



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250-294-8153
planning@colwood.ca | www.colwood.ca

File: DP-22-023A

DEVELOPMENT PERMIT DP-22-023A

THIS PERMIT, issued April __ 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: Verity Construction Ltd
106-1039 Langford Parkway
Victoria, BC V9B 0A6

(the "Permittee")

-
1. This Natural Hazards and Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

Lots 44 – 48, PLAN EPP117070 SECTION 38 ESQUIMALT
3461, 3463, 3465, 3467 & 3469 Trumpeter Street
(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the *"Colwood Land Use Bylaw, 1989"* (Bylaw No. 151), to ensure the steep slope and form & character considerations for 5 single family homes with secondary suites and associated site improvements, including altering the existing retaining wall, are consistent with the guidelines for areas designated as "Natural Hazards – Steeply Sloped" and "Neighbourhood – Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit. This permit supersedes DP-22-023 and DP-21-008.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor

variations are consistent with the overall intent of the original plans and do not alter the form and character or steeply sloped nature of the development authorized by those plans.

6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Geotechnical Assessment Report by MGE Services Inc. revised April 13, 2023.
 - Schedule 2 Site Plan, Architectural Drawings, Elevation Drawings, Landscape Plan, and Grading Plan for 3461 Trumpeter Street dated February 2, 2023
 - Schedule 3 Site Plan, Architectural Drawings, Elevation Drawings, Landscape Plan, and Grading Plan for 3463 Trumpeter Street dated February 2, 2023
 - Schedule 4 Site Plan, Architectural Drawings, Elevation Drawings, Landscape Plan, and Grading Plan for 3465 Trumpeter Street dated February 2, 2023
 - Schedule 5 Site Plan, Architectural Drawings, Elevation Drawings, Landscape Plan, and Grading Plan for 3467 Trumpeter Street dated December 19, 2022
 - Schedule 6 Site Plan, Architectural Drawings, Elevation Drawings, Landscape Plan, and Grading Plan for 3469 Trumpeter Street dated December 22, 2022
8. This Development Permit authorizes land alterations for the construction of 5 single family homes with secondary suites along with any associated site works including altering the existing retaining wall. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

FORM AND CHARACTER CONDITIONS

General

- 8.1. The form and character of the buildings to be constructed on the Lands shall conform to the drawings attached to this permit as schedules.

Building Features

- 8.2. The form and character of the buildings to be constructed on the Lands shall conform to the Site Plan, Architectural Drawings and Elevation Drawings prepared by Victoria Design Group (Schedules 2-6).
- 8.3. Within any group of three adjacent homes on the lands, no two houses shall have the same dwelling unit design.
- 8.4. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services.
- 8.5. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

8.6. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

Landscaping

8.7. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Verity Construction (Schedules 2-6).

Stormwater Management

8.8. Issuance of a Building Permit is subject to the City of Colwood's approval of a site-specific stormwater management plan.

Grading

8.9. Lot preparations shall be in compliance with the site-specific grading plan by Gablecraft Homes as part of Schedules 2-6.

Retaining Walls

8.10. All geotechnical recommendations must be followed as outlined in the Geotechnical Assessment forming as part of Schedule 1.

8.11. All retaining walls must be less than 1.2m in height and must not connect with neighbouring lots.

ISSUED ON THIS 27th DAY OF APRIL, 2023.



Yazmin Hernandez
Director of Development Services



MGE Services Inc.

EGBC Permit to Practice No. 1003085

740 Cowper Street, Victoria, BC V9A 2E9
250-661-8335

MGEservices@shaw.ca

Revised April 13, 2023

Schedule 1

March 13, 2023

File: 23V-003

Verity Construction Ltd.
106-1039 Langford Parkway
Victoria, BC V9B 0A5
Attention: Ms. Patricia Gomes

**RE: Proposed House Construction
Lots 44 to 48, Trumpeter Street (Sector 7, Royal Bay), Colwood
Geotechnical Assessment Report**

INTRODUCTION

As requested by Verity Construction Ltd. (the Client), MGE Services Inc. (MGE) has carried out a geotechnical assessment for five lots within the residential subdivision at the above-referenced site. The site was developed as part of the Royal Bay subdivision in Colwood, BC. Review of the Geotechnical Assessment Report for the Sector 7 Subdivision where the subject lots are located (prepared by Thurber Engineering Ltd. (Thurber) dated February 4, 2022) was carried out as part of our site review. This geotechnical report has been prepared as part of the development permit application specifically for Lots 44 to 48 within Sector 7 at the Royal Bay subdivision in Colwood. It is noted that this report will replace the landslide and slope stability assessment done at the time of subdivision for the Hazard Conditions – Steeply Sloped Development Permit Area as part of Covenant CA9829107.

The Royal Bay subdivision is located within a former gravel pit within the Colwood Outwash deposit. The subgrade within the subject sites consist of well-graded, pit run sand and gravel that was placed as part of the gravel pit reclamation following closure in 2008. MGE conducted site walkover of the subject lots in January and February 2023, at which time the lots were prepared to the approximate footing grade, with slopes extending up at the rear of the site. Grading of the existing slopes was prepared by the developer of the Royal Bay subdivision, which is proposed to be altered by the Client to achieve the house designs prepared for Lots 44 to 48.

MGE has conducted visual review of the subject lots, as documented in the attached Table 1 – Site Photos. The lot layout is shown in the attached site plan provided by the Client, with cross sections of the final grading on Lots 44, 45 and 46 (where existing retaining walls are located) also attached to this report. This geotechnical assessment has been prepared in support of the development permit application prepared by the Client for single family houses to be constructed on the five subject lots.

PROJECT / SITE CONDITIONS

The proposed development includes five detached, single family homes that will be constructed with slab-on-grade foundations and with either full or partial step up backyards. Due to the grading, which slopes down from west to east, the houses are to be constructed with foundation walls increased to provide



MGE Services Inc.

EGBC Permit to Practice No. 1003085

740 Cowper Street, Victoria, BC V9A 2E9
250-661-8335

MGEservices@shaw.ca

Revised April 13, 2023

March 13, 2023

File: 23V-003

support for backyards that will be approx. 3m above the front yard elevations at Lot 44 and approx. 1m above the front yard at Lot 48. It is understood that there will be retaining walls required between the house foundations to accommodate the grade changes between the front and rear yards of the subject lots. The design for these walls consists of stacked boulder walls constructed close to the rear of the house foundations and abutting into the concrete foundation walls on either side. The walls will be constructed in tiers to a maximum height of 1.2m, as per City of Colwood requirements. Backfilling of the walls will be carried out with site-excavated pit run sand and gravel that is free-draining and suitable for positive drainage. A cross section schematic of the boulder wall is provided as Drawing 1.

Our review of open excavations onsite indicate that the lots are underlain by dense, native sand and gravel, which is consistent with the local geology mapping that shows the site to be within the Colwood Outwash deposit. The surface of the pit run sand and gravel has been disturbed since initial subdivision development and will require further site preparation, as per recommendations provided herein.

GEOTECHNICAL RECOMMENDATIONS

Based on our review of the subsurface conditions, the development of five single family houses is considered geotechnically appropriate. The native sand and gravel is considered suitable for providing bearing of the house foundations and associated retaining walls. It is recommended that building foundation design be based on a 100 kPa allowable bearing capacity, as determined by independent calculations. The sand and gravel subgrade is expected to require re-compaction, which is recommended to be carried out with a 10 tonne, steel drum, vibratory roller. MGE should be contacted to carry out review of the sand and gravel subgrade prior to foundation construction or structural filling, as needed by final grading.

If structural filling is required, the excavated sand and gravel material from the site is considered suitable for re-use based on past experience with the Colwood Outwash deposit. It is recommended that the sand and gravel is placed in maximum 300mm thickness lifts and thoroughly compacted with the vibratory roller. The extent of structural filling should be outside the building footprint or road alignment by at least the thickness of the fill, ie. a 1H:1V splay. As per the BC Building Code, MGE needs to carry out continuous monitoring of structural fill placement procedures to provide subgrade approval for the building foundations.

As discussed above, existing boulder walls are to be removed at the rear of Lots 44, 45 and 46 as part of the grading plan. New retaining wall construction will be necessary and is proposed to be limited to a maximum height of 1.2m to meet City of Colwood bylaw requirements. It is proposed to construct the retaining walls proposed on the site with stacked boulders, which are recommended to be sloped back at ½H:1V and oriented such that the long axis of the boulder extends back into the slope. Use of the free-draining pit run sand and gravel as backfill is suitable such that a toe drain is not needed as part of boulder wall design. The attached Drawing 1 provides details on stacked boulder wall construction.



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File: 23V-003

CLOSURE

Our geotechnical assessment of the project site and the proposed development indicates that the lands are considered safe and suitable for the use intended. MGE to carry out field reviews during site preparation to confirm the intent of our geotechnical recommendations is met.

MGE has also completed the Landslide Assessment Assurance Statement (Appendix D of the EGBC Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia), which is attached to this report.

This letter has been prepared exclusively for Verity Construction Ltd. in accordance with the January 3, 2023 contract between MGE and Verity Construction Ltd. No third party can rely on this report, except for the City of Colwood, which is considered to be an authorized user, subject to the terms and conditions under which the work was completed.

We trust this meets your current requirements and ask that you contact the undersigned if there are any questions or concerns.

Yours truly,

MGE Services Inc.

Per: Alec Morse, P.Eng.



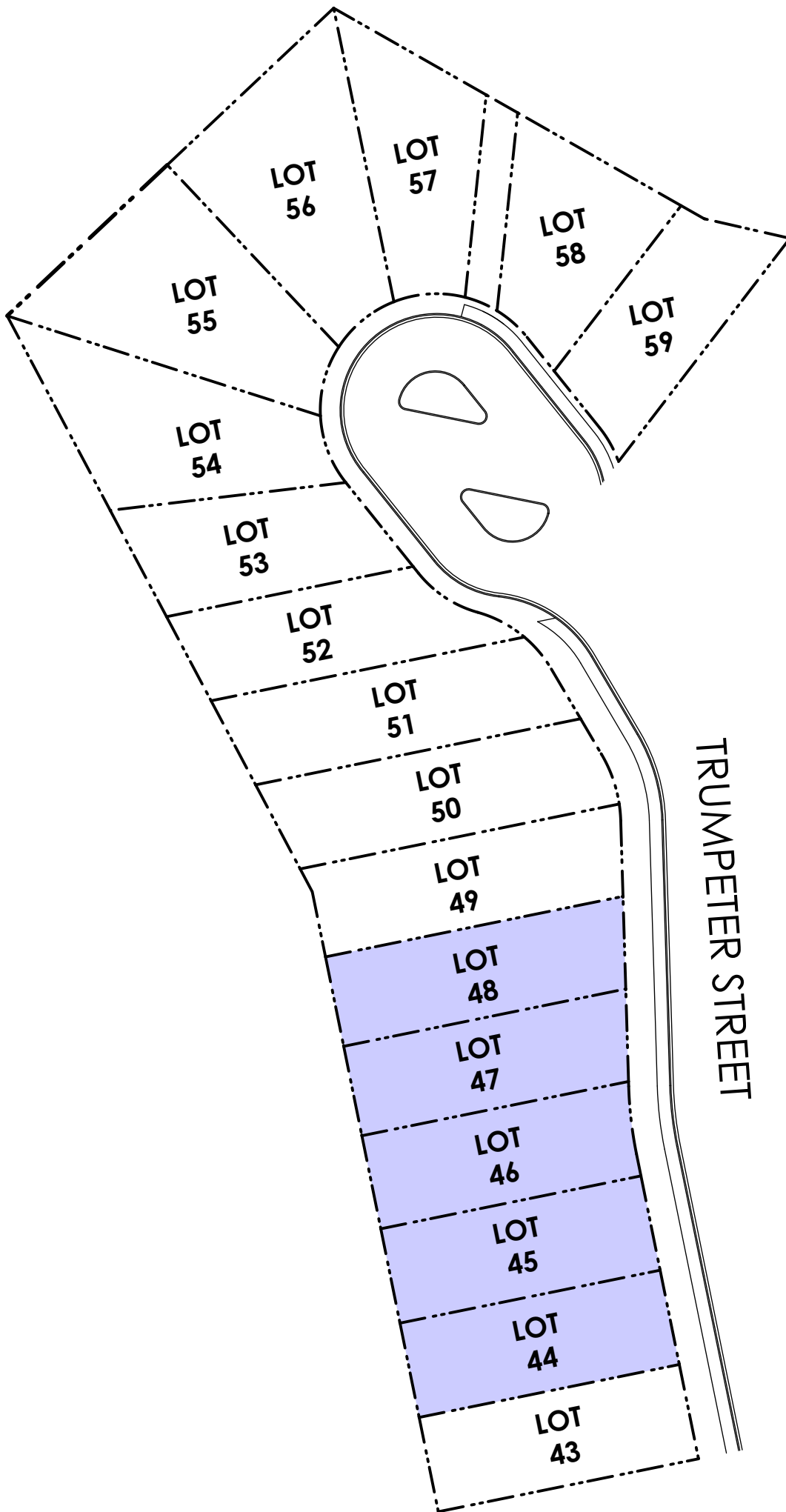
- Attach: Table 1 – Site Photos
Site Plan
Cross Sections – Lots 44, 45 and 46
Drawing 1 – Boulder Wall Schematic
Appendix D – Landslide Assessment Assurance Statement



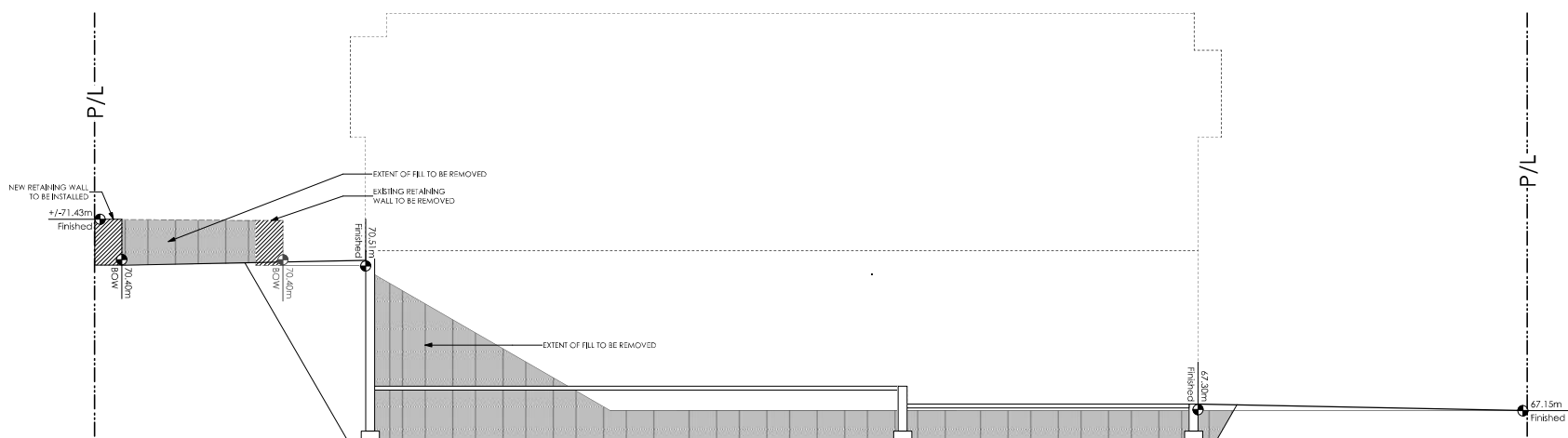
Table 1 – Site Photos
Project: Lots 44 – 48, Trumpeter Street, Royal Bay

Verity Construction Ltd.
File: 23V-003

	
Mar. 2, 2023: Current condition of Lot 44, with boulder wall above cut slope in pit run sand and gravel, which will also compose subgrade.	Mar. 2, 2023: Current condition of Lot 45, with boulder wall above cut slope in pit run sand and gravel, which will also compose subgrade.
	
Mar. 2, 2023: Current condition of Lot 46, with end of boulder wall above pit run sand and gravel, which will compose subgrade..	Mar. 2, 2023: Current condition of Lot 47, with pit run sand and gravel exposed as subgrade.
	
Mar. 2, 2023: Current condition of Lot 47, with pit run sand and gravel exposed as subgrade.	Mar. 2, 2023: Pit run slope at rear of Lots 44-48, with existing boulder wall on Lots 44-46.



TRUMPETER STREET



1 Lot 44 Site Section
Scale: 1/4" = 1'-0"

Schooner Traditional

Date

Feb 2, 2023

Project Address

3461 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

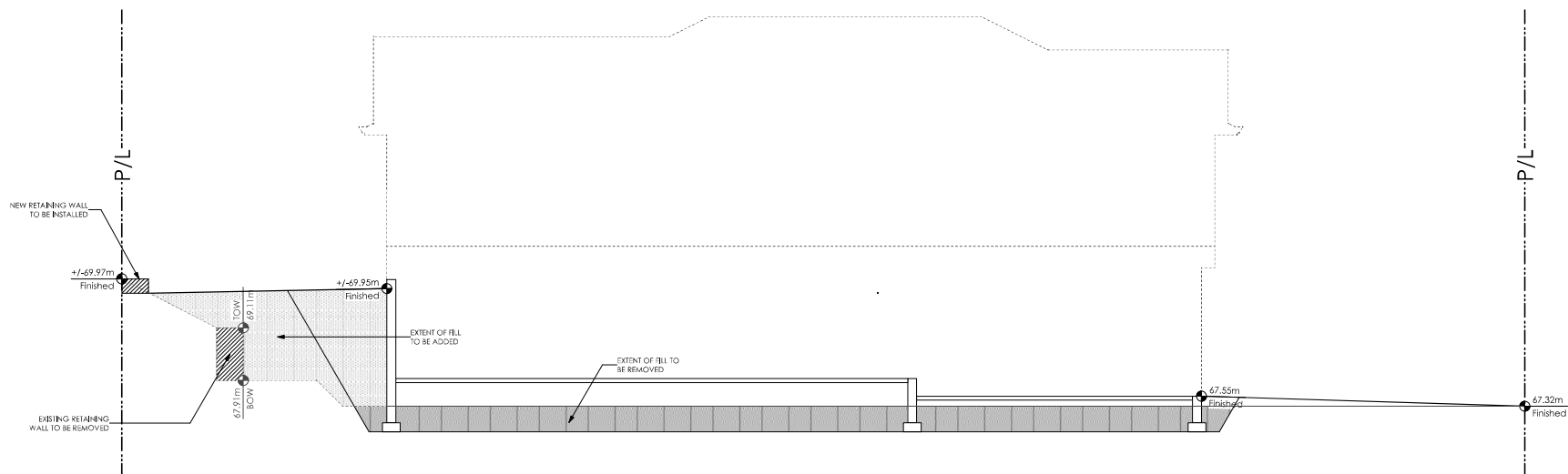
8298

Scale

As Noted

Drawn By

MRB



1
A2 Lot 45 Site Section
Scale: 1/4" = 1'-0"

Schooner Coastal

Date

Feb 2, 2023

Project Address

3463 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

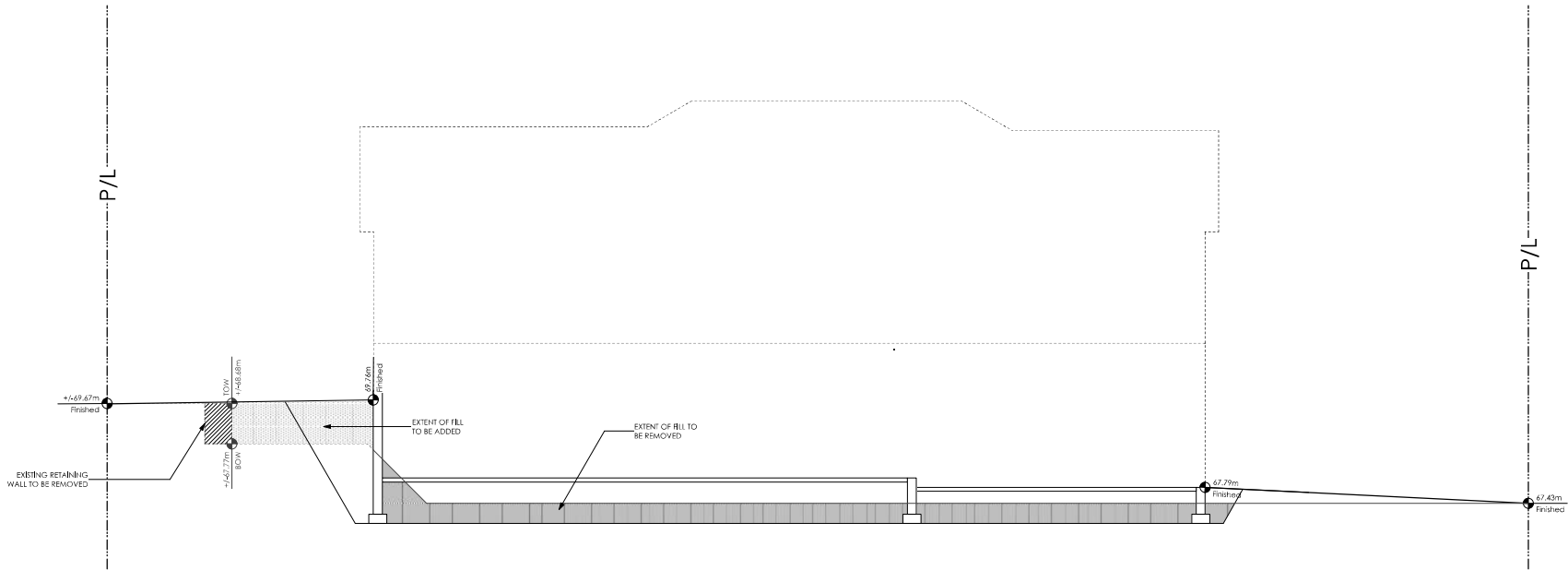
Scale

As Noted

Drawn By

MRB

Development Permit Presentation



1 Lot 46 Site Section
Scale: 1/4" = 1'-0"

'PORT' - WEST COAST

Date

Feb 2, 2023

Project Address

3465 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

Scale

As Noted

Drawn By

MIS

Development Permit Presentation



MGE Services Inc.

740 Cowper Street
Victoria, BC V9A 2E9

Ph: 250-661-8335
MGEservices@shaw.ca

Project:
Royal Bay House
Construction

Site Address:
Trumpeter Street,
Colwood

Client:
Verity Construction
Ltd.

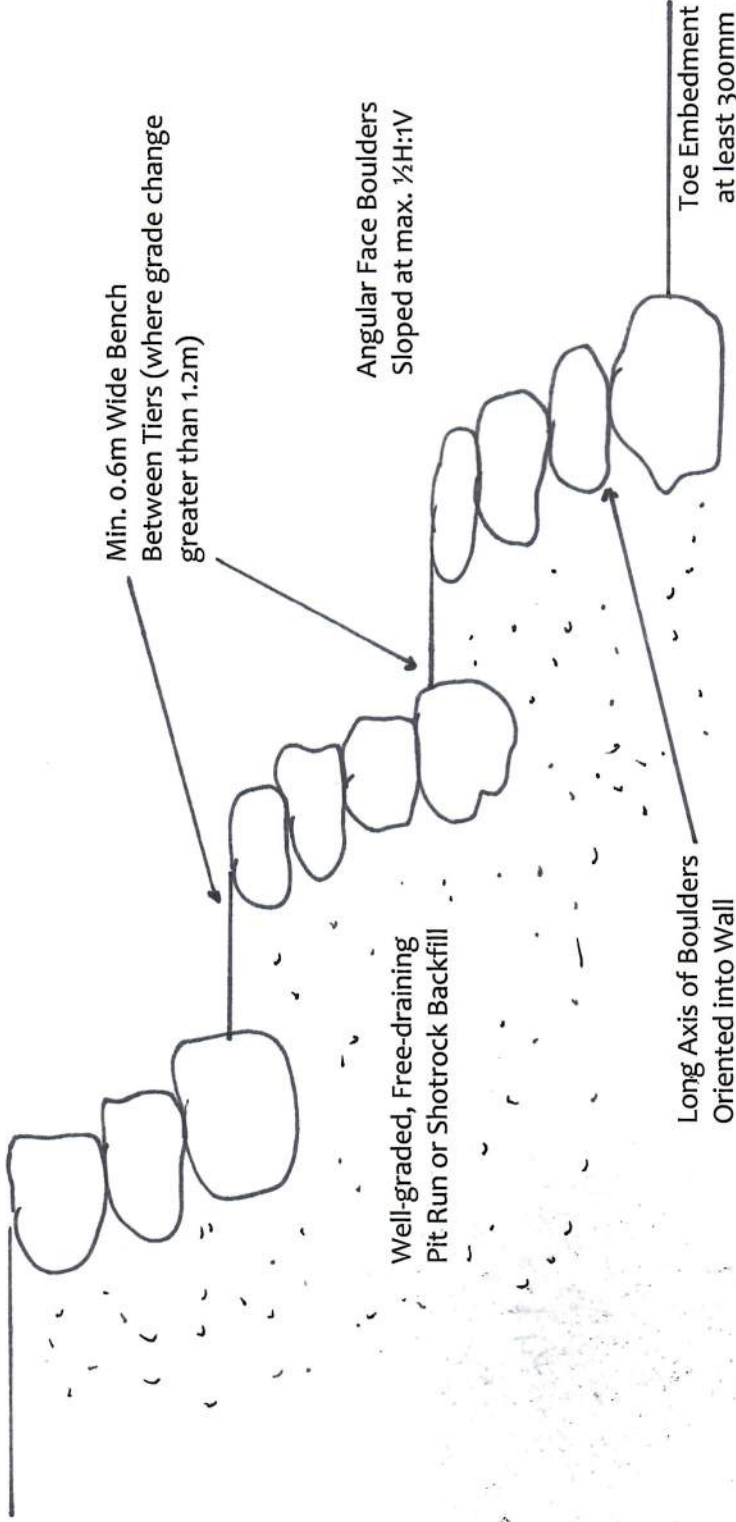
MGE Job#
23V-003

Drawing Title:
Stacked Boulder Wall
Schematic

Drawing 1

Date:
April 13, 2023

Backyard Grade



Min. 0.6m Wide Bench
Between Tiers (where grade change
greater than 1.2m)

Angular Face Boulders
Sloped at max. 1/2H:1V

Well-graded, Free-draining
Pit Run or Shotrock Backfill

Long Axis of Boulders
Oriented into Wall

Toe Embedment
at least 300mm

Subgrade on Compacted Pit Run Sand
and Gravel, as reviewed by MGE

APPENDIX D: LANDSLIDE ASSESSMENT ASSURANCE STATEMENT

Note: This Statement is to be read and completed in conjunction with the "APEGBC Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia", March 2006/Revised September 2008 ("APEGBC Guidelines") and the "2006 BC Building Code (BCBC 2006)" and is to be provided for *landslide assessments* (not floods or flood controls) for the purposes of the Land Title Act, Community Charter or the Local Government Act. Italicized words are defined in the APEGBC Guidelines.

To: The Approving Authority

Date: April 13, 2023

City of Colwood Building Dept.

Jurisdiction and address

With reference to (check one):

- Land Title Act (Section 86) – Subdivision Approval
- Local Government Act (Sections 919.1 and 920) – Development Permit
- Community Charter (Section 56) – Building Permit
- Local Government Act (Section 910) – Flood Plain Bylaw Variance
- Local Government Act (Section 910) – Flood Plain Bylaw Exemption
- British Columbia Building Code 2006 sentences 4.1.8.16 (8) and 9.4 4.4.(2) (Refer to BC Building and Safety Policy Branch Information Bulletin B10-01 issued January 18, 2010)

For the Property:

Lots 44-48 Section 16, Esquimalt District, Plan EPP 117070 (3461, 3463, 3465, 3467, 3469 Trumpeter Street).
Legal description and civic address of the Property

The undersigned hereby gives assurance that he/she is a *Qualified Professional* and is a *Professional Engineer* or *Professional Geoscientist*.

I have signed, sealed and dated, and thereby certified, the attached *landslide assessment* report on the Property in accordance with the *APEGBC Guidelines*. That report must be read in conjunction with this Statement. In preparing that report I have:

Check to the left of applicable items

- 1. Collected and reviewed appropriate background information
- 2. Reviewed the proposed *residential development* on the Property
- 3. Conducted field work on and, if required, beyond the Property
- 4. Reported on the results of the field work on and, if required, beyond the Property
- 5. Considered any changed conditions on and, if required, beyond the Property
- 6. For a *landslide hazard analysis* or *landslide risk analysis* I have:
 - 6.1 reviewed and characterized, if appropriate, any *landslide* that may affect the Property
 - 6.2 estimated the *landslide hazard*
 - 6.3 identified existing and anticipated future *elements at risk* on and, if required, beyond the Property
 - 6.4 estimated the potential *consequences* to those *elements at risk*
- 7. Where the *Approving Authority* has adopted a *level of landslide safety* I have:
 - 7.1 compared the *level of landslide safety* adopted by the *Approving Authority* with the findings of my investigation
 - 7.2 made a finding on the *level of landslide safety* on the Property based on the comparison
 - 7.3 made recommendations to reduce *landslide hazards* and/or *landslide risks*
- 8. Where the *Approving Authority* has **not** adopted a *level of landslide safety* I have:

- 8.1 described the method of *landslide hazard analysis* or *landslide risk analysis* used
- 8.2 referred to an appropriate and identified provincial, national or international guideline for *level of landslide safety*
- 8.3 compared this guideline with the findings of my investigation
- 8.4 made a finding on the *level of landslide safety* on the Property based on the comparison
- 8.5 made recommendations to reduce *landslide hazards* and/or *landslide risks*
- 9. Reported on the requirements for future inspections of the Property and recommended who should conduct those inspections.

Based on my comparison between

Check one

- the findings from the investigation and the adopted *level of landslide safety* (item 7.2 above)
- the appropriate and identified provincial, national or international guideline for *level of landslide safety* (item 8.4 above)

I hereby give my assurance that, based on the conditions^[1] contained in the attached *landslide assessment report*,

Check one

- for subdivision approval, as required by the Land Title Act (Section 86), "that the land may be used safely for the use intended"

Check one

- with one or more recommended registered covenants.
- without any registered covenant.

- for a development permit, as required by the Local Government Act (Sections 919.1 and 920), my report will "assist the local government in determining what conditions or requirements under [Section 920] subsection (7.1) it will impose in the permit".
- for a building permit, as required by the Community Charter (Section 56), "the land may be used safely for the use intended"
 - Check one
 - with one or more recommended registered covenants.
 - without any registered covenant.
- for flood plain bylaw variance, as required by the "Flood Hazard Area Land Use Management Guidelines" associated with the Local Government Act (Section 910), "the development may occur safely".
- for flood plain bylaw exemption, as required by the Local Government Act (Section 910), "the land may be used safely for the use intended".

Alec Morse, P.Eng.
Name (print)

April 13, 2023
Date

[Signature]
Signature

^[1] When seismic slope stability assessments are involved, *level of landslide safety* is considered to be a "life safety" criteria as described in the National Building Code of Canada (NBCC 2005), Commentary on Design for Seismic Effects in the User's Guide, Structural Commentaries, Part 4 of Division B. This states:

"The primary objective of seismic design is to provide an acceptable level of safety for building occupants and the general public as the building responds to strong ground motion; in other words, to minimize loss of life. This implies that, although there will likely be extensive structural and non-structural damage, during the DGM (design ground motion), there is a reasonable degree of confidence that the building will not collapse nor will its attachments break off and fall on people near the building. This performance level is termed 'extensive damage' because, although the structure may be heavily damaged and may have lost a substantial amount of its initial strength and stiffness, it retains some margin of resistance against collapse."

740 Comper Street
Address
Victoria BC
250-661-8335
Telephone

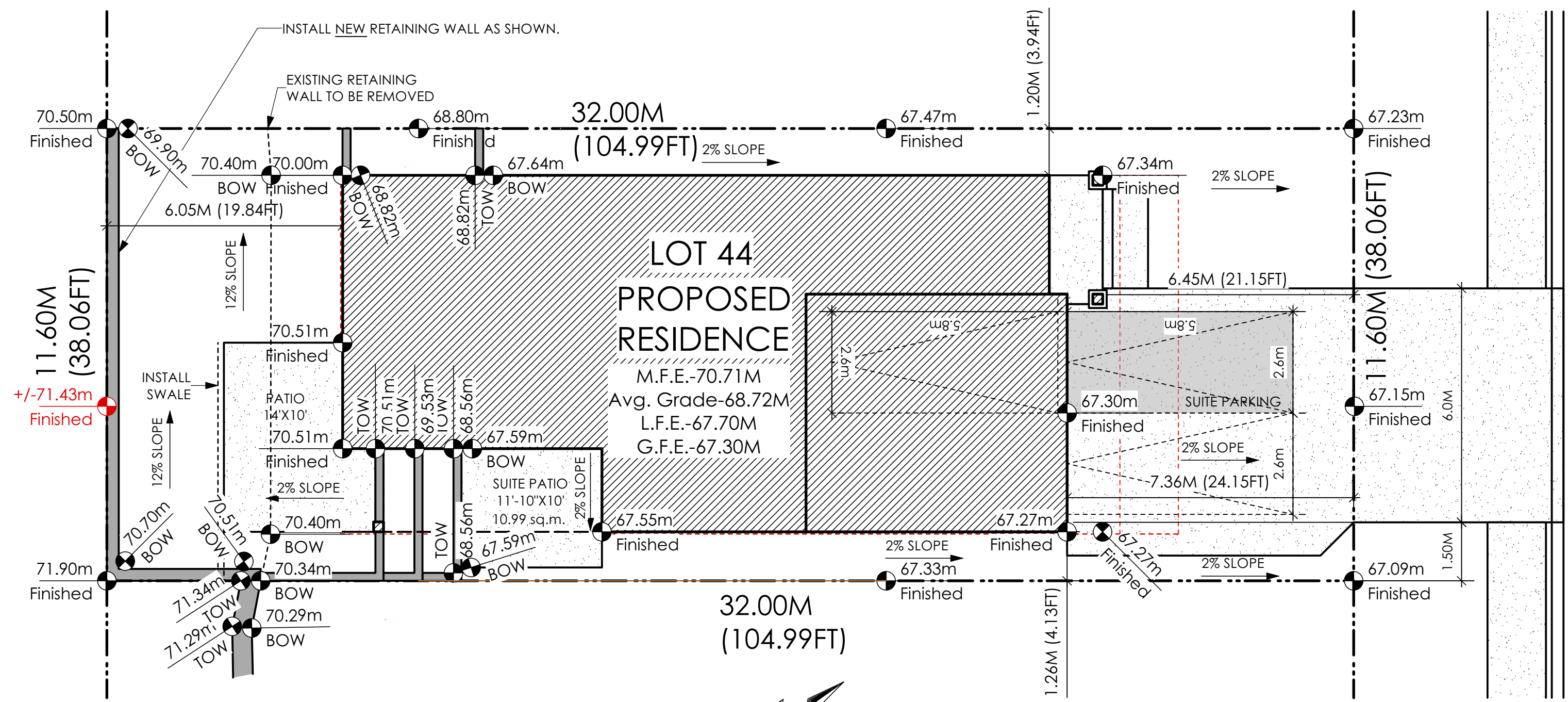


(Affix Professional seal here)

If the *Qualified Professional* is a member of a firm, complete the following.

I am a member of the firm MGE Services Inc
and I sign this letter on behalf of the firm. (Print name of firm)

Schedule 2

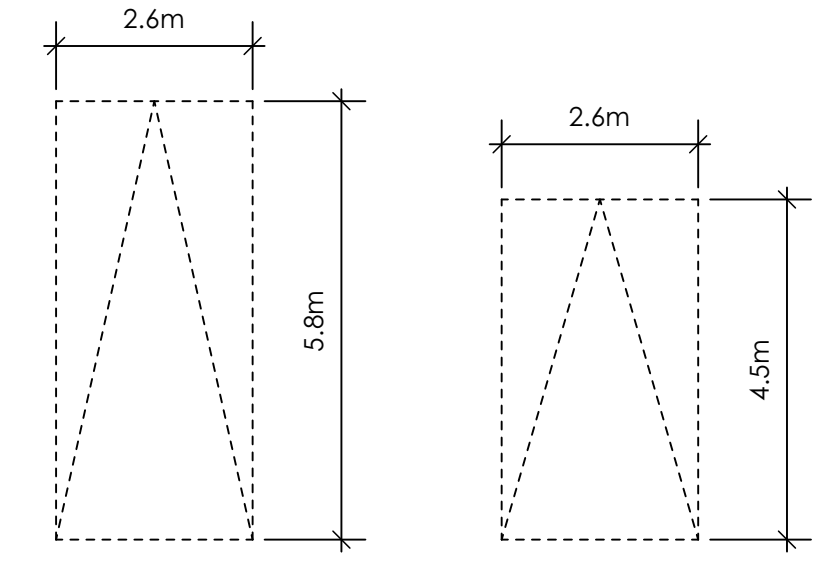


1 Siteplan
Scale: 1:100

AVERAGE NATURAL GRADE CALCULATION
70.00 m. + 70.21 m. + 67.32 m. + 67.34 m. = 274.87 m.
divided by 4 = ave. grade 68.72 m.

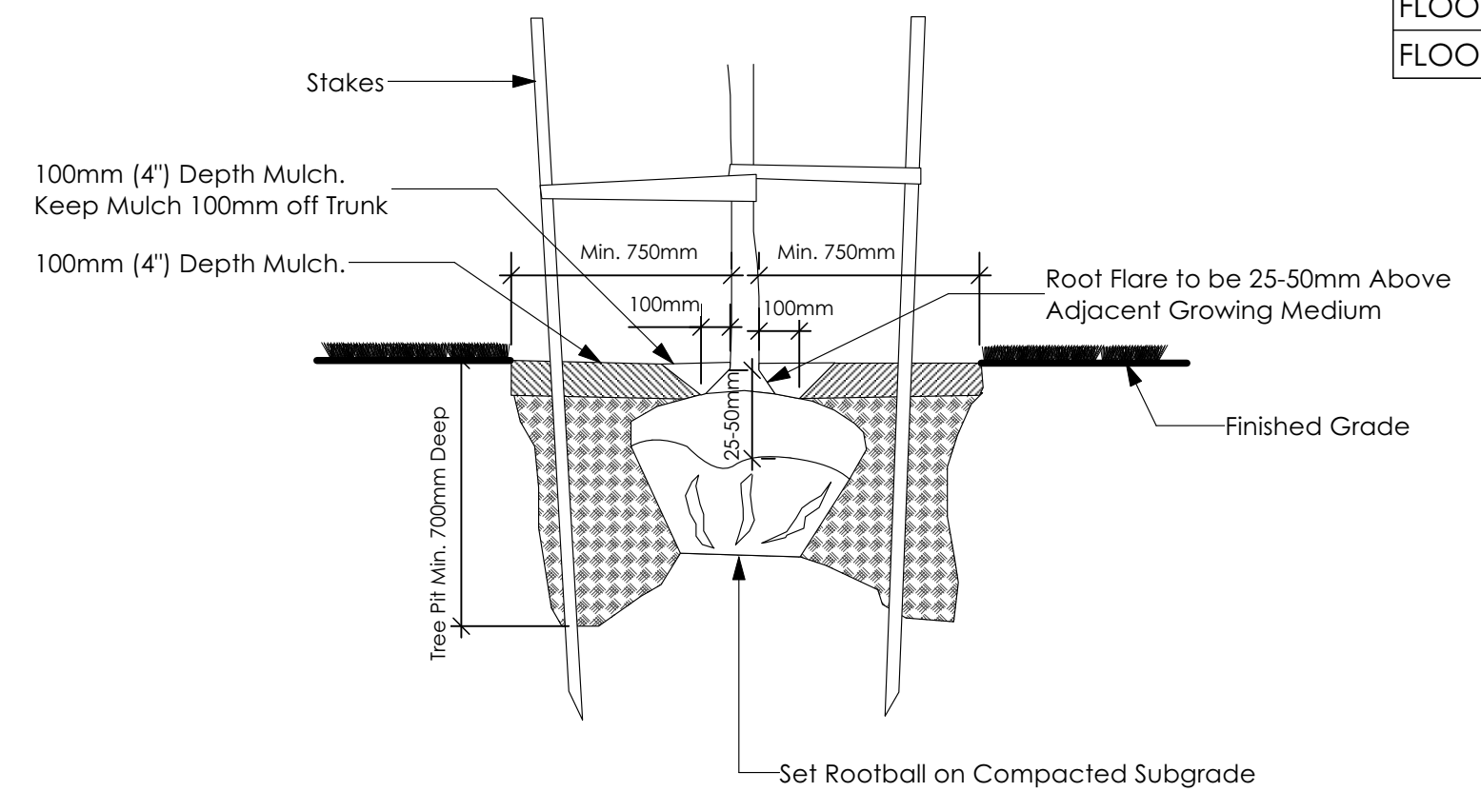
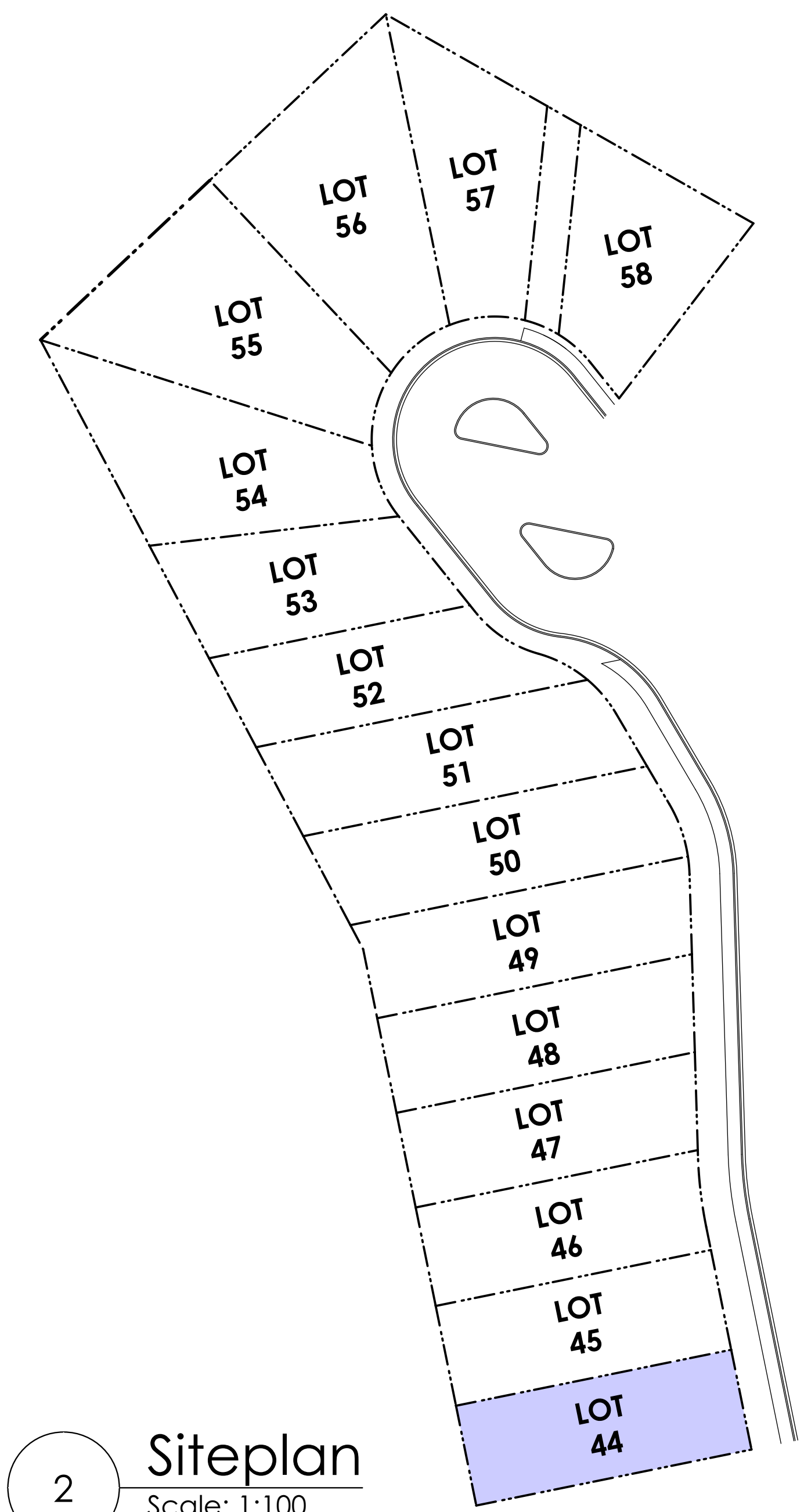
SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
X.X.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

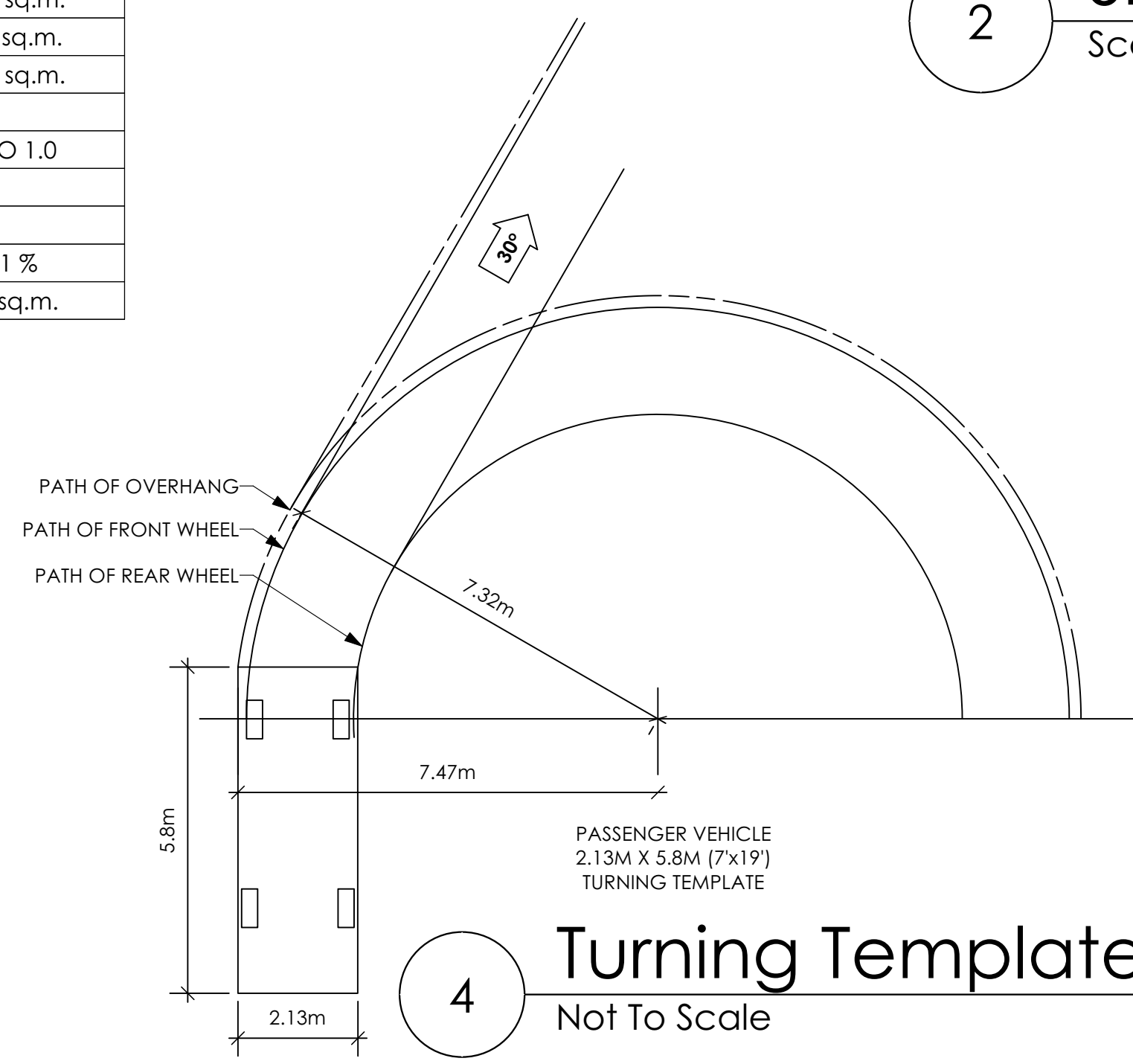


SITE DATA	RBCD5	LOT 44
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	371.20 sq.m.
LOT COVERAGE	50.00 %	43.29 %
BUILDING HEIGHT	9.50 m.	6.24 m.
LOT WIDTH	10.97 m.	11.60 m.
SETBACKS		
- FRONT	4.50 m.	6.45 m.
- FRONT (GARAGE)	6.00 m.	7.36 m.
- REAR	6.00 m.	6.05 m.
- SIDE	1.20 m.	1.20 m.
- SIDE	1.20 m.	1.26 m.
PROPOSED FLOOR AREA		
- MAIN		138.73 sq.m.
- LOWER		113.54 sq.m.
- GARAGE		40.88 sq.m.
SUB-TOTAL G.F.A.		293.15 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-40.88 sq.m.
GROSS FLOOR AREA		252.27 sq.m.
F.A.R.		0.68 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	34.61 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	87.30 sq.m.

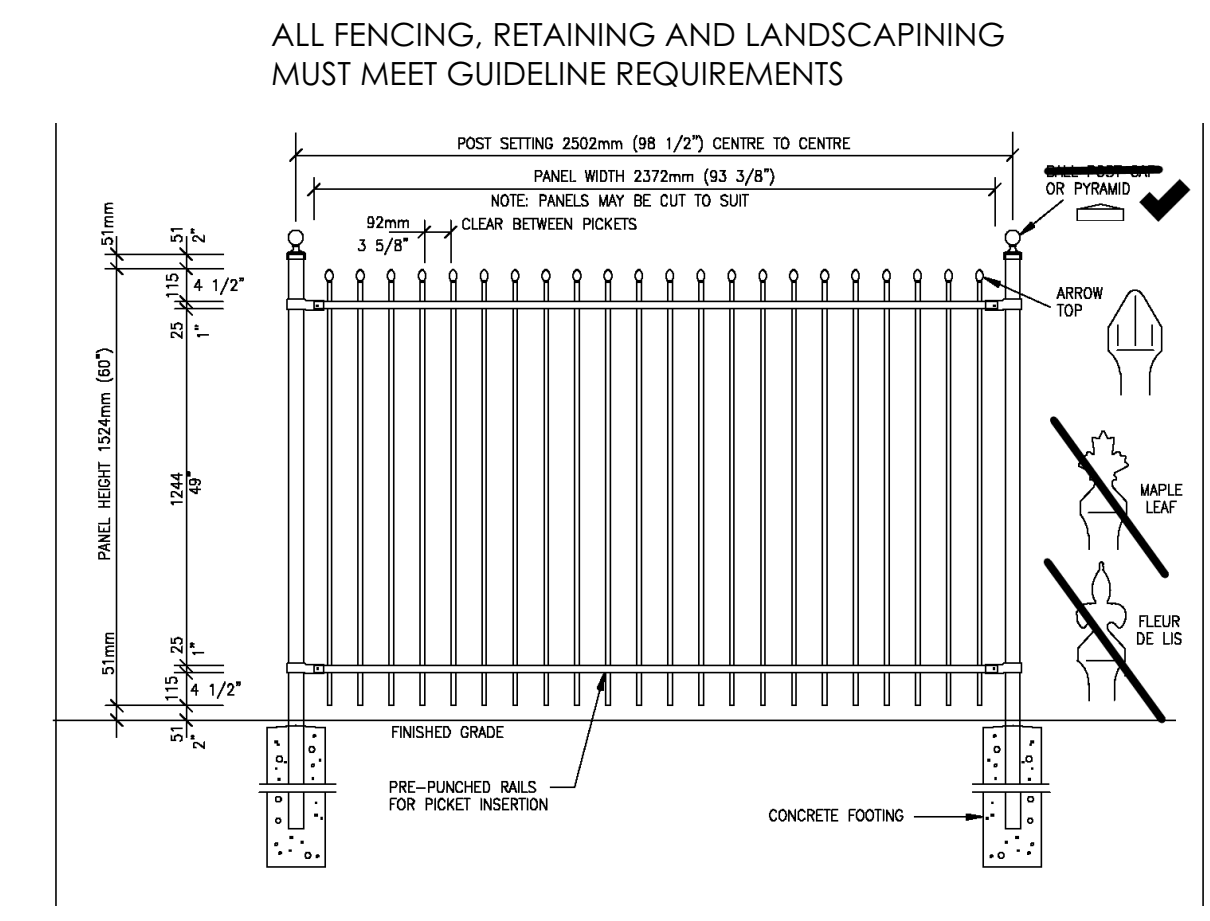
2 Siteplan
Scale: 1:100



3 Tree Planting Detail
Not To Scale
All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep



4 Turning Template
Not To Scale



5 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

Schooner Traditional
Date
Feb 2, 2023

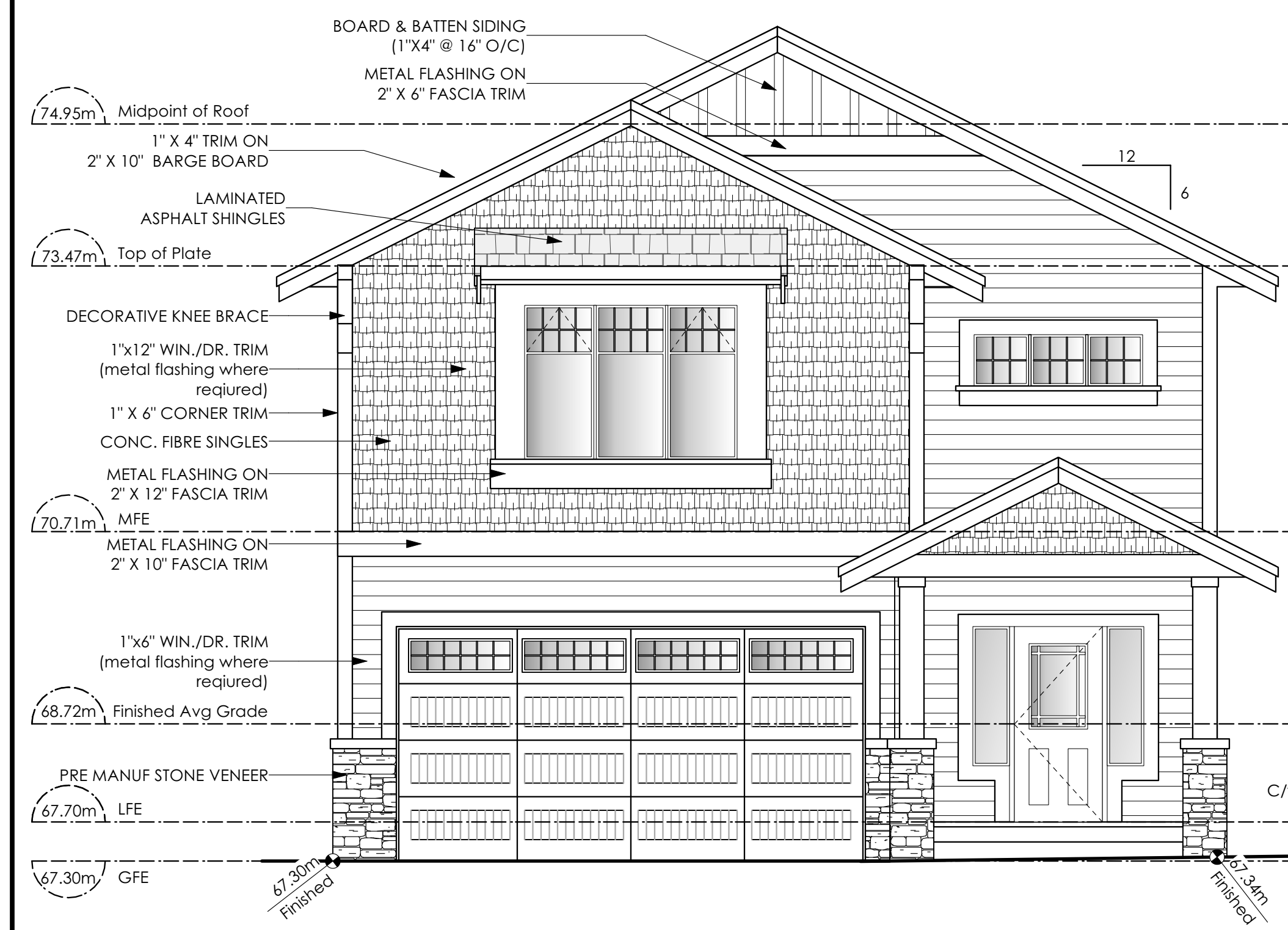
Project Address
3461 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298

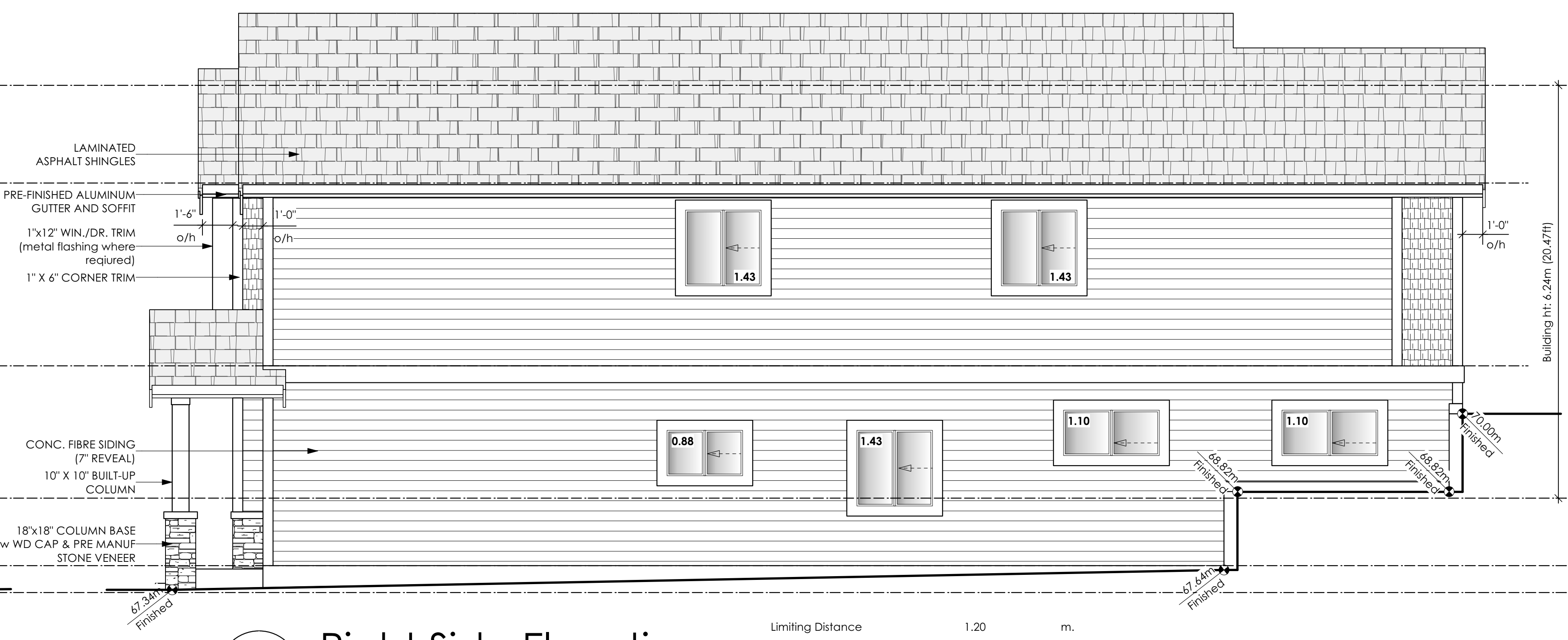
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As Noted

Drawn By
MRB

Development Permit Presentation

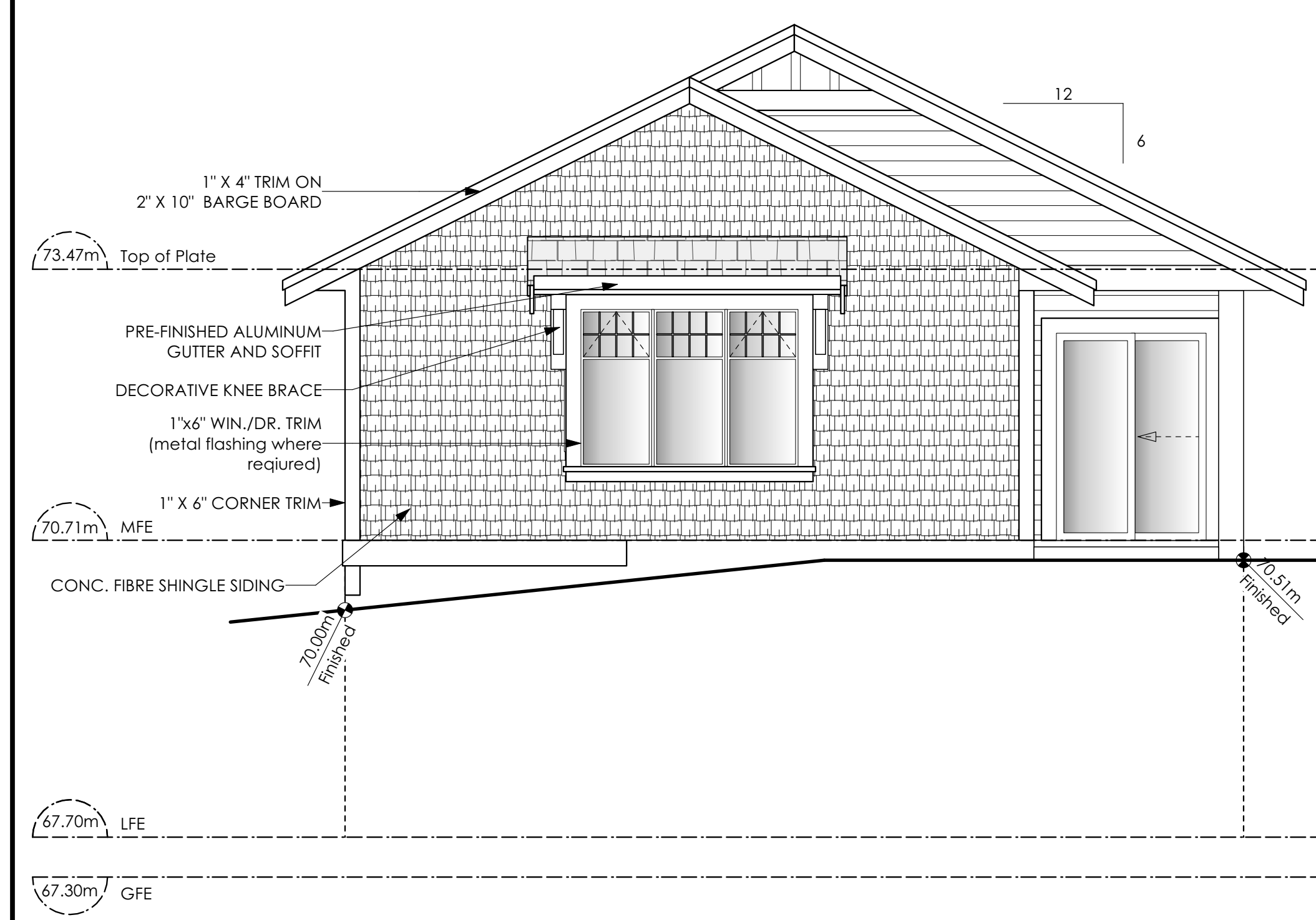


1 Front Elevation
Scale: 1/4" = 1'-0"



2 Right Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	106.54	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.46	sq.m.
Proposed Openings	7.37	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"



4 Left Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.26	m.
Exposed Building Face	105.58	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.39	sq.m.
Proposed Openings	4.26	sq.m.

Schooner Traditional
Date
Feb 2, 2023

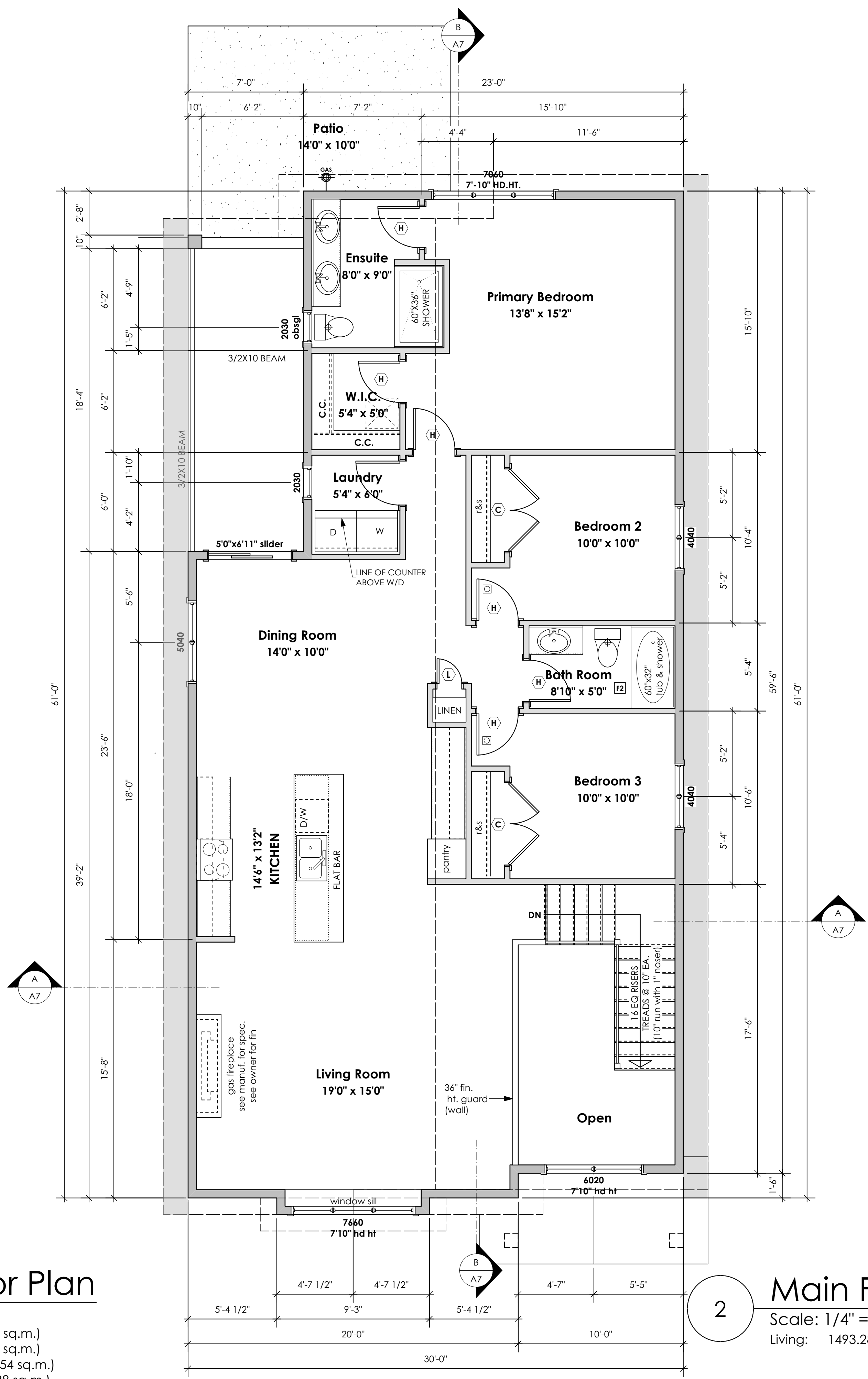
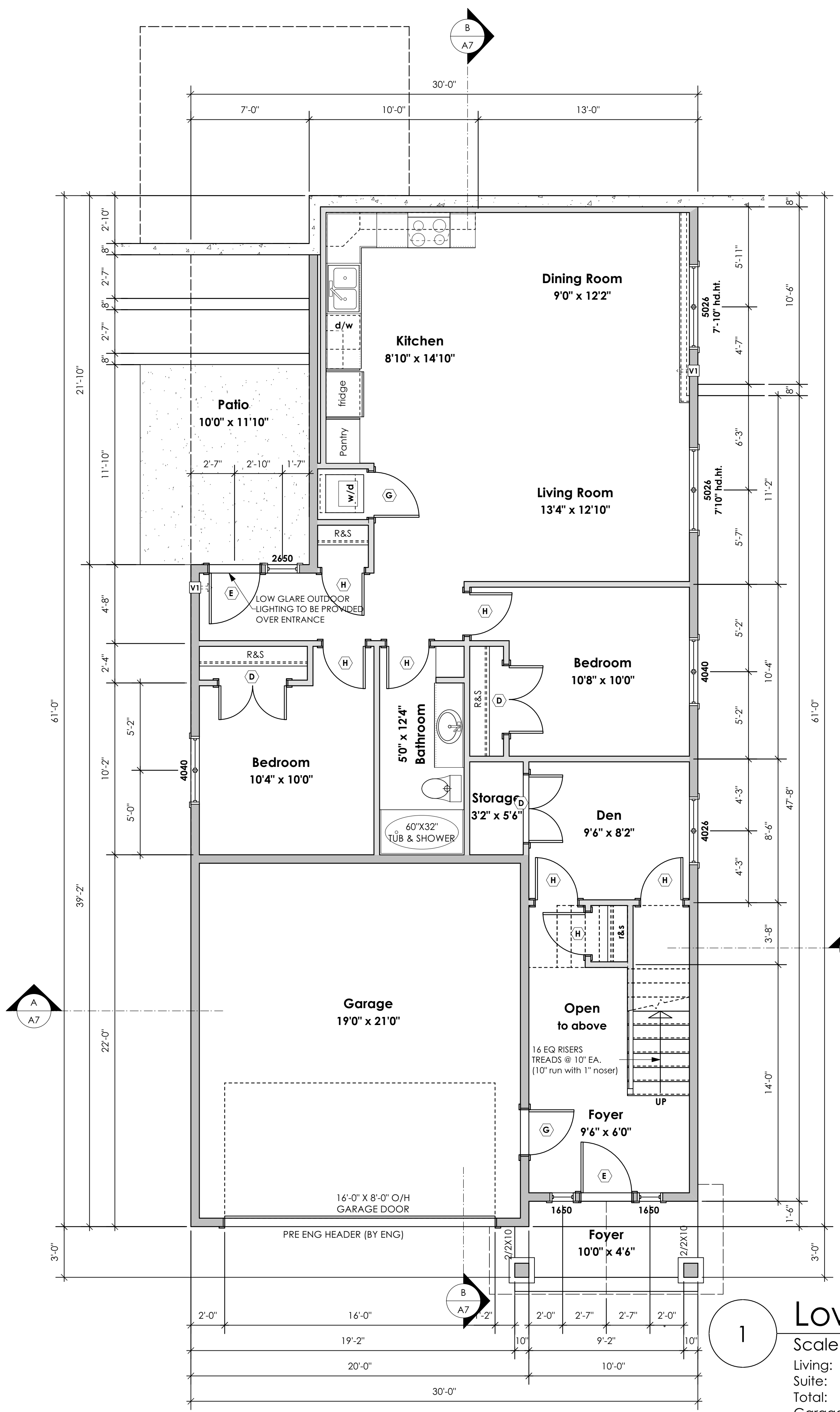
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Scale
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Development Permit Presentation



Schooner Traditional
Date
Feb 2, 2023

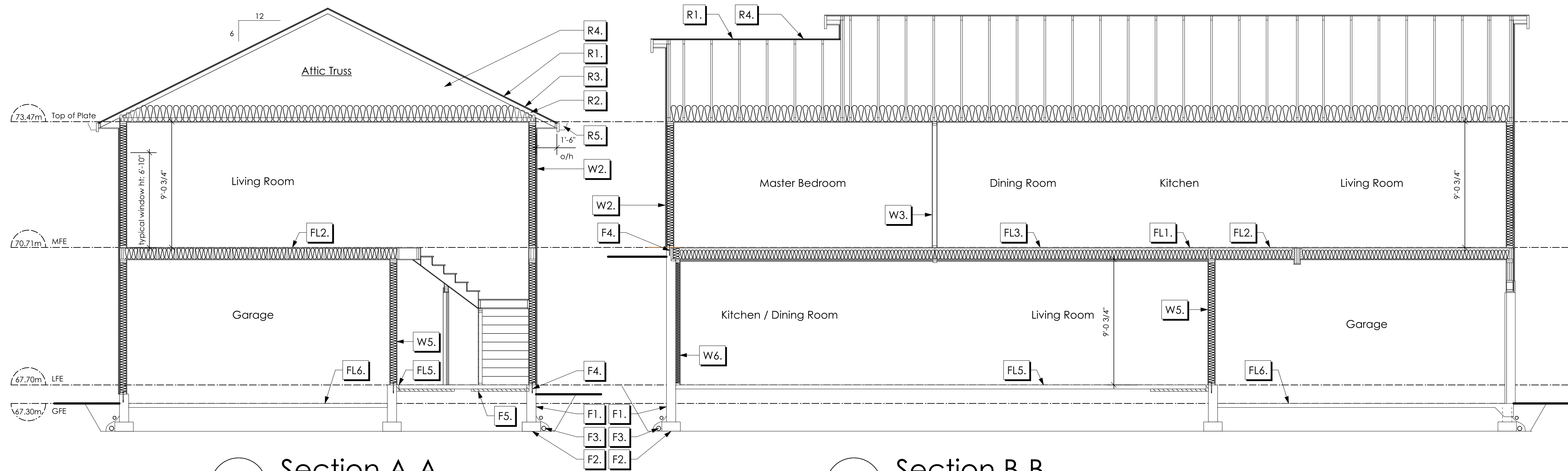
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Verity Construction

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8298

Scale
As Noted

Drawn By
MRB

Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"

2 Section B-B
Scale: 1/4" = 1'-0"

STRUCTURAL WOOD ELEMENTS WITHIN 150mm (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
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- FL3. B.C. BUILDING CODE (TABLE-9.10.3.1.8) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
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- FL5. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL7. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD C/W "H" CLIPS TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2x4 WOOD STRAPPING @ 16" O/C 2x10 ROOF JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R. (NOT SHOWN IN SECTION)

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- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING BUILDING WRAP ON 7/16" ORIENTED STRAND BOARD SHEATHING 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
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- W4. PRE-MANUFACTURED STONE VENEER (INSTALLED TO MANUF. SPEC) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" (AS REQUIRED) (NOT SHOWN IN SECTION)

FOUNDATION WALLS

- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL POLYN V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W6. 1/2" GYPSUM BOARD ON 6 MIL POLYN V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.1.6.)
- W7. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

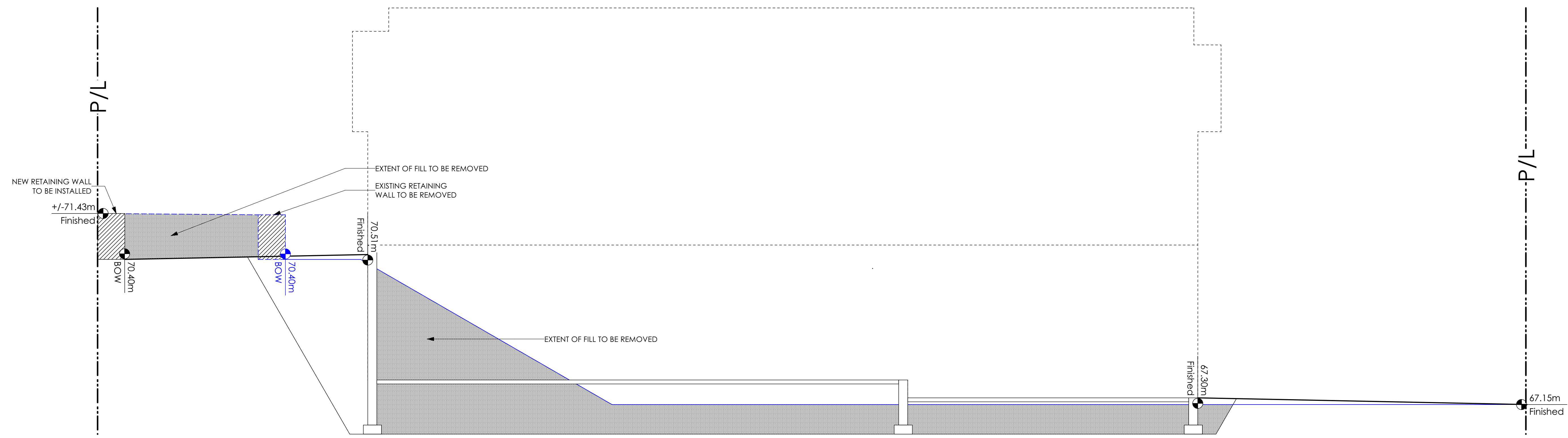
Schooner Traditional
Date
Feb 2, 2023

Project Address
3461 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298

Scale
As Noted

Drawn By
MRB



1 Lot 44 Site Section
Scale: 1/4" = 1'-0"

Schooner Traditional
Date
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Development Permit Presentation

MUNICIPAL ADDRESS 3461 Trumpeter Street	P.I.D.
LOT 44	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES
ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) 67.70

FRONT ELEV. 67.34 REAR ELEV. 70.25/70.00
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE 67.27/67.30

ACTUAL TOP OF FOOTING ELEVATION (ATF) not provided

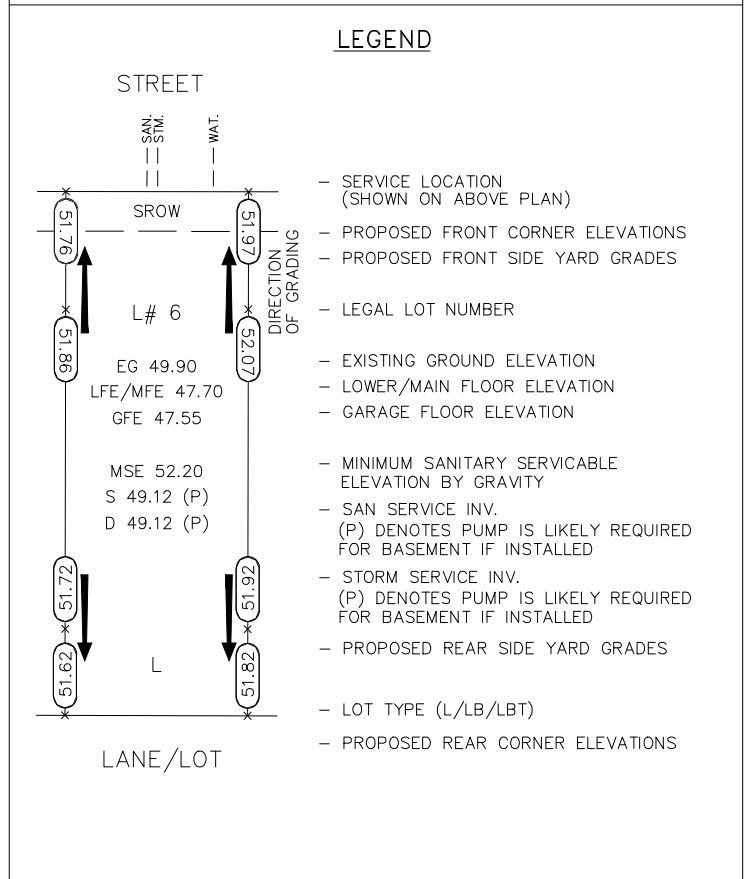
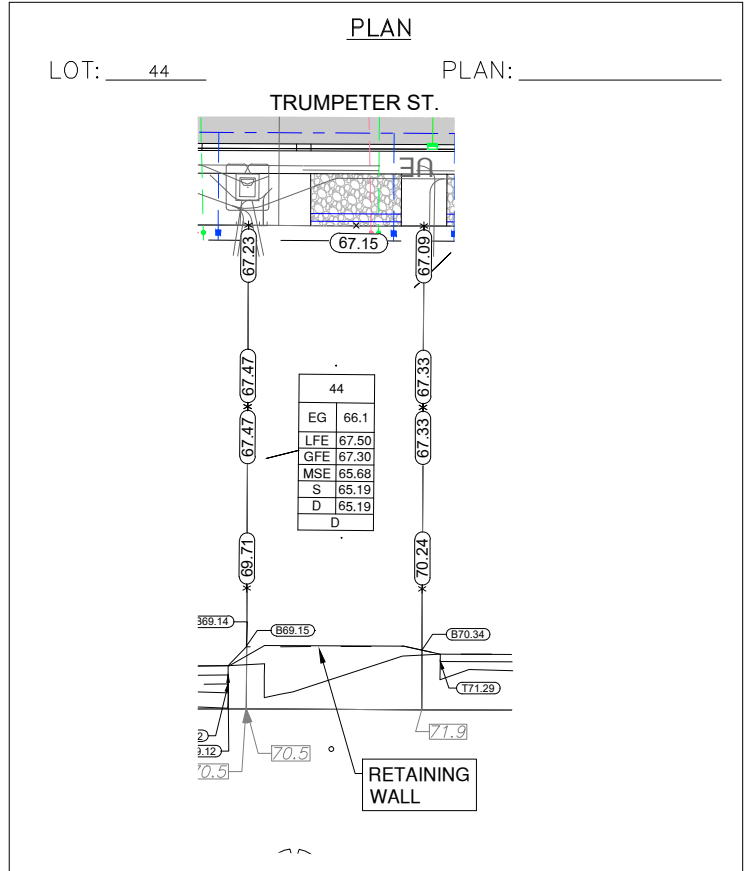
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) not provided

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____

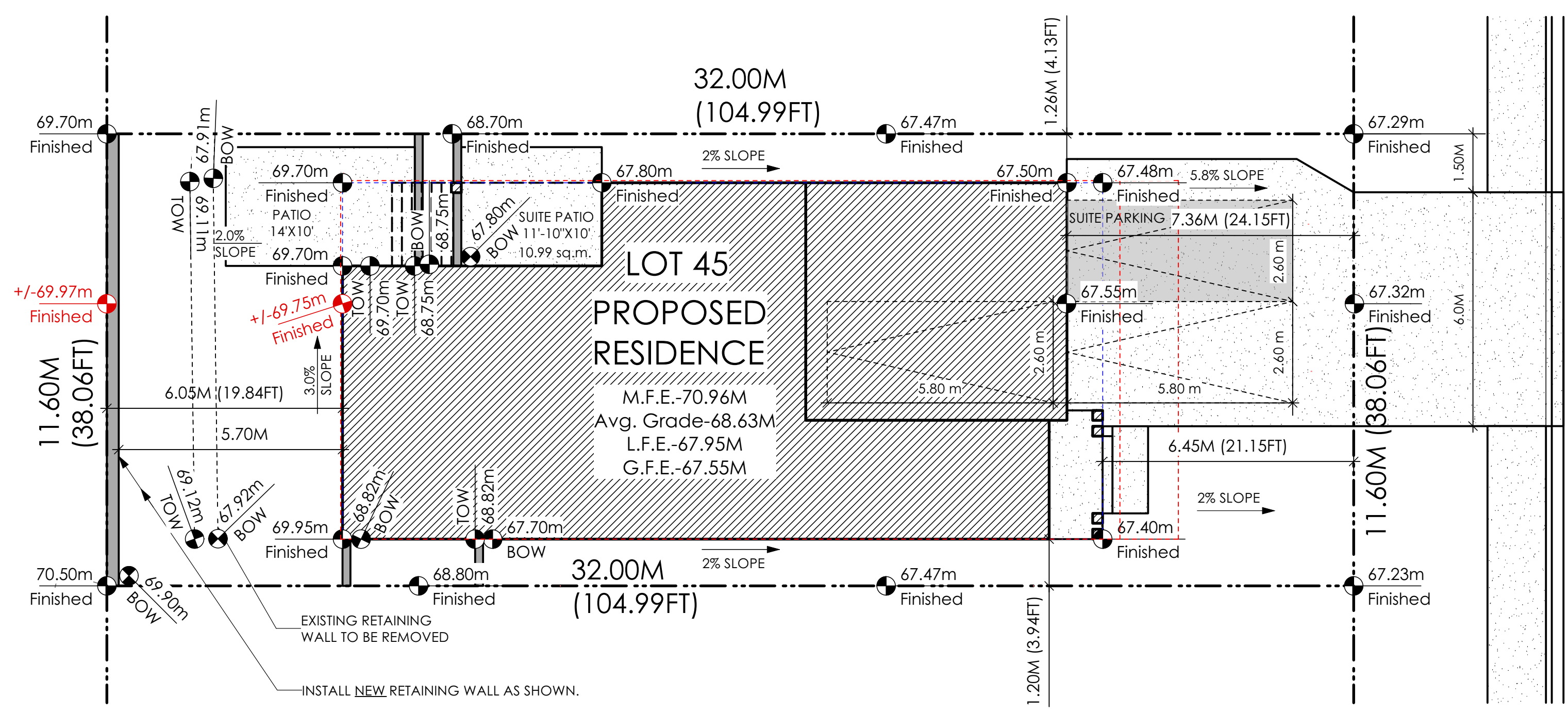


I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

C. Hume - October 4/22
ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

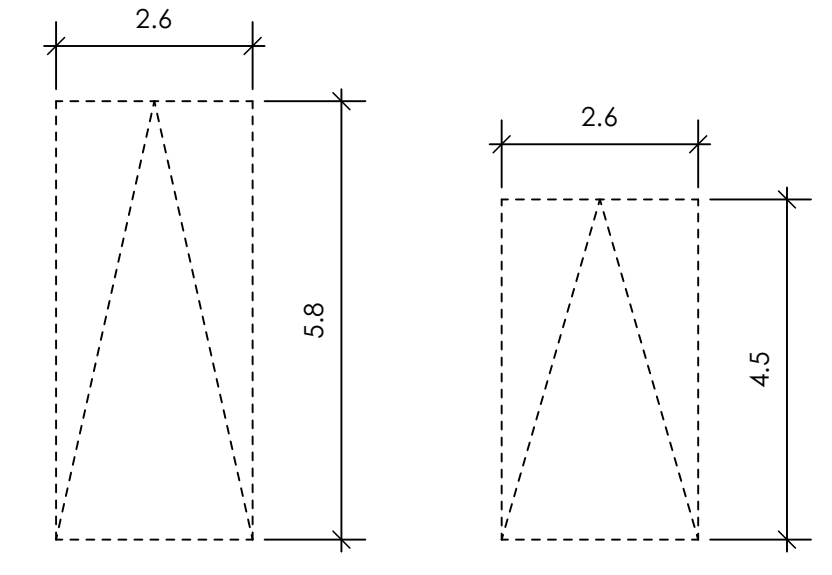


1 Siteplan
Scale: 1:100

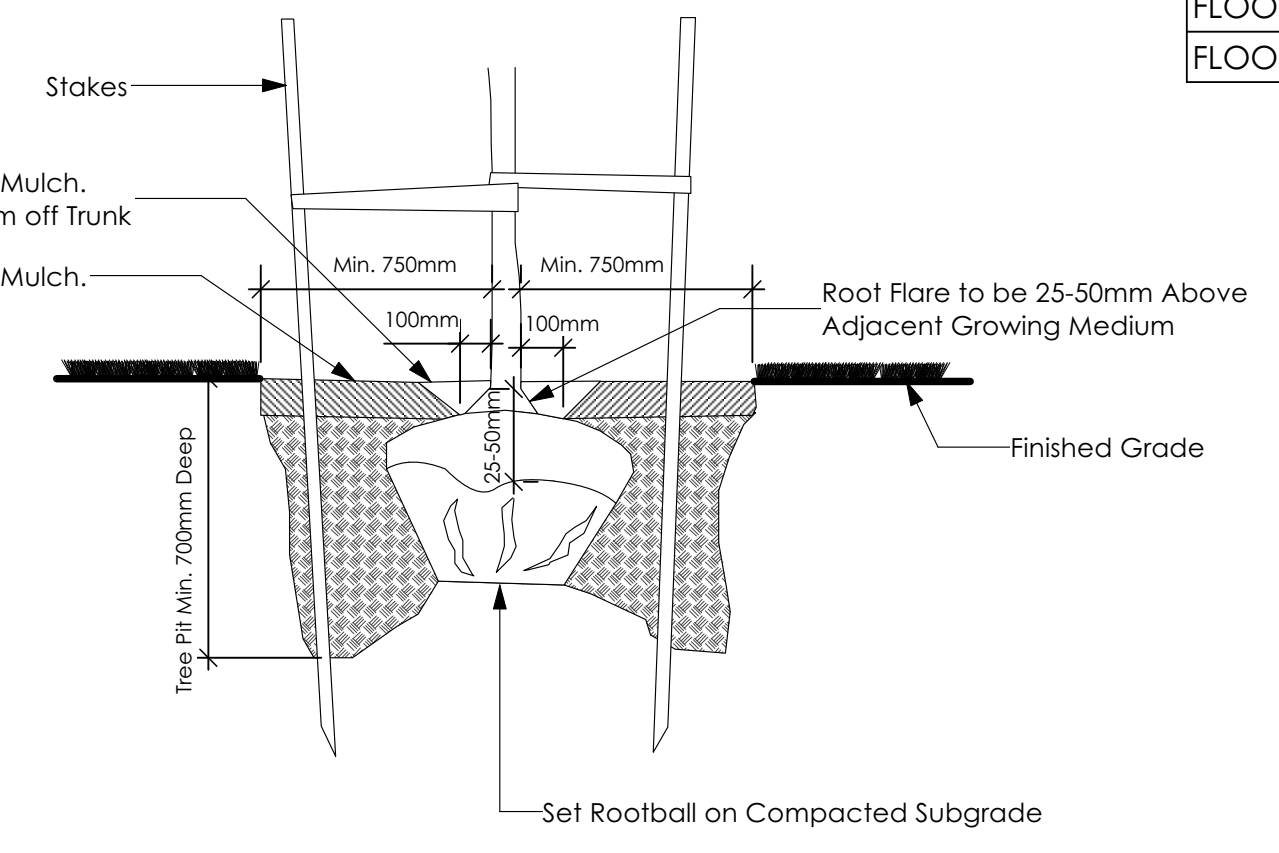
AVERAGE NATURAL GRADE CALCULATION
69.70 m. + 69.95 m. + 67.40 m. + 67.48 m. = 274.53 m.
divided by 4 = ave. grade 68.63 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

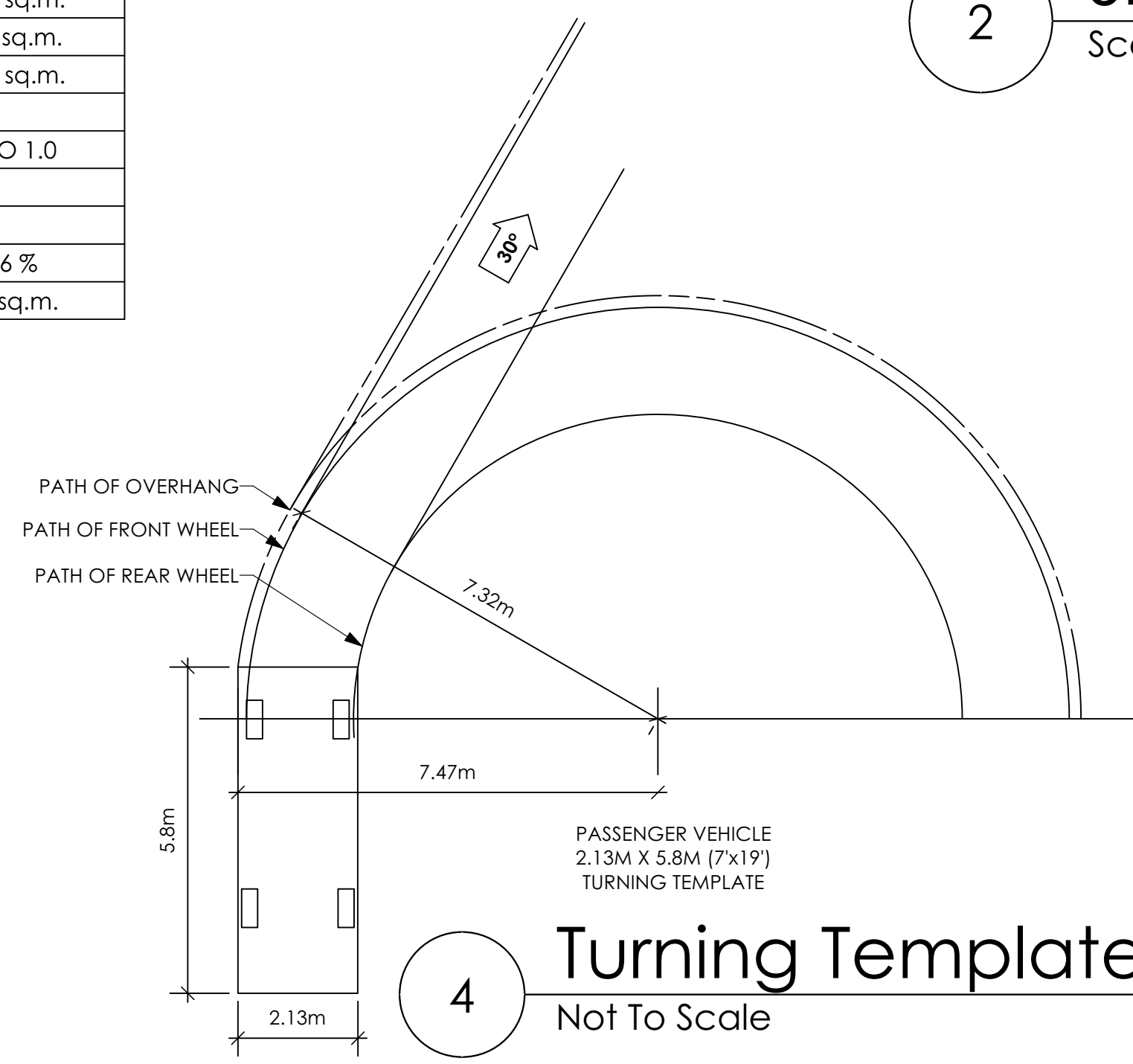
RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



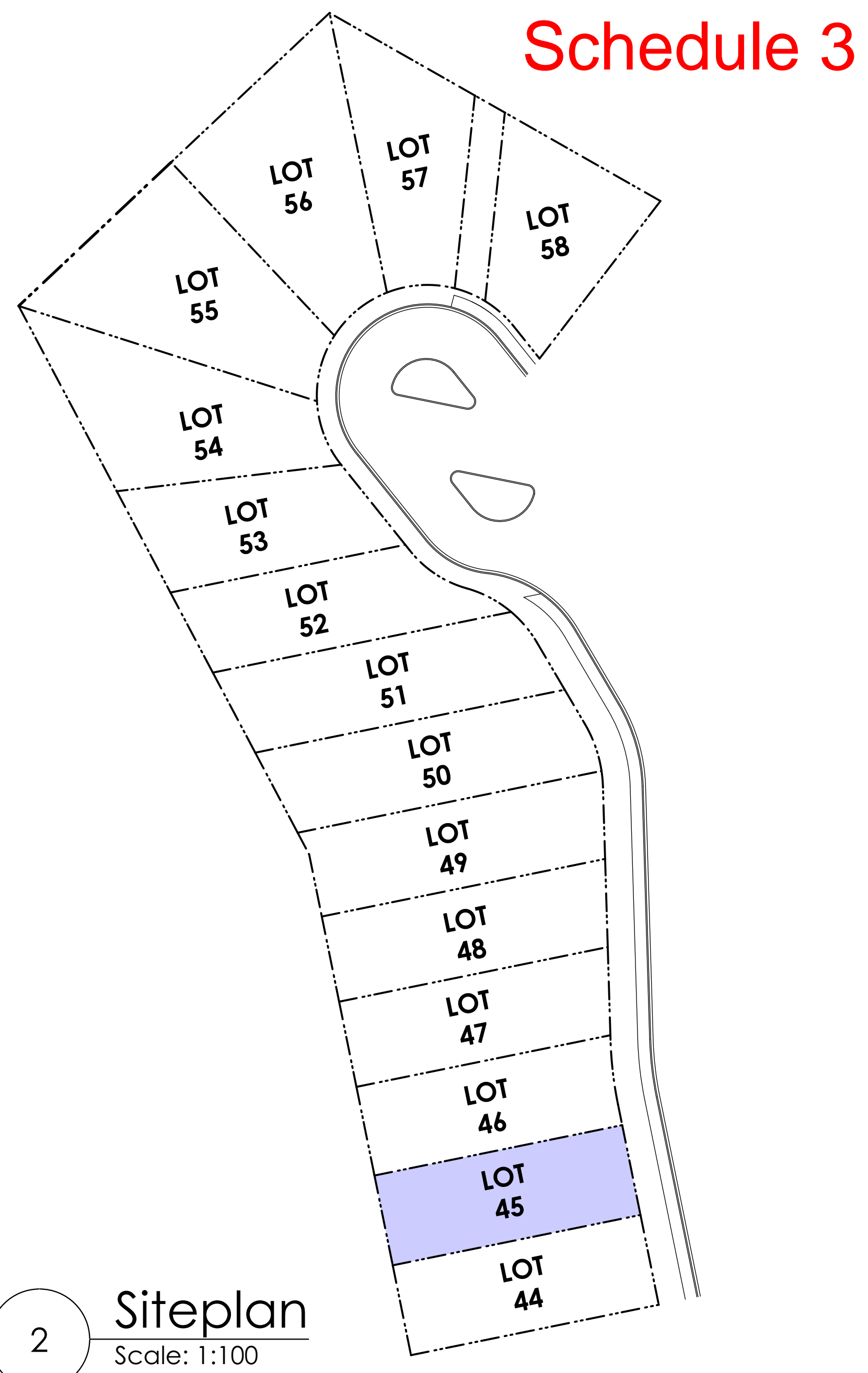
SITE DATA	RBCD5	LOT 45
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	371.20 sq.m.
LOT COVERAGE	50.00 %	45.50 %
BUILDING HEIGHT	9.50 m.	6.33 m.
LOT WIDTH	10.97 m.	11.60 m.
SETBACKS		
- FRONT	4.50 m.	6.45 m.
- FRONT (GARAGE)	6.00 m.	7.36 m.
- REAR	6.00 m.	6.05 m.
- SIDE	1.20 m.	1.26 m.
- SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- MAIN		140.57 sq.m.
- LOWER		113.54 sq.m.
- GARAGE		40.88 sq.m.
SUB-TOTAL G.F.A.		294.99 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-40.88 sq.m.
GROSS FLOOR AREA		254.11 sq.m.
F.A.R.		0.68 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	34.36 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	87.30 sq.m.



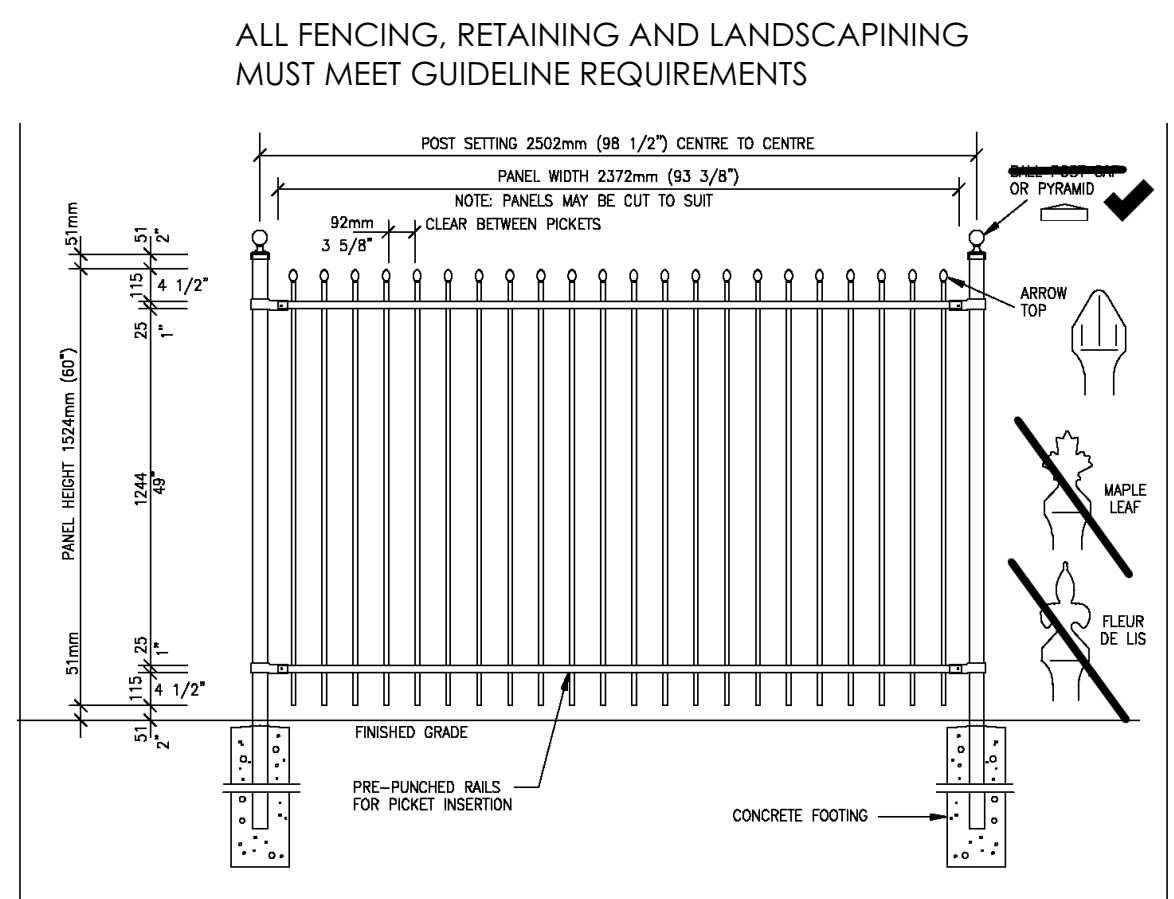
3 Tree Planting Detail
Not To Scale
All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep



4 Turning Template
Not To Scale



2 Siteplan
Scale: 1:100



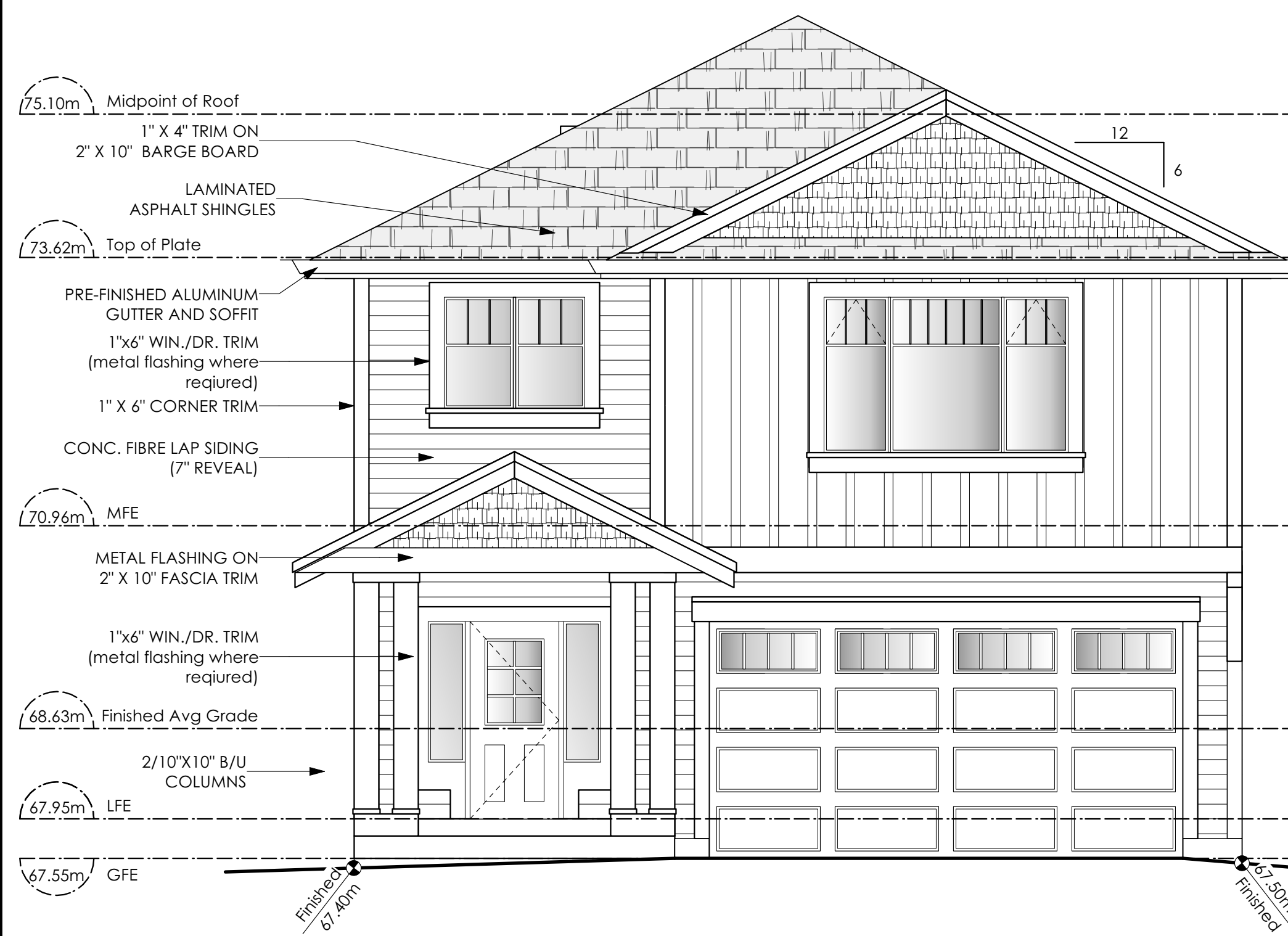
5 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

Schooner Coastal
Date
Feb 2, 2023

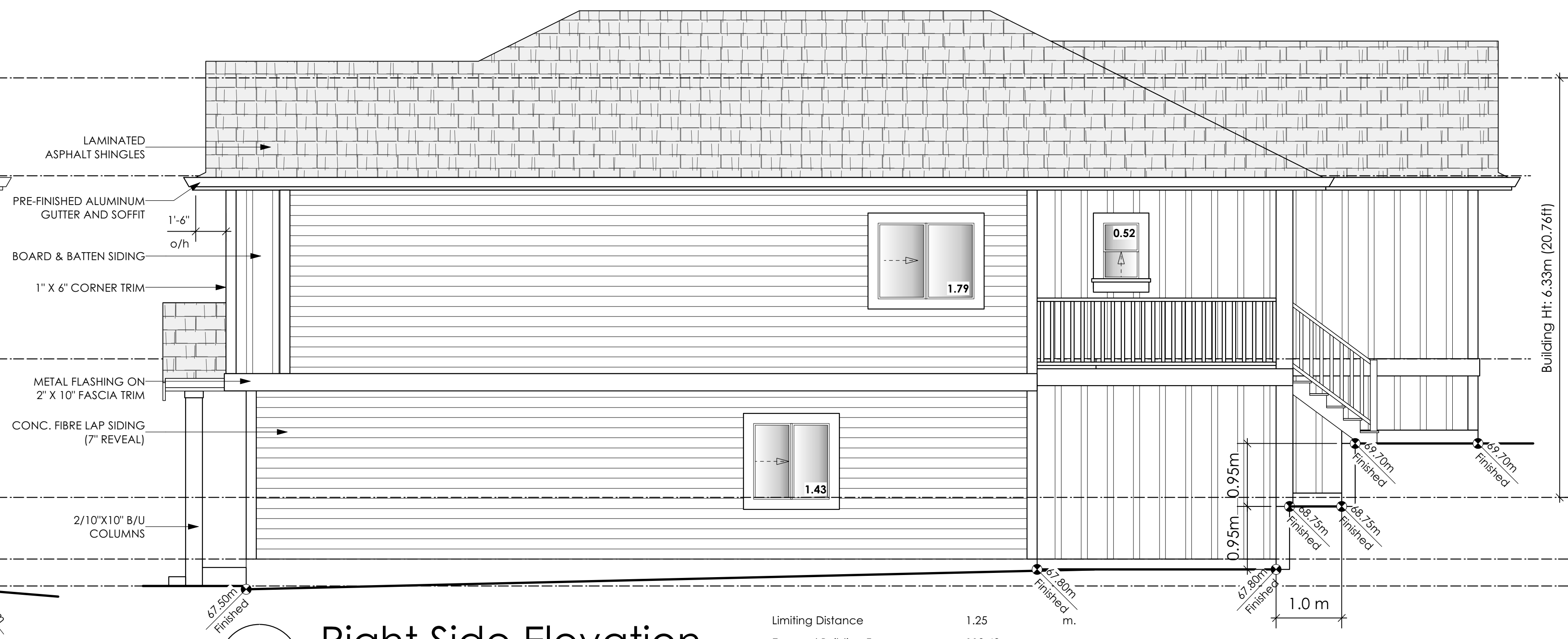
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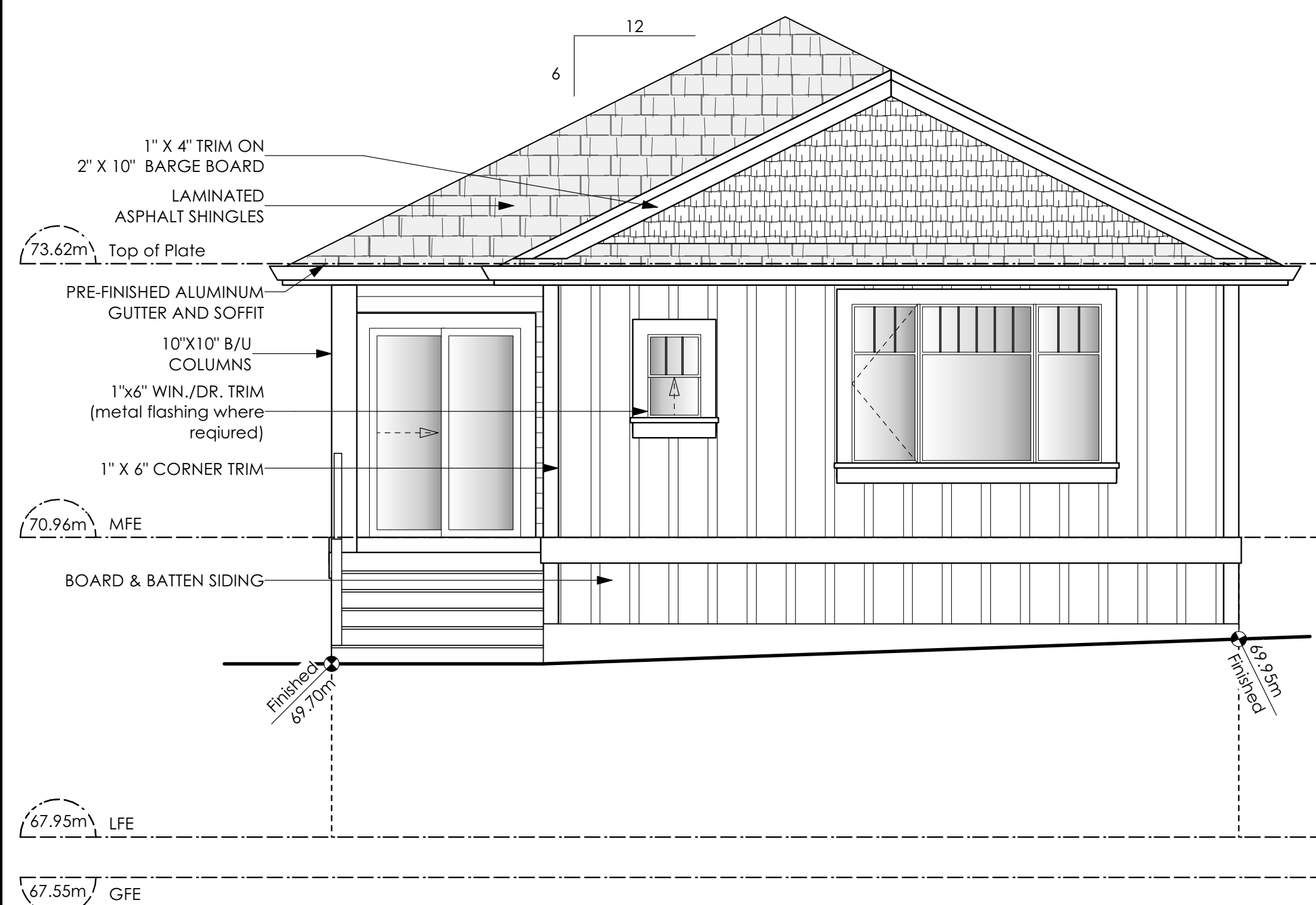


1 Front Elevation
Scale: 1/4" = 1'-0"

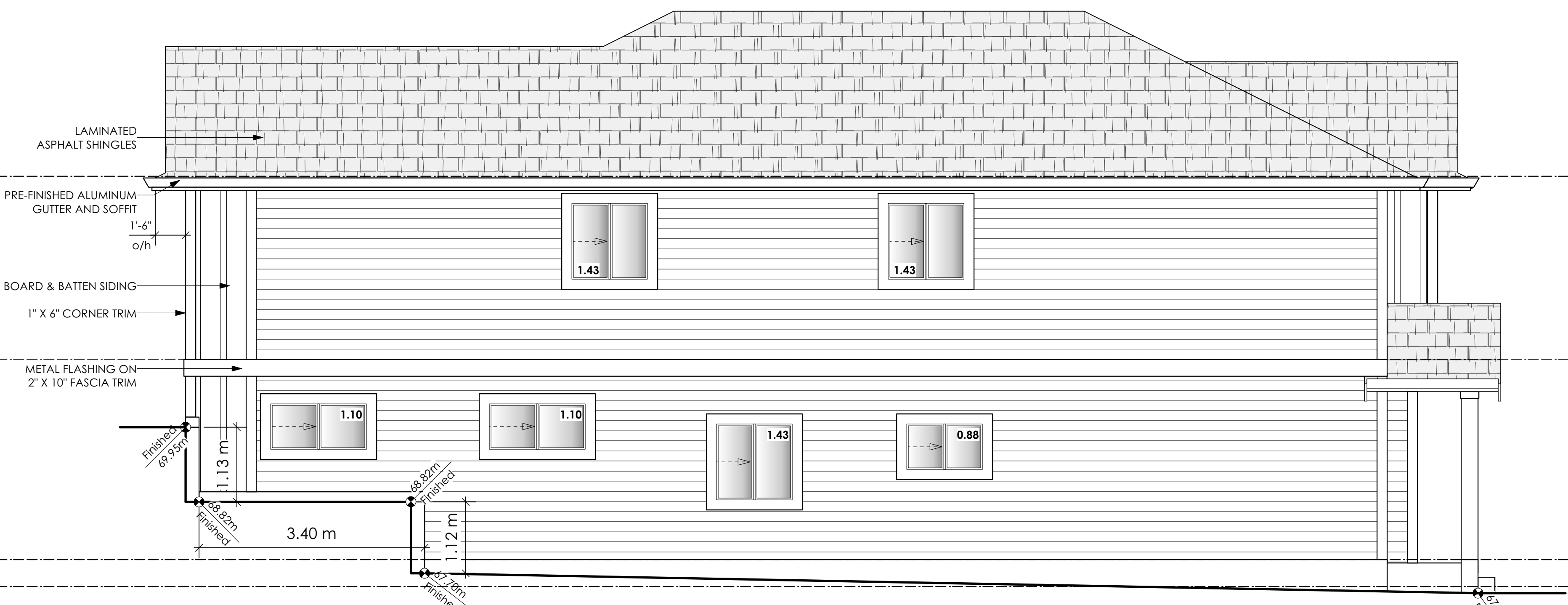


2 Right Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.25	
Exposed Building Face	110.49	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.73	sq.m.
Proposed Openings	3.74	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"



4 Left Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	106.95	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.49	sq.m.
Proposed Openings	7.37	sq.m.

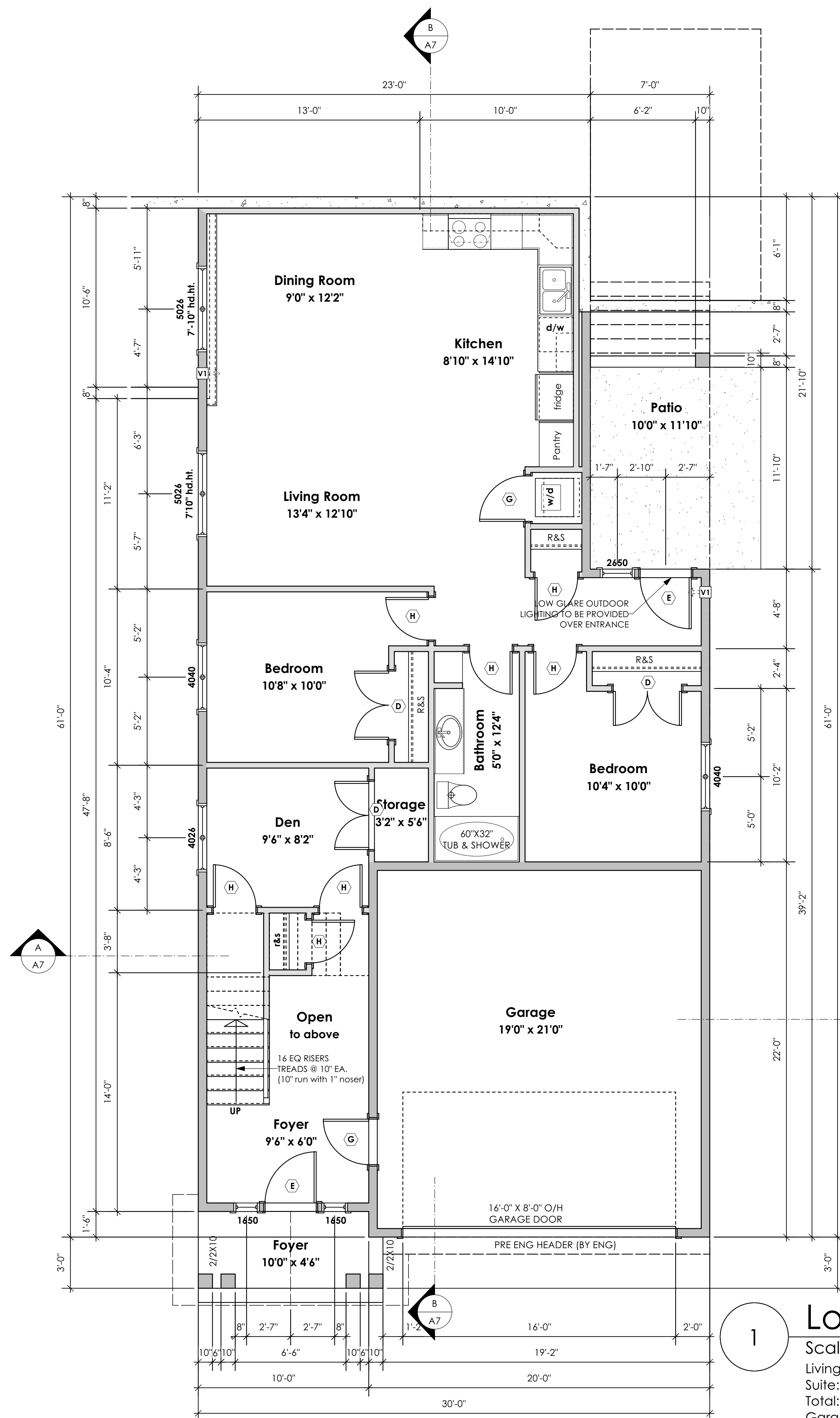
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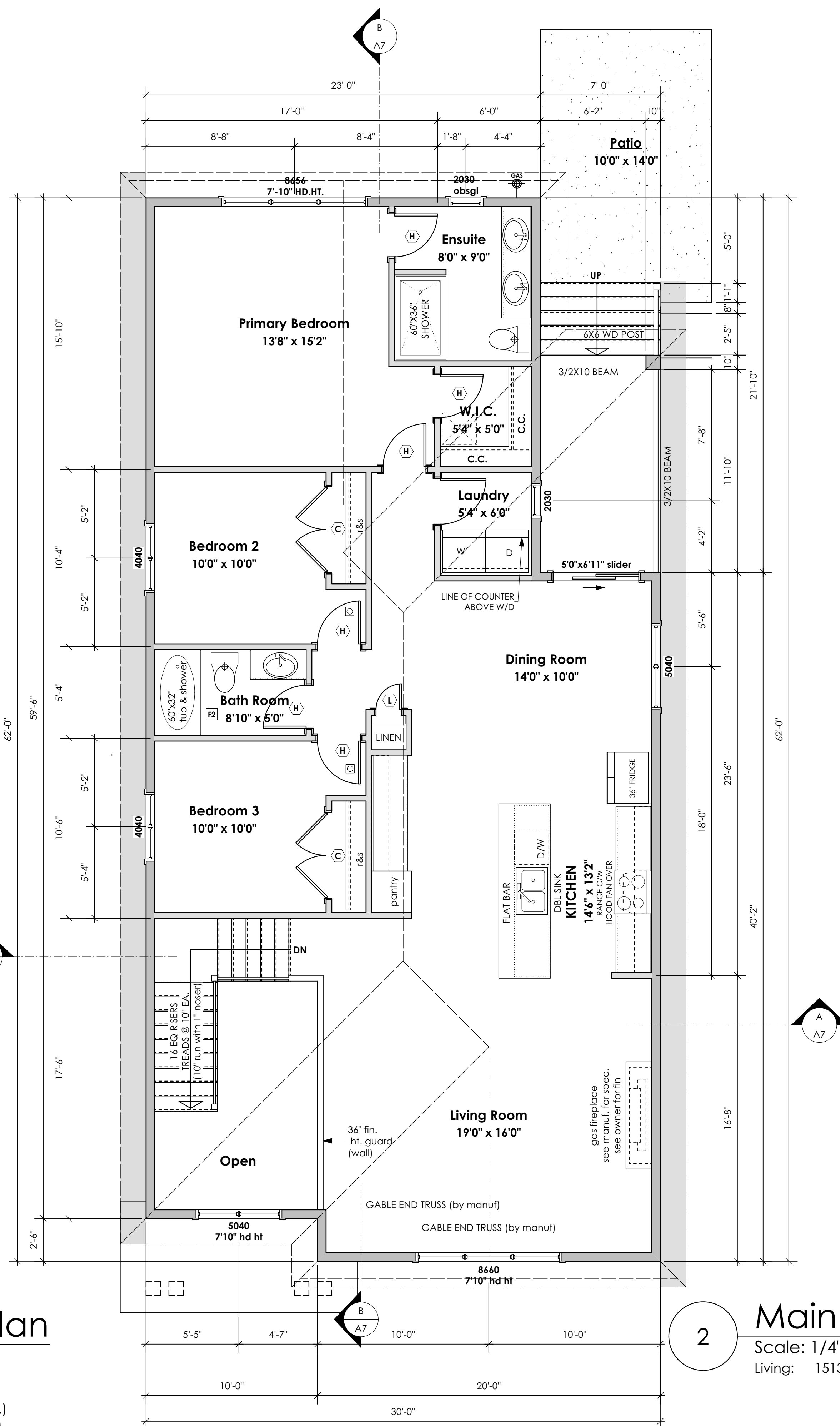
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1 Lower Floor Plan
Scale: 1/4" = 1'-0"
Living: 282.43 sq.ft. (26.24 sq.m.)
Suite: 939.69 sq.ft. (87.30 sq.m.)
Total: 1222.12 sq.ft. (113.54 sq.m.)
Garage: 440.00 sq.ft. (40.88 sq.m.)



2 Main Floor Plan
Scale: 1/4" = 1'-0"
Living: 1513.08 sq.ft. (140.57 sq.m.)

Schooner Coastal
Date
Feb 2, 2023

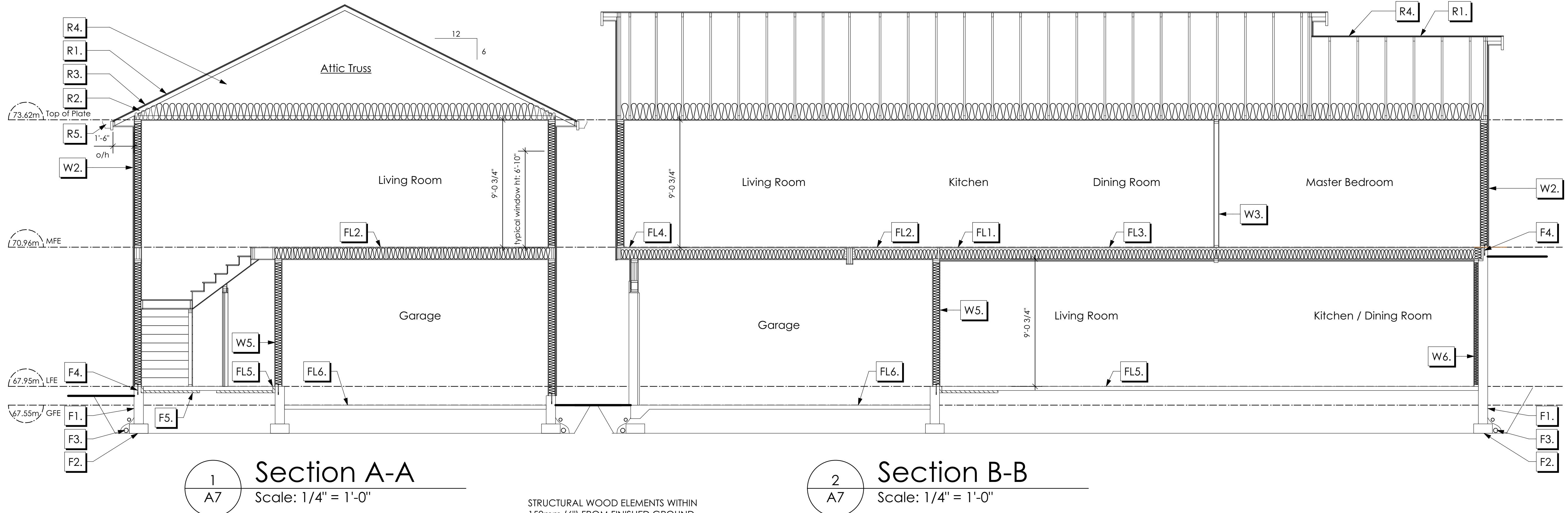
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WALLS

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- W4. PRE-MANUFACTURED STONE VENEER (INSTALLED TO MANUF. SPEC) LIME BASED MORTAR SETTING BED ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" (AS REQUIRED) (NOT SHOWN IN SECTION)

- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL POLYN V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W6. 1/2" GYPSUM BOARD ON 6 MIL POLYN V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)
- W7. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Schooner Coastal
Date
Feb 2, 2023

Project Address
3463 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298

Scale
As Noted

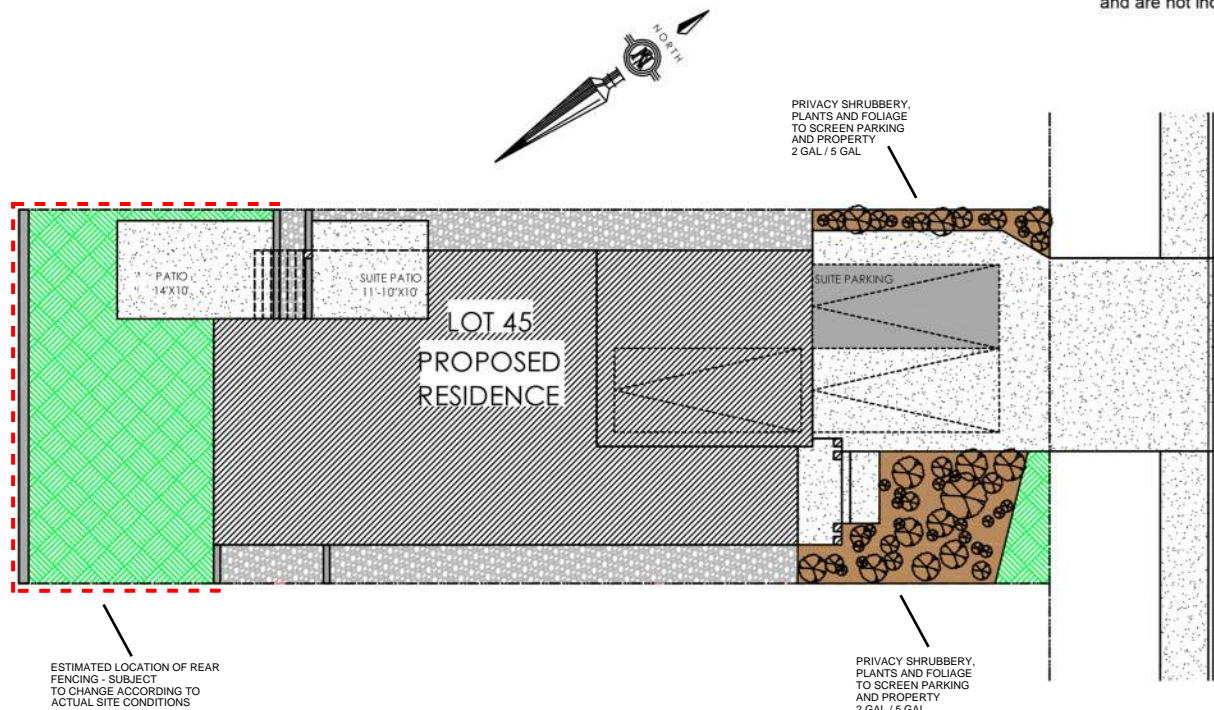
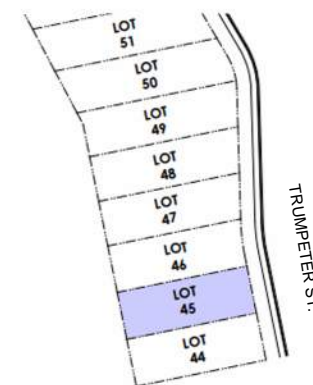
Drawn By
MRB

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN
NOT TO SCALE

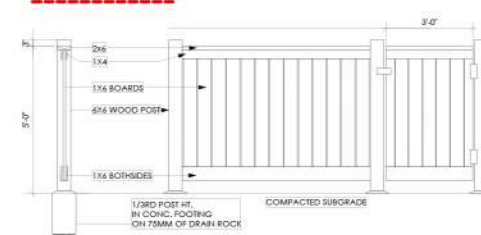


ITEM	AREA (sf)	%
GARDEN BED	280	12%
GRAVEL	432	19%
CONCRETE	884	39%
SOD	678	30%
TOTAL	2,274	100%

LEGEND

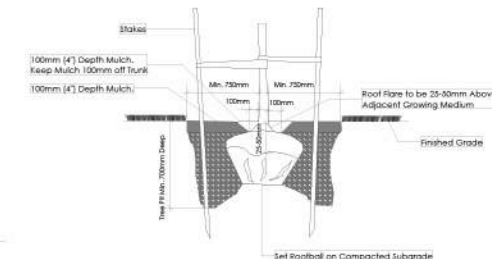
	PRIVACY SHRUBBERY		UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	PRIVACY SHRUBBERY	- 2 GAL	- 5 GAL

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

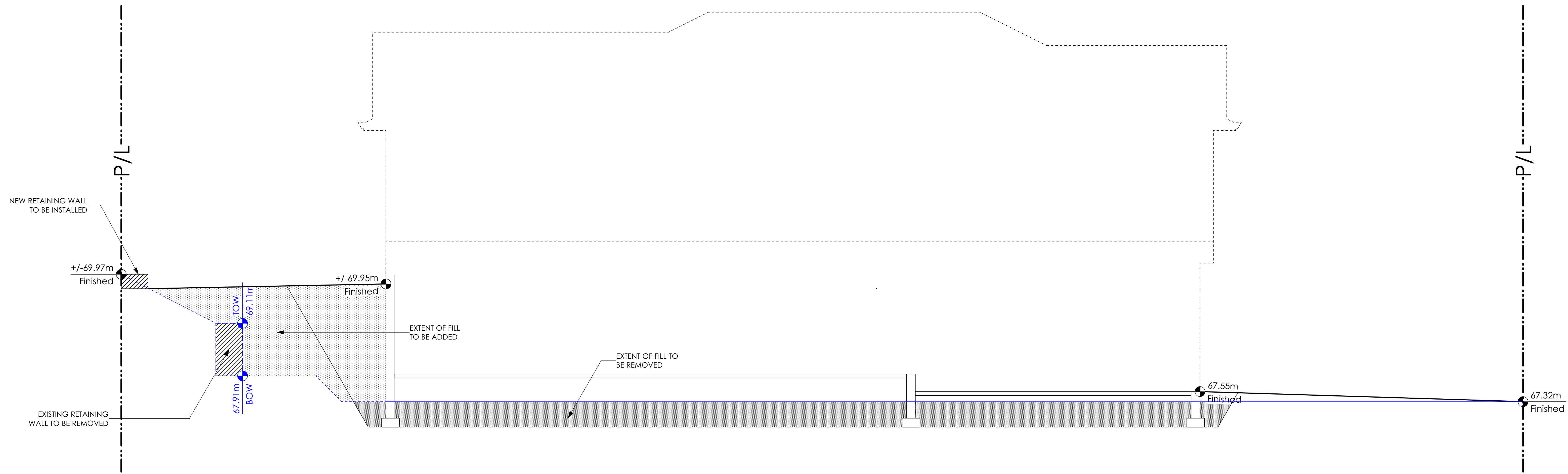
MM/DD/YY	ISSUED/REVISED	DATE
01	09/21/22 FOR APPROVAL	PROJECT
02	10/07/22 GARDEN BED PLANTING	LANDSCAPING PLAN LOT 45, 3463 TRUMPETER ST. ROYAL BAY, SECTOR 7 CITY OF COLWOOD
03	12/23/22 REVISION AS PER CITY OF COLWOOD	

VERITY CONSTRUCTION

QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway
Victoria, B.C. V9B 0A6

P: 250.474.1039
www.verityconstruction.ca



1
A2 Lot 45 Site Section
Scale: 1/4" = 1'-0"

Schooner Coastal
Date
Feb 2, 2023

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Scale
As Noted

Drawn By
MRB

Development Permit Presentation

MUNICIPAL ADDRESS 3463 Trumpeter Street	P.I.D.
LOT 45	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **67.95**

FRONT ELEV. (FINISHED GRADE) **67.40** REAR ELEV. (FINISHED GRADE) **69.95/69.70**

FINISHED GRADE AT GARAGE **67.55/67.50**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

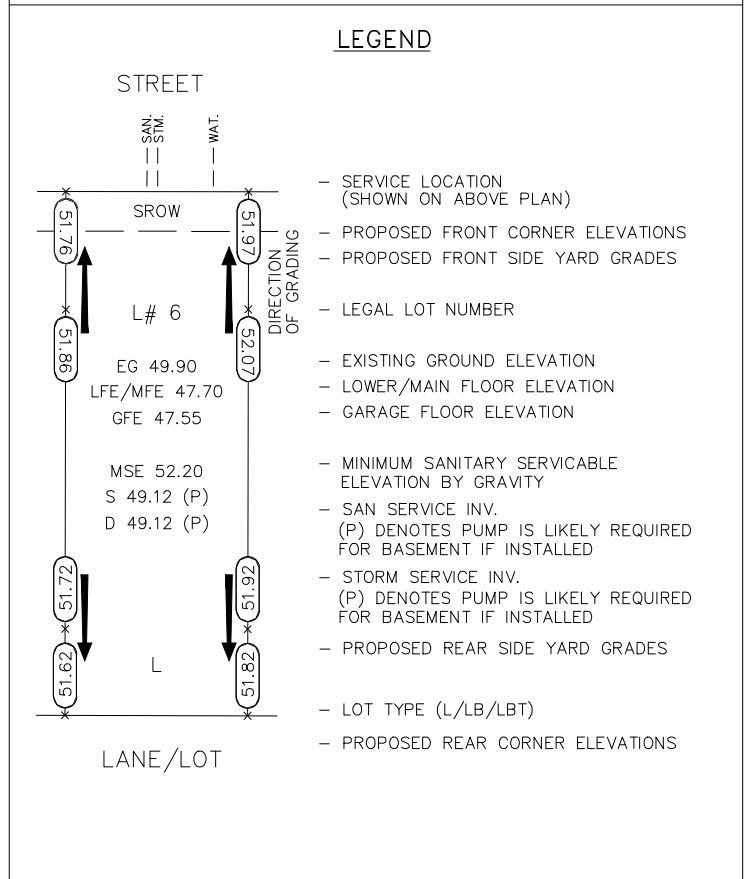
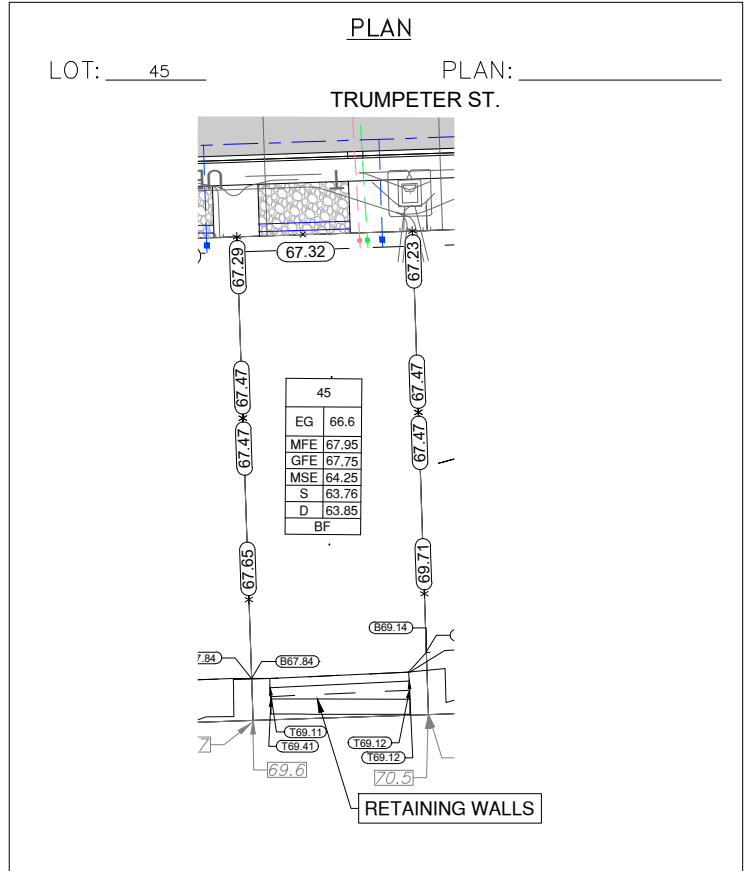
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE

DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

C. Hume - October 5/22

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE

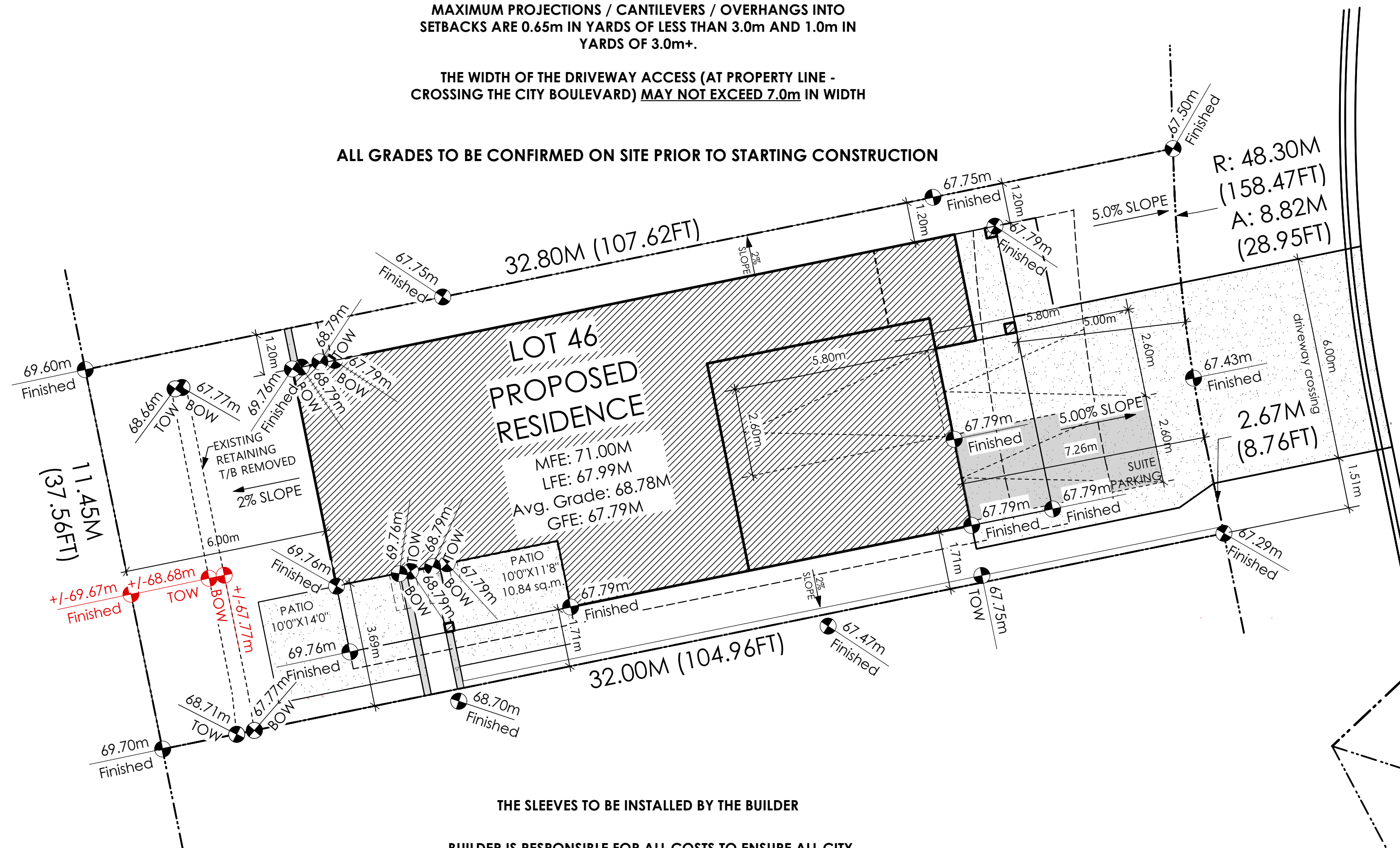
DATE

Schedule 4

SITE DATA	RBCD5	LOT 46
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	368.68 sq.m.
LOT COVERAGE	50.00 %	42.54 %
BUILDING HEIGHT	9.50 m.	6.51 m.
LOT WIDTH	10.97 m.	11.45 m.
SETBACKS		
- FRONT	3.00 m.	5.00 m.
- FRONT (GARAGE)	6.00 m.	7.26 m.
- REAR	6.00 m.	6.00 m.
- RIGHT SIDE	1.20 m.	1.20 m.
- LEFT SIDE	1.20 m.	1.71 m.
PROPOSED FLOOR AREA		
- MAIN		136.21 sq.m.
- LOWER		108.80 sq.m.
- GARAGE		41.90 sq.m.
SUB-TOTAL G.F.A.		286.91 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.90 sq.m.
GROSS FLOOR AREA		245.01 sq.m.
F.A.R.		0.66 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	32.66 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	80.01 sq.m.

STOP & READ
RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED
MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.
THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

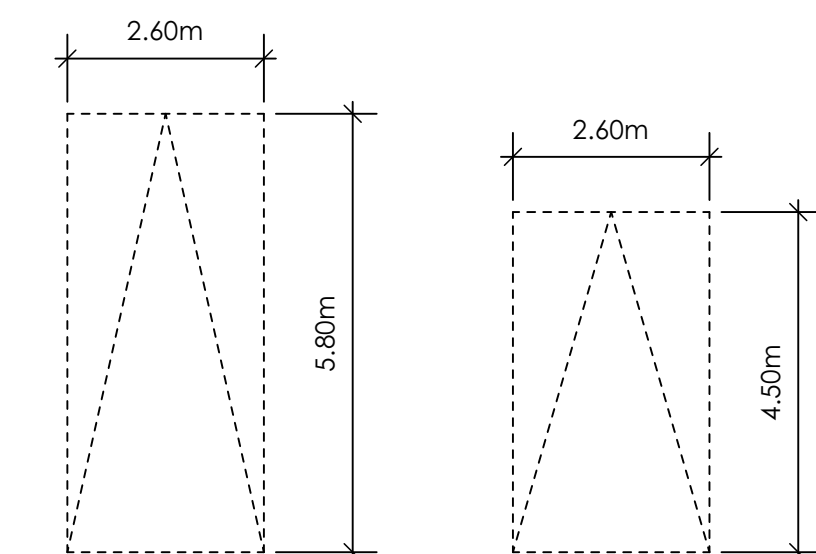
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



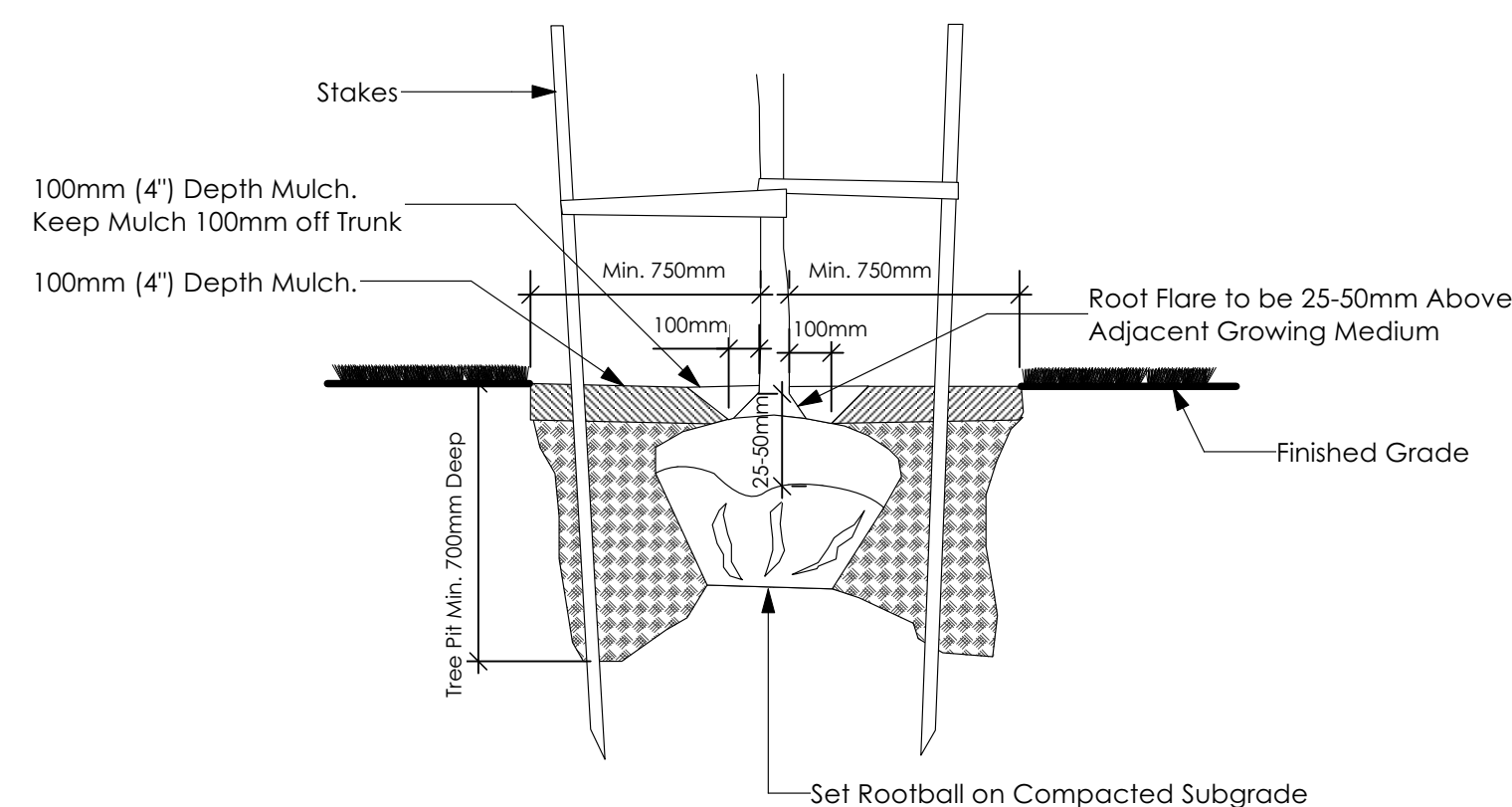
AVERAGE NATURAL GRADE CALCULATION:
 $69.60M + 67.50M + 67.29M + 69.70M = 274.09M / 4 = 68.52M$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1:2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS
SMALL CAR PARKING STALL DIMENSIONS
* as per 2.2.02a allowing one stall to be a small car parking stall

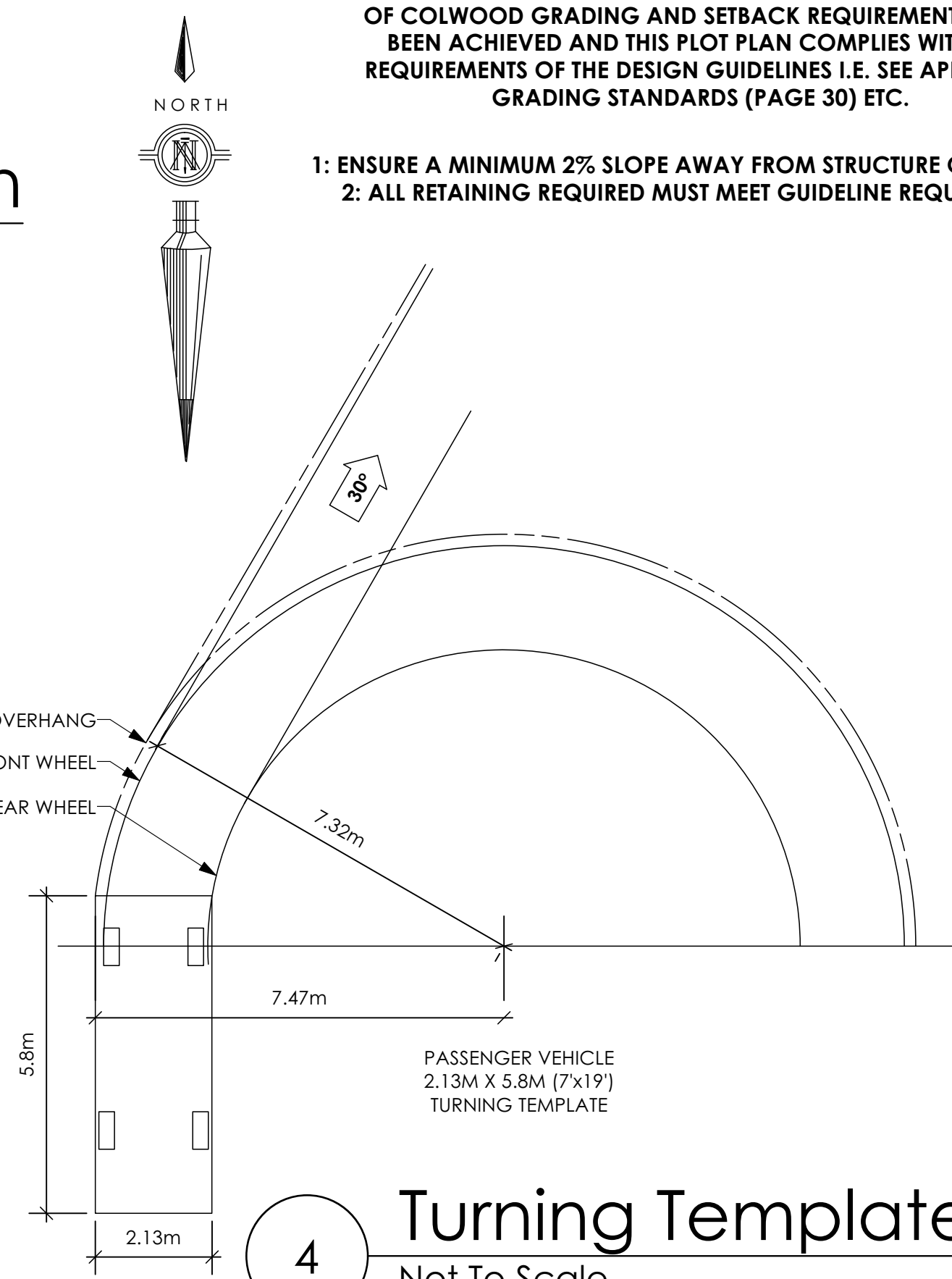


3 Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

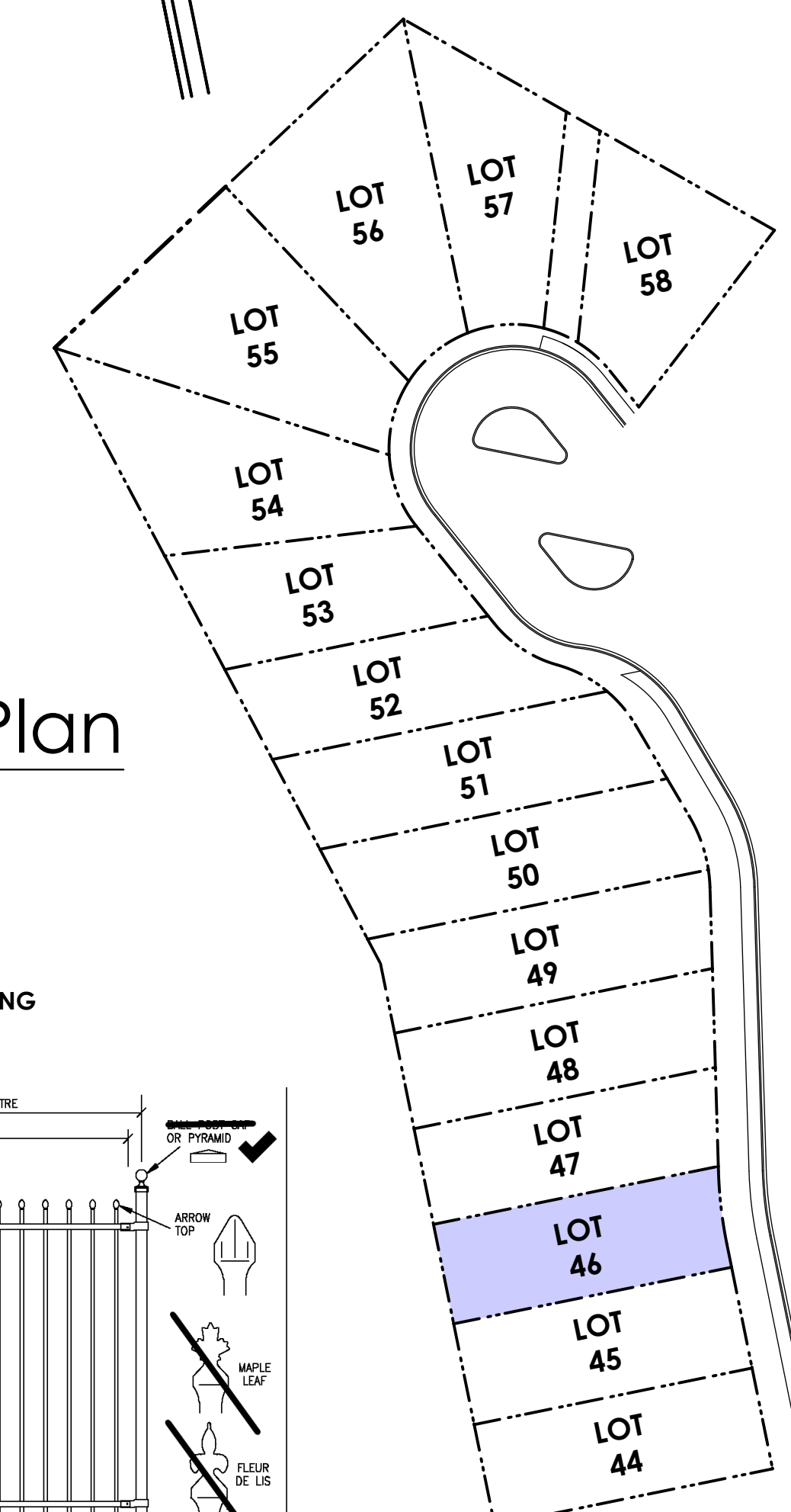
THE SLEEVES TO BE INSTALLED BY THE BUILDER
BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

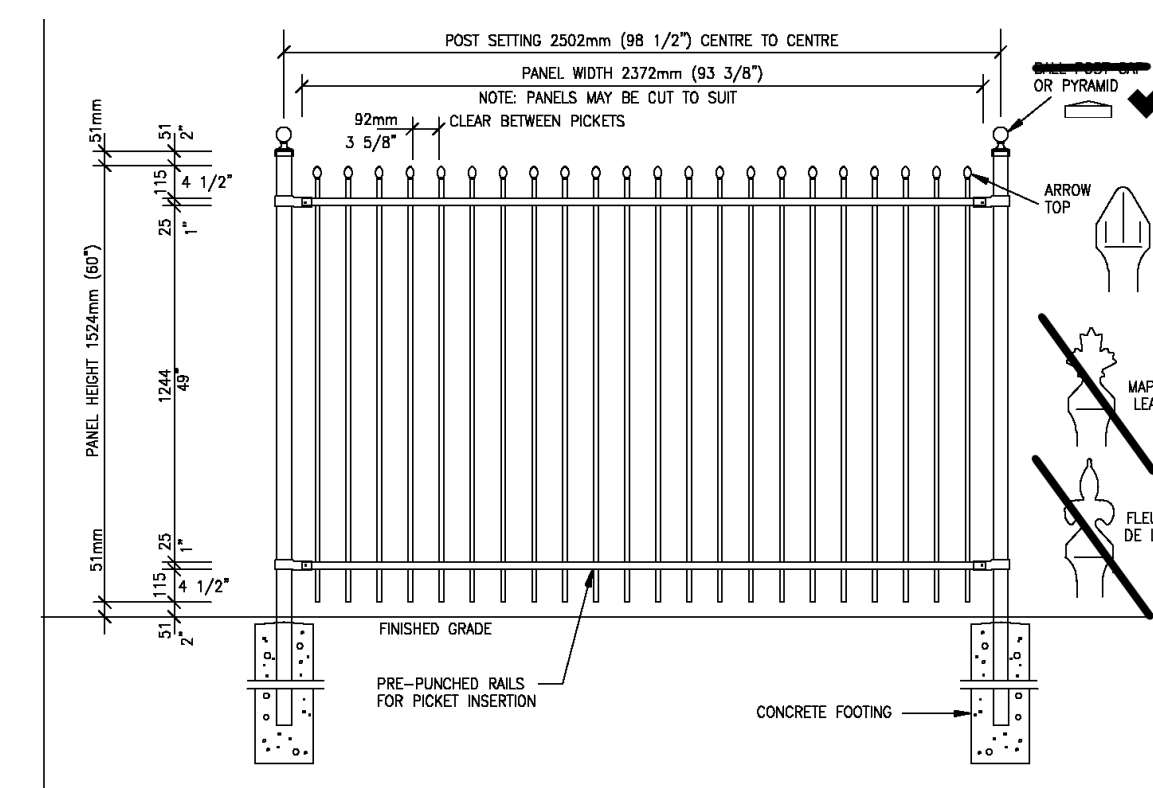


4 Turning Template
Not To Scale

2 Key Plan
1: 650



ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS



5 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

'PORT' - WEST COAST

Date

Feb 2, 2023

Project Address

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Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

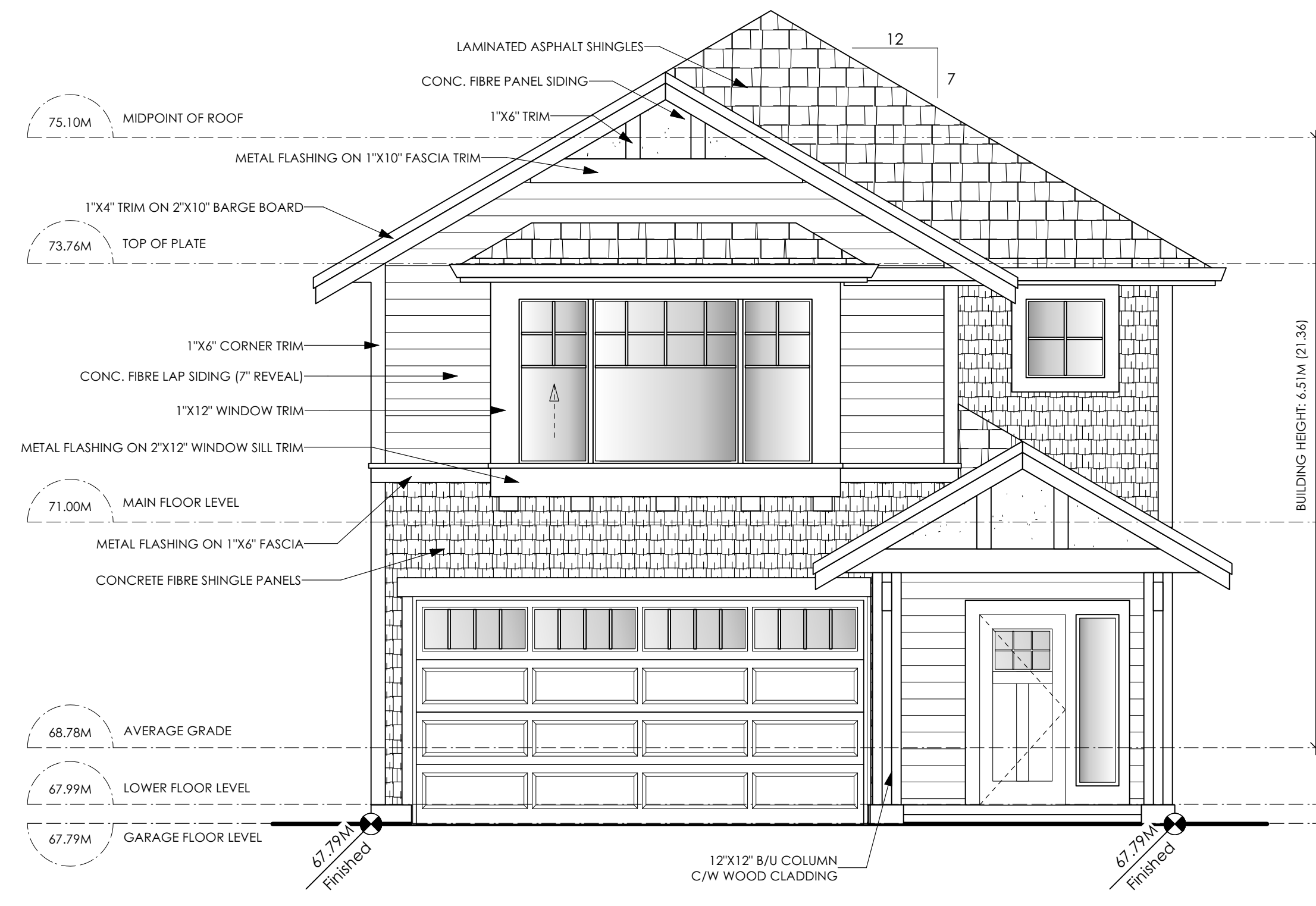
Scale

As Noted

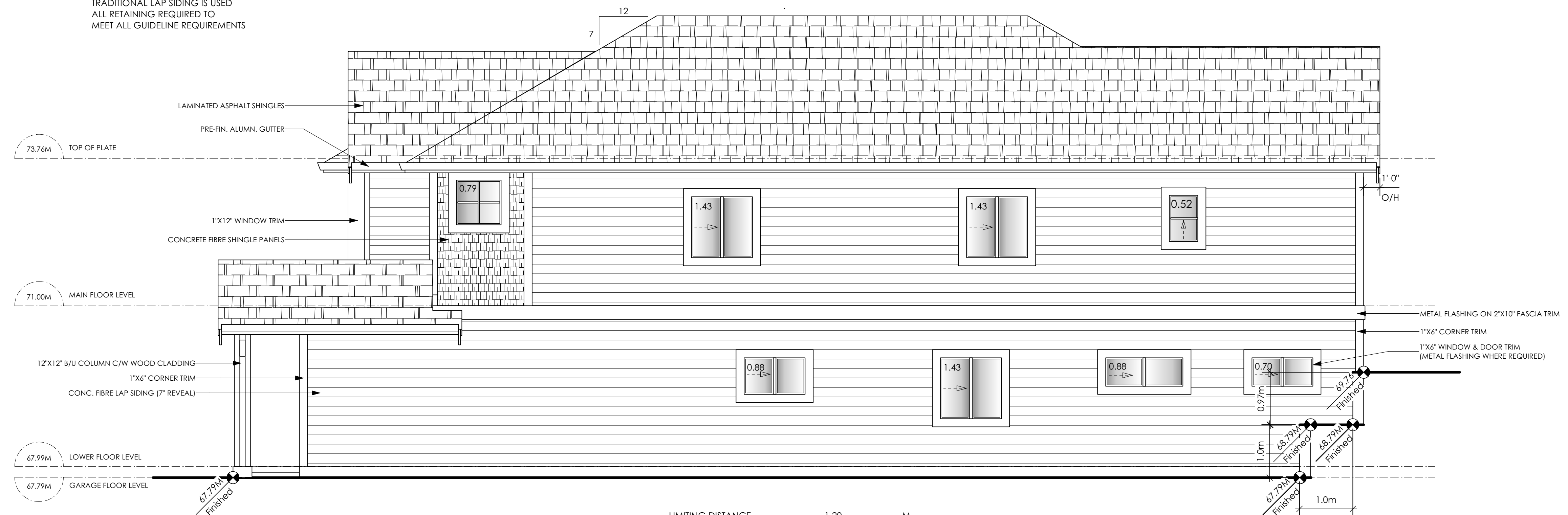
Drawn By

MIS

Development Permit Presentation



1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE:
ALL REQUIRED FLASHING ARE NON-GALVANISED
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
TRADITIONAL LAP SIDING IS USED
ALL RETAINING REQUIRED TO
MEET ALL GUIDELINE REQUIREMENTS



2 Right Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE:
ALL REQUIRED FLASHING ARE NON-GALVANISED
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
TRADITIONAL LAP SIDING IS USED
ALL RETAINING REQUIRED TO
MEET ALL GUIDELINE REQUIREMENTS

LIMITING DISTANCE	1.20	M.
EXPOSED BUILDING FACE	115.98	SQ.M.
ALLOWABLE OPENINGS	7.00	%
ALLOWABLE OPENING AREA	8.12	SQ.M.
PROPOSED OPENINGS	8.06	SQ.M.

'PORT' - WEST COAST

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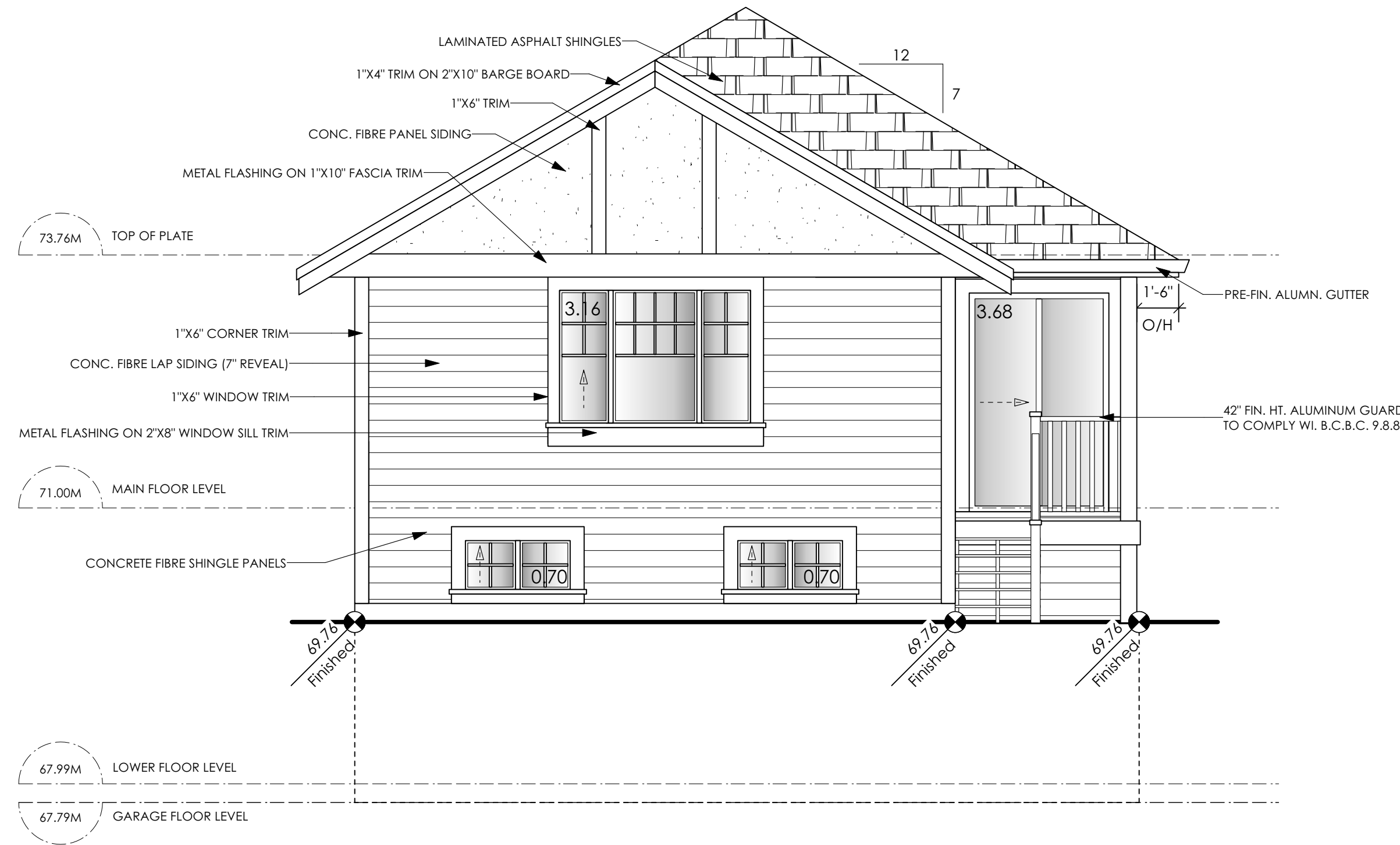
Scale

As Noted

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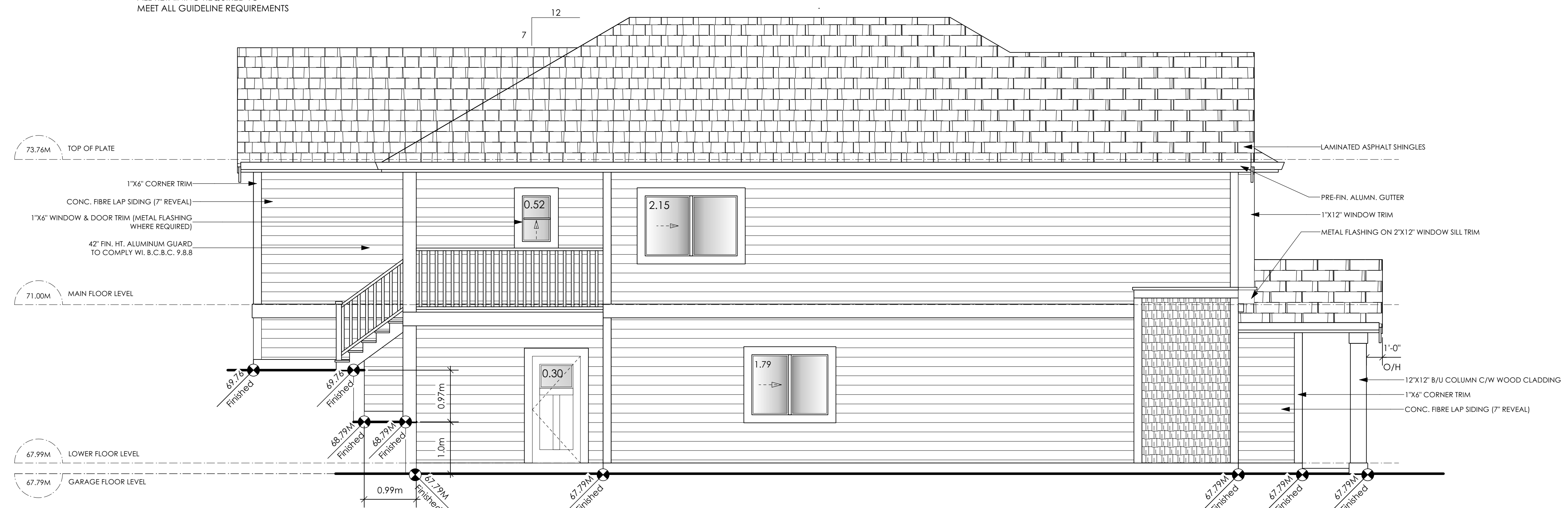
Development Permit Presentation



1 **Rear Elevation**
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:
ALL REQUIRED FLASHING ARE NON-GALVANISED
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
TRADITIONAL LAP SIDING IS USED
ALL RETAINING REQUIRED TO
MEET ALL GUIDELINE REQUIREMENTS

LIMITING DISTANCE	6.00	M.
EXPOSED BUILDING FACE	34.43	SQ.M.
ALLOWABLE OPENINGS	88.00	%
ALLOWABLE OPENING AREA	30.30	SQ.M.
PROPOSED OPENINGS	8.24	SQ.M.



2 **Left Side Elevation**
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:
ALL REQUIRED FLASHING ARE NON-GALVANISED
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
TRADITIONAL LAP SIDING IS USED
ALL RETAINING REQUIRED TO
MEET ALL GUIDELINE REQUIREMENTS

LIMITING DISTANCE	1.71	M.
EXPOSED BUILDING FACE	113.78	SQ.M.
ALLOWABLE OPENINGS	8.0	%
ALLOWABLE OPENING AREA	9.10	SQ.M.
PROPOSED OPENINGS	4.76	SQ.M.

'PORT' - WEST COAST

Date

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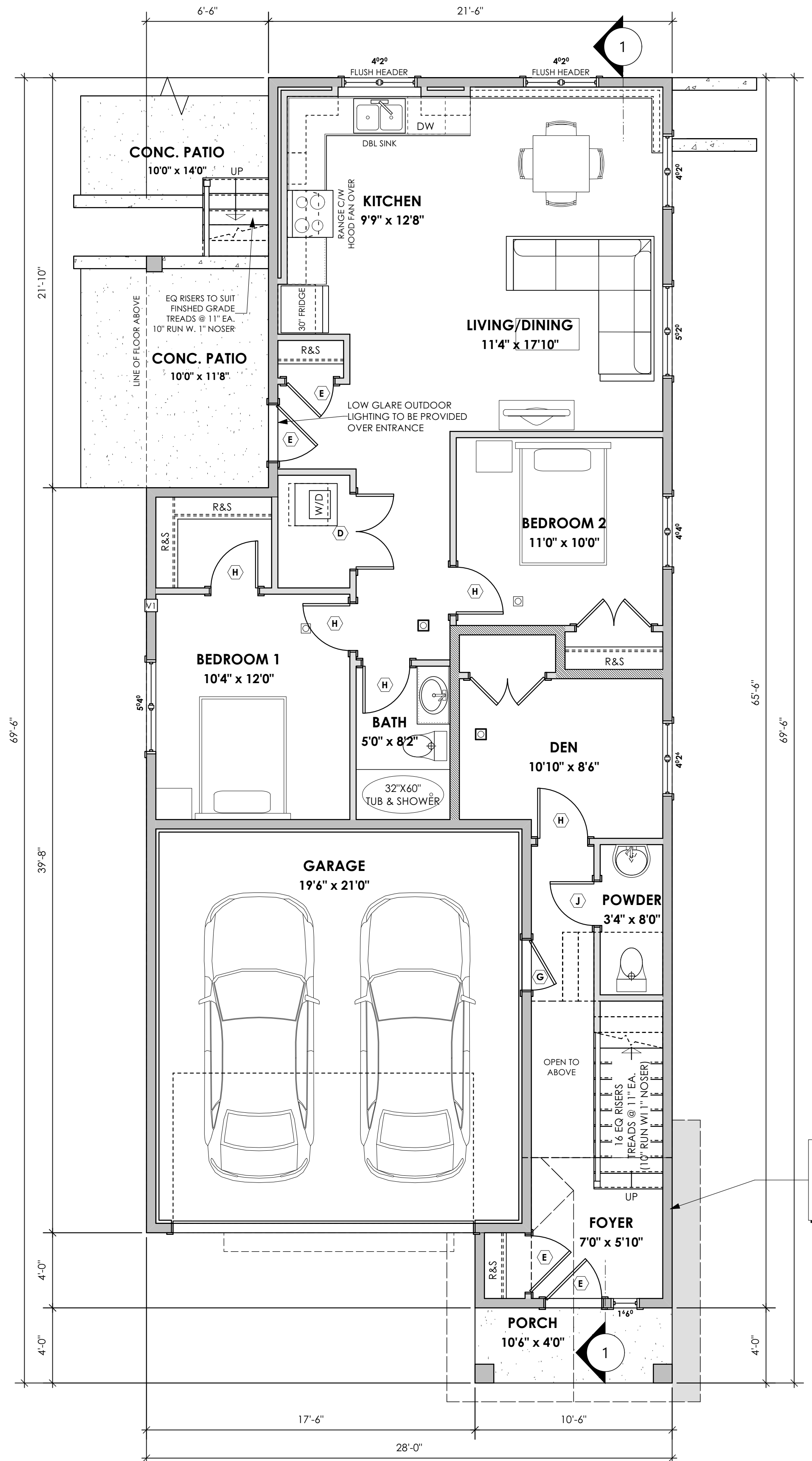
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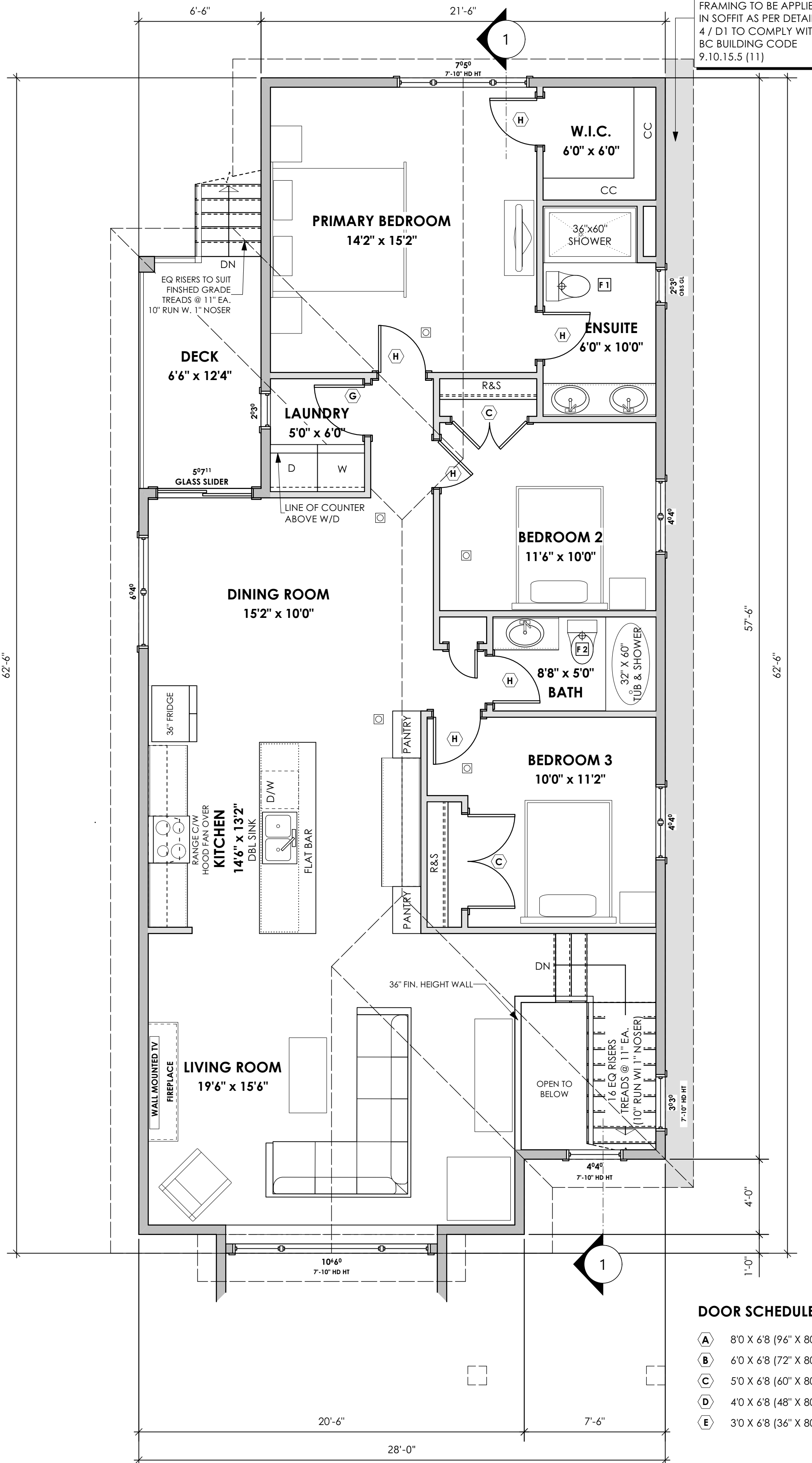
Development Permit Presentation



1 Lower Floor Plan
Scale: 1/4" = 1'-0"

PRIMARY: 309.90 FT² (28.79 M²)
SUITE: 861.19 FT² (80.01 M²)
TOTAL: 1171.09 FT² (108.80 M²)
GARAGE: 451.00 FT² (41.90 M²)

1/2" OSB BOARD
SUPPORTED BY 2"x4"
FRAMING TO BE APPLIED
IN SOFFIT AS PER DETAIL
4 / D1 TO COMPLY WITH
BC BUILDING CODE
9.10.15.5 (11)



2 Main Floor Plan
Scale: 1/4" = 1'-0"

PRIMARY: 1466.20 FT² (136.21 M²)

DOOR SCHEDULE

(A)	80 X 68 (96" X 80")	(G)	28 X 68 (32" X 80")
(B)	60 X 68 (72" X 80")	(H)	26 X 68 (30" X 80")
(C)	50 X 68 (60" X 80")	(J)	24 X 68 (28" X 80")
(D)	40 X 68 (48" X 80")	(K)	20 X 68 (24" X 80")
(E)	30 X 68 (36" X 80")	(L)	1'6" X 68 (18" X 80")
(F)	210 X 68 (34" X 80")		

1/2" OSB BOARD
SUPPORTED BY 2"x4"
FRAMING TO BE APPLIED
IN SOFFIT AS PER DETAIL
4 / D1 TO COMPLY WITH
BC BUILDING CODE
9.10.15.5 (11)

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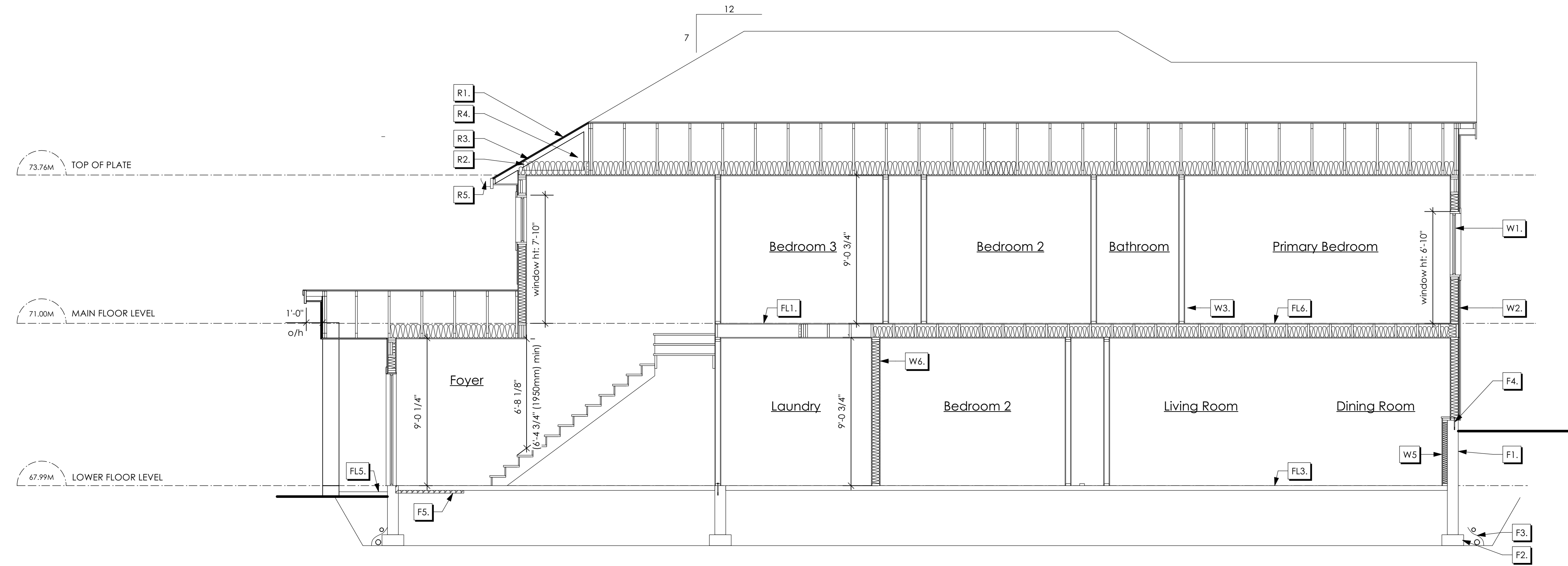
Scale

As Noted

Drawn By

MIS

Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"
SECTION NOTES

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 2012 9.3.2.9.(3)

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) OR R-40 FIBRE GLASS BATT INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection for 4'-0" (1.2m) around perimeter of building. all ventilation baffles to be installed where required in as per BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. PRE-FN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (see contractor)

- R6. PRE MANUF SOFFIT 1/2" OSB BOARD SUPPORTED BY 2"x4" FRAMING REFER TO DETAIL 4 / D1 (to be applied in any soffit that has less than 1.20m clearance to any proverty line. To comply with BC BUILDING CODE 9.10.15.3 (11)) (AS REQUIRED, VERIFY ON SITE) (NOT SHOWN IN SECTION)
- R1. 2 PLY S.B.S.MODIFIED BITUMEN FULLY ADHERED MEMBRANE (TO COMPLY W/ CGSB 37-GP-56M AND CGSB-37-6P-9MA) 1/2" PLYWOOD SHEATHING SLOPED TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2x4 WOOD STRAPPING @ 16" O/C 2x10 DECK JOISTS @ 16" O.C. C/W R-28 F.G. BATT. INSULATION 1/2" EXTRUDED POLYSTYRENE INSULATION 6 MIL POLYN V.B. 1/2" GYPSUM BOARD (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (not in section)

Floors

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 FIBRE GLASS BATT INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- FL3. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL4. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL5. 3 1/2" CONCRETE SLAB (CONTRACTOR TO VERIFY EXTENT OF EXTERIOR SLABS AND FINISHES) SLOPE AWAY FROM BUILDING @ 2% MIN.) 6" COMPACTED GRAVEL OR SAND
- FL6. F&d RATED CEILING ASSEMBLY (BC BUILDING CODE TABLE 9.10.3.1.B) FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.

Walls

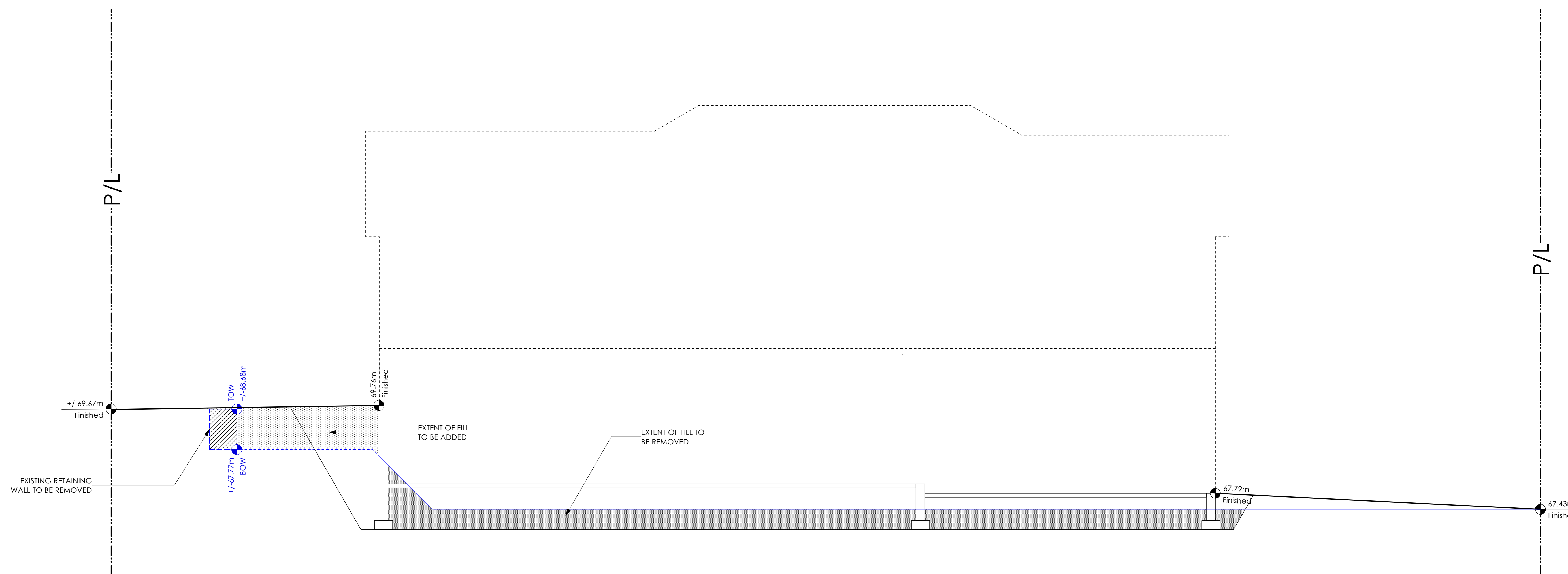
- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER @ BEARING WALLS ONLY) [TYPICAL. W/ 2 1/2" XPS INSULATION] FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/LS2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED)

- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W5. 1/2" GYPSUM BOARD ON 6 MIL POLYN V.B. 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED) R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)
- W6. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATT 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

- W7. STUD SPACING
 - UPPER FLOOR: 2"x6" @ 24" O/C
 - MAIN FLOOR: 2"x6" @ 24" O/C
 - LOWER FLOOR: 2"x6" @ 16" O/C (if applicable)
 - INTERIOR PARTITION: 2"x4" @ 24" O/C
 - LOAD BEARING: 2"x4" @ 16" O/C
 - PARTY WALL 2"x4" @ 24" O/C (if applicable)



1 Lot 46 Site Section
Scale: 1/4" = 1'-0"

'PORT' - WEST COAST

Date

Feb 2, 2023

Project Address

3465 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

Scale

As Noted

Drawn By

MIS

Development Permit Presentation

MUNICIPAL ADDRESS 3465 Trumpeter Street	P.I.D.
LOT 46	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **71.00**

FRONT ELEV. **67.79** REAR ELEV. **69.76**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **67.79**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

PLAN

LOT: 46 PLAN: _____

TRUMPETER ST.

46
EG 66.9
MFE 68.04
GFE 67.84
MSE 64.67
S 64.17
D 64.26
BF

RETAINING WALL

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____

LEGEND

- SERVICE LOCATION (SHOWN ON ABOVE PLAN)
- PROPOSED FRONT CORNER ELEVATIONS
- PROPOSED FRONT SIDE YARD GRADES
- LEGAL LOT NUMBER
- EXISTING GROUND ELEVATION
- LOWER/MAIN FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- MINIMUM SANITARY SERVICABLE ELEVATION BY GRAVITY
- SAN SERVICE INV. (P) DENOTES PUMP IS LIKELY REQUIRED FOR BASEMENT IF INSTALLED
- STORM SERVICE INV. (P) DENOTES PUMP IS LIKELY REQUIRED FOR BASEMENT IF INSTALLED
- PROPOSED REAR SIDE YARD GRADES
- LOT TYPE (L/LB/LBT)
- PROPOSED REAR CORNER ELEVATIONS

I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

C. Hume - REDO - Oct. 11/22

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

SITE DATA	RBCD5	LOT 47
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	371.24 sq.m.
LOT COVERAGE	50.00 %	42.25 %
BUILDING HEIGHT	9.50 m.	6.50 m.
LOT WIDTH	10.97 m.	11.16 m.
SETBACKS		
- FRONT	3.00 m.	5.44 m.
- FRONT (GARAGE)	6.00 m.	8.81 m.
- REAR	6.00 m.	6.00 m.
- RIGHT SIDE	1.20 m.	1.26 m.
- LEFT SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- MAIN		138.12 sq.m.
- LOWER		108.80 sq.m.
- GARAGE		41.90 sq.m.
SUB-TOTAL G.F.A.		288.82 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.90 sq.m.
GROSS FLOOR AREA		246.92 sq.m.
F.A.R.		0.67 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	32.40 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	80.01 sq.m.

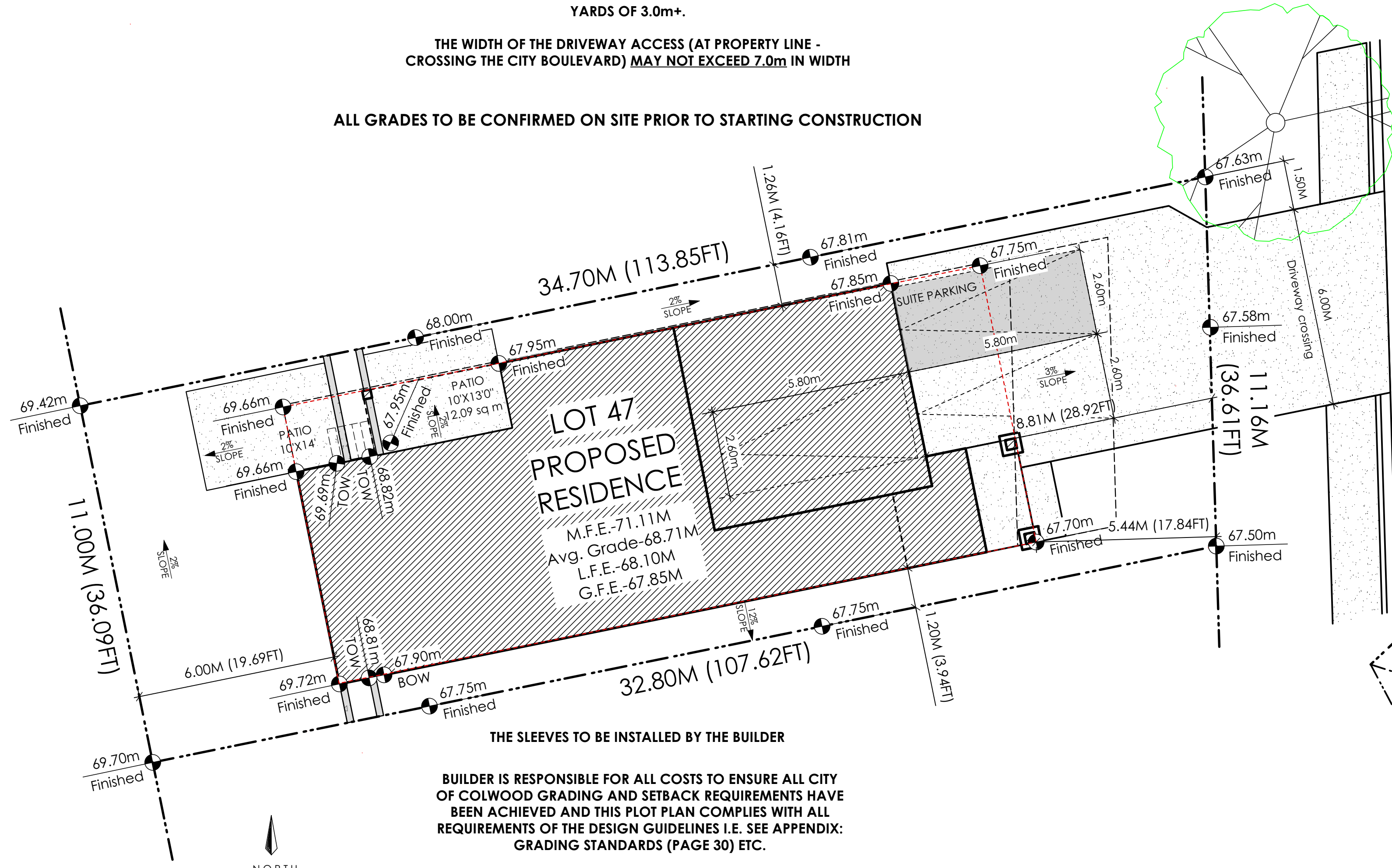
STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

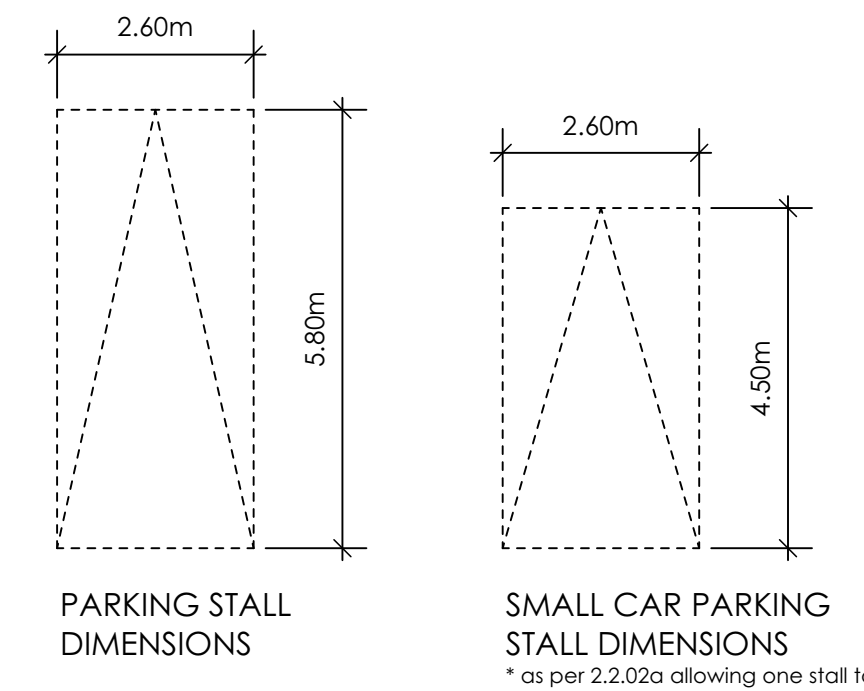
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



AVERAGE NATURAL GRADE CALCULATION:
69.72M + 69.66M + 67.75M + 67.70M = 274.83M/4 = 68.71M

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



1 Site Plan
Scale: 1:100

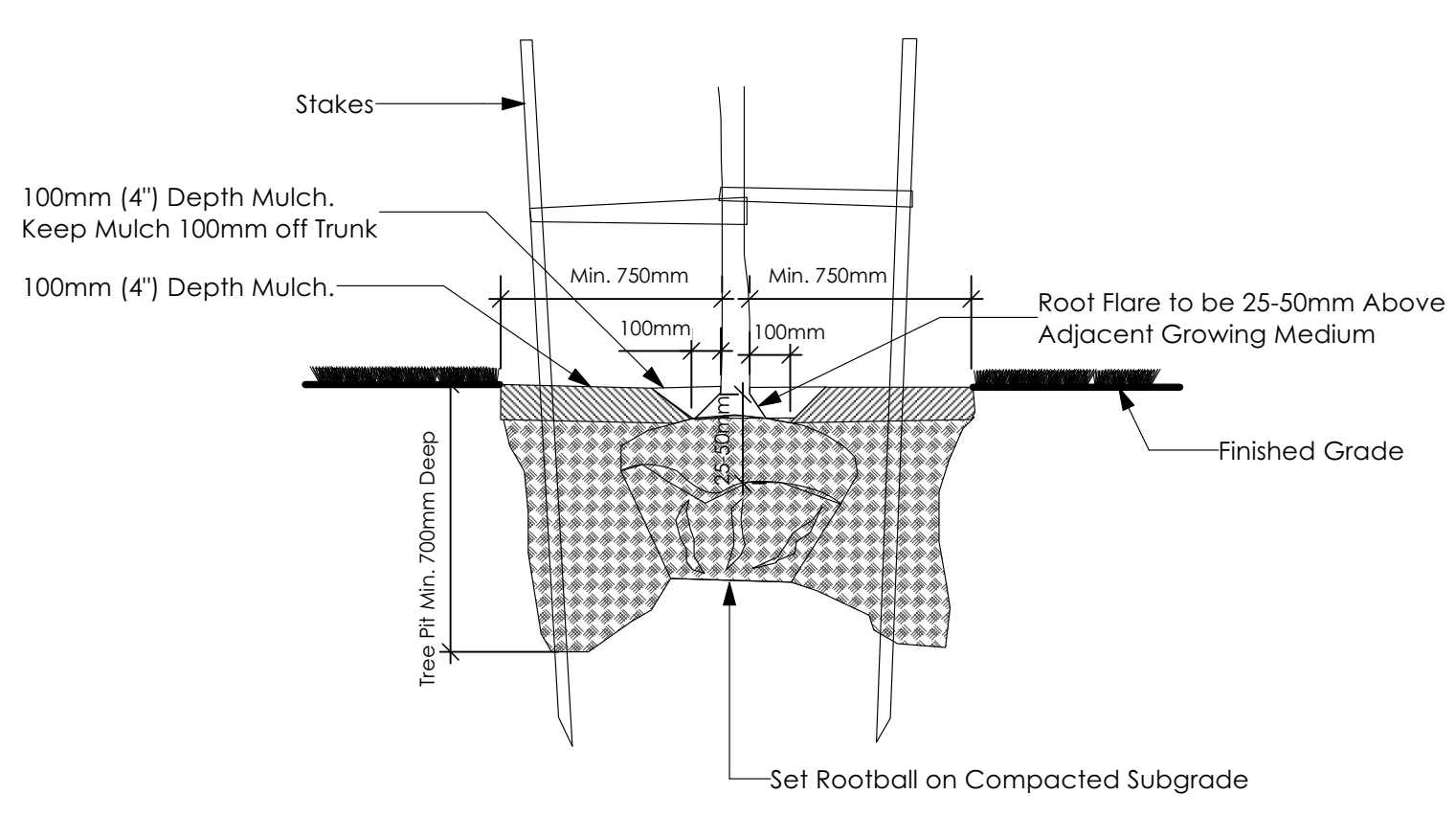
2 Key Plan
1:1000

THE SLEEVES TO BE INSTALLED BY THE BUILDER

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

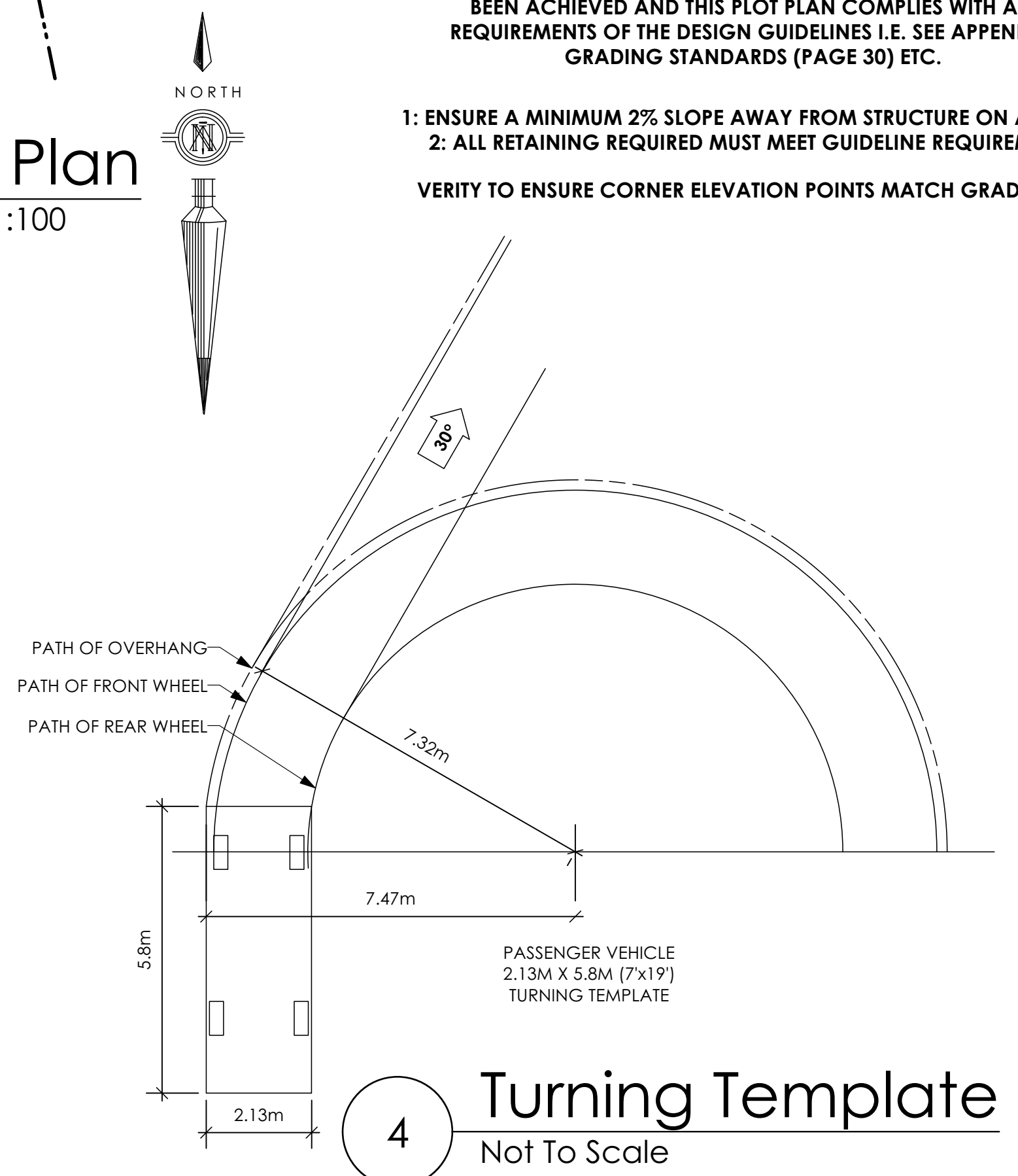
1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS
VERIFY TO ENSURE CORNER ELEVATION POINTS MATCH GRADE SLIP

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS

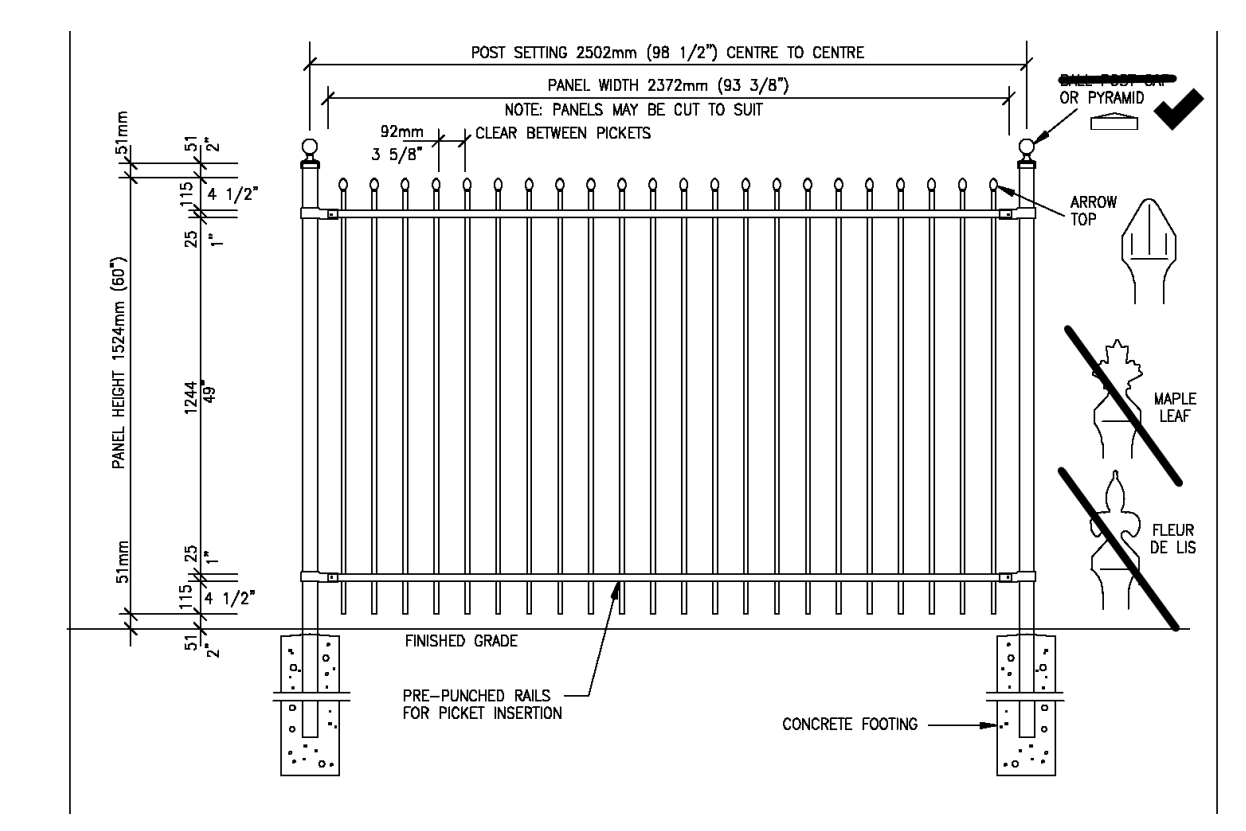


3 Tree Planting Detail
Not To Scale

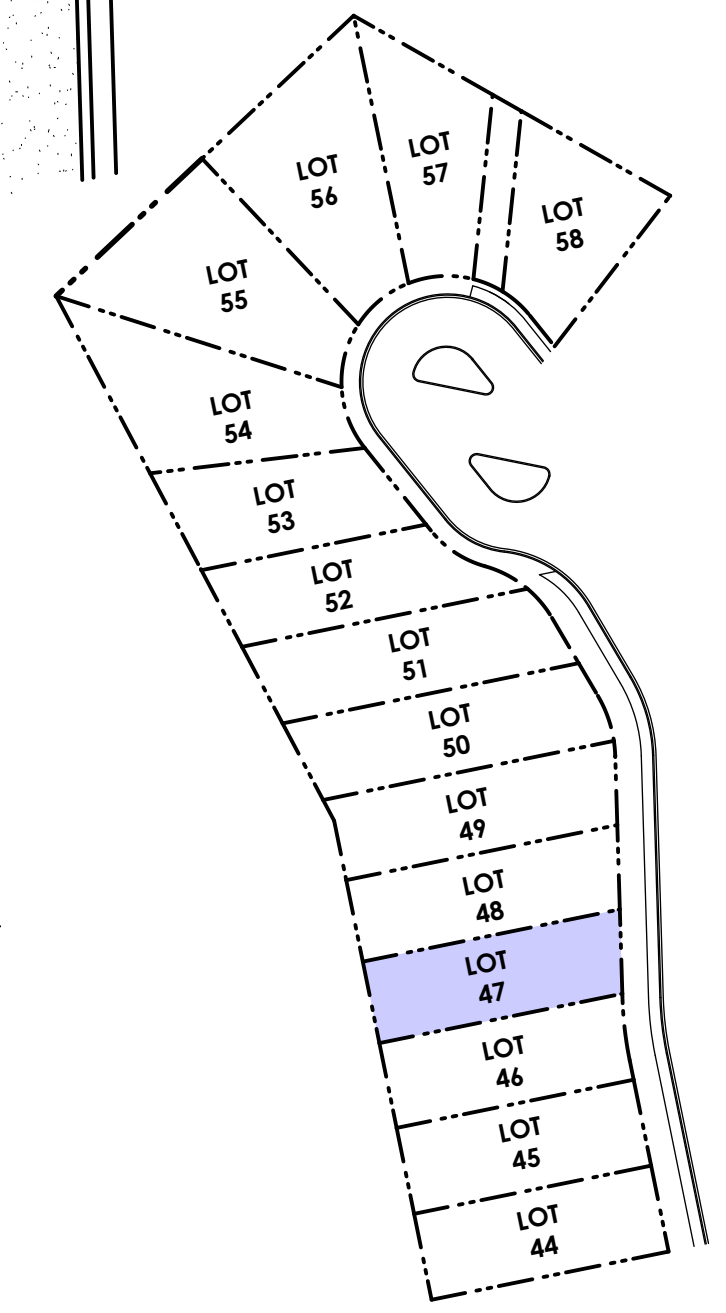
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep



4 Turning Template
Not To Scale



5 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)



'PORT' - TRADITIONAL

Date
Dec 19 2022

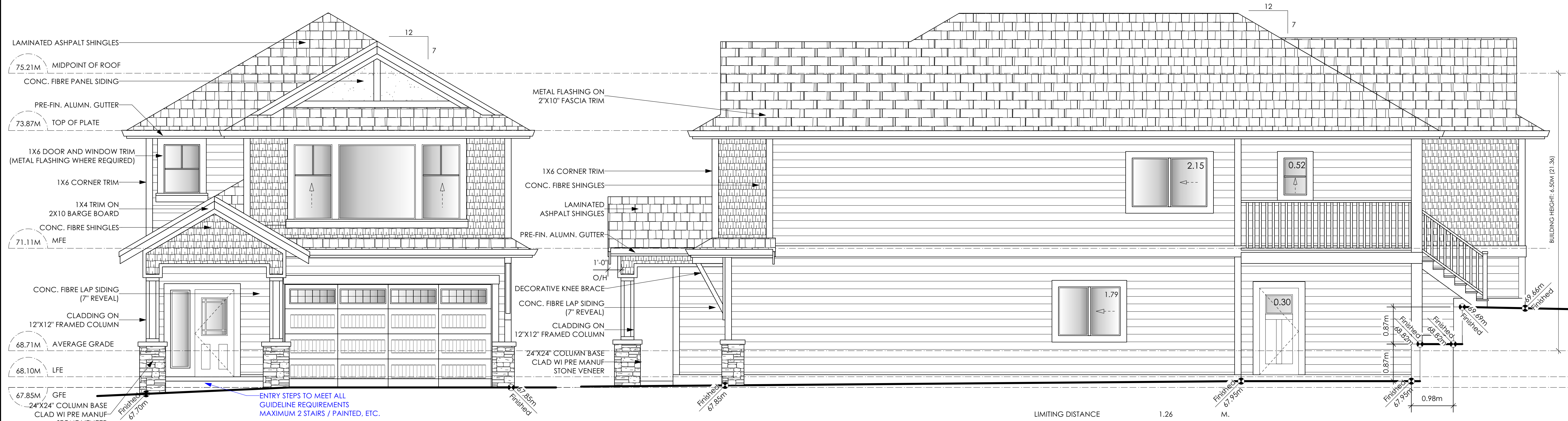
Project Address
3467 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for
Verity Construction

Project #
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Scale
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MRB



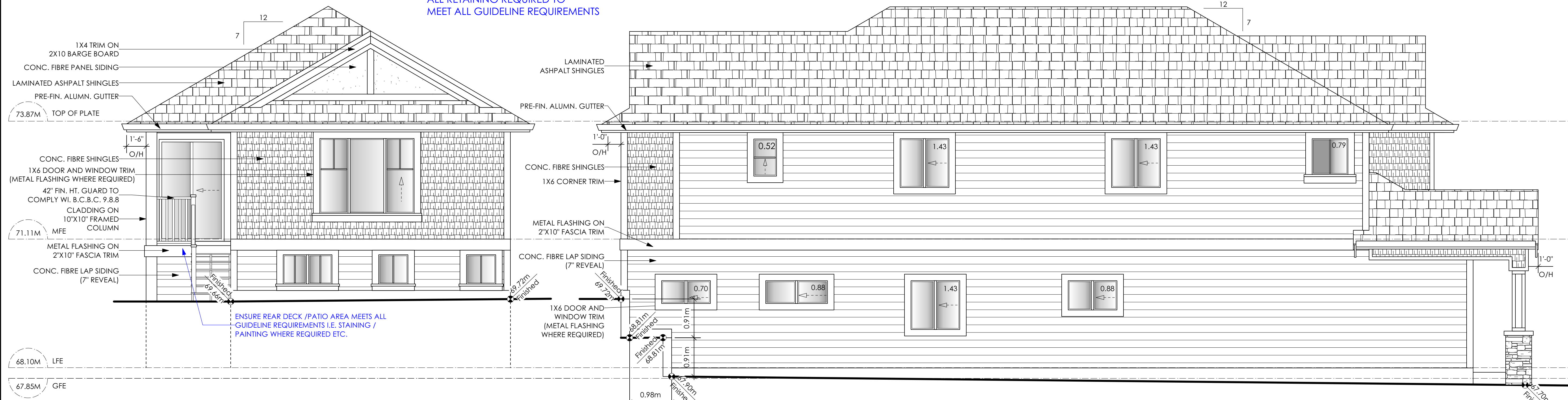
1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

2 Right Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

LIMITING DISTANCE	1.26	M.
EXPOSED BUILDING FACE	111.82	SQ.M.
ALLOWABLE OPENINGS	7.00	%
ALLOWABLE OPENING AREA	7.83	SQ.M.
PROPOSED OPENINGS	4.76	SQ.M.

CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES

ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS



3 Rear Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

4 Left Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

LIMITING DISTANCE	1.20	M.
EXPOSED BUILDING FACE	117.41	SQ.M.
ALLOWABLE OPENINGS	7.0	%
ALLOWABLE OPENING AREA	8.22	SQ.M.
PROPOSED OPENINGS	7.06	SQ.M.

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW

CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

'PORT' - TRADITIONAL

Date

Dec 19 2022

Project Address

3467 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

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Verity Construction

Project #

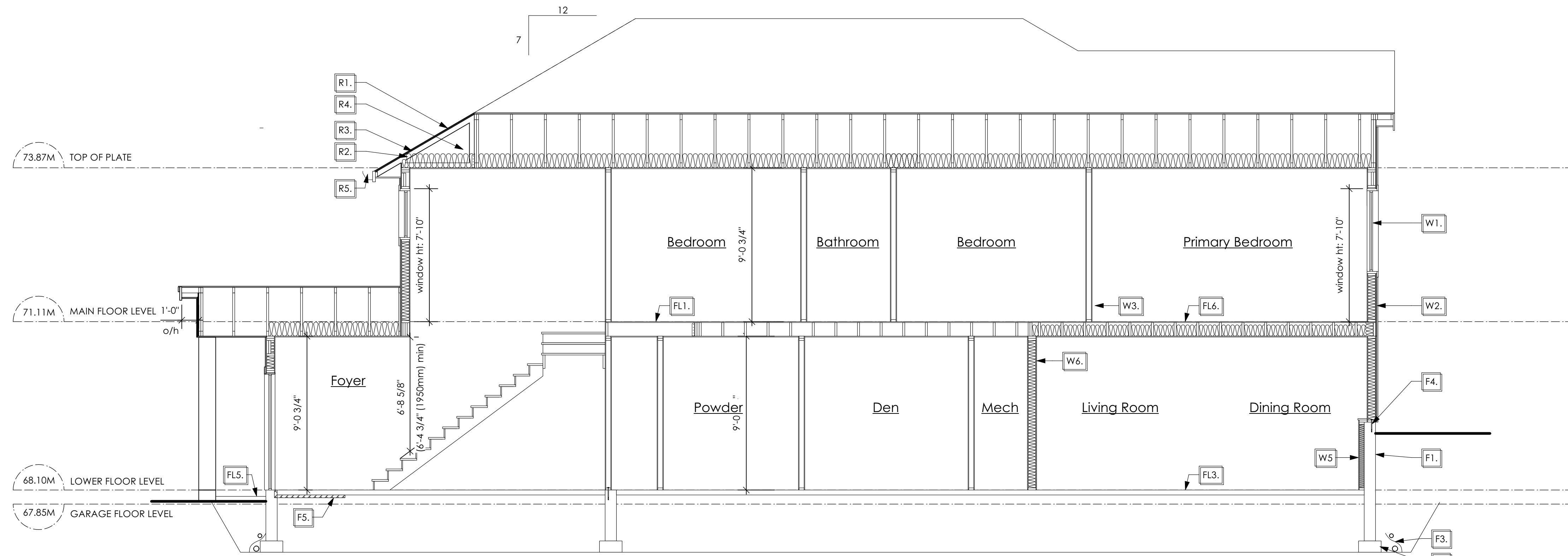
8298

Scale

As Noted

Drawn By

MRB



1 Section A-A
A7 Scale: 1/4" = 1'-0"

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 2012 9.3.2.9.(3)

SECTION NOTES

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) OR R-40 FIBRE GLASS BATT INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (Min. R-20 @ roof-wall connection for 4'-0" (1.2m) around perimeter of building; air ventilation baffles to be installed where required in as per BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. PRE-FN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (see contractor)
- R6. PRE MANUF SOFFIT 1/2" OSB BOARD SUPPORTED BY 2X4" FRAMING REFER TO DETAIL 4 / D1 (to be applied in any soffit that has less than 1.20m clearance to any property line. To comply with BC BUILDING CODE 9.10.15.5 (11)) (AS REQUIRED, VERIFY ON SITE) (NOT SHOWN IN SECTION)

Floors

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 FIBRE GLASS BATT INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- FL3. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL5. 3 1/2" CONCRETE SLAB (CONTRACTOR TO VERIFY EXTENT OF EXTERIOR SLABS AND FINISHES) (SLOPE AWAY FROM BUILDING @ 2% MIN.) 6" COMPACTED GRAVEL OR SAND
- FL6. F8-d RATED CEILING ASSEMBLY (BC BUILDING CODE TABLE 9.10.3.1.8) FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.

Walls

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL. WL 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA WINDUJCSA 101/J.S.2/A440. "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W5. 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED) R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)
- W6. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3C 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATT 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W7. STUD SPACING
- UPPER FLOOR: 2'x6" @ 24" O/C
- MAIN FLOOR: 2'x6" @ 24" O/C
- LOWER FLOOR: 2'x6" @ 16" O/C
(if applicable)
- INTERIOR PARTITION: 2'x4" @ 24" O/C
- LOAD BEARING: 2'x4" @ 16" O/C
- PARTY WALL: 2'x4" @ 24" O/C
(if applicable)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

'PORT' - TRADITIONAL

Date

Dec 19 2022

Project Address

3467 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

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Scale

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MRB

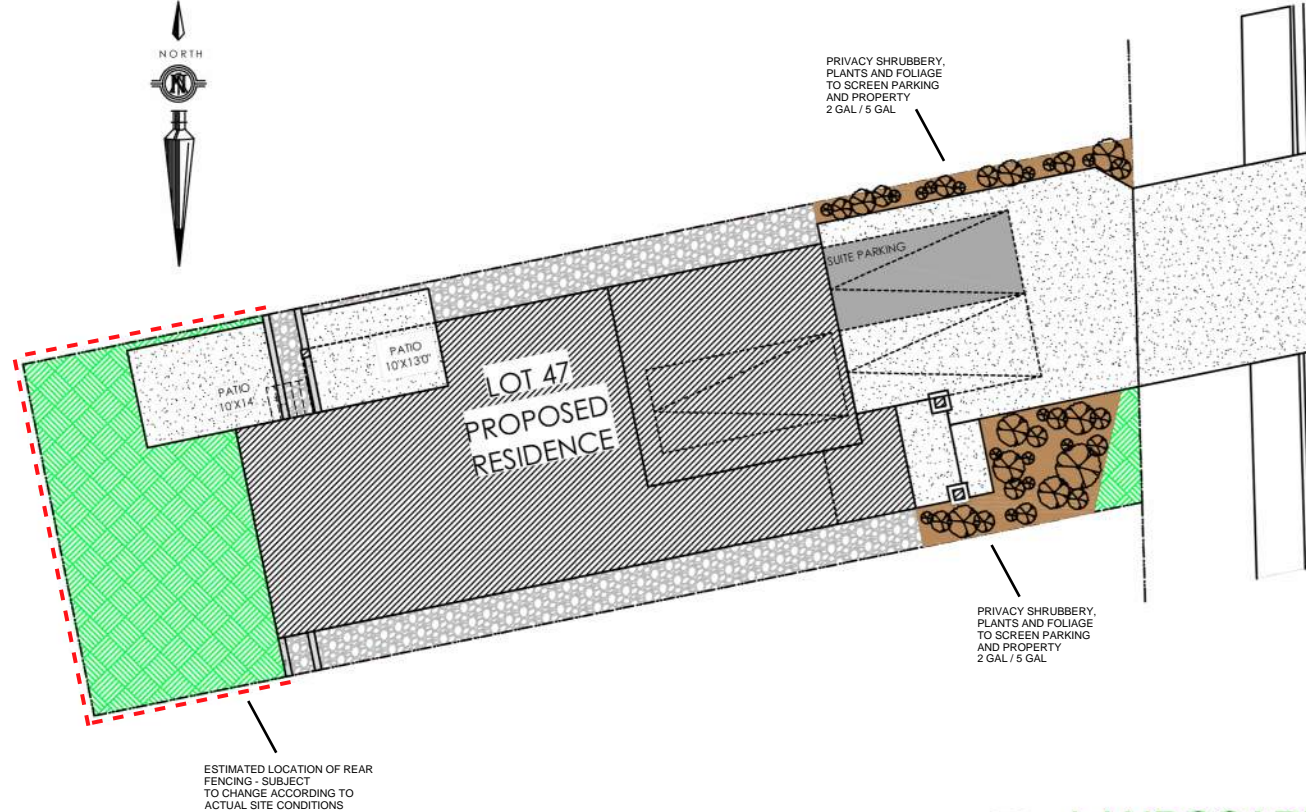
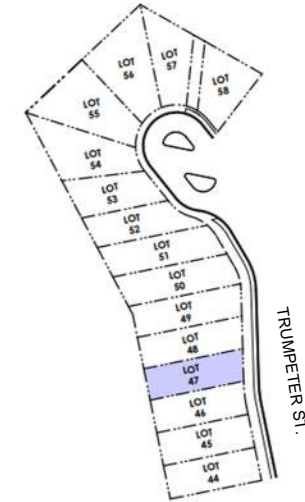
Development Permit Presentation

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

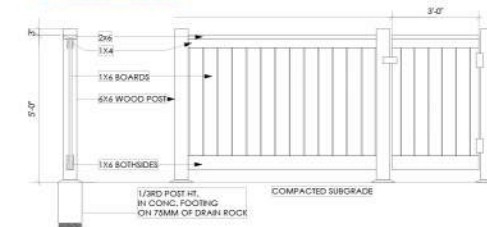
KEY PLAN
NOT TO SCALE



ITEM	AREA (sf)	%
GARDEN BED	242	10%
GRAVEL	453	19%
CONCRETE	994	43%
SOD	662	28%
TOTAL	2,351	100%

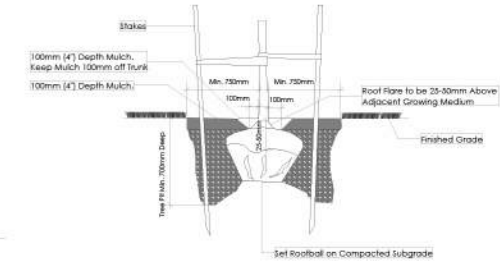
LEGEND	
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	09/30/22 FOR APPROVAL	PROJECT
02	10/12/22 GARDEN BED PLANTING	LANDSCAPING PLAN LOT 47, 3467 TRUMPETER ST. ROYAL BAY, SECTOR 7 CITY OF COLWOOD
03	01/03/23 REVISION AS PER CITY OF COLWOOD	



QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway
Victoria, B.C. V9B 0A6

P: 250.474.1039

www.verityconstruction.ca

MUNICIPAL ADDRESS 3467 Trumpeter Street	P.I.D.
LOT 47	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **71.11**

FRONT ELEV. **67.70** REAR ELEV. **69.72/69.66**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **67.85**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

PLAN

LOT: 47 PLAN: _____

TRUMPETER ST.

47
EG 67.0
MFE 68.24
GFE 68.04
MSE 64.89
S 64.41
D 64.47
LB

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

LEGEND

- SERVICE LOCATION (SHOWN ON ABOVE PLAN)
- PROPOSED FRONT CORNER ELEVATIONS
- PROPOSED FRONT SIDE YARD GRADES
- LEGAL LOT NUMBER
- EXISTING GROUND ELEVATION
- LOWER/MAIN FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- MINIMUM SANITARY SERVICABLE ELEVATION BY GRAVITY
- SAN SERVICE INV. (P) DENOTES PUMP IS LIKELY REQUIRED FOR BASEMENT IF INSTALLED
- STORM SERVICE INV. (P) DENOTES PUMP IS LIKELY REQUIRED FOR BASEMENT IF INSTALLED
- PROPOSED REAR SIDE YARD GRADES
- LOT TYPE (L/LB/LBT)
- PROPOSED REAR CORNER ELEVATIONS

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____

I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE

DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

C. Hume - Oct. 12/22

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE

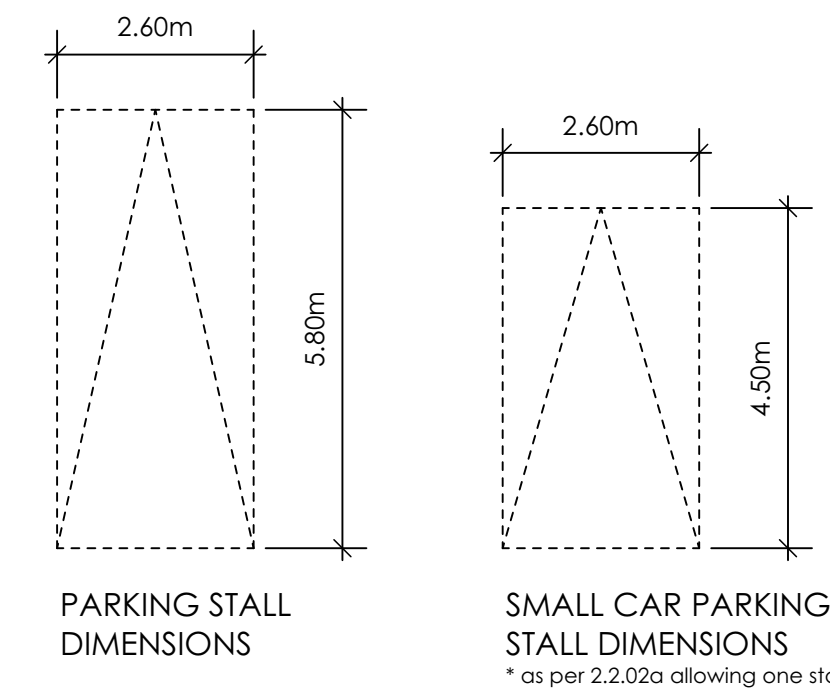
DATE

SITE DATA	RBCD5	LOT 48
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	392.10 sq.m.
LOT COVERAGE	50.00 %	44.42 %
BUILDING HEIGHT	9.50 m.	6.74 m.
LOT WIDTH	10.97 m.	11.16 m.
SETBACKS		
- FRONT	3.00 m.	6.74 m.
- FRONT (GARAGE)	6.00 m.	8.54 m.
- REAR	6.00 m.	7.20 m.
- RIGHT SIDE	1.20 m.	1.27 m.
- LEFT SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- MAIN		138.15 sq.m.
- LOWER		108.80 sq.m.
- GARAGE		41.90 sq.m.
SUB-TOTAL G.F.A.		288.85 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.90 sq.m.
GROSS FLOOR AREA		246.95 sq.m.
F.A.R.		
		0.63 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	32.40 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	80.01 sq.m.

AVERAGE NATURAL GRADE CALCULATION:
 $69.30M + 69.55M + 67.85M + 68.00M = 274.70M/4 = 68.68M$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

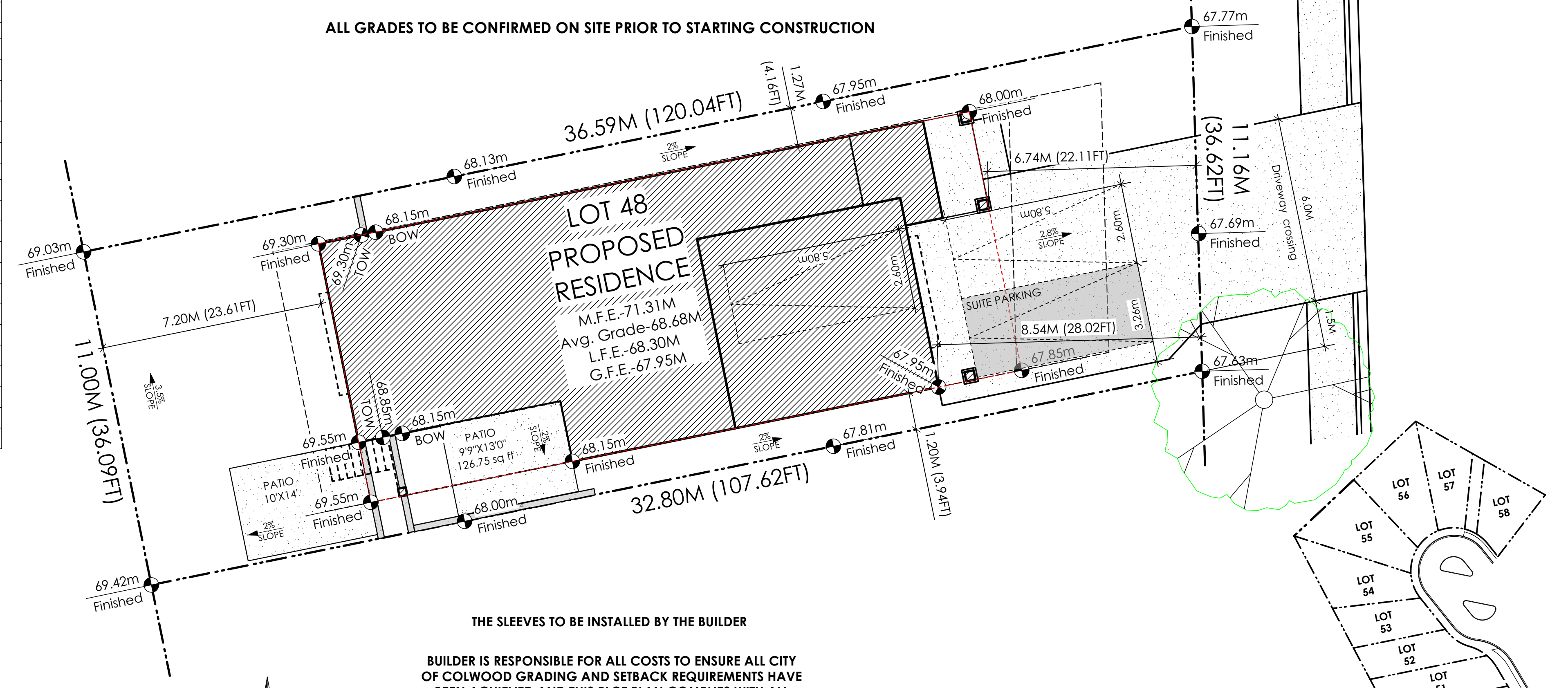


1 Site Plan
Scale: 1:100

2 Key Plan
1:1000

STOP & READ
 RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED
 MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.
 THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

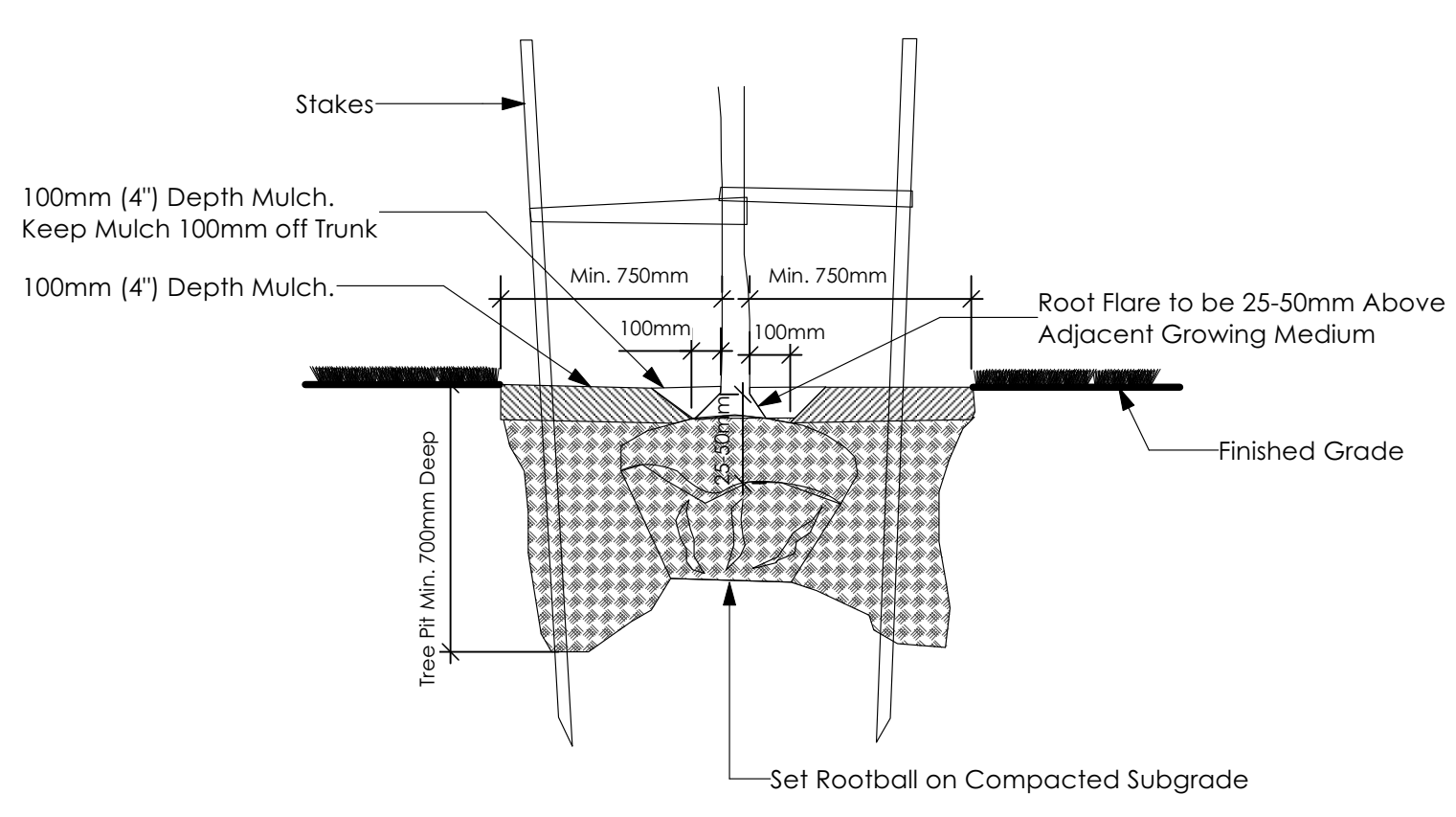
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



THE SLEEVES TO BE INSTALLED BY THE BUILDER

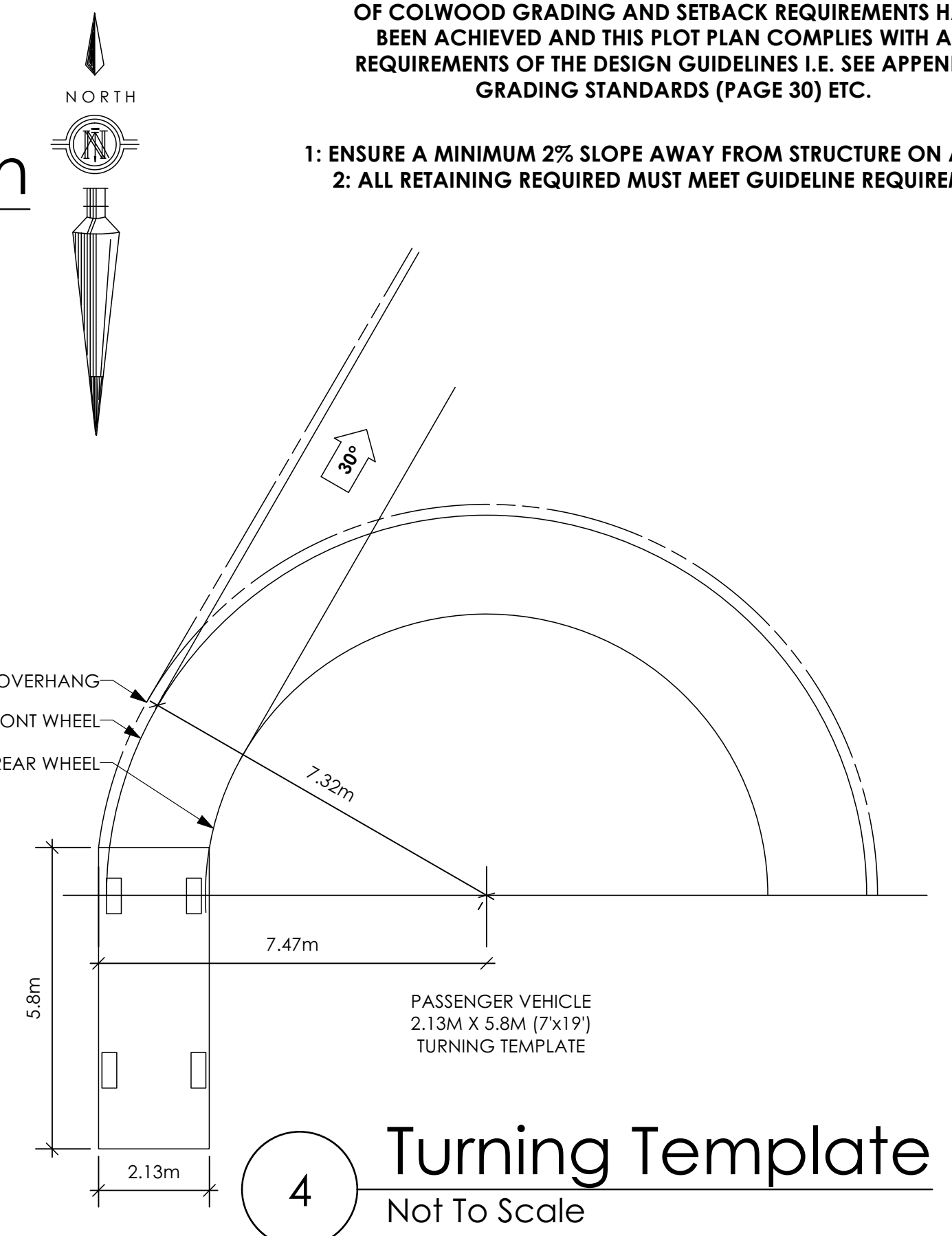
BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

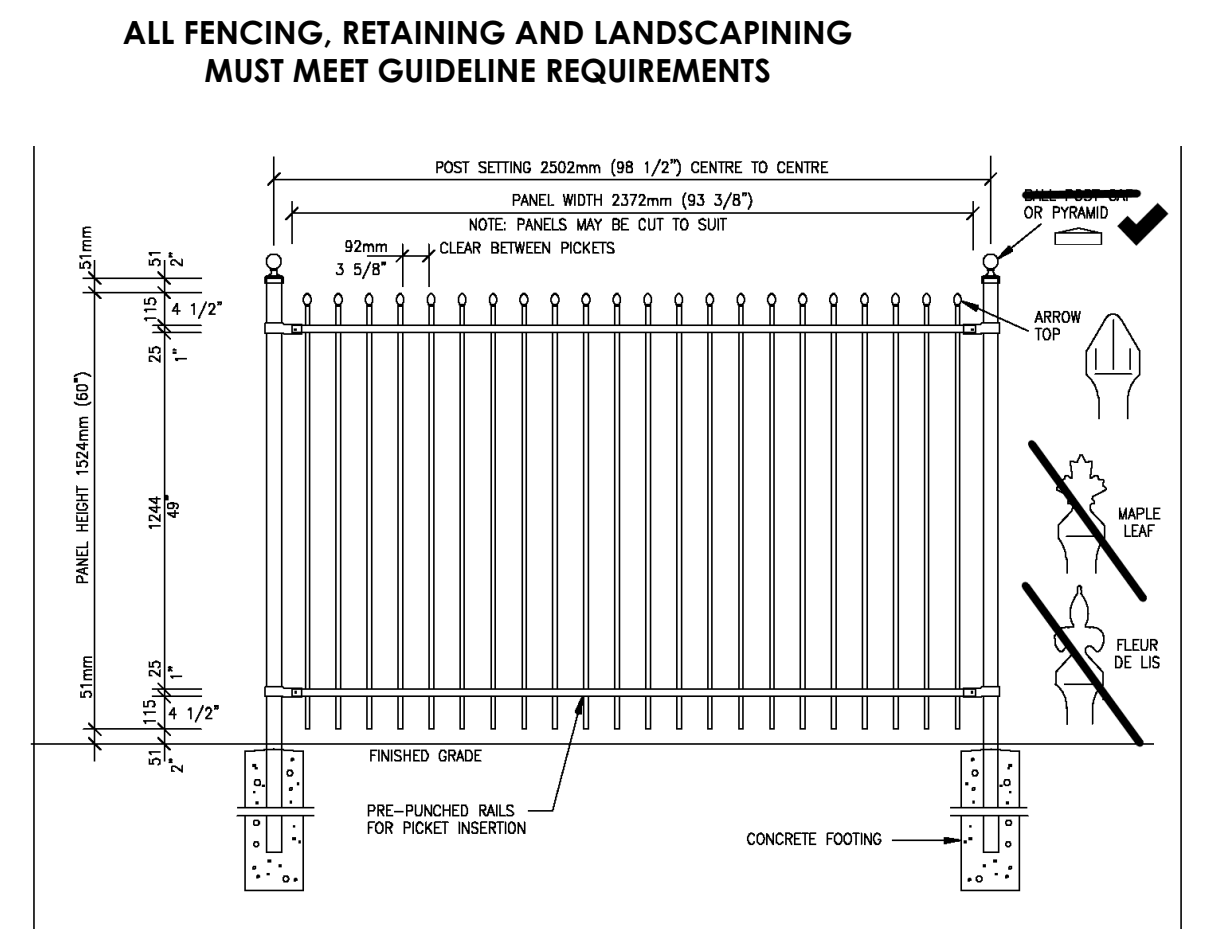


3 Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep



4 Turning Template
Not To Scale



5 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

Development Permit Presentation

'PORT' - COASTAL

Date
Dec 22 2022

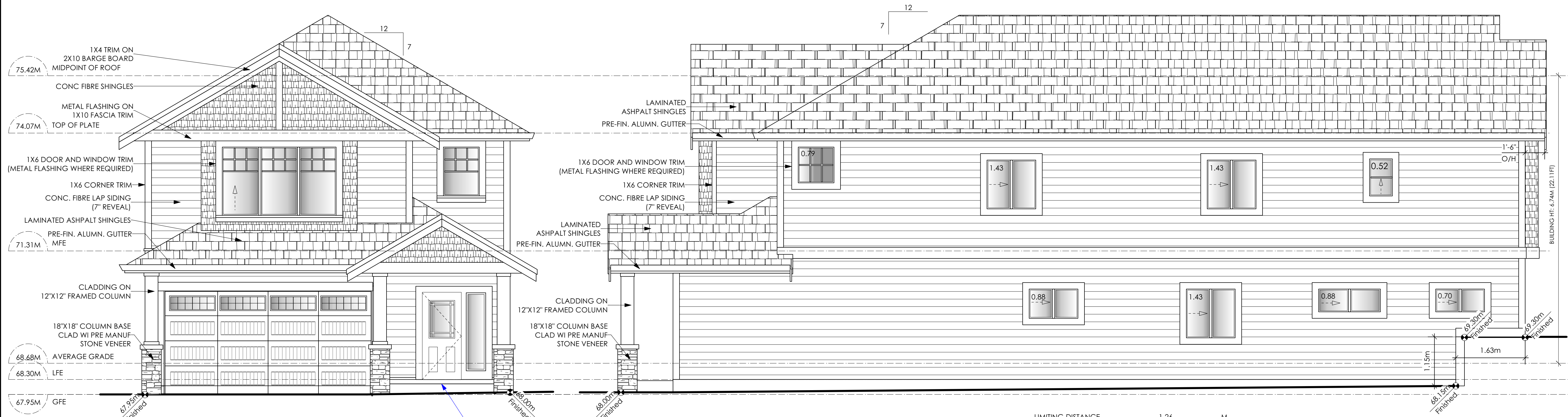
Project Address
3469 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for
Verity Construction

Project #
8298
A2

Scale
As Noted

Drawn By
MRB



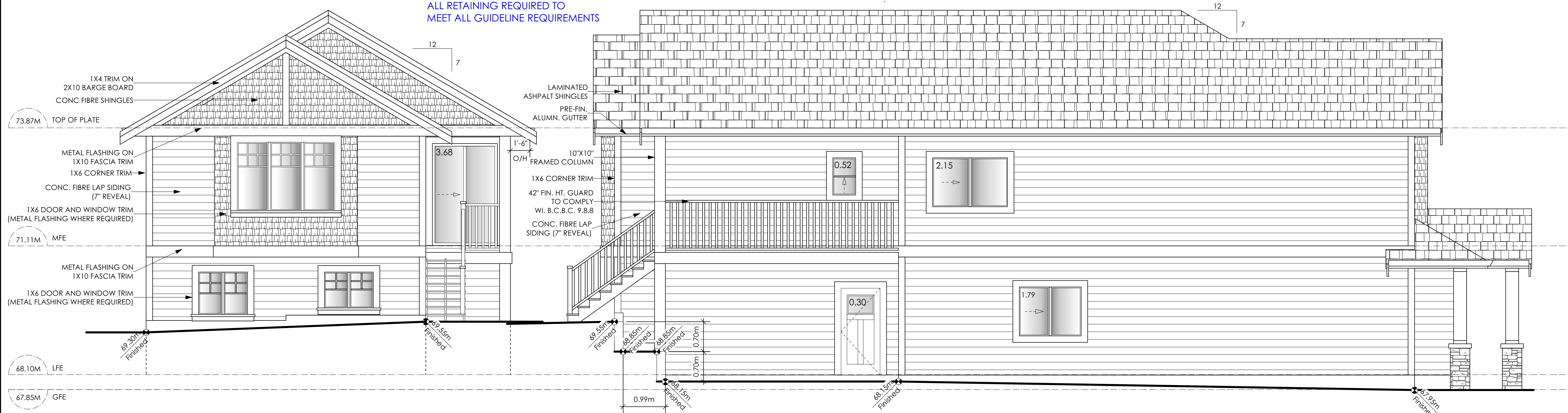
1 **Front Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

2 **Right Side Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

LIMITING DISTANCE	1.26	M.
EXPOSED BUILDING FACE	115.10	SQ.M.
ALLOWABLE OPENINGS	7.00	%
ALLOWABLE OPENING AREA	8.06	SQ.M.
PROPOSED OPENINGS	8.06	SQ.M.

CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES

ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS



3 **Rear Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

4 **Left Side Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

LIMITING DISTANCE	1.20	M.
EXPOSED BUILDING FACE	117.41	SQ.M.
ALLOWABLE OPENINGS	7.0	%
ALLOWABLE OPENING AREA	8.22	SQ.M.
PROPOSED OPENINGS	4.76	SQ.M.

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW

'PORT' - COASTAL

Date

Dec 22 2022

Project Address

3469 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

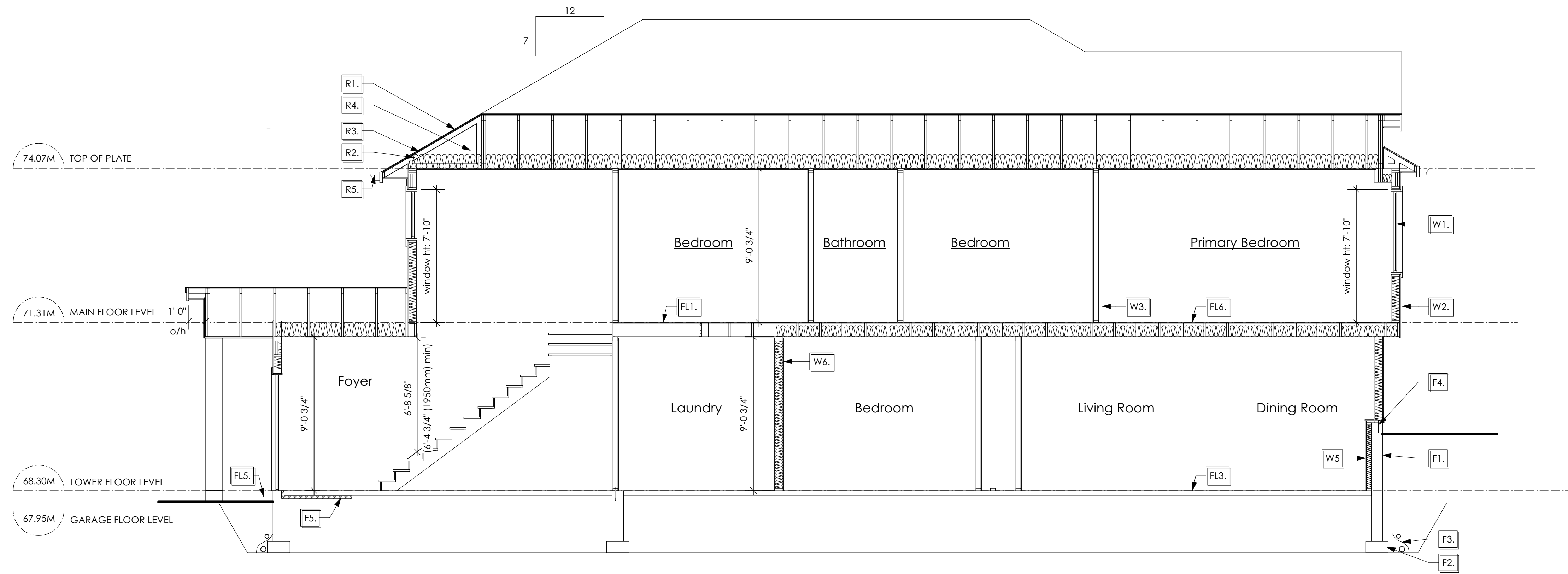
8298

Scale

As Noted

Drawn By

MRB



1 Section A-A
A7 Scale: 1/4" = 1'-0"

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 2012 9.3.2.9.(3)

SECTION NOTES

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) OR R-40 FIBRE GLASS BATT INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection for 4'-0" (1.2m) around perimeter of building. air ventilation baffles to be installed where required in as per BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. PRE-FN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (see contractor)

- R6. PRE MANUF SOFFIT 1/2" OSB BOARD SUPPORTED BY 2X4" FRAMING REFER TO DETAIL 4 / D1 (to be applied in any soffit that has less than 1.20m clearance to any property line. To comply with BC BUILDING CODE 9.10.15.5 (11)) (AS REQUIRED, VERIFY ON SITE) (NOT SHOWN IN SECTION)

Floors

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 FIBRE GLASS BATT INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- FL3. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL5. 3 1/2" CONCRETE SLAB (CONTRACTOR TO VERIFY EXTENT OF EXTERIOR SLABS AND FINISHES) (SLOPE AWAY FROM BUILDING @ 2% MIN.) 6" COMPACTED GRAVEL OR SAND
- FL6. F84 RATED CEILING ASSEMBLY (BC BUILDING CODE TABLE 9.10.3.1.B) FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.

Walls

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X 10" LUNTEL OVER (@ BEARING WALLS ONLY) (TYPICAL WL 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED)

- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W5. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED) R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)
- W6. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W7. STUD SPACING - UPPER FLOOR: 2'X6" @ 24" O/C - MAIN FLOOR: 2'X6" @ 24" O/C - LOWER FLOOR: 2'X6" @ 16" O/C (if applicable) - INTERIOR PARTITION: 2'X4" @ 24" O/C - LOAD BEARING: 2'X4" @ 16" O/C - PARTY WALL: 2'X4" @ 24" O/C (if applicable)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 14" X 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

'PORT' - COASTAL

Date

Dec 22 2022

Project Address

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Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

Scale

As Noted

Drawn By

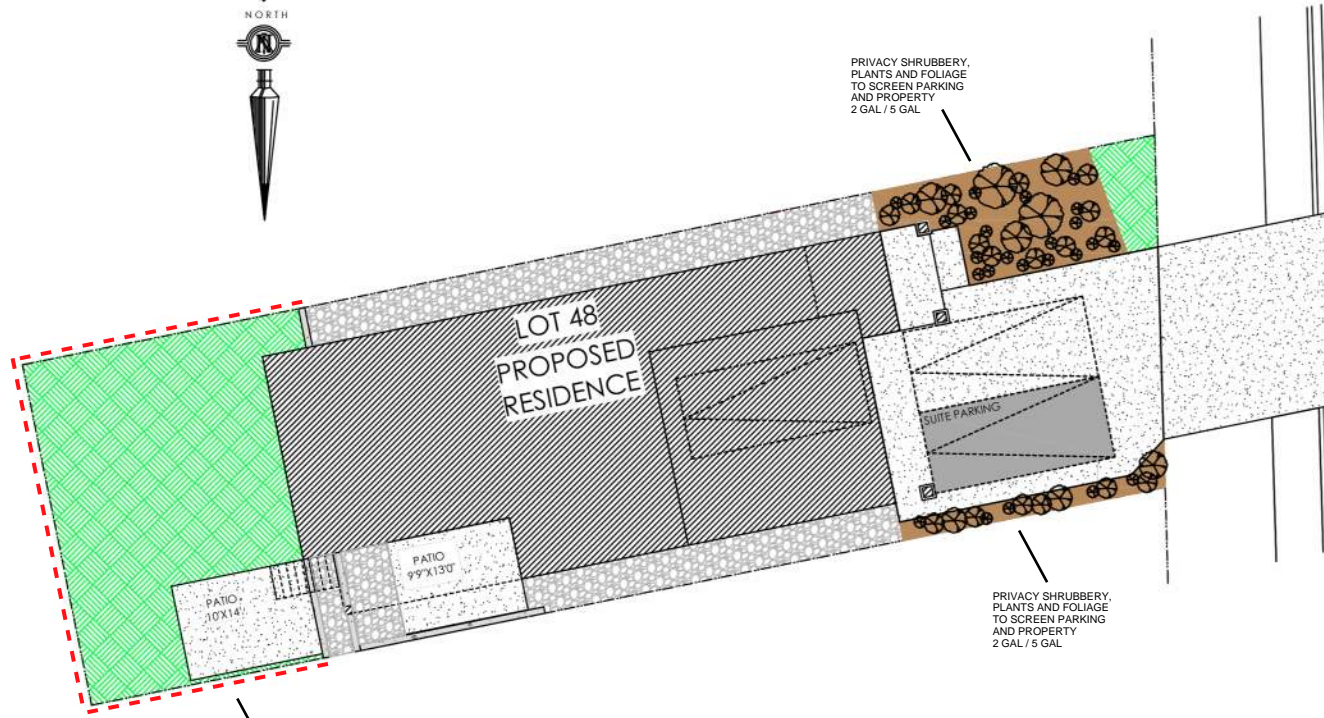
MRB

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

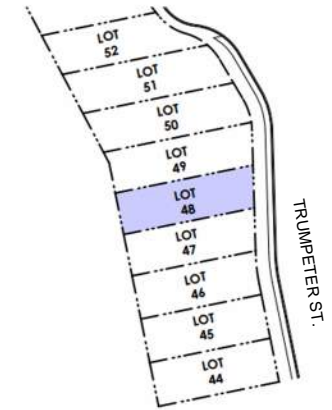
*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN
NOT TO SCALE



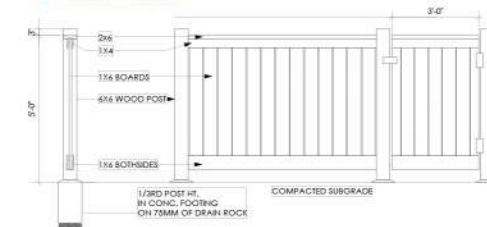
ITEM	AREA (sf)	%
GARDEN BED	277	11%
GRAVEL	480	19%
CONCRETE	979	38%
SOD	825	32%
TOTAL	2,561	100%

LEGEND	
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL



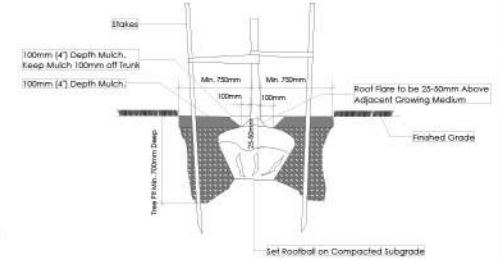
ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

LOCATION INDICATED BY



Typical Fence Detail

Not To Scale
*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES, PAGE 21



Tree Planting Detail

Not To Scale
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	09/30/22	FOR APPROVAL
02	10/12/22	GARDEN BED PLANTING
03	01/03/23	REVISION AS PER CITY OF COLWOOD

PROJECT

LANDSCAPING PLAN
LOT 48, 3469 TRUMPETER ST.
ROYAL BAY, SECTOR 7
CITY OF COLWOOD



QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway
Victoria, B.C. V9B 0A6

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MUNICIPAL ADDRESS 3469 Trumpeter Street	P.I.D.
LOT 48	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) 71.31

FRONT ELEV. 68.00 REAR ELEV. 69.55/96.30
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE 67.95

ACTUAL TOP OF FOOTING ELEVATION (ATF) n/a

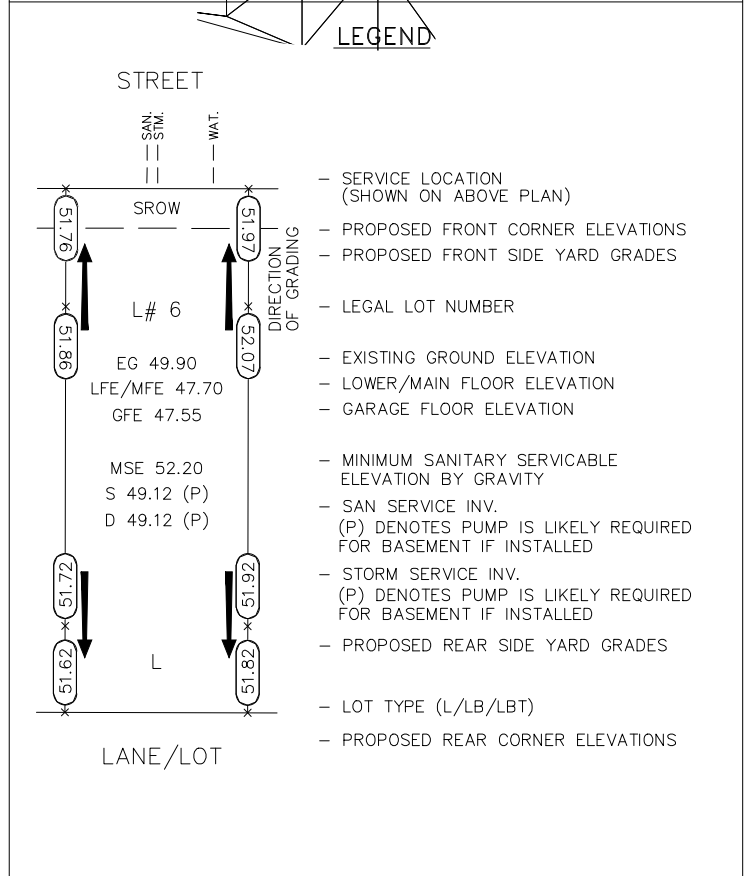
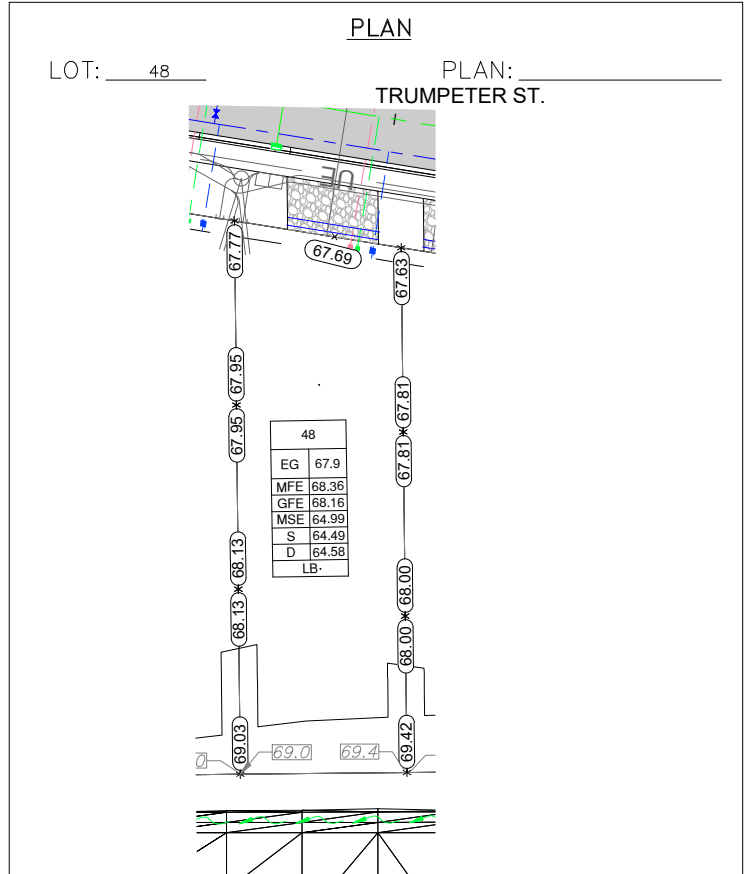
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) not provided

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
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ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

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- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

C. Hume - October 13/22
ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE