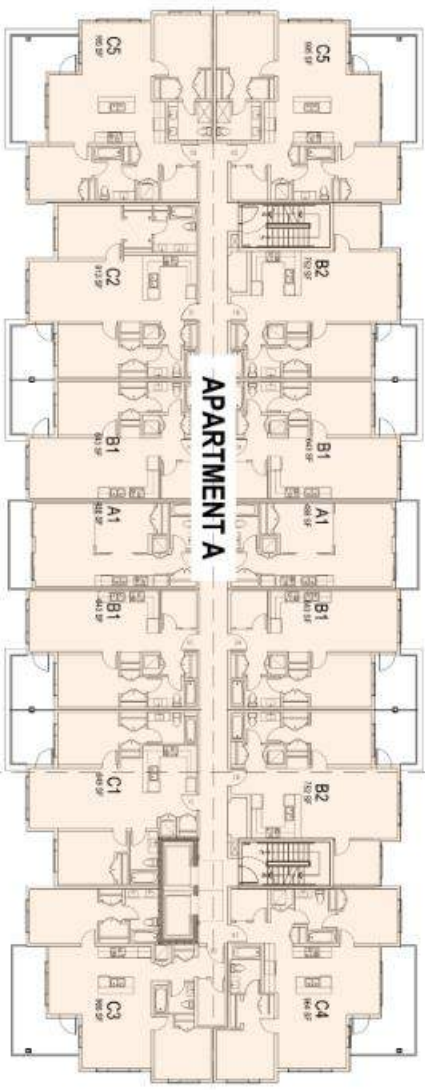
NORTH LANE

# PRODUCERS WAY



4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE



# EAST LANE



**RH Architects Inc.**

230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.688.0991  
F: 604.688.0991

www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. DESIGN DEVELOPMENT
20 JUN 2022	2. DP RESUBMISSION #3
20 JUN 2022	3. DP RESUBMISSION #4
20 JUN 2022	4. DP RESUBMISSION #5

**DESIGN FOR**  
**DP RESUBMISSION #3**  
28 JUNE 2022

**NOTES:**

1. THIS DRAWING IS THE PROPERTY OF RHA AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHA.
2. THIS DRAWING IS THE PROPERTY OF RHA AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHA.

31 MAR 2023

**PCARRgroup**  
PARR GROUP INC.

**PROJECT:**  
PARCEL B  
COLWOOD, B.C.

**CONTRACT:**  
LEVEL 4 PLAN  
APARTMENT A

**DATE FILE:** 31/03/2023  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** PARR  
**CHECKER:** EBR

**PROJECT No:** 2126/2138

**DATE:** 29 JUN 2023  
**BY:** [Signature]  
**NO:** **A3.43**



# PRODUCERS WAY



RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.688.0001  
F: 604.688.0051

www.rharchitects.ca

NO.	DATE	REVISION
1.	20 JUN 2022	SCHEMATIC DEVELOPMENT
2.	20 JUN 2022	SCHEMATIC DEVELOPMENT
3.	20 JUN 2022	SCHEMATIC DEVELOPMENT
4.	29 JUN 2022	SCHEMATIC DEVELOPMENT

**PROJ. NO.**  
DP RESUBMISSION #3  
28 JUN 2022

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.
2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**REVISED/REMOVED:**

30 JUN 2022

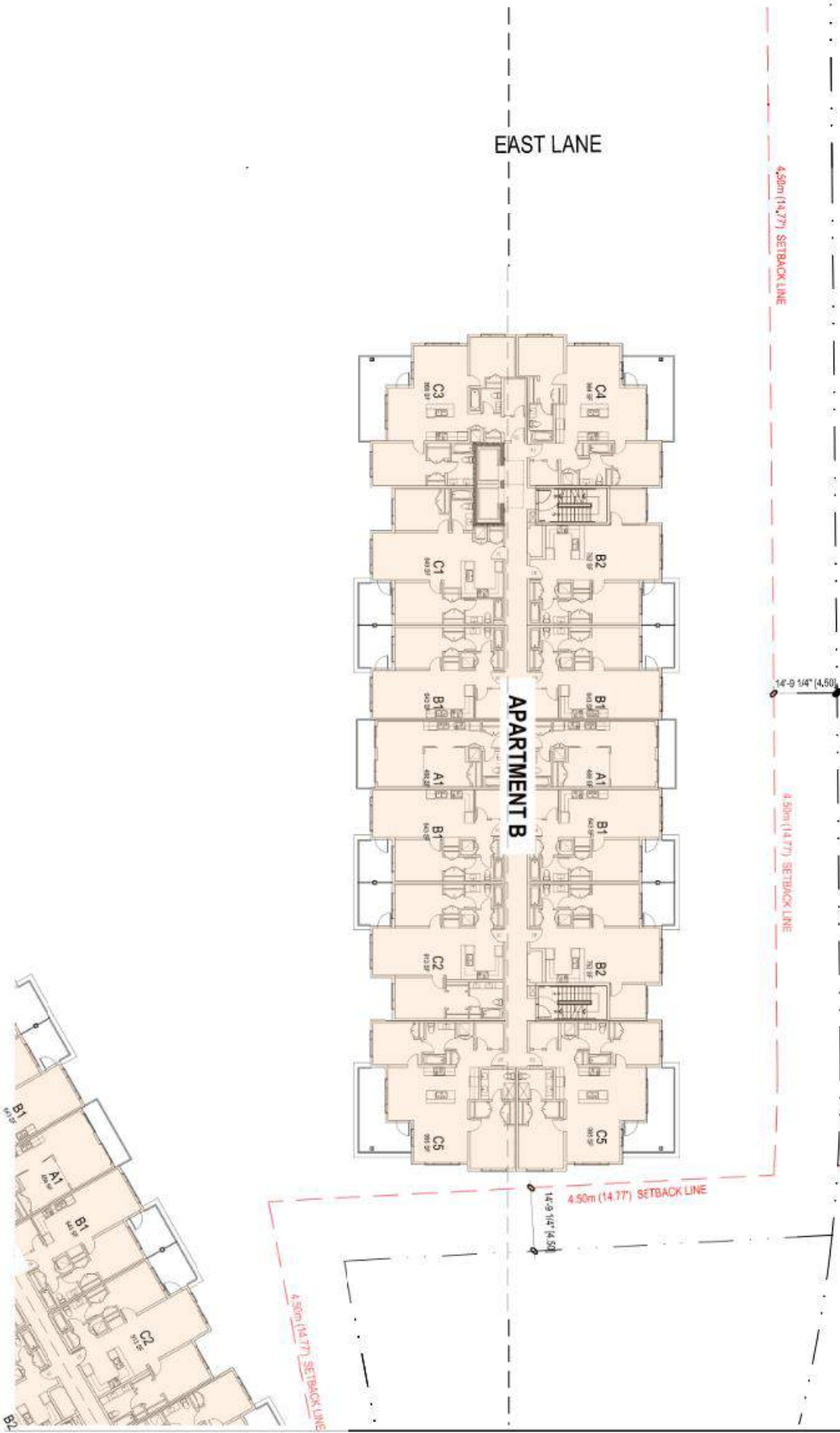
**CLIENT:**  
PCRE group  
residential project near parking garage

**PROJECT:**  
PARCEL B  
COWWOOD, B.C.

**CONTRACT:**  
LEVEL 4 PLAN  
APARTMENT B

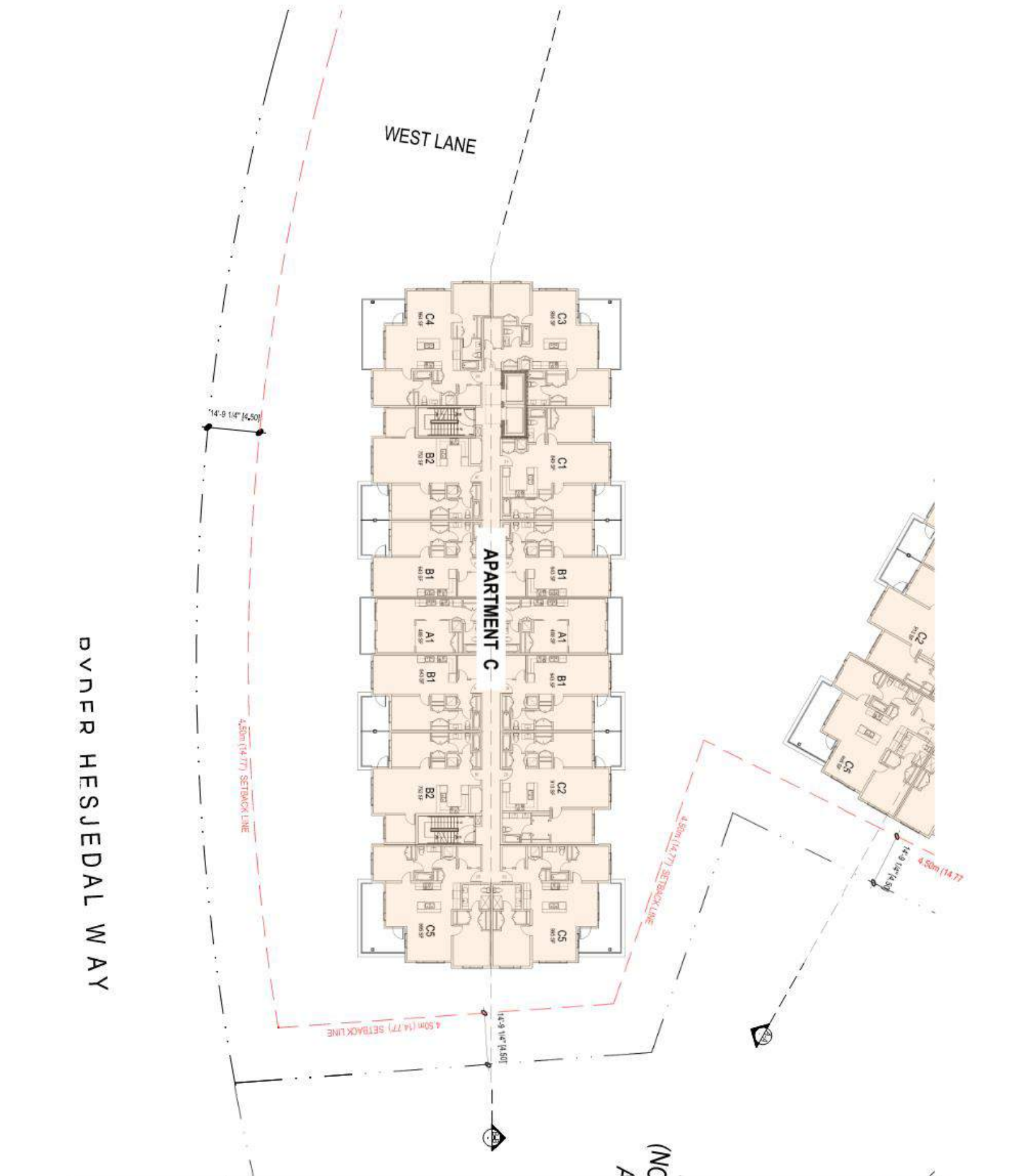
**DATE FILED:** 31/07/2022  
**SCALE:** 3/32" = 1'-0"  
**PERMIT NO.:** 22/006/2023  
**ISSUED:** EBB

**PROJECT NO.:** 2126/2138  
**DATE:** 2022  
**NO.:** A3.44



WEST LANE

DYNER HESJEDAL WAY



DATE FILE: 3/27/2024  
 SCALE: 1/8" = 1'-0"  
 REVISION: 22 JUNE 2023  
 DRAWN BY: EBR  
 PROJECT No. 2126/2138

CLIENT: **PCARRgroup**  
 PROJECT: PARCEL B  
 COWOOD, B.C.

LEVEL 3 PLAN  
 APARTMENT C

31 MAR 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023

REVISION #3  
 28 JAN 2023



RH Architects Inc.  
 200 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1  
 1-800-668-0001  
 604-681-0951  
 www.rharchitects.ca





RH Architects Inc.

200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

+1 604 688 8991  
+1 604 688 8992  
info@rharchitects.ca  
www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. DESIGN DEVELOPMENT
20 JUN 2022	2. PRELIMINARY PERMIT
20 JUN 2022	3. DP EXCLUSION #14 15
29 JUN 2023	4. DP EXCLUSION #14 15

**PROJECT**  
DP RESUBMISSION #3  
28 JUNE 2023

**NOTES:**  
1. DATE  
2. DATE  
3. DATE  
4. DATE  
5. DATE  
6. DATE  
7. DATE  
8. DATE  
9. DATE  
10. DATE  
11. DATE  
12. DATE  
13. DATE  
14. DATE  
15. DATE  
16. DATE  
17. DATE  
18. DATE  
19. DATE  
20. DATE  
21. DATE  
22. DATE  
23. DATE  
24. DATE  
25. DATE  
26. DATE  
27. DATE  
28. DATE  
29. DATE  
30. DATE  
31. DATE  
32. DATE  
33. DATE  
34. DATE  
35. DATE  
36. DATE  
37. DATE  
38. DATE  
39. DATE  
40. DATE  
41. DATE  
42. DATE  
43. DATE  
44. DATE  
45. DATE  
46. DATE  
47. DATE  
48. DATE  
49. DATE  
50. DATE  
51. DATE  
52. DATE  
53. DATE  
54. DATE  
55. DATE  
56. DATE  
57. DATE  
58. DATE  
59. DATE  
60. DATE  
61. DATE  
62. DATE  
63. DATE  
64. DATE  
65. DATE  
66. DATE  
67. DATE  
68. DATE  
69. DATE  
70. DATE  
71. DATE  
72. DATE  
73. DATE  
74. DATE  
75. DATE  
76. DATE  
77. DATE  
78. DATE  
79. DATE  
80. DATE  
81. DATE  
82. DATE  
83. DATE  
84. DATE  
85. DATE  
86. DATE  
87. DATE  
88. DATE  
89. DATE  
90. DATE  
91. DATE  
92. DATE  
93. DATE  
94. DATE  
95. DATE  
96. DATE  
97. DATE  
98. DATE  
99. DATE  
100. DATE

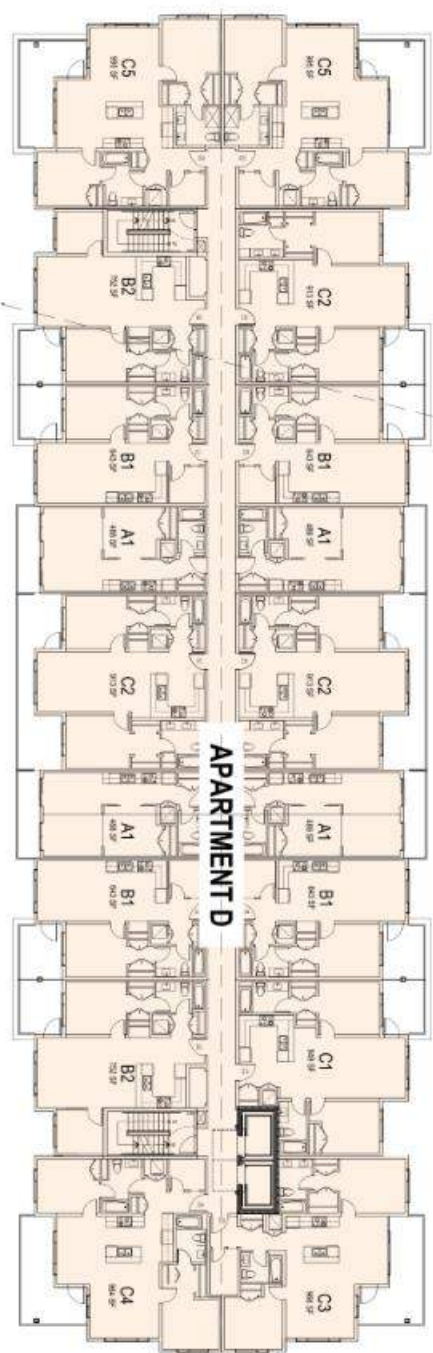
**CLIENT**  
31 MAR 2023  
pcaregroup  
Project requires prior written approval

**PROJECT**  
PARCEL B  
COLWOOD, B.C.

**CONTRACT**  
LEVEL 4 PLAN  
APARTMENT D

**DATE FILE:** 31/03/2023  
**SCALE:** 3/32" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** PLS  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**FILE NO.:** A3.46



APARTMENT D

WEST LANE

RYDER HESJEDAL WAY

4.50m (14'7") SETBACK LINE

4.50m (14'7") SETBACK LINE

14'-0" 114" (4.50)



RH Architects Inc.

230 Powell Street, Suite 310  
Vancouver, BC Canada  
V6A 3G1

1-800-669-0992  
604-683-0992

www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	1. DESIGN CONCEPT PREPARE
20 JUN 2022	2. DESIGN CONCEPT PREPARE
20 JUN 2022	3. DESIGN CONCEPT PREPARE
20 JUN 2022	4. DESIGN CONCEPT PREPARE

**PLANNED FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2023

**NOTES:**

1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT ACCEPTS THE RISK OF CONSTRUCTION OF THIS PROJECT BASED ON THIS PLAN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE CONSTRUCTION OF THIS PROJECT.

2. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE CONSTRUCTION OF THIS PROJECT.

3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE CONSTRUCTION OF THIS PROJECT.

4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE CONSTRUCTION OF THIS PROJECT.

5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE CONSTRUCTION OF THIS PROJECT.

**CLIENT:**  
**PCARRgroup**  
 1000 West Broadway  
 Vancouver, BC

**PROJECT:**  
**PARCEL B**  
 COLWOOD, B.C.

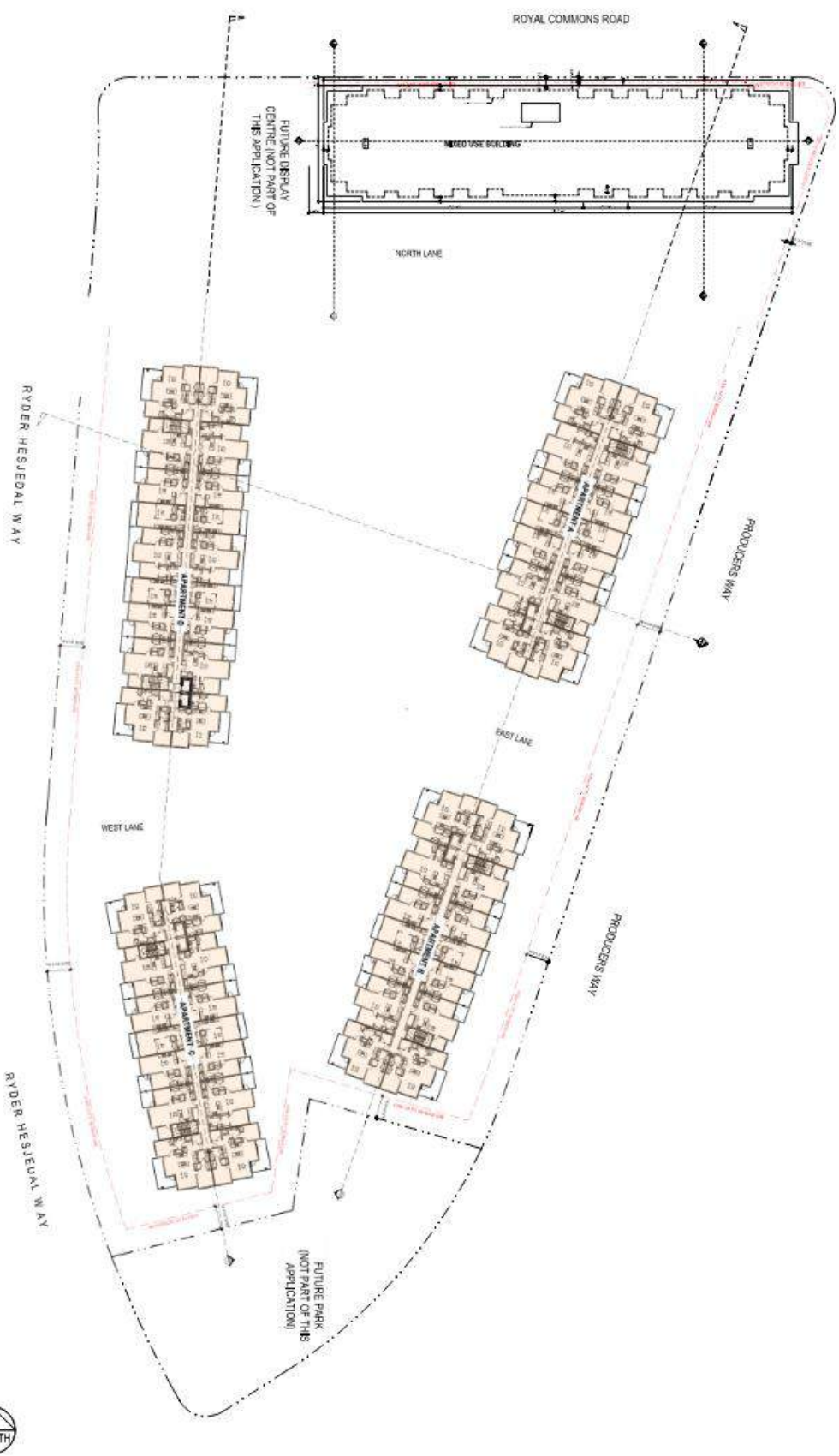
**DATE:**  
 28 JUNE 2023

**SCALE:**  
 1/32" = 1'-0"

**DATE:**  
 28 JUNE 2023

**PROJECT NO.:**  
 2126/2138

**SCALE:**  
**A3.50**







RH Architects Inc.

230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

1-800-669-0992  
604-682-0992

www.rharchitects.ca

DATE	DESCRIPTION
20/04/2022	1. PRELIMINARY PERMIT
20/04/2022	2. DP EXCLUSION #14
20/04/2022	3. DP EXCLUSION #15
20/04/2022	4. DP EXCLUSION #16

**PROJECT**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES:**

1. THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE SITE AND HAS FOUND IT TO BE IN SUBSTANTIAL AGREEMENT WITH THE INFORMATION PROVIDED BY THE CLIENT. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE SITE AND HAS FOUND IT TO BE IN SUBSTANTIAL AGREEMENT WITH THE INFORMATION PROVIDED BY THE CLIENT.

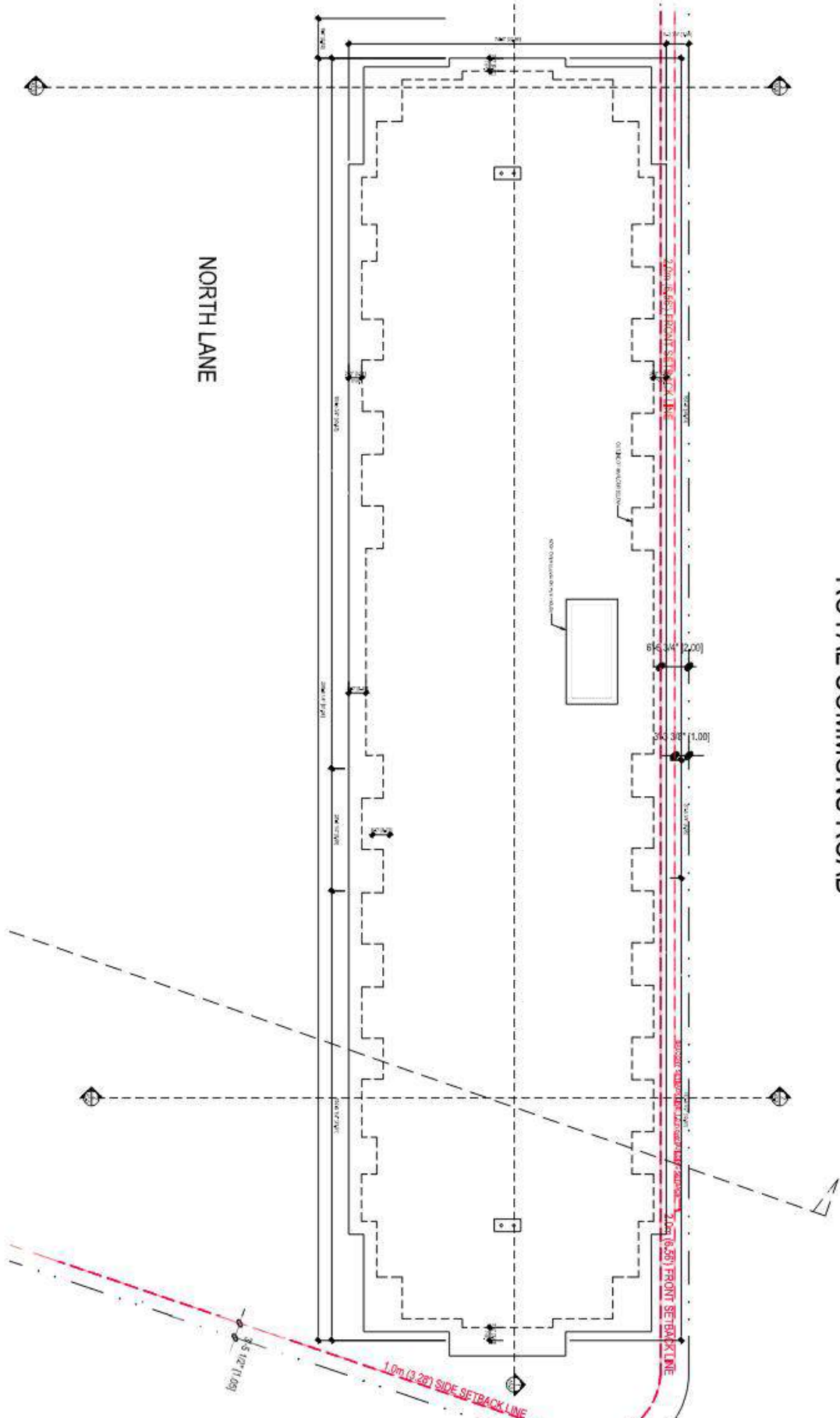
**CLIENT:**  
 PCARRgroup  
 Pacific Empire Real Estate Group

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.

**PROJECT:**  
 ROOF PLAN  
 MIXED USE BUILDING

**DATE FILE:** 31/07/2023  
**SCALE:** 1/8" = 1'-0"  
**DATE PLOTTED:** 27/06/2023  
**PROJECT NO.:** 2126/2138

**DATE:** 27/06/2023  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138



NORTH LANE

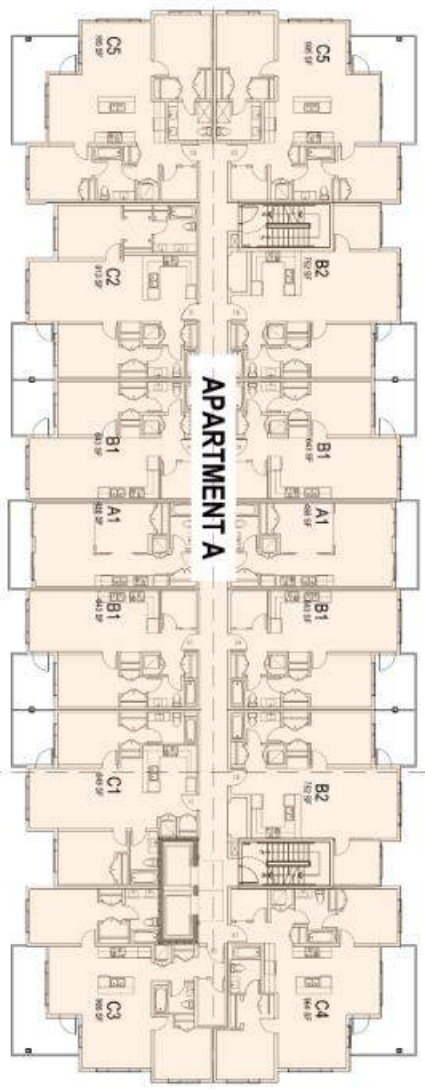
ROYAL COMMONS ROAD

# PRODUCERS WAY



4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE



# EAST LANE



**RH Architects Inc.**

230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.689.0991  
F: 604.689.0991

www.rharchitects.ca

PROJECT	DATE
1. DEVELOPER/OWNER PERMIT	30.09.2022
2. DP RESUBMISSION #3	30.09.2022
3. DP RESUBMISSION #4	30.09.2022
4. DP RESUBMISSION #5	29.09.2022

**PROJECT TITLE**  
DP RESUBMISSION #3  
28.09.2022

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

**NOTIFICATION STATE:**

**CLIENT**  
31.04.2023

**PCARRgroup**  
PARR GROUP INC.  
PARR GROUP INC.

**PROJECT**  
PARCEL B  
COLWOOD, B.C.

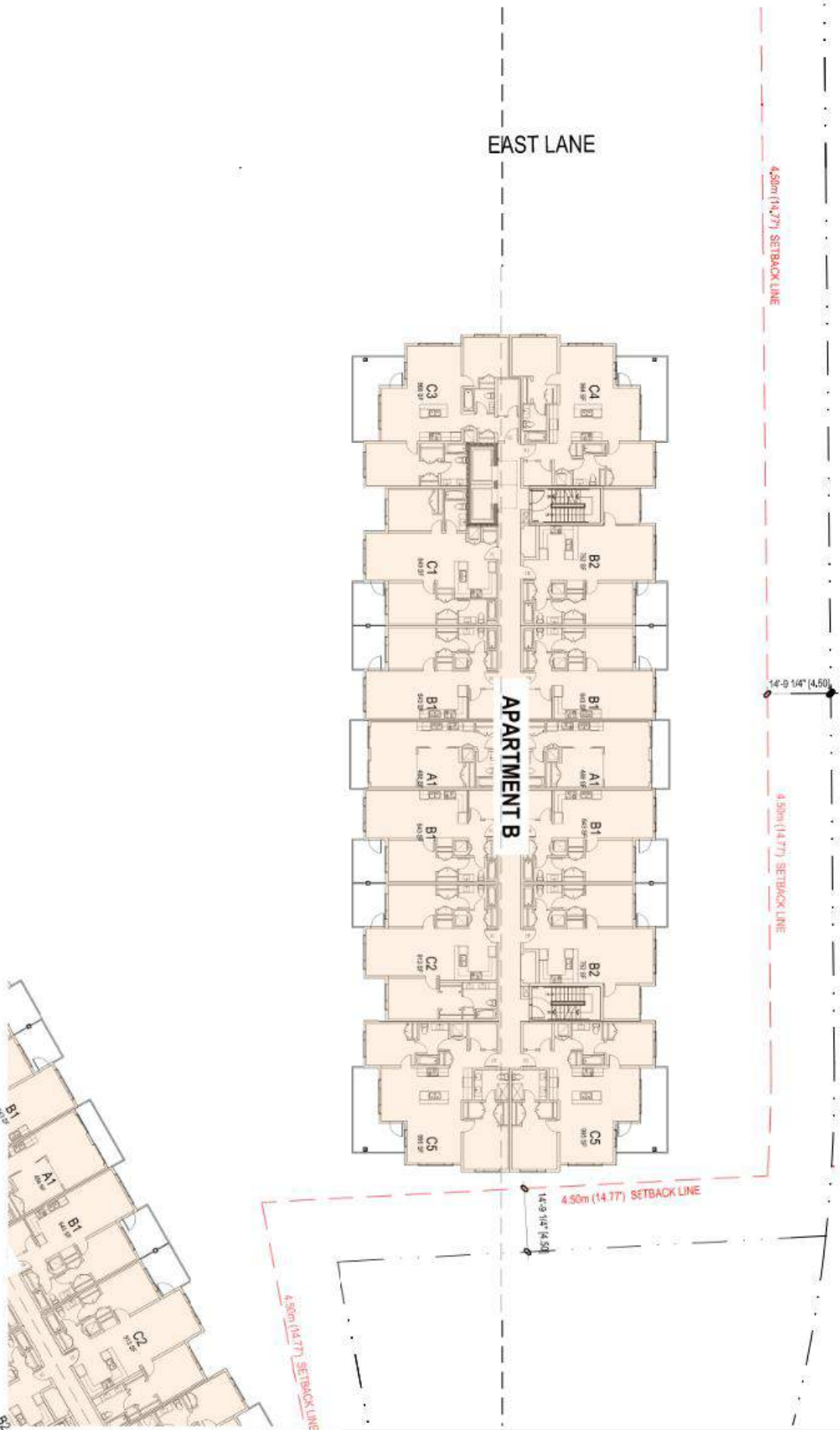
**CONTRACT**  
LEVEL 5 PLAN  
APARTMENT A

**DATE FILE:** 31.07.2022 ~ 1.04"  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29.09.2023  
**DATE:** 30.09.2022  
**OWNER:** EBR  
**PROJECT No.:** 2126/2138

**DATE:** 30.09.2022  
**BY:** [Signature]  
**NO.:** A3.53



# PRODUCERS WAY





**RH Architects Inc.**  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.683.0002  
 Fax: 604.683.0051  
 www.rharchitects.ca

**PROJEC**

1. DESIGN CONCEPT PERMIT 20 JUN 2023  
 2. DESIGN DEVELOPMENT PERMIT 20 JUN 2023  
 3. PRELIMINARY PERMIT 20 JUN 2023  
 4. PERMIT TO CONSTRUCT 29 JUN 2023

**DATE**

20 JUN 2023

**PROJEC**

**DP RESUBMISSION #3**

28 JUN 2023

**CLIENT**

31 MAR 2023



**PCREgroup**  
 project support and planning group

**PROJECT**

**PARCEL B**  
 COLWOOD, B.C.

**CONTRACT**

**LEVEL 5 PLAN**  
**APARTMENT B**

**DATE PLOT:** 31/07/2023 ~ 1:00P

**SCALE:** 1/8" = 1'-0"

**PERMIT:** 29 JUNE 2023

**OWNER:** EBR

**PROJECT No.:** 2126/2138

**DATE:** 29 JUN 2023

**SCALE:** 1/8" = 1'-0"

**PROJECT:** 29 JUNE 2023

**OWNER:** EBR

**PROJECT No.:** 2126/2138

**DATE:** 29 JUN 2023

**SCALE:** 1/8" = 1'-0"

**PROJECT:** 29 JUNE 2023

**OWNER:** EBR

**PROJECT No.:** 2126/2138

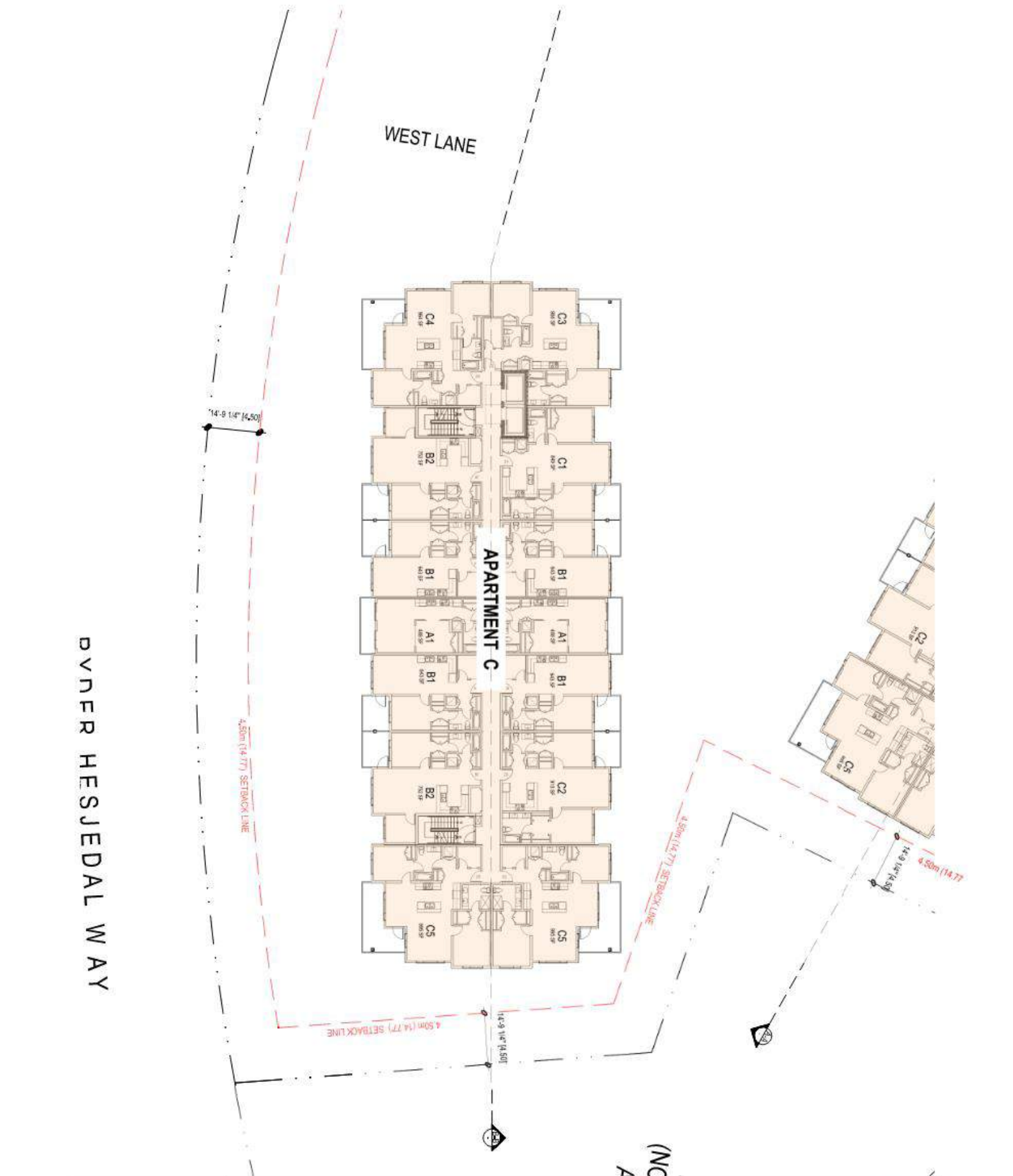
**DATE:** 29 JUN 2023

**SCALE:** 1/8" = 1'-0"

**PROJECT:** 29 JUNE 2023

**OWNER:** EBR

BYNTER HESJEDAL WAY



**RHA**  
RH Architects Inc.  
230 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1  
1-800-668-0001  
604-681-0951  
www.rharchitects.ca

**PROJECT**  
DP RESUBMISSION #3  
281 LANE 2023

**DATE**  
30 MAR 2023

**CLIENT**  
PCARRgroup  
Parcels require their existing permits

**PROJECT**  
PARCEL B  
COWWOOD, B.C.

**CONTRACT**  
LEVEL 5 PLAN  
APARTMENT C

**DATE FILED**  
3/27/23 ~ 1:40P  
REGISTERED PLAN  
22 JUNE 2023  
OWNER: EBR  
PROJECT No. 2126/2138

**DATE**  
30 MAR 2023

**DESIGNER**  
A. ARCHITECTS INC.  
A. ARCHITECTS INC.  
A. ARCHITECTS INC.





RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.689.0901  
F: 604.689.0951  
www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	1. DESIGN CONCEPT PERMIT
20 JUN 2022	2. DP EXAMINATION #1
20 JUN 2022	3. DP EXAMINATION #2
29 JUN 2022	4. DP EXAMINATION #3

**PLANNED FOR**  
DP RESUBMISSION #3  
28 JUNE 2022

**NOTIFICATION** DATE  
This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of RH Architects Inc. The user of this drawing is deemed to have accepted the terms and conditions of use set forth in the "NOTIFICATION" block on the title block of this drawing. The user of this drawing is deemed to have accepted the terms and conditions of use set forth in the "NOTIFICATION" block on the title block of this drawing.

31 MAR 2023

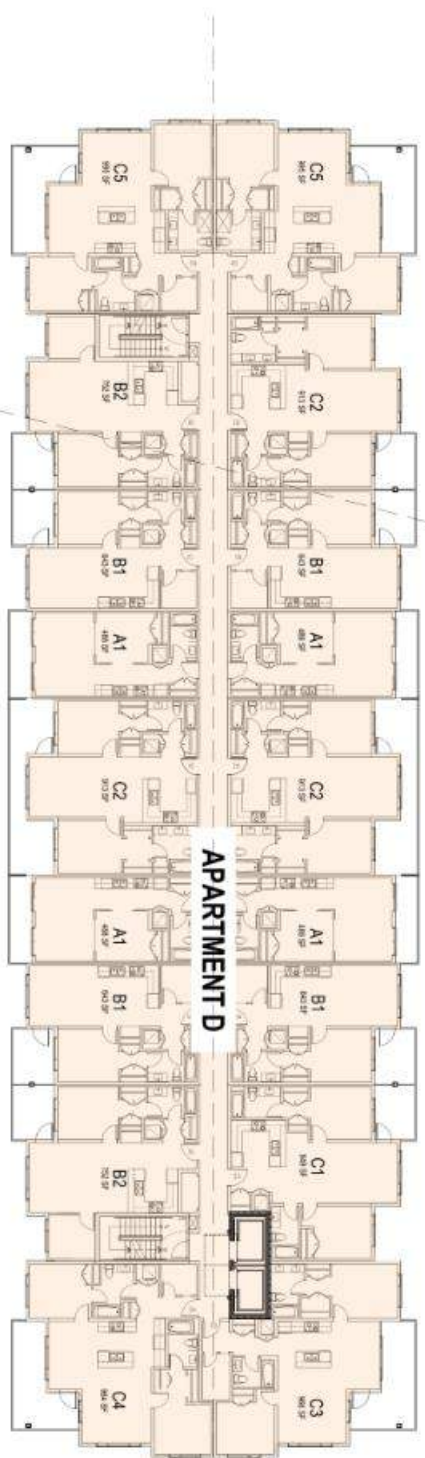
**pcaregroup**  
Project Support and Consulting Group

**PROJECT**  
PARCEL B  
COLWOOD, B.C.

**CONTRACT**  
LEVEL 5 PLAN  
APARTMENT D

**DATE FILE:** 3/27/23 ~ 140"  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNED BY:** EB  
**CHECKED BY:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**BY:** [Signature]  
**NO.:** A3.56



APARTMENT D

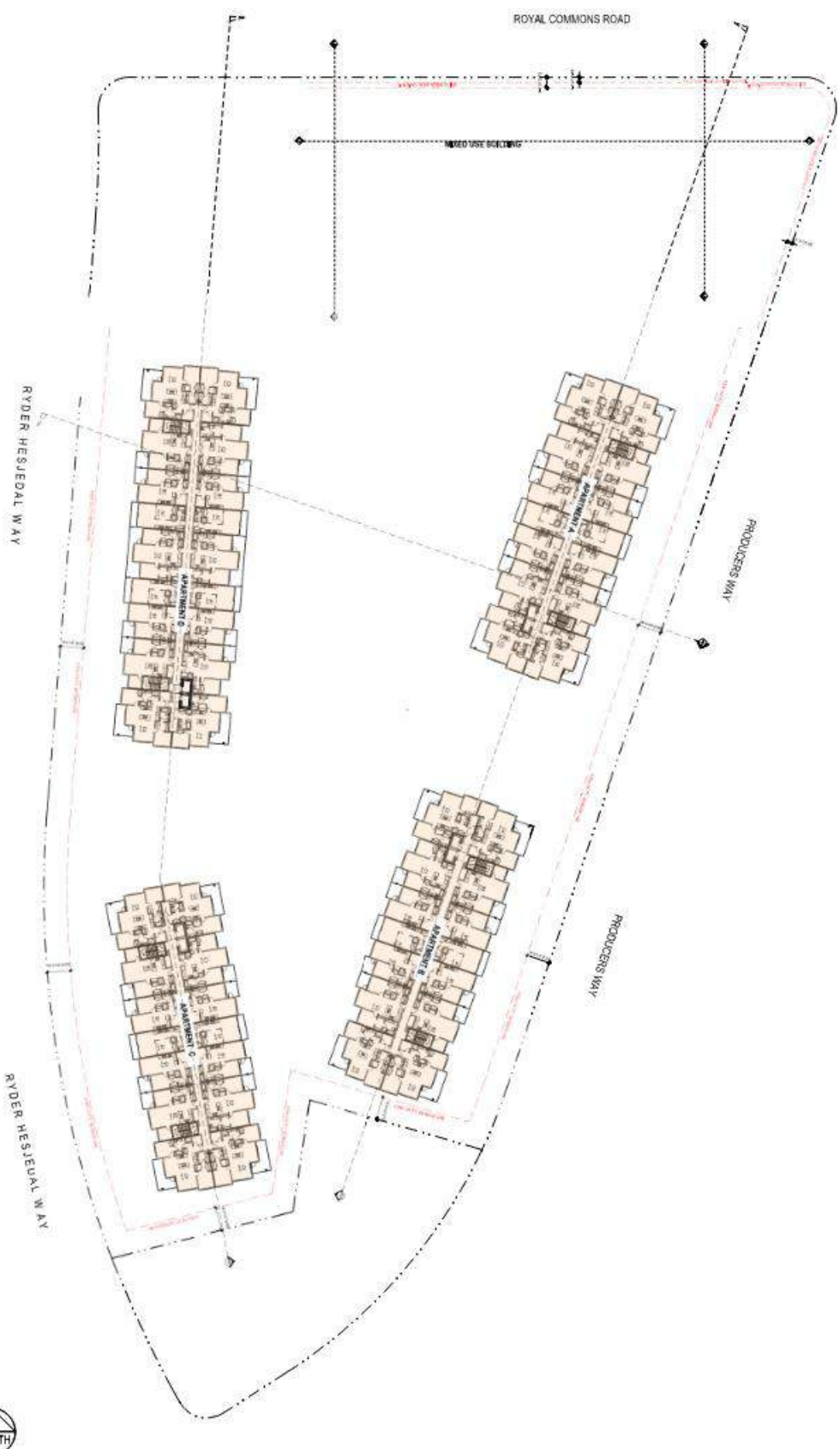
WEST LANE

4.50m (14'7") SETBACK LINE

4.50m (14'7") SETBACK LINE

14'-0" 114" (4.50)

RYDER HESJEDAL WAY



RH Architects Inc.

200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.689.8992  
 F: 604.689.8991  
 www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2023	1. DESIGN DEVELOPMENT
20 JUN 2023	2. PRELIMINARY PERMIT
20 JUN 2023	3. DP EXHIBIT #1 & #2
20 JUN 2023	4. DP EXHIBIT #3 & #4
20 JUN 2023	5. DP EXHIBIT #5 & #6

**PLANNED FOR**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

5. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

6. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

7. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

8. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

9. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

10. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
 28 JUNE 2023  
 PCCRE Group  
 Pacific Empire Real Estate Group

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.

**CONTRACT NO.:**  
 LEVEL 6 PLAN

**DATE FILE:** 17/07/2023  
**SCALE:** 1/32" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P, S  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE PLOTTED:** 29 JUNE 2023  
**SCALE:** 1/32" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**FILE NAME:** A3.60

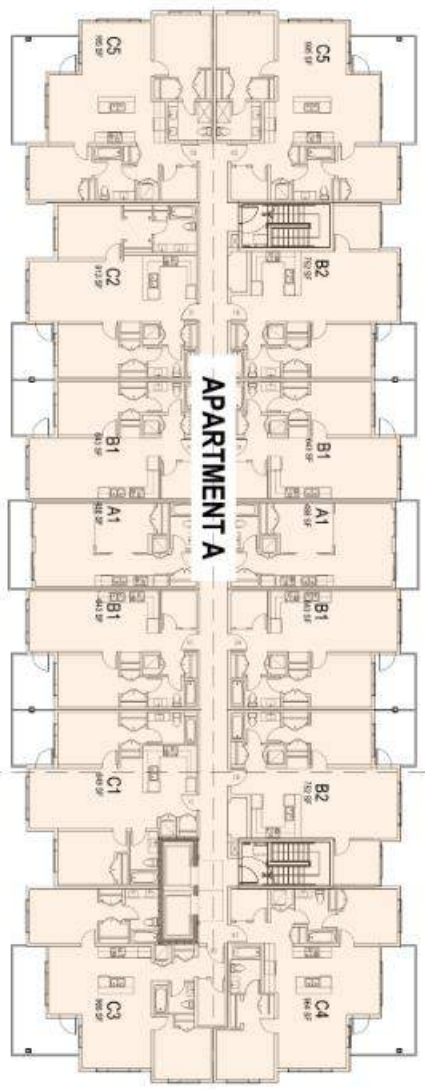


# PRODUCERS WAY



4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE



**RH Architects Inc.**  
 2300 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.689.0991  
 Fax: 604.689.0991  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 JUN 2022	CONCEPT DESIGN PERMIT
2.	20 JUN 2022	DP RESUBMISSION #3
3.	20 JUN 2022	DP RESUBMISSION #4
4.	29 JUN 2022	DP RESUBMISSION #5

**PROJECT TITLE**  
 DP RESUBMISSION #3  
 28 JULY 2022

**NOTES:**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 3. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 4. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 5. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT**  
 31 MAR 2023  
**PCARRgroup**  
 1000 West Broadway  
 Vancouver, BC Canada  
 V6H 1G5

**PROJECT**  
 PARCEL B  
 COLWOOD, B.C.  
**CONTRACT NO.**  
 2126/2138  
**LEVEL OF PLAN**  
 APARTMENT A

**DATE FILED:** 31 MAR 2023  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JULY 2023  
**DESIGNER:** P, S  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JULY 2023  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**FILE NO.:** A3.63

# PRODUCERS WAY



RH Architects Inc.

230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.688.0001  
F: 604.688.0051

www.rharchitects.ca

NO.	DATE	REVISION
1.	20 JUN 2022	SCHEMATIC DEVELOPMENT
2.	20 JUN 2022	SCHEMATIC DEVELOPMENT
3.	20 JUN 2022	SCHEMATIC DEVELOPMENT
4.	29 JUN 2022	SCHEMATIC DEVELOPMENT

**PROJEC**  
DP RESUBMISSION #3  
28 JUN 2022

**NOTES:**  
1. DATE  
2. DATE  
3. DATE  
4. DATE  
5. DATE  
6. DATE  
7. DATE  
8. DATE  
9. DATE  
10. DATE  
11. DATE  
12. DATE  
13. DATE  
14. DATE  
15. DATE  
16. DATE  
17. DATE  
18. DATE  
19. DATE  
20. DATE  
21. DATE  
22. DATE  
23. DATE  
24. DATE  
25. DATE  
26. DATE  
27. DATE  
28. DATE  
29. DATE  
30. DATE  
31. DATE  
32. DATE  
33. DATE  
34. DATE  
35. DATE  
36. DATE  
37. DATE  
38. DATE  
39. DATE  
40. DATE  
41. DATE  
42. DATE  
43. DATE  
44. DATE  
45. DATE  
46. DATE  
47. DATE  
48. DATE  
49. DATE  
50. DATE  
51. DATE  
52. DATE  
53. DATE  
54. DATE  
55. DATE  
56. DATE  
57. DATE  
58. DATE  
59. DATE  
60. DATE  
61. DATE  
62. DATE  
63. DATE  
64. DATE  
65. DATE  
66. DATE  
67. DATE  
68. DATE  
69. DATE  
70. DATE  
71. DATE  
72. DATE  
73. DATE  
74. DATE  
75. DATE  
76. DATE  
77. DATE  
78. DATE  
79. DATE  
80. DATE  
81. DATE  
82. DATE  
83. DATE  
84. DATE  
85. DATE  
86. DATE  
87. DATE  
88. DATE  
89. DATE  
90. DATE  
91. DATE  
92. DATE  
93. DATE  
94. DATE  
95. DATE  
96. DATE  
97. DATE  
98. DATE  
99. DATE  
100. DATE

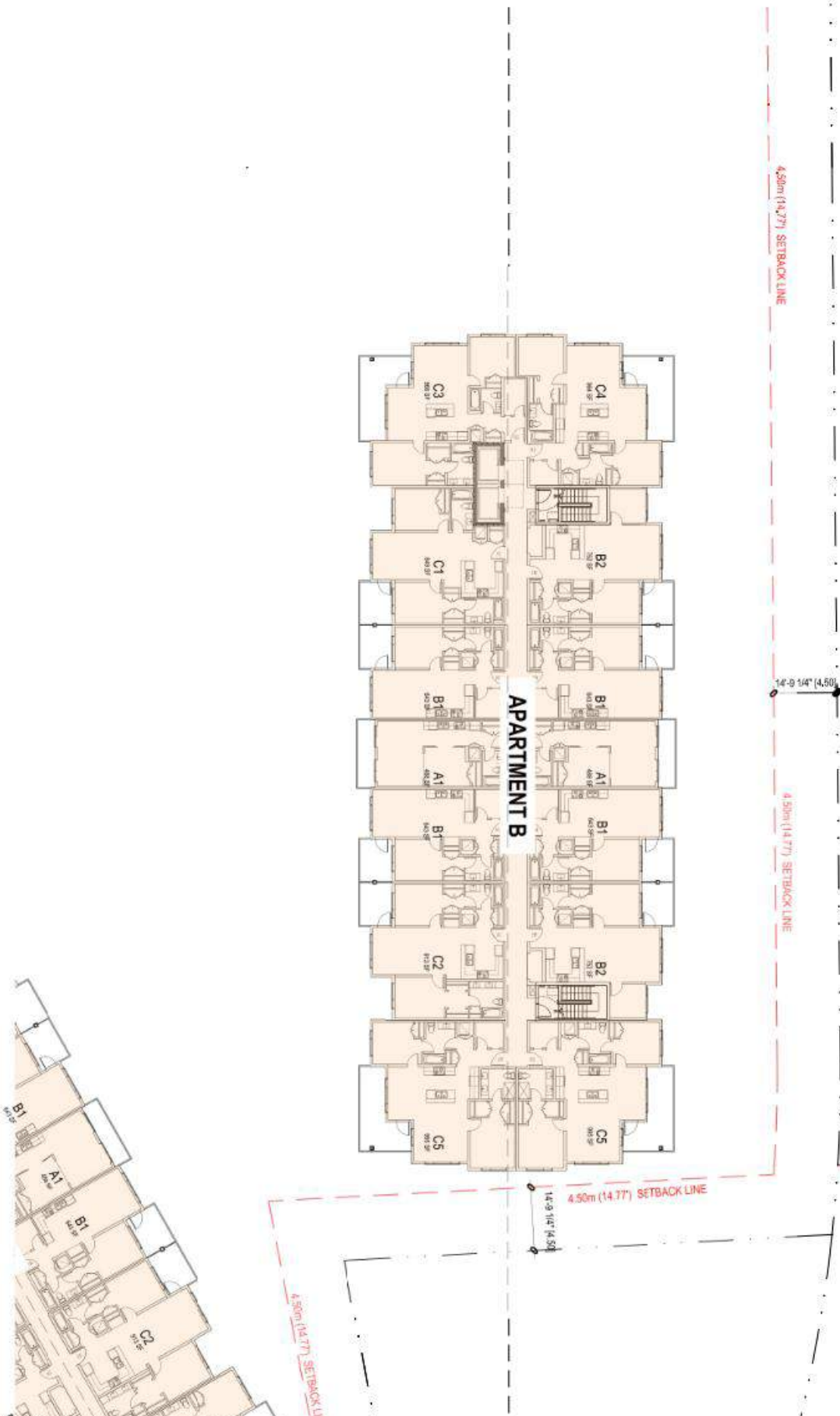
**CLIENT:**  
31 MAR 2022  
PCARRgroup  
provide complete floor plan for approval

**PROJECT:**  
PARCEL B  
COWWOOD, B.C.

**CONTRACT:**  
LEVEL 6 PLAN  
APARTMENT B

**DATE FILE:** 31 MAR 2022  
**SCALE:** 3/32" = 1'-0"  
**PERMIT:** 22 JUL 2023  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 20 JUN 2022  
**SCALE:** 3/32" = 1'-0"  
**PERMIT:** 22 JUL 2023  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138  
**DATE:** 20 JUN 2022  
**SCALE:** 3/32" = 1'-0"  
**PERMIT:** 22 JUL 2023  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138







RH Architects Inc.

200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

1-800-669-0992  
604-683-0992

www.rharchitects.ca

DATE	REVISION
20 JUN 2023	1. DESIGN DEVELOPMENT
20 JUN 2023	2. DP EXHIBITION #3
20 JUN 2023	3. DP EXHIBITION #4
20 JUN 2023	4. DP EXHIBITION #5
20 JUN 2023	5. DP EXHIBITION #6

**PROJECT TITLE**  
DP RESUBMISSION #3  
20 JUN 2023

**DATE**  
20 JUN 2023

**NOTES:**  
1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT**  
31 MAY 2023

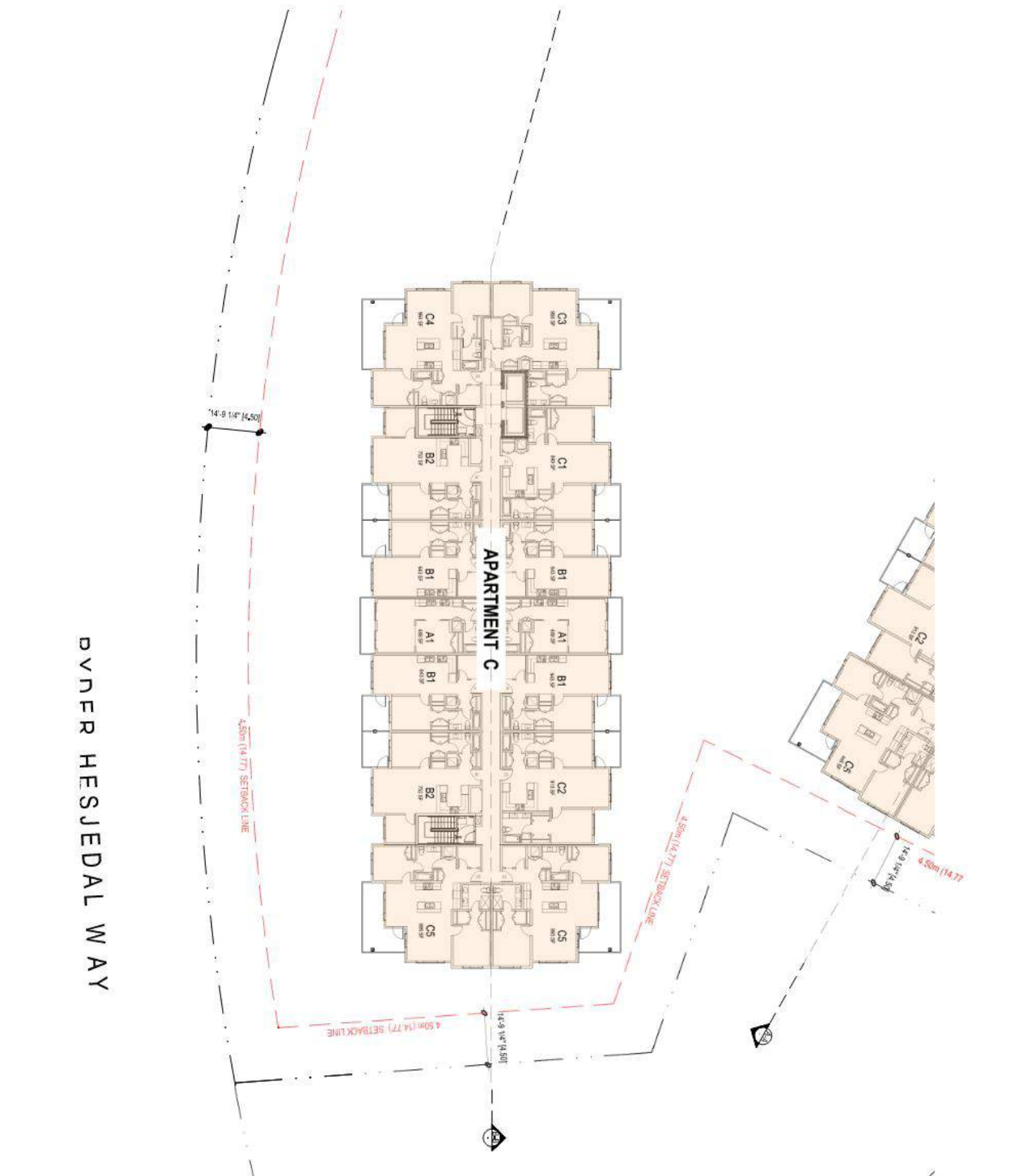
**PCARRgroup**  
Project requires prior written approval

**PROJECT**  
PARCEL B  
COWWOOD, B.C.

**CONTRACT NO.**  
LEVEL 6 PLAN  
APARTMENT C

**DATE FILE:** 31 MAY 2023  
**SCALE:** 3/32" = 1'-0"  
**REVISION:** 20 JUN 2023  
**DESIGNER:** P, J, S  
**CHECKER:** E, B, S  
**PROJECT NO.:** 2126/2138

**DATE:** 20 JUN 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT NO.:** 2126/2138



DYNER HESJEDAL WAY



RH Architects Inc.

230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

+1 604 688 8991  
+1 604 688 8992  
+1 604 688 8993  
www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2023	1. DESIGN DEVELOPMENT PERMIT
20 JUN 2023	2. DP EXHIBIT #1
20 JUN 2023	3. DP EXHIBIT #2
20 JUN 2023	4. DP EXHIBIT #3
20 JUN 2023	5. DP EXHIBIT #4

**PROJECT TITLE**  
DP RESUBMISSION #3  
28 JUNE 2023

**NOTES:**

1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

30 JUN 2023

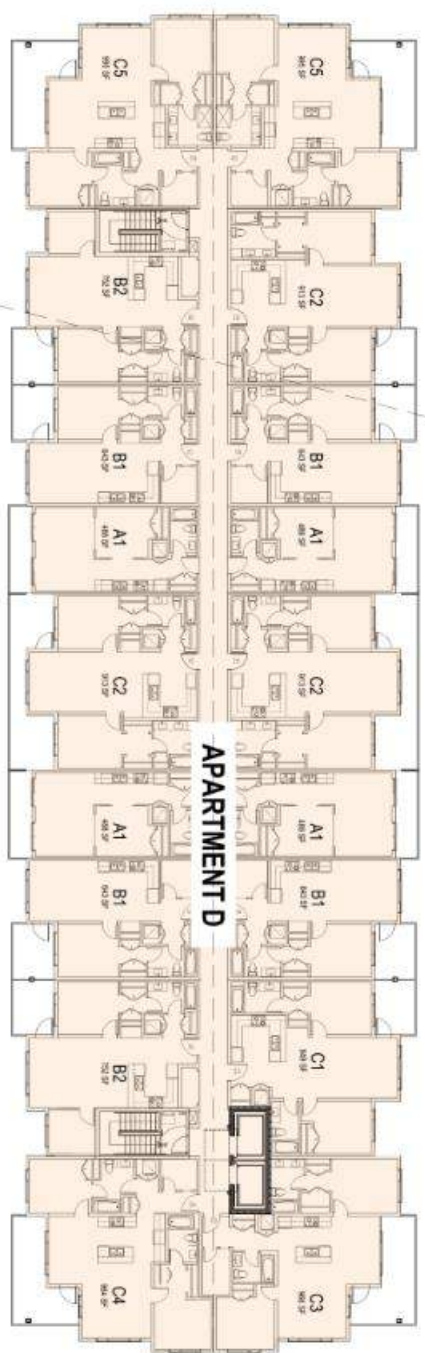
**PCARFgroup**  
Professional Engineers and Architects  
1000 West Broadway, Suite 1000  
Vancouver, BC V6H 3G9  
Tel: 604.688.8991  
Fax: 604.688.8992  
www.pcarfgroup.com

**PROJECT**  
PARCEL B  
COLWOOD, B.C.

**CLIENT**  
LEVEL 6 PLAN  
APARTMENT D

**DATE FILE:** 3/27/23 ~ 148"  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 22 JUNE 2023  
**DESIGNED BY:** EBR  
**CHECKED BY:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 20 JUN 2023  
**BY:** [Signature]  
**SCALE:** A3.66



APARTMENT D

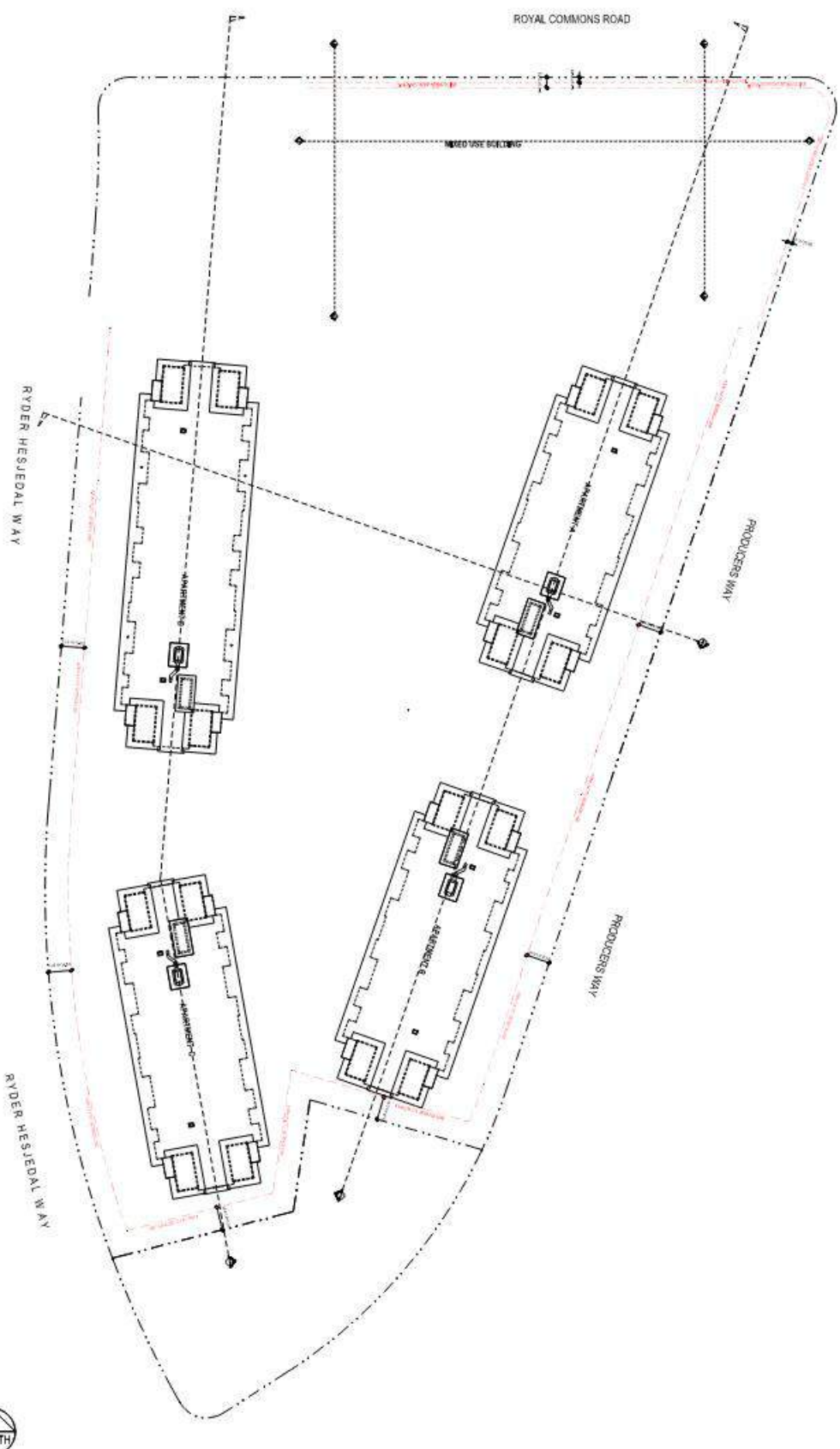
4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

14'-0" 114" (4.50)

RYDER HESJEDAL WAY





**RH Architects Inc.**  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 +1 (604) 683-0001  
 info@rharchitects.com  
 www.rharchitects.com

DESIGN	DATE
1. CONCEPT DESIGN PERMIT	20 JUN 2022
2. PRELIMINARY DESIGN PERMIT	20 JUN 2022
3. DP EXHIBIT #1 & #2	20 JUN 2022
4. DP EXHIBIT #3 & #4	29 JUN 2022

**PROJECT INFO**  
**DP RESUBMISSION #3**  
 28 JUNE 2022

**NOTES:**

1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
 30 JUNE 2022  
**PCARRgroup**  
 Pacific Capital Real Estate Group

**PROJECT:**  
**PARCEL B**  
 COWIWOOD, B.C.  
**CONTRACT NO.:**  
**ROOF PLAN**

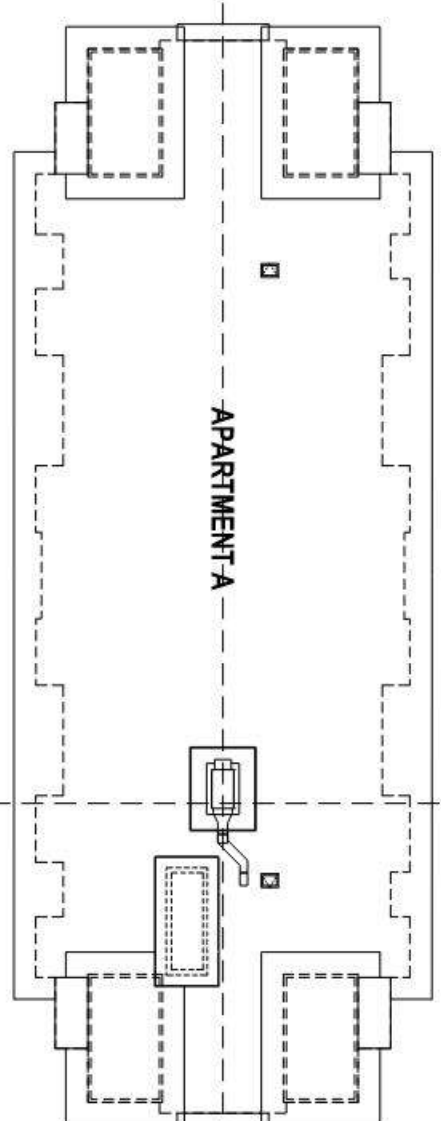
**DATE FILE:** 1/27/22 - 1407  
**MODEL:** 22 JUNE 2022  
**PERMIT DATE:** 29 JUNE 2022  
**CONTRACT NO.:** P18  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

**SCALE:**  
 1/8" = 1'-0"  
**DATE:**  
**A3.70**

# PRODUCERS WAY



4.50m (14.77') SETBACK LINE



**RH Architects Inc.**  
 200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 T: 604.689.0091  
 F: 604.689.0951  
 www.rharchitects.ca

DATE	BY
30 MAR 2023	DR
29 MAR 2023	DR
29 MAR 2023	DR
29 MAR 2023	DR

**PROJECT**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES:**

1. THIS PLAN IS A REVISION OF THE PREVIOUS PLAN AND SHOULD BE READ IN CONJUNCTION WITH THE PREVIOUS PLAN.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. ALL WALLS ARE 100MM THICK UNLESS OTHERWISE SPECIFIED.
4. ALL FLOORS ARE 100MM THICK UNLESS OTHERWISE SPECIFIED.
5. ALL CEILING ARE 100MM THICK UNLESS OTHERWISE SPECIFIED.
6. ALL ROOFS ARE 100MM THICK UNLESS OTHERWISE SPECIFIED.
7. ALL DOORS ARE 2000MM HIGH UNLESS OTHERWISE SPECIFIED.
8. ALL WINDOWS ARE 2000MM HIGH UNLESS OTHERWISE SPECIFIED.
9. ALL STAIRS ARE 1000MM WIDE UNLESS OTHERWISE SPECIFIED.
10. ALL HALLWAYS ARE 1000MM WIDE UNLESS OTHERWISE SPECIFIED.
11. ALL ROOMS ARE 3000MM WIDE UNLESS OTHERWISE SPECIFIED.
12. ALL ROOMS ARE 3000MM DEEP UNLESS OTHERWISE SPECIFIED.
13. ALL ROOMS ARE 3000MM HIGH UNLESS OTHERWISE SPECIFIED.
14. ALL ROOMS ARE 3000MM LONG UNLESS OTHERWISE SPECIFIED.
15. ALL ROOMS ARE 3000MM SQUARE UNLESS OTHERWISE SPECIFIED.
16. ALL ROOMS ARE 3000MM CIRCULAR UNLESS OTHERWISE SPECIFIED.
17. ALL ROOMS ARE 3000MM POLYGONAL UNLESS OTHERWISE SPECIFIED.
18. ALL ROOMS ARE 3000MM TRIANGULAR UNLESS OTHERWISE SPECIFIED.
19. ALL ROOMS ARE 3000MM QUADRILATERAL UNLESS OTHERWISE SPECIFIED.
20. ALL ROOMS ARE 3000MM PENTAGONAL UNLESS OTHERWISE SPECIFIED.
21. ALL ROOMS ARE 3000MM HEXAGONAL UNLESS OTHERWISE SPECIFIED.
22. ALL ROOMS ARE 3000MM SEPTAGONAL UNLESS OTHERWISE SPECIFIED.
23. ALL ROOMS ARE 3000MM OCTAGONAL UNLESS OTHERWISE SPECIFIED.
24. ALL ROOMS ARE 3000MM NONAGONAL UNLESS OTHERWISE SPECIFIED.
25. ALL ROOMS ARE 3000MM DECAGONAL UNLESS OTHERWISE SPECIFIED.
26. ALL ROOMS ARE 3000MM UNDECAGONAL UNLESS OTHERWISE SPECIFIED.
27. ALL ROOMS ARE 3000MM DODECAGONAL UNLESS OTHERWISE SPECIFIED.
28. ALL ROOMS ARE 3000MM TRIGONAL UNLESS OTHERWISE SPECIFIED.
29. ALL ROOMS ARE 3000MM TETRAONAL UNLESS OTHERWISE SPECIFIED.
30. ALL ROOMS ARE 3000MM PENTAONAL UNLESS OTHERWISE SPECIFIED.
31. ALL ROOMS ARE 3000MM HEXAONAL UNLESS OTHERWISE SPECIFIED.
32. ALL ROOMS ARE 3000MM HEPTAONAL UNLESS OTHERWISE SPECIFIED.
33. ALL ROOMS ARE 3000MM OCTAONAL UNLESS OTHERWISE SPECIFIED.
34. ALL ROOMS ARE 3000MM ENNEAONAL UNLESS OTHERWISE SPECIFIED.
35. ALL ROOMS ARE 3000MM DEKAONAL UNLESS OTHERWISE SPECIFIED.
36. ALL ROOMS ARE 3000MM HEDERA UNLESS OTHERWISE SPECIFIED.
37. ALL ROOMS ARE 3000MM TRIKORON UNLESS OTHERWISE SPECIFIED.
38. ALL ROOMS ARE 3000MM TETRAKORON UNLESS OTHERWISE SPECIFIED.
39. ALL ROOMS ARE 3000MM PENTAKORON UNLESS OTHERWISE SPECIFIED.
40. ALL ROOMS ARE 3000MM HEXAKORON UNLESS OTHERWISE SPECIFIED.
41. ALL ROOMS ARE 3000MM HEPTAKORON UNLESS OTHERWISE SPECIFIED.
42. ALL ROOMS ARE 3000MM OKTAKORON UNLESS OTHERWISE SPECIFIED.
43. ALL ROOMS ARE 3000MM ENNEAKORON UNLESS OTHERWISE SPECIFIED.
44. ALL ROOMS ARE 3000MM DEKAOKORON UNLESS OTHERWISE SPECIFIED.
45. ALL ROOMS ARE 3000MM HEDERAKORON UNLESS OTHERWISE SPECIFIED.
46. ALL ROOMS ARE 3000MM TRIKORONAKORON UNLESS OTHERWISE SPECIFIED.
47. ALL ROOMS ARE 3000MM TETRAKORONAKORON UNLESS OTHERWISE SPECIFIED.
48. ALL ROOMS ARE 3000MM PENTAKORONAKORON UNLESS OTHERWISE SPECIFIED.
49. ALL ROOMS ARE 3000MM HEXAKORONAKORON UNLESS OTHERWISE SPECIFIED.
50. ALL ROOMS ARE 3000MM HEPTAKORONAKORON UNLESS OTHERWISE SPECIFIED.
51. ALL ROOMS ARE 3000MM OKTAKORONAKORON UNLESS OTHERWISE SPECIFIED.
52. ALL ROOMS ARE 3000MM ENNEAKORONAKORON UNLESS OTHERWISE SPECIFIED.
53. ALL ROOMS ARE 3000MM DEKAOKORONAKORON UNLESS OTHERWISE SPECIFIED.
54. ALL ROOMS ARE 3000MM HEDERAKORONAKORON UNLESS OTHERWISE SPECIFIED.
55. ALL ROOMS ARE 3000MM TRIKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
56. ALL ROOMS ARE 3000MM TETRAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
57. ALL ROOMS ARE 3000MM PENTAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
58. ALL ROOMS ARE 3000MM HEXAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
59. ALL ROOMS ARE 3000MM HEPTAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
60. ALL ROOMS ARE 3000MM OKTAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
61. ALL ROOMS ARE 3000MM ENNEAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
62. ALL ROOMS ARE 3000MM DEKAOKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
63. ALL ROOMS ARE 3000MM HEDERAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
64. ALL ROOMS ARE 3000MM TRIKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
65. ALL ROOMS ARE 3000MM TETRAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
66. ALL ROOMS ARE 3000MM PENTAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
67. ALL ROOMS ARE 3000MM HEXAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
68. ALL ROOMS ARE 3000MM HEPTAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
69. ALL ROOMS ARE 3000MM OKTAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
70. ALL ROOMS ARE 3000MM ENNEAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
71. ALL ROOMS ARE 3000MM DEKAOKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
72. ALL ROOMS ARE 3000MM HEDERAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
73. ALL ROOMS ARE 3000MM TRIKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
74. ALL ROOMS ARE 3000MM TETRAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
75. ALL ROOMS ARE 3000MM PENTAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
76. ALL ROOMS ARE 3000MM HEXAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
77. ALL ROOMS ARE 3000MM HEPTAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
78. ALL ROOMS ARE 3000MM OKTAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
79. ALL ROOMS ARE 3000MM ENNEAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
80. ALL ROOMS ARE 3000MM DEKAOKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
81. ALL ROOMS ARE 3000MM HEDERAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
82. ALL ROOMS ARE 3000MM TRIKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
83. ALL ROOMS ARE 3000MM TETRAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
84. ALL ROOMS ARE 3000MM PENTAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
85. ALL ROOMS ARE 3000MM HEXAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
86. ALL ROOMS ARE 3000MM HEPTAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
87. ALL ROOMS ARE 3000MM OKTAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
88. ALL ROOMS ARE 3000MM ENNEAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
89. ALL ROOMS ARE 3000MM DEKAOKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
90. ALL ROOMS ARE 3000MM HEDERAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
91. ALL ROOMS ARE 3000MM TRIKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
92. ALL ROOMS ARE 3000MM TETRAKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
93. ALL ROOMS ARE 3000MM PENTAKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
94. ALL ROOMS ARE 3000MM HEXAKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
95. ALL ROOMS ARE 3000MM HEPTAKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
96. ALL ROOMS ARE 3000MM OKTAKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
97. ALL ROOMS ARE 3000MM ENNEAKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
98. ALL ROOMS ARE 3000MM DEKAOKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
99. ALL ROOMS ARE 3000MM HEDERAKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.
100. ALL ROOMS ARE 3000MM TRIKORONAKORONAKORONAKORONAKORONAKORONAKORONAKORON UNLESS OTHERWISE SPECIFIED.

**CLIENT**  
 30 MAR 2023

**PCARRgroup**  
*providing expertise since 1986*

**PROJECT**  
 PARCEL B  
 COLWOOD, B.C.

**DATE FILE:** 31/03/2023  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** PS  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 30 MAR 2023  
**BY:** DR  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** PS  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 30 MAR 2023  
**BY:** DR  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** PS  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138



# PRODUCERS WAY



RH Architects Inc.

230 Powell Street, Unit 30  
Vancouver, BC Canada  
V6A 3G1

T: 604.689.8992  
F: 604.689.8991

www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. INITIAL DESIGN PERMIT
20 JUN 2022	2. DP RESUBMISSION #3
29 JUN 2022	3. DP RESUBMISSION #4
29 JUN 2022	4. DP RESUBMISSION #5

**PLANNED FOR**  
DP RESUBMISSION #3  
28 JUNE 2023

**NOTES:**

1. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

2. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

3. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

4. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

5. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

6. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

7. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

8. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

9. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

10. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE.

30 JUN 2023

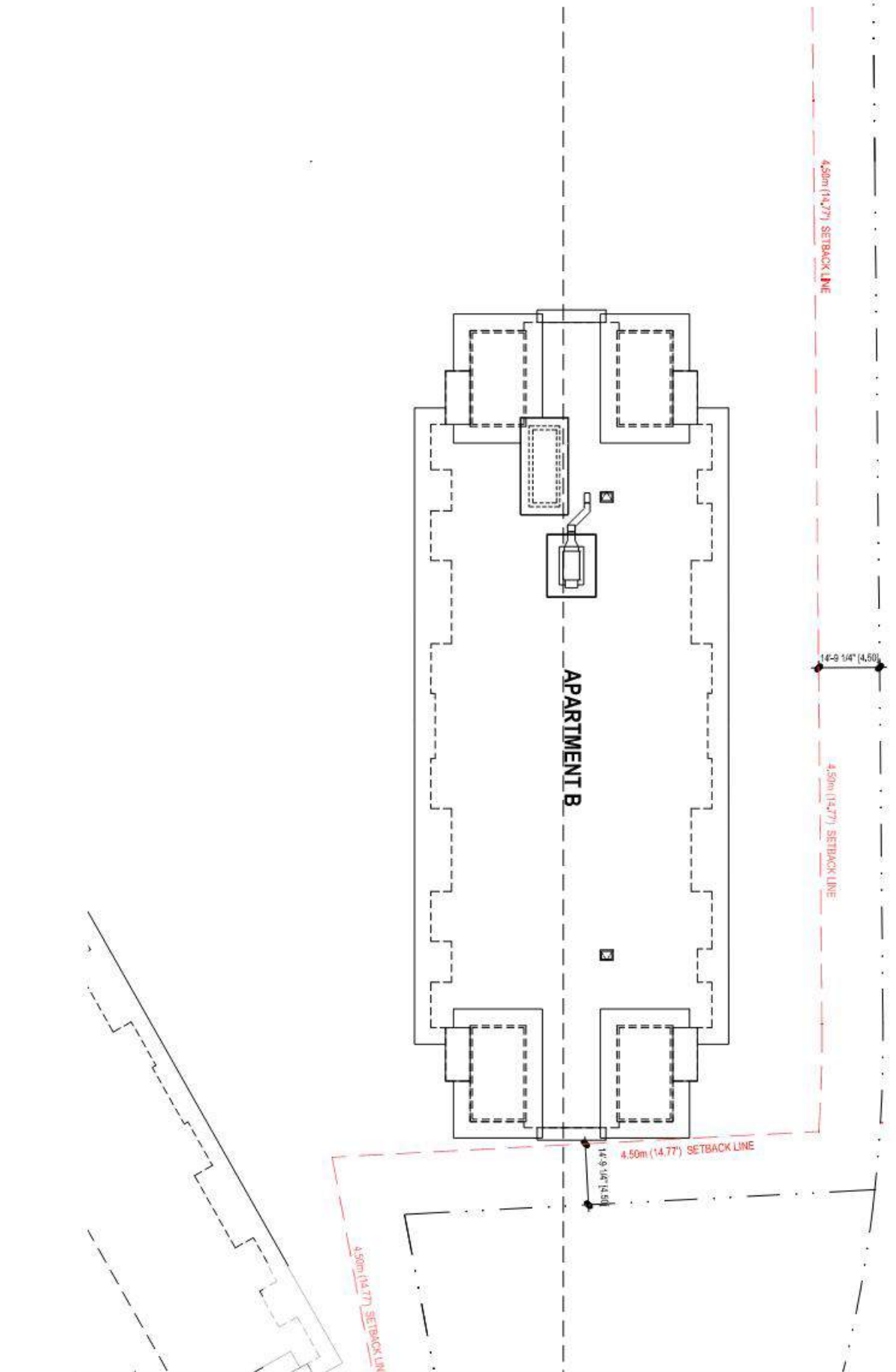


**PROJECT:**  
PARCEL B  
COLWOOD, B.C.

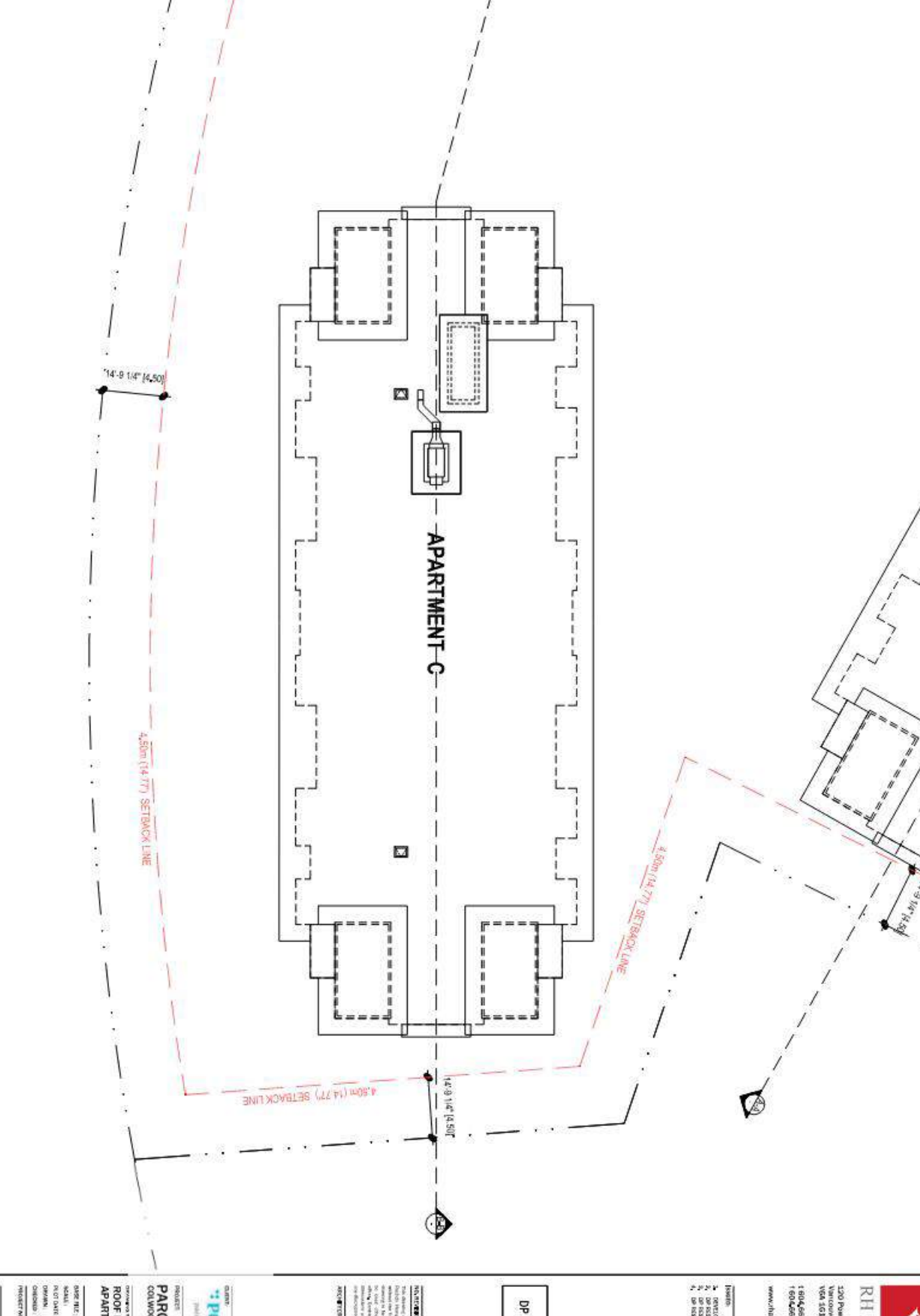
**CONTRACT:**  
LEVEL 6 PLAN  
APARTMENT B

**DATE FILE:** 31/07/2022  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29/06/2023  
**DESIGNER:** EBB  
**PROJECT NO.:** 2126/2138

**DATE:** 2023  
**NO.:** A3.74



RYAN HESJEDAL WAY



APARTMENT C

4.50m (14.77') SETBACK LINE

14.91m (49.57')

4.50m (14.77') SETBACK LINE

14.91m (49.57')

**RHA**  
RH Architects Inc.  
200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1  
1-800-669-0992  
1-604-682-0992  
www.rharchitects.ca

DATE	REVISION
20/04/2022	1. INITIAL DESIGN PERMIT
20/04/2022	2. DP EXCLUSION PERMIT
20/04/2022	3. DP EXCLUSION PERMIT
20/04/2022	4. DP EXCLUSION PERMIT

**PROJEC**  
DP RESUBMISSION #3  
20/04/2022

**CLIENT**  
PCARRgroup  
2126/2138

**PROJECT**  
PARCEL B  
COWWOOD, B.C.

**DATE**  
31 MAR 2023

**SCALE**  
3/32" = 1'-0"  
PRINTED: 22 JUNE 2023  
DRAWN: P. 58  
CHECKED: EBB  
PROJECT NO. 2126/2138

**DATE**  
31 MAR 2023

**SCALE**  
3/32" = 1'-0"  
PRINTED: 22 JUNE 2023  
DRAWN: P. 58  
CHECKED: EBB  
PROJECT NO. 2126/2138





RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.689.8991  
F: 604.689.0951

www.rharchitects.ca

DATE	DESCRIPTION
20/09/2022	1. DESIGN CONCEPT PRELIM
20/09/2022	2. DP EXPLANATION #1
20/09/2022	3. DP EXPLANATION #2
20/09/2022	4. DP EXPLANATION #3
20/09/2022	5. DP EXPLANATION #4

**PROJECT NAME**  
DP RESUBMISSION #3  
28 JUNE 2023

**NOTES:**

1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

30 MAR 2023

**PCARFgroup**  
Project requires prior written approval

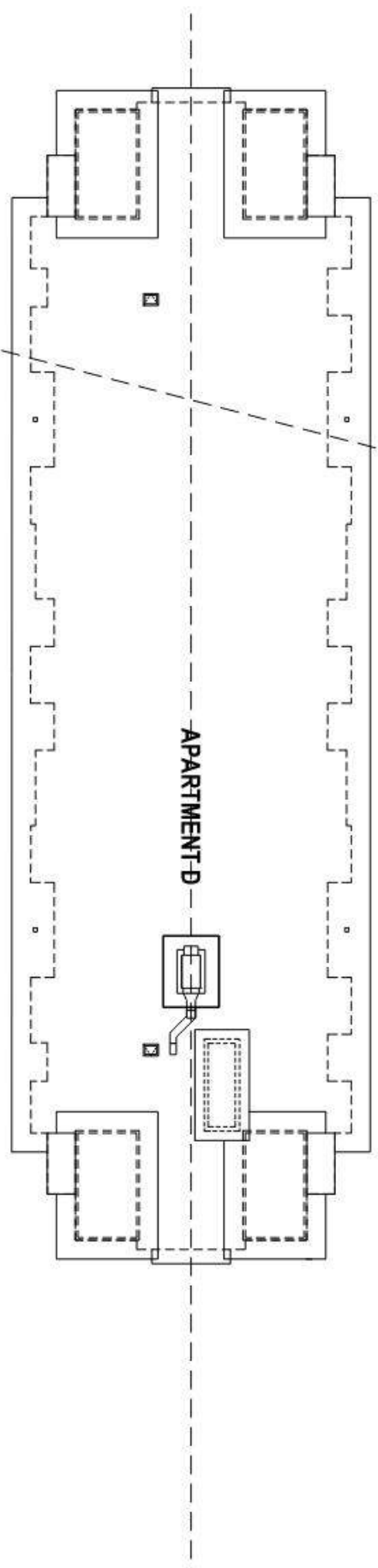
**PROJECT**  
PARCEL B  
COLWOOD, B.C.

**PROJECT TYPE**  
ROOF PLAN  
APARTMENT D

**DATE FILE:** 3/27/2023 ~ 1:45P  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 22 JUNE 2023  
**DESIGNED BY:** PS  
**CHECKED BY:** EBB  
**PROJECT NO.:** 2126/2138

**DATE:** 20/09/2022  
**BY:** [Signature]  
**SCALE:** A3.76

RYDER HESJEDAL WAY



4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

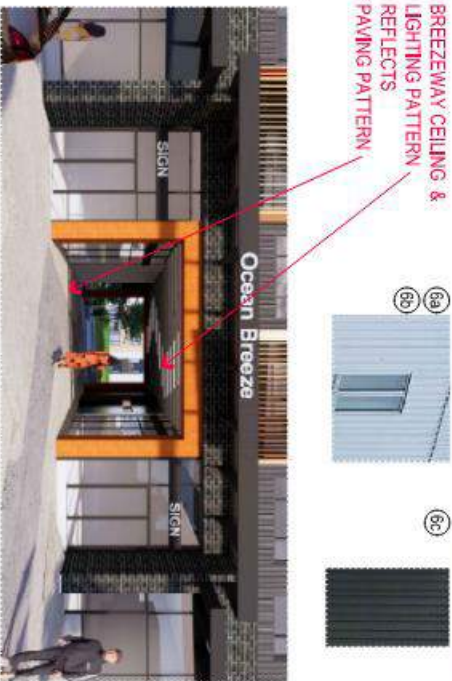
14'-0" 114" (4.50)



**NORTH ELEVATION - view from Royal Commons Road**

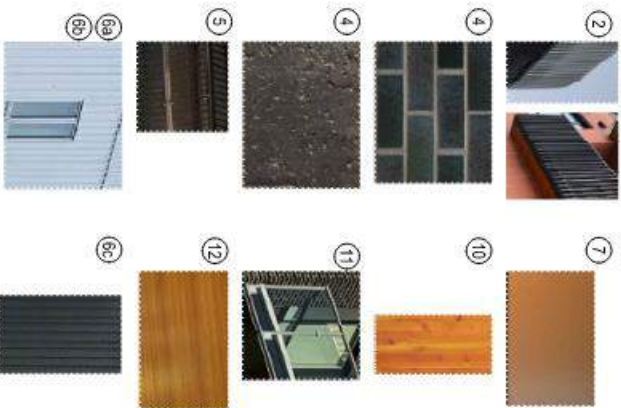


**BREEZEWAY - view from North Lane**



**BREEZEWAY - view from Royal Commons Road**

MATERIAL LEGEND	COLOR
1. WINDOW FRAME	BLACK
2. STYL. QUARTZ COUNTER	BLACK
3. ALUM. MET. SIGN	BLACK
4. SIGN COATING	BLACK
5. FINISH COAT	BLACK
6. STEEL (W/OUT SIGN)	BLACK
7. STEEL (W/OUT SIGN) - 1/2" DIA. W/OUT SIGN	BLACK
8. STEEL (W/OUT SIGN) - 1/2" DIA. W/OUT SIGN	BLACK
9. STEEL (W/OUT SIGN) - 1/2" DIA. W/OUT SIGN	BLACK
10. STEEL (W/OUT SIGN) - 1/2" DIA. W/OUT SIGN	BLACK
11. STEEL (W/OUT SIGN) - 1/2" DIA. W/OUT SIGN	BLACK
12. STEEL (W/OUT SIGN) - 1/2" DIA. W/OUT SIGN	BLACK
13. STEEL (W/OUT SIGN) - 1/2" DIA. W/OUT SIGN	BLACK



RH Architects Inc.

200 Broad Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1  
 1-844-666-8992  
 1-604-686-8992  
 info@rharchitects.com  
 www.rharchitects.com

DATE: 20/06/2023  
 DRAWING NO: 20-1001-0001  
 PROJECT NO: 20-1001-0001  
 CLIENT: PAREG GROUP  
 20 BAYVIEW AVENUE  
 SCARBOROUGH, ONTARIO M1S 5R7

PROJECT NO: 20-1001-0001  
 DRAWING NO: 20-1001-0001  
 DATE: 20/06/2023

DATE: 20/06/2023  
 DRAWING NO: 20-1001-0001  
 PROJECT NO: 20-1001-0001  
 CLIENT: PAREG GROUP  
 20 BAYVIEW AVENUE  
 SCARBOROUGH, ONTARIO M1S 5R7

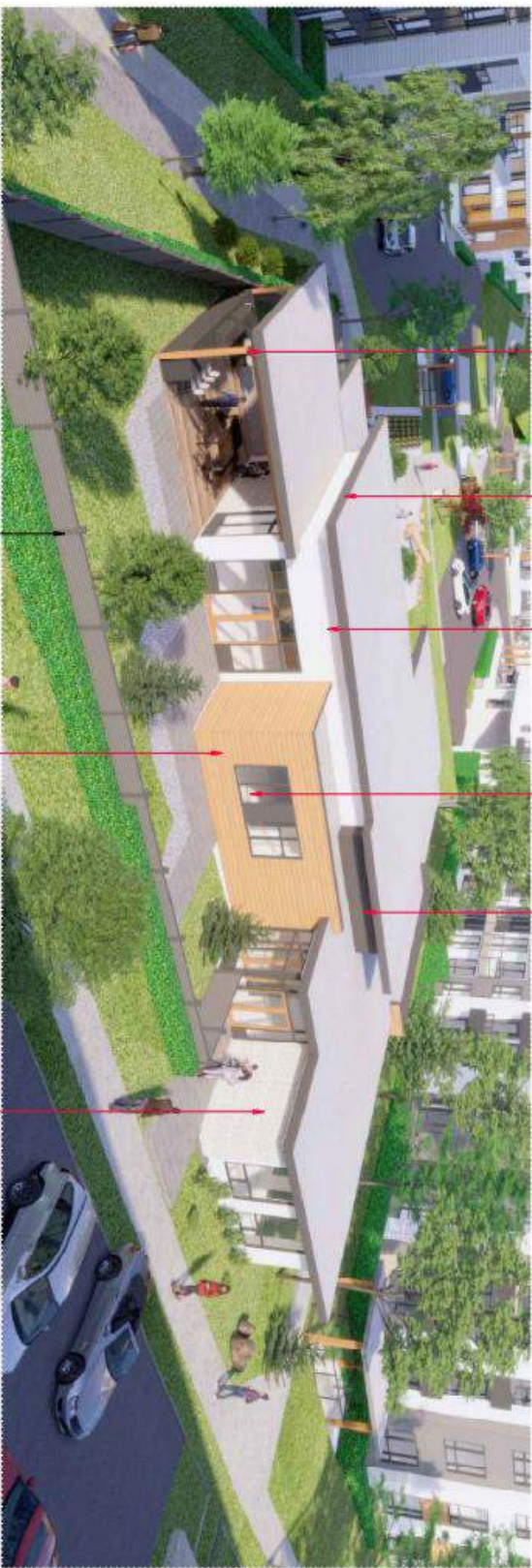
DATE: 20/06/2023  
 DRAWING NO: 20-1001-0001  
 PROJECT NO: 20-1001-0001  
 CLIENT: PAREG GROUP  
 20 BAYVIEW AVENUE  
 SCARBOROUGH, ONTARIO M1S 5R7

DATE: 20/06/2023  
 DRAWING NO: 20-1001-0001  
 PROJECT NO: 20-1001-0001  
 CLIENT: PAREG GROUP  
 20 BAYVIEW AVENUE  
 SCARBOROUGH, ONTARIO M1S 5R7

DATE: 20/06/2023  
 DRAWING NO: 20-1001-0001  
 PROJECT NO: 20-1001-0001  
 CLIENT: PAREG GROUP  
 20 BAYVIEW AVENUE  
 SCARBOROUGH, ONTARIO M1S 5R7

DATE: 20/06/2023  
 DRAWING NO: 20-1001-0001  
 PROJECT NO: 20-1001-0001  
 CLIENT: PAREG GROUP  
 20 BAYVIEW AVENUE  
 SCARBOROUGH, ONTARIO M1S 5R7





MATERIAL LEGEND	COLOR
20 - GRANITE/CONCRETE	CONCRETE GREY
21 - CERAMIC TILE	GREY
22 - CERAMIC TILE	GREY
23 - BRICK	BRICK
24 - WOOD	BLACK
25 - PORTLAND CEMENT	WOODGRAIN
26 - ALUMINUM	WOODGRAIN
27 - CONCRETE	CONCRETE



**RH Architects Inc.**

200 Power Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 1-844-668-0002  
 604-683-0092  
 www.rharchitects.ca

DESIGN	DATE
1. CONCEPT DESIGN	20 JUN 2022
2. PRELIMINARY DESIGN	20 JUN 2022
3. PRELIMINARY DESIGN	20 JUN 2022
4. PRELIMINARY DESIGN	20 JUN 2022

**PROJECT NAME**  
 DP RESUBMISSION #3  
 28 JUNE 2022

**NOTES:**  
 DATE:  
 THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THE INFORMATION CONTAINED HEREIN IS CONFIDENTIAL AND IS NOT TO BE DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
 93 MAIN STREET  
**PEREGRINEgroup**  
 1400-1000 West 10th Street  
 VANCOUVER, BC  
**PROJECT:**  
 PARCEL B  
 CONDOMINIUM BLDG

**PROJECT NO.:**  
 2126/2138

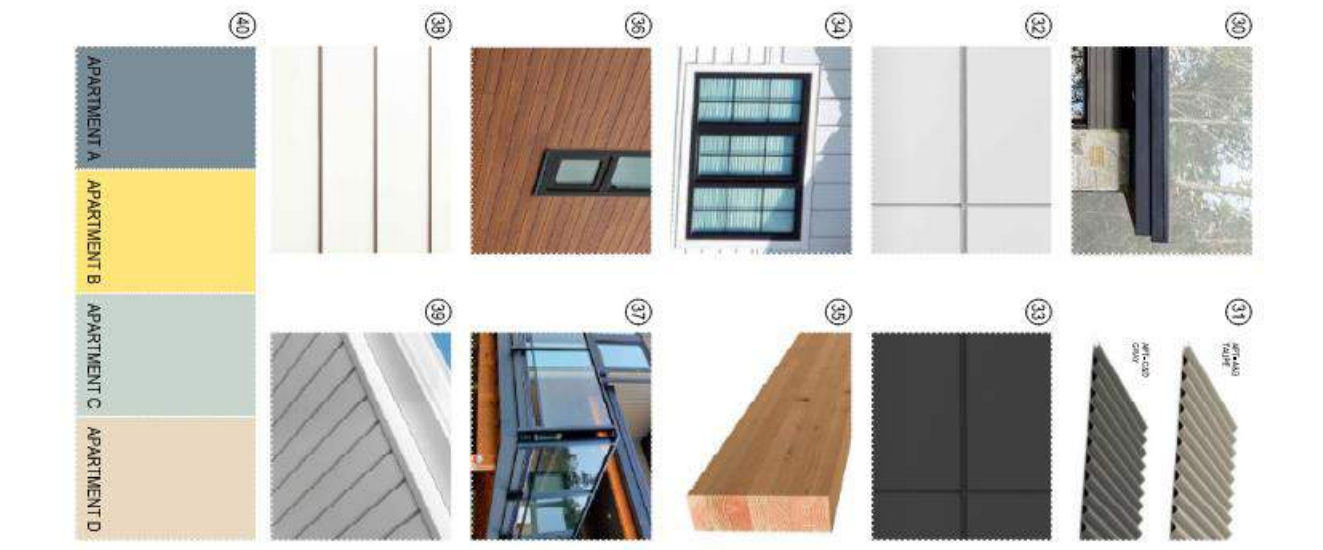
**DATE FILED:** 17/07/2022  
**SCALE:** 1/2" = 1'-0"  
**DATE:** 22 JUNE 2022  
**PROJECT NO.:** 2126/2138  
**CLIENT:** PEREGRINE  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138  
**DATE:** 22 JUNE 2022  
**PROJECT NO.:** 2126/2138  
**DATE:** 22 JUNE 2022







MATERIAL LEGEND	
30	CONCRETE PANELS - EXTERIOR
31	CONCRETE PANELS - INTERIOR
32	CONCRETE PANELS - INTERIOR
33	CONCRETE PANELS - INTERIOR
34	CONCRETE PANELS - INTERIOR
35	CONCRETE PANELS - INTERIOR
36	CONCRETE PANELS - INTERIOR
37	CONCRETE PANELS - INTERIOR
38	CONCRETE PANELS - INTERIOR
39	CONCRETE PANELS - INTERIOR
40	CONCRETE PANELS - INTERIOR
30	CONCRETE PANELS - EXTERIOR
31	CONCRETE PANELS - INTERIOR
32	CONCRETE PANELS - INTERIOR
33	CONCRETE PANELS - INTERIOR
34	CONCRETE PANELS - INTERIOR
35	CONCRETE PANELS - INTERIOR
36	CONCRETE PANELS - INTERIOR
37	CONCRETE PANELS - INTERIOR
38	CONCRETE PANELS - INTERIOR
39	CONCRETE PANELS - INTERIOR
40	CONCRETE PANELS - INTERIOR



RH Architects Inc.  
 200 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1  
 +1 604 684 8992  
 info@rha.ca  
 www.rhaarchitects.ca

DATE: 20/06/2023  
 DRAWING NO: 20/06/2023  
 PROJECT NO: 20/06/2023  
 CLIENT: PAREGROUPE  
 37 MAIA, 2138

PROJECT NO: 20/06/2023  
 DRAWING NO: 20/06/2023  
 CLIENT: PAREGROUPE  
 37 MAIA, 2138

DATE: 20/06/2023  
 DRAWING NO: 20/06/2023  
 CLIENT: PAREGROUPE  
 37 MAIA, 2138

DATE: 20/06/2023  
 DRAWING NO: 20/06/2023  
 CLIENT: PAREGROUPE  
 37 MAIA, 2138

DATE: 20/06/2023  
 DRAWING NO: 20/06/2023  
 CLIENT: PAREGROUPE  
 37 MAIA, 2138





RH Architects Inc.

230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 5G1

1-866-668-8992  
 604-682-0952  
 www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. DESIGN DEVELOPMENT
20 JUN 2022	2. DP EXHIBITION #3
20 JUN 2022	3. DP EXHIBITION #3
29 JUN 2022	4. DP EXHIBITION #3

**PROJECT NAME**  
 DP RESUBMISSION #3  
 281 MAIN STREET

**DATE**  
 28 JUN 2022

**NOTES:**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
 Peregri Group  
 1401-1000 West 10th Street  
 Vancouver, BC  
 V6H 1Y1

**PROJECT:**  
 PARCEL B  
 CORNWALL BLDG

**ADDRESS:**  
 281 MAIN STREET  
 VANCOUVER, BC  
 V6A 5G1

**PROJECT NO.:**  
 2126/2138

**DATE FILE:**  
 1/27/22 - 1407

**SCALE:**  
 1/2" = 1'-0"

**DATE PLOTTED:**  
 29 JUNE 2023

**DESIGNED BY:**  
 EBR

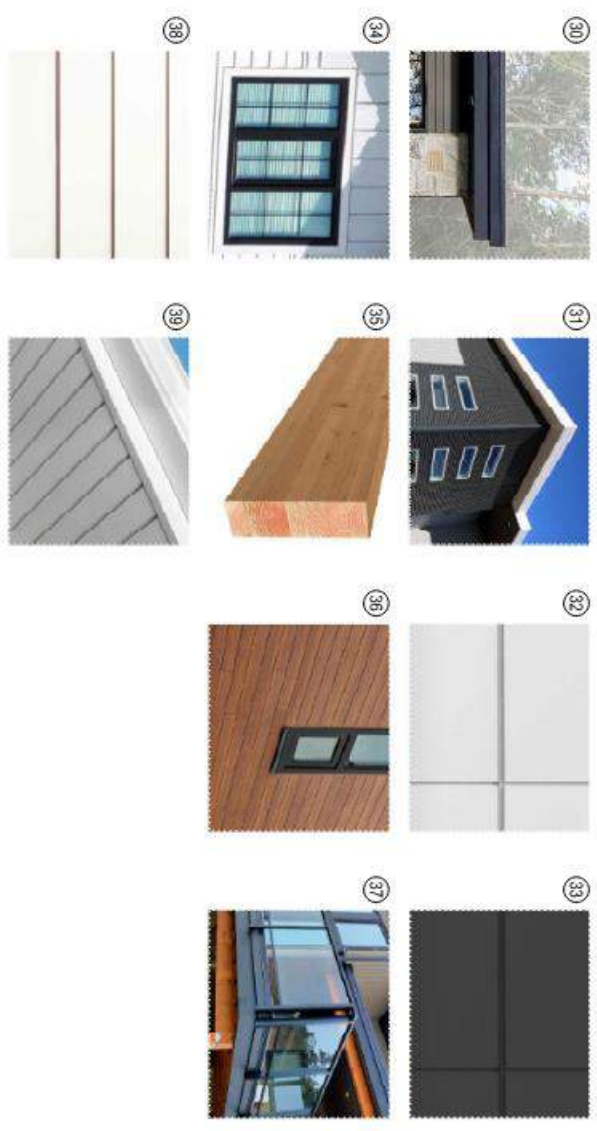
**PROJECT NO.:**  
 2126/2138

**DATE:**  
 29 JUN 2023

**SCALE:**  
 A4.03



MATERIAL LEGEND	COLOR
30. CONCRETE/CLADDING	CONCRETE GREY
31. CONCRETE/CLADDING	GREY
32. CONCRETE/CLADDING	GREY
33. CONCRETE/CLADDING	GREY
34. CONCRETE/CLADDING	GREY
35. CONCRETE/CLADDING	GREY
36. CONCRETE/CLADDING	GREY
37. CONCRETE/CLADDING	GREY
38. CONCRETE/CLADDING	GREY
39. CONCRETE/CLADDING	GREY





RH Architects Inc.

130 Powell Street, Suite 310  
Vancouver, BC Canada  
V6A 1G1

1-844-888-0002  
1-604-682-0092  
info@rharchitects.ca  
www.rharchitects.ca

NO.	REVISION	DATE
1.	PRELIMINARY PERMIT	20 JUN 2022
2.	PRELIMINARY PERMIT	20 JUN 2022
3.	PRELIMINARY PERMIT	20 JUN 2022
4.	PRELIMINARY PERMIT	20 JUN 2022



EAST ELEVATION - view from Producers Way

**PLANNED FOR**  
DP RESUBMISSION #3  
20 JUNE 2022

**NOT FOR CONSTRUCTION** DATE: \_\_\_\_\_  
This drawing is the property of RH Architects Inc. and shall remain the property of RH Architects Inc. unless otherwise stated. It is to be used for the project and site only. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved.



WEST ELEVATION - view from Ryder

**CLIENT**  
30 MAR 2022  
**PCAREgroup**  
passion to improve your practice group

**PROJECT**  
PARCEL B  
COLWOOD, B.C.  
**CONTRACT NO.**  
BUILDING ELEVATIONS  
**DATE FILE:** 1/27/22 - 1d47  
**SCALE:**  
**PERMIT DATE:** 22 JUNE 2022  
**PROJECT NO.:** 2126/2138

**DATE:** 20 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**DATE:** 20 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138

**DATE:** 20 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**DATE:** 20 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138





RH Architects Inc.

1301 Powell Street, Suite 310  
Vancouver, BC Canada  
V6A 1G1

1 604 684-0001  
1 604 684-0051  
www.rharchitects.ca



EAST ELEVATION w/AMENITY - view from courtyard



NORTH ELEVATION - view from Commons

NO.	DATE	DESCRIPTION
1.	30 MAR 2022	PRELIMINARY PERMIT
2.	30 MAR 2022	PRELIMINARY PERMIT
3.	30 MAR 2022	PRELIMINARY PERMIT
4.	29 JUN 2023	DP RESUBMISSION #3

**PRELIM PERMIT**  
**DP RESUBMISSION #3**  
 29 JUNE 2023

**NOT TO SCALE**

**DATE**

THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THE CLIENT AGREES TO HOLD RH ARCHITECTS INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST RH ARCHITECTS INC. BY ANY THIRD PARTY AS A RESULT OF THE PROFESSIONAL SERVICES PROVIDED BY RH ARCHITECTS INC.

**ANNOTATIONAL SCALE:**

**CLIENT**

31 MAR 2023

**PEARCEgroup**  
 providing expertise since 1982

**PROJECT**

**PARCEL B**  
 COLWOOD, B.C.

**CONTRACT NO.**

**BUILDING ELEVATIONS**

**DATE FILED:** 3/27/23 ~ 1:45P

**SCALE:** AS SHOWN

**PERMIT NO.:** 22-106-2023

**OWNER:** PEARCE

**DESIGNER:** EBR

**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023

**SCALE:** A4.20



RH Architects Inc.

1301 Powell Street, Suite 510  
Vancouver, BC Canada  
V6A 1G1

1-844-888-0092  
1-604-683-0992

www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	20/01/2022	PRELIMINARY PERMIT
2.	20/03/2022	PRELIMINARY PERMIT
3.	20/03/2022	PRELIMINARY PERMIT
4.	20/03/2022	PRELIMINARY PERMIT

**PLANNED PERMIT**  
**DP RESUBMISSION #3**  
 28 JUNE 2023

**NOTES:**

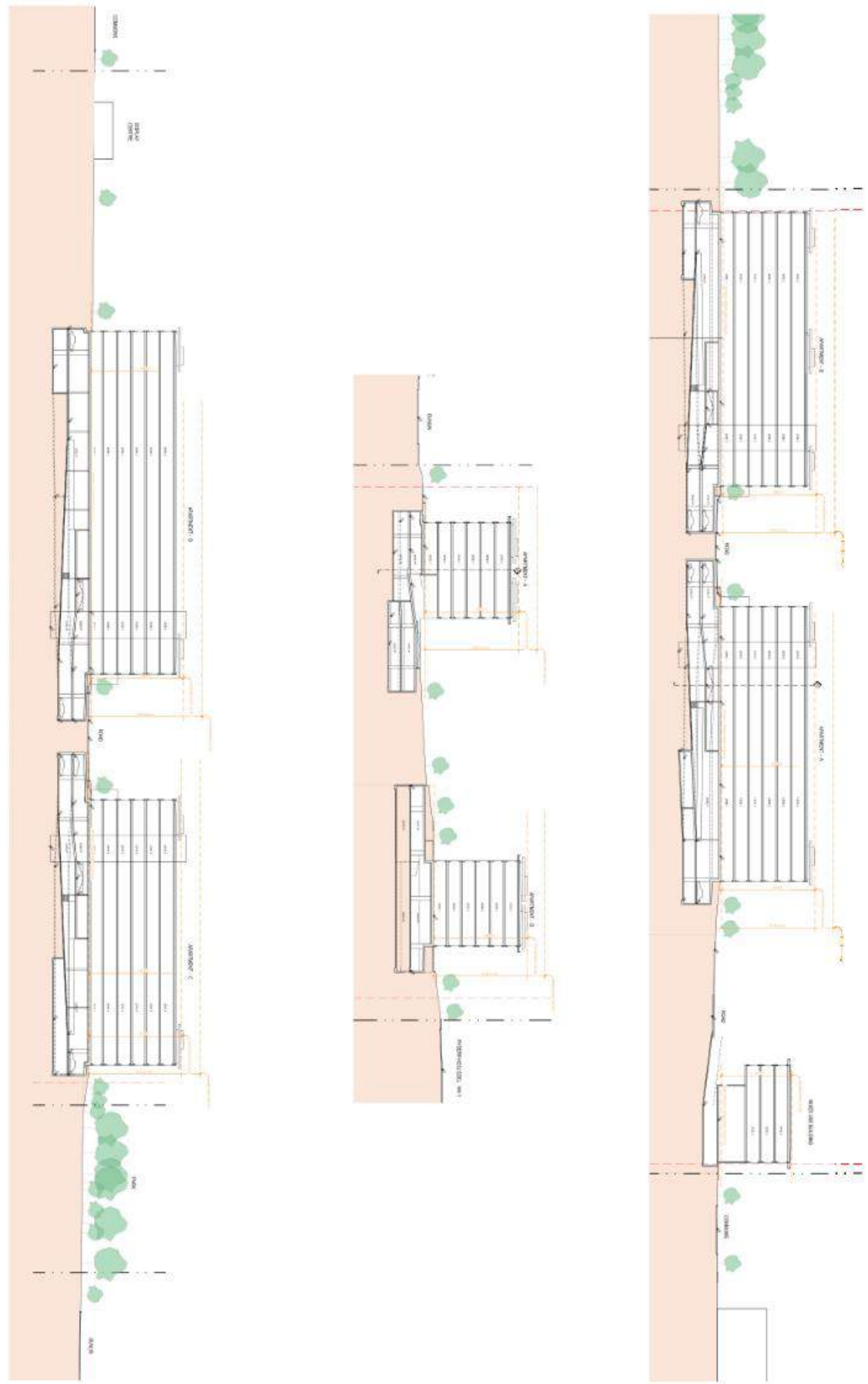
1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.



DATE PLOT: 21/06/2023  
 SCALE: 1/32" = 1'-0"  
 PORTFOLIO: P-2106-2023  
 CLIENT: EBR  
 PROJECT NO: 2126/2138  
 DRAWING NO: A5.10

CLIENT: 28 JUNE 2023  
**PCARRgroup**  
 Parcel B  
 PARCEL B  
 COWWOOD, B.C.  
 BUILDING SECTIONS





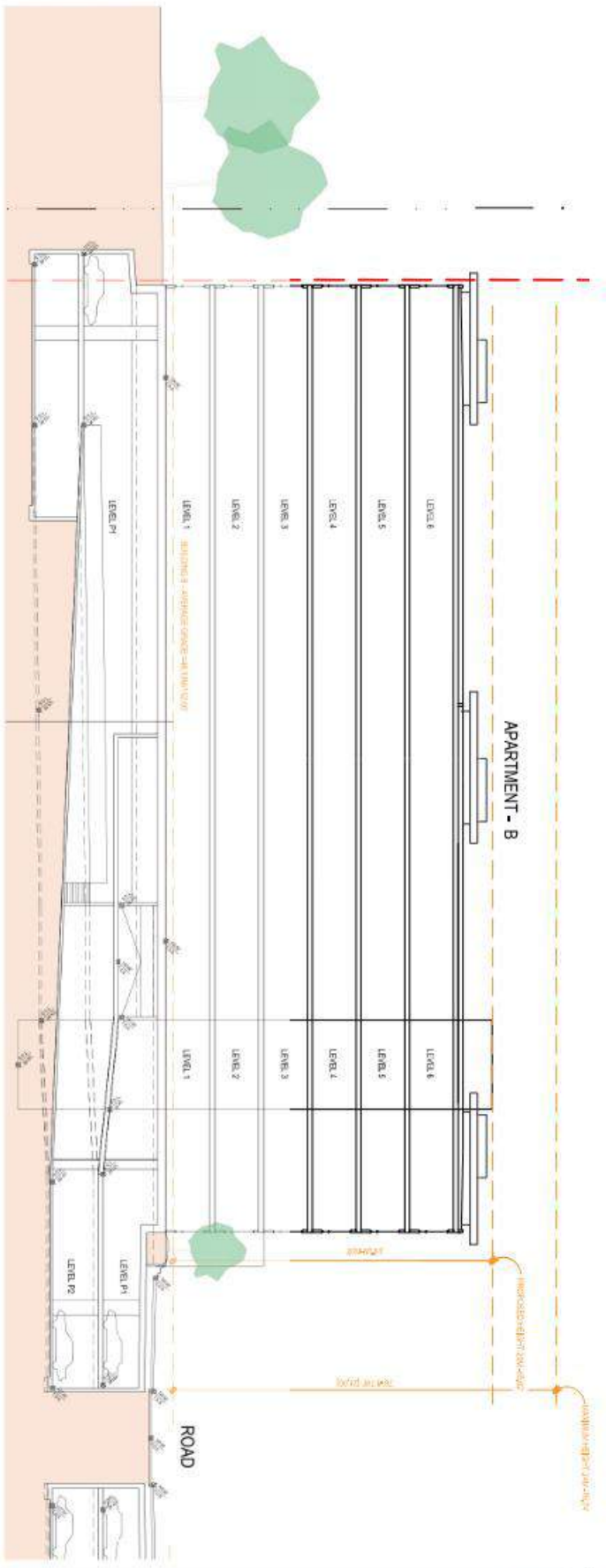
RH Architects Inc.

200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

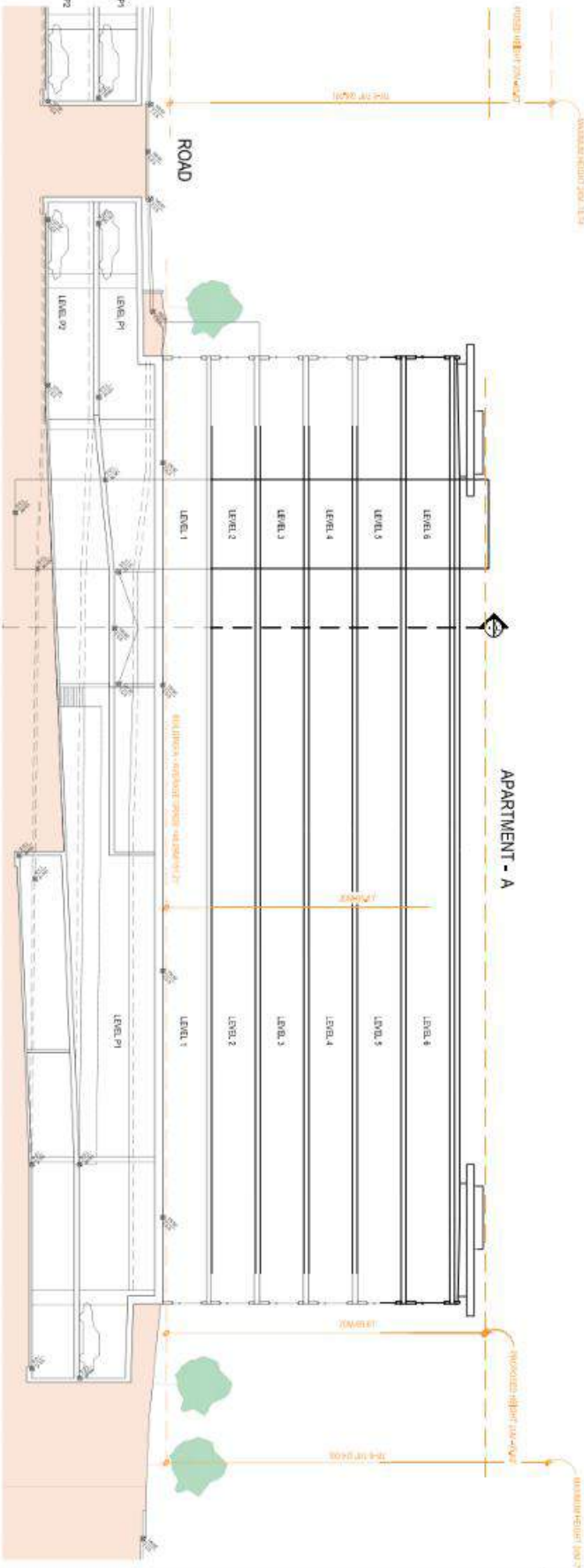
1-800-668-0992  
1-604-683-0992  
info@rharchitects.ca  
www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	CONCEPT DESIGN PERMIT
2.	07 SEPT 2022	PRELIMINARY PERMIT
3.	15 NOV 2022	FINAL PERMIT
4.	07 FEBRUARY 2023	CONSTRUCTION PERMIT

**PROJNO**  
DP RESUBMISSION #3  
28 JAN 2023



**APARTMENT - A**



**NOTES**

1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. IS STRICTLY PROHIBITED.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.
3. THIS DRAWING IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PROFESSIONAL SERVICES AGREEMENT BETWEEN RH ARCHITECTS INC. AND THE CLIENT.

DATE: 28 JAN 2023  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

**CLIENT**  
PCAREgroup  
1000 West Broadway  
Vancouver, BC V6H 4C5  
TEL: 604-683-0992  
WWW.PCAREGROUP.COM

**PROJECT**  
PARCEL B  
COWWOOD, B.C.

**CONTRACT NO.**  
2126/2138

**DATE PLOT:** 31 JAN 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**DATE:** 28 JAN 2023  
**DESIGNED BY:** EBB  
**CHECKED BY:** [Signature]

**PROJECT NO.:** 2126/2138

**DATE:** 28 JAN 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**DATE:** 28 JAN 2023  
**DESIGNED BY:** EBB  
**CHECKED BY:** [Signature]

**DATE:** 28 JAN 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**DATE:** 28 JAN 2023  
**DESIGNED BY:** EBB  
**CHECKED BY:** [Signature]



RH Architects Inc.

230 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

1-800-668-0992  
1-604-683-0992  
info@rharchitects.ca  
www.rharchitects.ca

DATE	DESCRIPTION
20/06/2022	1. DESIGN CONCEPT PREPARE
20/06/2022	2. PRELIMINARY DESIGN
20/06/2022	3. PRELIMINARY DESIGN
29/06/2022	4. PRELIMINARY DESIGN

**PROJECT NO.**  
DP RESUBMISSION #3  
28 JUNE 2022

**NOTES**

1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT**  
31 MAR 2022

**PCARFgroup**  
Project Support and Consulting Group

**PROJECT**  
PARCEL B  
COWWOOD, B.C.

**CONTRACT NO.**  
BUILDING SECTIONS

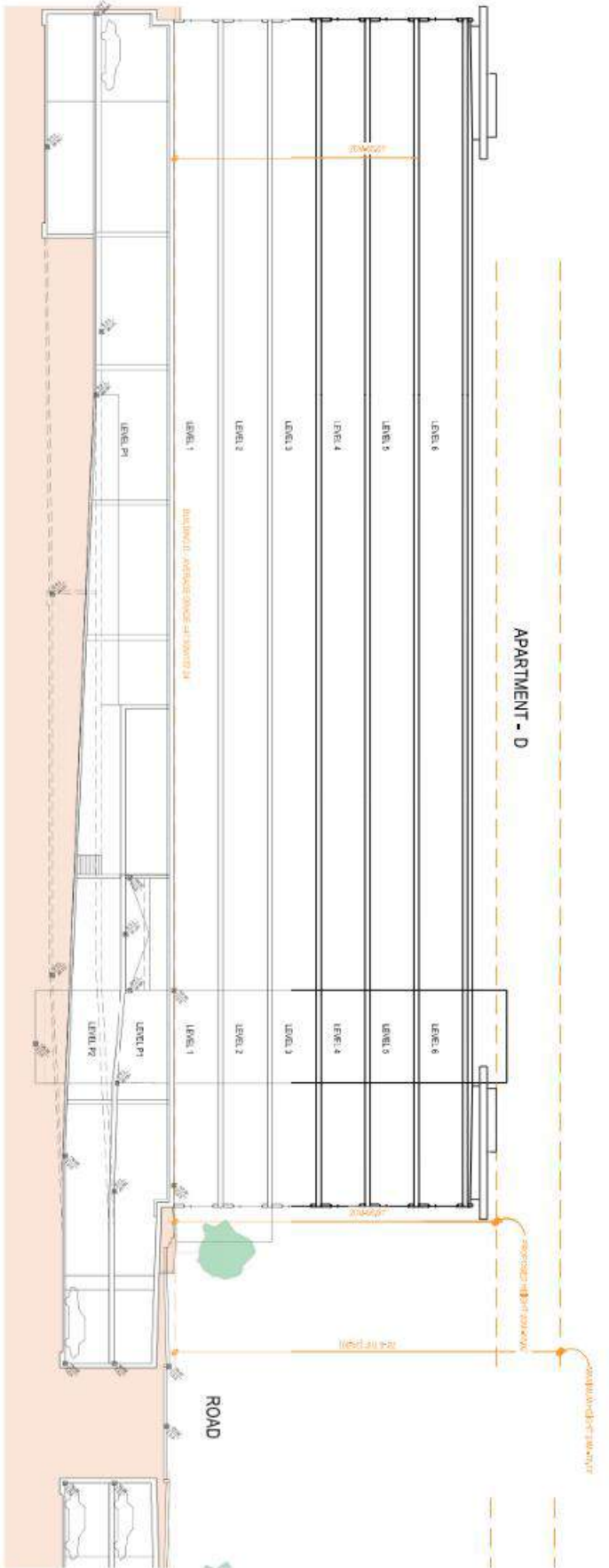
**DATE PLOT:** 31/07/2022 - 14h  
**SCALE:** 3/32" = 1'-0"  
**PRINTED:** 29 JUNE 2023  
**PORTFOLIO:** P1 58  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUNE 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**PORTFOLIO:** P1 58  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

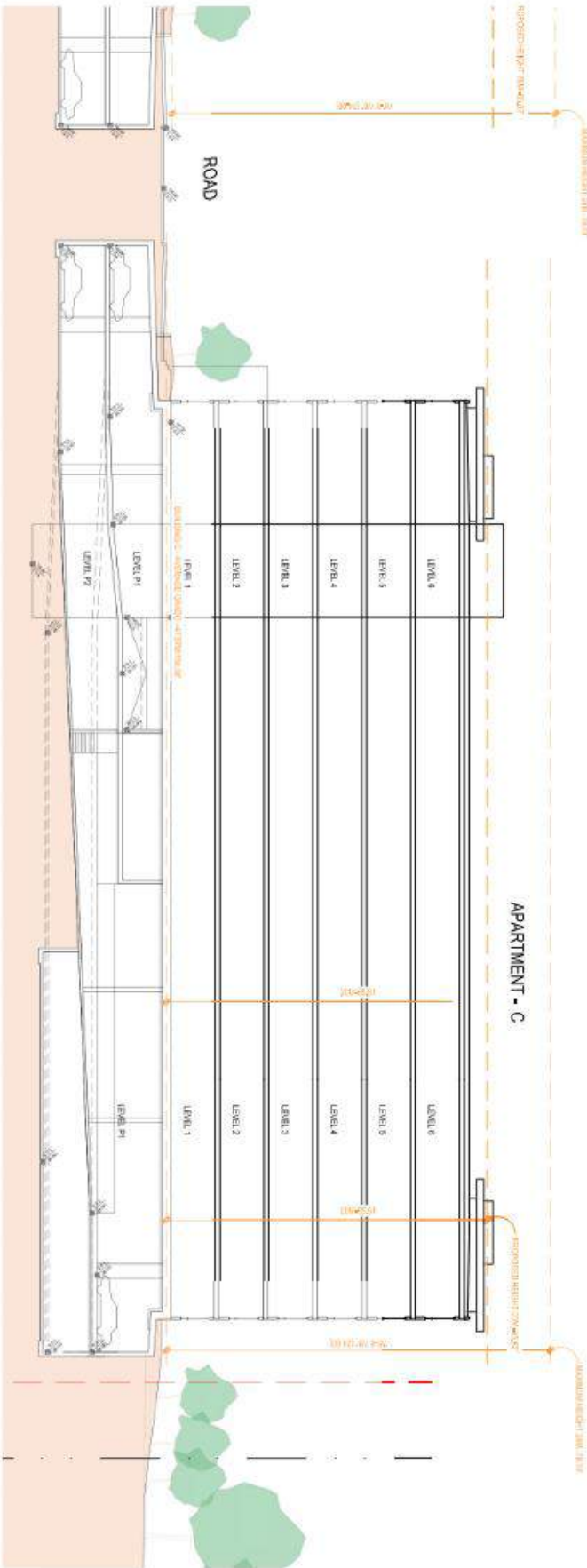




APARTMENT - D



APARTMENT - C



RH Architects Inc.

230 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1

1-844-666-0092  
 604-683-0992  
 www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	20 MAR 2023	CONCEPT DESIGN PERMIT
2.	20 MAR 2023	PRELIMINARY PERMIT
3.	20 MAR 2023	PRELIMINARY PERMIT
4.	20 MAR 2023	PRELIMINARY PERMIT
5.	20 MAR 2023	PRELIMINARY PERMIT

**PLANNED FOR**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES:**  
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

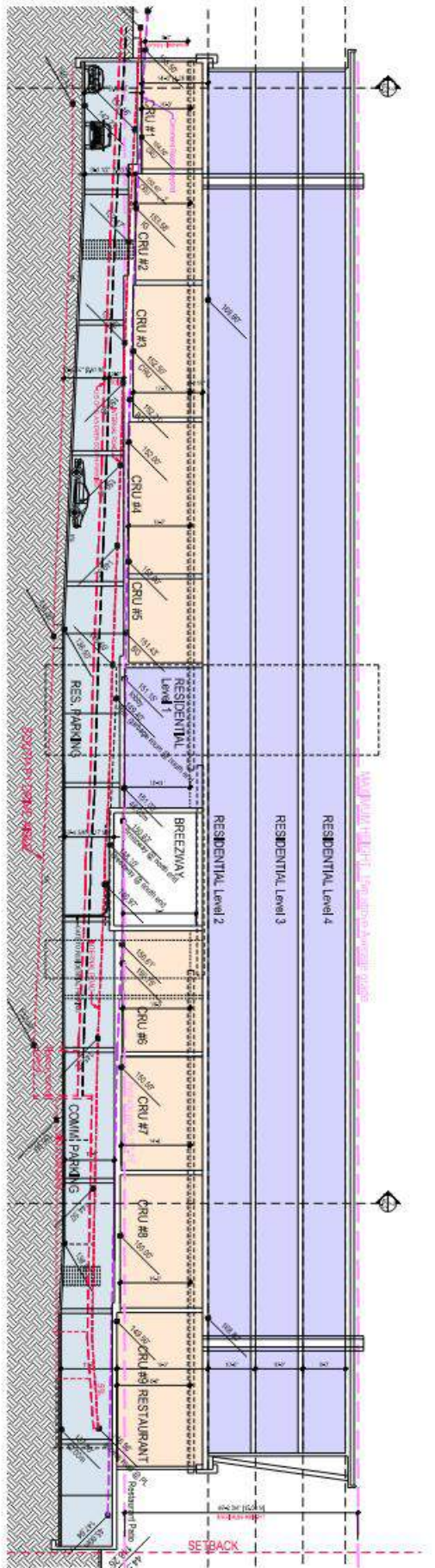
**CLIENT:**  
 PARCEL B  
 COLWOOD, B.C.

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.

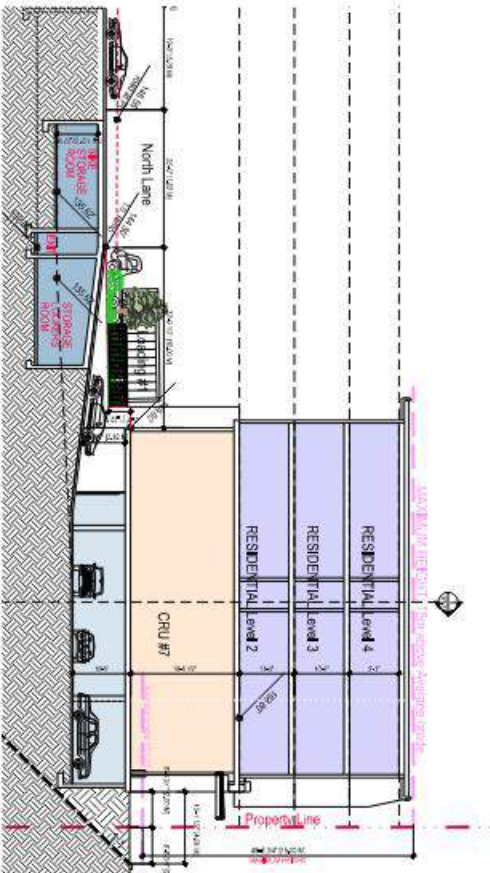
**DATE PLOT:** 31 MAR 2023  
**SCALE:** 3/32" = 1'-0"  
**PRINTED:** 29 JUNE 2023  
**DESIGNED:** EBB  
**CHECKED:** EBB  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUNE 2023  
**SCALE:** 3/32" = 1'-0"  
**PRINTED:** 29 JUNE 2023  
**DESIGNED:** EBB  
**CHECKED:** EBB  
**PROJECT NO.:** 2126/2138

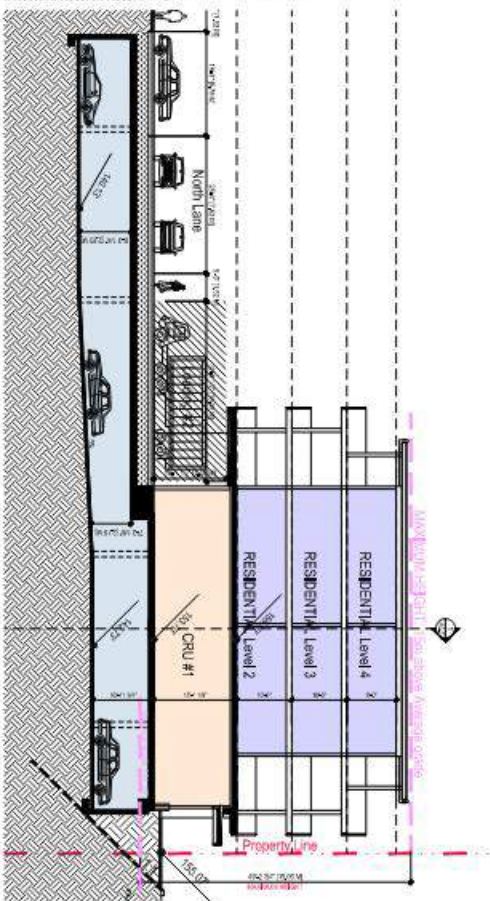
**DATE:** 29 JUNE 2023  
**SCALE:** 3/32" = 1'-0"  
**PRINTED:** 29 JUNE 2023  
**DESIGNED:** EBB  
**CHECKED:** EBB  
**PROJECT NO.:** 2126/2138



SECTION 1-1 thru north P1 drive aisle



SECTION 2-2 thru parkade ramp



SECTION 3-3 at west side - CRU 1



RH Architects Inc.

130 Beaver Street, Unit 30  
Vancouver, BC Canada  
V6A 1E1

T 604.681.8002  
F 604.681.8092  
E info@rharchitects.ca

www.rharchitects.ca

NO.	DATE
1	20 MAR 2022
2	20 MAR 2022
3	20 MAR 2022
4	20 MAR 2022
5	20 MAR 2022

**DESIGNER**  
D.P. RESUBMISSION #3  
20 MAR 2023

**CLIENT**  
39 MAR 2023

**PROJECT**  
PARCEL B  
COLWOOD, B.C.

**ARCHITECT**  
BUILDING SECTIONS  
North building

**SCALE**  
3/32" = 1'-0"  
20 MAR 2023

**DATE**  
2126/2138  
A5.50





RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

+1 604 688 8992  
+1 604 688 8991  
info@rharchitects.ca

www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	3D RENDERING PREPARED
20 JUN 2022	3D RENDERING PREPARED
20 JUN 2022	3D RENDERING PREPARED
20 JUN 2022	3D RENDERING PREPARED

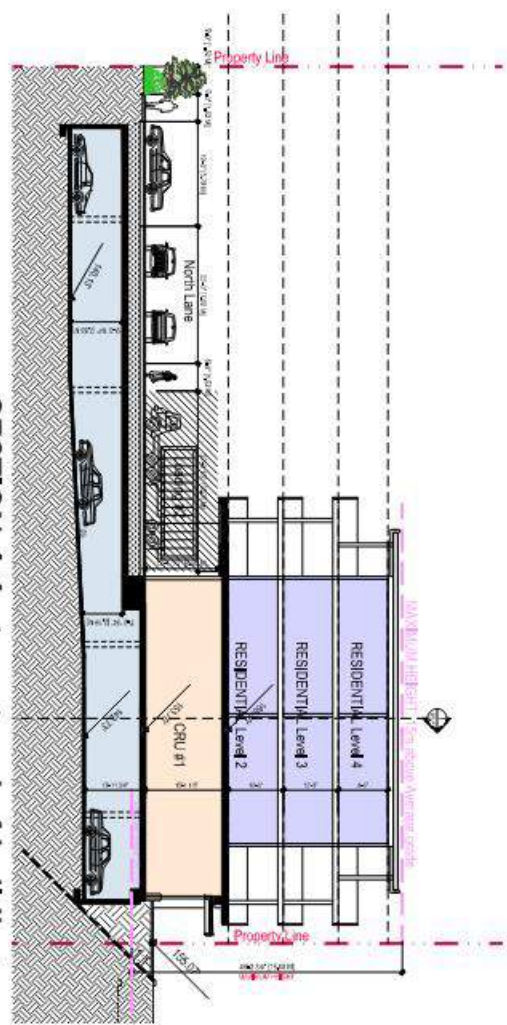
**PROJECT INFO**  
**DP RESUBMISSION #3**  
 28 JUNE 2023

**NOTES**

1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.



SECTION 4-4 at west end of building

**CLIENT**  
 301 MAIN STREET  
**PEREGRINEgroup**  
 1400-1000 West 10th Street, Vancouver  
 VANCOUVER, BC  
 CANADA V6H 2G6

**PROJECT No.** 2126/2138

**DATE FILE:** 31/07/2022  
**DATE:** 29 JUNE 2023  
**DESIGNER:** EBR  
**CHECKER:** EBR

**SCALE:** 3/32" = 1'-0"  
**DATE PLOTTED:** 29 JUNE 2023  
**PLT FILE:** 2126\_2138.dwg  
**PROJECT No.:** 2126/2138

**DATE:** 29 JUNE 2023  
**SCALE:** 3/32" = 1'-0"  
**DATE PLOTTED:** 29 JUNE 2023  
**PLT FILE:** 2126\_2138.dwg

**PROJECT No.:** 2126/2138

**DATE:** 29 JUNE 2023  
**SCALE:** 3/32" = 1'-0"  
**DATE PLOTTED:** 29 JUNE 2023  
**PLT FILE:** 2126\_2138.dwg

# ROYAL BAY LOT B

LANDSCAPE SET: ISSUED FOR DP  
MAY 02 2023

## LANDSCAPE DRAWING INDEX

- L2.00 COVER SHEET
- L3.01 GENERAL NOTES
- L3.02 INSULATION AND PRINCIPLES
- L3.03 FINISHES
- L3.04 MATERIALS S.P. AN
- L3.05 DRAINAGE
- L3.06 DRAINAGE - CANINE COURT YARD
- L3.07 DRAINAGE - JAVIERRY
- L3.08 GRADING PLAN - NORTH
- L3.09 GRADING PLAN - SOUTH
- L3.10 GRADING PLAN - SOUTH
- L4.01 PLANTING PLAN
- L4.02 LIGHTING PLAN - NORTH
- L4.03 LIGHTING PLAN - SOUTH
- L5.00 SECTIONS
- L7.00 DETAILS - GENERAL
- L7.01 DETAILS - HARDSCAPE (1)
- L7.02 DETAILS - HARDSCAPE (2)
- L7.03 DETAILS - HARDSCAPE (3)

## GENERAL NOTES

1. A SCHEDULE HAS BEEN PROVIDED BY THE CLIENT FOR THIS PROJECT. IT HAS BEEN RECOMMENDED FOR USE IN LANDSCAPE DESIGN DOCUMENTS. CLIENT AND DESIGNER SHALL REVIEW THESE DOCUMENTS AND PROVIDE COMMENTS TO THE CLIENT. THE CLIENT SHALL REVIEW AND APPROVE THE SCHEDULE. ALL COMMENTS SHOULD BE PROVIDED TO THE ARCHITECT AND LANDSCAPE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
2. THE CONTRACTOR SHALL VERIFY THE SITE AND RECORD DRAWINGS WITH EXISTING SITE CONDITIONS PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.
10. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE CLIENT FOR ANY CHANGES TO THE SCHEDULE.

# SCHEDULE 2



## CONTACTS

**CONNECT LANDSCAPE ARCHITECTURE**  
2205 HENLOCK STREET E. VANCOUVER, BC V6V 2Z8  
604-681-3303  
CONNECT@CONNECT.LA.CA

**ARCHITECTURAL CONSULTANT**  
120 "SMELL STREET UNIT 15"  
VANCOUVER BC  
604-681-6202

**OWNER**  
PINE GROUP  
SUITE 1774 FOUR BENTALL CENTRE  
1055 DUNSMUIR STREET  
VANCOUVER BC  
604-688-8688

## CONTACTS

**COVER SHEET**  
SCALE: AS SHOWN  
DATE: 05-02-23

← L0.00

**connect**  
LANDSCAPE ARCHITECTURE

2205 HENLOCK STREET, VANCOUVER, BC V6V 2Z8  
TEL: 604 681 3303  
WWW.CONNECTLA.CA

CONNECT LANDSCAPE ARCHITECTURE INC. IS AN EQUAL OPPORTUNITY EMPLOYER. WE ENCOURAGE DIVERSITY AND INCLUSION IN OUR WORKPLACE. WE ARE COMMITTED TO PROVIDING A WORKING ENVIRONMENT WHERE ALL EMPLOYEES CAN THRIVE AND CONTRIBUTE TO OUR SUCCESS.

CLIENT: \_\_\_\_\_

SCALE: \_\_\_\_\_

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2023-04-10
2	ISSUED FOR REVIEW	2023-04-10

## ROYAL BAY LOT B

COLUMBIA BC

SCALE: AS SHOWN

DATE: 05-02-23

DESIGNED BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

DATE: 05-02-23





# DESIGN PRINCIPLES AND INSPIRATION

## CONTEXT



## COASTAL LIVING - RESIDENTIAL



## COASTAL LIVING - COMMERCIAL



## TEXTURE --- FROM MEADOW TO SHORELINE



2500 PINEVIEW BLVD., VICTORIA, BC V8M 2Y1  
 T 250 671 5925  
[www.connectinc.ca](http://www.connectinc.ca)

CONNECT LANDSCAPE ARCHITECTURE INC. IS AN EQUAL OPPORTUNITY EMPLOYER. WE ENCOURAGE ALL QUALIFIED APPLICANTS TO APPLY. WE ARE AN ENVIRONMENTALLY RESPONSIBLE COMPANY. WE ARE COMMITTED TO SUSTAINABLE DESIGN AND CONSTRUCTION. WE ARE COMMITTED TO EXCELLENCE IN EVERYTHING WE DO. WE WORK WITH THE COMMUNITY.

CLIENT: \_\_\_\_\_

SCALE \_\_\_\_\_

2	ISSUED FOR PERMIT	2024-01-15
1	ISSUED FOR REVIEW	2023-12-10

REVISIONS

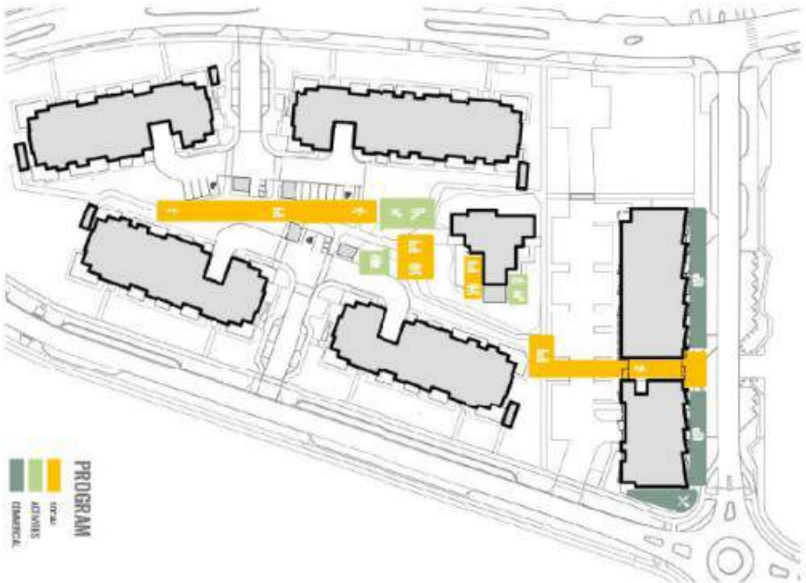
## ROYAL BAY LOT B

COLLWOOD BC  
 SCALE: \_\_\_\_\_ NTS  
 DRAWN: \_\_\_\_\_ VL  
 APPROVED: \_\_\_\_\_ OKM  
 PROJECT NO.: 2023-014

## INSPIRATION AND PRINCIPLES



# DIAGRAMS



DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT	2024-10-10
2	ISSUED FOR PERMIT	2024-10-10

## ROYAL BAY LOT B

COLWOOD BC  
SCALE: \_\_\_\_\_ NTS  
DRAWN: \_\_\_\_\_ VL  
APPROVED: \_\_\_\_\_ OM  
PROJECT NO.: 24-0781

### DIAGRAMS





LINEWORK	
---	DESCRIPTION
---	PROPERTY LINE
---	EXISTING SITE LINE
---	CONCRETE CURB
---	EXISTING DRIVE

SOFTSCAPE LEGEND	
---	DESCRIPTION
---	SHRUBS
---	MAINTENANCE PLANNING
---	PLANTING IN PLANTING

BUILDINGS & FENCE LEGEND	
---	DESCRIPTION
---	APARTMENT BUILDING
---	EXISTING BUILDING
---	EXISTING DRIVE

PAVING LEGEND	
---	DESCRIPTION
---	CONCRETE
---	ASPHALT
---	GRASS
---	GRAVEL
---	STONE
---	WOOD

FURNISHING LEGEND	
---	DESCRIPTION
---	SEAT
---	TABLE
---	PLANTER
---	WATER FEATURE
---	ART
---	SCULPTURE
---	WATER FEATURE

**connect**  
LANDSCAPE ARCHITECTURE

2500 PROUDER AVENUE, VANCOUVER, BC V6K 3K7  
TEL: 604 271 5913  
WWW.CONNECTLANDSCAPE.COM

CONTRACT NO.: 2018-001  
PROJECT NO.: 2018-001  
DATE: 2018-01-15

CONTRACTOR: [Name]  
DESIGNER: [Name]  
CHECKER: [Name]  
DATE: 2018-01-15

**ROYAL BAY LOT B**

SCALE: 1:400

DATE: 2018-01-15

DRAWN BY: [Name]

CHECKED BY: [Name]

DATE: 2018-01-15

**MATERIALS PLAN**

SCALE: 1:100





1 ANGULAR PATTERN CONCRETE PAVING



2 GRANULAR SURFACING



3 PATIO DINING (BY TENANT)



4 BIKE RACK



5 WOOD ARCH TRELLIS



6 RECEPTACLES

**connect**  
LANDSCAPE ARCHITECTURE

2500 PONTIAC BLVD., WILLOWDALE, ONT. M2H 3P1  
1 905 607 5303 [www.connectlandscape.com](http://www.connectlandscape.com)

CONTRACT NUMBER: 2018-00000000-0000  
THIS PLAN IS THE PROPERTY OF CONNECT LANDSCAPE ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE CONTRACT. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF CONNECT LANDSCAPE ARCHITECTURE IS STRICTLY PROHIBITED. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ZONING BYLAW.  
CONTRACT DATE: 2018-00-00

CLIENT NAME: \_\_\_\_\_

SCALE: \_\_\_\_\_

NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT	2018-00-00
2	ISSUED FOR PERMIT	2018-00-00
3	ISSUED FOR PERMIT	2018-00-00
4	ISSUED FOR PERMIT	2018-00-00
5	ISSUED FOR PERMIT	2018-00-00
6	ISSUED FOR PERMIT	2018-00-00

ROYAL BAY LOT B

COLUMBIA BC  
Scale: 1:150  
DRAWN: VL  
APPROVED: DM  
PROJECT NO.: 2018-00-00

ENLARGEMENT MIX USE  
L2.00





1 CONCRETE PAVING



3 PICNIC TABLE



5 BENCH TYPE 1



6 BENCH TYPE 2 (CONCRETE SEAT WALL W/ WOOD TOP)



9 TYPICAL UNIT



2 PLANTED BERMS



4 AGRICULTURE BOX (COMMUNITY GARDEN)



6 BENCH TYPE 2 (CONCRETE SEAT WALL W/ WOOD TOP)



8 BIKE RACK



10 GRANULAR SURFACING W/ PLANTING



3 PICNIC TABLE



5 BENCH TYPE 1



7 RECEPTACLES



9 TYPICAL UNIT

**ROYAL BAY LOT B**  
 COLWOOD BC  
 Scale: 1:200  
 DRAWN: VL  
 REVIEWED: CM  
 PROJECT NO.: 2017-011  
 DATE: 09-27-18

**ENLARGEMENT**  
**CENTRAL COURTYARD**



L2.01

**connect**  
 LANDSCAPE ARCHITECTURE

2500 PENDER STREET, VANCOUVER, BC V6H 2Y1  
 TEL: 604 681 5500  
[www.connectinc.ca](http://www.connectinc.ca)

CONNECT LANDSCAPE ARCHITECTURE INC. IS AN EQUAL OPPORTUNITY EMPLOYER. WE ARE COMMITTED TO DIVERSITY AND INCLUSION IN OUR WORKPLACE. WE ENCOURAGE ALL QUALIFIED INDIVIDUALS TO APPLY. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, ANCESTRY, COLOR, RELIGION, SEX, GENDER, SEXUAL ORIENTATION, NATIONAL ORIGIN, AGE, MARITAL STATUS, DISABILITY, OR ANY OTHER PROTECTED CHARACTERISTICS.

COPYRIGHT © 2018 CONNECT LANDSCAPE ARCHITECTURE INC. ALL RIGHTS RESERVED.

KL:TR:AM

SCALE





1 COVERED OUTDOOR KITCHEN



2 WARM TONE PAVED PATIO



3 COMPOSITE WOOD FENCE



4 GRANULAR SURFACING

CLIENT: \_\_\_\_\_

SCALE: \_\_\_\_\_

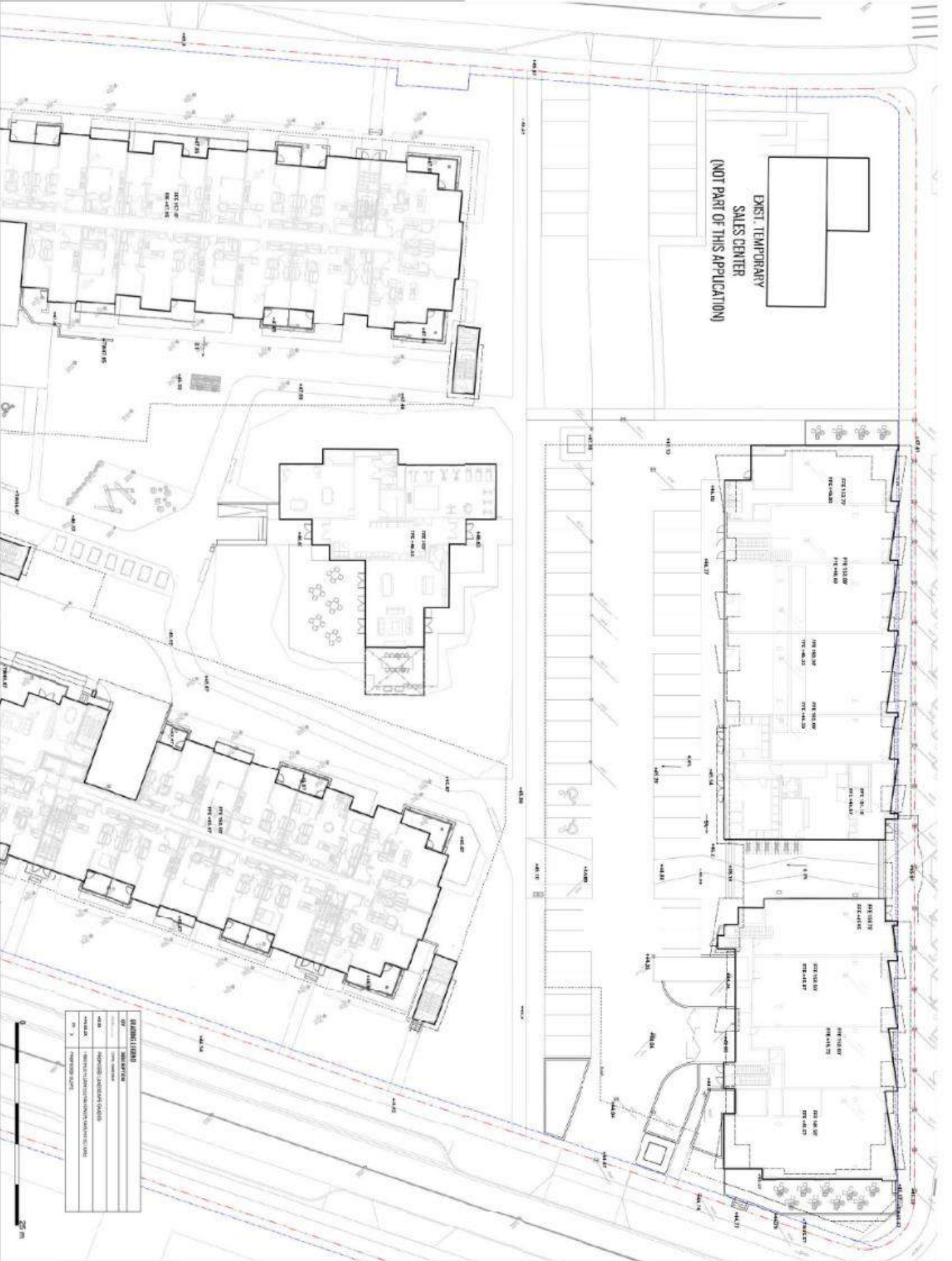
1	REVISIONS	
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	

**ROYAL BAY LOT B**

COLUMBIA BC  
Scale: 1:150  
Date: VI  
Drawn: OK  
Reviewed: OK  
Project No.: 20-2781

**ENLARGEMENT  
AMENITY**





PROJECT NAME	ROYAL BAY LOT B
CLIENT	ROYAL BAY DEVELOPMENT
DATE	2024-07-15
SCALE	1:200
DRAWN BY	Y.L.
CHECKED BY	Y.L.
DATE	2024-07-15

**connect**  
LANDSCAPE ARCHITECTURE

2500 PETERSON AVENUE, VANCOUVER, BC V6H 3V1  
TEL: 604 271 5515  
www.connectla.com

CONTRACT NUMBER: 2024-07-15-001  
PROJECT NAME: ROYAL BAY LOT B  
DATE: 2024-07-15  
SCALE: 1:200  
DRAWN BY: Y.L.  
CHECKED BY: Y.L.  
DATE: 2024-07-15

CONTRACTOR: [REDACTED]

**ROYAL BAY LOT B**

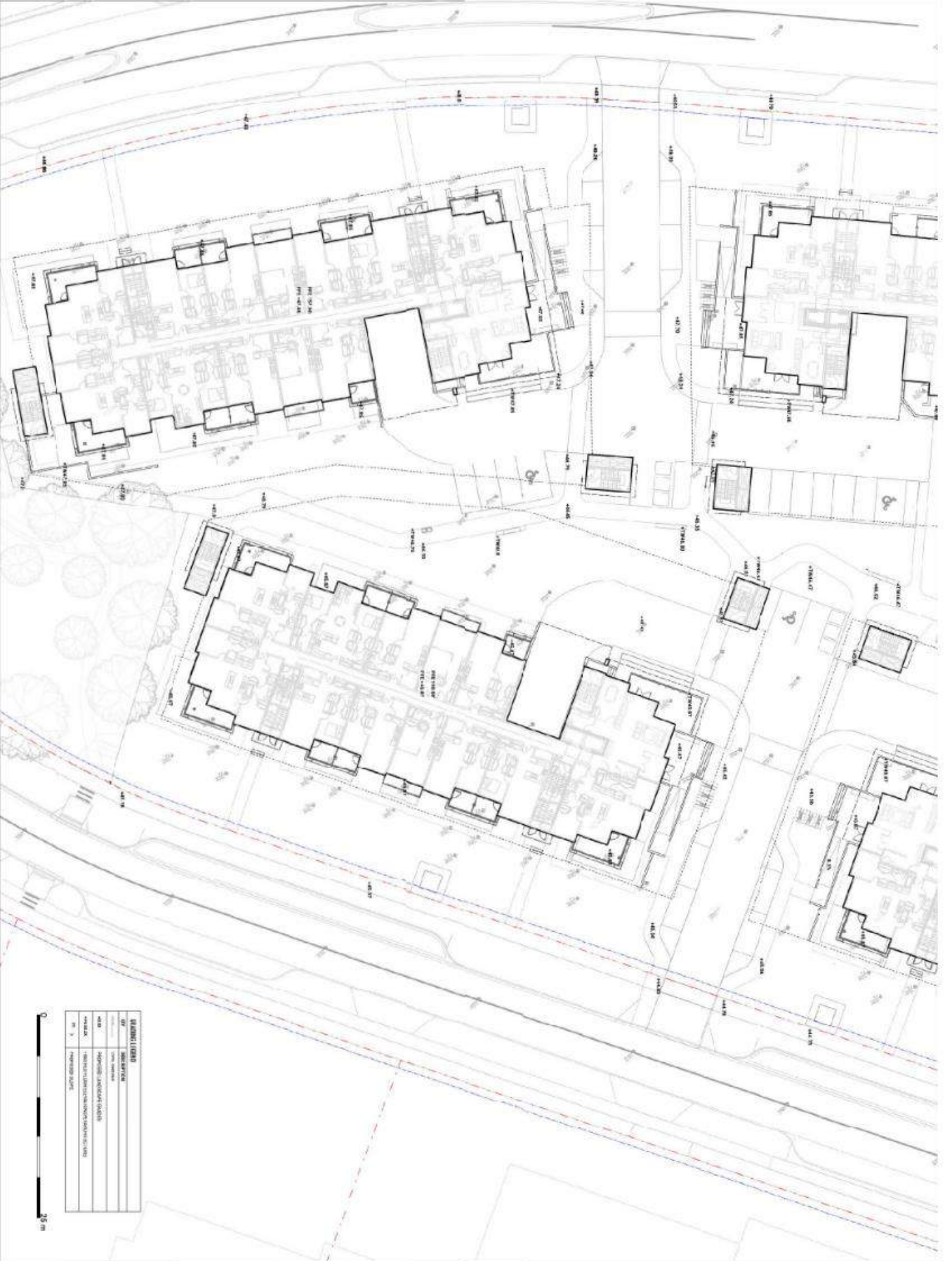
**GRADING PLAN**

**NORTH**

**1:200**

DATE: 2024-07-15





<b>REVISIONS</b>	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR REVIEW
3	ISSUED FOR REVIEW
4	ISSUED FOR REVIEW
5	ISSUED FOR REVIEW
6	ISSUED FOR REVIEW
7	ISSUED FOR REVIEW
8	ISSUED FOR REVIEW
9	ISSUED FOR REVIEW
10	ISSUED FOR REVIEW

**PROJECT INFORMATION**

**PROJECT NAME:** ROYAL BAY LOT B

**CLIENT:** [REDACTED]

**DATE:** [REDACTED]

**SCALE:** 1:200

**DRAWN BY:** [REDACTED]

**CHECKED BY:** [REDACTED]

**DATE:** [REDACTED]

**ROYAL BAY LOT B**

**GRADING PLAN**

**SOUTH**

**L3.01**



2500 PETERSON AVENUE, VANCOUVER, BC V6H 3V3  
 TEL: 604 681 5500  
[www.connectlandscape.com](http://www.connectlandscape.com)

**DISCLAIMER:** THIS DOCUMENT AND ANY INFORMATION CONTAINED HEREIN IS THE PROPERTY OF CONNECT LANDSCAPE ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONNECT LANDSCAPE ARCHITECTURE.

**KEY PLAN**

**SCALE**

**REVISIONS**

**ROYAL BAY LOT B**

**COLLWOOD BC**

**GRADING PLAN**

**L3.01**







1	ISSUED FOR PERMIT	2020/01/10
2	ISSUED FOR PERMIT	2020/01/10
3	ISSUED FOR PERMIT	2020/01/10

**ROYAL BAY LOT B**

COLWOOD BC

Scale: 1:400  
Date: VL  
Drawn by: CM  
Project No.: 1904-2020-0001

**PLANTING PLAN**





LIBRARY LIGHT	
001	WALKWAY LIGHT
002	PARKING LIGHT
003	COURTYARD LIGHT
004	CATERVAULT LIGHT
005	UPLIGHT
006	BOLLARD
007	POLE LIGHT
008	STEP LIGHT

NOTE: FOR INSTALLATION, REFER TO EQUIPMENT SPEC.

**connect**  
LANDSCAPE ARCHITECTURE

2500 PINECREST DRIVE, WILLOWDALE, ONTARIO, M2H 3K1  
 TEL: 905 709 1500  
[www.connectinc.ca](http://www.connectinc.ca)

CONNECTER: [NAME], [PHONE], [EMAIL]  
 PROJECT: [NAME], [PHONE], [EMAIL]  
 DATE: [DATE]  
 DRAWN BY: [NAME]  
 CHECKED BY: [NAME]  
 APPROVED BY: [NAME]

DATE: [DATE]

SCALE: 1:200

DRAWN: [NAME]

DATE: [DATE]

PROJECT NO.: [NUMBER]

**ROYAL BAY LOT B**

**LIGHTING PLAN**

**NORTH**

**1:5.00**





**connect**  
LANDSCAPE ARCHITECTURE

2500 PINECREST BLVD., WILLOWDALE, ONTARIO, M2C 3K1  
 TEL: 416-491-1500  
[www.connectlandscape.com](http://www.connectlandscape.com)

**COMPONENTS:**  
 COURTYARD LIGHTING: 10' x 10' (10' x 10')  
 DRIVEWAY LIGHTING: 15' x 15' (15' x 15')  
 PARKING LIGHTING: 20' x 20' (20' x 20')  
 WALKWAY LIGHTING: 15' x 15' (15' x 15')  
 ROADSIDE LIGHTING: 20' x 20' (20' x 20')  
 LANDSCAPE LIGHTING: 15' x 15' (15' x 15')

**CLIENT:**  
 \_\_\_\_\_

**SCALE:**  
 \_\_\_\_\_

**REVISIONS:**

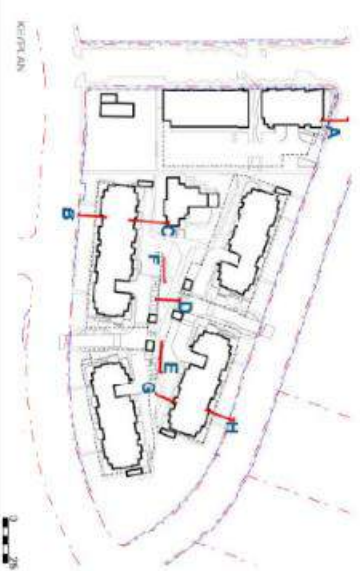
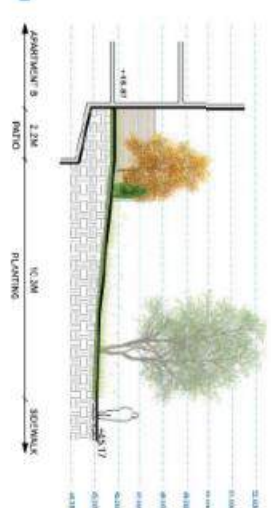
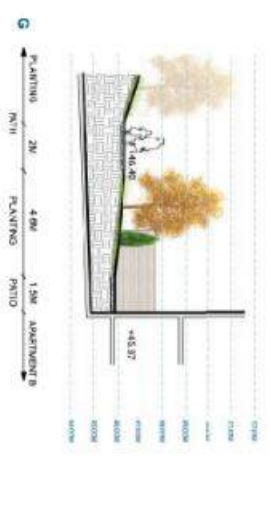
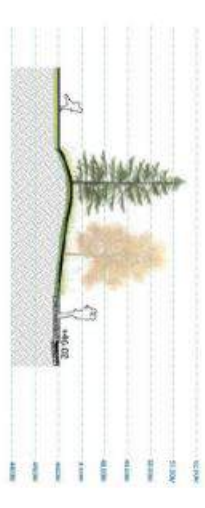
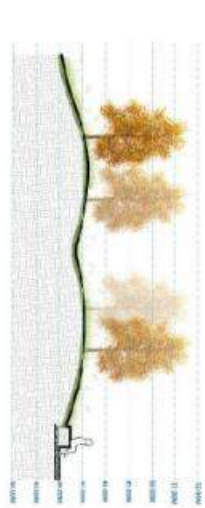
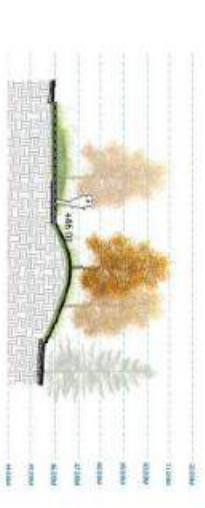
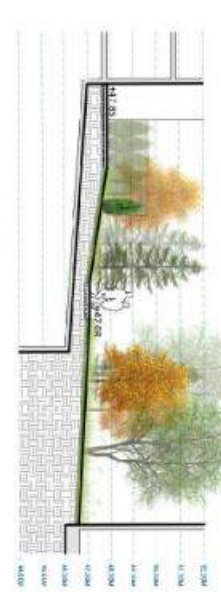
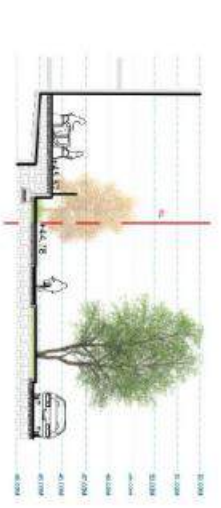
2	REVISIONS	2016-02-10
1	REVISIONS	2016-01-10

**ROYAL BAY LOT B**

**COLLWOOD BC**  
 SCALE: 1:200  
 DRAWN: VL  
 APPROVED: CM  
 PROJECT NO.: 2015-01

**LIGHTING PLAN**  
**SOUTH**

**L5.01**



CLIENT: \_\_\_\_\_

SCALE: \_\_\_\_\_

2	CONCEPT PLAN	2016-03-01
1	CONCEPT REVIEW	2016-01-10
REVISIONS		

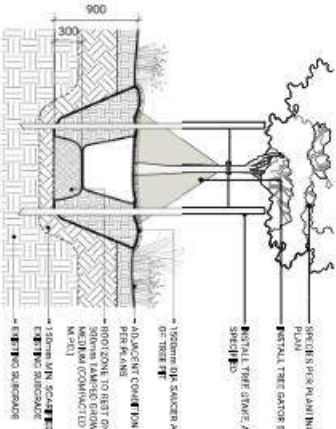
**ROYAL BAY LOT B**

COLWOOD BC  
Scale: 1:100  
DRAWN: YL  
REVIEWED: DM  
PROJECT NO.: 2016-01-10

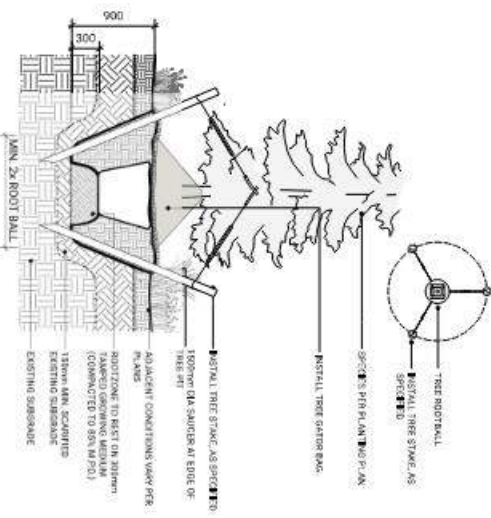
**SECTIONS AND ELEVATIONS**

**L6.00**

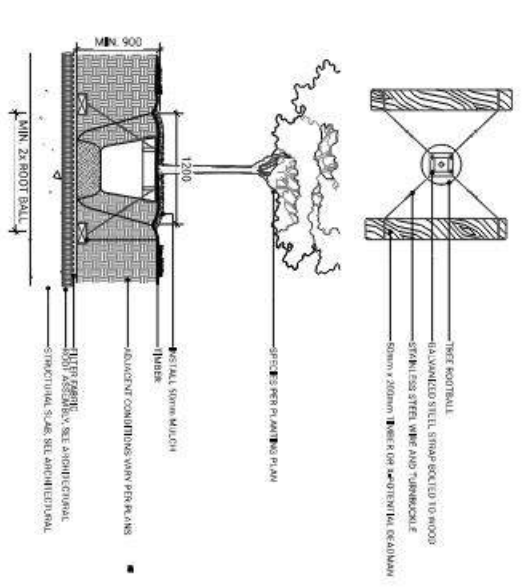




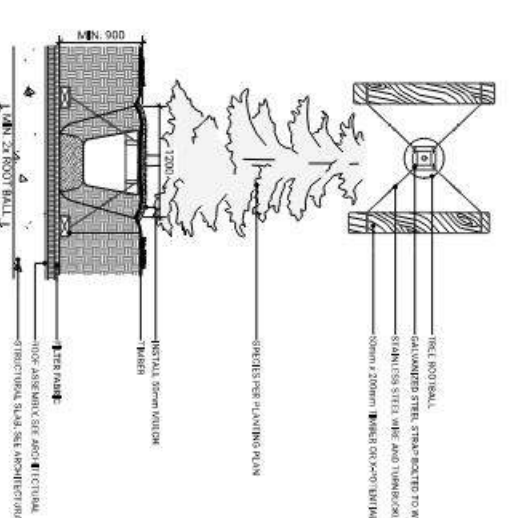
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)  
Scale: 1:25



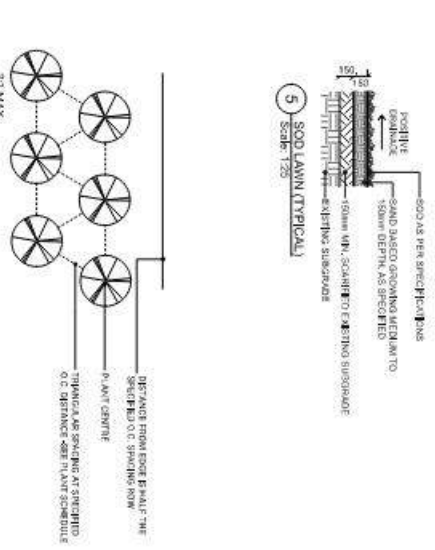
2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)  
Scale: 1:25



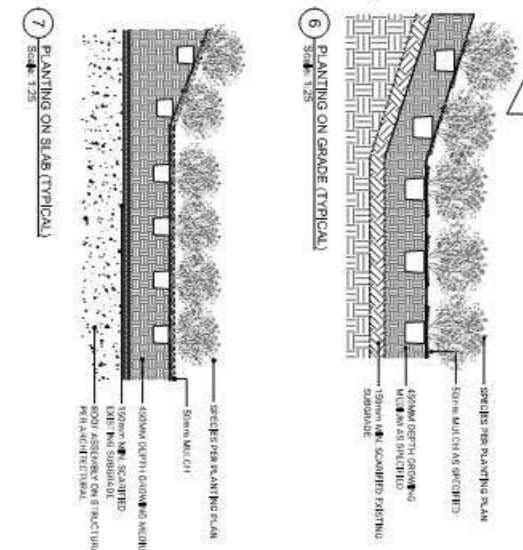
4 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)  
Scale: 1:25



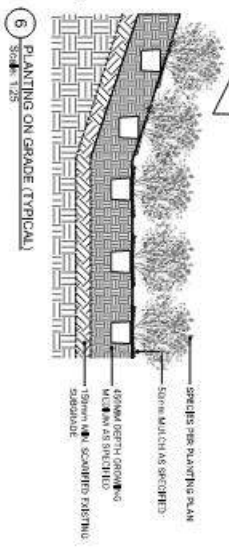
5 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)  
Scale: 1:25



5 SOD LAMIN (TYPICAL)  
Scale: 1:25

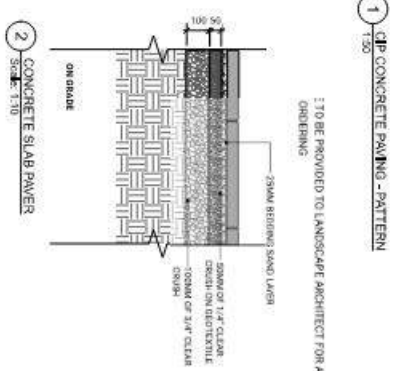
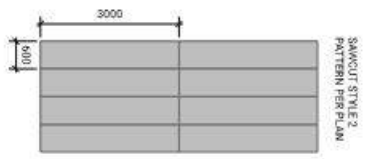
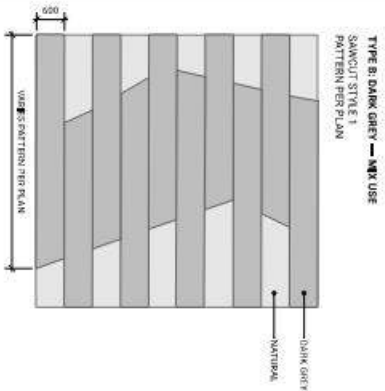
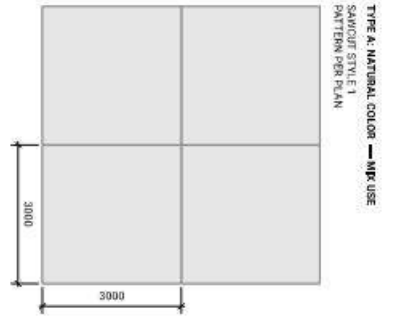


7 PLANTING ON SLAB (TYPICAL)  
Scale: 1:25



8 PLANTING ON GRADE (TYPICAL)  
Scale: 1:25

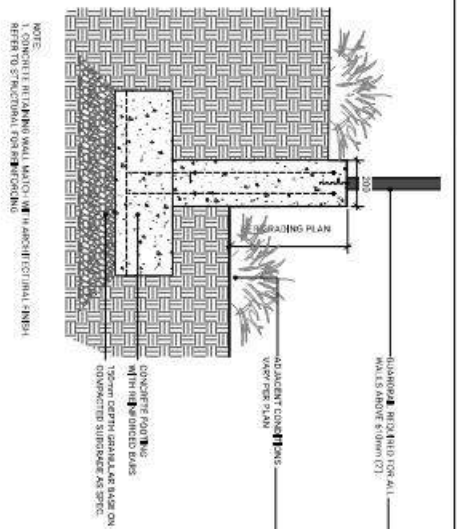
1. FOUNDATION	2000
2. FOUNDATION	2000
3. FOUNDATION	2000
4. FOUNDATION	2000
5. FOUNDATION	2000
6. FOUNDATION	2000
7. FOUNDATION	2000
8. FOUNDATION	2000
9. FOUNDATION	2000
10. FOUNDATION	2000
11. FOUNDATION	2000
12. FOUNDATION	2000
13. FOUNDATION	2000
14. FOUNDATION	2000
15. FOUNDATION	2000
16. FOUNDATION	2000
17. FOUNDATION	2000
18. FOUNDATION	2000
19. FOUNDATION	2000
20. FOUNDATION	2000
21. FOUNDATION	2000
22. FOUNDATION	2000
23. FOUNDATION	2000
24. FOUNDATION	2000
25. FOUNDATION	2000
26. FOUNDATION	2000
27. FOUNDATION	2000
28. FOUNDATION	2000
29. FOUNDATION	2000
30. FOUNDATION	2000
31. FOUNDATION	2000
32. FOUNDATION	2000
33. FOUNDATION	2000
34. FOUNDATION	2000
35. FOUNDATION	2000
36. FOUNDATION	2000
37. FOUNDATION	2000
38. FOUNDATION	2000
39. FOUNDATION	2000
40. FOUNDATION	2000
41. FOUNDATION	2000
42. FOUNDATION	2000
43. FOUNDATION	2000
44. FOUNDATION	2000
45. FOUNDATION	2000
46. FOUNDATION	2000
47. FOUNDATION	2000
48. FOUNDATION	2000
49. FOUNDATION	2000
50. FOUNDATION	2000



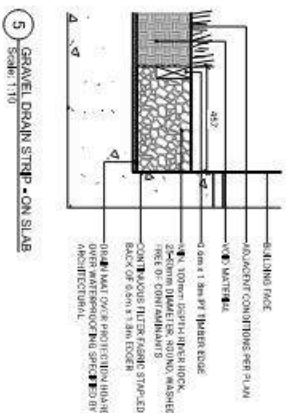
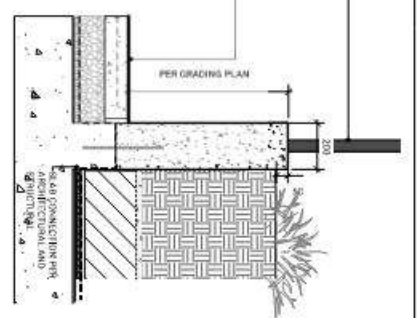
TO BE PROVIDED TO LANDSCAPE ARCHITECT FOR APPROVAL ORDERING

BRIDGEWOOD SLAB BY BARKMAN CONCRETE  
SIZE: 850mm x 250mm x 51mm  
COLOUR: CEDAR BROWN  
PATTERN: RUNNING BOND

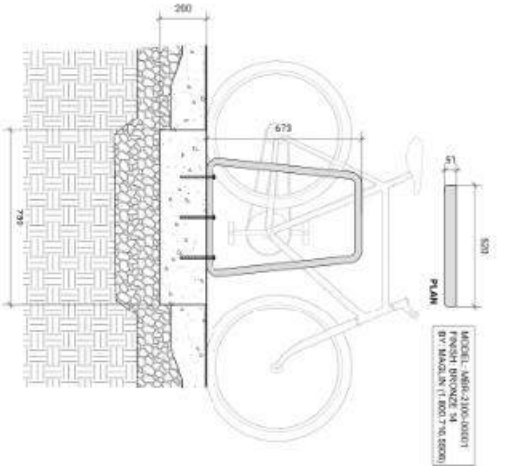
NOTES:  
1. SAMPLE TO BE PROVIDED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING



NOTE:  
1. CONCRETE RETAINING WALL MAINT. - SEE ARCHITECTURAL FINISH REFERS TO STRUCTURAL FOR REINFORCING



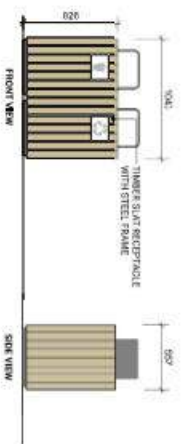




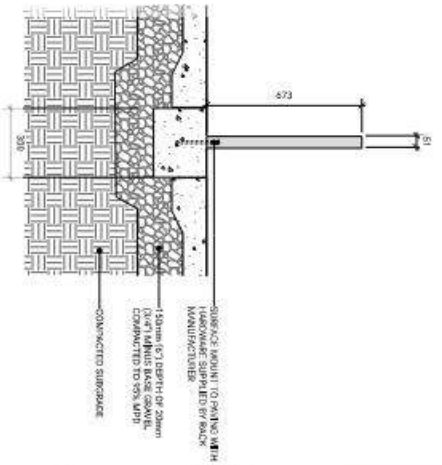
1 BIKE RACKS BE PROVIDED FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION  
Scale: 1/10



3 BENCH TYPE 182  
NYS



4 WASTE / RECYCLING RECEPTACLES  
Scale: 1/20



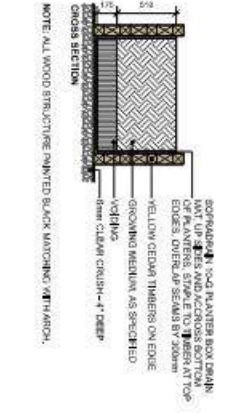
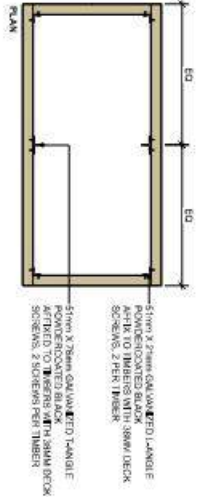
2 TIMBER AGRICULTURAL PLANTER  
Scale: 1/20



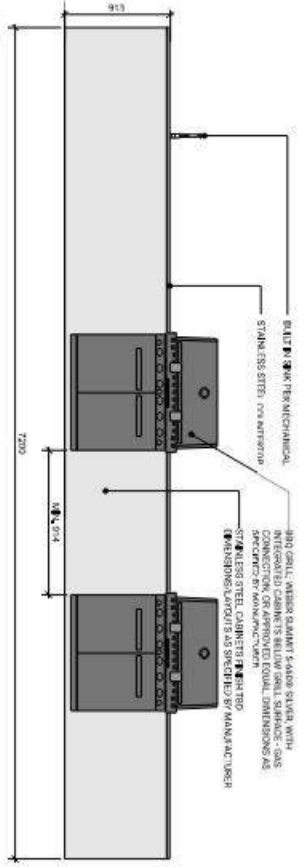
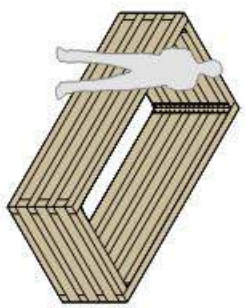
BENCH TYPE 2  
MODEL: 720 BACKLESS WALL MOUNT  
FINISH: BRONZE 14 & WOOD  
BY MANUFACTURER (1.800.716.5586)



MODEL: EP 353A BUILD  
SUPPLIER: TOYRANG  
TEL: 1.800.889.7254



NOTE: ALL WOOD STRUCTURE PAINTED BLACK W/CRACKING KIT W/ARCH.



5 OUTDOOR KITCHEN  
Scale: 1/20

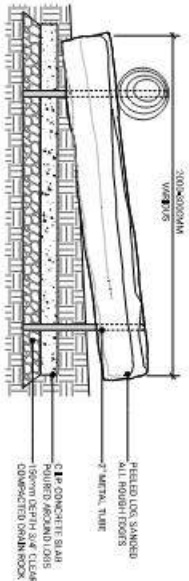
NOTE:  
1. MECHANICAL SLAT WALL TO BE PROVIDED FOR GAS/MECHANICAL CONNECTION.  
2. FABRICATOR SHALL TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.  
3. REFER TO MECHANICAL DRAWINGS FOR GAS PIPING/MECHANICAL CONNECTIONS.  
4. CONSULTATION TO THE GAS SPECIALIST FOR CONNECTION DESIGN AND APPROVAL.



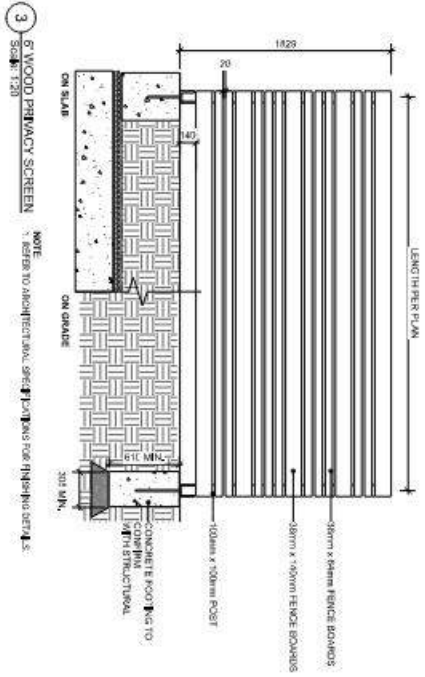
1. PROJECT NO.	2020-01
2. PROJECT NAME	ROYAL BAY LOT B
3. PROJECT ADDRESS	10000 100th Ave NE, Redmond, WA 98073
4. PROJECT DATE	2020-01
5. PROJECT STATUS	CONCEPT DESIGN
6. PROJECT CONTACT	ROYAL BAY LOT B
7. PROJECT CONTACT PHONE	509.881.1111
8. PROJECT CONTACT EMAIL	royalbaylotb@connect-arch.com
9. PROJECT CONTACT WEBSITE	www.connect-arch.com
10. PROJECT CONTACT SOCIAL MEDIA	www.facebook.com/connect.architecture
11. PROJECT CONTACT ADDRESS	2302 Parkway Drive, Washington, DC 20015
12. PROJECT CONTACT PHONE	202.462.1340
13. PROJECT CONTACT EMAIL	royalbaylotb@connect-arch.com
14. PROJECT CONTACT WEBSITE	www.connect-arch.com
15. PROJECT CONTACT SOCIAL MEDIA	www.facebook.com/connect.architecture



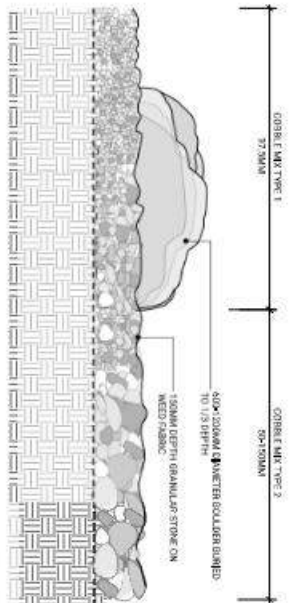
1 TREE STUMP  
SCALE: 1:20



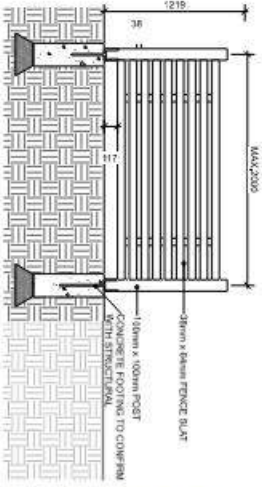
2 LOG SCROLLABLE  
SCALE: 1:20



3 WOOD PRIVACY SCREEN  
SCALE: 1:30  
NOTE: REFER TO ALTERNATIVE SPECIFICATIONS FOR FINISHES DETAILS



4 GRANULAR STONE AND BOULDER  
SCALE: 1:30



5 COMPOSITE WOOD FENCE  
SCALE: 1:20



FINISH: BLACK METAL PRESS RAILINGS & GATES  
(604-928-7248)



6 PICNIC TABLE  
MIS

PICNIC TABLE  
MODEL: 720 TABLE  
FINISH: BRONZE 1/4 & WOOD  
BY MANULIN (1 800 716 5506)

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2016/07/10
2	ISSUED FOR CONSTRUCTION	2016/07/10
3	REVISIONS	



# SCHEDULE 3

## Royal Bay Parcel B

### Class D Cost Estimate

PROJECT: ROYAL BAY PARCEL B (06-781)

DATE: MARCH 2023

PREPARED BY: YUQI LEI

REVIEWED BY: OREN MIZRAHI



#### A - SOFTSCAPE WORKS

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL \$
0.1	SMALL DECIDUOUS TREE (3-4M HT.) (INC. 900MM GROW MEDIA + MULCH)	EA	116	\$450	\$52,200
0.2	MEDIUM DECIDUOUS TREE (5CM CAL.) (INC. 900MM GROW MEDIA + MULCH)	EA	71	\$600	\$42,600
0.3	EVERGREEN TREE (3-4M HT.) (INC. 900MM GROW MEDIA + MULCH)	EA	72	\$450	\$32,400
0.4	PLANTING SHRUB / GRASS / GROUNDCOVERS (INC. 450MM GROW MEDIA + MULCH)	M2	6,470	\$95	\$614,650
0.5	SOD LAWN (INC. 300MM GROW MEDIA)	M2	216	\$20	\$4,320
0.6	IRRIGATION	ALLOW	1	\$75,000	\$75,000
<b>TOTAL</b>					<b>\$821,170</b>

#### B - HARDSCAPE WORKS

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL \$
0.1	PEDESTRIAN CONCRETE UNIT PAVERS (INC. BASE)	M2	120	\$150	\$18,000
0.2	CIP CONCRETE PEDESTRIAN PAVING SAWCUT W/BROOM FINISH (INC. BASE)	M2	3,830	\$150	\$574,500
0.3	CIP CONCRETE WALL	LM	385	\$500	\$192,500
0.4	CIP CONCRETE STAIRS	M2	40	\$1,500	\$60,000
0.5	WOOD DECKING	M2	42	\$500	\$21,000
0.6	GRANULAR SURFACING (150MM DEPTH + WEED FABRIC)	M2	1,310	\$45	\$58,950
<b>TOTAL</b>					<b>\$924,950</b>

#### C- FURNISHINGS

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL \$
0.1	PICNIC TABLE	EA	2	\$2,000	\$4,000
0.2	TRASH/RECYCLE	EA	8	\$3,000	\$24,000
0.3	AGRICULTURE PLANTER	EA	7	\$1,500	\$10,500
0.4	BIKE RACK	EA	18	\$1,000	\$18,000
0.5	BENCH TYPE 1	EA	7	\$1,800	\$12,600
0.6	BENCH TYPE 2	EA	3	\$3,000	\$9,000
0.7	OUTDOOR KITCHEN	LS	1	\$15,000	\$15,000
0.8	6FT HT WOOD SCREEN	LM	280	\$200	\$56,000
0.9	4FT HT WOOD FENCE	LM	168	\$150	\$25,200
1.0	3.5FT HT GUARDRAIL	LM	112	\$500	\$56,000
<b>TOTAL</b>					<b>\$230,300</b>

**SUBTOTAL ON-SITE \$1,976,420**

**10% CONTINGENCY \$197,642**

**TOTAL ON-SITE \$2,174,062**

#### NOTES:

- COSTS ARE PRELIMINARY ONLY AND ARE BASED ON CONNECT LANDSCAPE ARCHITECTURE INC. PRELIMINARY DRAWINGS, DATED MAR 30, 2023.
- COSTS REFLECT 2023 PRICES (IN CANADIAN DOLLARS) AND INCLUDES DELIVERY AND INSTALLATION, UNLESS OTHERWISE NOTED.
- COSTS ARE SUBJECT TO CHANGE BASED UPON FACTORS BEYOND THE CONTROL OF CONNECT LANDSCAPE ARCHITECTURE (IE. VOLATILITY OF TRADES AND MARKET-DRIVEN INCREASES).
- THE ESTIMATES ARE CLASS D INDICATIVE ORDER-OF-MAGNITUDE COST LEVELS. TO ESTABLISH A PRELIMINARY PROJECT BUDGET.
- THE TOTAL ESTIMATED AMOUNT INCLUDING CONTINGENCY IS CONSIDERED ACCURATE TO +/- 15%, IN ALIGNMENT WITH EXPECTATIONS FOR CLASS-D COST ESTIMATES.
- EXACT COSTS TO BE DETERMINED ONLY WHEN DETAILED DRAWINGS HAVE BEEN PREPARED TO TENDER.
- EXCLUSIONS INCLUDE BUT ARE NOT LIMITED TO: OFFSITE LANDSCAPE, PROFESSIONAL SERVICE FEES, REGULATORY/PERMITTING REQUIREMENTS, SITE SERVICING (CIVIL/ELECTRICAL), EARTHWORKS ESTABLISHMENT MAINTENANCE, LANDSCAPE LIGHTING, PST/GST/HST, INTERPRETIVE AND WAYFINDING SIGNAGE, PUBLIC ART AND ARTIFACT PLACEMENT.

# SCHEDULE 4

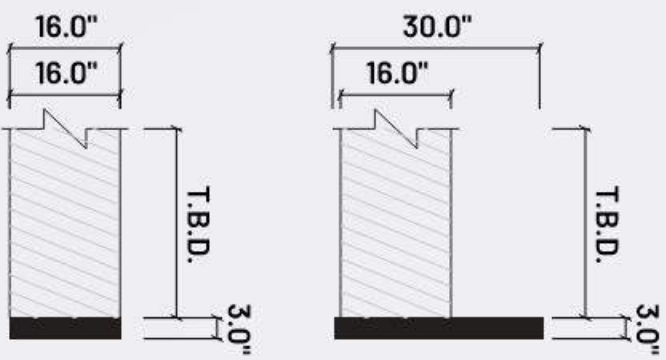
## Commons Mixed-Use / Parcel B in Latoria South Comprehensive Sign Plan

City of Colwood - June 2023



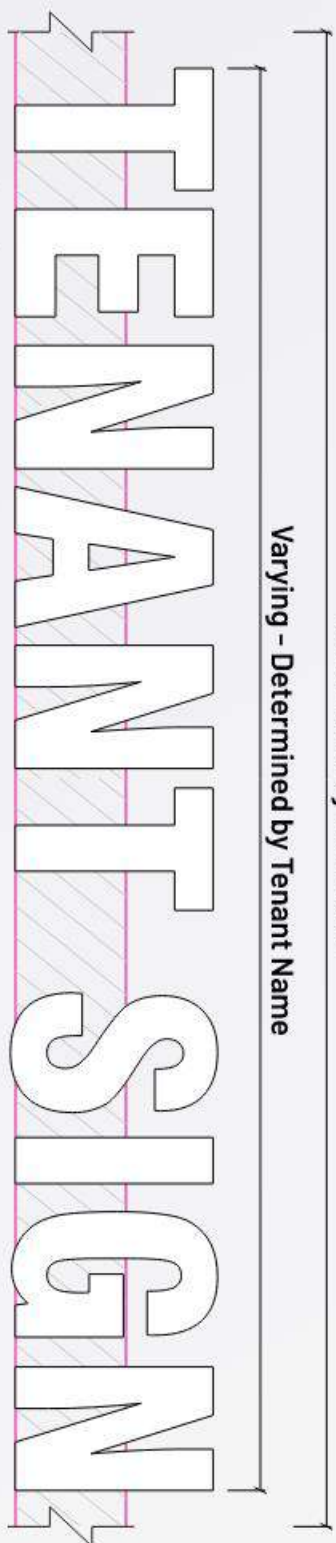


# 36" - Channel Letters



Determined by Each CRU

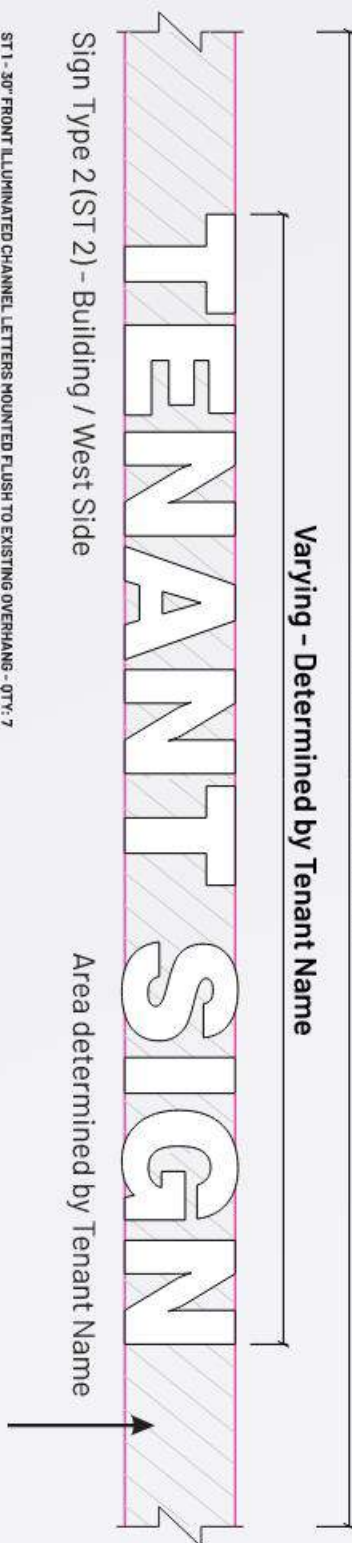
Varying - Determined by Tenant Name



Sign Type 1 (ST 1) - Building West Side

Determined by Each CRU

Varying - Determined by Tenant Name



Sign Type 2 (ST 2) - Building / West Side

Overhang structure to be outlined and confirmed

ST 1 - 30" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO EXISTING OVERHANG - OTTY: 7

White acrylic faces; 3" black returns; black trim caps; white backs; flush to existing overhang at location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remove located if possible); raceway may be required; painted to match building

ST 2 - 16" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO EXISTING OVERHANG - OTTY: 2

White acrylic faces; 3" black returns; black trim caps; white backs; flush to existing overhang at location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remove located if possible); raceway may be required; painted to match building

Power supply and disconnect switch location T.B.D; S/B remote located if possible. These letters may have to be mounted to a raceway.

Note - There will be a maximum width allowed for these signs as a condition of the Development Permit.

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000 QUOTE # 0000000 SCALE: 1" = 18"

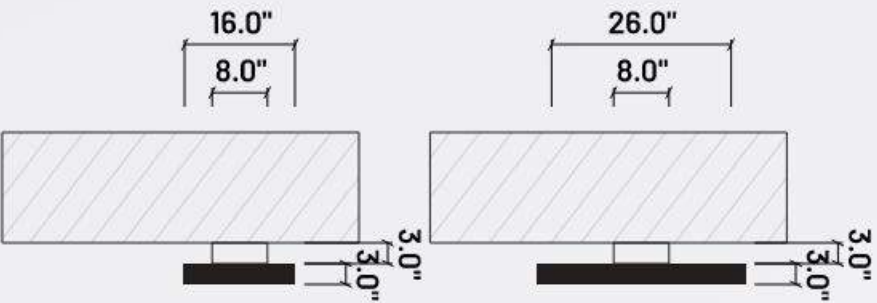
DATE: June 30th, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN | GFXSIGNS.COM V7 ART

# 36" - Channel Letters



Varying - Determined by Tenant Name

TENANT SIGN

Sign Type 3 (ST 3) - Building East Side

Area determined by Tenant Name

Varying - Determined by Tenant Name

TENANT SIGN

Sign Type 4 (ST 4) - Building North/South/East Sides

Area determined by Tenant Name

**ST 3 - 26" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO WALL - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to wall location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible); raceway may be required, painted to match building

**ST 4 - 16" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO WALL - OTY: 6**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to wall location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible); raceway may be required, painted to match building

Power supply and disconnect switch location T.B.D. S/B remote located if possible. These letters may have to be mounted to a raceway.

Note - There will be a maximum width allowed for these signs as a condition of the Development Permit.

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
 QUOTE # 0000000

SCALE: 1" = 18"

DATE: June 30th, 2023

SALES: Jay

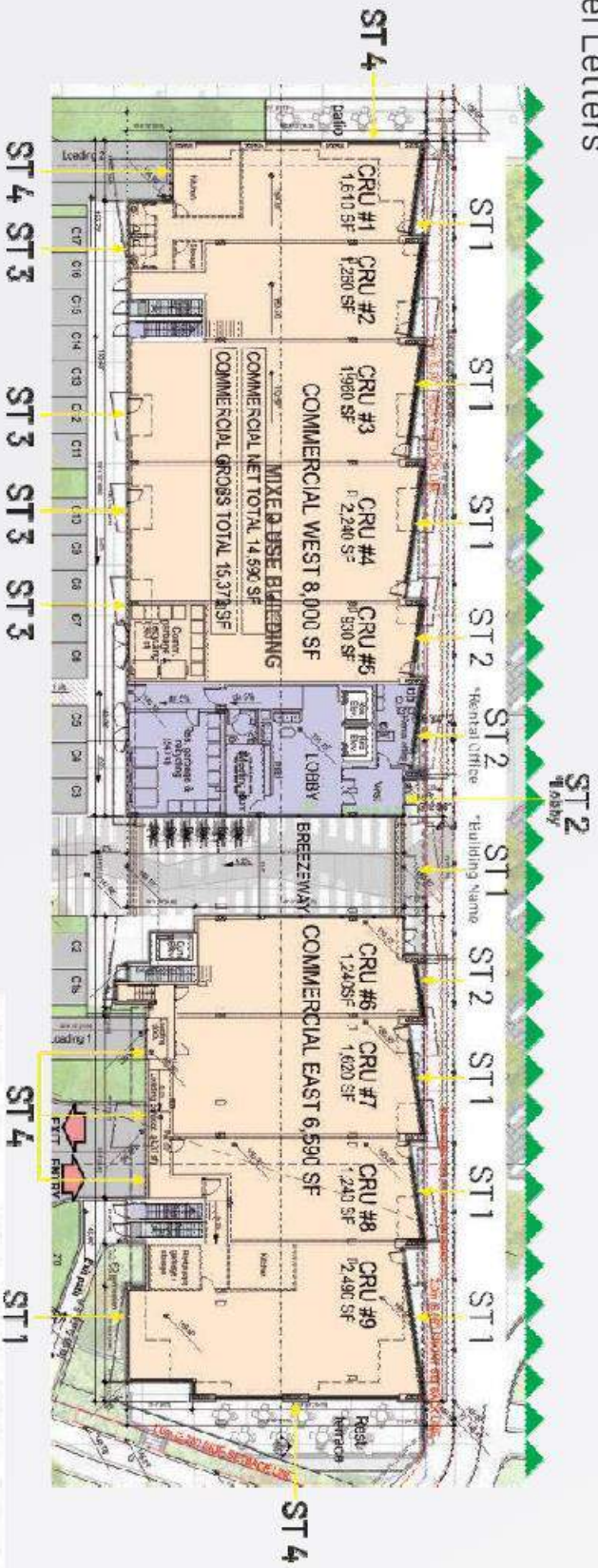
DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN | GFSIGNS.com

V7 ART



# Channel Letters



**ST 1 - 30" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO EXISTING OVERHANG - OTY: 8**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to existing overhang at location; LED illuminated; length of WHIPS and location of power supply: T.B.D. (remote located if possible)

**ST 2 - 16" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO EXISTING OVERHANG - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to existing overhang at location; LED illuminated; length of WHIPS and location of power supply: T.B.D. (remote located if possible)

**ST 3 - 28" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO WALL - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to wall location; LED illuminated; length of WHIPS and location of power supply: T.B.D. (remote located if possible)

**ST 4 - 16" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO WALL - OTY: 7**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to wall at location; LED illuminated; length of WHIPS and location of power supply: T.B.D. (remote located if possible)

**\*Maximum of one fascia sign per business per building face**  
**\*Note - There will be a maximum width allowed for these signs as a condition of the Development Permit.**



## Front Illuminated Channel Letters

CLIENT: Royal Bay

DATE: June 30th, 2023

SALES: Jay

DESIGN: Jason

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

GRAPHICFX SIGNWORKS

250.382.SIGN

GFXSIGNS.COM

WORK ORDER 0000000  
 QUOTE # 0000000

SCALE: 1" = 18"

V7 ART



# 36" - Channel Letters

NORTH ELEVATION



SOUTH ELEVATION



Size, and placement shown are approximate and subject to site confirmation.

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
QUOTE # 0000000

SCALE: 1" = 18"

DATE: June 30th, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS

250.382.SIGN

GFXSIGNS.COM

V7

ART



# 36" - Channel Letters

WEST ELEVATION



EAST ELEVATION

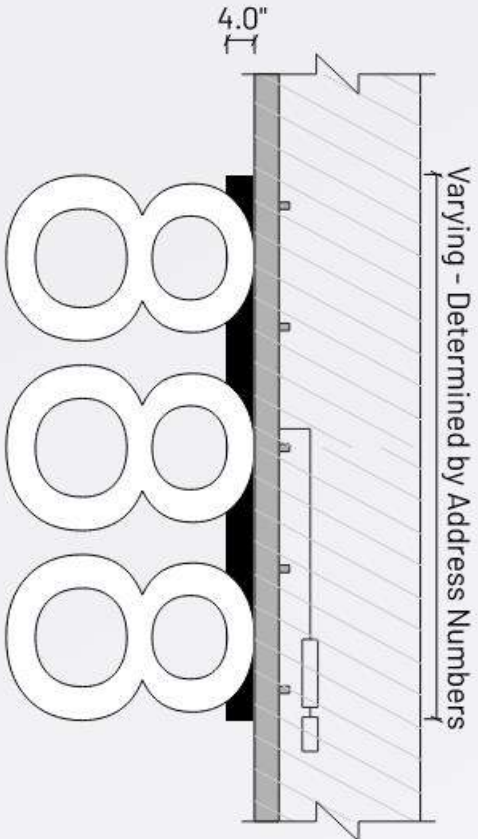
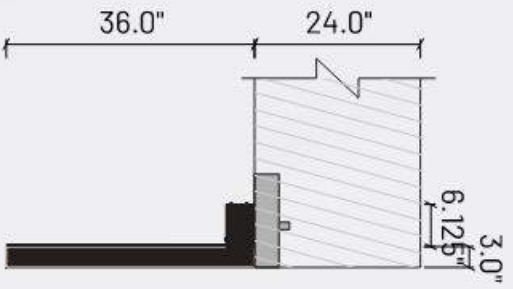


Size, and placement shown are approximate and subject to site confirmation.

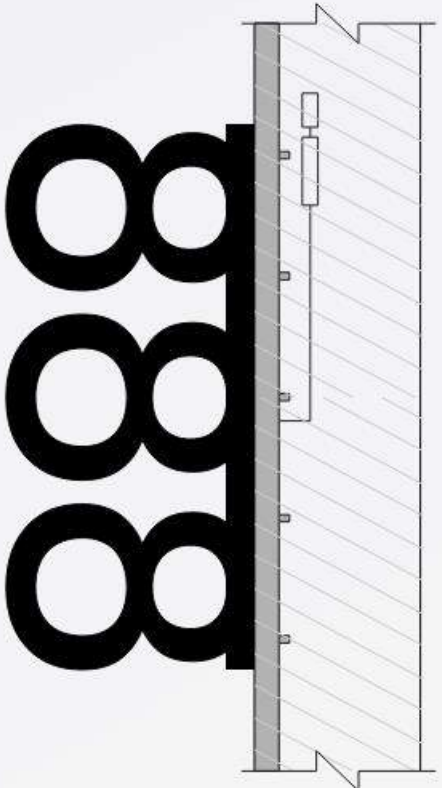
## Front Illuminated Channel Letters

CLIENT: Royal Bay	By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.		WORK ORDER 0000000	SCALE: 1" = 18"
DATE: June 30th, 2023	SALES: Jay	DESIGN: Jason	GRAPHICFX SIGNWORKS 250.382.SIGN   GF.SIGNS.COM	QUOTE # 0000000
				V7 ART

# 36" - Channel Letters - Hanging - Soffit



FRONT ELEVATION  
Front Illuminated Channel letters - Addresses



BACK ELEVATION  
Front Illuminated Channel letters - Addresses

**36" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED TO SOFFIT - OTV: 4"**  
 White acrylic faces; 3" black returns; black trim caps; white backs; mounted to 4" raceway; raceway installed to soffit on four different buildings; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

DATE: June 23rd, 2023

SALES: Jay

DESIGN: Jason



\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

GRAPHICFX SIGNWORKS 250.382.SIGN | GFXSIGNS.COM

WORK ORDER 0000000  
QUOTE # 0000000

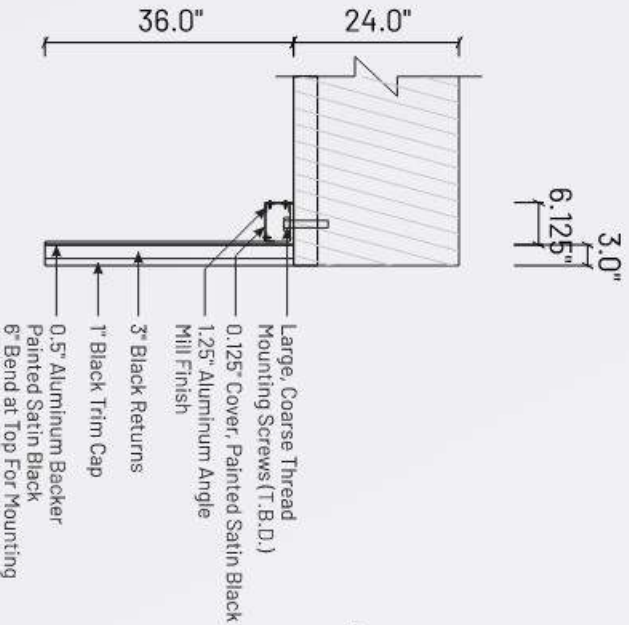
SCALE: 1" = 18"

V5 ART

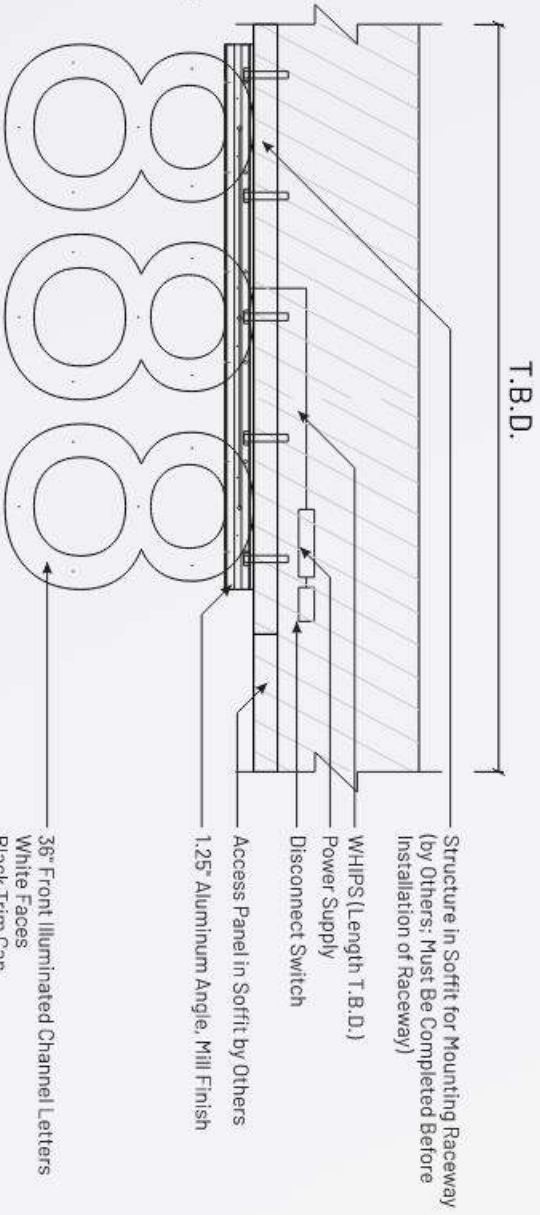


# 36" - Channel Letters - Hanging - Soffit

**36" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED TO SOFFIT - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; mounted to 4" raceway; raceway installed to soffit on four different buildings; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)



SIDE ELEVATION  
 Front Illuminated Channel Letters Details - Addresses



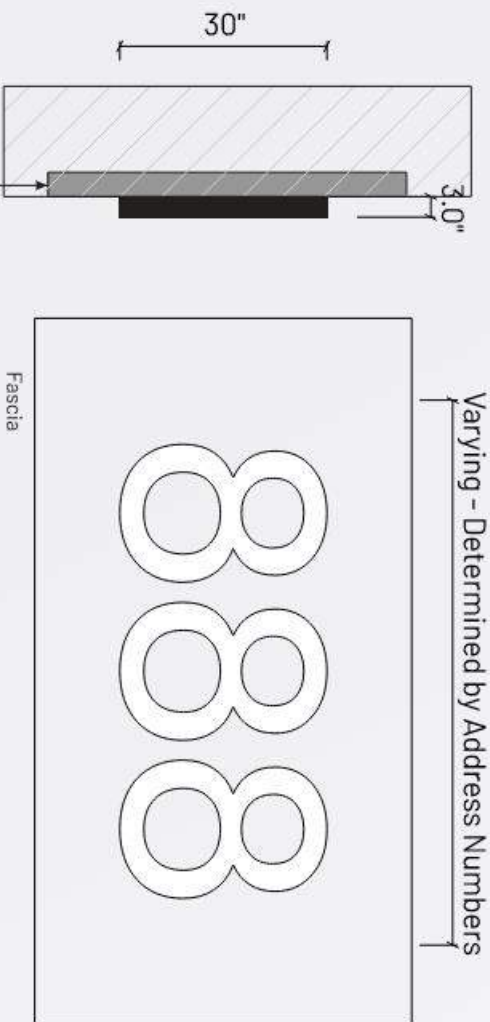
FRONT ELEVATION  
 Front Illuminated Channel Letters Details - Addresses

## Front Illuminated Channel Letters

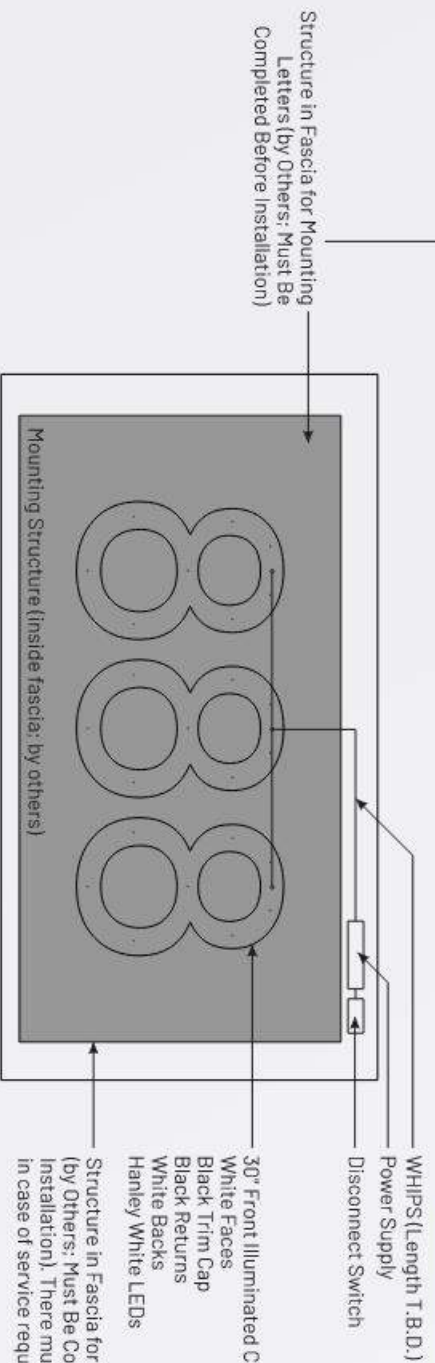
CLIENT: Royal Bay	By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.		
DATE: June 23rd, 2023	SALES: Jay	DESIGN: Jason	
GRAPHICFX SIGNWORKS		250.362.SIGN	GF.SIGNS.COM
WORK ORDER 0000000		QUOTE # 0000000	SCALE: 1" = 18"
V5		ART	

\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

# 30" Channel Letters - Fascia



**36" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FASCIA - 07X-4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; installed flush to fascia for four different buildings; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)



## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

DATE: June 23rd, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.362.SIGN | GFXSIGNS.COM

SCALE: 1" = 18" V5 ART

WORK ORDER 0000000  
 QUOTE # 0000000

\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.



# 36" - Channel Letters

**36" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED TO SOFFIT - QTY: 4**  
White acrylic faces; 3" black returns; black trim caps; white backs; mounted to 4" raceway; raceway installed to soffit on four different buildings; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)

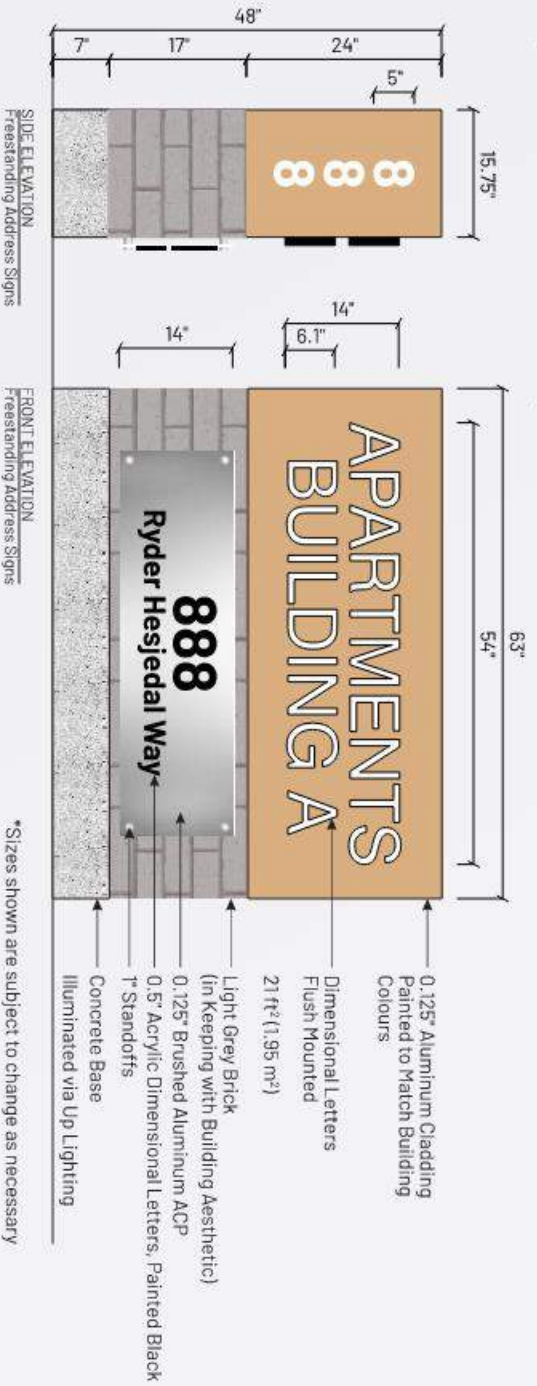


\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

## Front Illuminated Channel Letters

CLIENT: Royal Bay	By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.		
DATE: June 23rd, 2023	SALES: Jay	DESIGN: Jason	
<b>GRAPHICFX SIGNWORKS 250.382.SIGN   GFXSIGNS.COM</b>			
			WORK ORDER 0000000 QUOTE # 0000000
			SCALE: 1" = 18"
			V5 ART

# Freestanding Apartment Address Signs



**ILLUMINATED CHANNEL LETTERS FOR MONUMENT SIGNS - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; installed flush to monument structure for four different buildings; LED illuminated; letters mounted to aluminum monument structure; power supply and disconnect switch located within structure; concrete base by others must have low voltage wire run, exiting from top surface and front surface; anchor bolts for upper structure will be required; addresses will be acrylic letters painted black; mounted to brushed aluminum ACP backer; backer mounted to brick with standoffs



## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

DATE: June 23rd, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN | GFXSIGNS.COM

V6 ART

WORK ORDER 0000000 QUOTE # 0000000 SCALE: 1" = 18"

\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

Monument Sign Locations



# Freestanding Tenant Sign

FREESTANDING TENANT DIRECTORY - 01Y:1  
Supply & install, 1 single sided, freestanding directory



SIDE ELEVATION  
Freestanding Address Signs

FRONT ELEVATION  
Freestanding Address Signs

\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
QUOTE # 0000000

SCALE: 1" = 10"

DATE: June 21st, 2023

SALES: Amy

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN GFXSIGNS.COM

V4 ART

# Freestanding Tenant Sign

FREESTANDING TENANT DIRECTORY - 071-1  
Supply & Install, 1 single sided, freestanding directory



Rendering only. May not be exactly as shown.



CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
QUOTE # 0000000

SCALE: 1" = 10'

DATE: June 21st, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN | GFXSIGNS.COM

V4 ART





## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP-22-022

### DEVELOPMENT PERMIT DP-22-022

THIS PERMIT, issued **JULY 6 2023** is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: RB Commons Apartments Limited Partnership and Royal Bay Holdings No. 2 Ltd.  
#1774 – 1055 Dunsmuir Street  
Box 49221  
Vancouver, BC V7X 1L2 (the "Permittee")

- 
1. This Form and Character Development Permit, for the construction of five apartment buildings in lands designated within the Centres Development Permit Area, is issued subject to compliance with all of the bylaws of the City of Colwood applicable thereto, except as specifically varied or supplemented by this Permit.
  2. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:  

Lot 1 Esquimalt District Plan EPP122243 Sections 40 and 54  
(the "Lands")
  3. This Development Permit regulates the development of the Land, and supplements the "Colwood Land Use Bylaw, 1989" (Bylaw No. 151), to ensure the form and character considerations for five apartment buildings and associated site improvements are consistent with the design guidelines for areas designated as "Seaside Village" in the City of Colwood Official Community Plan (Bylaw No. 1700).
  4. This Development Permit is **NOT** a Building Permit or a subdivision approval.
  5. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.

6. The Director of Development Services may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
7. This Development Permit authorizes the construction of five apartment buildings along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

#### FORM AND CHARACTER CONDITIONS

##### Building Features

- 7.1. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by RH Architects Inc. (Schedule 1).
- 7.2. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 7.3. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

##### Landscaping

- 7.4. The design and construction of the proposed landscaping shall be in accordance with the Landscape Plan prepared by Connect Landscape Architecture (Schedule 2).
- 7.5. Prior to the issuance of a Building Permit, provide the City with a written letter of engagement from a registered landscape architect agreeing to:
  - 7.5.1. Supervise and install the landscape works in accordance with the approved landscape plan (Schedule 2); and,
  - 7.5.2. Perform a final inspection and submit an inspection report to the City confirming substantial compliance with the approved landscape plan.
- 7.6. Prior to the issuance of a Building Permit, a security deposit in the amount of 110% of the landscape cost estimate in Schedule 3 must be submitted by the Permittee to the City of Colwood in the form of an irrevocable letter of credit or certified cheque. The amount of security to be remitted is **\$2,391,468.20**; this amount, or a portion thereof, shall be returned two years after the City receives a signed statement of partial or substantial completion from a registered BCLSA landscape architect, to the satisfaction of the Director of Development Services.

##### Signage

- 7.7. Signage shall be in substantial compliance with the signage plan prepared by Graphic FX Signworks (Schedule 4).
- 7.8. No fascia sign may exceed a width of 25 feet.



**ENVIRONMENTAL CONDITIONS**

**Site Clearing**

- 7.9. Clearing of the lot prior to issuance of a Building Permit shall be limited to the minimum area required for construction.

**PLANS AND SPECIFICATIONS**

- 8. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form part of this permit:

**Schedule 1** – Architectural Drawings prepared by RH Architecture Ltd. dated \_\_\_\_\_, 2023

**Schedule 2** – Landscape Plan prepared by Connect Landscape Architecture, BCLSA dated \_\_\_\_\_, 2023

**Schedule 3** – Landscape Cost Estimate prepared by Connect Landscape Architecture, BCSLA dated \_\_\_\_\_, 2023

**Schedule 4** – Signage Plan prepared by Graphic FX dated \_\_\_\_\_, 2023

**ISSUED ON THIS \_\_\_ DAY OF \_\_\_\_\_ 2023.**

\_\_\_\_\_  
YAZMIN HERNANDEZ, MCIP, RPP  
DIRECTOR OF DEVELOPMENT SERVICES



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP-22-022

### DEVELOPMENT PERMIT DP-22-022

THIS PERMIT, issued **JULY 6 2023** is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: RB Commons Apartments Limited Partnership and Royal Bay Holdings No. 2 Ltd.  
#1774 – 1055 Dunsmuir Street  
Box 49221  
Vancouver, BC V7X 1L2 (the "Permittee")

- 
1. This Form and Character Development Permit, for the construction of five apartment buildings in lands designated within the Centres Development Permit Area, is issued subject to compliance with all of the bylaws of the City of Colwood applicable thereto, except as specifically varied or supplemented by this Permit.
  2. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:  

Lot 1 Esquimalt District Plan EPP122243 Sections 40 and 54  
(the "Lands")
  3. This Development Permit regulates the development of the Land, and supplements the "Colwood Land Use Bylaw, 1989" (Bylaw No. 151), to ensure the form and character considerations for five apartment buildings and associated site improvements are consistent with the design guidelines for areas designated as "Seaside Village" in the City of Colwood Official Community Plan (Bylaw No. 1700).
  4. This Development Permit is **NOT** a Building Permit or a subdivision approval.
  5. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.



6. The Director of Development Services may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
7. This Development Permit authorizes the construction of five apartment buildings along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

#### FORM AND CHARACTER CONDITIONS

##### Building Features

- 7.1. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by RH Architects Inc. (Schedule 1).
- 7.2. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 7.3. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

##### Landscaping

- 7.4. The design and construction of the proposed landscaping shall be in accordance with the Landscape Plan prepared by Connect Landscape Architecture (Schedule 2).
- 7.5. Prior to the issuance of a Building Permit, provide the City with a written letter of engagement from a registered landscape architect agreeing to:
  - 7.5.1. Supervise and install the landscape works in accordance with the approved landscape plan (Schedule 2); and,
  - 7.5.2. Perform a final inspection and submit an inspection report to the City confirming substantial compliance with the approved landscape plan.
- 7.6. Prior to the issuance of a Building Permit, a security deposit in the amount of 110% of the landscape cost estimate in Schedule 3 must be submitted by the Permittee to the City of Colwood. The amount of security to be remitted is **\$2,391,468.20**; this amount, or a portion thereof, shall be returned two years after the City receives a signed statement of partial or substantial completion from a registered BCLSA landscape architect, to the satisfaction of the Director of Development Services.

##### Signage

- 7.7. Signage shall be in substantial compliance with the signage plan prepared by Graphic FX Signworks (Schedule 4).
- 7.8. No fascia sign may exceed a width of 25 feet.

**ENVIRONMENTAL CONDITIONS**

**Site Clearing**

7.8. Clearing of the lot prior to issuance of a Building Permit shall be limited to the minimum area required for construction.

**PLANS AND SPECIFICATIONS**

8. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form part of this permit:

**Schedule 1** – Architectural Drawings prepared by RH Architecture Ltd. dated June 29, 2023

**Schedule 2** – Landscape Plan prepared by Connect Landscape Architecture, BCLSA dated May 2, 2023

**Schedule 3** – Landscape Cost Estimate prepared by Connect Landscape Architecture, BCLSA dated March, 2023

**Schedule 4** – Signage Plan prepared by **Graphic FX** dated June 30, 2023

ISSUED ON THIS 6 DAY OF July 2023.

Yazmin Hernández B.

YAZMIN HERNANDEZ, MCIP, RPP

DIRECTOR OF DEVELOPMENT SERVICES







**RH Architects Inc.**  
 100 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.683.0992  
 Fax: 604.683.0991  
 www.rharchitects.ca

**PROJECT:** 2019-2022  
**CLIENT:** PAREGROUPE  
**DATE:** 2022-06-23  
**PROJECT NO.:** 2126/2138

**PROJECT NO.:** 2126/2138  
**DATE:** 2022-06-23

**PROJECT NO.:** 2126/2138  
**DATE:** 2022-06-23

**PROJECT NO.:** 2126/2138  
**DATE:** 2022-06-23

**PROJECT NO.:** 2126/2138  
**DATE:** 2022-06-23

Parcel	Type	Area (sqm)	Height (m)	Setback (m)		Floor Area (sqm)		Volume (cu m)		Density	
				Front	Rear	Permitted	Proposed	Permitted	Proposed	Permitted	Proposed
Parcel A	Residential	1,234	12.0	3.0	3.0	1,234	1,234	14,808	14,808	12.0	12.0
Parcel B	Residential	1,567	12.0	3.0	3.0	1,567	1,567	18,804	18,804	12.0	12.0
Parcel C	Residential	1,890	12.0	3.0	3.0	1,890	1,890	22,680	22,680	12.0	12.0
Parcel D	Residential	2,123	12.0	3.0	3.0	2,123	2,123	25,476	25,476	12.0	12.0
Parcel E	Residential	2,456	12.0	3.0	3.0	2,456	2,456	29,472	29,472	12.0	12.0
<b>Total</b>		<b>7,270</b>	<b>12.0</b>	<b>3.0</b>	<b>3.0</b>	<b>7,270</b>	<b>7,270</b>	<b>87,038</b>	<b>87,038</b>	<b>12.0</b>	<b>12.0</b>

Apartment	Type	Area (sqm)	Height (m)	Setback (m)		Floor Area (sqm)		Volume (cu m)		Density	
				Front	Rear	Permitted	Proposed	Permitted	Proposed	Permitted	Proposed
Apartment A	Residential	1,234	12.0	3.0	3.0	1,234	1,234	14,808	14,808	12.0	12.0
Apartment B	Residential	1,567	12.0	3.0	3.0	1,567	1,567	18,804	18,804	12.0	12.0
Apartment C	Residential	1,890	12.0	3.0	3.0	1,890	1,890	22,680	22,680	12.0	12.0
Apartment D	Residential	2,123	12.0	3.0	3.0	2,123	2,123	25,476	25,476	12.0	12.0
Apartment E	Residential	2,456	12.0	3.0	3.0	2,456	2,456	29,472	29,472	12.0	12.0
<b>Total</b>		<b>7,270</b>	<b>12.0</b>	<b>3.0</b>	<b>3.0</b>	<b>7,270</b>	<b>7,270</b>	<b>87,038</b>	<b>87,038</b>	<b>12.0</b>	<b>12.0</b>

Apartment	Type	Area (sqm)	Height (m)	Setback (m)		Floor Area (sqm)		Volume (cu m)		Density	
				Front	Rear	Permitted	Proposed	Permitted	Proposed	Permitted	Proposed
Apartment A	Residential	1,234	12.0	3.0	3.0	1,234	1,234	14,808	14,808	12.0	12.0
Apartment B	Residential	1,567	12.0	3.0	3.0	1,567	1,567	18,804	18,804	12.0	12.0
Apartment C	Residential	1,890	12.0	3.0	3.0	1,890	1,890	22,680	22,680	12.0	12.0
Apartment D	Residential	2,123	12.0	3.0	3.0	2,123	2,123	25,476	25,476	12.0	12.0
Apartment E	Residential	2,456	12.0	3.0	3.0	2,456	2,456	29,472	29,472	12.0	12.0
<b>Total</b>		<b>7,270</b>	<b>12.0</b>	<b>3.0</b>	<b>3.0</b>	<b>7,270</b>	<b>7,270</b>	<b>87,038</b>	<b>87,038</b>	<b>12.0</b>	<b>12.0</b>

Apartment	Type	Area (sqm)	Height (m)	Setback (m)		Floor Area (sqm)		Volume (cu m)		Density	
				Front	Rear	Permitted	Proposed	Permitted	Proposed	Permitted	Proposed
Apartment A	Residential	1,234	12.0	3.0	3.0	1,234	1,234	14,808	14,808	12.0	12.0
Apartment B	Residential	1,567	12.0	3.0	3.0	1,567	1,567	18,804	18,804	12.0	12.0
Apartment C	Residential	1,890	12.0	3.0	3.0	1,890	1,890	22,680	22,680	12.0	12.0
Apartment D	Residential	2,123	12.0	3.0	3.0	2,123	2,123	25,476	25,476	12.0	12.0
Apartment E	Residential	2,456	12.0	3.0	3.0	2,456	2,456	29,472	29,472	12.0	12.0
<b>Total</b>		<b>7,270</b>	<b>12.0</b>	<b>3.0</b>	<b>3.0</b>	<b>7,270</b>	<b>7,270</b>	<b>87,038</b>	<b>87,038</b>	<b>12.0</b>	<b>12.0</b>

Apartment	Type	Area (sqm)	Height (m)	Setback (m)		Floor Area (sqm)		Volume (cu m)		Density	
				Front	Rear	Permitted	Proposed	Permitted	Proposed	Permitted	Proposed
Apartment A	Residential	1,234	12.0	3.0	3.0	1,234	1,234	14,808	14,808	12.0	12.0
Apartment B	Residential	1,567	12.0	3.0	3.0	1,567	1,567	18,804	18,804	12.0	12.0
Apartment C	Residential	1,890	12.0	3.0	3.0	1,890	1,890	22,680	22,680	12.0	12.0
Apartment D	Residential	2,123	12.0	3.0	3.0	2,123	2,123	25,476	25,476	12.0	12.0
Apartment E	Residential	2,456	12.0	3.0	3.0	2,456	2,456	29,472	29,472	12.0	12.0
<b>Total</b>		<b>7,270</b>	<b>12.0</b>	<b>3.0</b>	<b>3.0</b>	<b>7,270</b>	<b>7,270</b>	<b>87,038</b>	<b>87,038</b>	<b>12.0</b>	<b>12.0</b>

Apartment	Type	Area (sqm)	Height (m)	Setback (m)		Floor Area (sqm)		Volume (cu m)		Density	
				Front	Rear	Permitted	Proposed	Permitted	Proposed	Permitted	Proposed
Apartment A	Residential	1,234	12.0	3.0	3.0	1,234	1,234	14,808	14,808	12.0	12.0
Apartment B	Residential	1,567	12.0	3.0	3.0	1,567	1,567	18,804	18,804	12.0	12.0
Apartment C	Residential	1,890	12.0	3.0	3.0	1,890	1,890	22,680	22,680	12.0	12.0
Apartment D	Residential	2,123	12.0	3.0	3.0	2,123	2,123	25,476	25,476	12.0	12.0
Apartment E	Residential	2,456	12.0	3.0	3.0	2,456	2,456	29,472	29,472	12.0	12.0
<b>Total</b>		<b>7,270</b>	<b>12.0</b>	<b>3.0</b>	<b>3.0</b>	<b>7,270</b>	<b>7,270</b>	<b>87,038</b>	<b>87,038</b>	<b>12.0</b>	<b>12.0</b>

**PROJECT NO.:** 2126/2138  
**DATE:** 2022-06-23

**PROJECT NO.:** 2126/2138  
**DATE:** 2022-06-23





# Mixed Use Residential Unit Count

Floor level	Gross Area	Res. Net.	Common Area	Units Count
Level-1	1,777	16,111	1,777	23,000
Level-2	18,367	18,111	2,156	23,000
Level-3	18,367	18,111	2,156	23,000
Level-4	18,367	18,111	2,156	23,000
Level-5				
Roof Deck				
<b>Total (sq. ft.)</b>	<b>56,578</b>	<b>48,333</b>	<b>8,245</b>	<b>69,000</b>
<b>Total (sq. m.)</b>	<b>5,236</b>	<b>4,490</b>	<b>766</b>	

Unit Name	Area (sq. ft.)	Type	Count/Fl.	Total (sq. ft.)	Count/Type	Percentage	Percentage
NA1	483	Studio	9	4,327		13%	
NB1	637	1 Bed + Den	36	22,532		52%	
NB2	719	1 Bed + Den	6	4,314	42	5%	62%
NC1	810	2 Bed	6	4,860		9%	
NC4	990	2 Bed + Den	12	11,880	18	17%	26%
<b>Total</b>			<b>69</b>	<b>48,333</b>	<b>69</b>	<b>100.00%</b>	<b>100.00%</b>



**RH Architects Inc.**  
 200 Royal Street, Suite 30  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.683.0092  
 Fax: 604.683.0994  
 www.rharchitects.ca

**PROJECT:** 2019-2022  
**DATE:** 2022  
**NO. OF UNITS:** 69  
**NO. OF FLOORS:** 5  
**NO. OF BUILDINGS:** 1  
**NO. OF PLOTS:** 1  
**NO. OF LOTS:** 1

**PROJECT NO:** DP RESUBMISSION #3  
**DATE:** 2022

**NOTES:**  
 1. This drawing is the property of the architect and shall remain the property of the architect. It is to be used only for the project and site specified herein. It is not to be reproduced, copied, or used for any other project without the written consent of the architect.  
 2. The architect is not responsible for the accuracy of the information provided by the client or other sources.  
 3. The architect is not responsible for the accuracy of the information provided by the client or other sources.  
 4. The architect is not responsible for the accuracy of the information provided by the client or other sources.  
 5. The architect is not responsible for the accuracy of the information provided by the client or other sources.

**CLIENT:** 31 MAY, 2023  
**PROJECT:** PARCEL B  
**CONTRACT NO.:** 2126/2138  
**DATE:** 2022

**DATE:** 2022  
**NO. OF UNITS:** 69  
**NO. OF FLOORS:** 5  
**NO. OF BUILDINGS:** 1  
**NO. OF PLOTS:** 1  
**NO. OF LOTS:** 1  
**PROJECT NO:** 2126/2138  
**DATE:** 2022





### Buildings A B C Residential Unit Count ( Each)

Area Calculation			
Floor Level	Res. Gross	Res. Net.	Common Area
Level-1	11,231	8,919	2,312
Level-2	11,964	10,734	1,130
Level-3	11,964	10,734	1,130
Level-4	11,964	10,734	1,130
Level-5	11,964	10,734	1,130
Level-6	11,964	10,734	1,130
Roof Deck			
<b>Total (sq.ft.)</b>	<b>71,051</b>	<b>62,389</b>	<b>8,462</b>
<b>Total (sq.m.)</b>	<b>6,601</b>	<b>5,815</b>	<b>786</b>

Unit Mix Summary/Per Floor						
Unit Name	Area (sq.ft.)	Type	Count/Ft.	Total (sq.ft.)	Count/Type	Percentage
S11	488	Studio	12	5,856		15%
S11	643	1 Bnd + Den	24	15,432		29%
S12	757	1 Bnd + Den	12	9,204		15%
S13	869	2 Bnd	5	4,245		9%
S12	912	2 Bnd	6	5,472		7%
S13	965	2 Bnd + Den	5	4,825		9%
S14	984	2 Bnd + Den	5	5,295		7%
S15	995	2 Bnd + Den	12	11,940		15%
<b>Total</b>			<b>82</b>	<b>62,389</b>	<b>82</b>	<b>100.00%</b>

### Buildings D Residential Unit Count ( Each)

Area Calculation			
Floor Level	Res. Gross	Res. Net.	Common Area
Level-1	16,599	11,721	2,578
Level-2	15,063	13,596	1,527
Level-3	15,063	13,596	1,527
Level-4	15,063	13,596	1,527
Level-5	15,063	13,596	1,527
Level-6	15,063	13,596	1,527
Roof Deck			
<b>Total (sq.ft.)</b>	<b>86,614</b>	<b>79,401</b>	<b>10,213</b>
<b>Total (sq.m.)</b>	<b>8,325</b>	<b>7,377</b>	<b>949</b>

Unit Mix Summary/Per Floor						
Unit Name	Area (sq.ft.)	Type	Count/Ft.	Total (sq.ft.)	Count/Type	Percentage
S11	488	Studio	24	11,712		23%
S11	643	1 Bnd + Den	24	15,432		23%
S12	757	1 Bnd + Den	12	9,204		11%
S13	869	2 Bnd	5	4,245		9%
S12	912	2 Bnd	18	16,416		17%
S13	965	2 Bnd + Den	5	4,825		9%
S14	984	2 Bnd + Den	6	5,295		9%
S15	995	2 Bnd + Den	12	11,940		11%
<b>Total</b>			<b>106</b>	<b>79,401</b>	<b>106</b>	<b>100.00%</b>



RH Architects Inc.

200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1

1-800-669-0092  
 1-604-699-0092  
 1-604-699-0091

www.rharchitects.ca

**PROJECT:** 2017-2022  
 200 Piedmont Street, Suite 50  
 Vancouver, BC Canada  
 V6A 3G1

**PROJECT NO:** 2126/2138

31 MAY 2023

**PEREGRINE GROUP**  
 1000-1000 West 10th Street  
 Vancouver, BC

**PARCEL B**  
 COLWOOD BLDG

**STAYS**

**DATE:** 31 MAY 2023  
**SCALE:** N/A  
**PROJECT NO:** 2126/2138  
**CLIENT:** EBR

**NO.:** AO.03





RH Architects Inc.

200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

+1 604 684 9922  
 f 604 684 9922

www.rharchitects.ca

REVISED	DATE
1. DESIGN DEVELOPMENT	20 JUN 2022
2. DP SUBMISSION #1	20 JUN 2022
3. DP SUBMISSION #2	20 JUN 2022
4. DP SUBMISSION #3	20 JUN 2022

**PROPOSAL FOR**  
**DP SUBMISSION #3**  
 20 JUN 2022

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

5. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
 30 MAY 2022  
**PEREgroup**  
 1400-1000 West 10th Street  
 Vancouver, BC

**PROJECT:**  
**PARCEL B**  
 CONNAUGHT BLDG  
 1400-1000 West 10th Street  
 Vancouver, BC  
**AERIAL VIEW**

**DATE PLO:** N/A  
**DATE:** 20 JUN 2022  
**DESIGNER:** P/B  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**Scale:**  
**A0.03c**





AERIAL VIEW - SOUTH WEST CORNER



RH Architects Inc.

200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.689.0901  
 F: 604.689.0951  
 www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING

**PARCEL FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2022

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

**PROJECT:** PARCEL B  
**CLIENT:** PORE GROUP  
**DATE:** 28 JUNE 2022

**CLIENT:** PORE GROUP  
 1000 Burrard Street  
 Vancouver, BC Canada  
 V6C 0K4

**PROJECT:** PARCEL B  
**CLIENT:** PORE GROUP  
**DATE:** 28 JUNE 2022

**DATE FILE:** 1/27/22 - 1.04  
**SCALE:** 1/2" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P. 58  
**CHECKER:** E.B.R.  
**PROJECT NO.:** 2126/2138

**DATE:** 28 JUNE 2022  
**SCALE:** 1/2" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P. 58  
**CHECKER:** E.B.R.  
**PROJECT NO.:** 2126/2138

**DATE:** 28 JUNE 2022  
**SCALE:** 1/2" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P. 58  
**CHECKER:** E.B.R.  
**PROJECT NO.:** 2126/2138

**DATE:** 28 JUNE 2022  
**SCALE:** 1/2" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P. 58  
**CHECKER:** E.B.R.  
**PROJECT NO.:** 2126/2138





AERIAL VIEW - SOUTH EAST CORNER



RH Architects Inc.

200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

+1 604 684 9992  
 1 604 684 9992  
 www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING
20 JUN 2022	3D MASSING

**PROJECT No.** 2126/2138  
**DATE** 20 JUN 2022

**CLIENT:** 31 MAY 2022  
**PROJECT:** PARCEL B  
**CONTRACT No.:** 3D MASSING

**DATE FILE:** 1/27/2022  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 22 JUL 2023  
**OWNER:** EBR

**PROJECT No.** 2126/2138  
**DATE:** 20 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 22 JUL 2023  
**OWNER:** EBR

**PROJECT No.** 2126/2138  
**DATE:** 20 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 22 JUL 2023  
**OWNER:** EBR





AERIAL VIEW - NORTH EAST CORNER



RH Architects Inc.  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 3G1

1-800-669-9992  
 info@rharch.com  
 www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2023	3D MASSING
20 JUN 2023	3D MASSING
20 JUN 2023	3D MASSING

**PROJECT No.**  
 DP RESUBMISSION #3  
 20 JUNE 2023

**DATE**  
 30 MAY 2023

**CLIENT**  
 POREgroup  
 1400-1000 West 10th Street, Suite 1000  
 Vancouver, BC V6H 1G6

**PROJECT**  
 PARCEL B  
 CONDOMINIUM B.C.

**3D MASSING**

**DATE FILE:** NIS  
**DATE:** 29 JUNE 2023  
**PROJECT No.:** P-18  
**CLIENT:** EBR  
**PROJECT No.:** 2126/2138

**Scale:**  
 A0.06





AERIAL VIEW - NORTH WEST CORNER



RH Architects Inc.

230 Powell Street, Unit 310  
 Vancouver, BC Canada  
 V6A 1G1

T: 604.689.8922  
 F: 604.689.8921  
 www.rharchitects.ca

DATE	DESCRIPTION
30 JUN 2023	3D MASSING PREP
30 JUN 2023	3D MASSING PREP
30 JUN 2023	3D MASSING PREP
29 JUN 2023	3D MASSING PREP

**PROJECT NO.**  
 DP RESUBMISSION #3  
 28 JUN 2023

**NOTES:**

1. This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved.

2. This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved.

3. This drawing is the property of RH Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. All rights reserved.

**CLIENT:**  
 31 MAY 2023

**PREPARED BY:**  
 PEREgroup

**PROJECT:**  
 PARCEL B  
 CDA/0001 B/C

**DATE:**  
 3D MASSING

**DATE FILE:**  
 NS  
 29 JUNE 2023

**DATE PRINT:**  
 29 JUNE 2023

**ORIGIN:**  
 EBR

**PROJECT NO.:**  
 2126/2138

**DATE:**  
 29 JUNE 2023

**PROJECT NO.:**  
 2126/2138

**FILE NO.:**  
 AO.07





VIEW SOUTH EAST OF MIXED USE BUILDING FROM ROYAL COMMONS ROAD



CORNER RESTAURANT PATIO - PRODUCERS WAY AND ROYAL COMMONS ROAD



RH Architects Inc.  
 200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1  
 Tel: 604.683.9922  
 Fax: 604.683.9921  
 www.rharchitects.ca

DATE	DESCRIPTION
30 MAY 2023	3D MASSING
29 MAY 2023	3D MASSING
28 MAY 2023	3D MASSING
27 MAY 2023	3D MASSING

**PROJECT INFO**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

30 MAY 2023

**pergroup**  
 1000-1000 West 10th Street, Vancouver

**PROJECT:**  
 PARCEL B  
 CONDOMINIUM B/C

**3D MASSING**

**DATE FILE:** NIS  
**ISSUE DATE:** 29 JUNE 2023  
**PROJECT NO.:** P2138  
**CLIENT:** EBR  
**PROJECT No.:** 2126/2138

**Drawn by:**  
**AO.08**





VIEW SOUTH WEST OF MIXED USE BUILDING FROM ROYAL COMMONS ROAD



RH Architects Inc.

230 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

T: 604.688.0092  
 F: 604.688.0951

www.rharchitects.ca

DESIGN	DATE
1. DESIGN CONCEPT PREPARE	30 JUN 2022
2. PRELIMINARY DESIGN	30 JUN 2022
3. PRELIMINARY DESIGN	30 JUN 2022
4. PRELIMINARY DESIGN	30 JUN 2022

**PRELIM PREP**  
**DP RESUBMISSION #3**  
 28 JUN 2022

**NOTES:**

1. This drawing is a 3D rendering of the proposed design. It is not a final design and is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing.

**CLIENT:** 31 MAY 2022  
**PEREgroup**  
 1400-1000 West 10th Street  
 Vancouver, BC  
**PROJECT:**  
**PARCEL B**  
 301 WOOD BLDG  
**3D MASSING**

**DATE FILE:** NIS  
**DATE:** 29 JUNE 2022  
**PERFORMER:** P7 58  
**OWNER:** EBR  
**PROJECT No.:** 2126/2138  
**DATE:** 29 JUNE 2022  
**SCALE:** 1:100  
**PROJECT No.:** 2126/2138  
**DATE:** 29 JUNE 2022  
**SCALE:** 1:100  
**PROJECT No.:** 2126/2138  
**DATE:** 29 JUNE 2022  
**SCALE:** 1:100





VIEW OF MIXED USE BUILDING BREEZEWAY FROM ROYAL COMMONS ROAD



**RH Architects Inc.**

200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

T: 604.684.8922  
 F: 604.684.8921  
 www.rharchitects.ca

DESIGN	DATE
1. CONCEPT DESIGN PERMIT	20 JUN 2022
2. PRELIMINARY DESIGN PERMIT	20 JUN 2022
3. PRELIMINARY DESIGN PERMIT	20 JUN 2022
4. PRELIMINARY DESIGN PERMIT	20 JUN 2022

**PRELIMINARY PERMIT**  
 DP RESUBMISSION #3  
 28 JUN 2023

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

CLIENT: 307 WALK 2023

**pereregroup**  
 1400-1000 West 10th Street  
 VANCOUVER, BC  
 CANADA V6H 2G6

PROJECT No. **2126/2138**  
 3D MASSING

DATE FILE: NIS  
 MODEL: 29 JUNE 2023  
 PERMIT: P1 58  
 ORIGIN: EBR

PROJECT No. **2126/2138**

**AO.10**





VIEW NORTH WEST OF MIXED USE BUILDING FROM NORTH LANE



RH Architects Inc.

200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

1-844-668-9992  
 604-683-0992  
 www.rharchitects.ca

EVENT	DATE
1. DESIGN CONCEPT PRESENTATION	20 JAN 2023
2. DP EXHIBITION #1	26 MAR 2023
3. DP EXHIBITION #2	06 MAY 2023
4. DP EXHIBITION #3	29 JUN 2023

**PRELIMINARY**  
 DP RESUBMISSION #3  
 28 JAN 2023

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RHAI. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHAI. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED AND IS NOT TO BE RELEASED TO THE PUBLIC OR TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF RHAI.

**NOTIFICATION STATE:**

CLIENT: 31 MAY 2023

**pergroup**  
 1000-1000-1000-1000

PROJECT: PARCEL B  
 COLIMWOOD INC.  
 3D MASSING

DATE FILE: NIS  
 MODEL: 22 JUNE 2023  
 PERMIT: P1 58  
 CLIENT: EBR

PROJECT No: 2126/2138

**AO.11**





VIEW NORTH EAST OF MIXED USE BUILDING FROM NORTH LANE



RH Architects Inc.

230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 3G1

1-844-888-8992  
 604-683-0992

www.rharchitects.ca

PROJECT	DATE
1. DESIGN CONCEPT PERMIT	30 JUN 2022
2. DP EXHIBIT PERMIT	30 JUN 2022
3. DP EXHIBIT PERMIT	30 JUN 2022
4. DP EXHIBIT PERMIT	29 JUN 2022

**PRELIM PERM**  
**DP RESUBMISSION #3**  
 28 JUNE 2022

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RHAI. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHAI. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

2. THIS DOCUMENT IS THE PROPERTY OF RHAI. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHAI. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

3. THIS DOCUMENT IS THE PROPERTY OF RHAI. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHAI. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

**CLIENT:**  
 31 WAIN, 2022

**CLIENT:**  
**pergroup**  
 1400-1000 West 103rd Street  
 Vancouver, BC  
 V6A 3G1

**PROJECT:**  
**PARCEL B**  
 30 WAINWOOD BLDG

**CONTRACT NO.:**  
 30 WAINWOOD BLDG

**DATE FILED:**  
 NIS  
 22 JUNE 2023

**PERMIT NO.:**  
 EBR

**PROJECT NO.:**  
 2126/2138

**DATE FILED:**  
 NIS  
 22 JUNE 2023

**PERMIT NO.:**  
 EBR

**PROJECT NO.:**  
 2126/2138

**DATE:**  
**AO.12**





RH Architects Inc.

200 Powell Street, Unit 30  
Vancouver, BC Canada  
V6A 3G1

+1 604 688 8929  
+1 604 688 8928  
+1 604 688 8927

www.rharchitects.ca

ISSUE	DATE
1. DESIGN CONCEPT PRESENTATION	20 JAN 2022
2. DP EXHIBITION #1	20 MAR 2022
3. DP EXHIBITION #2	20 MAR 2022
4. DP EXHIBITION #3	29 JUN 2022

**PRELIMINARY**  
**DP RESUBMISSION #3**  
 28 JAN 2023

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**PROJECT:** 3D MASSING

**CLIENT:** 3D MASSING

**ARCHITECT:** **pergroup**  
 1400-1000 West 10th Street, Vancouver

**PROJECT:** PARCEL B  
 3D MASSING

**DATE FILE:** NIS  
**DATE:** 29 JUNE 2023  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUNE 2023  
**PROJECT NO.:** 2126/2138



VIEW SOUTH OF AMENITY BUILDING FROM NORTH LANE





RH Architects Inc.

200 Powell Street, Suite 30  
Vancouver, BC Canada  
V6A 5G1

1-844-666-9992  
604-683-9992  
www.rharchitects.ca

DATE	DESCRIPTION
30 JUN 2023	3D MASSING
30 JUN 2023	3D MASSING
30 JUN 2023	3D MASSING
30 JUN 2023	3D MASSING

**PRELIM FILE**  
**DP RESUBMISSION #3**  
28 JUNE 2023

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

30 JUN 2023

**pergroup**  
pergroup inc.

**PARCEL B**  
CONV0001 INC.

**3D MASSING**

DATE FILE: NIS  
 MODEL: 72 JUNE 2023  
 PROJECT: EBR  
 PROJECT No: 2126/2138

**AO.14**



VIEW NORTH OF AMENITY BUILDING FROM INTERIOR COURTYARD





RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

1-844-666-9999  
1-604-683-9999

www.rharchitects.ca

PROJECT	DATE
1. DEVELOPMENT PERMIT	20 JUN 2022
2. DP EXCISEMENT #1	20 JUN 2022
3. DP EXCISEMENT #2	20 JUN 2022
4. DP EXCISEMENT #3	20 JUN 2022

**PLANNED FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2023

**NOTIFICATION** DATE

THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**PROJECT** **CLIENT**

30 MAY 2023

**peregroup**  
 1400-10000 Way, Suite 1000  
 Vancouver, BC

**PROJECT**  
**PARCEL B**  
 COXWOOD INC.

**CONTRACT NO.**  
 3D MASSING

**DATE FILE:** NIS  
**DATE:** 29 JUNE 2023  
**DESIGNER:** PJS  
**CHECKER:** EBR

**PROJECT No.** 2126/2138

**DATE:** 29 JUNE 2023  
**SCALE:** AO.15



VIEW NORTH-EAST FROM PRODUCERS WAY





VIEW SOUTH OF BUILDING B AND C FROM INTERNAL COURTYARD



RH Architects Inc.

200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 3G1

T: 604.686.8922  
 F: 604.686.0951  
 www.rharchitects.ca

ISSUE	DATE
1. DESIGN DEVELOPMENT PERMIT	20 JAN 2023
2. PRELIMINARY PERMIT	20 JAN 2023
3. DP EXCISEMENT PERMIT	20 JAN 2023
4. DP EXCISEMENT PERMIT	20 JAN 2023

**PLANNED FOR**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTICE:** DATE

This drawing is the property of RHA Architects Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RHA Architects Inc. All rights reserved. RHA Architects Inc. is not responsible for any errors or omissions in this drawing. The user of this drawing is advised to verify the accuracy of the information contained herein before using it for any purpose. RHA Architects Inc. is not responsible for any consequences arising from the use of this drawing.

**NOT TO BE USED FOR:**

**CLIENT:** 30 MAY 2023

**PEREGROUP**  
 1400-1000 West 32nd Street  
 Vancouver, BC  
 CANADA V6Z 1K6

**PROJECT:**  
 PARCEL B  
 COLWOOD INC.  
 3D MASSING

**DATE FILE:** NIS  
**SCALE:** 1/2" = 1'-0"  
**DATE PLOT:** 22 JUNE 2023  
**DESIGNER:** P, J, SB  
**CHECKER:** EBB  
**PROJECT NO.:** 2126/2138

**DATE:** 2023  
**NO.:** A0.16





VIEW SOUTH OF BUILDING A AND B LOBBY FROM PRODUCERS WAY



RH Architects Inc.

200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 5G1

1-844-888-8992  
 info@rhai.ca  
 www.rharchitects.ca

EVENT	DATE
1. DESIGN CONCEPT PRESENTATION	20 MAY 2022
2. DP EXHIBITION #1	26 MAY 2022
3. DP EXHIBITION #2	27 MAY 2022
4. DP EXHIBITION #3	29 MAY 2022

**PRELIMINARY**  
 DP RESUBMISSION #3  
 28 MAY 2022

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RHAI. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHAI. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

2. THIS DOCUMENT IS SUBJECT TO CHANGE WITHOUT NOTICE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE CURRENT STATUS OF THIS DOCUMENT.

3. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RHAI.

4. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RHAI.

**CLIENT:** 888 WALK 2022  
**PEREGRINE GROUP**  
 1400-1000 West 10th Street, Suite 100  
 Vancouver, BC V6H 2G6  
**PARCEL B**  
 COLWOOD INC.  
 30 MASSING

**DATE FILE:** NIS  
**DATE:** 22 JUNE 2023  
**DESIGNER:** P, S  
**CLIENT:** EBR  
**PROJECT No.:** 2126/2138

**DATE:** 22 JUNE 2023  
**PROJECT No.:** 2126/2138  
**AO.17**





VIEW SOUTH OF BUILDING A AND B LOBBY FROM RYDER HESJEDAL



RH Architects Inc.

200 Powell Street, Suite 30  
 Vancouver, BC Canada  
 V6A 5G1

1-844-666-9991  
 info@rhai.ca  
 www.rharchitects.ca

ISSUE	DATE
1. DESIGN DEVELOPMENT	20 JUN 2022
2. PERMITTING	20 JUN 2022
3. PRELIMINARY	20 JUN 2022
4. PRELIMINARY	20 JUN 2022

**PRELIM FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2022

**NOTES**

1. THIS DOCUMENT IS THE PROPERTY OF RHAI. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RHAI. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

2. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE APPROVALS AND REGULATIONS OF THE LOCAL, PROVINCIAL, AND FEDERAL GOVERNMENTS. RHAI IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT AS A RESULT OF SUCH APPROVALS AND REGULATIONS.

3. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE APPROVALS AND REGULATIONS OF THE LOCAL, PROVINCIAL, AND FEDERAL GOVERNMENTS. RHAI IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT AS A RESULT OF SUCH APPROVALS AND REGULATIONS.

4. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE APPROVALS AND REGULATIONS OF THE LOCAL, PROVINCIAL, AND FEDERAL GOVERNMENTS. RHAI IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT AS A RESULT OF SUCH APPROVALS AND REGULATIONS.

**CLIENT**  
 307 WALK 2022

**PEREGROUP**  
 1400-1000 West 10th Street  
 Vancouver, BC  
 CANADA V6H 1K6

**PROJECT**  
**PARCEL B**  
**3D MASSING**

**DATE FILE:** NIS  
**DATE:** 29 JUNE 2022  
**DESIGNER:** EBR  
**PROJECT No.:** 2126/2138

**DATE:** 2022  
**NO.:** A0.18





VIEW OF AMENITY EXTERIOR PATIO AND BARBEQUE AREA



RH Architects Inc.

230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 3G1

1-844-888-9992  
 info@rhia.com  
 www.rharchitects.ca

DATE	DESCRIPTION
2023.05.19	3D MASSING
2023.05.19	3D MASSING
2023.05.19	3D MASSING
2023.05.19	3D MASSING

**PROJECT INFO**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT**  
 31 MAY 2023

**PEREGRINE GROUP**  
 1400-1000 West 10th Avenue  
 Vancouver, BC  
 CANADA V6H 1A6

**PROJECT**  
 PARCEL B  
 3D MASSING

**DATE FILE:** NIS  
**DATE:** 22 JUNE 2023  
**PROJECT NO.:** 2126/2138

**DATE:** 22 JUNE 2023  
**PROJECT NO.:** 2126/2138  
**FILE NO.:** AO.19





DATE: 2023.05.10  
 SCALE: 1/32" = 1'-0"  
 PLAN DATE: 2023.05.10  
 CLIENT: EBR  
 PROJECT NO.: 2126/2138  
**A1.00**

**PEAR group**  
 CONSULTING ENGINEERS ARCHITECTS  
 30 MAIN STREET  
 VANCOUVER, BC V6C 2K7  
**PARCEL B**  
 COLWOOD B.C.  
**SITE PLAN**

**NO WARRANTY**  
 THE CLIENT HAS BEEN ADVISED THAT THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CLIENT HAS BEEN ADVISED THAT THE CLIENT SHOULD CONSULT WITH A PROFESSIONAL ENGINEER OR ARCHITECT FOR A COMPLETE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT HAS BEEN ADVISED THAT THE CLIENT SHOULD CONSULT WITH A PROFESSIONAL ENGINEER OR ARCHITECT FOR A COMPLETE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT HAS BEEN ADVISED THAT THE CLIENT SHOULD CONSULT WITH A PROFESSIONAL ENGINEER OR ARCHITECT FOR A COMPLETE DESIGN AND CONSTRUCTION OF THE PROJECT.

ISSUED FOR  
**DP RESUBMISSION #3**  
 2023.05.10

NO.	DATE	DESCRIPTION
1.	2023.05.10	ISSUED FOR DP RESUBMISSION #1
2.	2023.05.10	ISSUED FOR DP RESUBMISSION #2
3.	2023.05.10	ISSUED FOR DP RESUBMISSION #3
4.	2023.05.10	ISSUED FOR DP RESUBMISSION #3

**RHA**  
 RH Architects Inc.  
 130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1  
 1-800-669-6000  
 1-604-688-5182  
 www.rharchitects.ca





LEVEL P2

 NORTH



RH Architects Inc.

200 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.689.8992  
 F: 604.689.8991  
 www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. DESIGN DEVELOPMENT
20 JUN 2022	2. DP EXCLUSION #1 & 2
29 JUN 2022	3. DP EXCLUSION #3
29 JUN 2022	4. DP EXCLUSION #4 & 5

**PLANNED FOR**  
 DP RESUBMISSION #3  
 28 JUNE 2022

**NOTES:**

1. THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR TO THE PERFORMANCE OF THE WORK BY OTHER PROFESSIONALS.

2. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE AND THAT THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED AS A RESULT OF SUCH CHANGES.

3. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE AND THAT THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED AS A RESULT OF SUCH CHANGES.

4. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE AND THAT THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED AS A RESULT OF SUCH CHANGES.

5. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE AND THAT THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED AS A RESULT OF SUCH CHANGES.

30 MAR 2022

**pcaregroup**  
 providing superior care and service

CLIENT  
**PARCEL B**  
 COLWOOD, B.C.

PROJECT NO.  
**2126/2138**

DATE FILE: 1/27/2022  
 MODEL: 22 JUNE 2023  
 NORTH ARROW: 22 JUNE 2023  
 ORIGINATOR: EBR  
 PROJECT NO.: 2126/2138

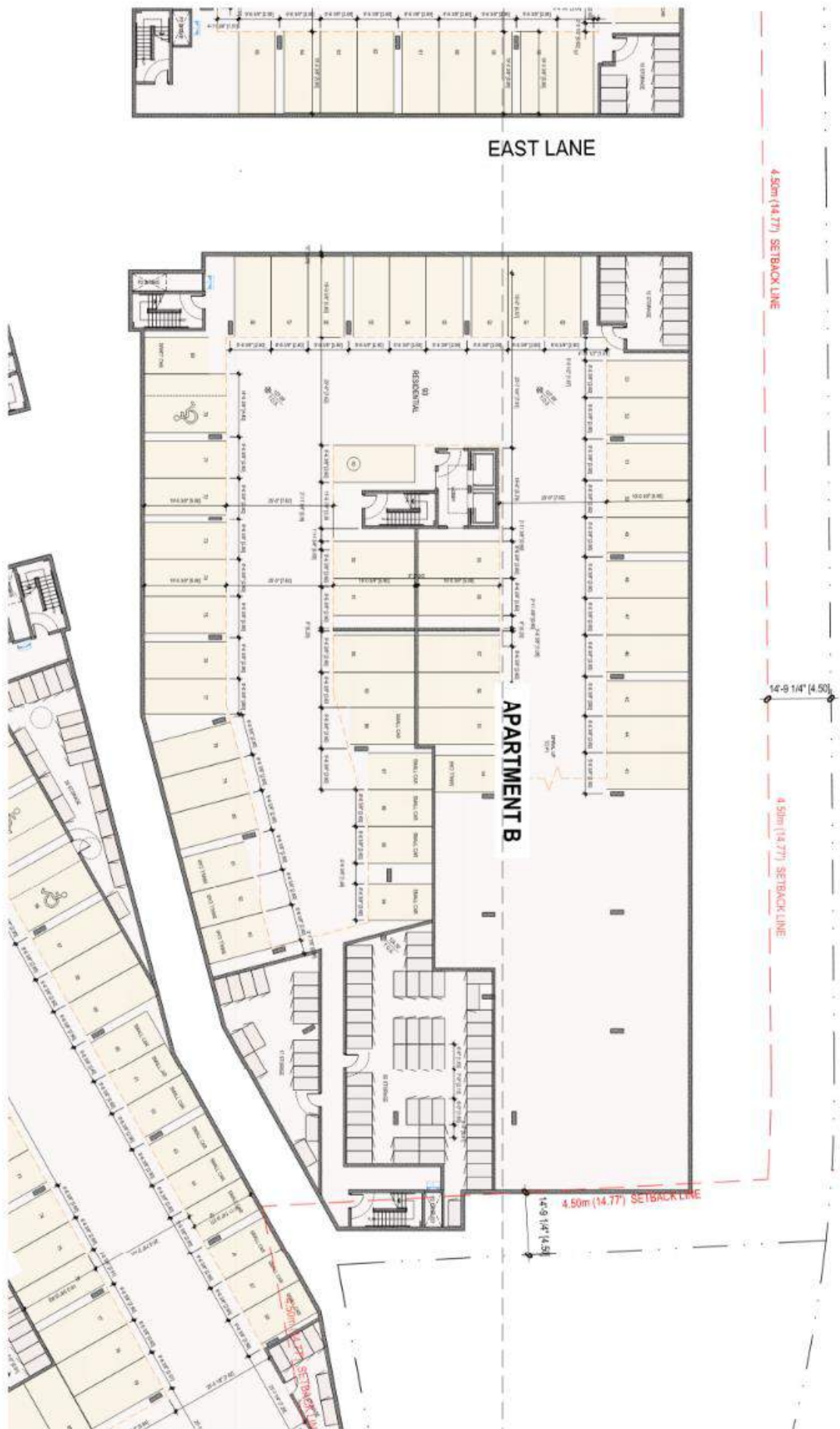
DATE FILE: 1/27/2022  
 MODEL: 22 JUNE 2023  
 NORTH ARROW: 22 JUNE 2023  
 ORIGINATOR: EBR  
 PROJECT NO.: 2126/2138

**A2.00**





# PRODUCERS WAY





**RH Architects Inc.**  
 130 Pined Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1S1  
 1-844-669-6902  
 1-604-689-5192  
 www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	ORIGINALLY PREPARED
2.	20 JUN 2022	DP RESUBMISSION #3
3.	27 JUN 2022	DP RESUBMISSION #2
4.	27 JUN 2022	DP RESUBMISSION #1

**CLIENT**  
 30 JUN 2023  
  
 PROJECT:  
**PARCEL B**  
 COWOOD R.C.  
 2126/2138

**ISSUED FOR**  
**DP RESUBMISSION #3**  
 27 JUN 2023

**SCALE:** 3/32" = 1'-0"  
 DATE: 27 JUN 2023  
 DRAWN: EBR  
 CHECKED: EBR  
 PROJECT NO: 2126/2138

**DATE:** 27 JUN 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT NO:** 2126/2138

**NO. WINDOW**      **DATE**

1      27 JUN 2023

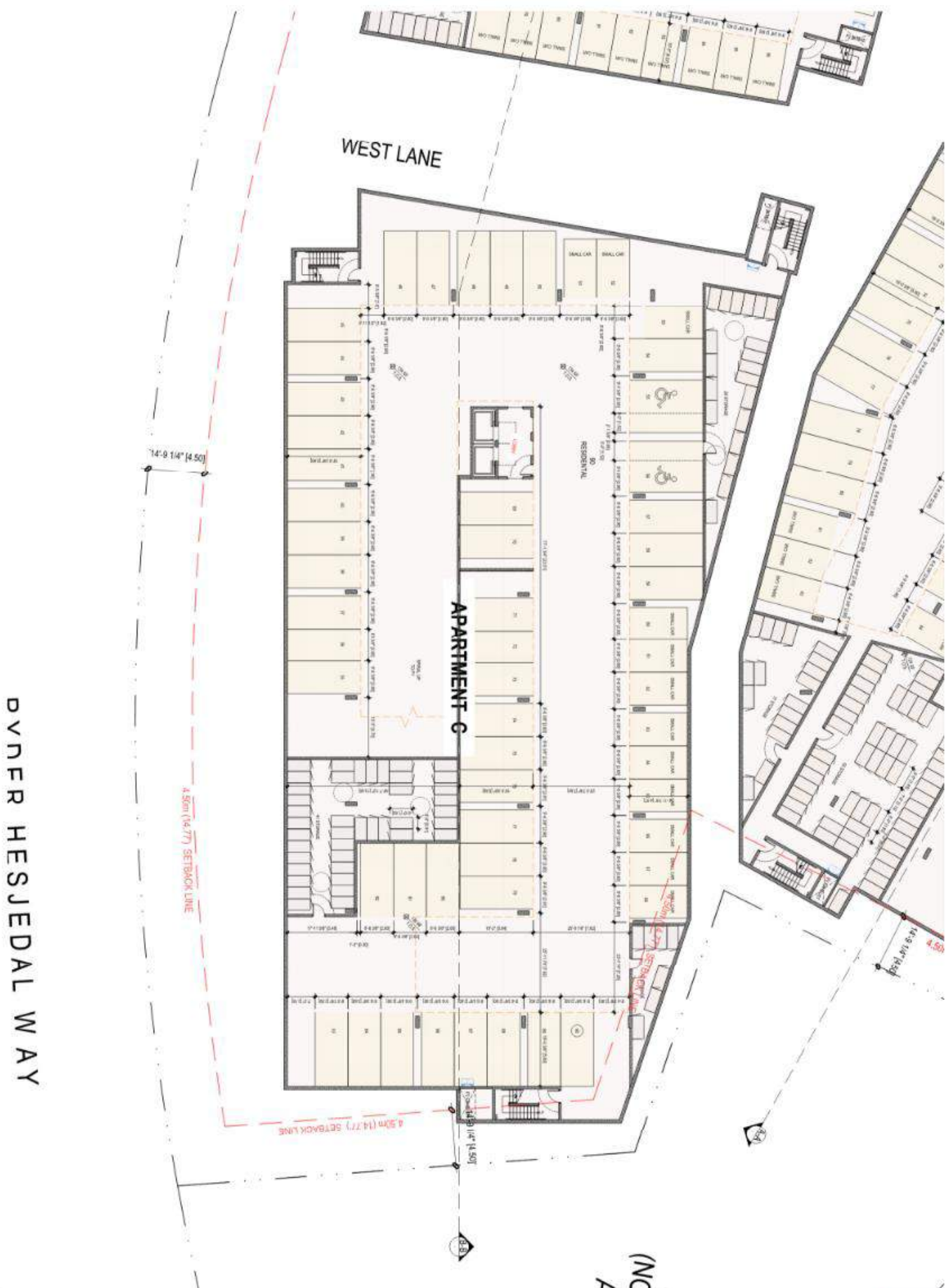
2      27 JUN 2023

3      27 JUN 2023

4      27 JUN 2023

**APARTMENTIAL SEAL**





**RHA**  
RH Architects Inc.  
130 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1E1  
1-844-688-8802  
1-604-688-5182  
www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 MAY 2022	ORIGINATING DRAWING
2.	20 MAY 2022	DP RESUBMISSION #1
3.	29 JUN 2022	DP RESUBMISSION #2
4.	29 JUN 2022	DP RESUBMISSION #3

**ISSUED FOR**  
DP RESUBMISSION #3  
29 JUN 2022

**CLIENT**  
30 MAY 2022  
PCRGROUP  
1000 West Broadway  
Vancouver, BC V6H 4G6

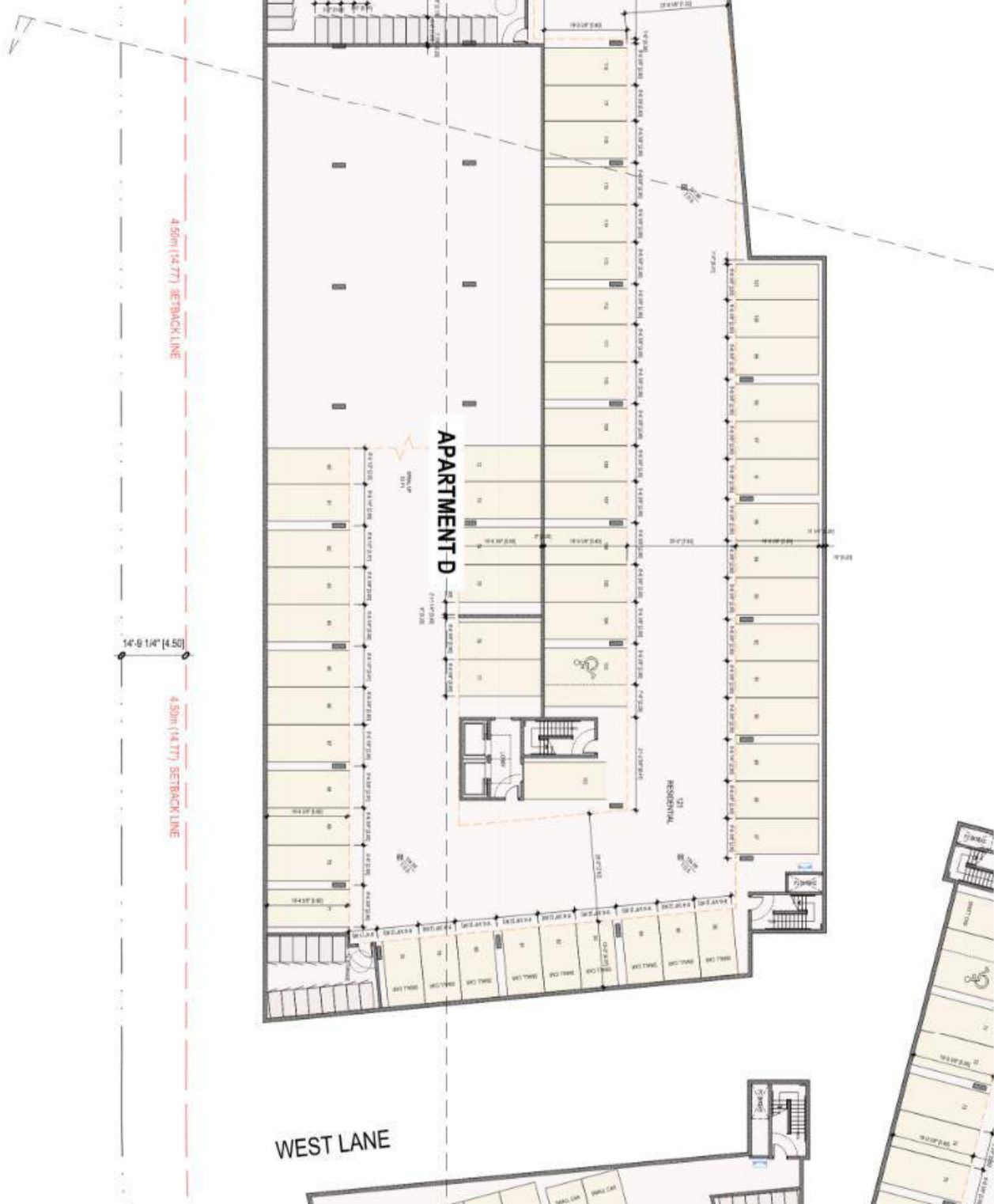
**PROJECT**  
PARCEL B  
COWMOOD R.C.

**DESIGNER**  
LEVEL P2 PLAN  
APARTMENT C

**DATE**  
2126/2138

**SCALE**  
A2.05

RYDER HESJEDAL WAY



RH Architects Inc.  
 130 POUND STREET, SUITE 10  
 VANOVER, BC CANADA  
 V1A 1S1  
 1-800-669-6002  
 1-604-669-5192  
 www.rharchitects.ca

NO.	DESCRIPTION	DATE
1.	CONCEPT PLAN	20 MAY 2022
2.	DP RESUBMISSION #3	29 JUN 2023
3.	DP RESUBMISSION #2	06 MAY 2022
4.	DP RESUBMISSION #1	29 JUN 2023

ISSUED FOR  
**DP RESUBMISSION #3**  
 29 JUN 2023

**NO WORKING DATE**  
 This drawing is intended for use as a guide only. It is not intended to be used as a basis for construction. The contractor shall be responsible for verifying all dimensions and conditions on site. The architect shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom. The contractor shall be responsible for obtaining all necessary permits and approvals. The architect shall not be responsible for any delays or cost overruns caused by the contractor. The architect shall not be responsible for any damage to property or persons caused by the contractor. The architect shall not be responsible for any claims or lawsuits filed against the contractor. The architect shall not be responsible for any claims or lawsuits filed against the architect. The architect shall not be responsible for any claims or lawsuits filed against the architect.

CLIENT  
 30 MAY 2023  
**pcarigroup**  
 1000 10th Street, Suite 100  
 Vancouver, BC V6Z 1Y6

PROJECT  
**PARCEL B**  
 COLUMBIA B.C.  
 DRAWING TITLE  
**LEVEL P2 PLAN**  
**APARTMENT D**

DATE FILE: 3/27/2023  
 DATE PLOT: 29 JUN 2023  
 DATE PRINT: 29 JUN 2023  
 COUNTRY: CAN  
 PROJECT NO.: 2126/2138

DATE: 29 JUN 2023  
**A2.06**





RH Architects Inc.  
 230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 3G1

1-800-669-0992  
 604-683-0992  
 www.rharchitects.ca

ISSUE	DATE
1. DESIGN CONCEPT PRELIMINARY	20 JUN 2022
2. PRELIMINARY DESIGN	20 JUN 2022
3. PRELIMINARY DESIGN	20 JUN 2022
4. PRELIMINARY DESIGN	20 JUN 2022

**PROJECT NO.**  
 DP RESUBMISSION #3  
 28 JUNE 2022

**NOTES:**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

**CLIENT:**  
 33 WALK 2022  
**PCARRgroup**  
 providing complete real estate services

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.  
**LEVEL P1 PLAN**

**DATE FILE:** 1/27/2024  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P1 SS  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**FILE NO.:** A2.10



RH Architects Inc.

130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1

1-844-668-6002  
 1-604-688-5182  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 JUN 2022	CONCEPTUAL DESIGN
2.	20 JUN 2022	PERMISSION #3
3.	20 JUN 2022	PERMISSION #4
4.	20 JUN 2022	PERMISSION #5

ISSUED FOR  
**DP RESUBMISSION #3**  
 20 JUN 2022

**NO. WORK**      **DATE**

1. 20 JUN 2022

2. 20 JUN 2022

3. 20 JUN 2022

4. 20 JUN 2022

5. 20 JUN 2022

6. 20 JUN 2022

7. 20 JUN 2022

8. 20 JUN 2022

9. 20 JUN 2022

10. 20 JUN 2022

11. 20 JUN 2022

12. 20 JUN 2022

13. 20 JUN 2022

14. 20 JUN 2022

15. 20 JUN 2022

16. 20 JUN 2022

17. 20 JUN 2022

18. 20 JUN 2022

19. 20 JUN 2022

20. 20 JUN 2022

21. 20 JUN 2022

22. 20 JUN 2022

23. 20 JUN 2022

24. 20 JUN 2022

25. 20 JUN 2022

26. 20 JUN 2022

27. 20 JUN 2022

28. 20 JUN 2022

29. 20 JUN 2022

30. 20 JUN 2022

31. 20 JUN 2022

32. 20 JUN 2022

33. 20 JUN 2022

34. 20 JUN 2022

35. 20 JUN 2022

36. 20 JUN 2022

37. 20 JUN 2022

38. 20 JUN 2022

39. 20 JUN 2022

40. 20 JUN 2022

41. 20 JUN 2022

42. 20 JUN 2022

43. 20 JUN 2022

44. 20 JUN 2022

45. 20 JUN 2022

46. 20 JUN 2022

47. 20 JUN 2022

48. 20 JUN 2022

49. 20 JUN 2022

50. 20 JUN 2022

51. 20 JUN 2022

52. 20 JUN 2022

53. 20 JUN 2022

54. 20 JUN 2022

55. 20 JUN 2022

56. 20 JUN 2022

57. 20 JUN 2022

58. 20 JUN 2022

59. 20 JUN 2022

60. 20 JUN 2022

61. 20 JUN 2022

62. 20 JUN 2022

63. 20 JUN 2022

64. 20 JUN 2022

65. 20 JUN 2022

66. 20 JUN 2022

67. 20 JUN 2022

68. 20 JUN 2022

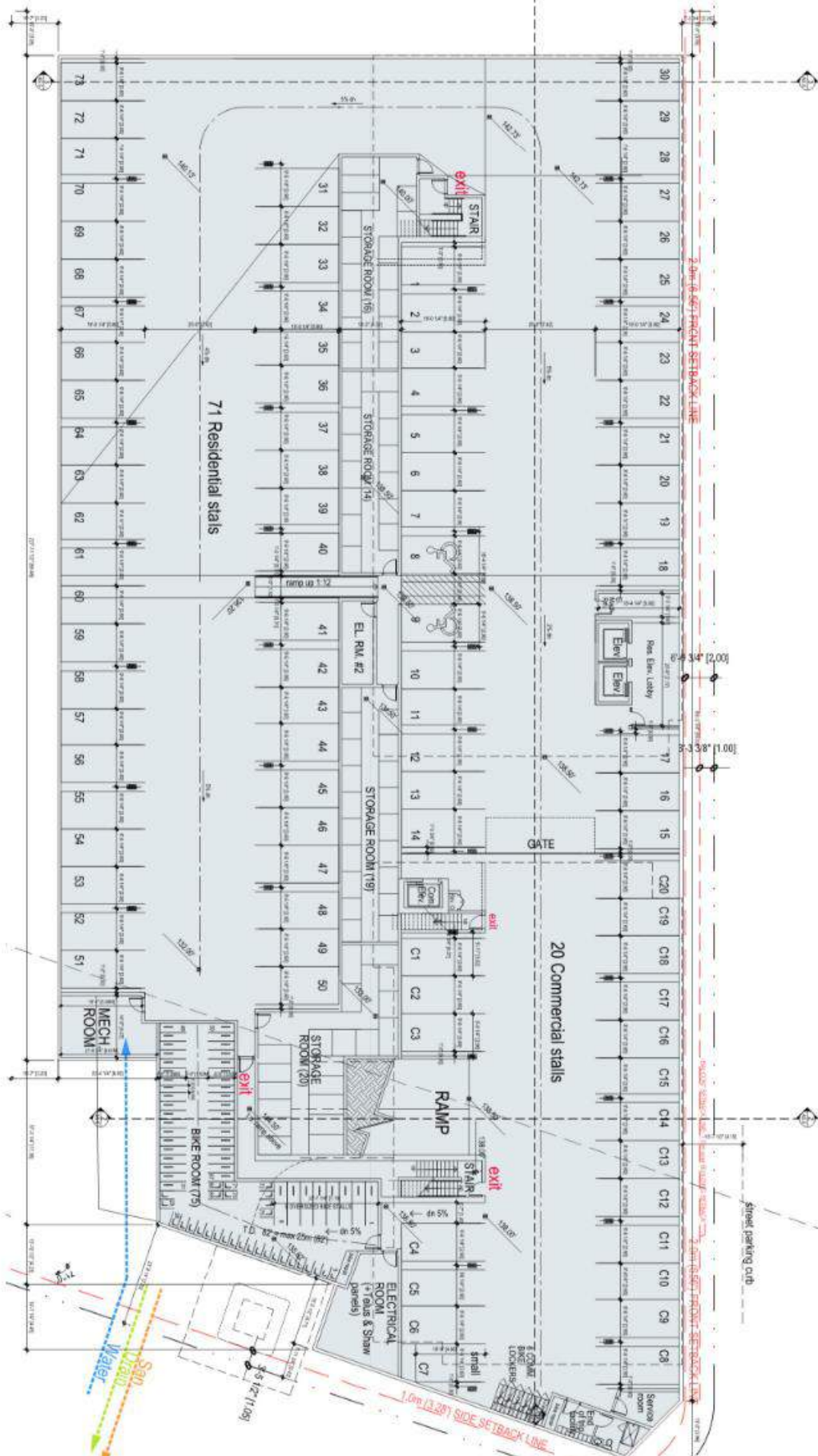
69. 20 JUN 2022

70. 20 JUN 2022

71. 20 JUN 2022

72. 20 JUN 2022

73. 20 JUN 2022



DATE: 20 JUN 2022  
**A2.11**

PROJECT NO: 2126/2138

PROJECT: PARCEL B  
 COLWOOD R.C.

LEVEL P2 PLAN  
 MIXED USE BUILDING

SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN: EBR  
 CHECKED: EBR

CLIENT: **PCRGROUP**  
 30 MAY 2022

PROJECT: PARCEL B  
 COLWOOD R.C.

LEVEL P2 PLAN  
 MIXED USE BUILDING

SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN: EBR  
 CHECKED: EBR

CLIENT: **PCRGROUP**  
 30 MAY 2022

PROJECT: PARCEL B  
 COLWOOD R.C.

LEVEL P2 PLAN  
 MIXED USE BUILDING

SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN: EBR  
 CHECKED: EBR

CLIENT: **PCRGROUP**  
 30 MAY 2022

PROJECT: PARCEL B  
 COLWOOD R.C.

LEVEL P2 PLAN  
 MIXED USE BUILDING

SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN: EBR  
 CHECKED: EBR

CLIENT: **PCRGROUP**  
 30 MAY 2022

PROJECT: PARCEL B  
 COLWOOD R.C.

LEVEL P2 PLAN  
 MIXED USE BUILDING

SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN: EBR  
 CHECKED: EBR

CLIENT: **PCRGROUP**  
 30 MAY 2022

PROJECT: PARCEL B  
 COLWOOD R.C.

LEVEL P2 PLAN  
 MIXED USE BUILDING

SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN: EBR  
 CHECKED: EBR

CLIENT: **PCRGROUP**  
 30 MAY 2022

PROJECT: PARCEL B  
 COLWOOD R.C.

LEVEL P2 PLAN  
 MIXED USE BUILDING

SCALE: 3/32" = 1'-0"  
 PLOT DATE: 20 JUN 2022  
 DRAWN: EBR  
 CHECKED: EBR

CLIENT: **PCRGROUP**  
 30 MAY 2022



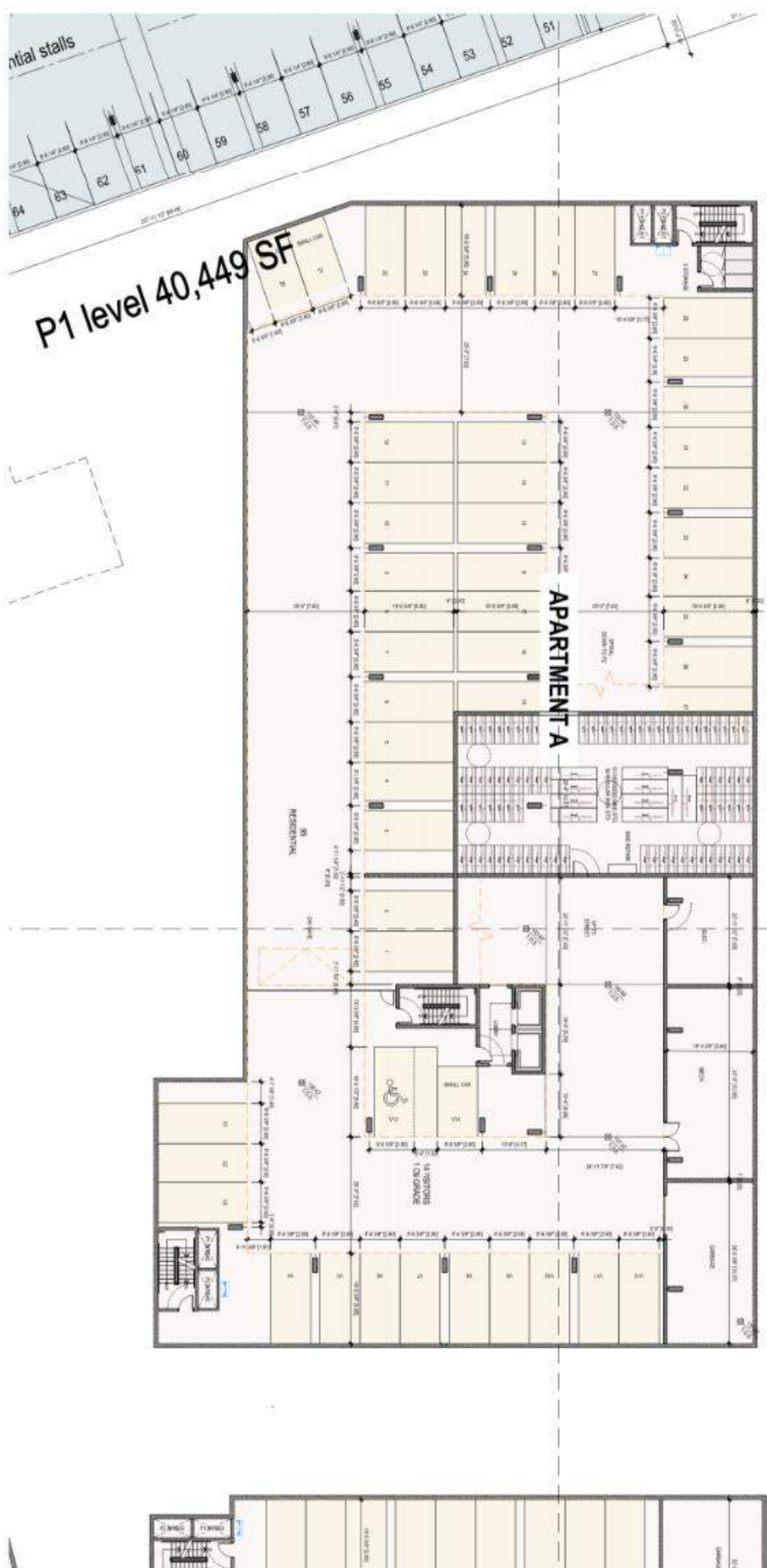
# PRODUCERS WAY



450m (14 77') SETBACK LINE

450m (14 77') SETBACK LINE

14-9 14'-4.50"





**RH Architects Inc.**  
 1300 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1G1  
 1-844-669-6900  
 1-604-689-5192  
 www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	ORIGINATOR'S DRAWING
2.	20 JUN 2022	REVISION #1
3.	20 JUN 2022	OR RESUBMISSION #2
4.	27 JUN 2023	OR RESUBMISSION #3

**CLIENT**  
 PARCERgroup  
 2126/2138

**PROJECT**  
 PARCEL B  
 CONWOOD B.C.

**DATE**  
 30 JUN 2023

**ISSUED FOR**  
 DP RESUBMISSION #3  
 29 JUN 2023

**SCALE**  
 3/32" = 1'-0"

**DATE**  
 29 JUN 2023

**DESIGNER**  
 EBR

**PROJECT NO.**  
 2126/2138

**DATE**  
 A2.13

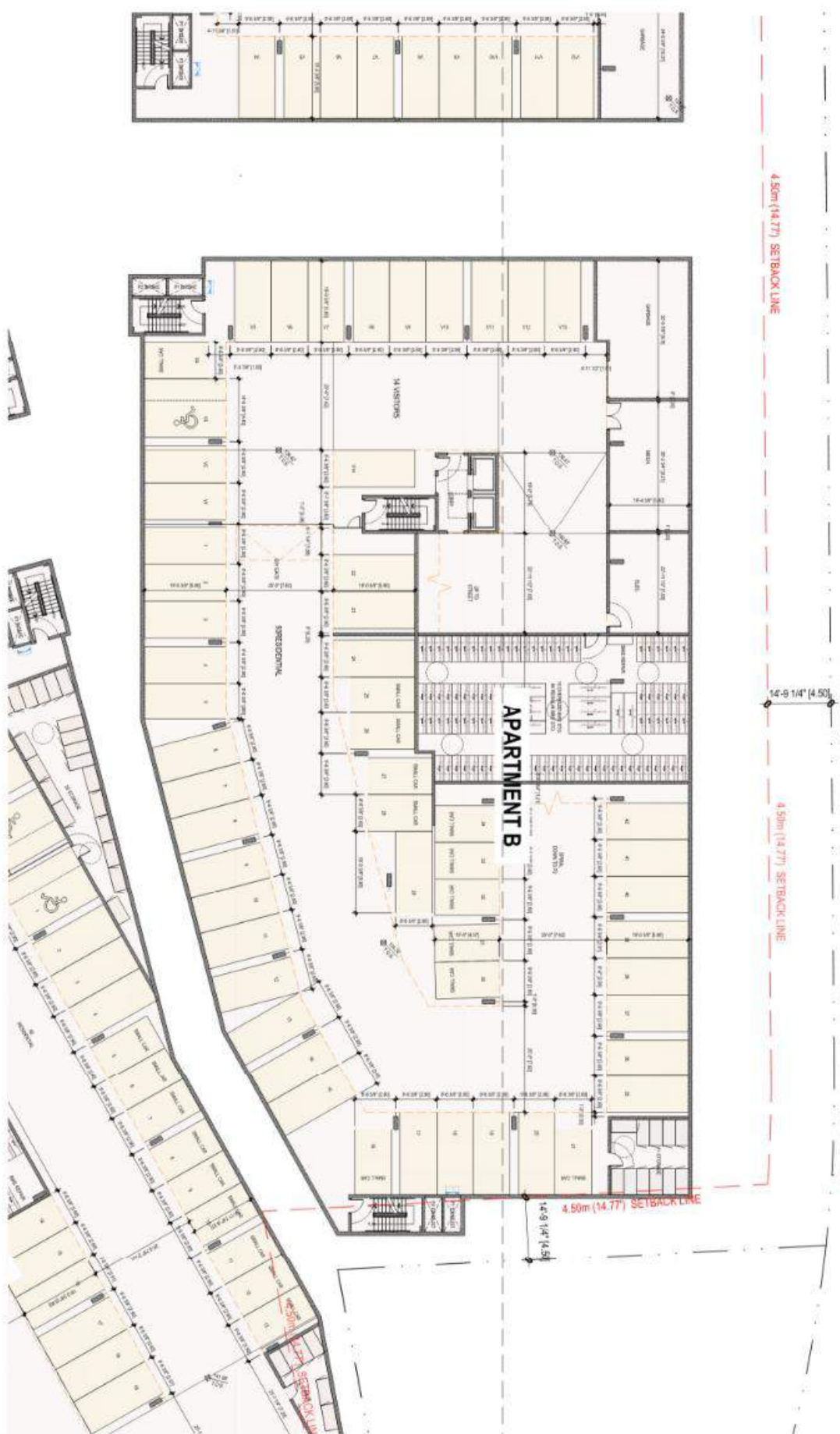
**NO. REVISION**

**DATE**

**DESCRIPTION**

**APPROVED BY**

# PRODUCERS WAY





**RH Architects Inc.**  
 1300 Pimont Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1S1  
 1-844-669-6900  
 1-604-689-5192  
 www.rharchitects.ca

ISSUED FOR  
**DP RESUBMISSION #3**  
 29 JUN 2023

NO.	DATE	REVISION
1.	20 JUN 2022	ORIGINATING DRAWING
2.	06 MAY 2022	DP RESUBMISSION #2
3.	29 JUN 2022	DP RESUBMISSION #3
4.	29 JUN 2023	DP RESUBMISSION #3

**CLIENT:** 30 JUN 2023  
**PROJECT:** PARCEL B  
 CONWOOD B.C.  
**LEVEL P1 PLAN**  
**APARTMENT B**

**SCALE:** 3/32" = 1'-0"  
**DATE:** 29 JUN 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**SCALE:** A2.14

**PERMITS:** 30 JUN 2023  
**CLIENT:**  **PCRG**  
 PROJECT: PARCEL B CONWOOD B.C.  
 LEVEL P1 PLAN APARTMENT B

**NO. REVISION DATE**

1. 20 JUN 2022 ORIGINATING DRAWING

2. 06 MAY 2022 DP RESUBMISSION #2

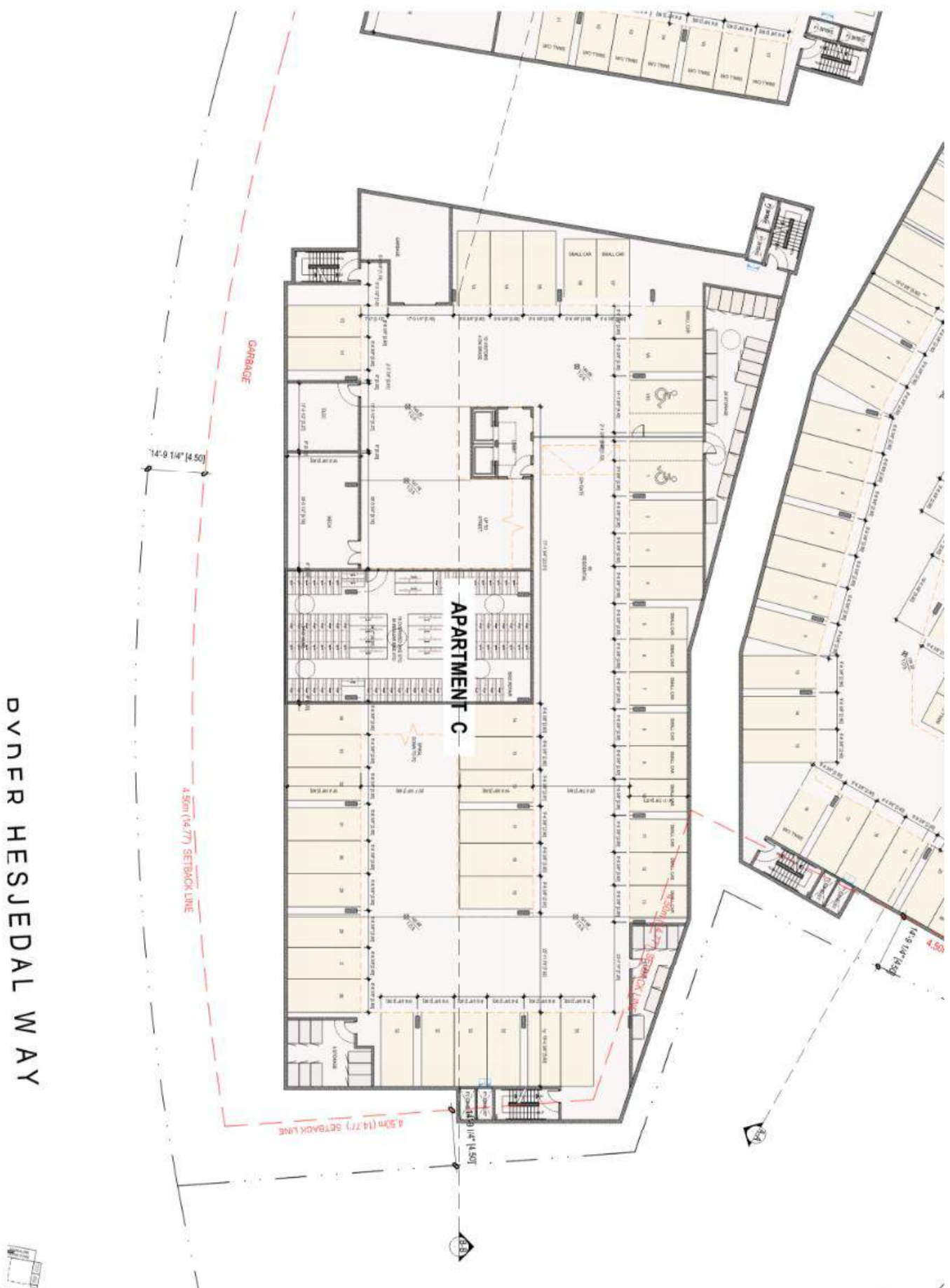
3. 29 JUN 2022 DP RESUBMISSION #3

4. 29 JUN 2023 DP RESUBMISSION #3

APPROVED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_





DYNER HESJEDAL WAY



**RH Architects Inc.**  
 130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1G1  
 1-844-688-6802  
 1-604-688-5182  
 www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	ORIGENAL PLAN
2.	20 JUN 2022	ORIGENAL PLAN
3.	20 JUN 2022	ORIGENAL PLAN
4.	20 JUN 2022	ORIGENAL PLAN

**DATE:** 20 JUN 2022  
**PROJECT:** DP RESUBMISSION #3

**CLIENT:** PCAR group  
 30 MAY 2023  
 2126/2138

**PROJECT:** PARCEL B  
 COWOOD R.C.

**REVISION:** LEVEL P4 PLAN  
 APARTMENT C

**SCALE:** 3/32" = 1'-0"  
 DATE: 20 JUN 2023  
 DRAWN: EBR  
 CHECKED: EBR

**PROJECT NO.:** 2126/2138

**DATE:** 20 JUN 2023  
**NO.:** A2.15



RH Architects Inc.

130 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1E1

1-800-469-8000  
1-604-689-5192

www.rharchitects.ca

REVISION	DATE
1. DEVELOPMENT PERMIT	30 MAY 2022
2. DP RESUBMISSION #2	26 MAY 2022
3. DP RESUBMISSION #3	06 MAY 2022
4. DP RESUBMISSION #3	29 JUN 2023

ISSUED FOR  
**DP RESUBMISSION #3**  
29 JUN 2023

**NO WORKING DATE**

THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THE USER OF THIS DRAWING AGREES TO HOLD RH ARCHITECTS INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY RH ARCHITECTS INC.

**ARCHITECTURAL SEAL**

CLIENT  
**30 MAY 2023**

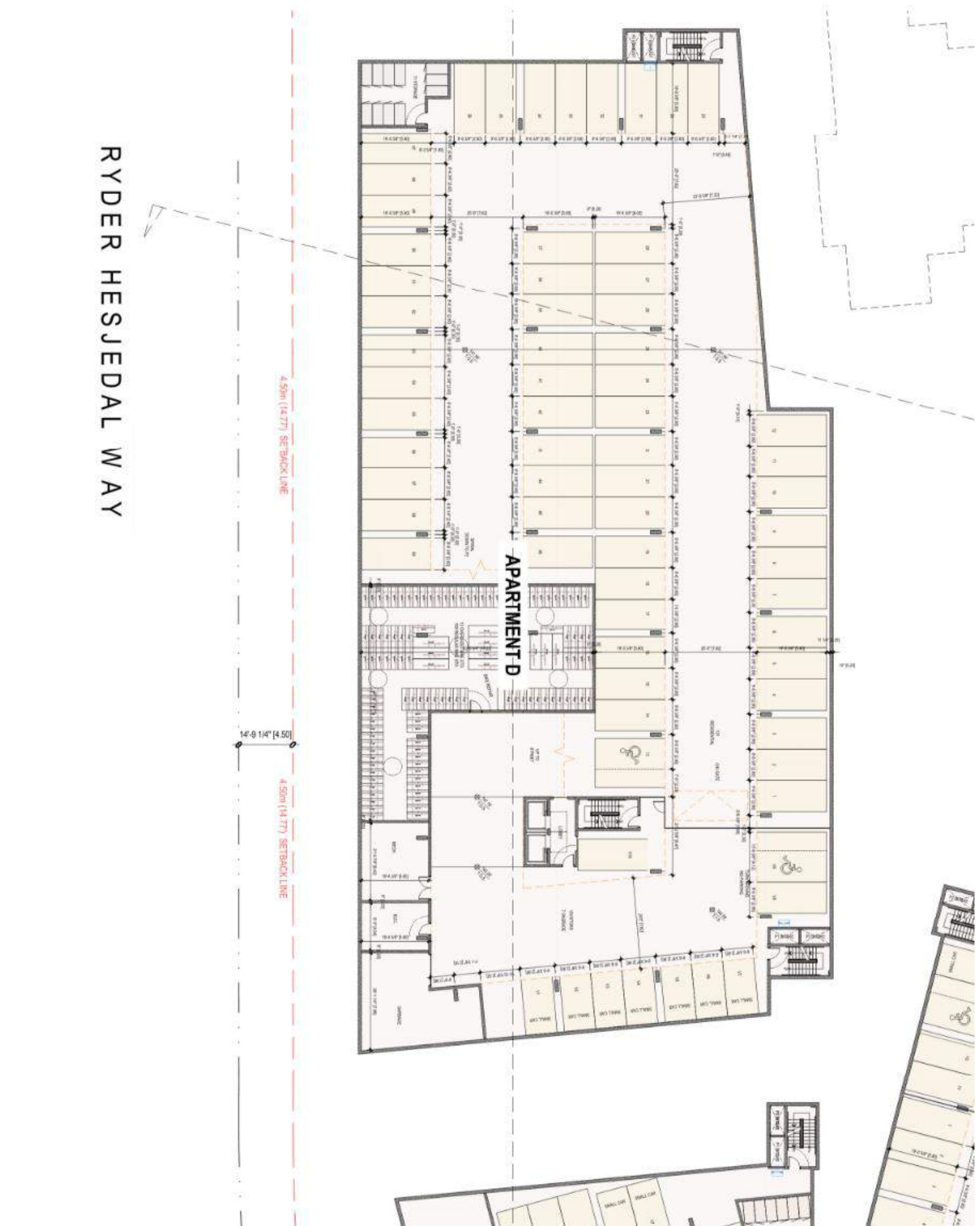
**pcaregroup**  
PROJECT: **pcaregroup**  
SHEETS: **2126/2138**

PROJECT:  
**PARCEL B**  
COLWOOD, B.C.

DESIGNED BY:  
**LEVEL P4 PLAN**  
**APARTMENT D**

DATE FILE: 3/27/2019  
DATE OPEN: 26 JUN 2023  
DRAWN BY: PS  
CHECKED BY: EBR  
PROJECT NO.: **2126/2138**

DATE: 29 JUN 2023  
BY: **A2.16**



RYDER HESJEDAL WAY





**RH Architects Inc.**

130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1G1

1-844-888-8800  
 1-604-688-8882  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 MAY 2022	ORIENTATION REVIEW
2.	20 MAY 2022	ORIENTATION REVIEW
3.	20 MAY 2022	ORIENTATION REVIEW
4.	27 JUNE 2023	ORIENTATION REVIEW

ISSUED FOR  
**DP RESUBMISSION #3**  
 27 JUNE 2023

**NO WORKING**

THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

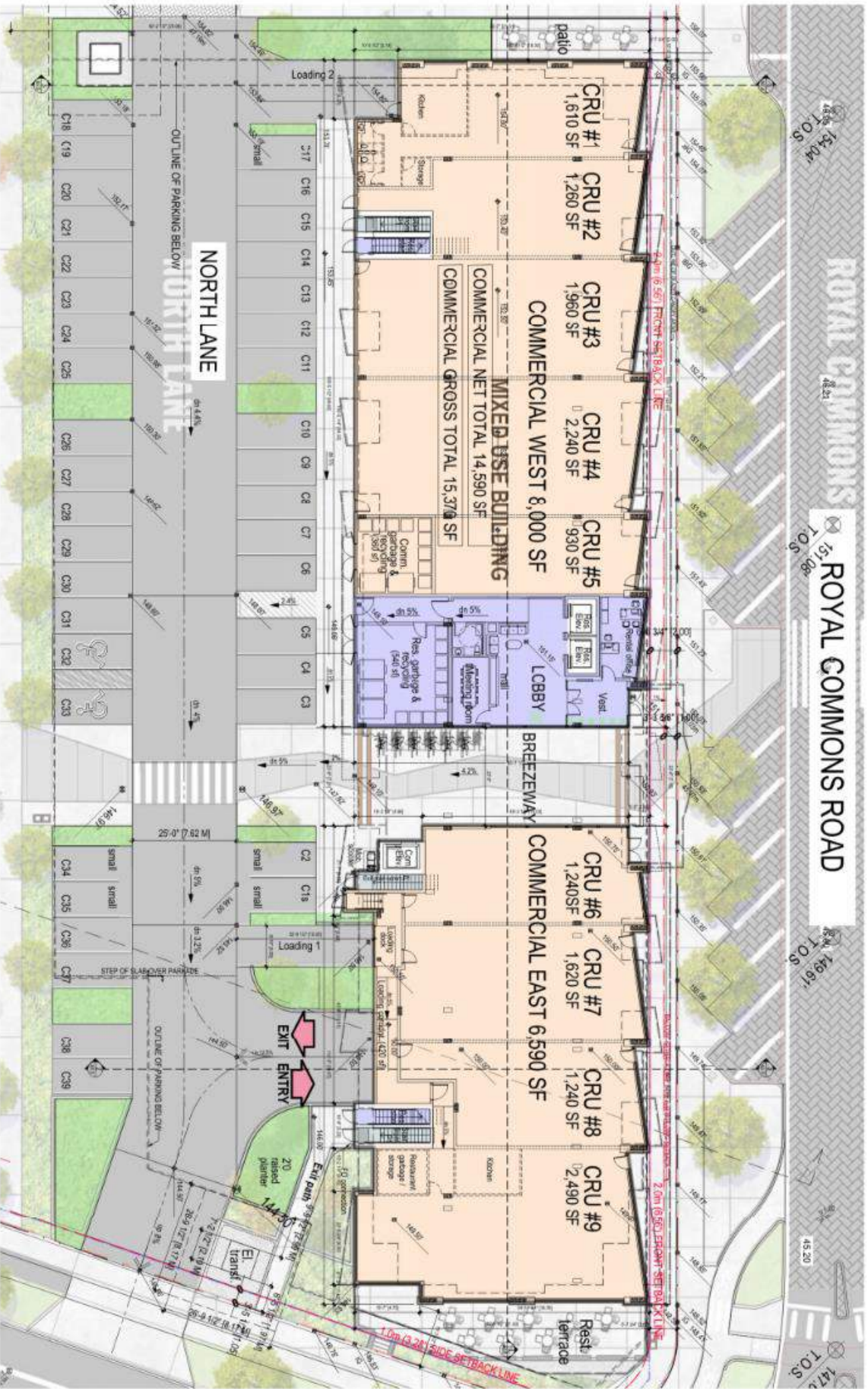
**CLIENT:**  
 30 MAY 2023  
**pcarigroup**  
 (includes typical floor levels group)

**PROJECT:**  
**PARCEL B**  
 PARKWOOD R.C.  
**LEVEL 1 PLAN**

**DATE FILE:** 1/27/23  
**SCALE:** 1/8" = 1'-0"  
**DATE PLOT:** 26 JUNE 2023  
**DATE PRINT:** 26 JUNE 2023  
**DESIGNED BY:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 26 JUNE 2023  
**SCALE:** A3.10





ROYAL COMMONS

ROYAL COMMONS ROAD



330 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1  
 1-604-689-6000  
 1-604-689-5192  
 www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	PRELIMINARY REVIEW
2.	20 JUN 2022	DP RESUBMISSION #1
3.	27 JUN 2022	DP RESUBMISSION #2
4.	27 JUN 2022	DP RESUBMISSION #3

ISSUED FOR  
 DP RESUBMISSION #3  
 27 JUN 2022

**NO. WORKSHEET**      **DATE**

1.      20 JUN 2022

2.      20 JUN 2022

3.      27 JUN 2022

4.      27 JUN 2022

5.      27 JUN 2022

6.      27 JUN 2022

7.      27 JUN 2022

8.      27 JUN 2022

9.      27 JUN 2022

10.      27 JUN 2022

11.      27 JUN 2022

12.      27 JUN 2022

13.      27 JUN 2022

14.      27 JUN 2022

15.      27 JUN 2022

16.      27 JUN 2022

17.      27 JUN 2022

18.      27 JUN 2022

19.      27 JUN 2022

20.      27 JUN 2022

21.      27 JUN 2022

22.      27 JUN 2022

23.      27 JUN 2022

24.      27 JUN 2022

25.      27 JUN 2022

26.      27 JUN 2022

27.      27 JUN 2022

28.      27 JUN 2022

29.      27 JUN 2022

30.      27 JUN 2022

31.      27 JUN 2022

32.      27 JUN 2022

33.      27 JUN 2022

34.      27 JUN 2022

35.      27 JUN 2022

36.      27 JUN 2022

37.      27 JUN 2022

38.      27 JUN 2022

39.      27 JUN 2022

40.      27 JUN 2022

41.      27 JUN 2022

42.      27 JUN 2022

43.      27 JUN 2022

44.      27 JUN 2022

45.      27 JUN 2022

46.      27 JUN 2022

47.      27 JUN 2022

48.      27 JUN 2022

49.      27 JUN 2022

50.      27 JUN 2022

**CLIENT**  
 PCARgroup  
 30 MAR 2022

**PROJECT**  
 PARCEL B  
 COMMERCIAL R.C.

**LEVEL 1 PLAN**  
 MIXED USE BUILDING

**DATE FILE:** 3/27/2022  
**SCALE:** 1/8" = 1'-0"  
**FILED DATE:** 27 JUN 2022  
**DATE:** 27 JUN 2022  
**DESIGNED BY:** EBR  
**CHECKED BY:** EBR

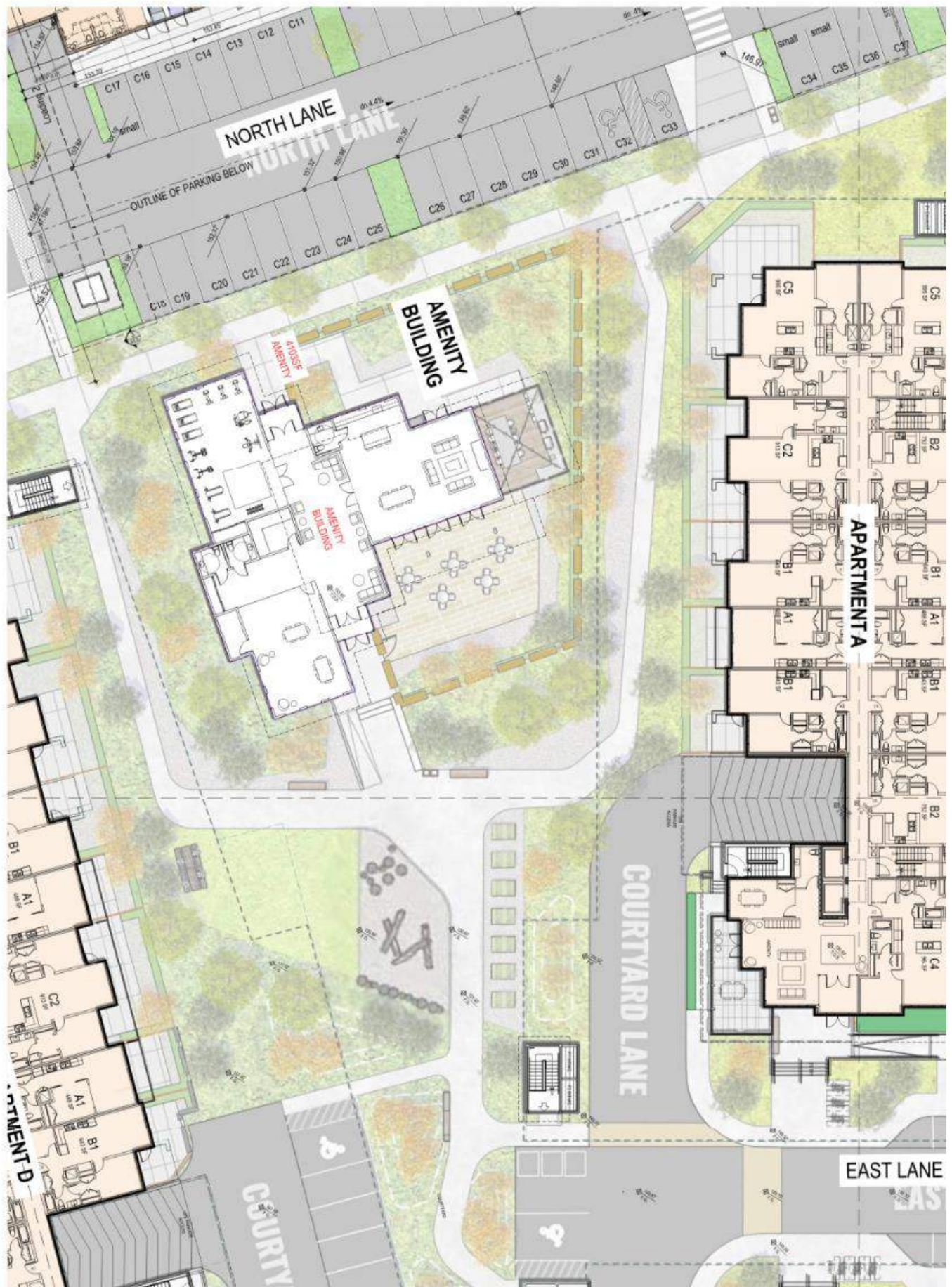
**PROJECT NO.:** 2126/2138

**DATE:** 27 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**FILED DATE:** 27 JUN 2022  
**DATE:** 27 JUN 2022  
**DESIGNED BY:** EBR  
**CHECKED BY:** EBR

**PROJECT NO.:** 2126/2138

**DATE:** 27 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**FILED DATE:** 27 JUN 2022  
**DATE:** 27 JUN 2022  
**DESIGNED BY:** EBR  
**CHECKED BY:** EBR





RH Architects Inc.

320 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1  
 1-844-688-6802  
 1-604-688-5182  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 MAY 2022	PRELIMINARY REVIEW
2.	20 MAY 2022	DP RESUBMISSION #3
3.	27 JUN 2023	DP RESUBMISSION #3
4.	27 JUN 2023	DP RESUBMISSION #3

ISSUED FOR  
**DP RESUBMISSION #3**  
 27 JUN 2023

**NO. REVISION DATE**

1. 20 MAY 2022 PRELIMINARY REVIEW

2. 20 MAY 2022 DP RESUBMISSION #3

3. 27 JUN 2023 DP RESUBMISSION #3

4. 27 JUN 2023 DP RESUBMISSION #3

APPROVED FOR THE CLIENT

**CLIENT:** **pcaregroup**  
 30 MAY 2023  
 2126/2138

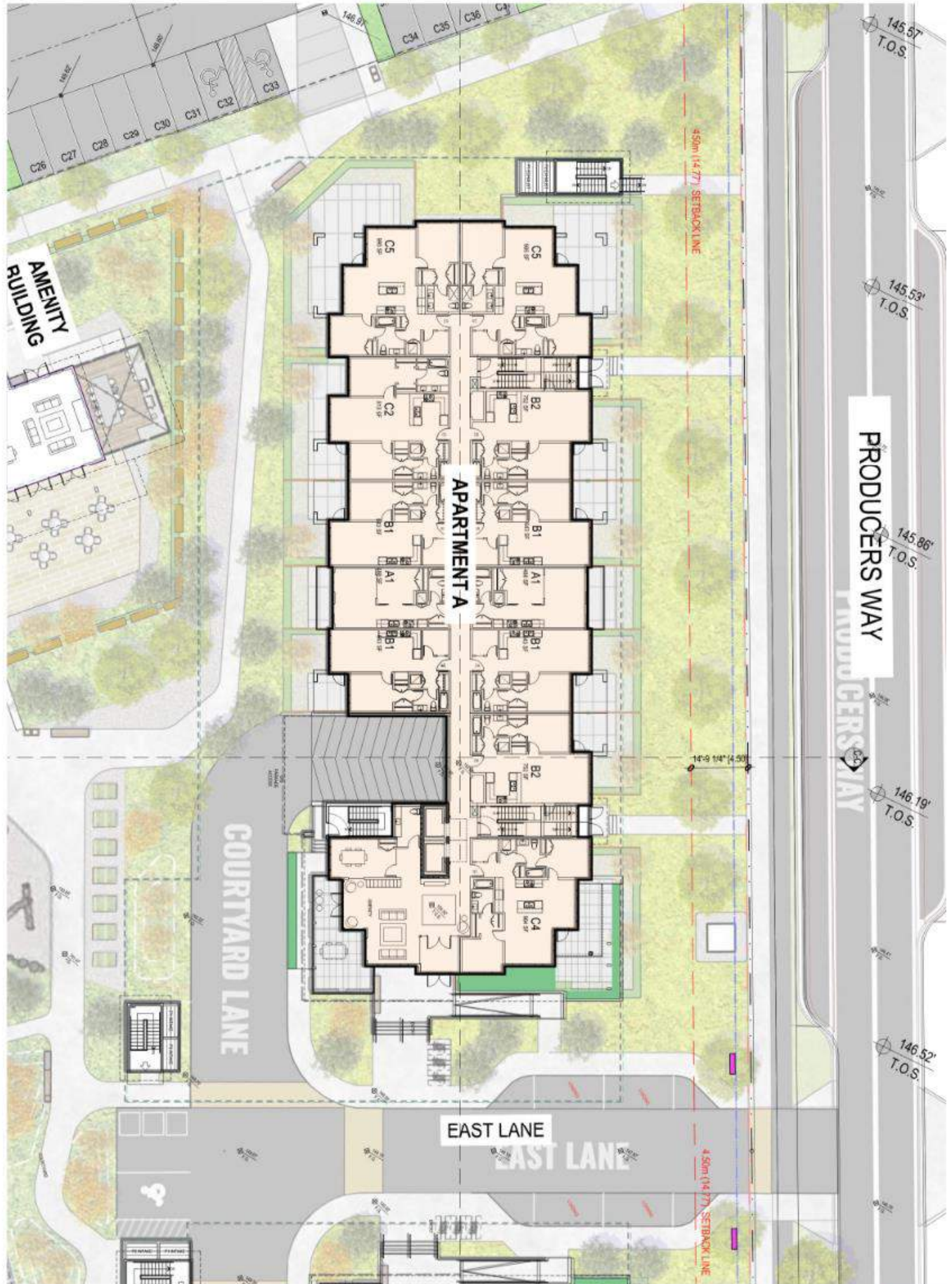
**PROJECT:** **PARCEL B**  
 CORNWALL R.C.

**LEVEL 1 PLAN**  
**AMENITY BUILDING**

**DATE:** 2126/2138

**DATE:** **A3.12**





**PRODUCERS WAY**

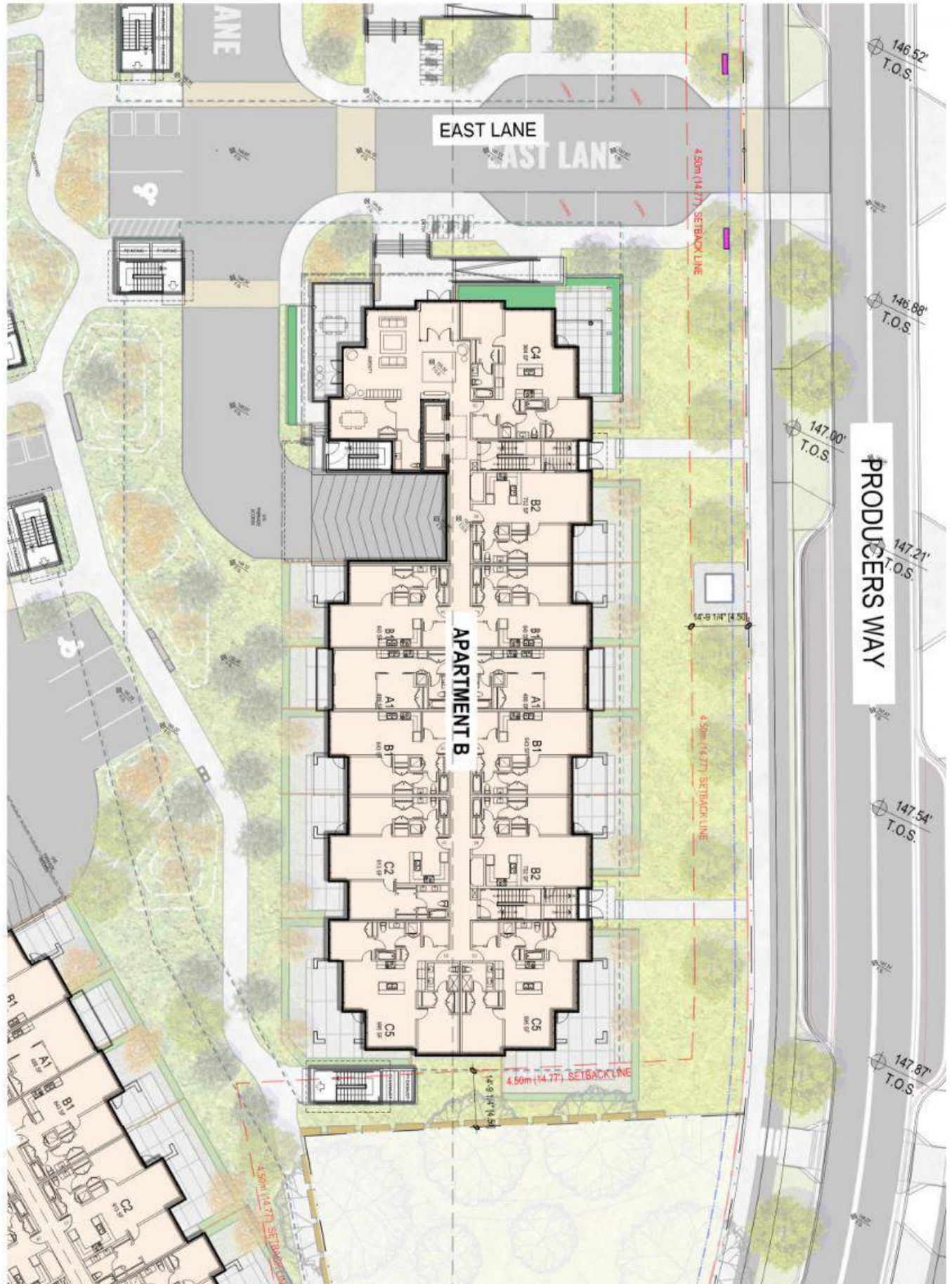
**PRODUCERS WAY**

**EAST LANE**

**EAST LANE**

<p><b>RHA</b> RH Architects Inc. 330 Powell Street, Unit 10 Vancouver, BC Canada V6A 3E1 1-604-688-6000 1-604-688-5182 www.rharchitects.ca</p>	<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>ORIENTATION REVIEW</td> <td>20 MAY 2023</td> </tr> <tr> <td>2.</td> <td>DP RESUBMISSION #3</td> <td>20 MAY 2023</td> </tr> <tr> <td>3.</td> <td>DP RESUBMISSION #2</td> <td>16 MAY 2023</td> </tr> <tr> <td>4.</td> <td>DP RESUBMISSION #1</td> <td>27 APR 2023</td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	1.	ORIENTATION REVIEW	20 MAY 2023	2.	DP RESUBMISSION #3	20 MAY 2023	3.	DP RESUBMISSION #2	16 MAY 2023	4.	DP RESUBMISSION #1	27 APR 2023	<p><b>NO. WORKING</b></p> <table border="1"> <thead> <tr> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>20 MAY 2023</td> </tr> <tr> <td>16 MAY 2023</td> </tr> <tr> <td>27 APR 2023</td> </tr> </tbody> </table>	DATE	20 MAY 2023	16 MAY 2023	27 APR 2023	<p><b>CLIENT</b> 30 MAY 2023</p> <p><b>PROJECT</b> PARCEL B CORNWOOD R.C.</p> <p><b>LEVEL 1 PLAN</b> APARTMENT A</p> <p><b>DATE:</b> 21/26/2138</p> <p><b>SCALE:</b> A3.13</p>	<p><b>PEARCGROUP</b> 30 MAY 2023</p> <p><b>CLIENT</b> 30 MAY 2023</p> <p><b>PROJECT</b> PARCEL B CORNWOOD R.C.</p> <p><b>LEVEL 1 PLAN</b> APARTMENT A</p> <p><b>DATE:</b> 21/26/2138</p> <p><b>SCALE:</b> A3.13</p>
NO.	DESCRIPTION	DATE																					
1.	ORIENTATION REVIEW	20 MAY 2023																					
2.	DP RESUBMISSION #3	20 MAY 2023																					
3.	DP RESUBMISSION #2	16 MAY 2023																					
4.	DP RESUBMISSION #1	27 APR 2023																					
DATE																							
20 MAY 2023																							
16 MAY 2023																							
27 APR 2023																							





**PRODUCERS WAY**

146.52' T.O.S.  
 146.68' T.O.S.  
 147.00' T.O.S.  
 147.21' T.O.S.  
 147.54' T.O.S.  
 147.87' T.O.S.

**APARTMENT B**

EAST LANE

EAST LANE

4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

**RHA**  
 RH Architects Inc.  
 130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1E1  
 1-604-688-6000  
 1-604-688-5182  
 www.rharchitects.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1.	20 MAY 2022	PRELIMINARY PERMIT
2.	20 MAY 2022	DP RESUBMISSION #3
3.	22 JUN 2023	DP RESUBMISSION #3
4.	22 JUN 2023	DP RESUBMISSION #3

**NO. WORKING**

**DATE**

30 MAY 2023

**CLIENT**

**PROJECT**

**PARCEL B**  
 COLWOOD R.C.

**REVISIONS**

**DATE**

30 MAY 2023

**PCAR**  
 pcargroup  
 CONSULTING ARCHITECTS INC.

**CLIENT**

**PROJECT**

**PARCEL B**  
 COLWOOD R.C.

**REVISIONS**

**DATE**

30 MAY 2023

**NO. WORKING**

**DATE**

30 MAY 2023

**CLIENT**

**PROJECT**

**PARCEL B**  
 COLWOOD R.C.

**REVISIONS**

**DATE**

30 MAY 2023

**DATE**

**NO.**

**A3.14**

**PROJECT NO.**

**2126/2138**

**DATE**

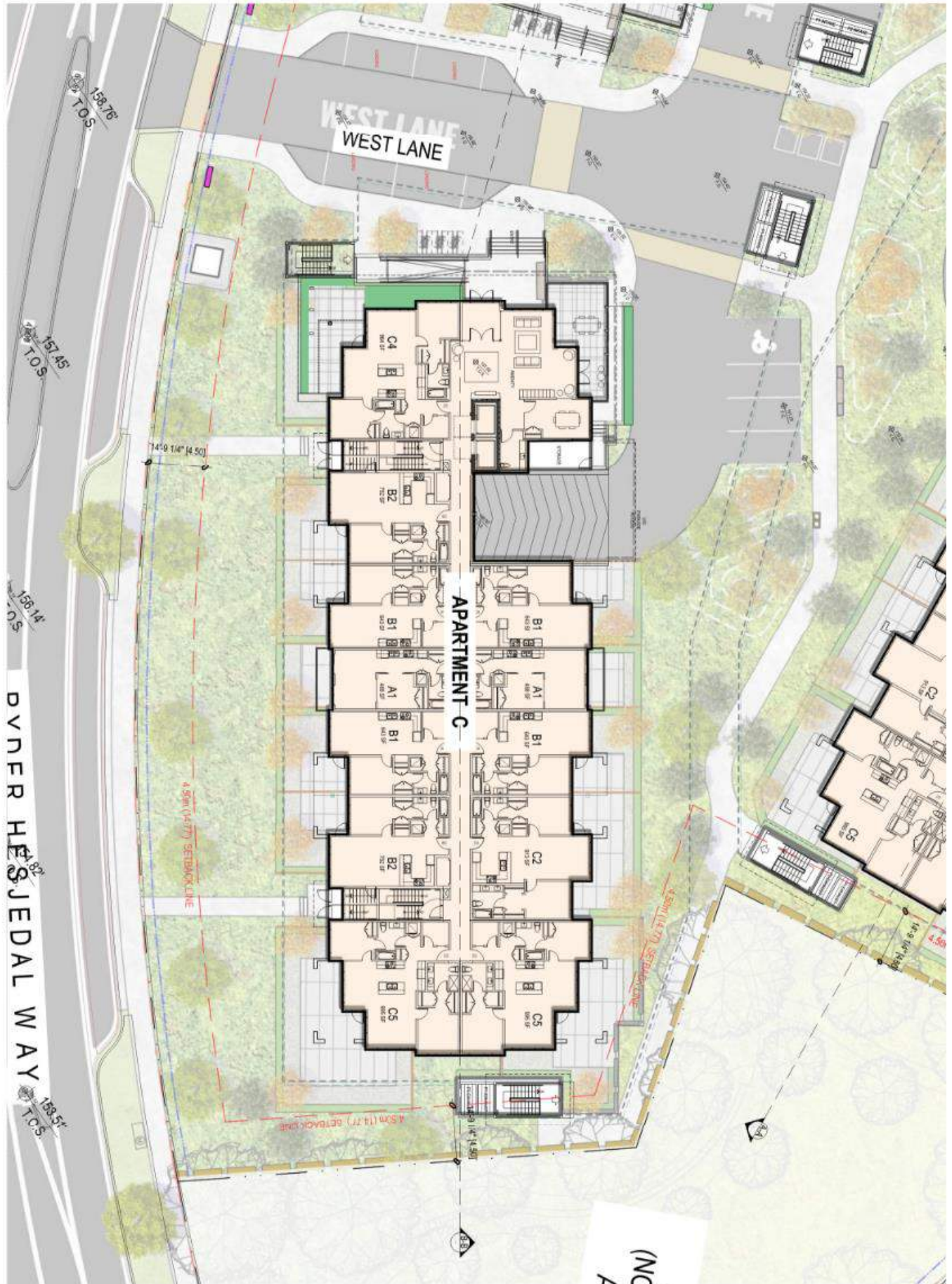
**NO.**

**A3.14**

**PROJECT NO.**

**2126/2138**





**RHA**  
RH Architects Inc.  
330 Pined Street, Unit 10  
Vancouver, BC Canada  
V6A 1E1  
1-800-669-6900  
1-604-688-5182  
www.rharchitects.ca

**REVISIONS**

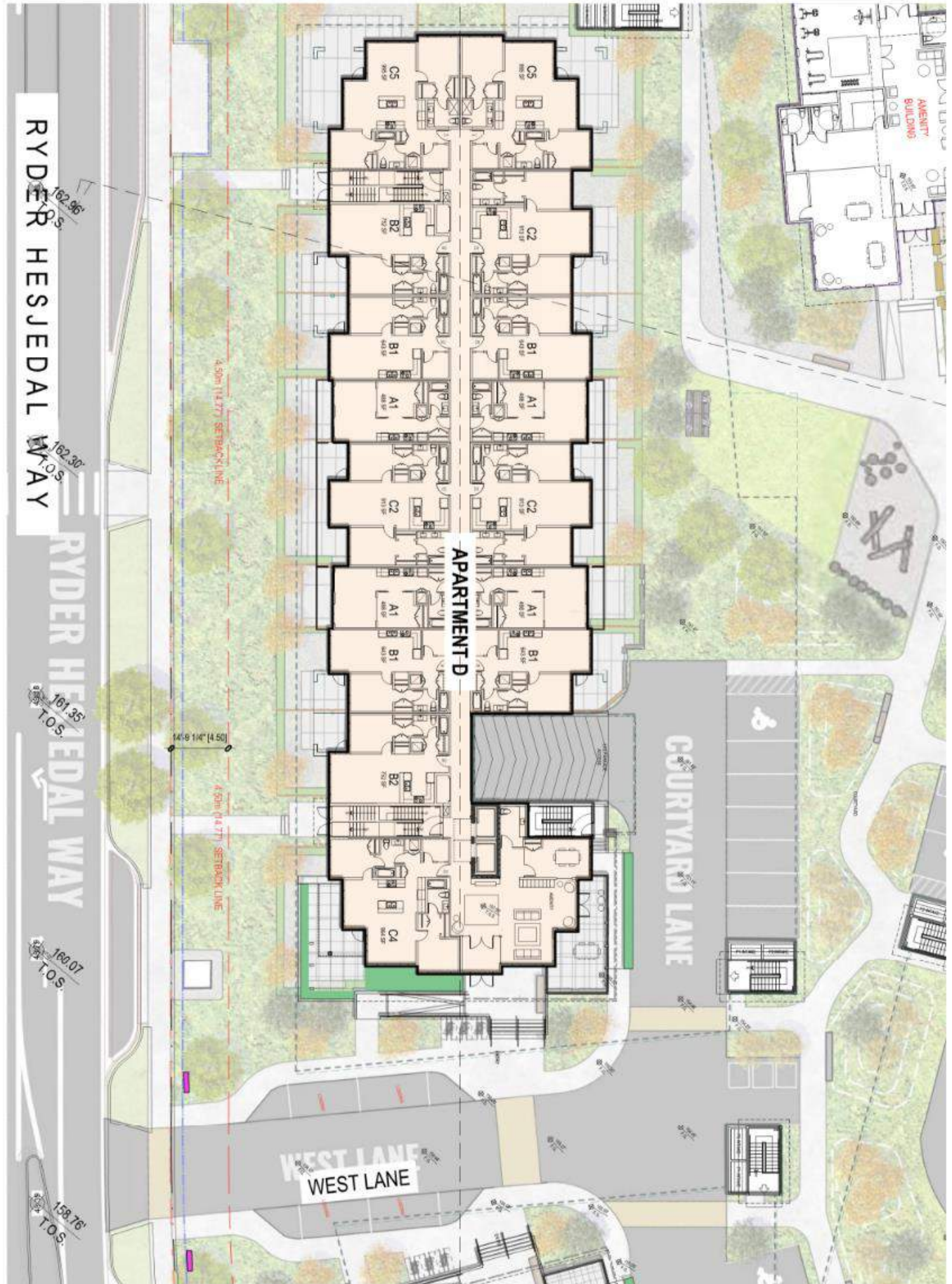
NO.	DATE	DESCRIPTION
1.	20 MAY 2022	ORIENTATION REVIEW
2.	20 MAY 2022	DP RESUBMISSION #3
3.	20 MAY 2022	DP RESUBMISSION #3
4.	27 JUN 2023	DP RESUBMISSION #3

**DATE:** 30 MAY 2023  
**CLIENT:** PCAR group  
**PROJECT:** PARCEL B  
**LEVEL:** LEVEL 1 PLAN  
**APARTMENT:** APARTMENT C

**SCALE:** 3/32" = 1'-0"  
**DATE:** 20 JUN 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 20 JUN 2023  
**NO.:** A3.15





**RH Architects Inc.**  
 1544 East 60th  
 Vancouver, BC Canada  
 V6A 3E1  
 1-604-468-5182  
 www.rharchitects.ca

**320 Powell Street, Unit 10**  
 Vancouver, BC Canada  
 V6A 3E1

**DP RESUBMISSION #3**  
 29 JUNE 2023

**REVISIONS**

NO.	DESCRIPTION	DATE
1.	ORIGINATION PERMIT	30 MAY 2023
2.	ORIGINATION #1	30 MAY 2023
3.	ORIGINATION #2	30 MAY 2023
4.	ORIGINATION #3	29 JUNE 2023

**CLIENT:** 30 MAY 2023

**PROJECT:** PARCEL B APARTMENT D

**DATE:** 2126/2138

**SCALE:** 3/32" = 1'-0"

**DATE:** 29 JUNE 2023

**DESIGNED BY:** EBR

**PROJECT NO.:** 2126/2138

**DATE:** 29 JUNE 2023

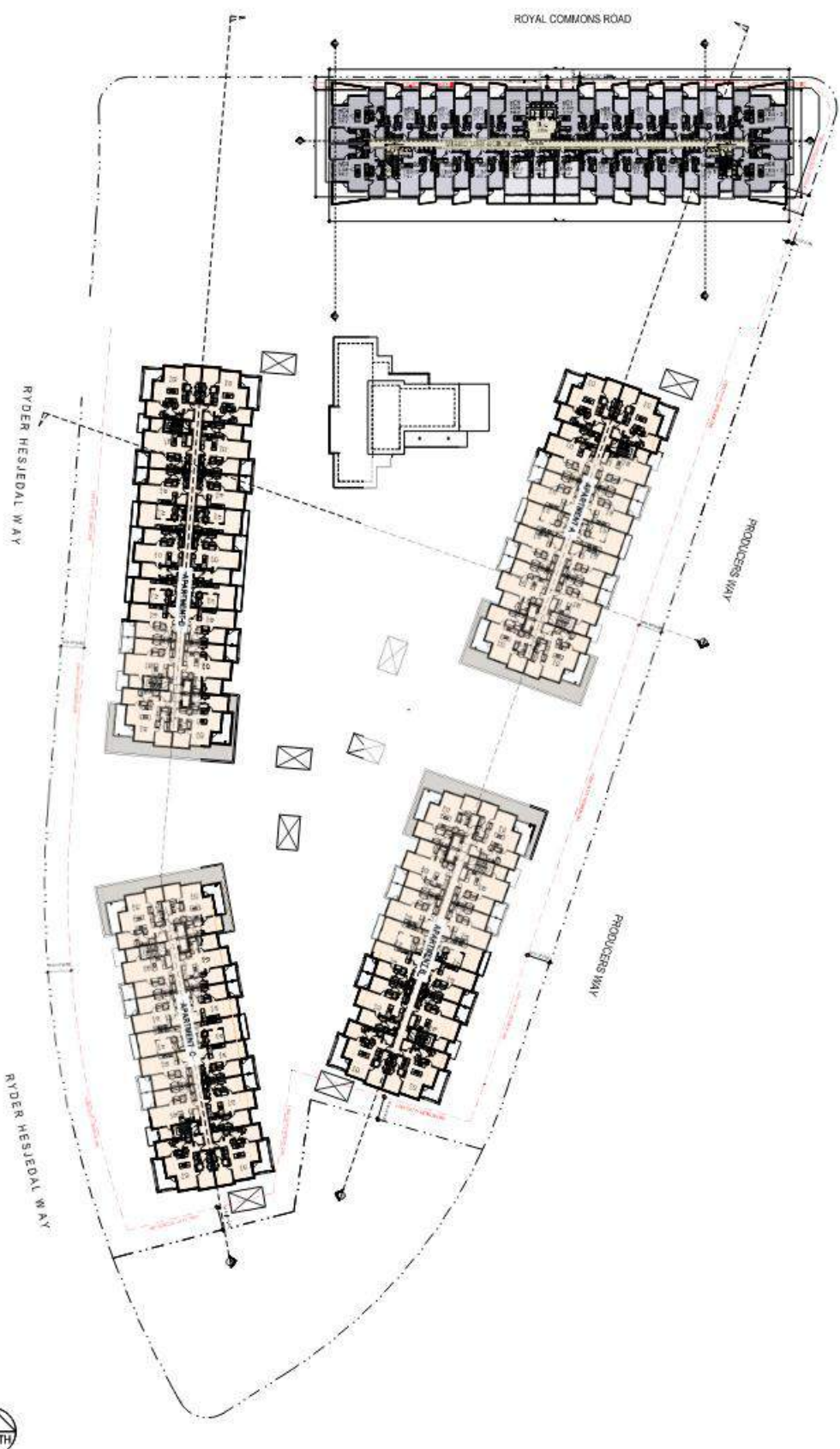
**SCALE:** 3/32" = 1'-0"

**DATE:** 29 JUNE 2023

**DESIGNED BY:** EBR

**PROJECT NO.:** 2126/2138

**DATE:** 29 JUNE 2023



**RH Architects Inc.**  
 130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V5A 1S1  
 1-604-690-8903  
 604-690-1092  
 www.rharchitects.com

PROJECT	DATE
1. CONCEPT DESIGN	20 MAR 2023
2. PRELIMINARY DESIGN	20 MAR 2023
3. PERMITTING DESIGN	20 MAR 2023
4. PERMITTING DESIGN	22 MAR 2023

**REVISION #08**  
**DP RESUBMISSION #3**  
 20 MAR 2023

**NOTES:**  
 1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DRAWING IS PROVIDED TO YOU FOR YOUR INFORMATION AND USE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. ANY REVISIONS TO THIS DRAWING SHALL BE INDICATED BY A REVISION CIRCLE AND NUMBER.

**CLIENT:**  
 30 MAR 2023  
**pcaregroup**  
 Pacific Capital Real Estate Group

**PROJECT:**  
 PARCEL B  
 COLUMBIA, B.C.  
 CONDOMINIUM  
 LEVEL 2 PLAN

**DATE:** 17 SEP 2023  
**SCALE:** 1/8" = 1'-0"  
**PERFORMED BY:** PS/LS  
**DATE:** 17 SEP 2023  
**CHECKED BY:** EBR  
**DATE:** 17 SEP 2023  
**PROJECT NO.:** 2126/2138

**DATE:** 17 SEP 2023  
**SCALE:** A3.20





RH Architects Inc.

ROYAL COMMONS ROAD

1300 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1S1  
1-604-690-9000  
1-604-690-1092  
www.rharchitects.ca

DATE: 20/01/2023  
PROJECT: DP RESUBMISSION #3  
1. 30 JAN 2023  
2. 06 FEB 2023  
3. 06 MAR 2023  
4. 07 FEB 2023

DESIGNED BY: DP RESUBMISSION #3  
20 JAN 2023

DATE: 20/01/2023  
PROJECT: DP RESUBMISSION #3  
1. 30 JAN 2023  
2. 06 FEB 2023  
3. 06 MAR 2023  
4. 07 FEB 2023

CLIENT: 30 MAR 2023  
PCRE group  
project register site ready to go

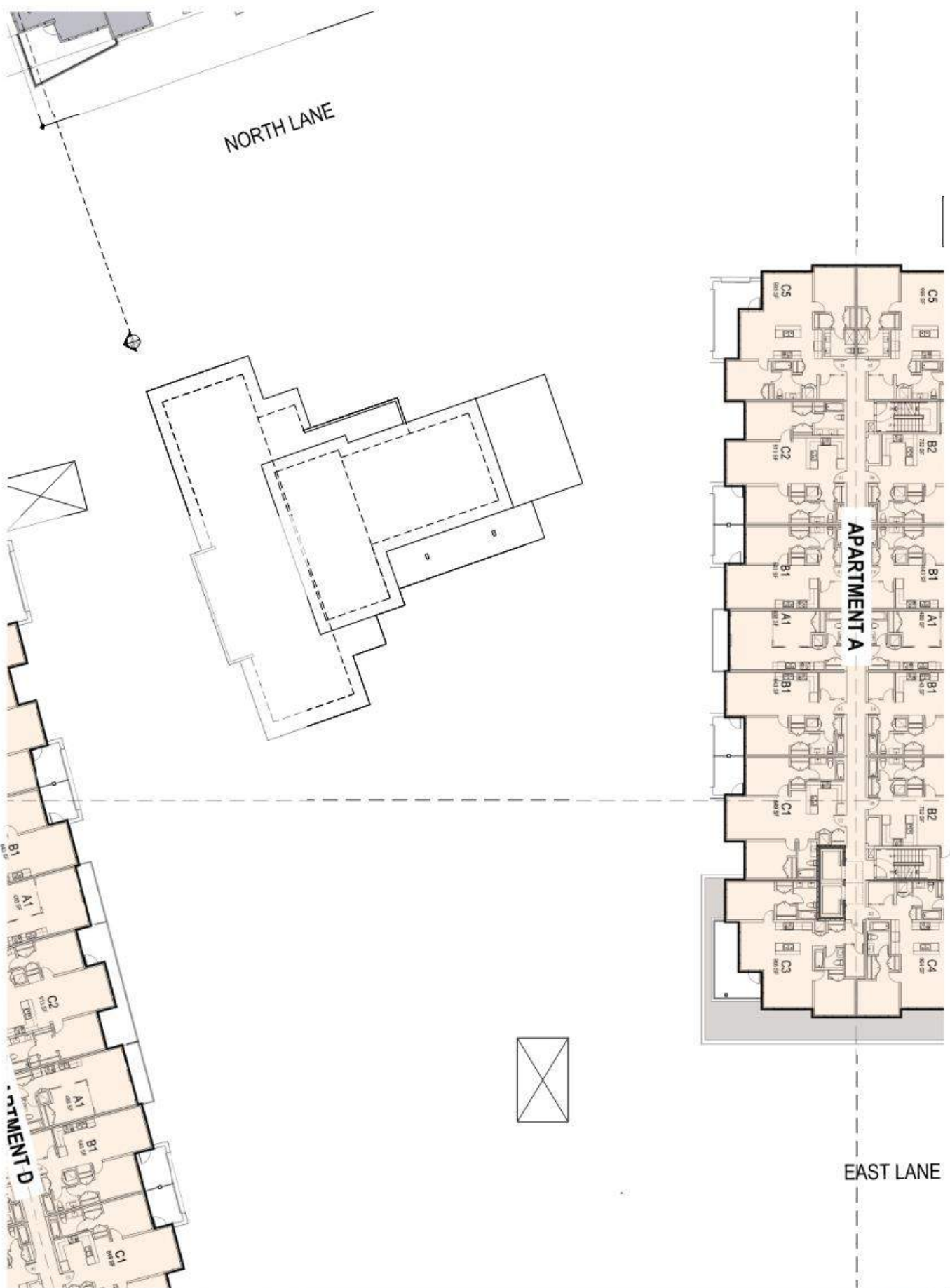
PARCEL B  
CELEWOOD, B.C.

LEVEL 2 PLAN  
MIXED USE BUILDING

DATE: 31.07.2023  
SCALE: 1/8" = 1'-0"  
DRAWN BY: PS/JS  
CHECKED BY: EBR  
PROJECT NO: 2126/2138

DATE: 31.07.2023  
SCALE: 1/8" = 1'-0"  
DRAWN BY: PS/JS  
CHECKED BY: EBR  
PROJECT NO: 2126/2138







**RH Architects Inc.**  
 230 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.683.0001  
 Fax: 604.683.0051  
 www.rharchitects.ca

**PROJEC**     **DATE**

1. DESIGN CONCEPT PERMIT     20 JUN 2022  
 2. DP EXHIBITION PERMIT     20 JUN 2022  
 3. DP EXHIBITION PERMIT #2     20 JUN 2022  
 4. DP EXHIBITION PERMIT #3     20 JUN 2022

**CLIENT**     **DATE**

**PCARRgroup**     28 JUN 2022  
*providing expertise with residential projects*

**PROJECT**     **DATE**

**PARCEL B**     28 JUN 2022  
 COLWOOD, B.C.

**PROJECT No.**     **DATE**

**2126/2138**     28 JUN 2022

**Scale:**     **DATE**

3/2" = 1'     28 JUN 2022

**PROJECT No.**     **DATE**

**2126/2138**     28 JUN 2022

**Scale:**     **DATE**

3/2" = 1'     28 JUN 2022

**PROJECT No.**     **DATE**

**2126/2138**     28 JUN 2022



# PRODUCERS WAY



RH Architects Inc.  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 1-800-668-0992  
 604-683-0992  
 www.rharchitects.ca

DATE	REVISION
20 MAR 2023	1. DESIGN DEVELOPMENT
20 MAR 2023	2. PRELIMINARY PERMITS
20 MAR 2023	3. PRELIMINARY PERMITS
20 MAR 2023	4. PRELIMINARY PERMITS

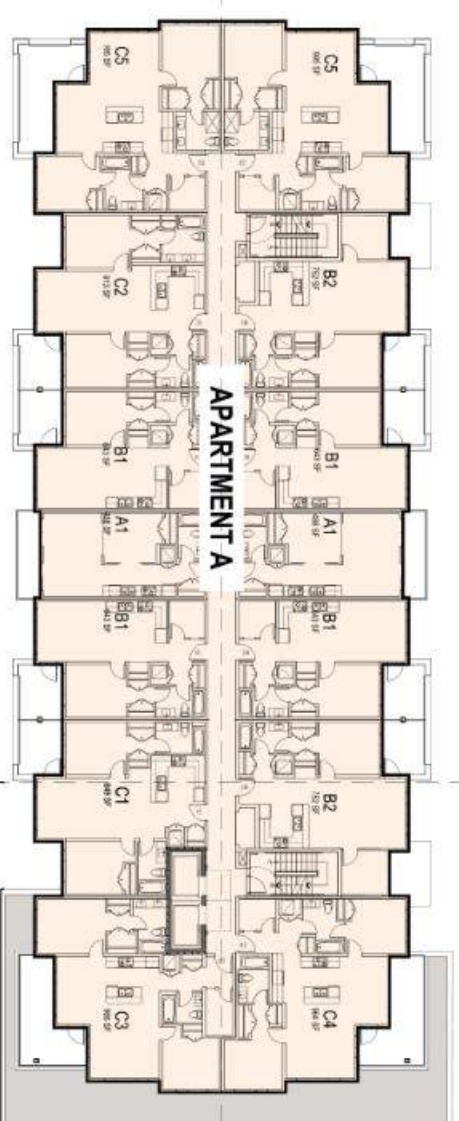
**PROJEC**  
 DP RESUBMISSION #3  
 20 MAR 2023

**CLIENT**  
 PCARRgroup  
 315 WEST 10TH AVENUE  
 VANCOUVER, BC V6C 2M7

**PROJECT**  
 PARCEL B  
 COLWOOD, B.C.

**CONTRACT**  
 LEVEL 2 PLAN  
 APARTMENT A

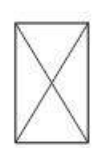
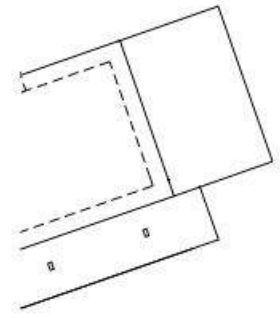
**DATE FILED** 31 MAR 2023  
**SCALE** 3/32" = 1'-0"  
**REVISION** 20 MAR 2023  
**DESIGNER** EBR  
**PROJECT NO.** 2126/2138  
**DATE** 20 MAR 2023  
**SCALE** 3/32" = 1'-0"  
**REVISION** 20 MAR 2023  
**DESIGNER** EBR  
**PROJECT NO.** 2126/2138  
**DATE** 20 MAR 2023



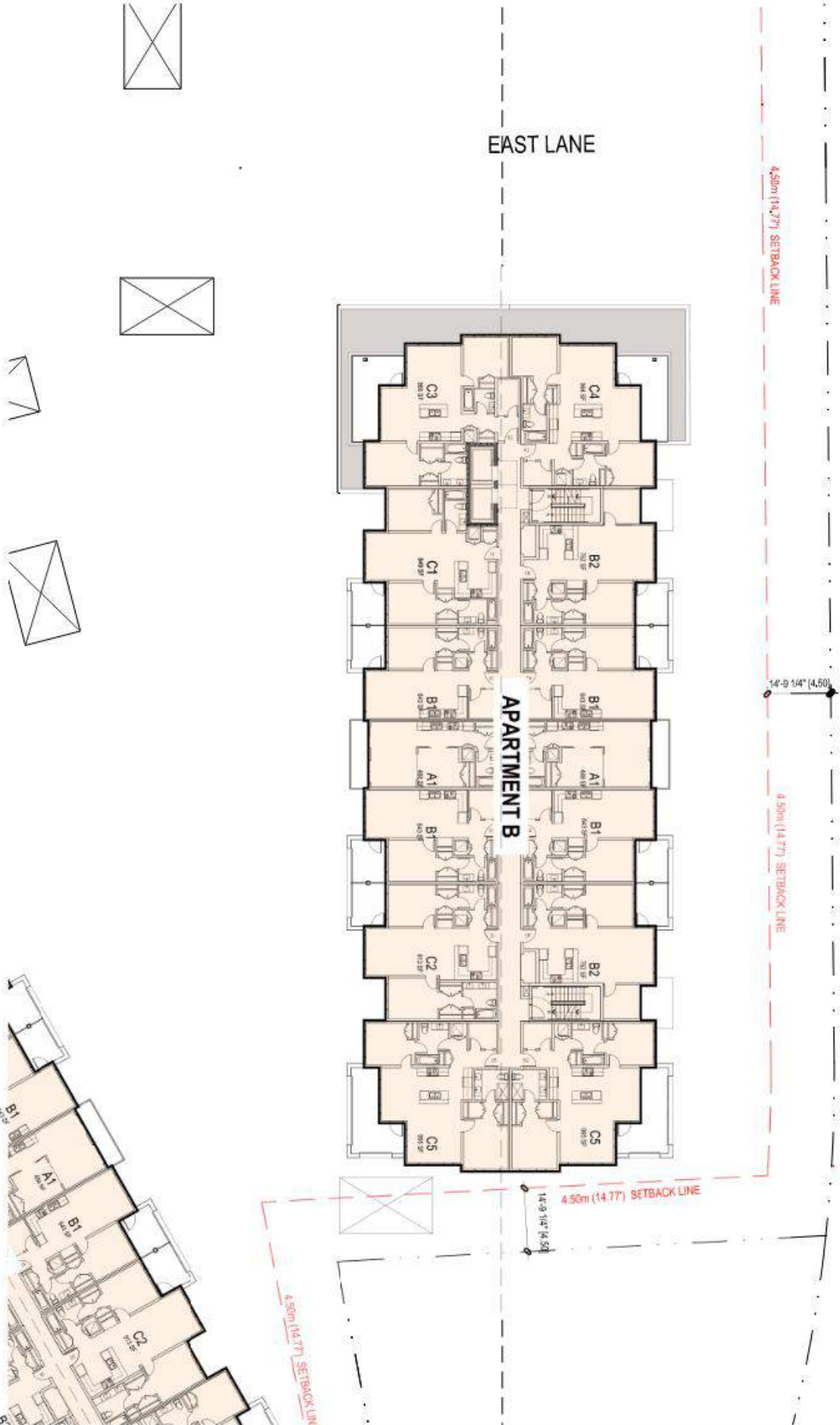
EAST LANE

4.50m (14'7") SETBACK LINE

4.50m (14'7") SETBACK LINE



# PRODUCERS WAY



**RHA**  
RH Architects Inc.  
200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1  
1-800-669-0092  
1-604-683-0992  
www.rharchitects.ca

**PROJEC** NO. 2126/2138  
DATE: 20 MAR 2023

**CLIENT**  
PCARRgroup  
Parcel B  
COWWOOD, B.C.

**PROJECT**  
LEVEL 2 PLAN  
APARTMENT B

**DATE FILE:** 31/03/2023  
**SCALE:** 3/32" = 1'-0"  
**PORTFOLIO:** 22/10/2023  
**OWNER:** EBR

**PROJECT NO.:** 2126/2138

**DATE:** 20 MAR 2023

**PROJECT NO.:** 2126/2138

**SCALE:** 3/32" = 1'-0"

**PORTFOLIO:** 22/10/2023

**OWNER:** EBR

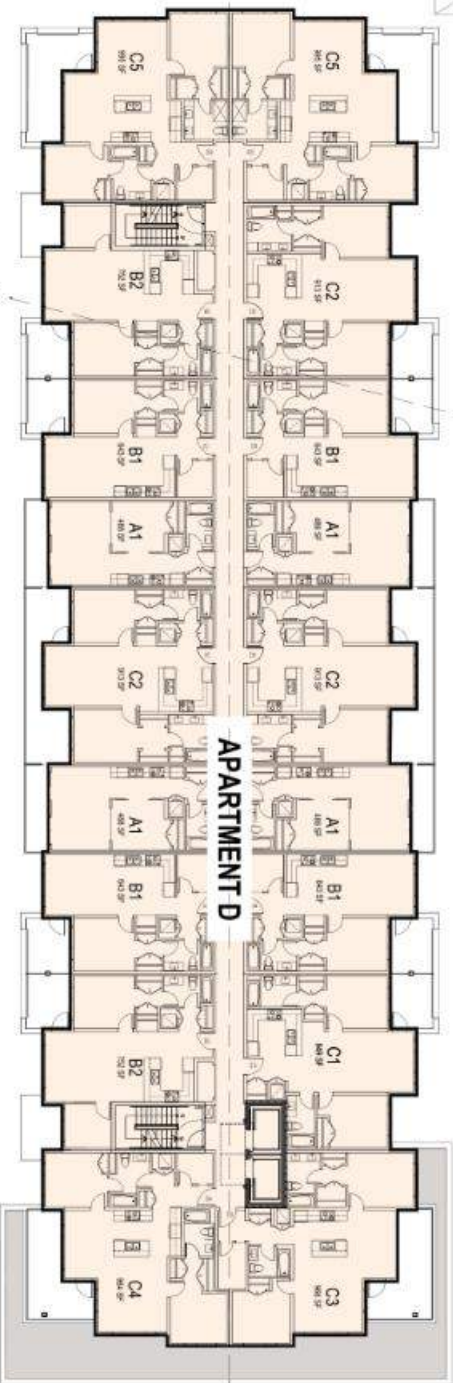
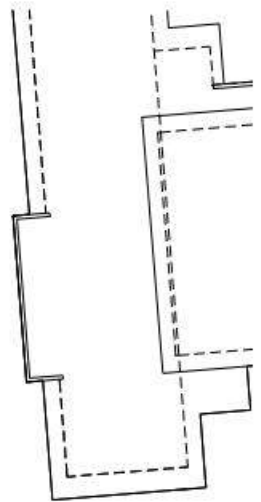
**PROJECT NO.:** 2126/2138

**DATE:** 20 MAR 2023

**PROJECT NO.:** 2126/2138







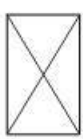
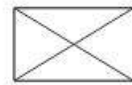
APARTMENT D

RYDER HESJEDAL WAY

4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

14'-0" x 14" (4.50')



RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

1-800-669-0991  
604-683-0991  
www.rharchitects.ca

ISSUE	DATE
1. DESIGN DEVELOPMENT	20 JUN 2022
2. PERMITTING	20 JUN 2022
3. DP EXHIBIT #1 & #2	20 JUN 2022
4. DP EXHIBIT #3 & #4	29 JUN 2022

**PROJECT INFO**  
DP RESUBMISSION #3  
28 JUNE 2022

**NOTES:**  
1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. IS STRICTLY PROHIBITED.  
2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. IS STRICTLY PROHIBITED.  
3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. IS STRICTLY PROHIBITED.  
4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. IS STRICTLY PROHIBITED.  
5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. IS STRICTLY PROHIBITED.

30 MAR 2023

**pcaregroup**

**PROJECT:**  
PARCEL B  
COLWOOD, B.C.

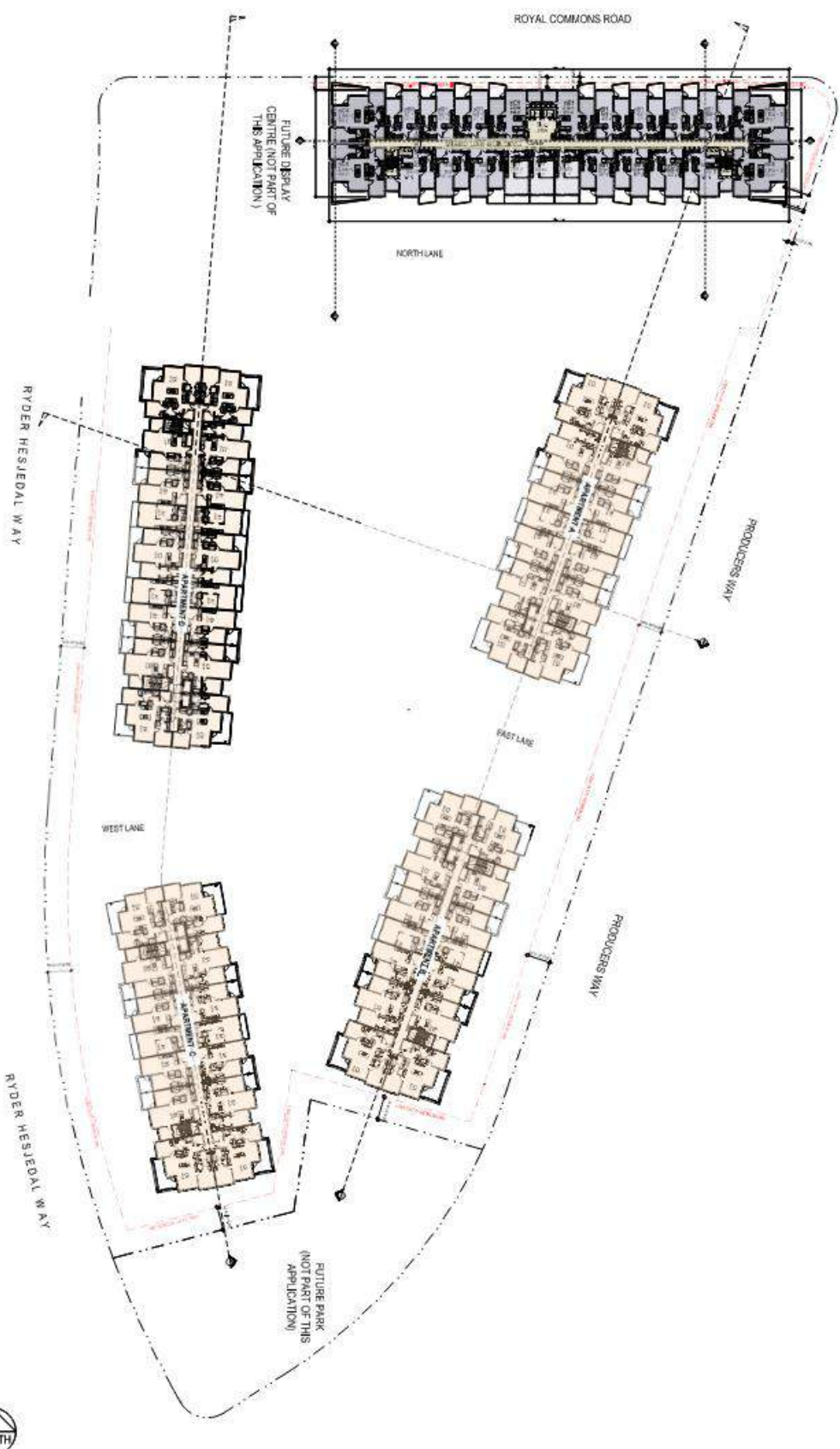
**CONTRACT:**  
LEVEL 2 PLAN  
APARTMENT D

**DATE FILE:** 3/27/23 ~ 148"  
**SCALE:** 1/8" = 1'-0"  
**DATE PLOT:** 29 JUNE 2023  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**BY:** EBR  
**PROJECT NO.:** 2126/2138  
**SCALE:** 1/8" = 1'-0"  
**DATE PLOT:** 29 JUN 2023

**A3.26**





**RH Architects Inc.**

130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1S1

1-800-690-8903  
 1-604-690-1092  
 www.rharchitects.com

PROJECT	DATE
1. CONCEPT DESIGN	20 MAR 2023
2. PRELIMINARY DESIGN	20 MAR 2023
3. PERMITTING DESIGN	20 MAR 2023
4. PERMITTING DESIGN	20 MAR 2023

**REVISION**  
 DP RESUBMISSION #3  
 20 MAR 2023

**CLIENT**  
 30 MAR 2023

**PROJECT**  
 PARCEL B  
 COLUMBIA, B.C.

**LEVEL**  
 LEVEL 3 PLAN

**SCALE**  
 1/32" = 1'-0"

**DATE**  
 21/06/2023

**PROJECT NO.**  
 2126/2138

**DATE**  
 21/06/2023

**SCALE**  
 A3.30



RH Architects Inc.

130 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1S1

1-604-690-9903  
1-604-690-1092  
www.rharchitects.ca

**PROJECT:**  
1. DP RESUBMISSION #3  
2. DP RESUBMISSION #4  
3. DP RESUBMISSION #5  
4. DP RESUBMISSION #6

**DATE:**  
30 MAR 2023  
30 MAR 2023  
30 MAR 2023  
22 MAR 2023

**REVISION #08**  
DP RESUBMISSION #3  
29 MAR 2023

**NOTES:**  
1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.  
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.  
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

**CLIENT:**  
33 MAR 2023  
PCRE group  
parcels inc. vancouver group

**PROJECT:**  
PARCEL B  
CERWOOD, B.C.

**CONTRACT NO.:**  
LEVEL 3 PLAN  
MIXED USE BUILDING

**DATE:** 31.03.2023  
**SCALE:** 3/32" = 1'-0"  
**DATE:** 29.03.2023  
**PROJECT NO.:** 2126/2138

**DATE:** 29.03.2023  
**PROJECT NO.:** 2126/2138  
**SCALE:** A3.31

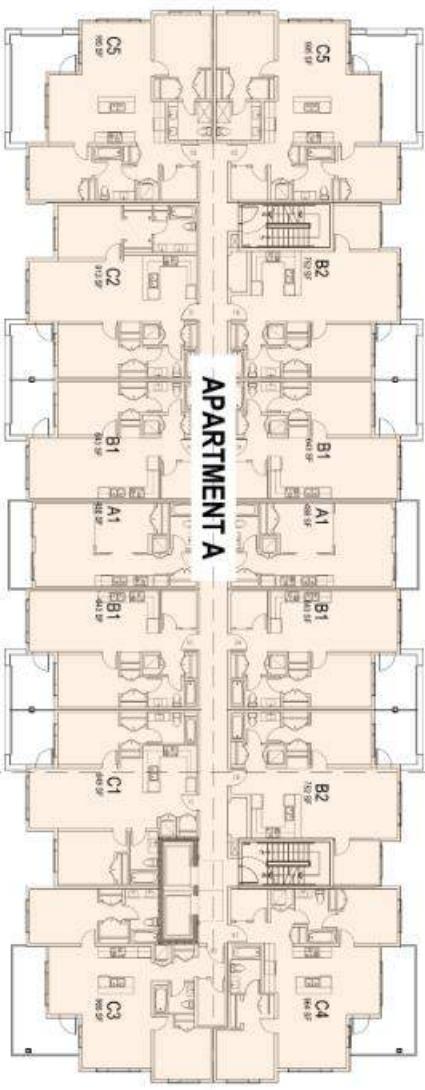




# PRODUCERS WAY



4.50m (14.77') SETBACK LINE



# EAST LANE



**RH Architects Inc.**

230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.689.0991  
 F: 604.689.0991

www.rharchitects.ca

PROJECT	DATE
1. DEVELOPER/OWNER PERMIT	30 NOV 2022
2. DP RESUBMISSION #1	30 NOV 2022
3. DP RESUBMISSION #2	30 NOV 2022
4. DP RESUBMISSION #3	29 JAN 2023

**PROJECT FILE**  
 DP RESUBMISSION #3  
 29 JAN 2023

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

2. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

3. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

4. THIS DOCUMENT IS THE PROPERTY OF RHA ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RHA ARCHITECTS INC.

CLIENT: 30 MAR 2023  
**PCARRgroup**  
 PROJECT: 2126/2138

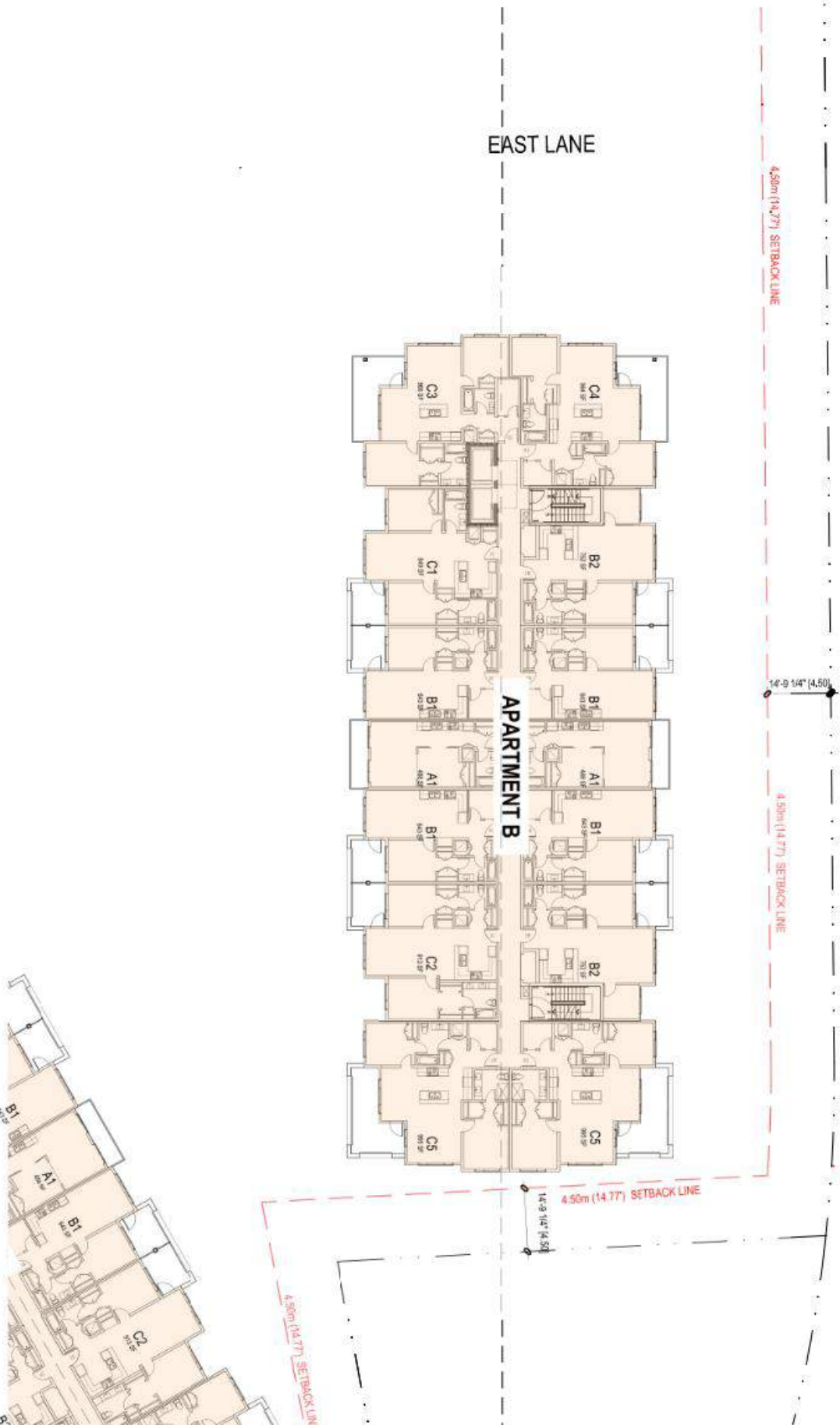
PROJECT: PARCEL B  
 COLWOOD, B.C.

CONTRACT: LEVEL 3 PLAN  
 APARTMENT A

DATE FILE: 31/07/2022  
 MODEL: 31/07/2022  
 PERMIT: 30/11/2022  
 CHECKED: EBB  
 PROJECT NO: 2126/2138

DATE: 31/07/2022  
**A3.33**

# PRODUCERS WAY





**RH Architects Inc.**  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 3G1  
 1-800-669-0992  
 604-683-0992  
 www.rharchitects.ca

**PROJ. NO.** 2126/2138  
**DATE:** 30 MAR 2023  
**CLIENT:** PCRE group  
**PROJECT:** Parcel B  
**CONTRACT NO.:** 2126/2138  
**DATE:** 29 JUL 2023  
**DESIGNED BY:** EBB  
**CHECKED BY:** EBB

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	30 MAR 2023
2	FOR EXAMINATION	30 MAR 2023
3	FOR EXAMINATION	29 JUN 2023

**PROJ. NO.** 2126/2138  
**DATE:** 30 MAR 2023  
**CLIENT:** PCRE group  
**PROJECT:** Parcel B  
**CONTRACT NO.:** 2126/2138  
**DATE:** 29 JUL 2023  
**DESIGNED BY:** EBB  
**CHECKED BY:** EBB

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	30 MAR 2023
2	FOR EXAMINATION	30 MAR 2023
3	FOR EXAMINATION	29 JUN 2023







RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.689.8991  
F: 604.689.8992  
www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	1. DESIGN CONCEPT PERMIT
20 JUN 2022	2. DP RESUBMISSION #3
20 JUN 2022	3. DP RESUBMISSION #4
29 JUN 2022	4. DP RESUBMISSION #5

**PROJECT NAME**  
DP RESUBMISSION #3  
28 JUNE 2022

**NOTES:**  
1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

31 MAR 2023

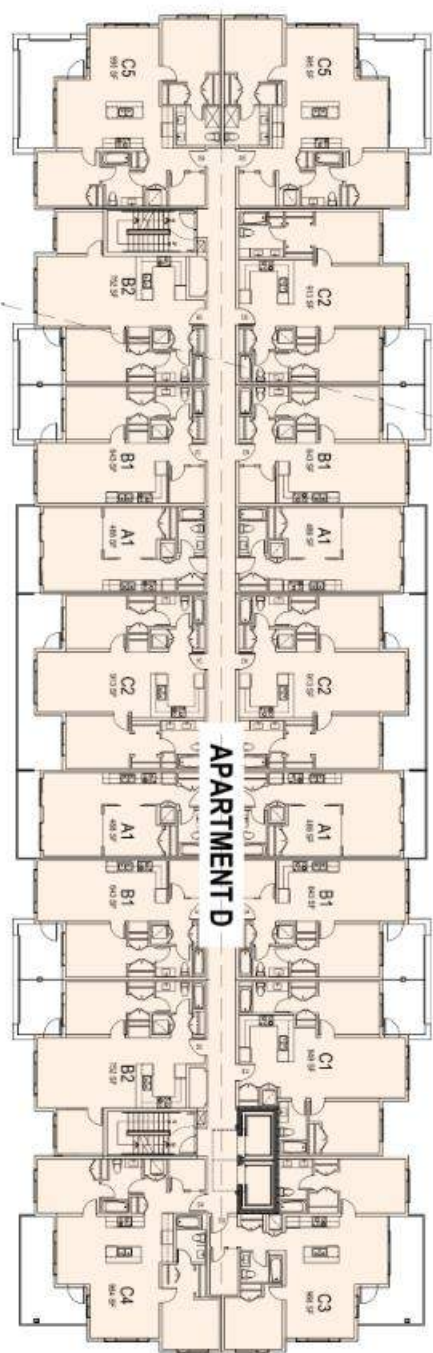
**pcaregroup**  
PROJECT SUPPORT AND CONSULTING GROUP

**PROJECT**  
PARCEL B  
COLWOOD, B.C.

**CONTRACT**  
LEVEL 3 PLAN  
APARTMENT D

**DATE FILE:** 3/27/23 ~ 148"  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** PLS  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**BY:** PLS  
**NO.:** A3.36



APARTMENT D

WEST LANE

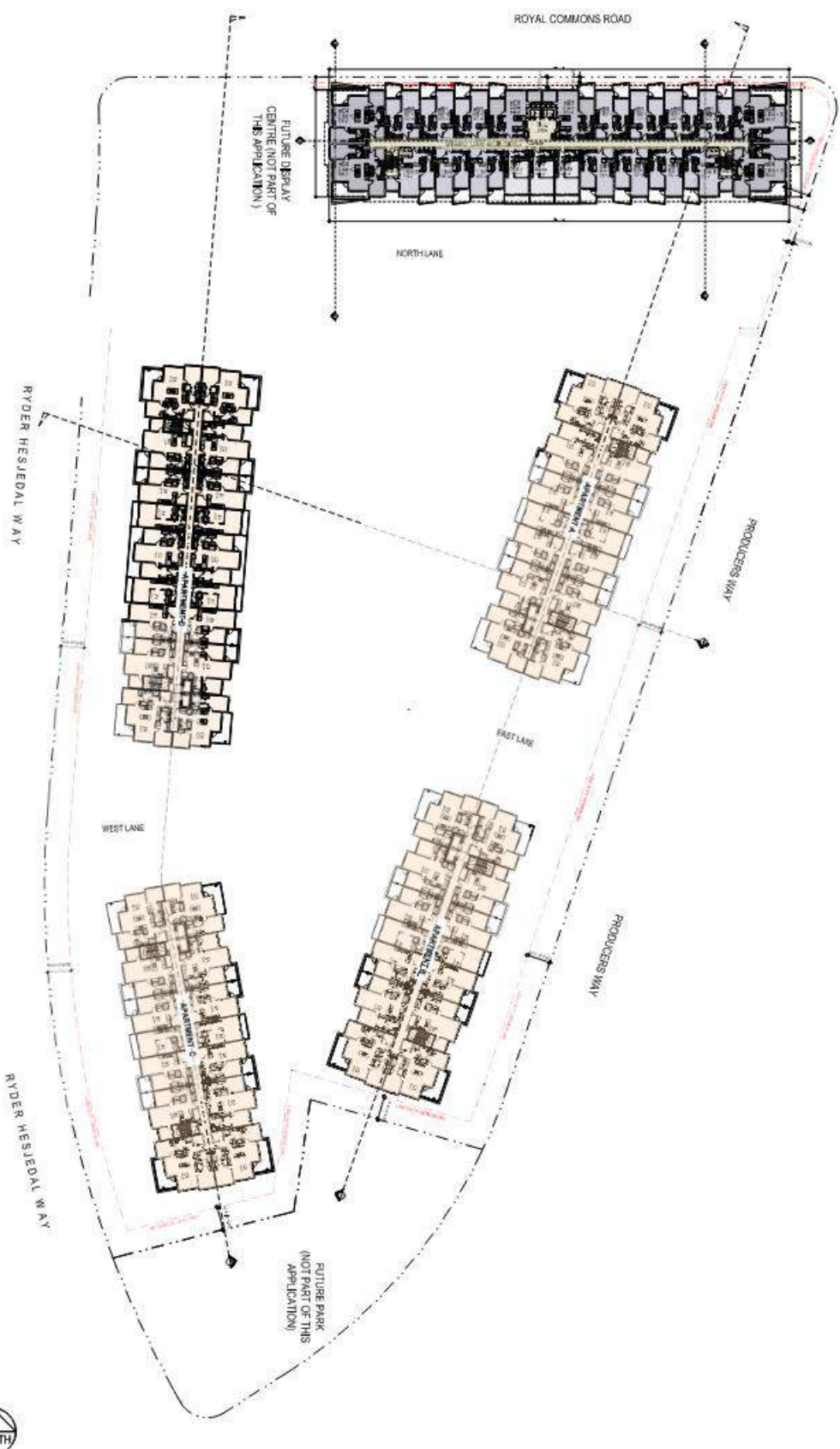
4.50m (14'7") SETBACK LINE

4.50m (14'7") SETBACK LINE

14'-0 1/4" (4.50)

RYDER HESJEDAL WAY





**RH Architects Inc.**

130 Powell Street, Unit 10  
 Vancouver, BC Canada  
 V6A 1S1

1-800-669-8993  
 1-604-693-1092  
 www.rharchitects.com

PROJECT	DATE
1. CONCEPT DESIGN	20 MAR 2023
2. PRELIMINARY DESIGN	20 MAR 2023
3. PERMITTING DESIGN	20 MAR 2023
4. PERMITTING DESIGN	20 MAR 2023

**REVISION**  
 DP RESUBMISSION #3  
 20 MAR 2023

**NOTES:**  
 1. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT IN OBTAINING SUCH PERMITS AND APPROVALS.  
 2. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT IN OBTAINING SUCH PERMITS AND APPROVALS.  
 3. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT IN OBTAINING SUCH PERMITS AND APPROVALS.  
 4. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT IN OBTAINING SUCH PERMITS AND APPROVALS.

**CLIENT:**  
 30 MAR 2023  
**pcaregroup**  
 project location: site ready ground

**PROJECT:**  
 PARCEL B  
 COLUMBIA, B.C.  
 CONCEPT PLAN  
 LEVEL 4 PLAN

**DATE:** 17 SEP 2023  
**SCALE:** 1/32" = 1'-0"  
**REVISION:** PS / JS  
**DATE:** 17 SEP 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 17 SEP 2023  
**SCALE:** 1/32" = 1'-0"  
**REVISION:** PS / JS  
**DATE:** 17 SEP 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 17 SEP 2023  
**SCALE:** 1/32" = 1'-0"  
**REVISION:** PS / JS  
**DATE:** 17 SEP 2023  
**DESIGNER:** EBR  
**PROJECT NO.:** 2126/2138



RH Architects Inc.

1300 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1S1

1-800-669-0903  
1-604-693-1092  
www.rharchitects.com

PROJECT: DATE:  
1. 2018/05/01 2018/05/01  
2. 2018/05/01 2018/05/01  
3. 2018/05/01 2018/05/01  
4. 2018/05/01 2018/05/01

CLIENT: DATE:  
DP RESUBMISSION #3 2018/05/01  
2018/05/01

REVISIONS  
DP RESUBMISSION #3  
2018/05/01

NOTES:  
1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.  
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

CLIENT: 30 MAR 2023  
PCRE group  
project register user: rachel@pcrgroup.com

PROJECT: PARCEL B  
COWMOOD, B.C.

CONTRACT NO.:  
LEVEL 4 PLAN  
MIXED USE BUILDING

DATE: 31.07.2018  
SCALE: 3/32" = 1'-0"  
DRAWN BY: PS/JSB  
CHECKED BY: EBR  
PROJECT NO.: 2126/2138

DATE: 31.07.2018  
DRAWN BY: PS/JSB  
CHECKED BY: EBR  
PROJECT NO.: 2126/2138

A3.41



ROYAL COMMONS ROAD

NORTH LANE

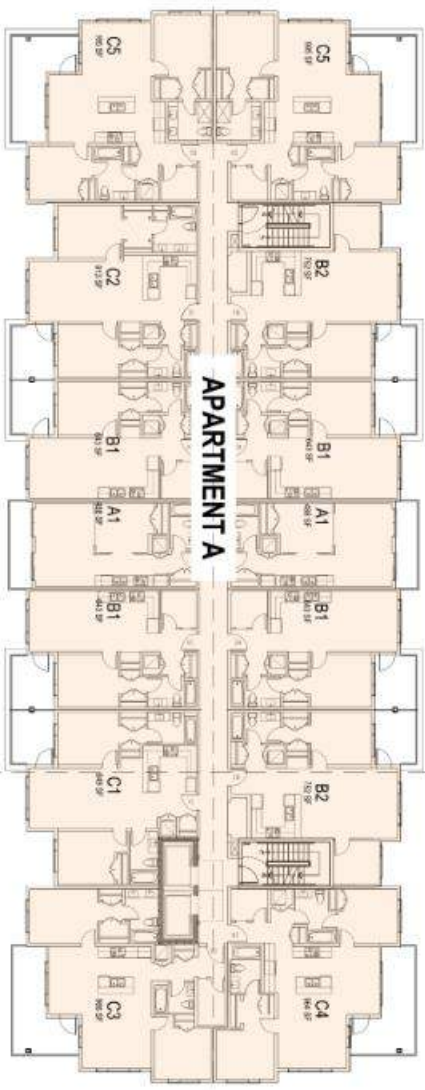


# PRODUCERS WAY



4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE



# EAST LANE



**RH Architects Inc.**

230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.688.0991  
F: 604.688.0991

www.rharchitects.ca

DATE	DESCRIPTION
20 JUN 2022	1. DESIGN CONCEPT PERMIT
20 JUN 2022	2. DP RESUBMISSION #3
29 JUN 2022	3. DP RESUBMISSION #4
29 JUN 2022	4. DP RESUBMISSION #5

**DESIGN PERMIT**  
DP RESUBMISSION #3  
28 JUN 2022

**NOTIFICATION** DATE

This document is the property of RHA and is intended for the use of the recipient only. It is not to be distributed, copied, or otherwise used without the written consent of RHA. RHA shall not be held responsible for any errors or omissions in this document. RHA shall not be held responsible for any delays or interruptions in the project. RHA shall not be held responsible for any changes or modifications to the project. RHA shall not be held responsible for any legal or regulatory requirements. RHA shall not be held responsible for any environmental or social impacts. RHA shall not be held responsible for any cultural or heritage values. RHA shall not be held responsible for any archaeological or historical remains. RHA shall not be held responsible for any geotechnical or structural issues. RHA shall not be held responsible for any fire or safety hazards. RHA shall not be held responsible for any accessibility or inclusivity issues. RHA shall not be held responsible for any other matters not specifically mentioned in this document.

**CLIENT**  
31 MAR 2023

**PCARRgroup**  
PARRgroup inc. (realtor group)

**PROJECT**  
PARCEL B  
COLWOOD, B.C.

**CONTRACT NO.**  
LEVEL 4 PLAN  
APARTMENT A

**DATE FILE:** 31/03/2023  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** PARR  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2023  
**BY:** [Signature]  
**SCALE:** A3.43

# PRODUCERS WAY



RH Architects Inc.

230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.688.0001  
F: 604.688.0051

www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	20 JUN 2022	CONCEPT DESIGN PERMIT
2.	20 JUN 2022	DP RESUBMISSION #3
3.	20 JUN 2022	DP RESUBMISSION #4
4.	29 JUN 2023	DP RESUBMISSION #5

**PLANNED FOR**  
**DP RESUBMISSION #3**  
 28 JUN 2023

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.
2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**NOT TO SCALE**

30 MAR 2023

**PCARRgroup**  
 providing expertise since 1988

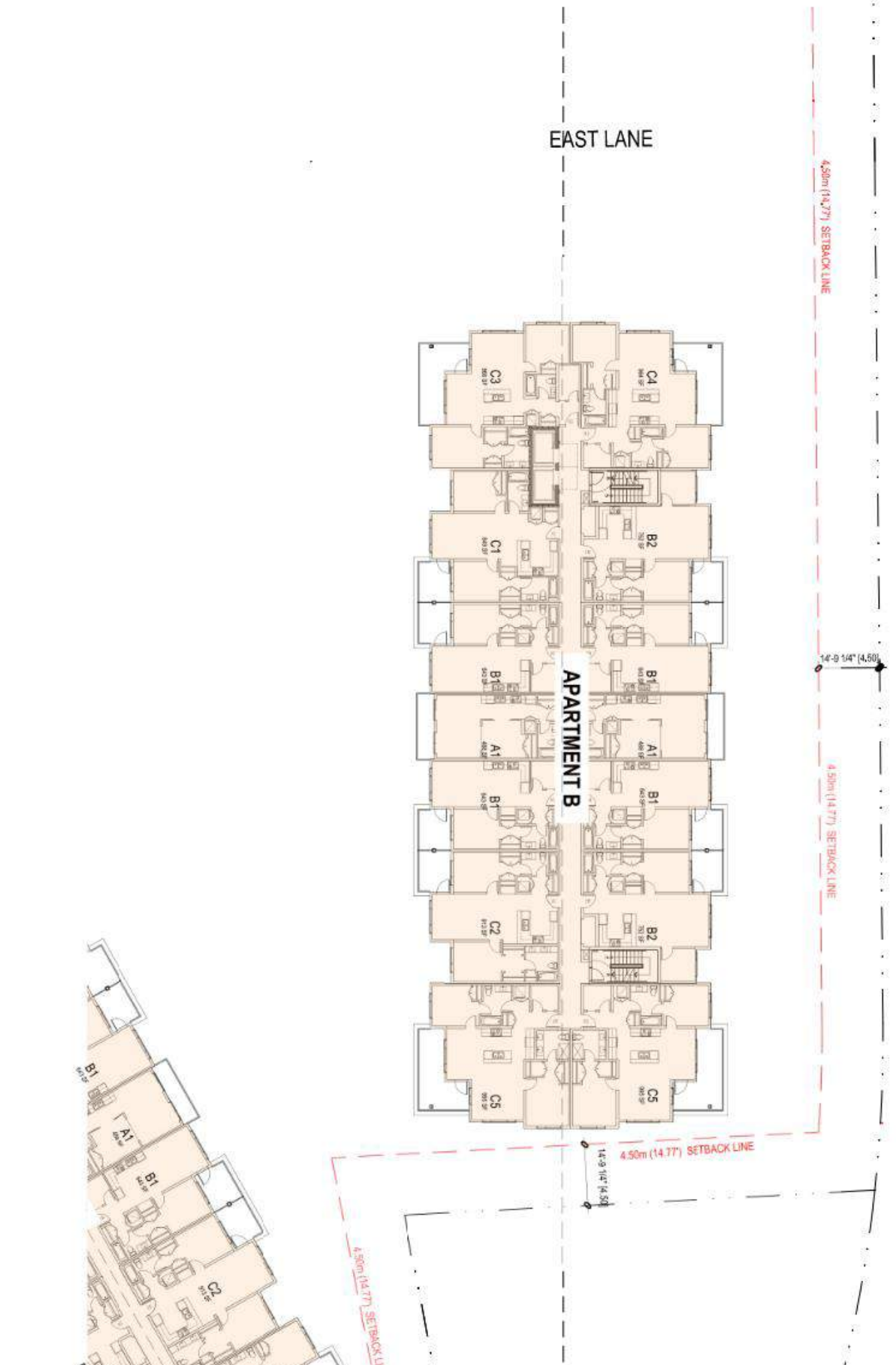
**PROJECT:**  
**PARCEL B**  
 CRAWFORD, B.C.

**CONTRACT:**  
**LEVEL 4 PLAN**  
**APARTMENT B**

**DATE FILE:** 3/27/23 ~ LAR  
**SCALE:** AS SHOWN  
**PERMIT:** 22-106-2023  
**OWNER:** EBR

**PROJECT No:** 2126/2138

**DATE:** 2023  
**NO.:** A3.44







RH Architects Inc.

200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

1-800-668-0901  
604-681-0951  
www.rharchitects.ca

DATE	REVISION
20/04/2023	1. DESIGN DEVELOPMENT
20/04/2023	2. DP RESUBMISSION #3
20/04/2023	3. DP RESUBMISSION #4
20/04/2023	4. DP RESUBMISSION #5
20/04/2023	5. DP RESUBMISSION #6

**PROJECT TITLE**  
DP RESUBMISSION #3  
20/04/2023

**CLIENT**  
31 WALK 2023

**DESIGNER**  
PCARRgroup  
Project requires prior written approval

**PROJECT**  
PARCEL B  
COWIWOOD, B.C.

**CONTRACT NO.**  
LEVEL 3 PLAN  
APARTMENT C

**DATE FILED:** 31/03/2023  
**SCALE:** 1/8" = 1'-0"  
**EXPIRES:** 29/06/2023  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 20/04/2023

**REVISIONS:**

**NOTES:**

1. This drawing is the property of RH Architects Inc. and shall remain the property of RH Architects Inc. unless otherwise stated in writing. It is to be used only for the project and site specified herein. It is not to be used for any other project or site without the written consent of RH Architects Inc. Any reproduction or use of this drawing without the written consent of RH Architects Inc. is strictly prohibited.

2. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. RH Architects Inc. is not responsible for any delays or costs incurred as a result of the client's failure to obtain the necessary permits and approvals.

3. The client is responsible for providing all necessary information and data to RH Architects Inc. in a timely and accurate manner. RH Architects Inc. is not responsible for any errors or omissions in the drawing as a result of incomplete or incorrect information provided by the client.

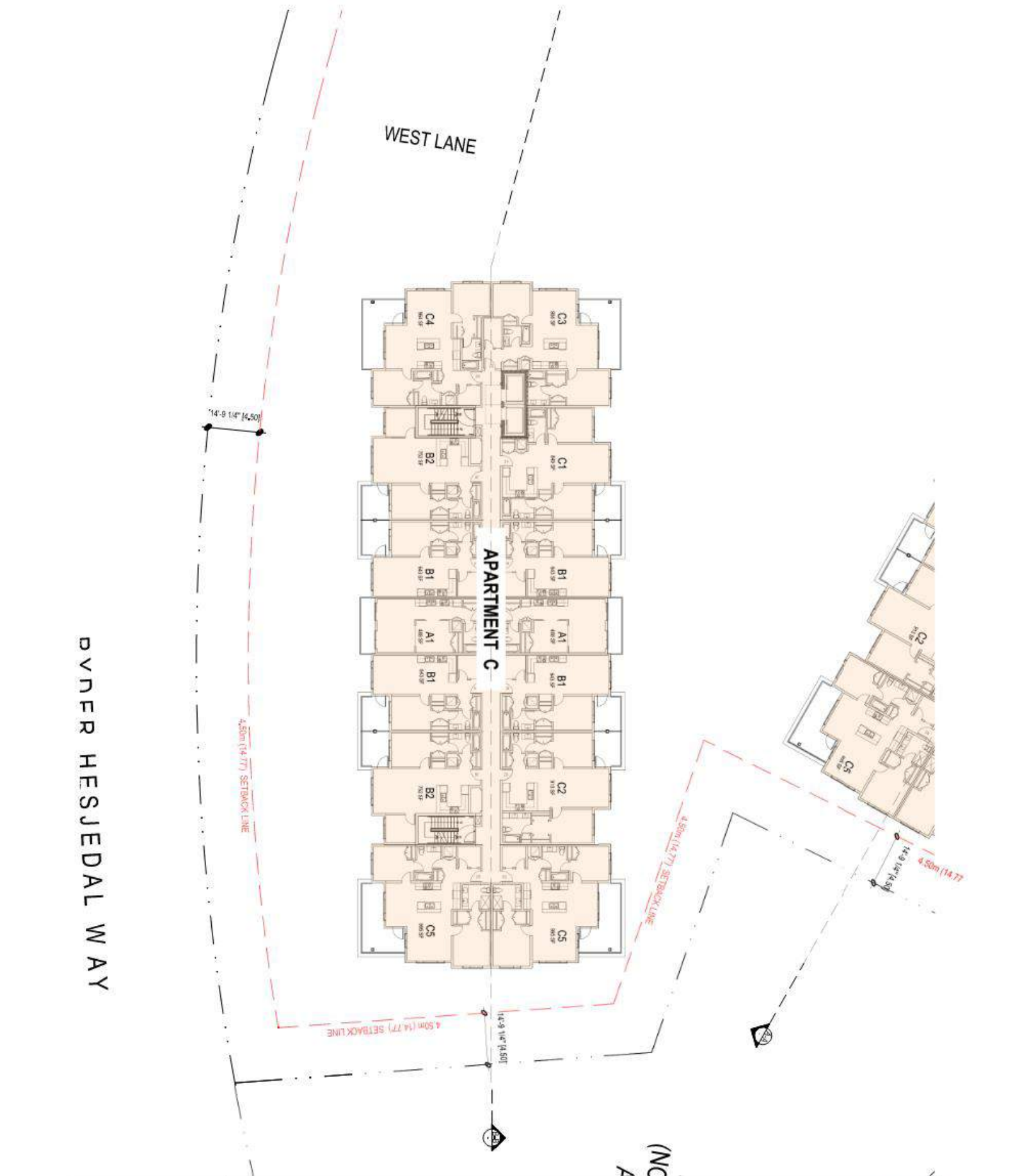
4. The client is responsible for providing all necessary site information and data to RH Architects Inc. in a timely and accurate manner. RH Architects Inc. is not responsible for any errors or omissions in the drawing as a result of incomplete or incorrect information provided by the client.

5. The client is responsible for providing all necessary site information and data to RH Architects Inc. in a timely and accurate manner. RH Architects Inc. is not responsible for any errors or omissions in the drawing as a result of incomplete or incorrect information provided by the client.

**DATE:** 20/04/2023  
**SCALE:** 1/8" = 1'-0"  
**EXPIRES:** 29/06/2023  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 20/04/2023  
**SCALE:** 1/8" = 1'-0"  
**EXPIRES:** 29/06/2023  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 20/04/2023  
**SCALE:** 1/8" = 1'-0"  
**EXPIRES:** 29/06/2023  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138



DYNER HESJEDAL WAY



RH Architects Inc.

200 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.688.8991  
F: 604.688.0951  
www.rharchitects.ca

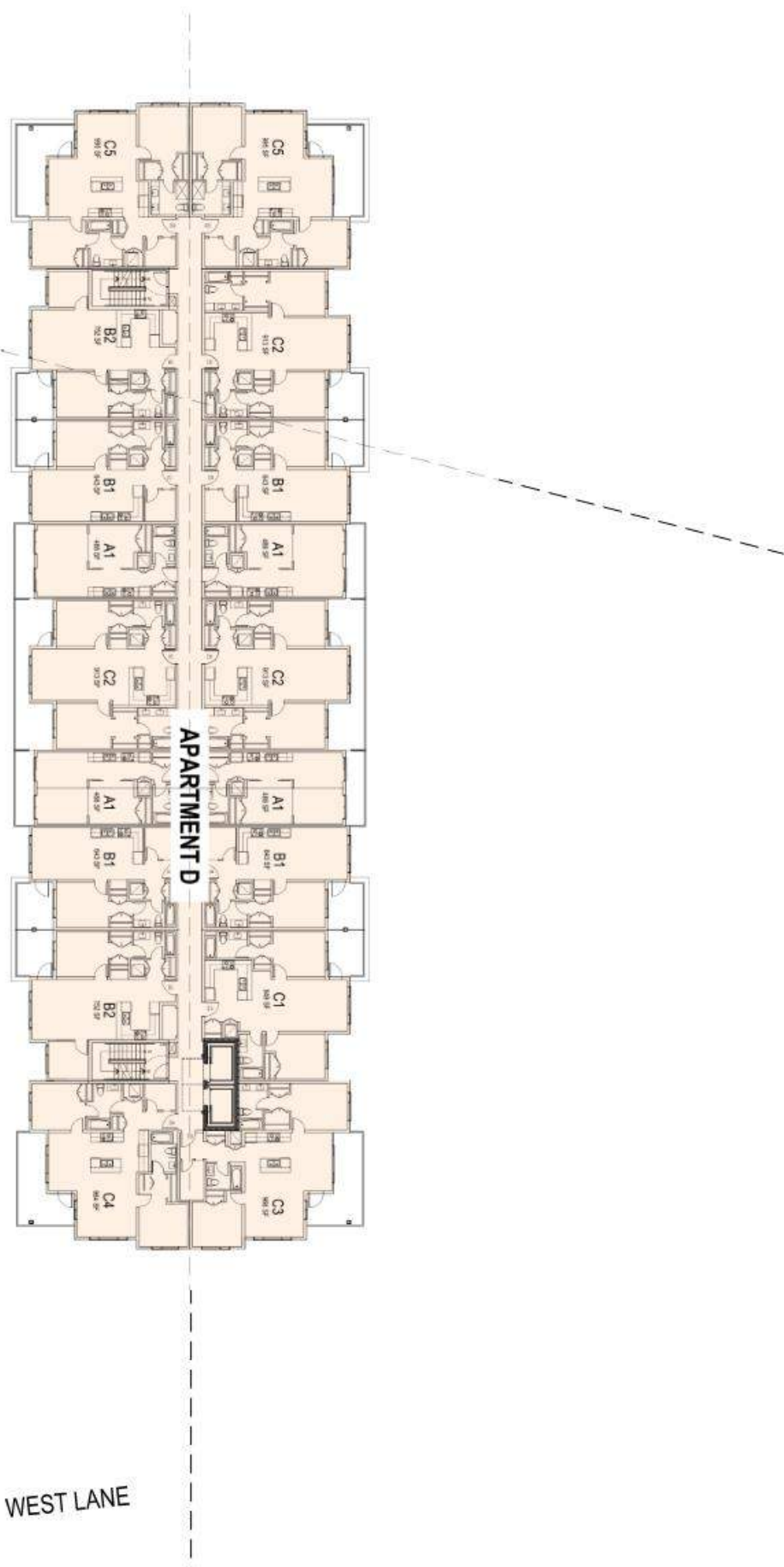
DATE	DESCRIPTION
20/04/2022	1. DESIGN CONCEPT PERMIT
20/04/2022	2. DP EXHIBIT #1
20/04/2022	3. DP EXHIBIT #2
20/04/2022	4. DP EXHIBIT #3
20/04/2022	5. DP EXHIBIT #4
20/04/2022	6. DP EXHIBIT #5
20/04/2022	7. DP EXHIBIT #6
20/04/2022	8. DP EXHIBIT #7
20/04/2022	9. DP EXHIBIT #8
20/04/2022	10. DP EXHIBIT #9
20/04/2022	11. DP EXHIBIT #10
20/04/2022	12. DP EXHIBIT #11
20/04/2022	13. DP EXHIBIT #12
20/04/2022	14. DP EXHIBIT #13
20/04/2022	15. DP EXHIBIT #14
20/04/2022	16. DP EXHIBIT #15
20/04/2022	17. DP EXHIBIT #16
20/04/2022	18. DP EXHIBIT #17
20/04/2022	19. DP EXHIBIT #18
20/04/2022	20. DP EXHIBIT #19
20/04/2022	21. DP EXHIBIT #20
20/04/2022	22. DP EXHIBIT #21
20/04/2022	23. DP EXHIBIT #22
20/04/2022	24. DP EXHIBIT #23
20/04/2022	25. DP EXHIBIT #24
20/04/2022	26. DP EXHIBIT #25
20/04/2022	27. DP EXHIBIT #26
20/04/2022	28. DP EXHIBIT #27
20/04/2022	29. DP EXHIBIT #28
20/04/2022	30. DP EXHIBIT #29
20/04/2022	31. DP EXHIBIT #30
20/04/2022	32. DP EXHIBIT #31
20/04/2022	33. DP EXHIBIT #32
20/04/2022	34. DP EXHIBIT #33
20/04/2022	35. DP EXHIBIT #34
20/04/2022	36. DP EXHIBIT #35
20/04/2022	37. DP EXHIBIT #36
20/04/2022	38. DP EXHIBIT #37
20/04/2022	39. DP EXHIBIT #38
20/04/2022	40. DP EXHIBIT #39
20/04/2022	41. DP EXHIBIT #40
20/04/2022	42. DP EXHIBIT #41
20/04/2022	43. DP EXHIBIT #42
20/04/2022	44. DP EXHIBIT #43
20/04/2022	45. DP EXHIBIT #44
20/04/2022	46. DP EXHIBIT #45
20/04/2022	47. DP EXHIBIT #46
20/04/2022	48. DP EXHIBIT #47
20/04/2022	49. DP EXHIBIT #48
20/04/2022	50. DP EXHIBIT #49
20/04/2022	51. DP EXHIBIT #50
20/04/2022	52. DP EXHIBIT #51
20/04/2022	53. DP EXHIBIT #52
20/04/2022	54. DP EXHIBIT #53
20/04/2022	55. DP EXHIBIT #54
20/04/2022	56. DP EXHIBIT #55
20/04/2022	57. DP EXHIBIT #56
20/04/2022	58. DP EXHIBIT #57
20/04/2022	59. DP EXHIBIT #58
20/04/2022	60. DP EXHIBIT #59
20/04/2022	61. DP EXHIBIT #60
20/04/2022	62. DP EXHIBIT #61
20/04/2022	63. DP EXHIBIT #62
20/04/2022	64. DP EXHIBIT #63
20/04/2022	65. DP EXHIBIT #64
20/04/2022	66. DP EXHIBIT #65
20/04/2022	67. DP EXHIBIT #66
20/04/2022	68. DP EXHIBIT #67
20/04/2022	69. DP EXHIBIT #68
20/04/2022	70. DP EXHIBIT #69
20/04/2022	71. DP EXHIBIT #70
20/04/2022	72. DP EXHIBIT #71
20/04/2022	73. DP EXHIBIT #72
20/04/2022	74. DP EXHIBIT #73
20/04/2022	75. DP EXHIBIT #74
20/04/2022	76. DP EXHIBIT #75
20/04/2022	77. DP EXHIBIT #76
20/04/2022	78. DP EXHIBIT #77
20/04/2022	79. DP EXHIBIT #78
20/04/2022	80. DP EXHIBIT #79
20/04/2022	81. DP EXHIBIT #80
20/04/2022	82. DP EXHIBIT #81
20/04/2022	83. DP EXHIBIT #82
20/04/2022	84. DP EXHIBIT #83
20/04/2022	85. DP EXHIBIT #84
20/04/2022	86. DP EXHIBIT #85
20/04/2022	87. DP EXHIBIT #86
20/04/2022	88. DP EXHIBIT #87
20/04/2022	89. DP EXHIBIT #88
20/04/2022	90. DP EXHIBIT #89
20/04/2022	91. DP EXHIBIT #90
20/04/2022	92. DP EXHIBIT #91
20/04/2022	93. DP EXHIBIT #92
20/04/2022	94. DP EXHIBIT #93
20/04/2022	95. DP EXHIBIT #94
20/04/2022	96. DP EXHIBIT #95
20/04/2022	97. DP EXHIBIT #96
20/04/2022	98. DP EXHIBIT #97
20/04/2022	99. DP EXHIBIT #98
20/04/2022	100. DP EXHIBIT #99
20/04/2022	101. DP EXHIBIT #100

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022



RYDER HESJEDAL WAY

WEST LANE

4.50m (14'7 1/2") SETBACK LINE

4.50m (14'7 1/2") SETBACK LINE

14'-0 1/4" (4.50)

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022

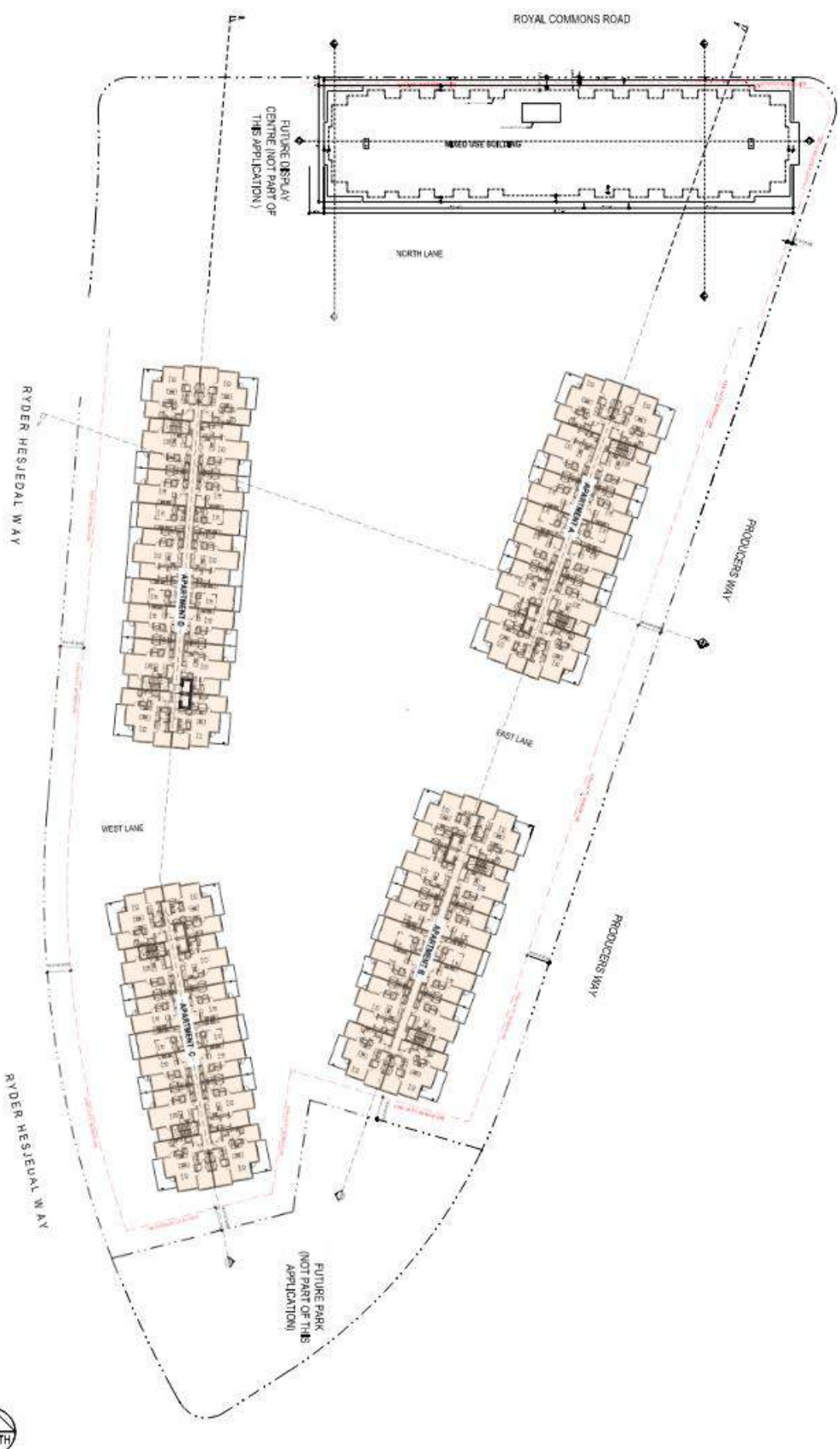
DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022

DATE: 20/04/2022  
PROJECT: DP RESUBMISSION #3  
DRAWING NO: 20/04/2022





RH Architects Inc.

230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1

T: 604.689.8992  
 F: 604.689.8991  
 www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. DESIGN DEVELOPMENT
20 JUN 2022	2. DP EXHIBITION #3
20 JUN 2022	3. DP EXHIBITION #3
20 JUN 2022	4. DP EXHIBITION #3

**PLANNED FOR**  
 DP RESUBMISSION #3  
 28 LANE 2022

**NOTES:**

1. THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT PROVIDE ENGINEERING, STRUCTURAL, OR MECHANICAL SERVICES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT PROVIDE ENGINEERING, STRUCTURAL, OR MECHANICAL SERVICES.

**CLIENT:**  
 28 LANE 2022

**DESIGNER:**  
 PCARRgroup  
 1000 Burrard Street, Suite 1000  
 Vancouver, BC V6C 1P8

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.

**CONTRACT NO.:**  
 LEVEL 9 PLAN

**DATE FILE:** 1/27/2022  
**SCALE:** 1/2" = 1'-0"  
**REVISION:** 29 JUNE 2023  
**DESIGNER:** P, S  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE PLOTTED:** 29 JUN 2023  
**SCALE:** A3.50



RH Architects Inc.

230 Powell Street, Unit 30  
Vancouver, BC Canada  
V6A 5G1

1-800-669-0992  
604-682-0992

www.rharchitects.ca

DATE	DESCRIPTION
20/04/2022	1. PRELIMINARY PERMIT
20/04/2022	2. DP EXCLUSION #14
20/04/2022	3. DP EXCLUSION #15
20/04/2022	4. DP EXCLUSION #16

**PROJECT**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES:**

1. THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE DESIGNER ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE CLIENT IS ADVISED THAT THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT IS ADVISED THAT THE DESIGNER IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT AS A RESULT OF ANY CHANGES TO THIS PLAN. THE CLIENT IS ADVISED THAT THE DESIGNER IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT AS A RESULT OF ANY CHANGES TO THIS PLAN.

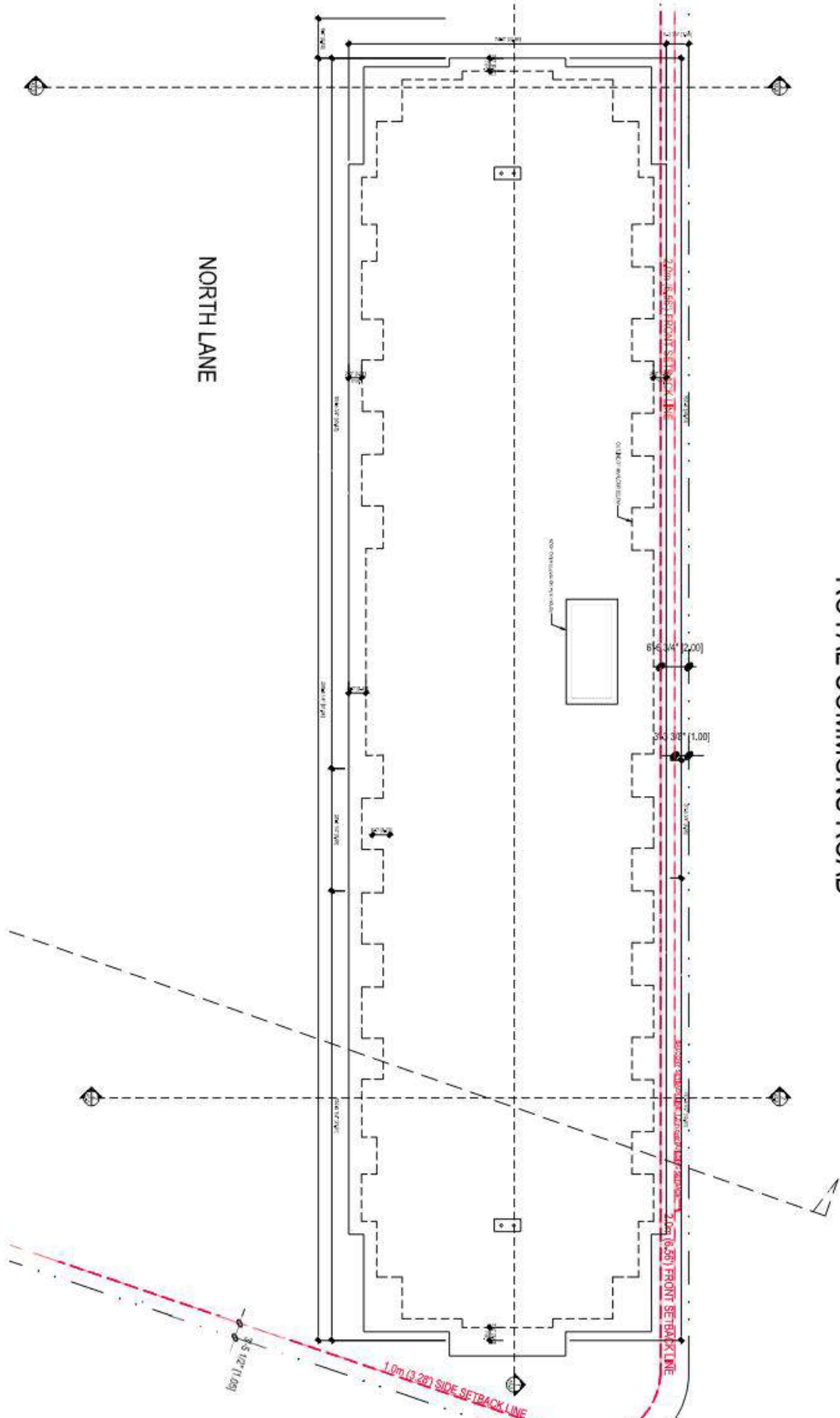
**CLIENT:**  
 PCARRgroup  
 Pacific Empire Real Estate Group

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.

**PROJECT:**  
 ROOF PLAN  
 MIXED USE BUILDING

**DATE:** 27/07/2023  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**CLIENT:** EBR

**DATE:** 27/07/2023  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**CLIENT:** EBR



NORTH LANE

ROYAL COMMONS ROAD

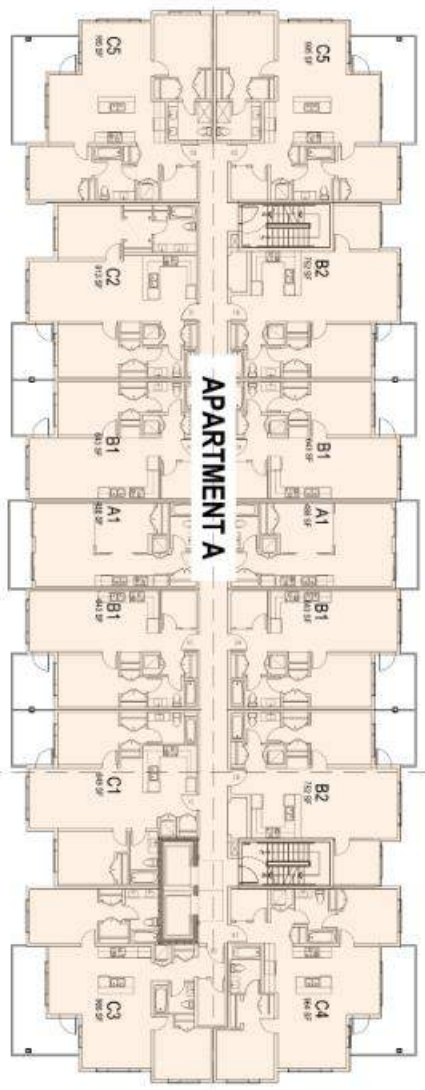


# PRODUCERS WAY



4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE



# EAST LANE



**RH Architects Inc.**  
 230 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.689.0991  
 Fax: 604.689.0991  
 www.rharchitects.ca

PROJECT	DATE
1. DEVELOPER/OWNER PERMIT	30 JUN 2022
2. DP RESUBMISSION #1	30 JUN 2022
3. DP RESUBMISSION #2	30 JUN 2022
4. DP RESUBMISSION #3	29 JUN 2023

**PROJECT TITLE**  
 DP RESUBMISSION #3  
 29 JUN 2023

**NOTES:**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 3. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 4. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 5. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

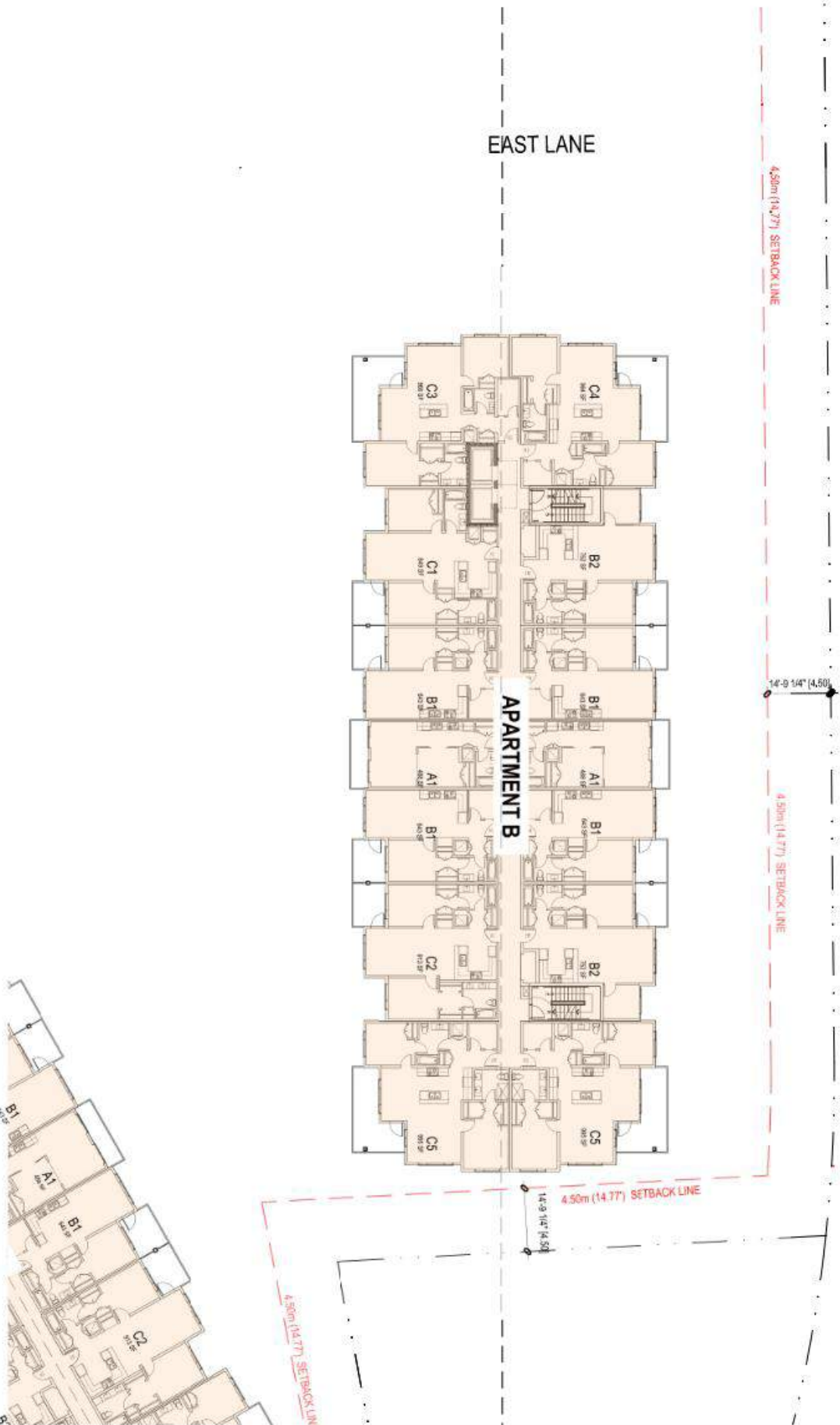
**CLIENT**  
 30 JUN 2023  
**PCARRgroup**  
 1000 West Broadway  
 Vancouver, BC Canada  
 V6E 2Y1

**PROJECT**  
 PARCEL B  
 COLWOOD, B.C.  
**ARCHITECT**  
 LEVEL 5 PLAN  
 APARTMENT A

**DATE FILED:** 30 JUN 2023  
**SCALE:** 1/8" = 1'-0"  
**REVISIONS:** 29 JUN 2023  
 1. 100%  
 2. 100%  
**OWNER:** EBR  
**PROJECT No.:** 2126/2138

**DATE:** 29 JUN 2023  
**BY:** [Signature]  
**SCALE:** A3.53

# PRODUCERS WAY



**RHA**  
RH Architects Inc.  
230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1  
1-800-668-0092  
1-604-683-0992  
www.rharchitects.ca

**PROJEC**      DATE

1. DESIGN CONCEPT      20 JUN 2023

2. PRELIMINARY DESIGN      20 JUN 2023

3. PERMITTING      20 JUN 2023

4. PRELIMINARY DESIGN      20 JUN 2023

**CLIENT**      30 MAR 2023

**PCREgroup**  
provides expertise and professional services

**PROJECT**

**PARCEL B**  
COLWOOD, B.C.

**CONTRACT**

**LEVEL 5 PLAN**  
**APARTMENT B**

**DATE FILED:** 31/07/2023 ~ 1:00P

**PERMIT NO:** 22-1067-2023

**OWNER:** EBR

**PROJECT NO:** 2126/2138

**DATE:** 20 JUN 2023

**SCALE:** 3/32" = 1'-0"

**PROJECT:** 22-1067-2023

**OWNER:** EBR

**PROJECT NO:** 2126/2138

**DATE:** 20 JUN 2023

**SCALE:** 3/32" = 1'-0"

**PROJECT:** 22-1067-2023

**OWNER:** EBR

**PROJEC**      DATE

1. DESIGN CONCEPT      20 JUN 2023

2. PRELIMINARY DESIGN      20 JUN 2023

3. PERMITTING      20 JUN 2023

4. PRELIMINARY DESIGN      20 JUN 2023





RH Architects Inc.

200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.688.0001  
F: 604.688.0051  
www.rharchitects.ca

DATE	DESCRIPTION
20/04/2023	1. DESIGN CONCEPT PREPARE
20/04/2023	2. DP EXHIBITION #1 & 2
20/04/2023	3. DP EXHIBITION #3 & 4
20/04/2023	4. DP EXHIBITION #5 & 6

**PROJECT NAME**  
DP RESUBMISSION #3  
20/04/2023

**DATE**  
20/04/2023

**NOTES:**  
This drawing is the property of RH Architects Inc. and is to be used only for the project and site specified herein. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RH Architects Inc. The information contained herein is confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this document by mistake or have any concerns, please notify the project manager immediately.

**PROJECT:**  
PARCEL B  
COWWOOD, B.C.

**CLIENT:**  
PCARRgroup  
Project requires prior written approval

**DATE:**  
20/04/2023

**PROJECT NO.:**  
2126/2138

**DATE FILED:**  
31/05/2023

**SCALE:**  
3/32" = 1'-0"

**DESIGNER:**  
P. J. LEE (2023)

**CHECKER:**  
E.B.R.

**PROJECT NO.:**  
2126/2138

**DATE FILED:**  
31/05/2023

**SCALE:**  
3/32" = 1'-0"

**DESIGNER:**  
P. J. LEE (2023)

**CHECKER:**  
E.B.R.

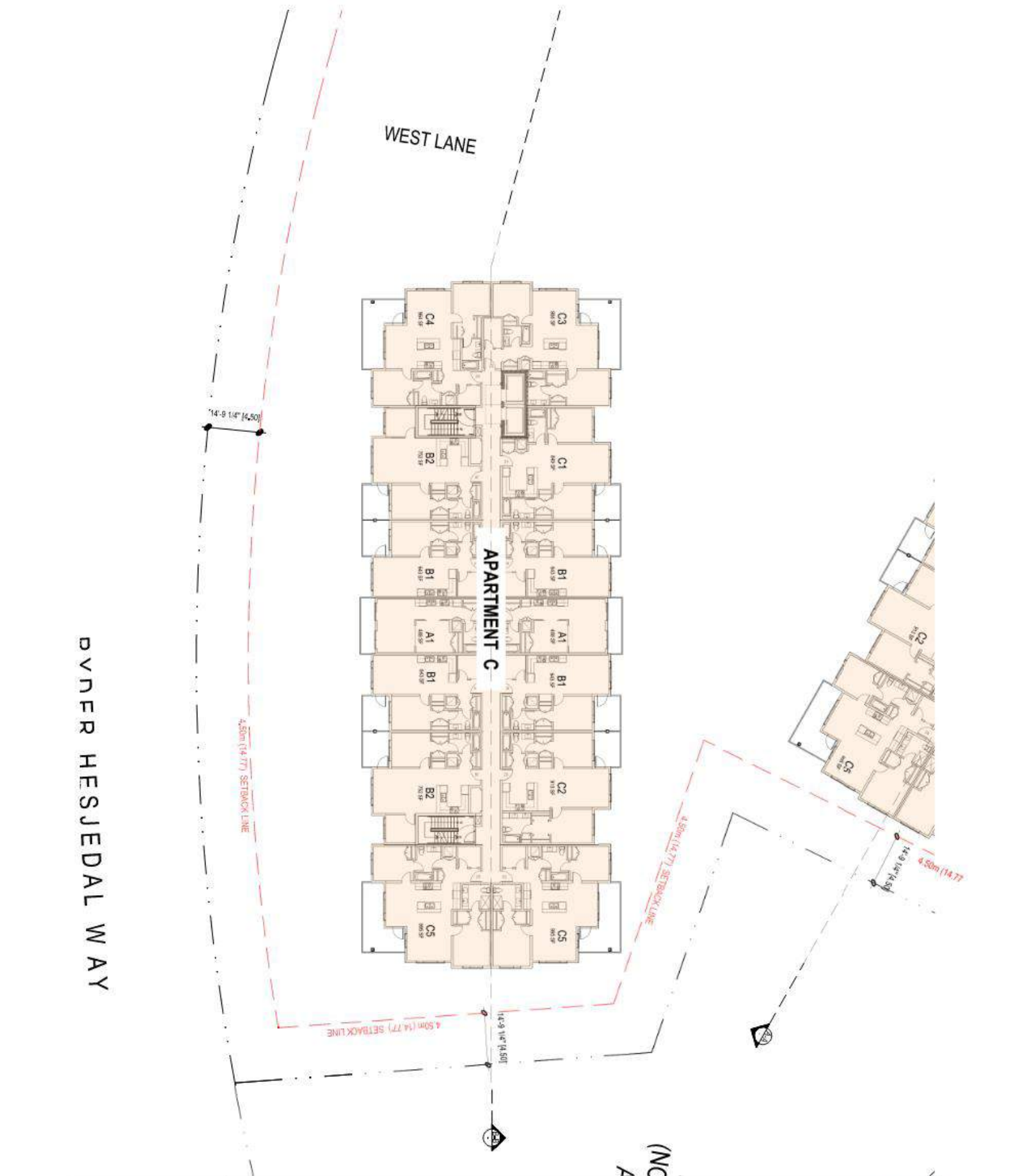
**PROJECT NO.:**  
2126/2138

**DATE FILED:**  
31/05/2023

**SCALE:**  
3/32" = 1'-0"

**DESIGNER:**  
P. J. LEE (2023)

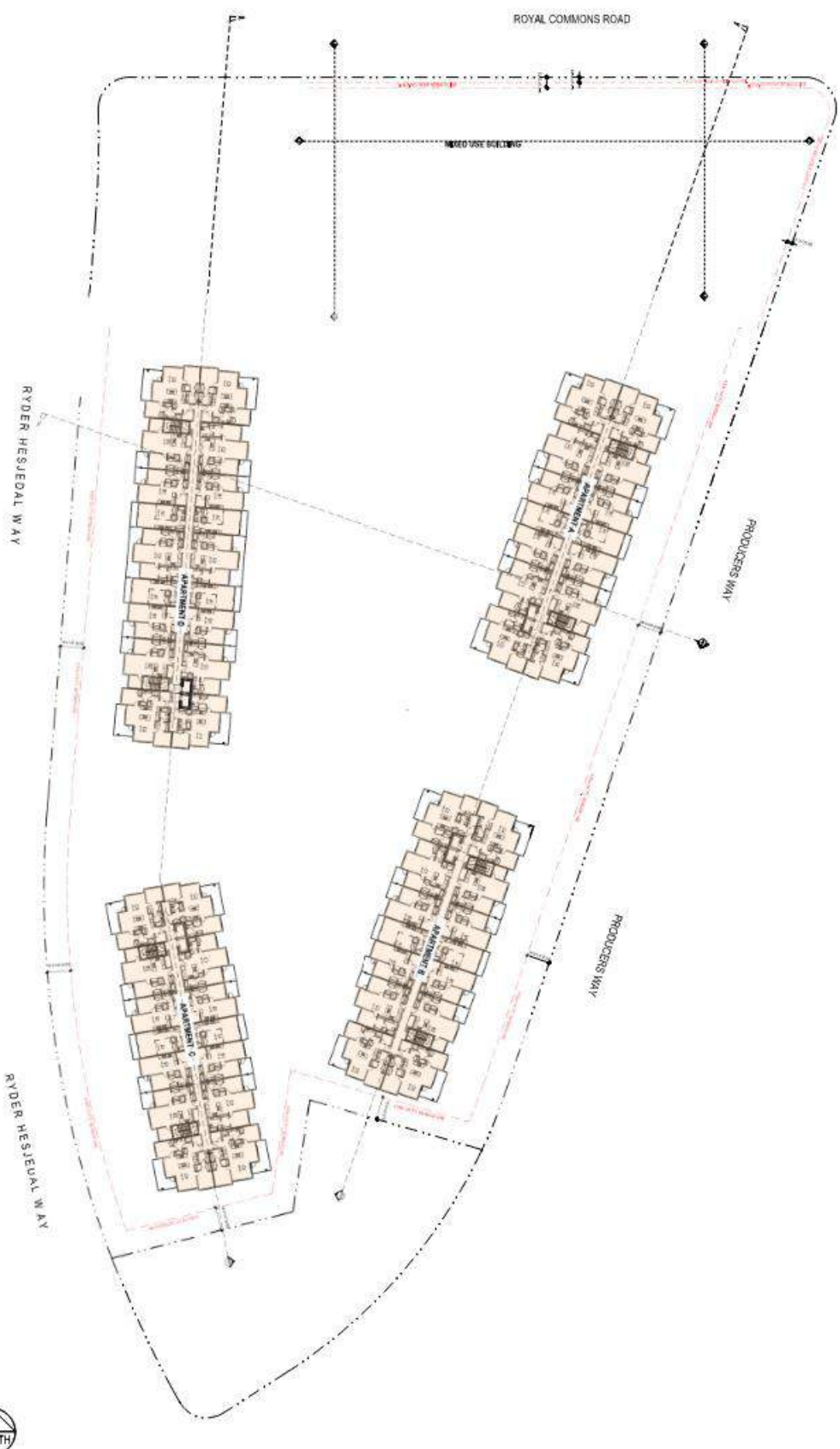
**CHECKER:**  
E.B.R.



DYNER HESJEDAL WAY







RH Architects Inc.

230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 3G1

+1 604 686 6921  
 info@rharchitects.com  
 www.rharchitects.com

DATE	DESCRIPTION
20 JUN 2022	1. DESIGN CONCEPT PREPARE
20 JUN 2022	2. DP SCHEMATIC DESIGN
20 JUN 2022	3. DP SCHEMATIC DESIGN
20 JUN 2022	4. DP SCHEMATIC DESIGN

**PRELIMINARY**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

5. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

CLIENT: 28 JUNE 2023  
**PCARRgroup**  
 providing expertise since 1982

PROJECT: PARCEL B  
 COLWOOD, B.C.  
 DRAWING NO: LEVEL 6/PLAN

DATE FILE: 17/27 - 14/17  
 MODEL: 22 JUNE 2023  
 NORTH: 22 JUNE 2023  
 ORIGIN: EIR  
 PROJECT NO: 2126/2138

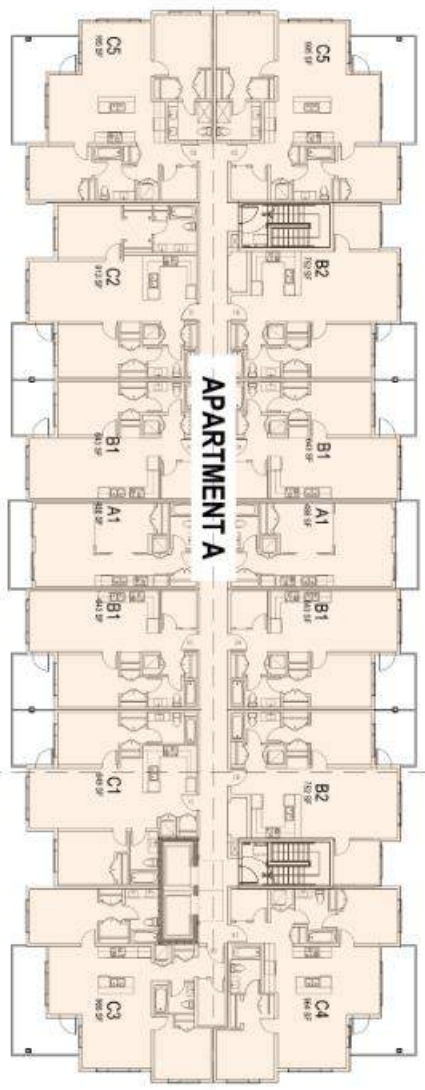
DATE: 2023  
 TIME: 10:00 AM  
 SCALE: A3.60

# PRODUCERS WAY



4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE



**RH Architects Inc.**  
 2300 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 Tel: 604.689.0991  
 Fax: 604.689.0991  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 JUN 2022	CONCEPT DESIGN PERMIT
2.	20 JUN 2022	DP RESUBMISSION #3
3.	20 JUN 2022	DP RESUBMISSION #4
4.	29 JUN 2022	DP RESUBMISSION #5

**PROJECT TITLE**  
 DP RESUBMISSION #3  
 28 JUNE 2022

**NOTES:**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 2. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 3. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 4. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.  
 5. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT:**  
 30 MAR 2022  
**PCARRgroup**  
 Pacific Empire West Building  
 1000 Burrard Street  
 Vancouver, BC V6Z 1G6

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.  
**ARCHITECT:**  
 LEVEL 6 PLAN  
 APARTMENT A

**DATE FILE:** 31/07/2022  
**SCALE:** 1/8" = 1'-0"  
**REVISION:** 29 JUNE 2022  
**DESIGNER:** P.S.  
**CHECKER:** E.B.  
**PROJECT NO.:** 2126/2138

**DATE:** 29 JUN 2022  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2126/2138  
**FILE NO.:** A3.63







RH Architects Inc.

200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

1-800-668-0001  
604-681-0951  
604-681-0952

www.rharchitects.ca

DATE	REVISION
20/04/2023	1. DESIGN DEVELOPMENT
20/04/2023	2. DP EXHIBITION #3
20/04/2023	3. DP EXHIBITION #4
20/04/2023	4. DP EXHIBITION #5
20/04/2023	5. DP EXHIBITION #6

**PROJECT NAME**  
DP RESUBMISSION #3  
20/04/2023

**DATE**  
20/04/2023

**NOTES:**  
1. This drawing is a site plan and should be read in conjunction with the floor plan and other drawings.  
2. All dimensions are in meters unless otherwise specified.  
3. The site plan shows the location of the building and the surrounding area.  
4. The site plan shows the location of the building and the surrounding area.  
5. The site plan shows the location of the building and the surrounding area.

**CLIENT**  
PCARRgroup  
Project: Pacific Square West Parking Garage

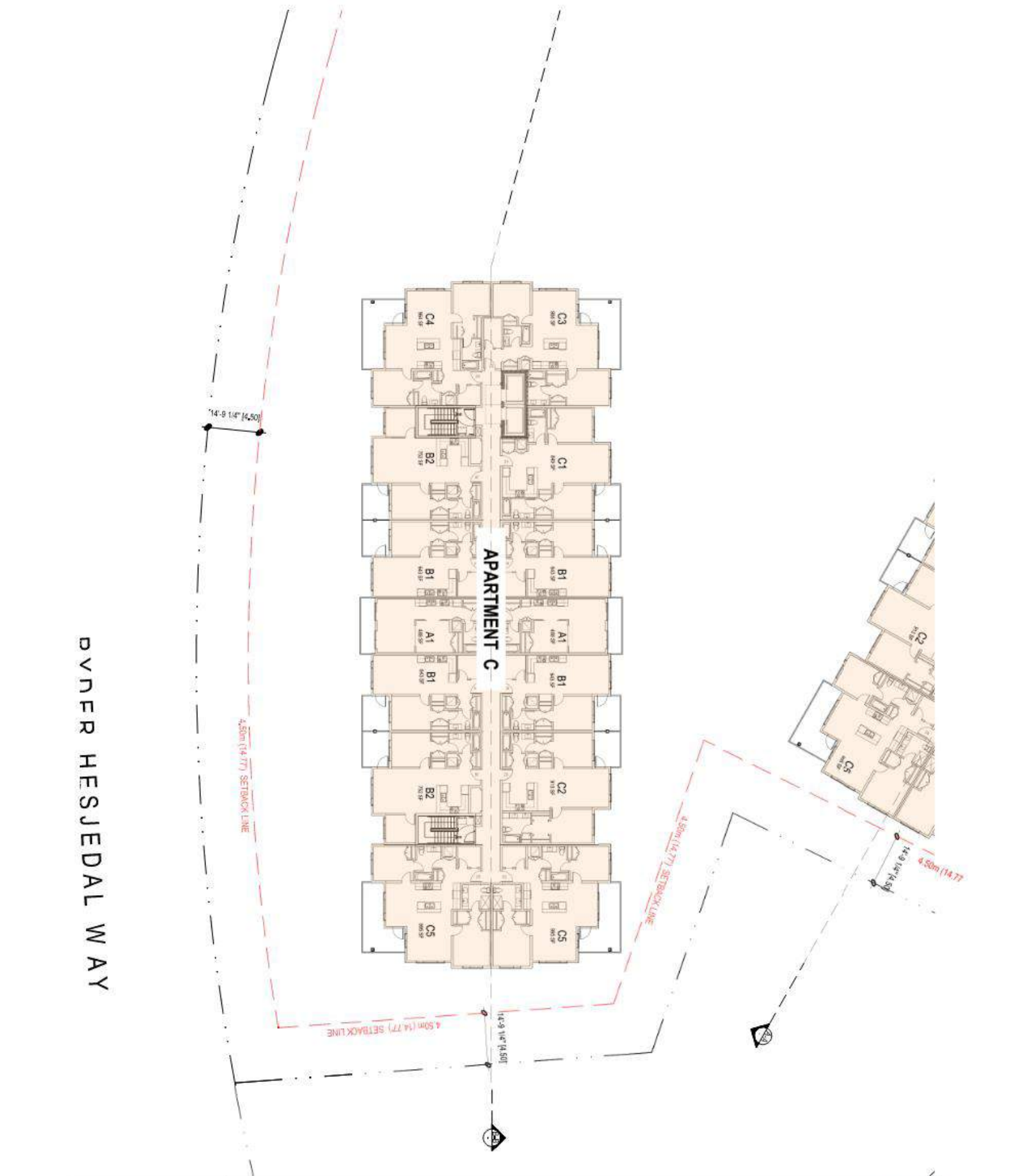
**PROJECT**  
PARCEL B  
COWICHOOD, B.C.

**CONTRACT NO.**  
LEVEL 0 PLAN  
APARTMENT C

**DATE FILE:** 3/2/23 ~ 14/4/23  
**SCALE:** AS SHOWN  
**DESIGNED BY:** P. J. LEE (2023)  
**CHECKED BY:** E.B.R.  
**PROJECT NO.:** 2126/2138

**DATE FILE:** 3/2/23 ~ 14/4/23  
**SCALE:** AS SHOWN  
**DESIGNED BY:** P. J. LEE (2023)  
**CHECKED BY:** E.B.R.  
**PROJECT NO.:** 2126/2138

**DATE FILE:** 3/2/23 ~ 14/4/23  
**SCALE:** AS SHOWN  
**DESIGNED BY:** P. J. LEE (2023)  
**CHECKED BY:** E.B.R.  
**PROJECT NO.:** 2126/2138



DYNPER HESJEDAL WAY





RH Architects Inc.

230 Powell Street, Unit 50  
Vancouver, BC Canada  
V6A 5G1

+1 604 688 8991  
+1 604 688 8992  
+1 604 688 8993  
www.rharchitects.ca

DATE	REVISION
20 JUN 2023	1. DESIGN DEVELOPMENT PERMIT
20 JUN 2023	2. DP EXCLUSION #14 15
20 JUN 2023	3. DP EXCLUSION #14 15
20 JUN 2023	4. DP EXCLUSION #14 15

**PERMIT FOR**  
**DP RESUBMISSION #3**  
28 JUNE 2023

**NOTES:**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

2. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

3. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

4. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

31 MAY 2023

**pcaregroup**  
PROJECT ENGINEER

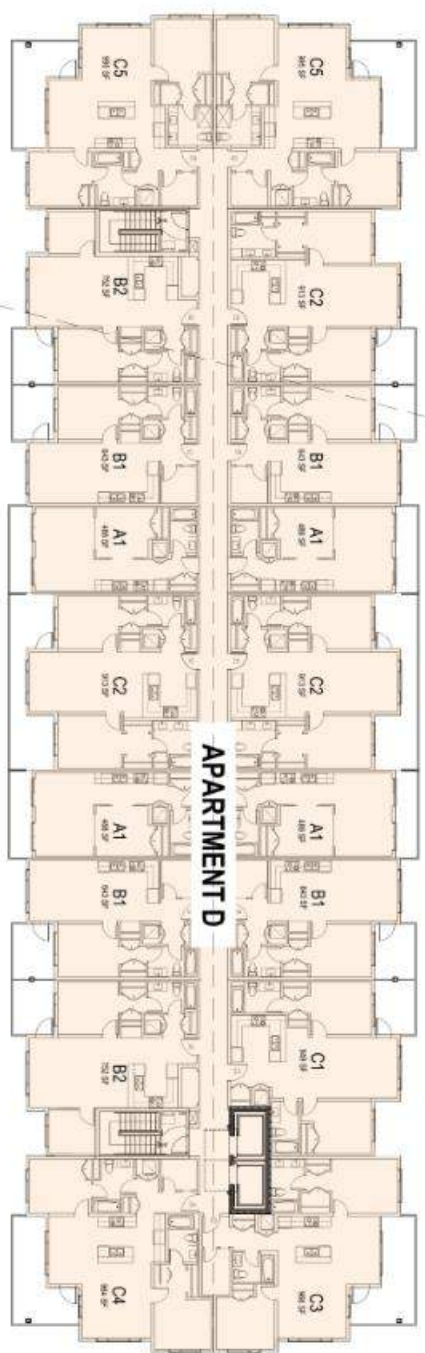
**PARCEL B**  
COWWOOD, B.C.

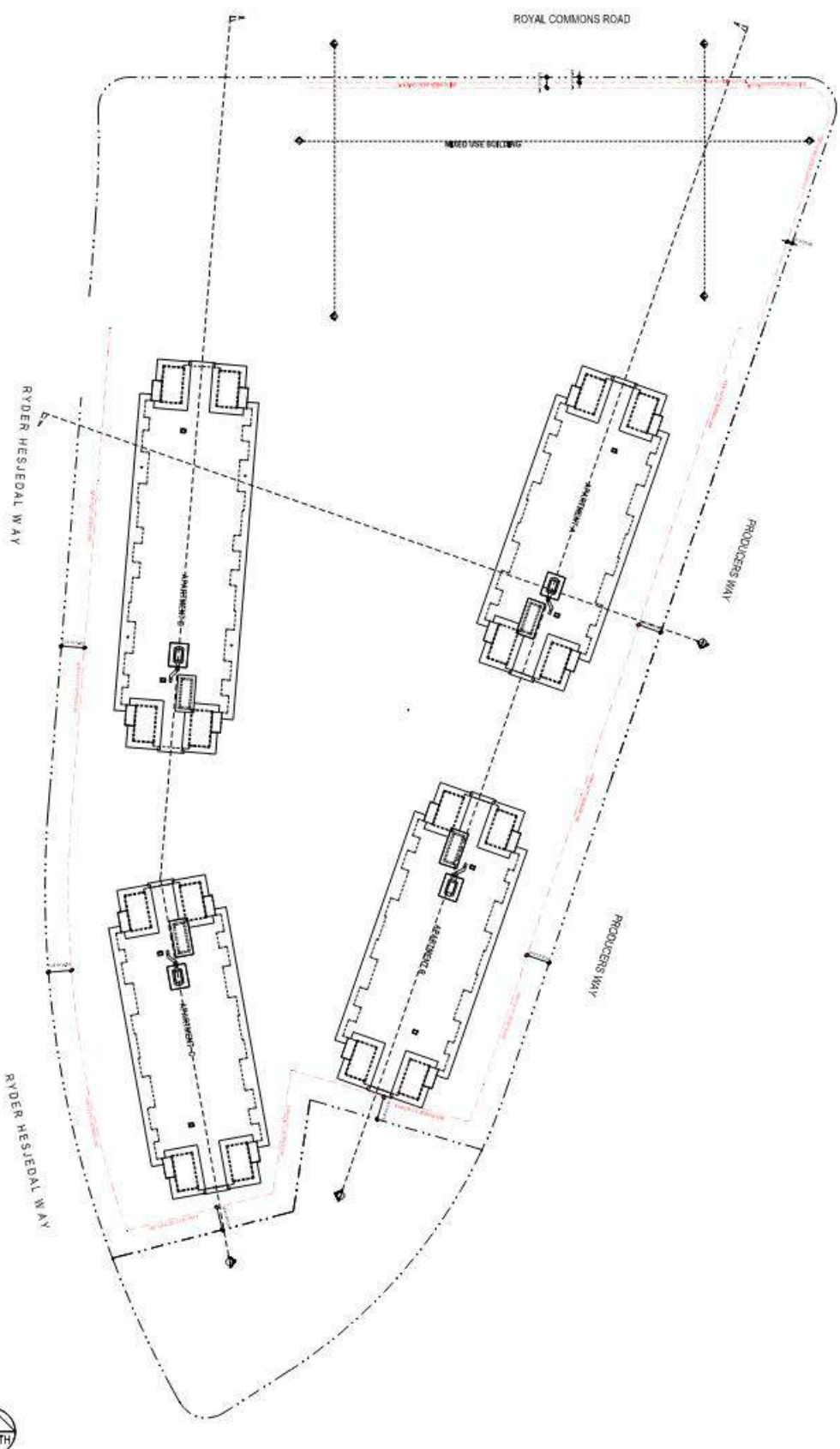
**LEVEL 6 PLAN**  
**APARTMENT D**

DATE FILE: 3/27/23 ~ 148"  
SCALE: 1/8" = 1'-0"  
REVISION: 22 JUNE 2023  
DRAWN BY: EB  
CHECKED BY: EB  
PROJECT NO: 2126/2138

DATE FILE: 3/27/23 ~ 148"  
SCALE: 1/8" = 1'-0"  
REVISION: 22 JUNE 2023  
DRAWN BY: EB  
CHECKED BY: EB  
PROJECT NO: 2126/2138

RYDER HESJEDAL WAY





RH Architects Inc.

230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 3G1

+1 604 689 8991  
 +1 604 689 8992  
 www.rharchitects.ca

DESIGN	DATE
1. CONCEPT DESIGN PERMIT	20 JUN 2022
2. PRELIMINARY DESIGN PERMIT	20 JUN 2022
3. DP EXISTING DESIGN PERMIT	20 JUN 2022
4. DP EXISTING DESIGN PERMIT	20 JUN 2022

**PLANNED FOR**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES:**

1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

**CLIENT:**  
 30 MAR 2023  
 PCARRgroup  
 Pacific Empire Real Estate Group

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.

**DRAWING TITLE:**  
 ROOF PLAN

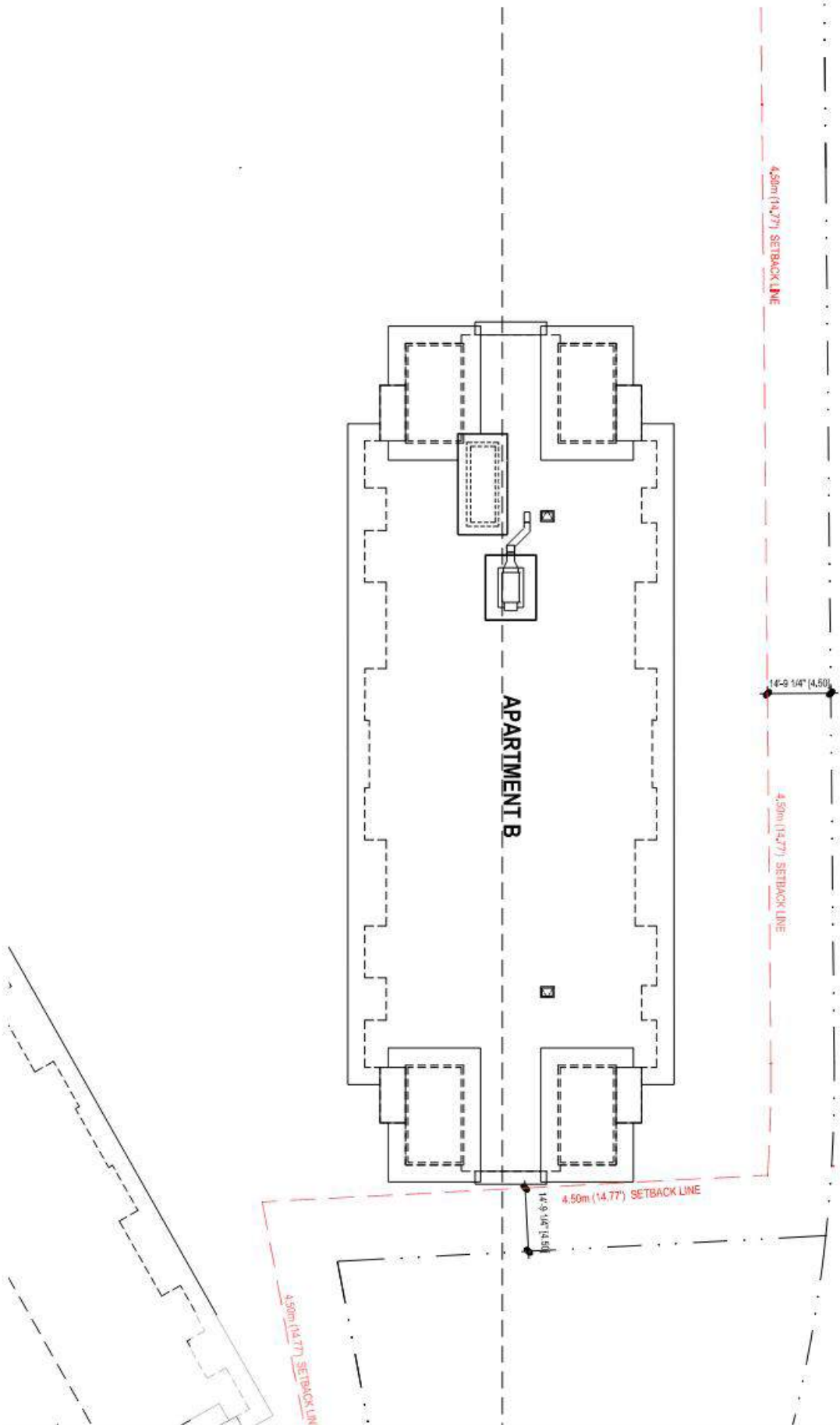
**DATE FILE:** 17/27 - 14/17  
**SCALE:** AS SHOWN  
**REVISION:** 22 JUNE 2023  
**DESIGNER:** PLS  
**CHECKER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE PLOTTED:** 20 JUN 2023  
**SCALE:** A3.70





# PRODUCERS WAY



RH Architects Inc.  
 200 Powell Street, Unit 50  
 Vancouver, BC Canada  
 V6A 5G1  
 1-800-669-0992  
 604-683-0992  
 www.rharchitects.ca

NO.	DATE	REVISION
1.	20 MAR 2023	ISSUED FOR PERMIT
2.	20 MAR 2023	FOR EXAMINATION BY THE CITY
3.	20 MAR 2023	FOR EXAMINATION BY THE CITY
4.	20 MAR 2023	FOR EXAMINATION BY THE CITY

**PERMITTED FOR**  
 DP RESUBMISSION #3  
 28 MAR 2023

**NOTES:**  
 1. ALL DIMENSIONS ARE IN METERS AND MILLIMETERS.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**CLIENT:**  
 30 MAR 2023  
**PCARRgroup**  
 Pacific Empire Real Estate Group

**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.  
**LEVEL OF PLAN:**  
 APARTMENT B

**DATE FILE:** 31/03/2023  
**SCALE:** 1/8" = 1'-0"  
**PERMIT NO.:** 22-006-2023  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

**DATE:** 20 MAR 2023  
**BY:** [Signature]  
**SCALE:** A3.74







RH Architects Inc.

200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

T: 604.689.8991  
F: 604.689.8992

www.rharchitects.ca

DATE	DESCRIPTION
20/09/2022	1. DESIGN CONCEPT PREPARE
20/09/2022	2. DP EXHIBIT PREPARE
20/09/2022	3. DP EXHIBIT PREPARE
29/09/2022	4. DP EXHIBIT PREPARE

**PROJECT NAME**  
DP RESUBMISSION #3  
28/09/2022

**NOTES:**

DATE:

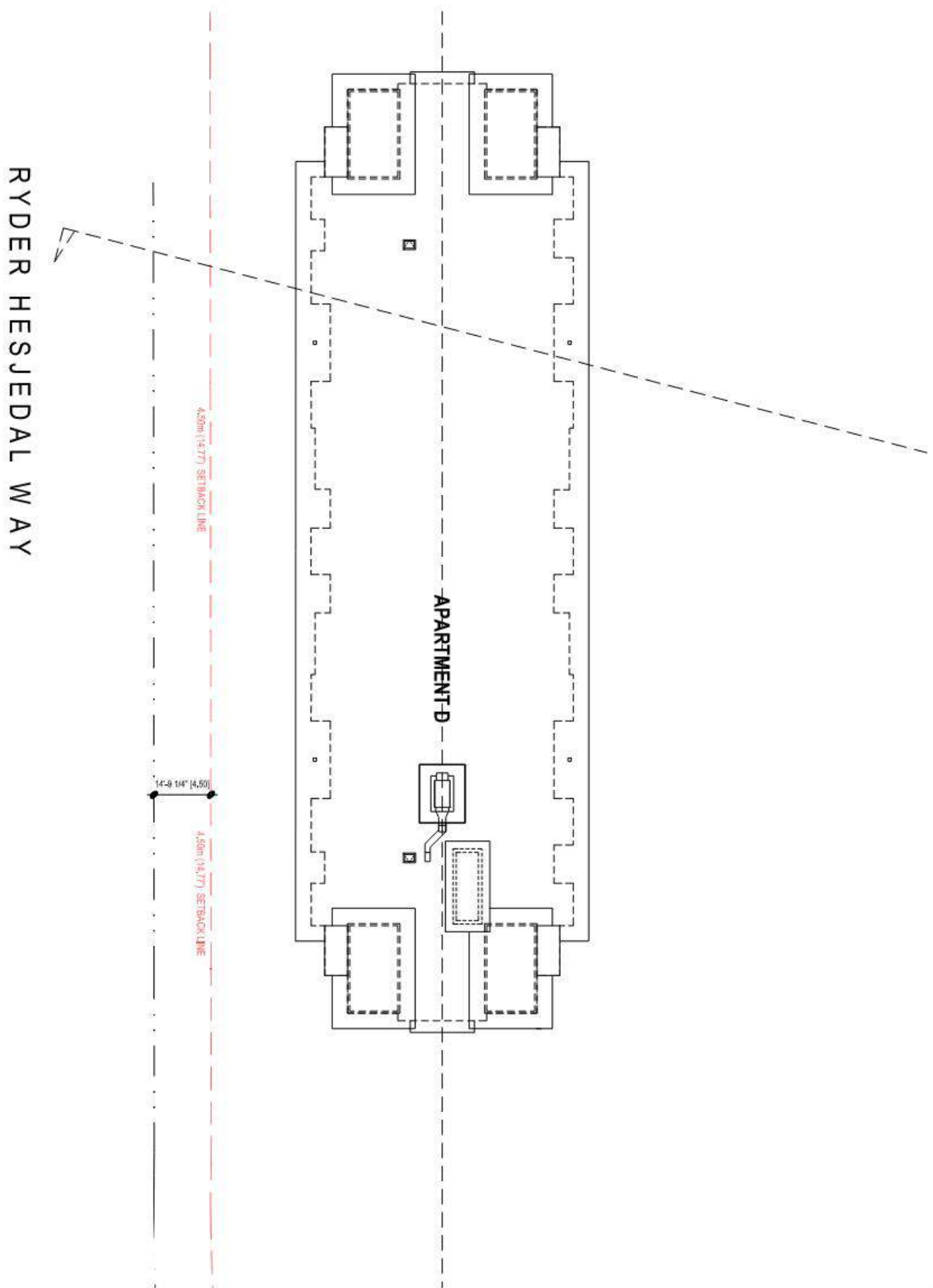
1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.



RYDER HESSEDAL WAY

4.50m (14.77') SETBACK LINE

4.50m (14.77') SETBACK LINE

14'-0" 114" (4.50)

DATE: 21/09/2022

CLIENT: **PCARFgroup**  
Project to replace their existing ground

PROJECT: **PARCEL B**  
COWWOOD, B.C.

CONTRACT NO.: **2126/2138**

PROJECT NO.: **2126/2138**

DATE FILE: 30/09/2022

SCALE: 3/32" = 1'-0"

DESIGNER: P. J. L. (2023)

DRAWN: P. J. S.

CHECKED: E.B.S.

DATE: 21/09/2022

PROJECT NO.: 2126/2138

DATE: 21/09/2022

SCALE: 3/32" = 1'-0"

DESIGNER: P. J. L. (2023)

DRAWN: P. J. S.

CHECKED: E.B.S.

DATE: 21/09/2022

PROJECT NO.: 2126/2138









**RH Architects Inc.**  
 200 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1  
 +1 (604) 683-9922  
 info@rharchitects.com  
 www.rharchitects.com

DATE	REVISION
20 MAY 2023	1. INITIAL DESIGN PERMIT
20 MAY 2023	2. DP SCHEDULE #1 & 2
20 MAY 2023	3. DP SCHEDULE #3 & 4
20 MAY 2023	4. DP SCHEDULE #5 & 6

**PROJECT NAME**  
 DP RESUBMISSION #3  
 20 MAY 2023

**NOTES**

1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT**  
 31 MAY 2023

**PEREGRINE GROUP**  
 1400-1000 West 10th Street  
 Vancouver, BC

**PROJECT**  
 PARCEL B  
 CONWOOD INC.

**PROJECT NO.**  
 2126/2138

**DATE FILED**  
 17/07/2023

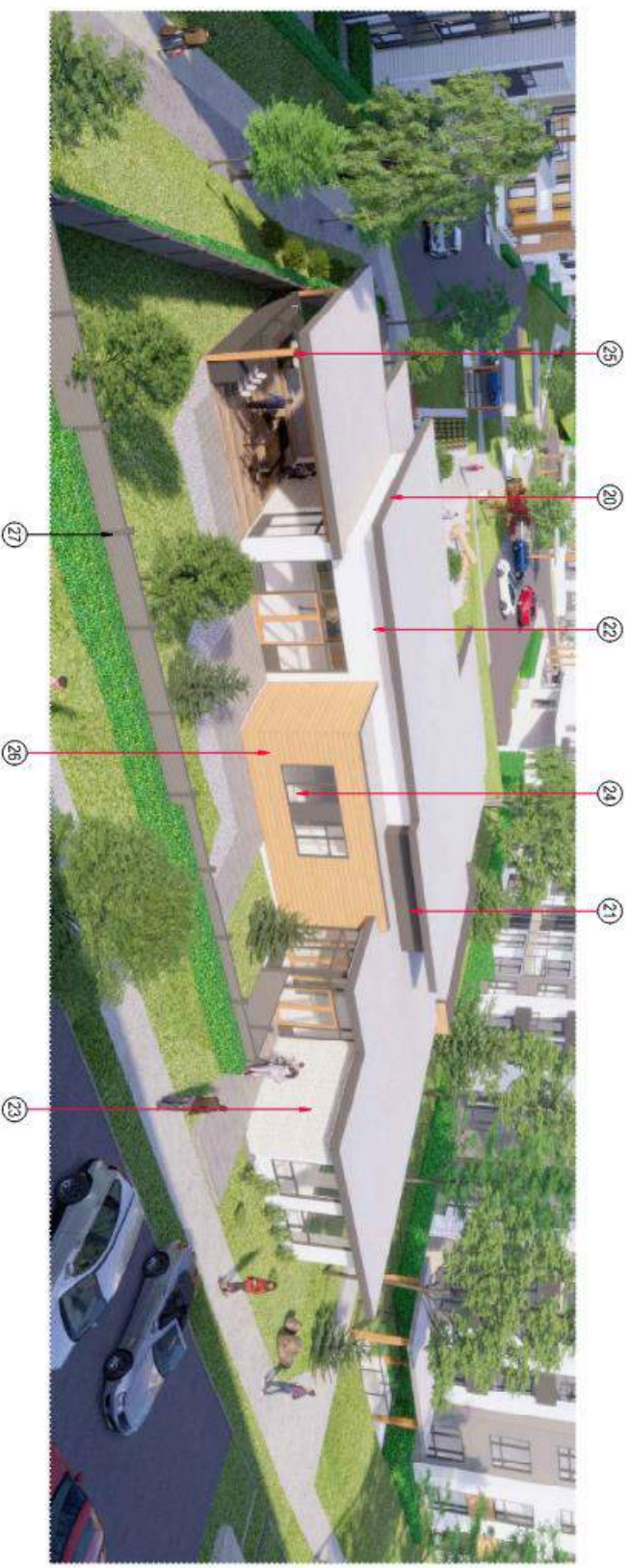
**DATE**  
 22 JUNE 2023

**DESIGNER**  
 EBR

**PROJECT NO.**  
 2126/2138

**DATE**  
 22 JUNE 2023

**PROJECT NO.**  
 2126/2138



MATERIAL LEGEND	COLOR
20 GRANITE/CONCRETE	CONCRETE GREY
21 CERAMIC TILE	GREY
22 CERAMIC TILE	GREY
23 BRICK CLAY	BRICK
24 WOOD PANELS	SLAT
25 PORTLAND CEMENT	WOOD GRAY
26 ALUMINUM CLADDING	WOOD GRAY
27 CONCRETE PANELS	CONCRETE



**DATE**  
 22 JUNE 2023

**PROJECT NO.**  
 2126/2138

**DATE**  
 22 JUNE 2023

**PROJECT NO.**  
 2126/2138

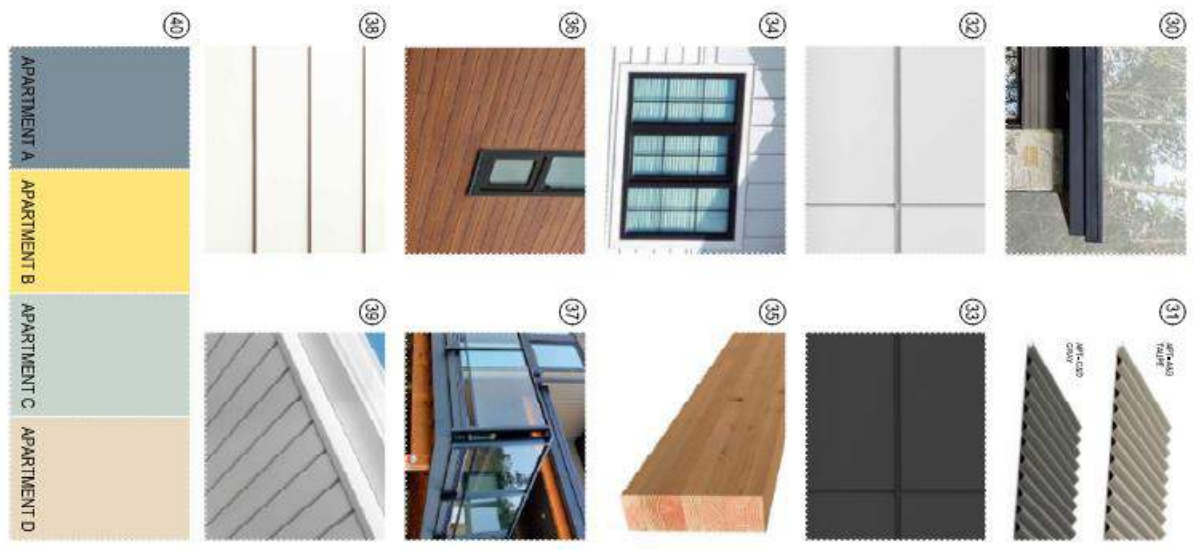
**DATE**  
 22 JUNE 2023

**PROJECT NO.**  
 2126/2138





MATERIAL LEGEND	
30	CONCRETE PANELS - EXTERIOR
31	CONCRETE PANELS - INTERIOR
32	CONCRETE PANELS - INTERIOR
33	CONCRETE PANELS - INTERIOR
34	CONCRETE PANELS - INTERIOR
35	CONCRETE PANELS - INTERIOR
36	CONCRETE PANELS - INTERIOR
37	CONCRETE PANELS - INTERIOR
38	CONCRETE PANELS - INTERIOR
39	CONCRETE PANELS - INTERIOR
40	CONCRETE PANELS - INTERIOR
30	CONCRETE PANELS - EXTERIOR
31	CONCRETE PANELS - INTERIOR
32	CONCRETE PANELS - INTERIOR
33	CONCRETE PANELS - INTERIOR
34	CONCRETE PANELS - INTERIOR
35	CONCRETE PANELS - INTERIOR
36	CONCRETE PANELS - INTERIOR
37	CONCRETE PANELS - INTERIOR
38	CONCRETE PANELS - INTERIOR
39	CONCRETE PANELS - INTERIOR
40	CONCRETE PANELS - INTERIOR



**RH Architects Inc.**  
 200 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1  
 +1 604 684 9992  
 info@rharchitects.com  
 www.rharchitects.com

**PROJECT**  
 SOUTH BUILDINGS  
 2126/2138  
 29 JUNE 2023

**PROJECT**  
 SOUTH BUILDINGS  
 2126/2138  
 29 JUNE 2023

**CLIENT**  
 POREGROUP  
 31 MAIN STREET  
 VANCOUVER, BC  
 V6A 1K1

**PROJECT**  
 SOUTH BUILDINGS  
 2126/2138  
 29 JUNE 2023

**PROJECT**  
 SOUTH BUILDINGS  
 2126/2138  
 29 JUNE 2023



RH Architects Inc.

230 Powell Street, Suite 310  
 Vancouver, BC Canada  
 V6A 5G1

1-844-668-6902  
 604-682-0952  
 www.rharchitects.ca

DATE	REVISION
20 JUN 2022	1. DESIGN DEVELOPMENT
20 JUN 2022	2. DP EXHIBITION #3
20 JUN 2022	3. DP EXHIBITION #3
29 JUN 2022	4. DP EXHIBITION #3

**PROJECT**  
 DP RESUBMISSION #3  
 281 MAIN STREET

**DATE**  
 28 JUN 2022

**NOTES**  
 1. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC.

**CLIENT**  
 Peregri Group  
 1401-1000 West 10th Street  
 Vancouver, BC  
 V6H 1Y1

**PROJECT**  
 PARCEL B  
 CORNWALL BLDG

**ADDRESS**  
 281 MAIN STREET  
 VANCOUVER, BC  
 V6A 5G1

**PROJECT NO.**  
 2126/2138

**DATE FILED**  
 17/07/2022

**SCALE**  
 AS SHOWN

**DATE PRINTED**  
 29 JUNE 2023

**DESIGNED BY**  
 EBH

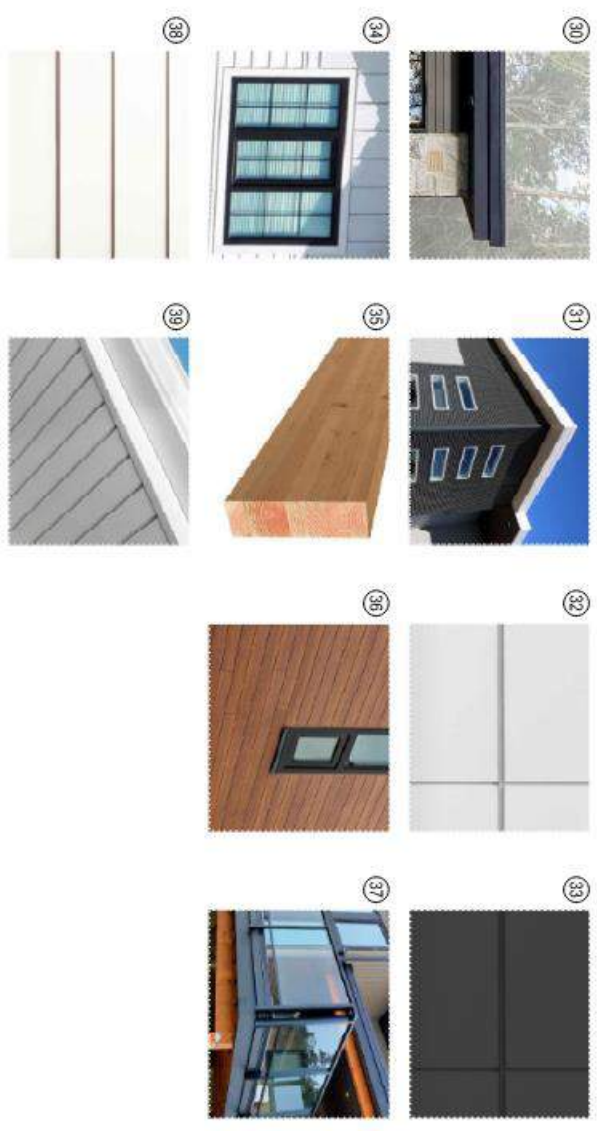
**PROJECT NO.**  
 2126/2138

**DATE**  
 29 JUN 2023

**SCALE**  
 A4.03



MATERIAL LEGEND	COLOR
30. CONCRETE/CLADDING	CONCRETE GREY
31. CONCRETE/CLADDING	GREY
32. CONCRETE/CLADDING	GREY
33. CONCRETE/CLADDING	GREY
34. CONCRETE/CLADDING	GREY
35. CONCRETE/CLADDING	GREY
36. CONCRETE/CLADDING	GREY
37. CONCRETE/CLADDING	GREY
38. CONCRETE/CLADDING	GREY
39. CONCRETE/CLADDING	GREY







RH Architects Inc.

130 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 1G1

1-844-888-0002  
1-604-682-0092  
info@rharchitects.ca  
www.rharchitects.ca

NO.	DESCRIPTION	DATE
1.	PRELIMINARY PERMIT	20 JUN 2022
2.	PRELIMINARY PERMIT	20 JUN 2022
3.	PRELIMINARY PERMIT	20 JUN 2022
4.	PRELIMINARY PERMIT	20 JUN 2022

**PLANNED FOR**  
**DP RESUBMISSION #3**  
 28 JUNE 2023

**NO. 1416-0000**      **DATE**

THIS DOCUMENT IS THE PROPERTY OF RH ARCHITECTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE.

**IMPERFECT/DRAWING STATE:**



EAST ELEVATION - view from Producers Way



WEST ELEVATION - view from Ryder

**CLIENT**  
 30 JUNE 2023

**PROJECT**  
**PARCEL B**  
 COLWOOD, B.C.

**DATE FILE:** 1/28/23 ~ 148"  
**SCALE:** 1/8" = 1'-0"  
**PERMIT DATE:** 20 JUNE 2023  
**PROJECT NO.:** 2126/2138

**DATE FILE:** 1/28/23 ~ 148"  
**SCALE:** 1/8" = 1'-0"  
**PERMIT DATE:** 20 JUNE 2023  
**PROJECT NO.:** 2126/2138

**DATE FILE:** 1/28/23 ~ 148"  
**SCALE:** 1/8" = 1'-0"  
**PERMIT DATE:** 20 JUNE 2023  
**PROJECT NO.:** 2126/2138



RH Architects Inc.

1301 Powell Street, Suite 310  
Vancouver, BC Canada  
V6A 1G1

1-800-858-0922  
1-604-682-0922  
1-604-682-0922

www.rharchitects.ca



EAST ELEVATION w/AMENITY - view from courtyard



NORTH ELEVATION - view from Commons

NO.	REVISION	DATE
1.	PRELIMINARY PERMIT	20 MAR 2023
2.	PRELIMINARY PERMIT	20 MAR 2023
3.	PRELIMINARY PERMIT	20 MAR 2023
4.	PRELIMINARY PERMIT	20 MAR 2023

PROJECT NO.  
DP RESUBMISSION #3  
28 JUNE 2023

DATE: 28 JUN 2023  
SCALE: 1/8" = 1'-0"  
PROJECT: 28 JUNE 2023  
OWNER: EBR  
PROJECT NO.: 2126/2138

CLIENT: 28 JUNE 2023  
PEARCEgroup  
Project Support and Consulting Group

PROJECT: PARCEL B  
COWMOOD, B.C.

CONTRACT NO.: BUILDING ELEVATIONS

DATE PLOT: 31/07/2023  
SCALE: 1/8" = 1'-0"  
PROJECT: 28 JUNE 2023  
OWNER: EBR  
PROJECT NO.: 2126/2138

DATE PLOT: 31/07/2023  
SCALE: 1/8" = 1'-0"  
PROJECT: 28 JUNE 2023  
OWNER: EBR  
PROJECT NO.: 2126/2138

DATE PLOT: 31/07/2023  
SCALE: 1/8" = 1'-0"  
PROJECT: 28 JUNE 2023  
OWNER: EBR  
PROJECT NO.: 2126/2138





RH Architects Inc.

1301 Powell Street, Suite 510  
Vancouver, BC Canada  
V6A 1G1

1-844-888-0092  
1-604-683-0992

www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	20/01/2022	PRELIMINARY PERMIT
2.	20/03/2022	PERMIT
3.	20/03/2022	PERMIT
4.	20/03/2022	PERMIT

**PARCEL NO.**  
DP RESUBMISSION #3  
28 JUNE 2023

**NOTES:**

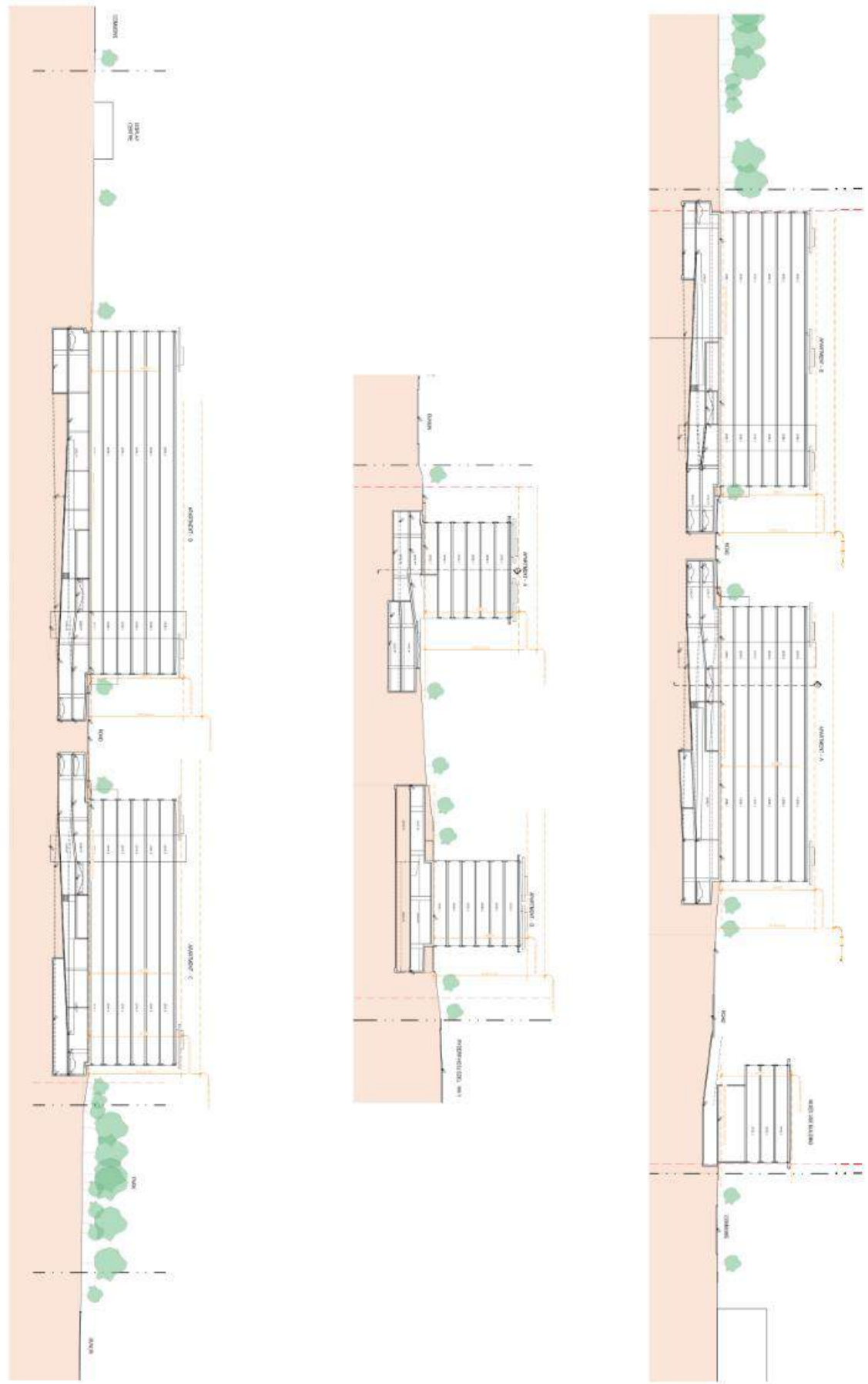
1. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.

2. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.

3. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.

4. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.

5. THIS DRAWING IS THE PROPERTY OF RH ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF RH ARCHITECTS INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.



**CLIENT:**  
PCARRgroup  
Parcels require their existing permit

**PROJECT:**  
PARCEL B  
COWWOOD, B.C.

**DATE FILED:**  
21/06/2023

**SCALE:**  
1/32" = 1'-0"

**PERMIT NO.:**  
2126/2138

**DATE:**  
28 JUNE 2023

**DESIGNED BY:**  
EBR

**DRAWN BY:**  
A5.10



RH Architects Inc.

200 Powell Street, Suite 50  
Vancouver, BC Canada  
V6A 5G1

1-800-669-0992  
1-604-682-0992  
info@rharchitects.com  
www.rharchitects.com

DATE	DESCRIPTION
20 MAR 2023	1. DESIGN CONCEPT PERMIT
20 MAR 2023	2. PRELIMINARY PERMIT
20 MAR 2023	3. PRELIMINARY PERMIT
20 MAR 2023	4. PRELIMINARY PERMIT
20 MAR 2023	5. PRELIMINARY PERMIT

**PROJECT NAME**  
DP RESUBMISSION #3  
20 MAR 2023

**DATE**  
20 MAR 2023

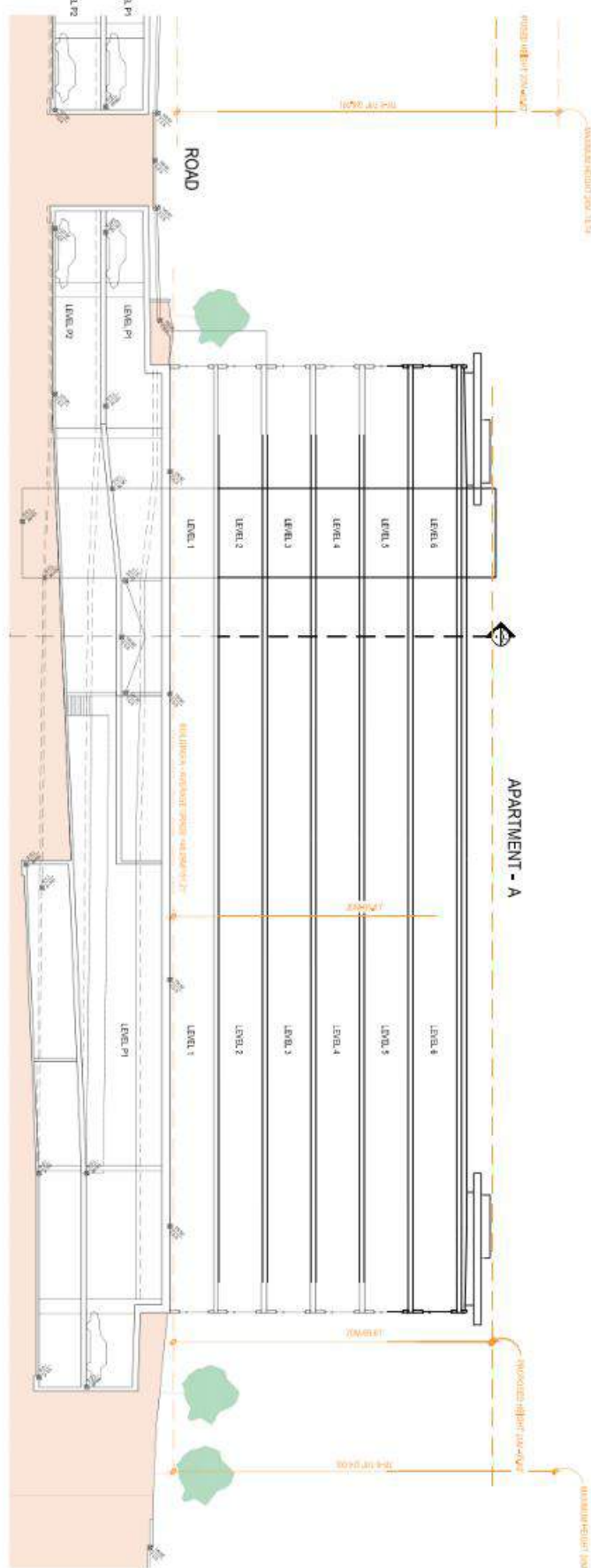
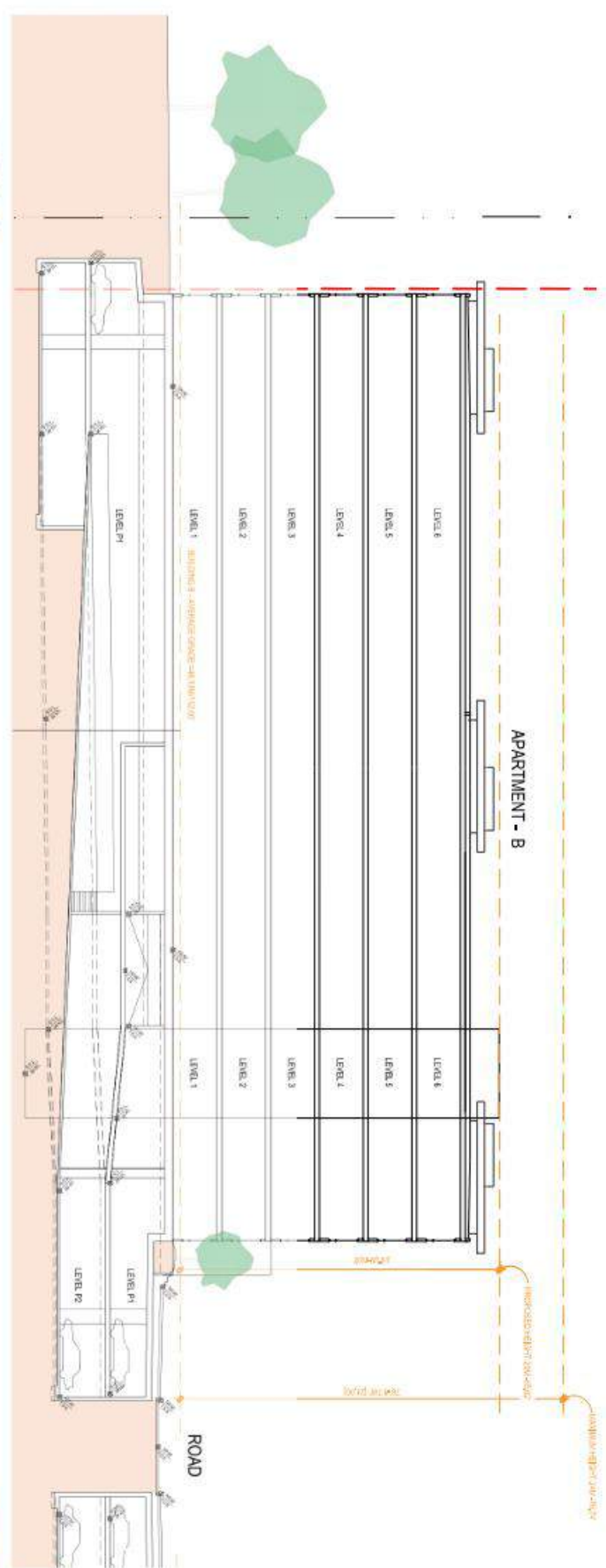
**CLIENT**  
PCAREgroup  
10000 Kingsway, Suite 100  
Richmond, BC V6X 1A1  
1-800-669-0992  
www.pcaregroup.com

**PROJECT**  
PARCEL B  
COWMOOD, B.C.

**CONTRACT NO.**  
2126/2138

**DATE PLOT:** 3/27/2023  
**SCALE:** 3/27/2023  
**PROJECT NO.:** 2126/2138  
**DATE PLOT:** 3/27/2023  
**SCALE:** 3/27/2023  
**PROJECT NO.:** 2126/2138

**DATE PLOT:** 3/27/2023  
**SCALE:** 3/27/2023  
**PROJECT NO.:** 2126/2138







RH Architects Inc.

200 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1

+1 604 683 0002  
 +1 604 683 0051  
 www.rharchitects.ca

DATE	REVISION
20 JUN 2023	1. DESIGN DEVELOPMENT PERMIT
20 JUN 2023	2. DESIGN DEVELOPMENT PERMIT
20 JUN 2023	3. DESIGN DEVELOPMENT PERMIT
29 JUN 2023	4. DP RESUBMISSION #3

**DESIGN PERMIT**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES**

1. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
2. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
3. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
4. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
5. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
6. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
7. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
8. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
9. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.
10. CONSULT THE ARCHITECT'S RECORD DRAWINGS FOR THE EXISTING BUILDING AND SITE CONDITIONS.

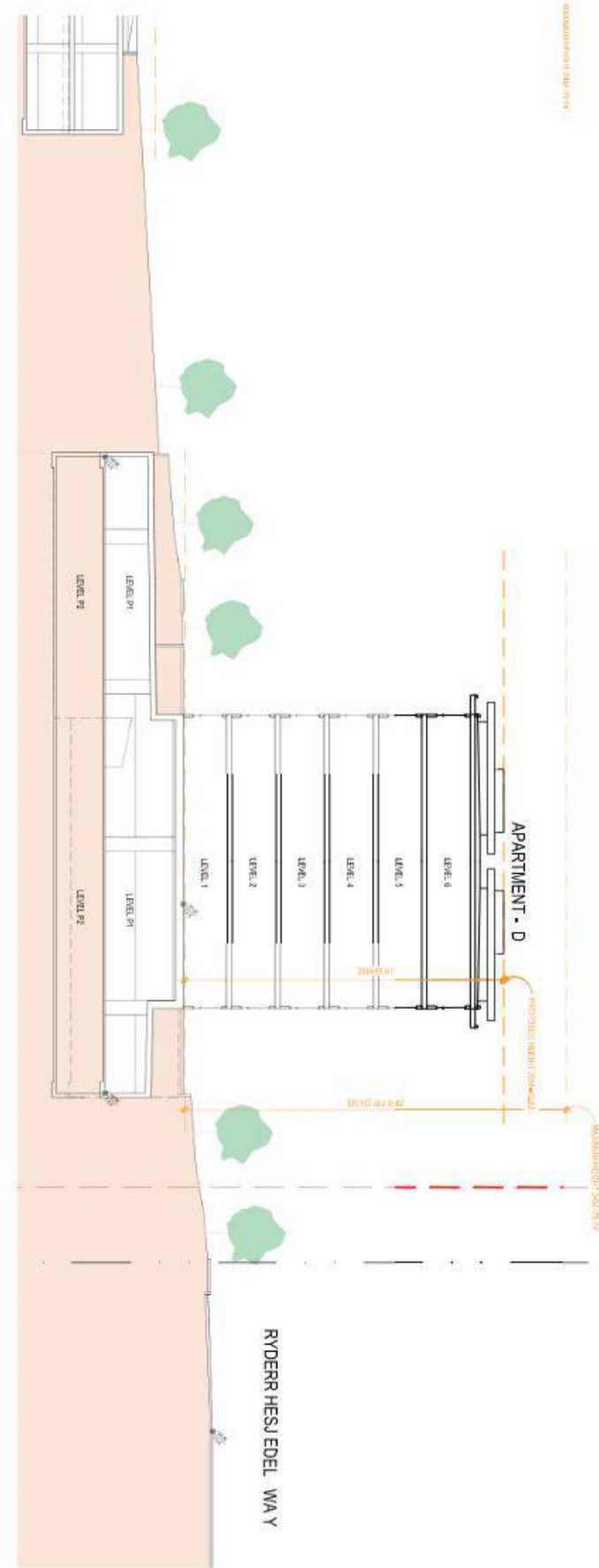
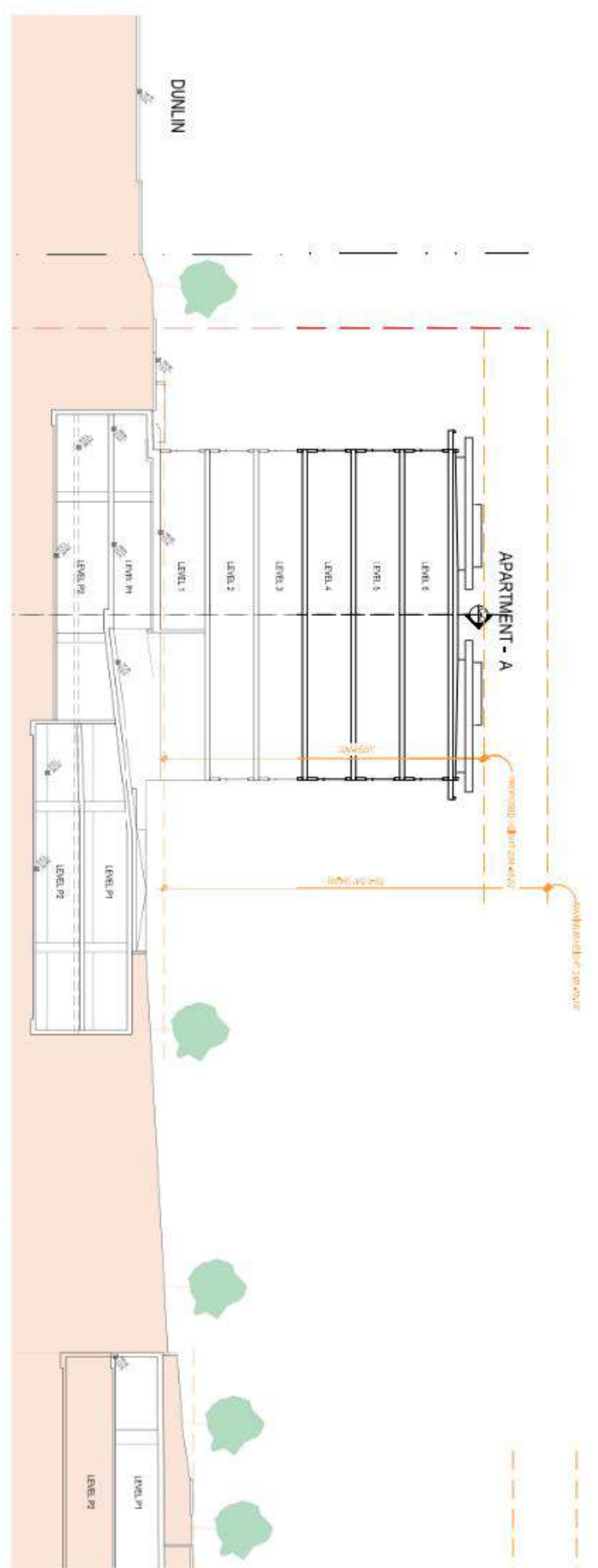
**CLIENT**  
 30 MAR 2023  
**PCARFgroup**  
 Pacific Capital Real Estate Group

**PROJECT**  
 PARCEL B  
 COLUMBIA, B.C.

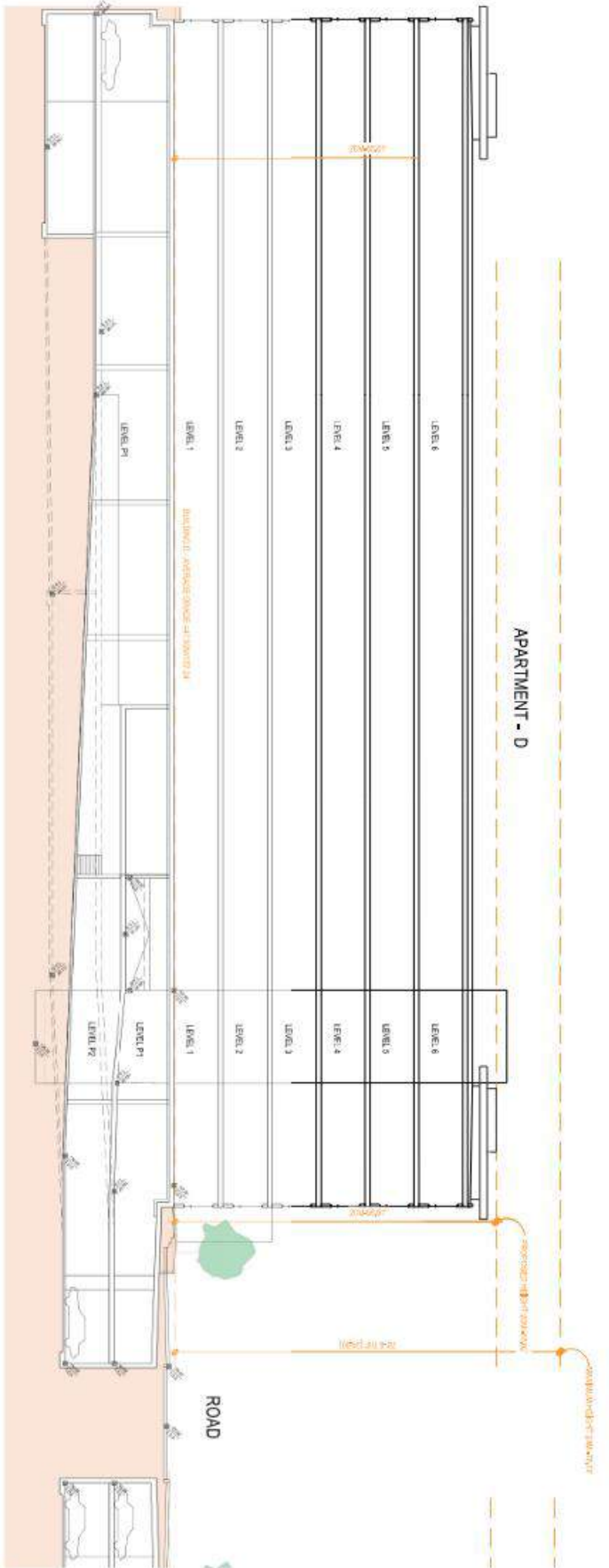
**CONTRACT NO.**  
 BUILDING SECTIONS

**DATE PLOT:** 31/07/2023 - 1:00 PM  
**SCALE:** 3/32" = 1'-0"  
**PRINTED:** 29 JUNE 2023  
**PORTFOLIO:** P1 58  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138

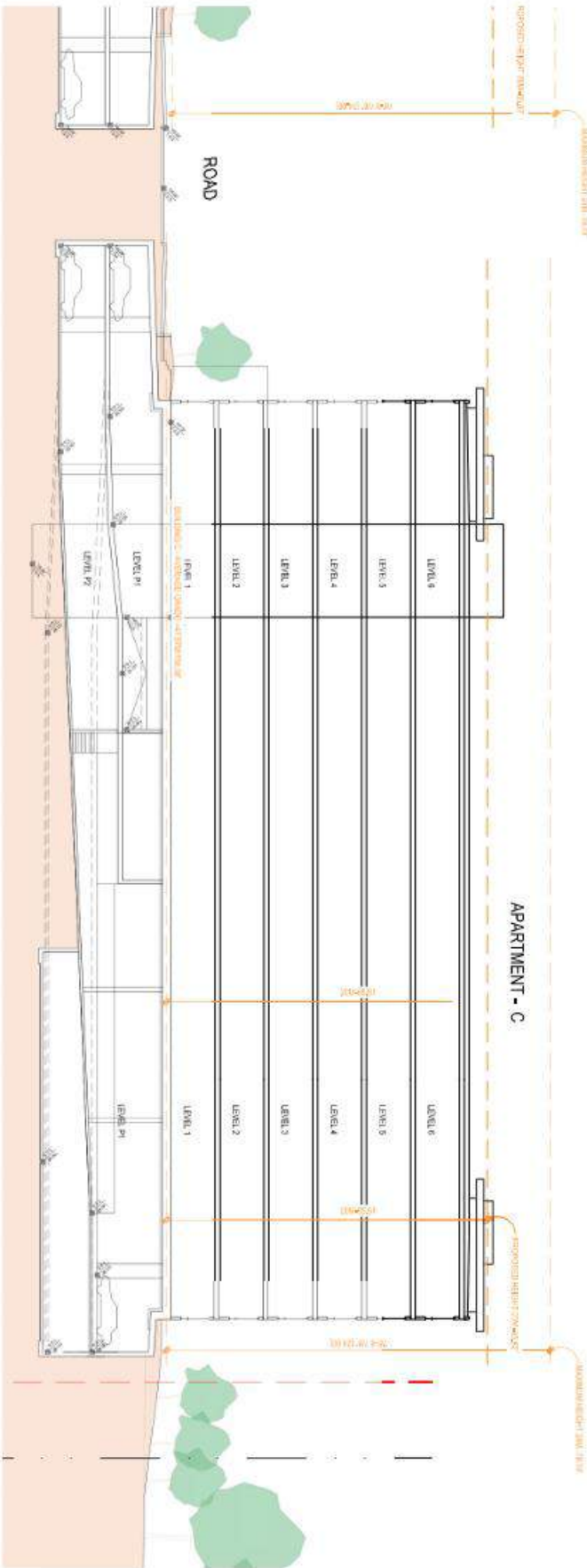
**DATE PLOT:** 29 JUN 2023  
**SCALE:** 3/32" = 1'-0"  
**PRINTED:** 29 JUNE 2023  
**PORTFOLIO:** P1 58  
**OWNER:** EBR  
**PROJECT NO.:** 2126/2138  
**SCALE:** A5.30



APARTMENT - D



APARTMENT - C



RH Architects Inc.

230 Powell Street, Suite 50  
 Vancouver, BC Canada  
 V6A 5G1

1-800-668-0902  
 1-604-688-0902  
 www.rharchitects.ca

NO.	DATE	DESCRIPTION
1.	20 MAR 2023	CONCEPT DESIGN PERMIT
2.	20 MAR 2023	PRELIMINARY PERMIT
3.	20 MAR 2023	PERMIT TO CONSTRUCT
4.	20 MAR 2023	CONSTRUCTION PERMIT
5.	20 MAR 2023	FINAL PERMIT

**PLANNED FOR**  
 DP RESUBMISSION #3  
 28 JUNE 2023

**NOTES:**  
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

**CLIENT:**  
 PARCEL B  
 COLWOOD, B.C.

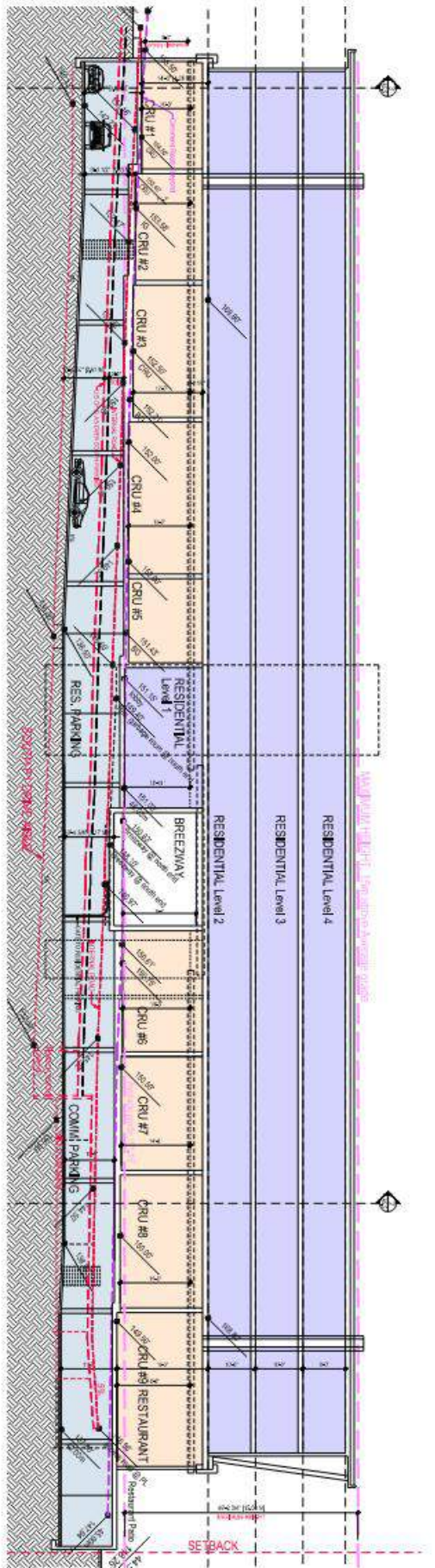
**PROJECT:**  
 PARCEL B  
 COLWOOD, B.C.

**DATE PLOT:** 31 MAR 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT:** 22 JUNE 2023  
**DATE:** 21 JUNE 2023  
**DESIGNED BY:** EBB  
**CHECKED BY:** EBB  
**PROJECT NO.:** 2126/2138

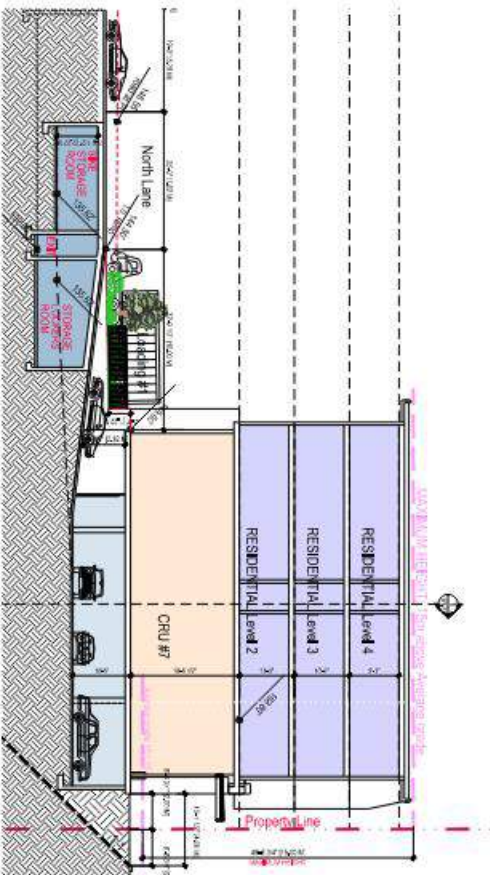
**DATE:** 21 JUNE 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT:** 22 JUNE 2023  
**DATE:** 21 JUNE 2023  
**DESIGNED BY:** EBB  
**CHECKED BY:** EBB  
**PROJECT NO.:** 2126/2138

**DATE:** 21 JUNE 2023  
**SCALE:** 3/32" = 1'-0"  
**PROJECT:** 22 JUNE 2023  
**DATE:** 21 JUNE 2023  
**DESIGNED BY:** EBB  
**CHECKED BY:** EBB  
**PROJECT NO.:** 2126/2138

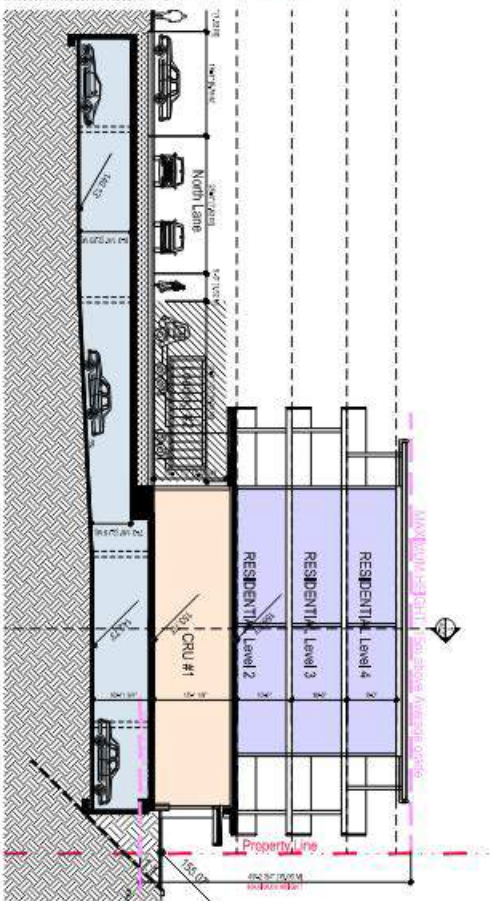




SECTION 1-1 thru north P1 drive aisle



SECTION 2-2 thru parkade ramp



SECTION 3-3 at west side - CRU 1

RHA

RH Architects Inc.

130 Beaver Street, Unit 30  
Vancouver, BC Canada  
V6A 1E1

T: 604.681.8002  
F: 604.681.8092

www.rharchitects.ca

DATE	DESCRIPTION
20 MAR 2022	1. PRELIMINARY PERMIT
20 MAR 2022	2. PERMIT SUBMISSION #3
20 MAR 2023	3. PERMIT SUBMISSION #3
29 MAR 2023	4. PERMIT SUBMISSION #3

Building Form  
DP RESUBMISSION #3  
20 MAR 2023

DATE: 20 MAR 2023  
SCALE: AS SHOWN  
PROJECT: 2126/2138  
SHEET: 05 OF 10  
DRAWN BY: EBN  
CHECKED BY: EBN

39 MAR 2023  
client: **pergroup**  
pergroup inc.  
10101 148th Street, Surrey, BC V4N 1C7

PROJECT: PARCEL B  
COLWOOD, B.C.  
CONSULTING: BUILDING SECTIONS  
North building

DATE: 20 MAR 2023  
SCALE: 3/32" = 1'-0"  
PROJECT: 2126/2138  
SHEET: 05 OF 10  
DRAWN BY: EBN  
CHECKED BY: EBN

PROJECT No. 2126/2138  
DATE: 20 MAR 2023  
SHEET: 05 OF 10  
DRAWN BY: EBN  
CHECKED BY: EBN









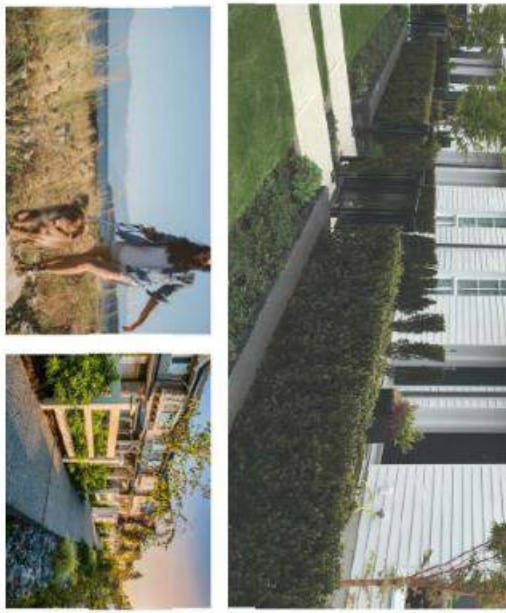


# DESIGN PRINCIPLES AND INSPIRATION

## CONTEXT



## COASTAL LIVING - RESIDENTIAL



## COASTAL LIVING - COMMERCIAL



## TEXTURE --- FROM MEADOW TO SHORELINE



2500 PENDER STREET, VICTORIA, BC V8M 2Y1  
 T 250 671 5925  
[www.connectinc.ca](http://www.connectinc.ca)

CONNECT LANDSCAPE ARCHITECTURE INC. IS AN EQUAL OPPORTUNITY EMPLOYER. WE ENCOURAGE ALL QUALIFIED APPLICANTS TO APPLY. WE ARE AN ENVIRONMENTALLY RESPONSIBLE COMPANY. WE ARE COMMITTED TO SUSTAINABLE DESIGN AND CONSTRUCTION. WE ARE COMMITTED TO EXCELLENCE IN EVERYTHING WE DO. WE ARE COMMITTED TO THE COMMUNITY WE SERVE.

CLIENT: \_\_\_\_\_

SCALE \_\_\_\_\_

2	ISSUED FOR PERMIT	2024-01-15
1	ISSUED FOR REVIEW	2023-11-10

REVISIONS

### ROYAL BAY LOT B

COLLWOOD BC  
 SCALE: \_\_\_\_\_ NTS  
 DRAWN: \_\_\_\_\_ VL  
 APPROVED: \_\_\_\_\_ OLM  
 PROJECT NO.: 2023-784

### INSPIRATION AND PRINCIPLES

# L0.02







LINEWORK	
---	DESCRIPTION
---	PROPERTY LINE
---	EXISTING SITE BOUNDARY
---	CONCRETE DRIVEWAY
---	EXISTING DRIVEWAY

SOFTSCAPE LEGEND	
---	DESCRIPTION
---	SHRUBS
---	MAINTENANCE PLANTING
---	PLANTING IN PLANTING

BUILDINGS & FENCE LEGEND	
---	DESCRIPTION
---	APARTMENT BUILDING
---	4 FT. CONCRETE MASONRY FENCE
---	4 FT. CONCRETE MASONRY FENCE

PAVING LEGEND	
---	DESCRIPTION
---	CONCRETE
---	CONCRETE WITH CURB
---	PERMEABLE CONCRETE
---	PERMEABLE CONCRETE WITH CURB
---	PERMEABLE CONCRETE WITH CURB
---	PERMEABLE CONCRETE WITH CURB

FURNISHING LEGEND	
---	DESCRIPTION
---	SEAT
---	SEAT TYPE 1
---	SEAT TYPE 2
---	SEAT TYPE 3
---	SEAT TYPE 4
---	SEAT TYPE 5
---	SEAT TYPE 6
---	SEAT TYPE 7
---	SEAT TYPE 8
---	SEAT TYPE 9
---	SEAT TYPE 10
---	SEAT TYPE 11
---	SEAT TYPE 12
---	SEAT TYPE 13
---	SEAT TYPE 14
---	SEAT TYPE 15
---	SEAT TYPE 16
---	SEAT TYPE 17
---	SEAT TYPE 18
---	SEAT TYPE 19
---	SEAT TYPE 20
---	SEAT TYPE 21
---	SEAT TYPE 22
---	SEAT TYPE 23
---	SEAT TYPE 24
---	SEAT TYPE 25
---	SEAT TYPE 26
---	SEAT TYPE 27
---	SEAT TYPE 28
---	SEAT TYPE 29
---	SEAT TYPE 30
---	SEAT TYPE 31
---	SEAT TYPE 32
---	SEAT TYPE 33
---	SEAT TYPE 34
---	SEAT TYPE 35
---	SEAT TYPE 36
---	SEAT TYPE 37
---	SEAT TYPE 38
---	SEAT TYPE 39
---	SEAT TYPE 40
---	SEAT TYPE 41
---	SEAT TYPE 42
---	SEAT TYPE 43
---	SEAT TYPE 44
---	SEAT TYPE 45
---	SEAT TYPE 46
---	SEAT TYPE 47
---	SEAT TYPE 48
---	SEAT TYPE 49
---	SEAT TYPE 50
---	SEAT TYPE 51
---	SEAT TYPE 52
---	SEAT TYPE 53
---	SEAT TYPE 54
---	SEAT TYPE 55
---	SEAT TYPE 56
---	SEAT TYPE 57
---	SEAT TYPE 58
---	SEAT TYPE 59
---	SEAT TYPE 60
---	SEAT TYPE 61
---	SEAT TYPE 62
---	SEAT TYPE 63
---	SEAT TYPE 64
---	SEAT TYPE 65
---	SEAT TYPE 66
---	SEAT TYPE 67
---	SEAT TYPE 68
---	SEAT TYPE 69
---	SEAT TYPE 70
---	SEAT TYPE 71
---	SEAT TYPE 72
---	SEAT TYPE 73
---	SEAT TYPE 74
---	SEAT TYPE 75
---	SEAT TYPE 76
---	SEAT TYPE 77
---	SEAT TYPE 78
---	SEAT TYPE 79
---	SEAT TYPE 80
---	SEAT TYPE 81
---	SEAT TYPE 82
---	SEAT TYPE 83
---	SEAT TYPE 84
---	SEAT TYPE 85
---	SEAT TYPE 86
---	SEAT TYPE 87
---	SEAT TYPE 88
---	SEAT TYPE 89
---	SEAT TYPE 90
---	SEAT TYPE 91
---	SEAT TYPE 92
---	SEAT TYPE 93
---	SEAT TYPE 94
---	SEAT TYPE 95
---	SEAT TYPE 96
---	SEAT TYPE 97
---	SEAT TYPE 98
---	SEAT TYPE 99
---	SEAT TYPE 100

**connect**  
LANDSCAPE ARCHITECTURE

2500 PINEHURST DRIVE, WILLOWDALE, ONTARIO, M2H 3K1  
TEL: (905) 709-1500  
WWW.CONNECTLANDSCAPE.COM

CONTRACT NO.: 2024-001  
PROJECT NO.: 2024-001  
DATE: 2024-01-15

DESIGNED BY: [Name]  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]

**ROYAL BAY LOT B**

SCALE: 1:400

DRAWN BY: YL

DATE: 01/15/24

PROJECT NO.: 2024-001

**MATERIALS PLAN**

1.00













1 COVERED OUTDOOR KITCHEN



2 WARM TONE PAVED PATIO



3 COMPOSITE WOOD FENCE



4 GRANULAR SURFACING

CLIENT NAME: \_\_\_\_\_

SCALE: \_\_\_\_\_

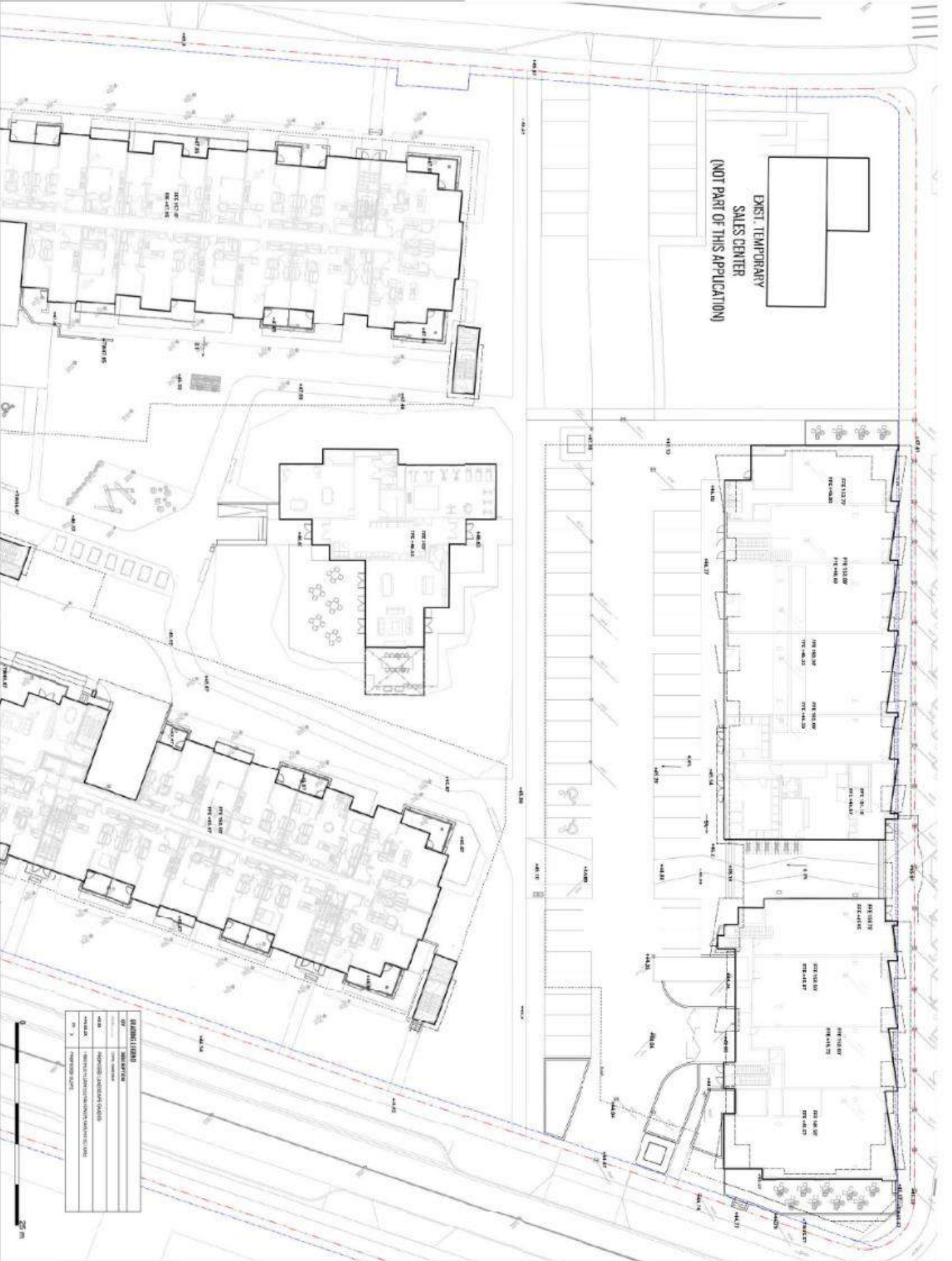
1	REVISIONS	
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	

**ROYAL BAY LOT B**

COLUMBIA BC  
 SCALE: 1:150  
 DRAWN: VL  
 APPROVED: CM  
 PROJECT NO.: 20-2781

**ENLARGEMENT  
 AMENITY**





EXIST. TEMPORARY  
SALES CENTER  
(NOT PART OF THIS APPLICATION)

PROJECT NAME	ROYAL BAY LOT B
CLIENT	ROYAL BAY DEVELOPMENT
DATE	2024-07-15
SCALE	1:200
DRAWN BY	Y.L.
CHECKED BY	Y.L.
DATE	2024-07-15

**connect**  
LANDSCAPE ARCHITECTURE

2500 PETERSON AVENUE, VANCOUVER, BC V6H 3V3  
TEL: 604 271 5515  
www.connect.ca

CONTRACT NUMBER: 2024-07-15-001  
PROJECT NAME: ROYAL BAY LOT B  
DATE: 2024-07-15  
SCALE: 1:200  
DRAWN BY: Y.L.  
CHECKED BY: Y.L.  
DATE: 2024-07-15

CONTRACTOR: [REDACTED]

2024

SCALE

1:200

DATE

2024-07-15

PROJECT NAME

ROYAL BAY LOT B

CLIENT

ROYAL BAY DEVELOPMENT

SCALE

1:200

DATE

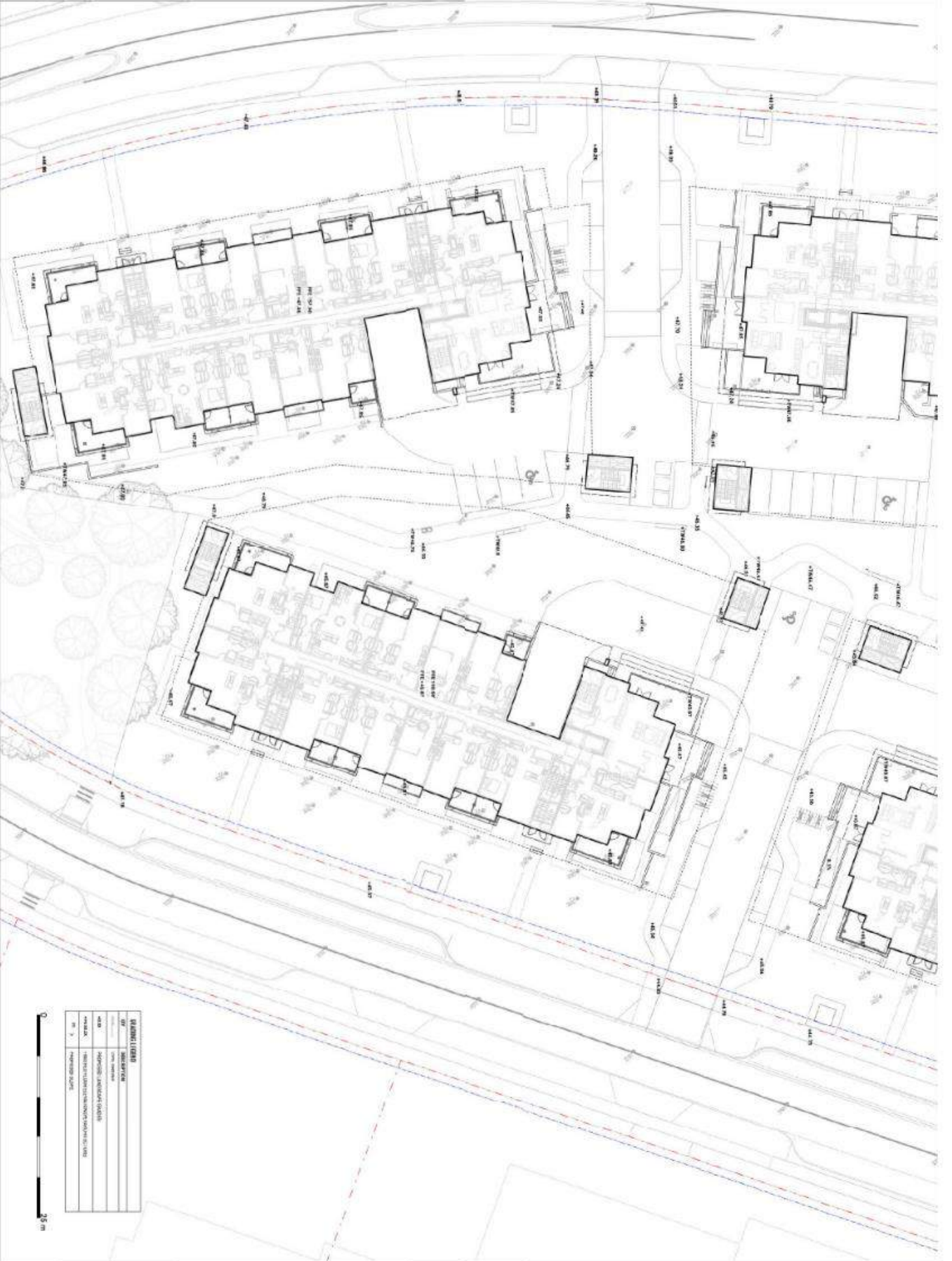
2024-07-15

PROJECT NAME

ROYAL BAY LOT B

CLIENT

ROYAL BAY DEVELOPMENT



<b>REVISIONS</b>	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR REVIEW
3	ISSUED FOR REVIEW
4	ISSUED FOR REVIEW
5	ISSUED FOR REVIEW
6	ISSUED FOR REVIEW
7	ISSUED FOR REVIEW
8	ISSUED FOR REVIEW
9	ISSUED FOR REVIEW
10	ISSUED FOR REVIEW

**PROJECT INFORMATION**

**PROJECT NAME:** ROYAL BAY LOT B

**CLIENT:** [REDACTED]

**DATE:** [REDACTED]

**SCALE:** 1:200

**DRAWN BY:** [REDACTED]

**CHECKED BY:** [REDACTED]

**DATE:** [REDACTED]

**ROYAL BAY LOT B**

**GRADING PLAN**

**SOUTH**

**L3.01**



2500 PINEHURST AVENUE, VANCOUVER, BC V6M 2K1  
 TEL: 604 681 5500  
[www.connectlandscape.com](http://www.connectlandscape.com)

**DISCLAIMER:** THIS DOCUMENT AND ANY INFORMATION CONTAINED HEREIN IS THE PROPERTY OF CONNECT LANDSCAPE ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CONNECT LANDSCAPE ARCHITECTURE.

**KEY PLAN**

**SCALE**

**REVISIONS**

**ROYAL BAY LOT B**

**COLLWOOD BC**

**GRADING PLAN**

**SOUTH**

**L3.01**

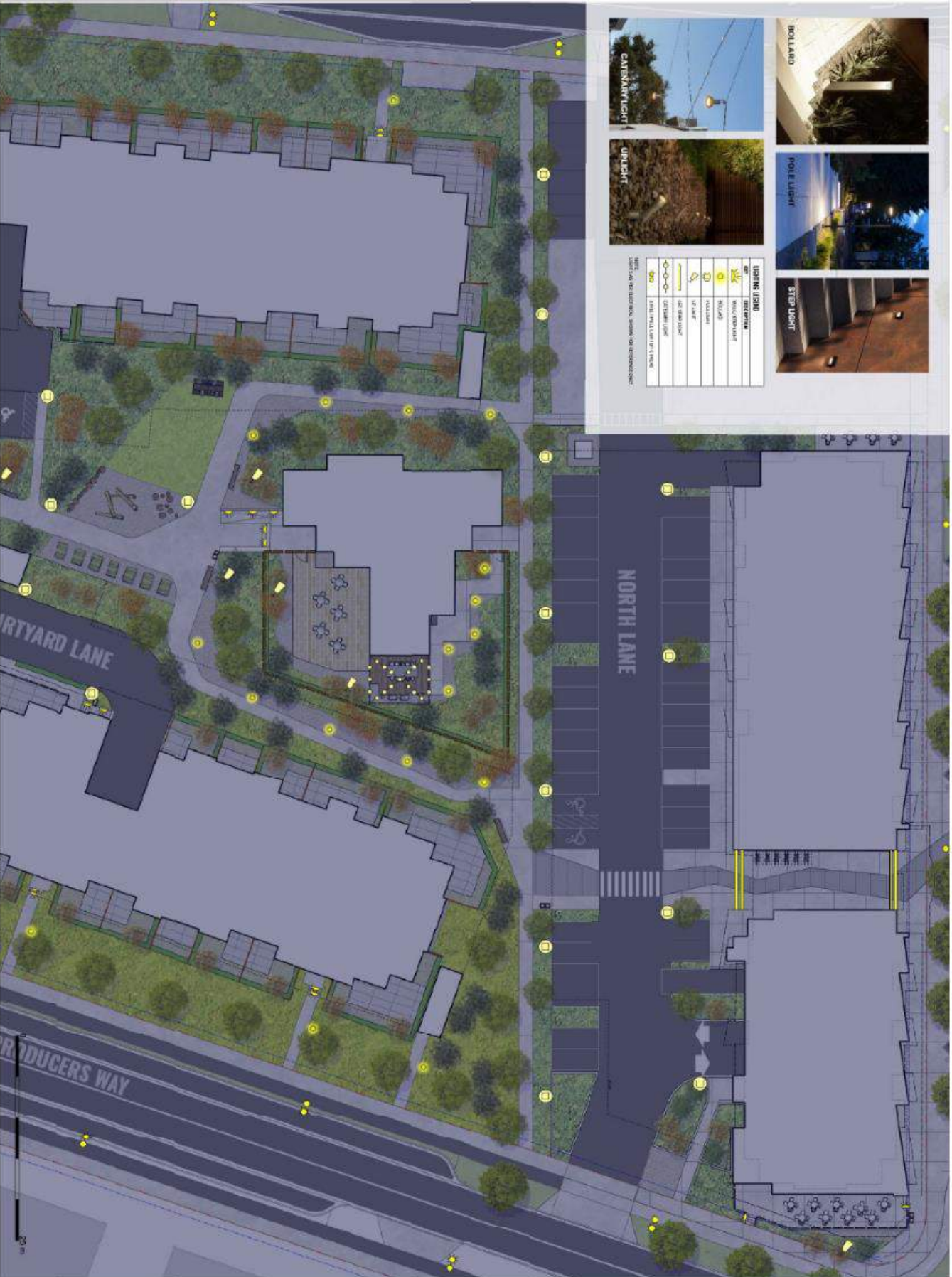












LIBRARY LIGHT	
001	BRICKWORK LIGHT
002	WOOD LIGHT
003	WALL LIGHT
004	UP LIGHT
005	DOWN LIGHT
006	STEP LIGHT
007	CANTER LIGHT
008	BOLLARD
009	POLE LIGHT
010	STEP LIGHT

NOTE: FOR INSTALLATION, SEE PLAN OF EQUIPMENT.

SCALE

---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---

ROYAL BAY LOT B

COLWOOD BC

Scale 1:200

DATE: VI

APPROVED: OKM

PROJECT NO.: 2017-011

**LIGHTING PLAN**

**NORTH**

**1:5.00**

2500 PINECREST DRIVE, VANCOUVER, BC V6M 2K1  
 TEL: 604 271 5303  
[www.connectbc.ca](http://www.connectbc.ca)

CONNECT LANDSCAPE ARCHITECTURE INC. IS AN EQUAL OPPORTUNITY EMPLOYER AND PROVIDES ACCOMMODATION FOR ALL INDIVIDUALS WITH DISABILITIES. IF YOU HAVE A DISABILITY AND ARE HAVING DIFFICULTY ACCESSING OUR WEBSITE, PLEASE CONTACT US AT 604 271 5303. WE WILL MAKE REASONABLE ACCOMMODATIONS TO ENSURE YOU CAN ACCESS OUR WEBSITE. WE RESERVE THE RIGHT TO MAKE CHANGES TO OUR WEBSITE WITHOUT NOTICE.

COMMENTS:





**connect**  
LANDSCAPE ARCHITECTURE

2500 PINECREST BLVD, WILLOWDALE, ONTARIO, M2C 3K1  
1 800 661 5503 [www.connect.ca](http://www.connect.ca)

**COMMENTS:**  
1. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
2. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
3. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
4. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
5. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
6. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
7. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
8. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
9. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).  
10. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNES) AND THE CANADIAN NATIONAL FIRE CODE (CNFC).

**CLIENT:**

**SCALE:**

2. BOARDING OF  
1. BOARDING OF  
REVISED  
DATE: 10/15/18

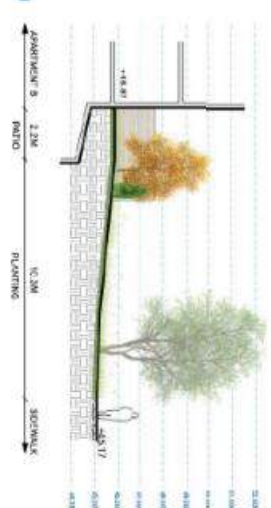
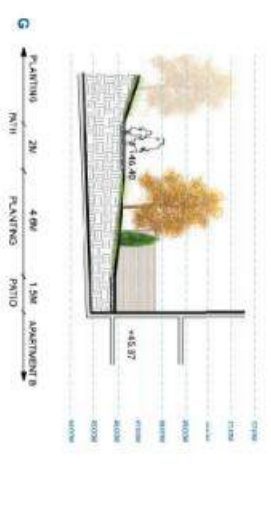
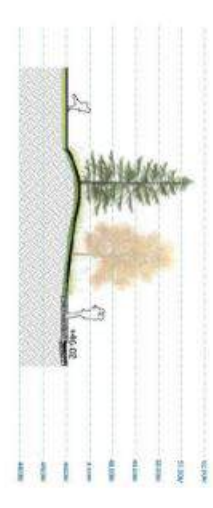
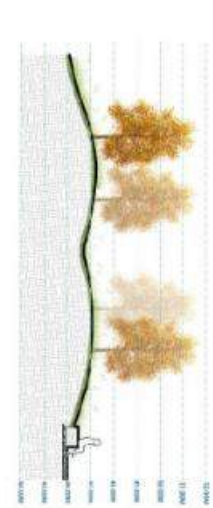
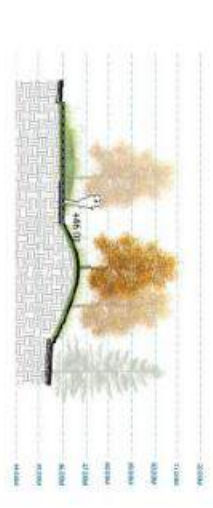
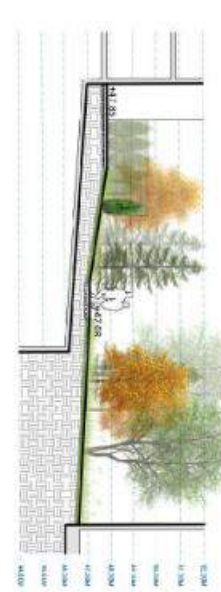
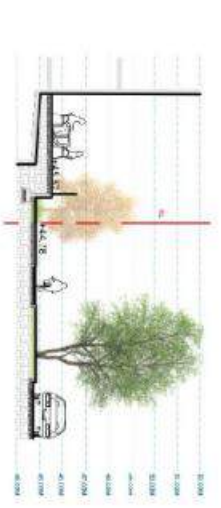
**ROYAL BAY LOT B**

**COLLWOOD BC**  
Scale: 1:200  
DRAWN: VL  
APPROVED: CM  
DATE: 08-27-18

**LIGHTING PLAN**  
**SOUTH**

**L5.01**





CLIENT: \_\_\_\_\_

SCALE: \_\_\_\_\_

2	CONCEPT PLAN	2024-03-01
1	CONCEPT REVIEW	2024-02-15
REVISIONS		

**ROYAL BAY LOT B**

COLWOOD BC  
Scale: 1:100  
Drawn: YL  
Reviewed: DM  
Project No.: 2024-03-01

**SECTIONS AND ELEVATIONS**

**L6.00**













# SCHEDULE 3

## Royal Bay Parcel B

### Class D Cost Estimate

PROJECT: ROYAL BAY PARCEL B (06-781)

DATE: MARCH 2023

PREPARED BY: YUQI LEI

REVIEWED BY: OREN MIZRAHI



#### A - SOFTSCAPE WORKS

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL \$
0.1	SMALL DECIDUOUS TREE (3-4M HT.) (INC. 900MM GROW MEDIA + MULCH)	EA	116	\$450	\$52,200
0.2	MEDIUM DECIDUOUS TREE (5CM CAL.) (INC. 900MM GROW MEDIA + MULCH)	EA	71	\$600	\$42,600
0.3	EVERGREEN TREE (3-4M HT.) (INC. 900MM GROW MEDIA + MULCH)	EA	72	\$450	\$32,400
0.4	PLANTING SHRUB / GRASS / GROUNDCOVERS (INC. 450MM GROW MEDIA + MULCH)	M2	6,470	\$95	\$614,650
0.5	SOD LAWN (INC. 300MM GROW MEDIA)	M2	216	\$20	\$4,320
0.6	IRRIGATION	ALLOW	1	\$75,000	\$75,000
<b>TOTAL</b>					<b>\$821,170</b>

#### B - HARDSCAPE WORKS

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL \$
0.1	PEDESTRIAN CONCRETE UNIT PAVERS (INC. BASE)	M2	120	\$150	\$18,000
0.2	CIP CONCRETE PEDESTRIAN PAVING SAWCUT W/BROOM FINISH (INC. BASE)	M2	3,830	\$150	\$574,500
0.3	CIP CONCRETE WALL	LM	385	\$500	\$192,500
0.4	CIP CONCRETE STAIRS	M2	40	\$1,500	\$60,000
0.5	WOOD DECKING	M2	42	\$500	\$21,000
0.6	GRANULAR SURFACING (150MM DEPTH + WEED FABRIC)	M2	1,310	\$45	\$58,950
<b>TOTAL</b>					<b>\$924,950</b>

#### C- FURNISHINGS

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL \$
0.1	PICNIC TABLE	EA	2	\$2,000	\$4,000
0.2	TRASH/RECYCLE	EA	8	\$3,000	\$24,000
0.3	AGRICULTURE PLANTER	EA	7	\$1,500	\$10,500
0.4	BIKE RACK	EA	18	\$1,000	\$18,000
0.5	BENCH TYPE 1	EA	7	\$1,800	\$12,600
0.6	BENCH TYPE 2	EA	3	\$3,000	\$9,000
0.7	OUTDOOR KITCHEN	LS	1	\$15,000	\$15,000
0.8	6FT HT WOOD SCREEN	LM	280	\$200	\$56,000
0.9	4FT HT WOOD FENCE	LM	168	\$150	\$25,200
1.0	3.5FT HT GUARDRAIL	LM	112	\$500	\$56,000
<b>TOTAL</b>					<b>\$230,300</b>

**SUBTOTAL ON-SITE** \$1,976,420

10% CONTINGENCY \$197,642

**TOTAL ON-SITE** \$2,174,062

#### NOTES:

- COSTS ARE PRELIMINARY ONLY AND ARE BASED ON CONNECT LANDSCAPE ARCHITECTURE INC. PRELIMINARY DRAWINGS, DATED MAR 30, 2023.
- COSTS REFLECT 2023 PRICES (IN CANADIAN DOLLARS) AND INCLUDES DELIVERY AND INSTALLATION, UNLESS OTHERWISE NOTED.
- COSTS ARE SUBJECT TO CHANGE BASED UPON FACTORS BEYOND THE CONTROL OF CONNECT LANDSCAPE ARCHITECTURE (IE. VOLATILITY OF TRADES AND MARKET-DRIVEN INCREASES).
- THE ESTIMATES ARE CLASS D INDICATIVE ORDER-OF-MAGNITUDE COST LEVELS. TO ESTABLISH A PRELIMINARY PROJECT BUDGET.
- THE TOTAL ESTIMATED AMOUNT INCLUDING CONTINGENCY IS CONSIDERED ACCURATE TO +/- 15%, IN ALIGNMENT WITH EXPECTATIONS FOR CLASS-D COST ESTIMATES.
- EXACT COSTS TO BE DETERMINED ONLY WHEN DETAILED DRAWINGS HAVE BEEN PREPARED TO TENDER.
- EXCLUSIONS INCLUDE BUT ARE NOT LIMITED TO: OFFSITE LANDSCAPE, PROFESSIONAL SERVICE FEES, REGULATORY/PERMITTING REQUIREMENTS, SITE SERVICING (CIVIL/ELECTRICAL), EARTHWORKS ESTABLISHMENT MAINTENANCE, LANDSCAPE LIGHTING, PST/GST/HST, INTERPRETIVE AND WAYFINDING SIGNAGE, PUBLIC ART AND ARTIFACT PLACEMENT.



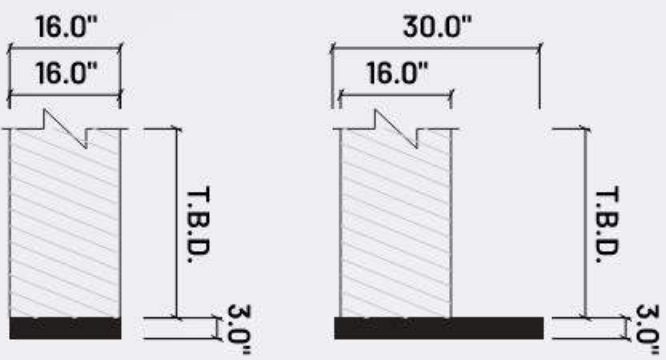
# SCHEDULE 4

## Commons Mixed-Use / Parcel B in Latoria South Comprehensive Sign Plan

City of Colwood - June 2023

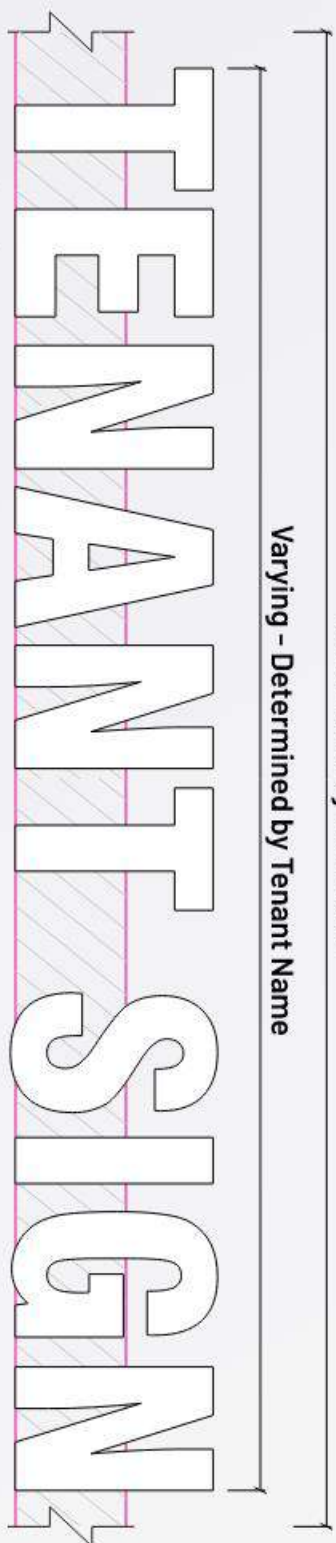


# 36" - Channel Letters



Determined by Each CRU

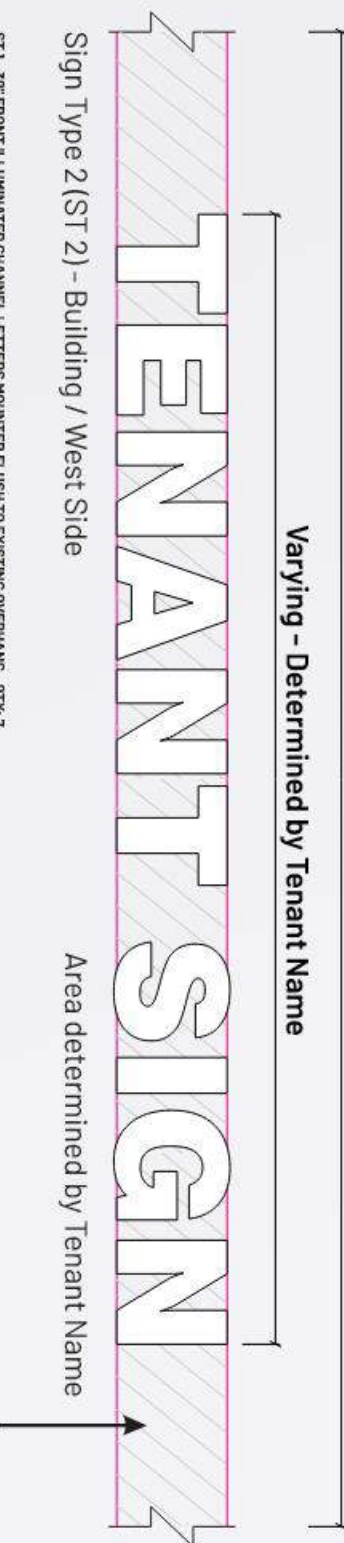
Varying - Determined by Tenant Name



Sign Type 1 (ST 1) - Building West Side

Determined by Each CRU

Varying - Determined by Tenant Name



Sign Type 2 (ST 2) - Building / West Side

Overhang structure to be outlined and confirmed

ST 1 - 30" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO EXISTING OVERHANG - OTTY: 7

White acrylic faces; 3" black returns; black trim caps; white backs; flush to existing overhang at location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remove located if possible); raceway may be required; painted to match building

ST 2 - 16" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO EXISTING OVERHANG - OTTY: 2

White acrylic faces; 3" black returns; black trim caps; white backs; flush to existing overhang at location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remove located if possible); raceway may be required; painted to match building

Power supply and disconnect switch location T.B.D. S/B remote located if possible. These letters may have to be mounted to a raceway.

Note - There will be a maximum width allowed for these signs as a condition of the Development Permit.

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000 QUOTE # 0000000 SCALE: 1" = 18"

DATE: June 30th, 2023

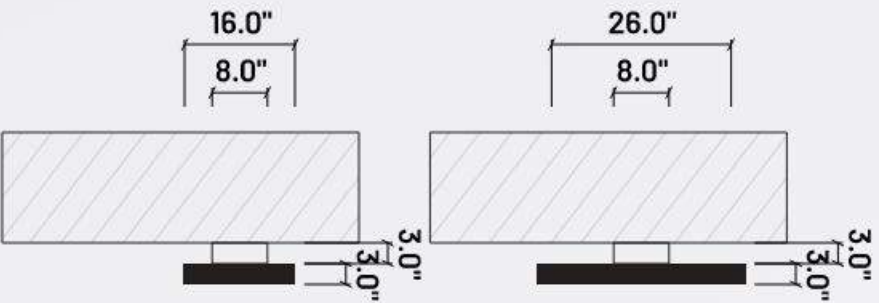
SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN | GFXSIGNS.COM V7 ART



# 36" - Channel Letters



Varying - Determined by Tenant Name

TENANT SIGN

Sign Type 3 (ST 3) - Building East Side

Area determined by Tenant Name

Varying - Determined by Tenant Name

TENANT SIGN

Sign Type 4 (ST 4) - Building North/South/East Sides

Area determined by Tenant Name

**ST 3 - 26" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO WALL - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to wall location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible); raceway may be required, painted to match building

**ST 4 - 16" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO WALL - OTY: 6**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to wall location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible); raceway may be required, painted to match building

Power supply and disconnect switch location T.B.D. S/B remote located if possible. These letters may have to be mounted to a raceway.

Note - There will be a maximum width allowed for these signs as a condition of the Development Permit.

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
 QUOTE # 0000000

DATE: June 30th, 2023

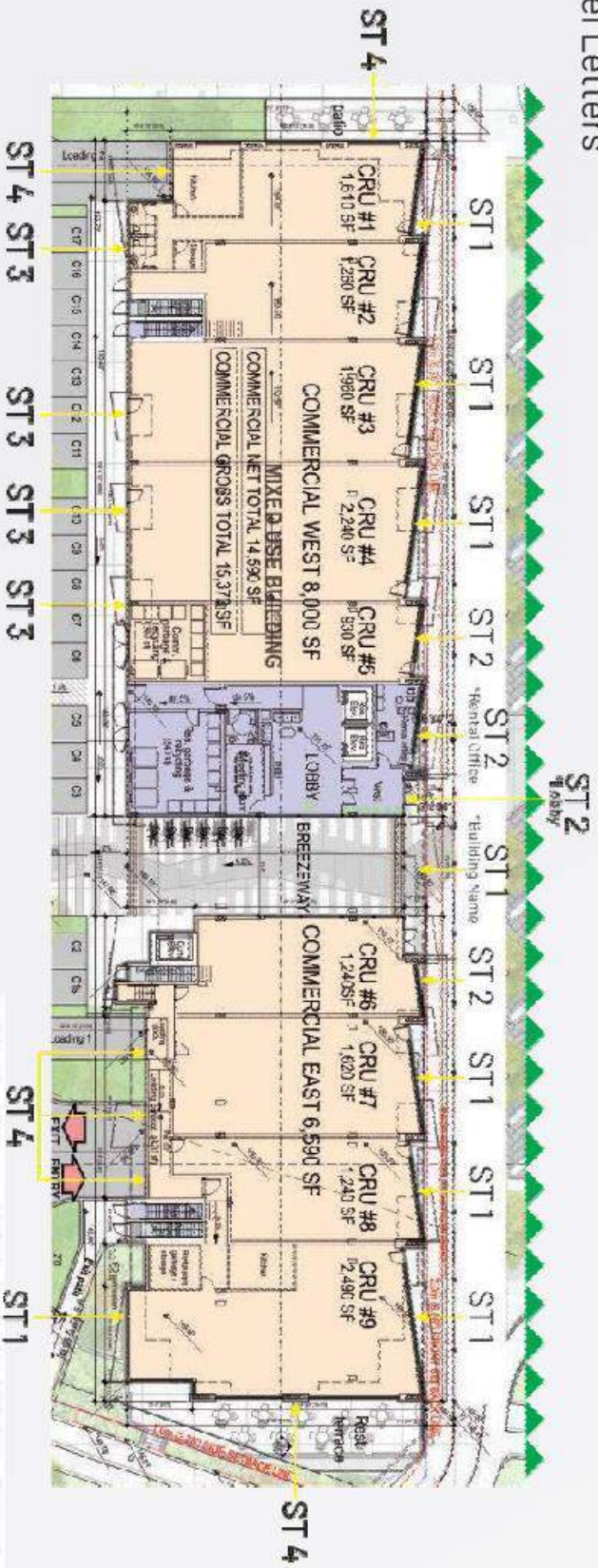
SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN | GF.SIGNS.COM

SCALE: 1" = 18"  
 V7 ART

# Channel Letters



**ST 1 - 30" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO EXISTING OVERHANG - OTY: 8**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to existing overhang at location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)

**ST 2 - 16" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO EXISTING OVERHANG - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to existing overhang at location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)

**ST 3 - 28" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO WALL - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to wall location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)

**ST 4 - 16" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO WALL - OTY: 7**  
 White acrylic faces; 3" black returns; black trim caps; white backs; flush to wall at location; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)

**\*Maximum of one fascia sign per business per building face**  
**\*Note - There will be a maximum width allowed for these signs as a condition of the Development Permit.**



## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
 QUOTE # 0000000

SCALE: "1" = 18"

DATE: June 30th, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS

250.382 SIGN

GFXSIGNS.COM

V7

ART



# 36" - Channel Letters

NORTH ELEVATION



SOUTH ELEVATION



Size, and placement shown are approximate and subject to site confirmation.

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
QUOTE # 0000000

SCALE: 1" = 18"

DATE: June 30th, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS

250.382.SIGN

GFXSIGNS.com

V7

ART

# 36" - Channel Letters

WEST ELEVATION



EAST ELEVATION



Size, and placement shown are approximate and subject to site confirmation.

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
QUOTE # 0000000

DATE: June 30th, 2023

SALES: Jay

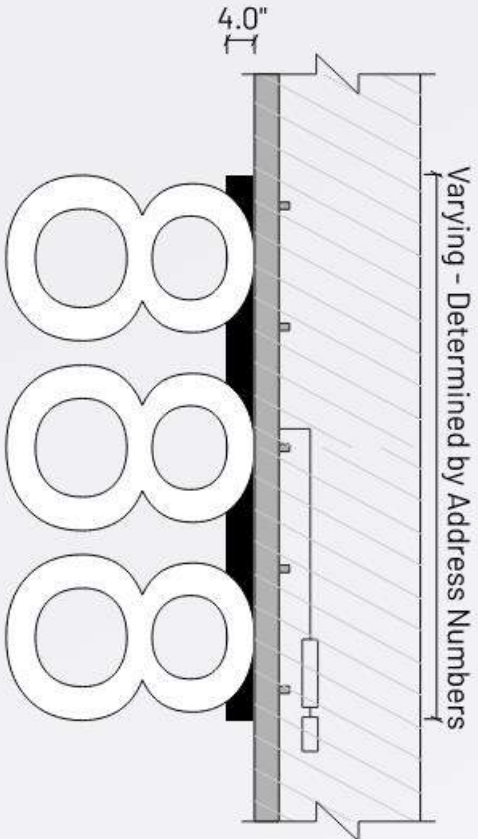
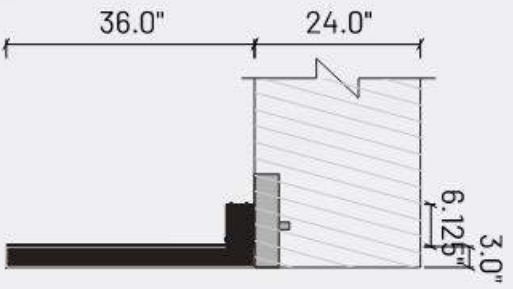
DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN GFSIGNS.COM

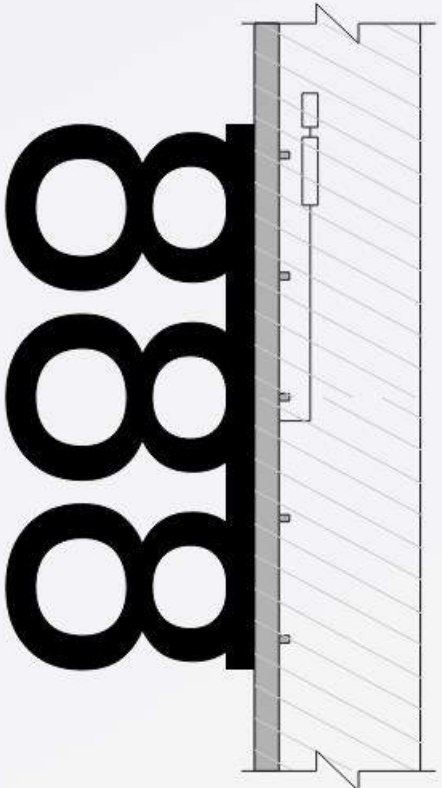
V7 ART



# 36" - Channel Letters - Hanging - Soffit



FRONT ELEVATION  
Front Illuminated Channel letters - Addresses



BACK ELEVATION  
Front Illuminated Channel letters - Addresses

**36" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED TO SOFFIT - OTV: 4"**  
 White acrylic faces; 3" black returns; black trim caps; white backs; mounted to 4" raceway; raceway installed to soffit on four different buildings; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

DATE: June 23rd, 2023

SALES: Jay

DESIGN: Jason



\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

GRAPHICFX SIGNWORKS 250.382.SIGN | GFXSIGNS.COM

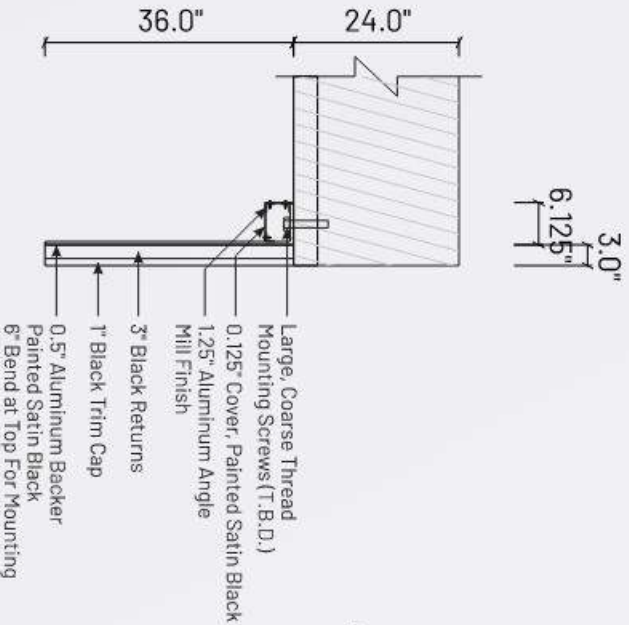
WORK ORDER 0000000  
QUOTE # 0000000

SCALE: 1" = 18"

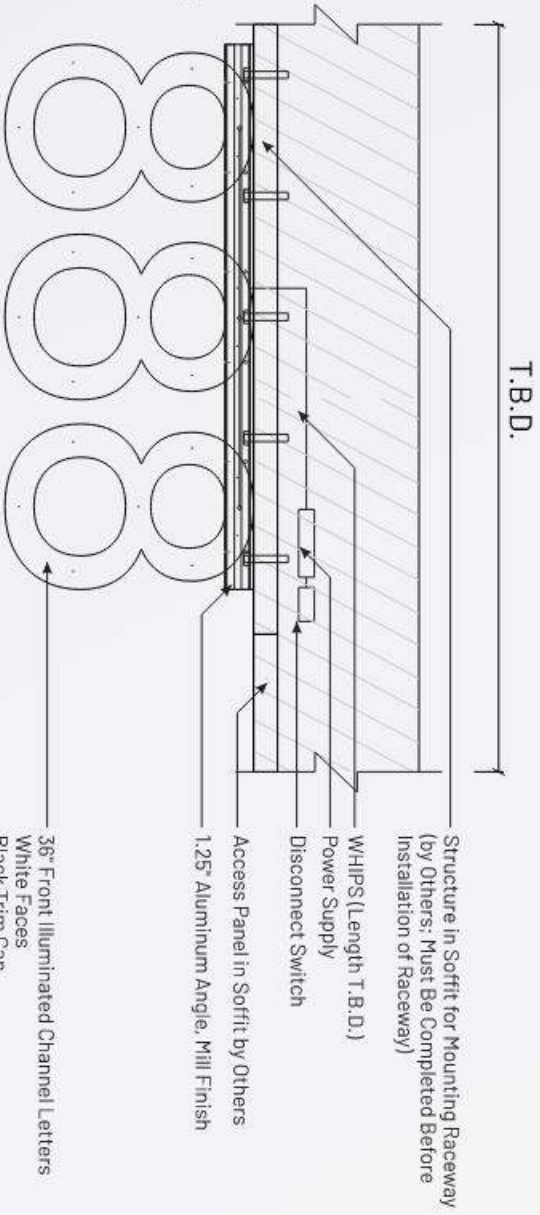
V5 ART

# 36" - Channel Letters - Hanging - Soffit

**36" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED TO SOFFIT - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; mounted to 4" raceway; raceway installed to soffit on four different buildings; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)



SIDE ELEVATION  
 Front Illuminated Channel Letters Details - Addresses



FRONT ELEVATION  
 Front Illuminated Channel Letters Details - Addresses

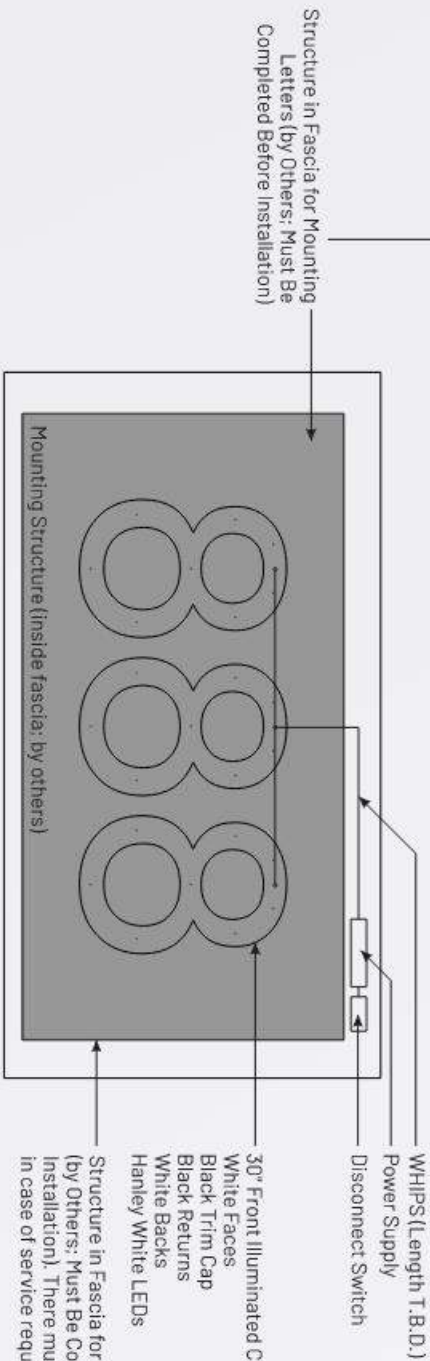
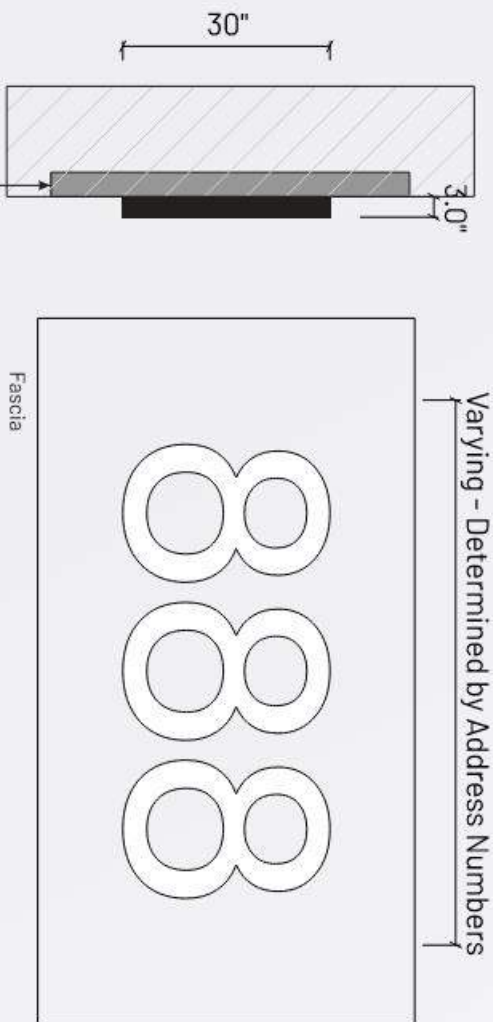
## Front Illuminated Channel Letters

CLIENT: Royal Bay	By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.	WORK ORDER 00000000 QUOTE # 00000000	SCALE: 1" = 18"
DATE: June 23rd, 2023	SALES: Jay	DESIGN: Jason	
GRAPHICFX SIGNWORKS 250.362.SIGN   GFSIGNS.COM		V5 ART	

\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.



# 30" Channel Letters - Fascia



**36" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FASCIA - 07X-4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; installed flush to fascia for four different buildings; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)

## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

DATE: June 23rd, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.362.SIGN | GFXSIGNS.COM

V5 ART

WORK ORDER 0000000  
 QUOTE # 0000000  
 SCALE: 1" = 18"

\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

# 36" - Channel Letters

**36" FRONT ILLUMINATED CHANNEL LETTERS MOUNTED TO SOFFIT - QTY: 4**  
White acrylic faces; 3" black returns; black trim caps; white backs; mounted to 4" raceway; raceway installed to soffit on four different buildings; LED illuminated; length of WHIPS and location of power supply T.B.D. (remote located if possible)



\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

## Front Illuminated Channel Letters

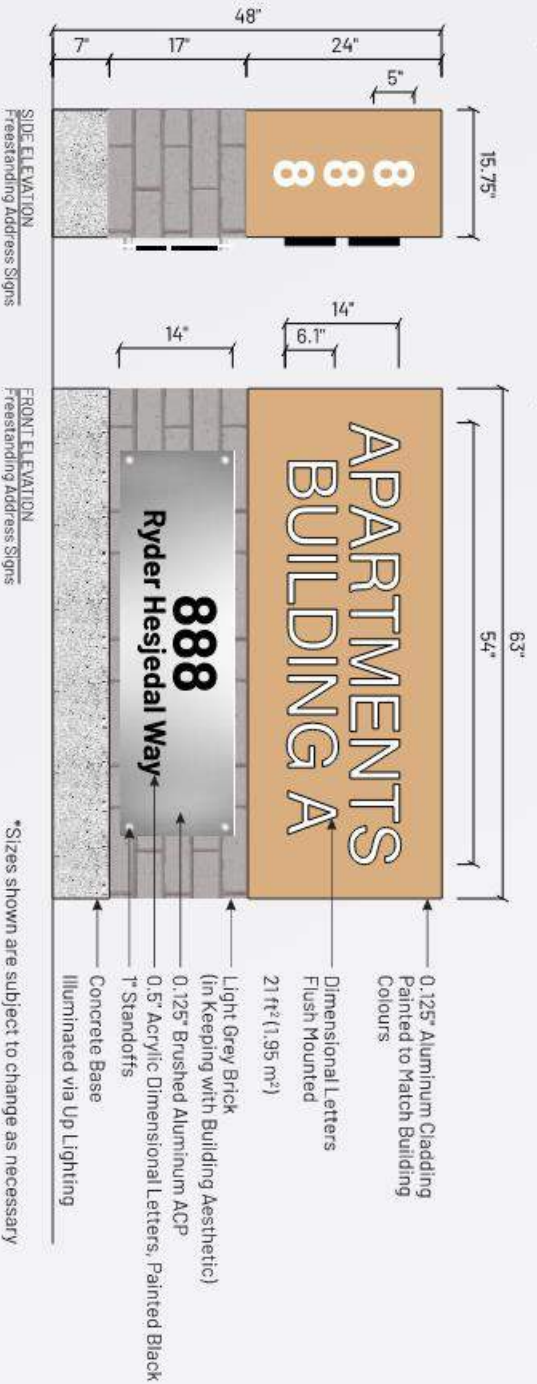
CLIENT: Royal Bay  
By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

DATE: June 23rd, 2023  
SALES: Jay  
DESIGN: Jason  
GRAPHICFX SIGNWORKS 250.382.SIGN | GFSIGNS.COM

WORK ORDER 0000000  
QUOTE # 0000000  
SCALE: 1" = 18"  
V5 ART



# Freestanding Apartment Address Signs



**ILLUMINATED CHANNEL LETTERS FOR MONUMENT SIGNS - OTY: 4**  
 White acrylic faces; 3" black returns; black trim caps; white backs; installed flush to monument structure for four different buildings; LED illuminated; letters mounted to aluminum monument structure; power supply and disconnect switch located within structure; concrete base by others must have low voltage wire run, exiting from top surface and front surface; anchor bolts for upper structure will be required; addresses will be acrylic letters painted black; mounted to brushed aluminum ACP backer; backer mounted to brick with standoffs



## Front Illuminated Channel Letters

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

DATE: June 23rd, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.362.SIGN | GFXSIGNS.COM

V6 ART

WORK ORDER 0000000 QUOTE # 0000000 SCALE: 1" = 18"

\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

Monument Sign Locations

# Freestanding Tenant Sign

FREESTANDING TENANT DIRECTORY - 01Y:1  
Supply & install, 1 single sided, freestanding directory



SIDE ELEVATION  
Freestanding Address Signs

FRONT ELEVATION  
Freestanding Address Signs

\*Size and position shown are approximate and subject to change as necessary with written approval from the City of Colwood's Director of Development Services.

CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks to proceed with the design as shown here, you accept all responsibility for any errors, omissions or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

DATE: June 21st, 2023

SALES: Amy

DESIGN: Jason

GRAPHICFX SIGNWORKS 250.382.SIGN

GFXSIGNS.COM

WORK ORDER 0000000  
QUOTE # 0000000

SCALE: 1" = 10"

V4 ART



# Freestanding Tenant Sign

FREESTANDING TENANT DIRECTORY - 071-1  
Supply & Install, 1 single sided, freestanding directory



Rendering only. May not be exactly as shown.



CLIENT: Royal Bay

By approving this proof and authorizing Graphic FX Signworks, to proceed with the design as shown here, you accept all responsibility for any errors, omissions, or typos, regardless of their origin. Please be aware that colours displayed on a computer screen or printed by a photocopier may vary from the actual finished product. For exact colour matches, a printed colour sample is required for which there may be an additional charge.

WORK ORDER 0000000  
QUOTE # 0000000

SCALE: 1" = 10'

DATE: June 21st, 2023

SALES: Jay

DESIGN: Jason

GRAPHICFX SIGNWORKS

250.382.SIGN

GFXSIGNS.COM

V4 ART