



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250-294-8153
planning@colwood.ca | www.colwood.ca

File: DP-22-023

DEVELOPMENT PERMIT DP-22-023

THIS PERMIT, issued April 4th 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: Verity Construction Ltd
106-1039 Langford Parkway
Victoria, BC V9B 0A6

(the "Permittee")

-
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

Lots 47 – 48, PLAN EPP117070 SECTION 38 ESQUIMALT
3467 & 3469 Trumpeter Street
(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the *"Colwood Land Use Bylaw, 1989"* (Bylaw No. 151), to ensure the form & character considerations for 2 single family homes with secondary suites and associated site improvements are consistent with the guidelines for areas designated as "Neighbourhood – Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit, including DP-21-008.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.

6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Site Plan, Architectural Drawings, Coloured Elevation Drawings, Landscape Plan, Parking Plan and Secondary Suite Landscape Plan for 3467 Trumpeter Street dated December 19th, 2022.
 - Schedule 2 Site Plan, Architectural Drawings, Coloured Elevation Drawings, Landscape Plan, Parking Plan and Secondary Suite Landscape Plan for 3469 Trumpeter Street dated December 22nd, 2022.
8. This Development Permit authorizes land alterations for the construction of 2 single family homes with secondary suites along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

FORM AND CHARACTER CONDITIONS

General

- 8.1. The form and character of the buildings to be constructed on the Lands shall conform to the drawings attached to this permit as schedules.

Building Features

- 8.2. The form and character of the buildings to be constructed on the Lands shall conform to the Site Plan, Architectural Drawings and Elevation Drawings prepared by Victoria Design Group (Schedules 1-2).
- 8.3. Within any group of three adjacent homes on the lands, no two houses shall have the same dwelling unit design.
- 8.4. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services.
- 8.5. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.6. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

Landscaping

- 8.7. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Verity Construction (Schedules 1-2).

Stormwater Management

8.8. Issuance of a Building Permit is subject to the City of Colwood's approval of a site specific stormwater management plan.

Grading

8.9. Lot preparations shall be in compliance with the site-specific grading plan by Gablecraft Homes as part of Schedules 1-2.

8.10. The geotechnical conditions are subject to all conditions outlined in covenant CA9828107.

ISSUED ON THIS 4th DAY OF APRIL, 2023.



Yazmin Hernandez

Director of Development Services

SITE DATA	RBCD5	LOT 47
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	371.24 sq.m.
LOT COVERAGE	50.00 %	42.25 %
BUILDING HEIGHT	9.50 m.	6.50 m.
LOT WIDTH	10.97 m.	11.16 m.
SETBACKS		
- FRONT	3.00 m.	5.44 m.
- FRONT (GARAGE)	6.00 m.	8.81 m.
- REAR	6.00 m.	6.00 m.
- RIGHT SIDE	1.20 m.	1.26 m.
- LEFT SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- MAIN		138.12 sq.m.
- LOWER		108.80 sq.m.
- GARAGE		41.90 sq.m.
SUB-TOTAL G.F.A.		288.82 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.90 sq.m.
GROSS FLOOR AREA		246.92 sq.m.
F.A.R.		0.67 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	32.40 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	80.01 sq.m.

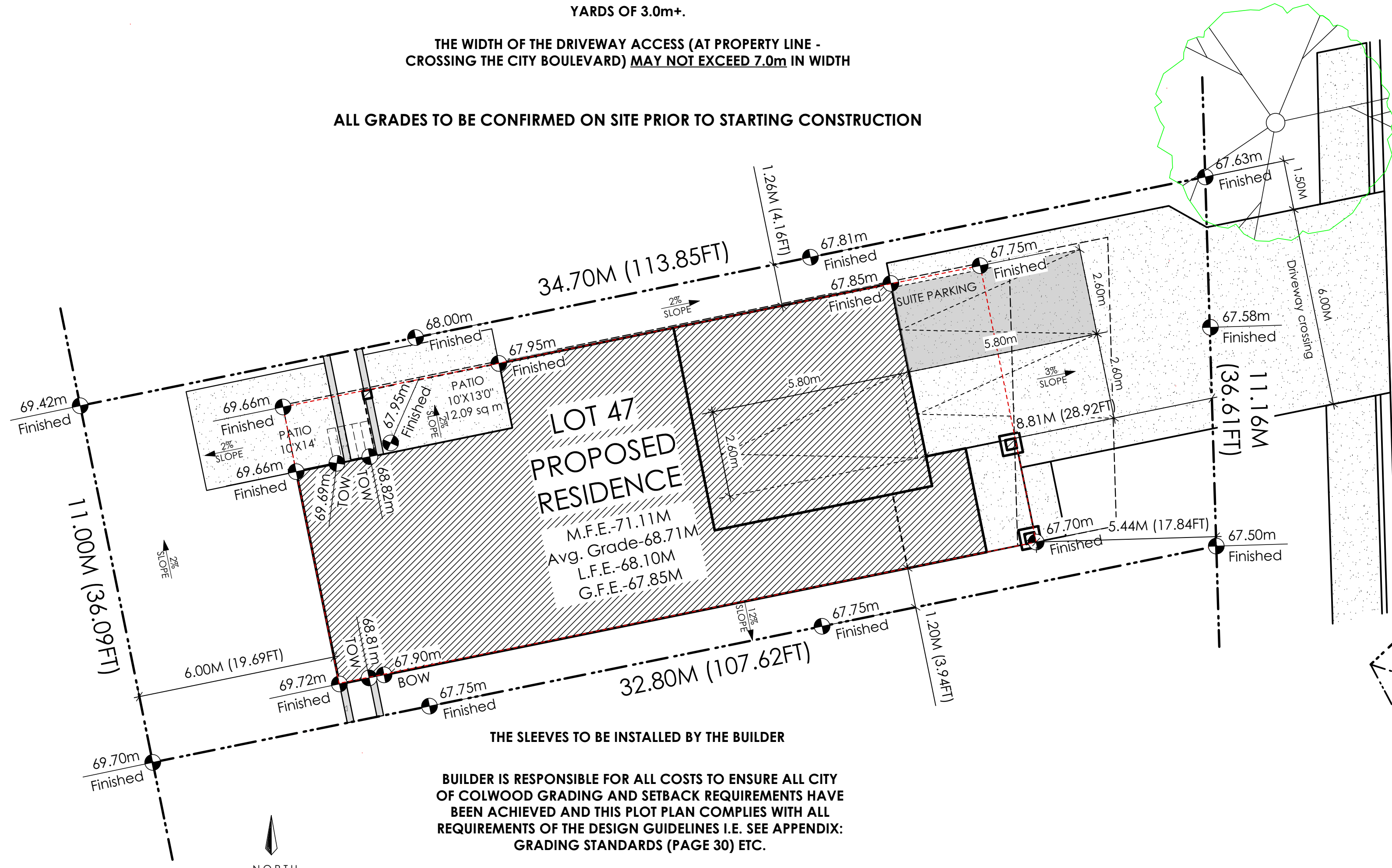
STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

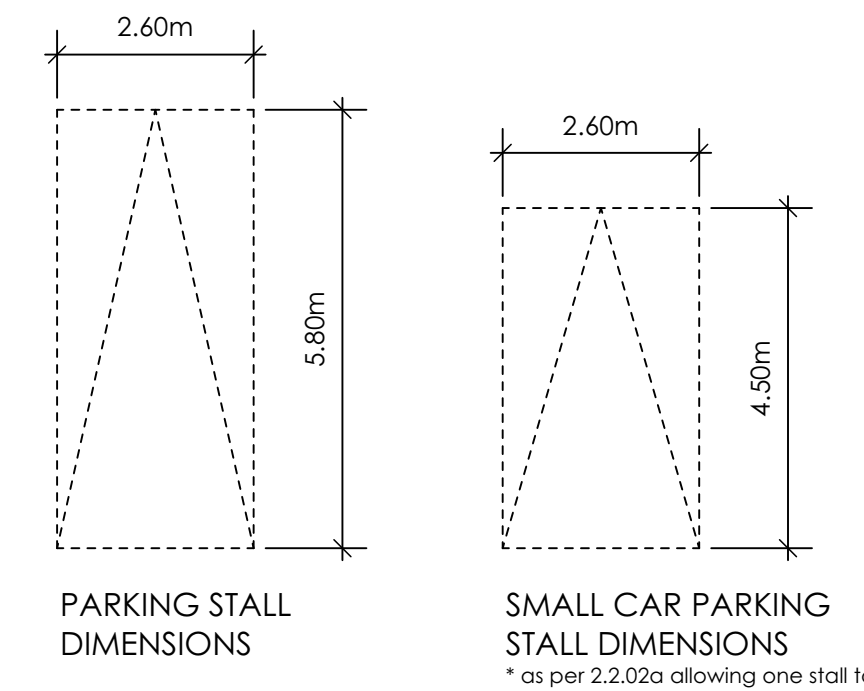
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



AVERAGE NATURAL GRADE CALCULATION:
69.72M + 69.66M + 67.75M + 67.70M = 274.83M/4 = 68.71M

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



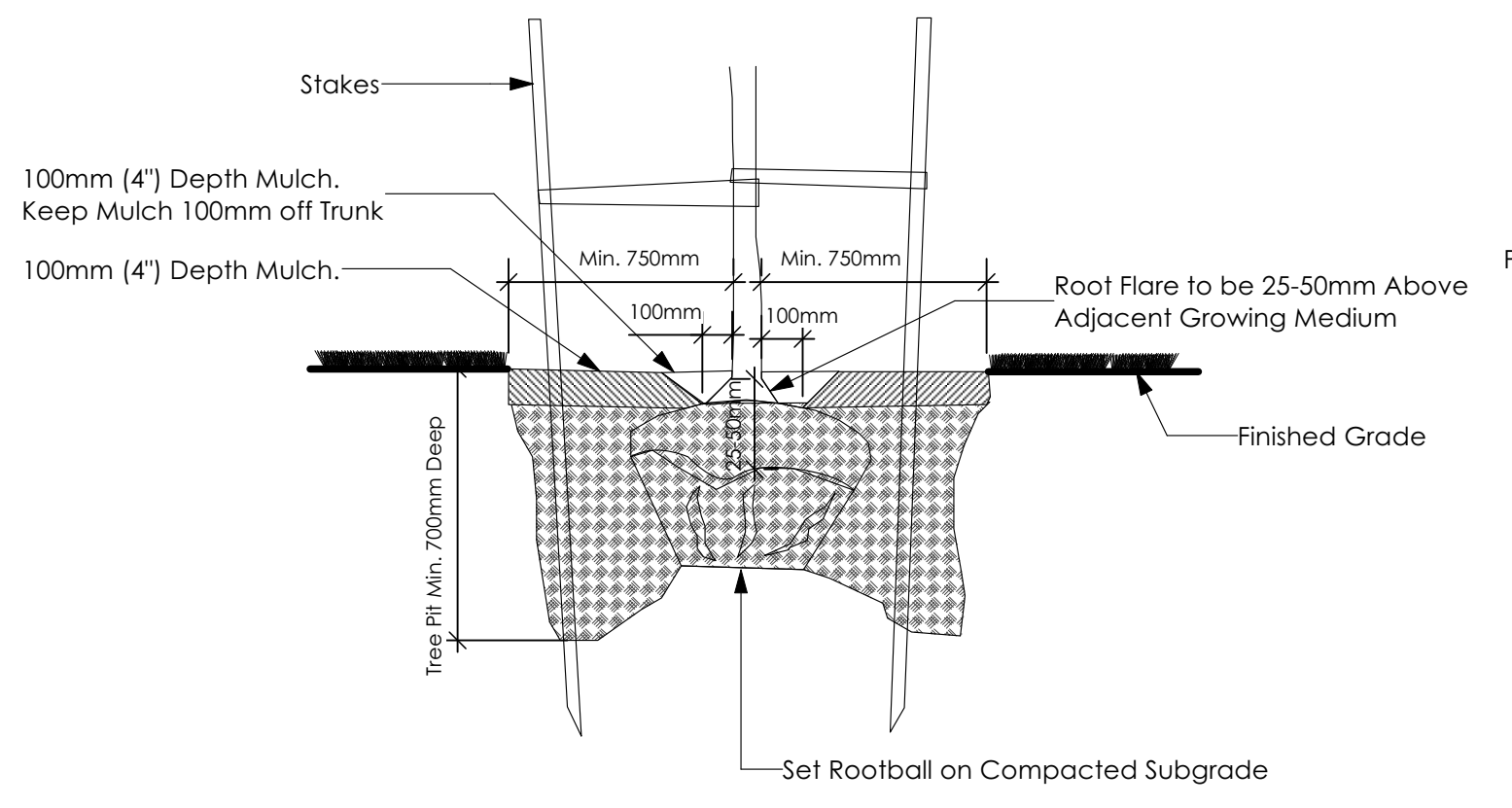
1 Site Plan
Scale: 1:100

2 Key Plan
1:1000

THE SLEEVES TO BE INSTALLED BY THE BUILDER

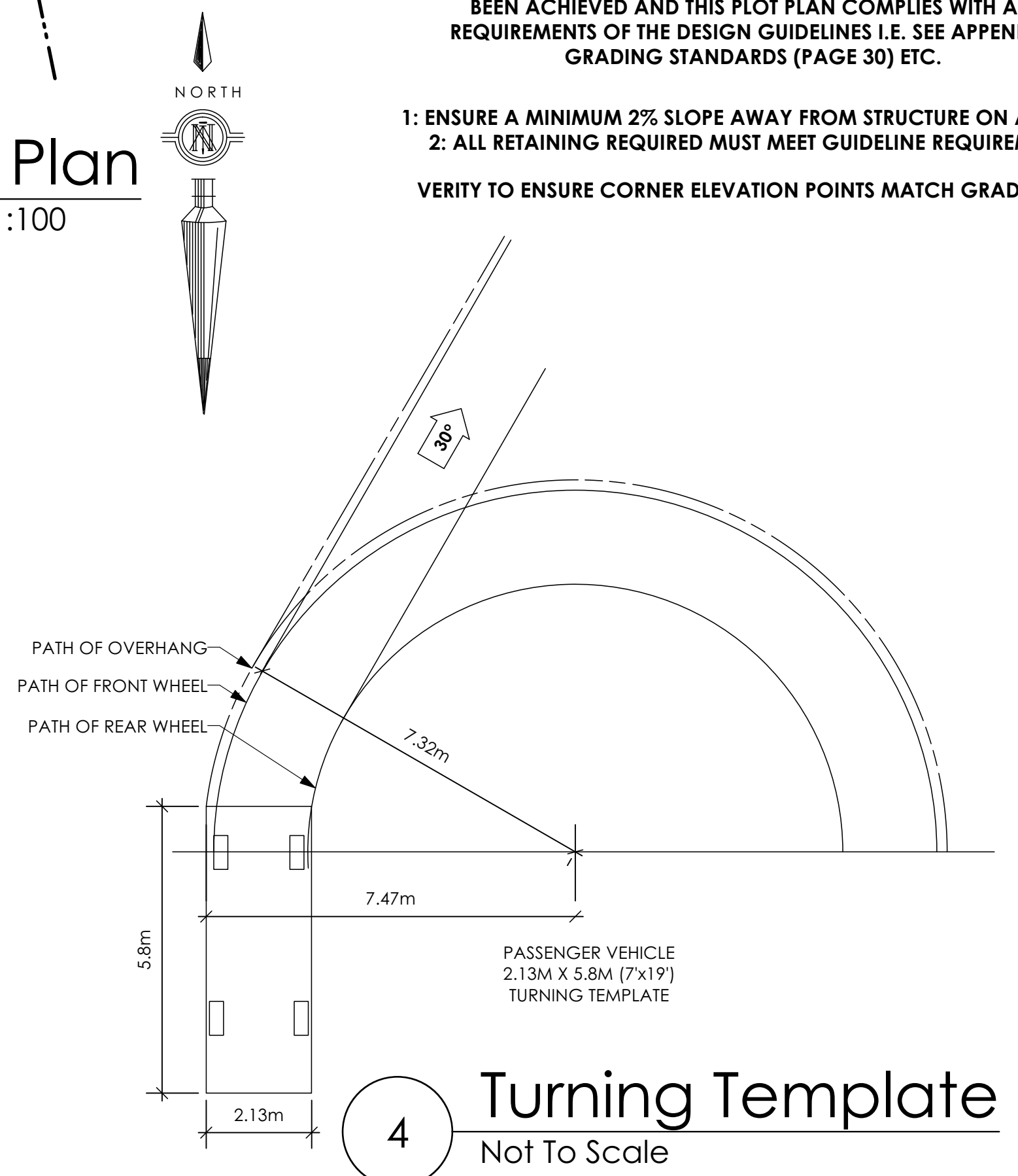
BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS
VERIFY TO ENSURE CORNER ELEVATION POINTS MATCH GRADE SLIP

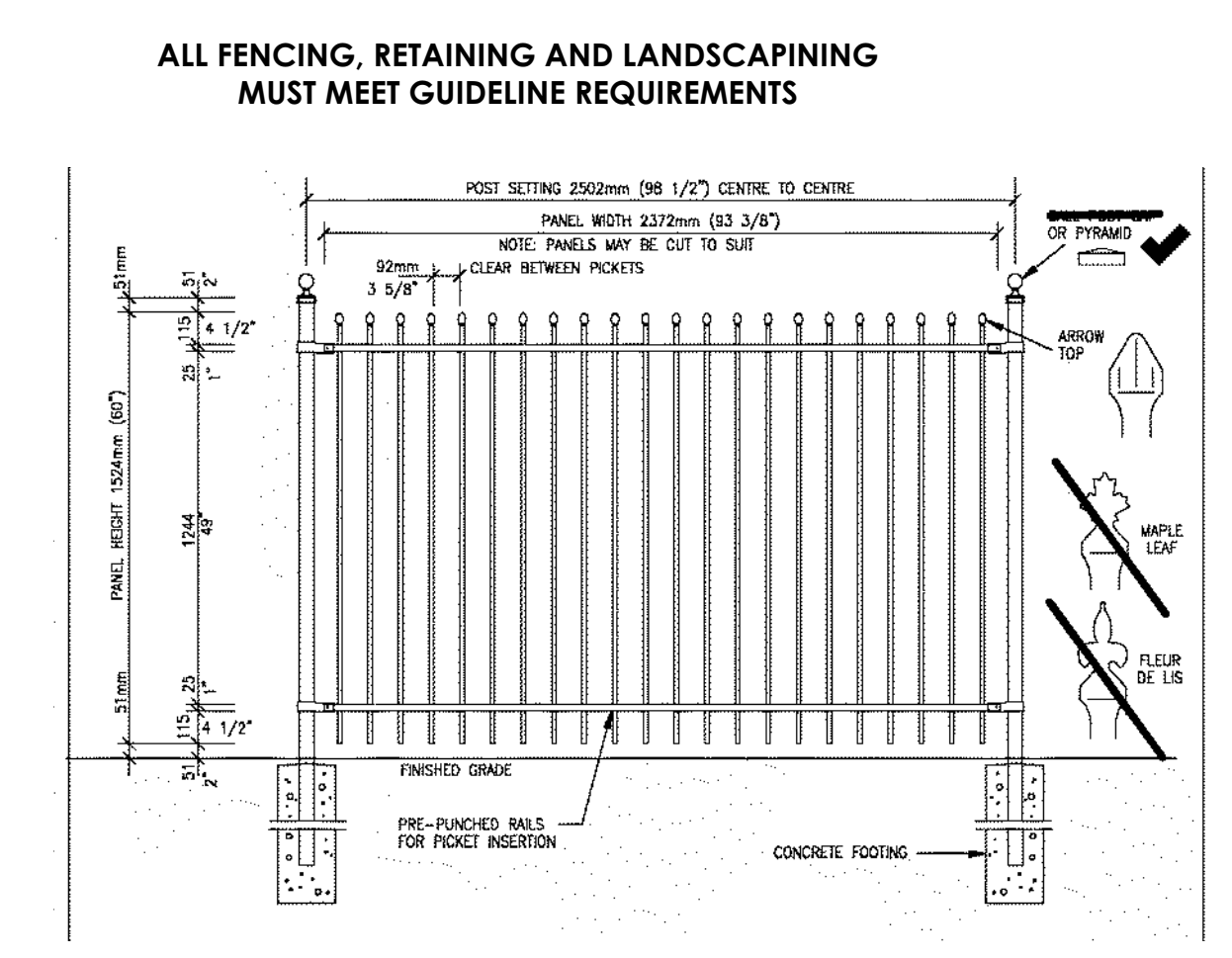


3 Tree Planting Detail
Not To Scale

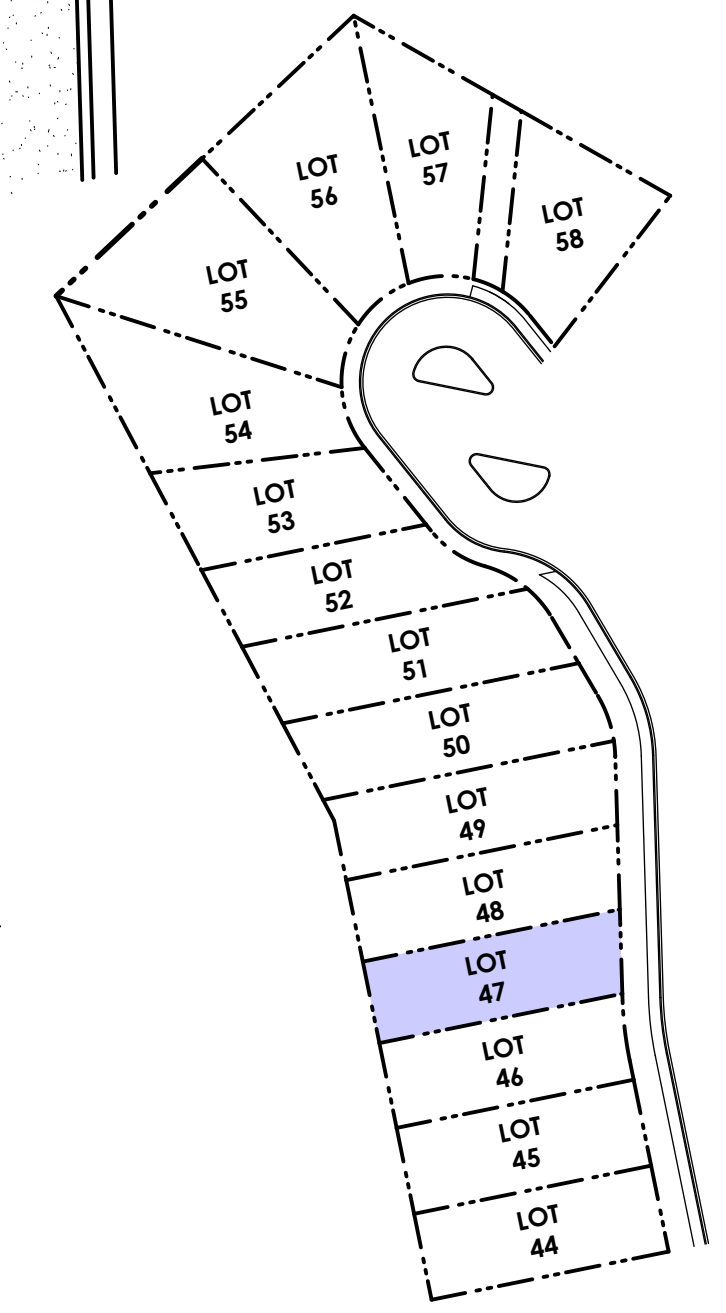
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep



4 Turning Template
Not To Scale



5 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)



'PORT' - TRADITIONAL

Date
Dec 19 2022

Project Address
3467 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

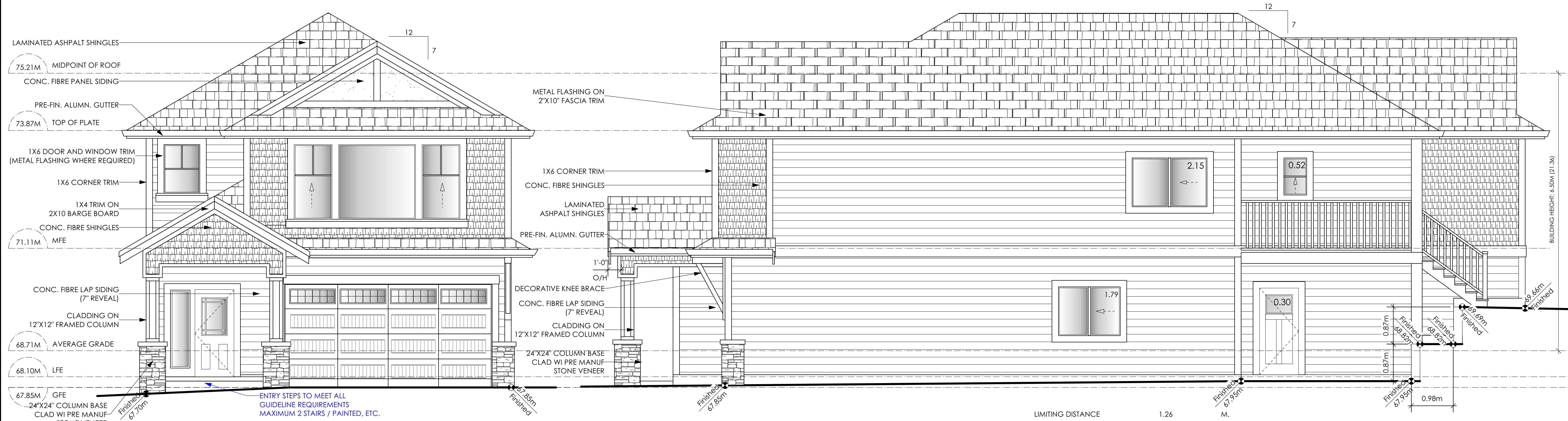
Prepared for
Verity Construction

Project #
8298

Scale
As Noted

Drawn By
MRB

Development Permit Presentation



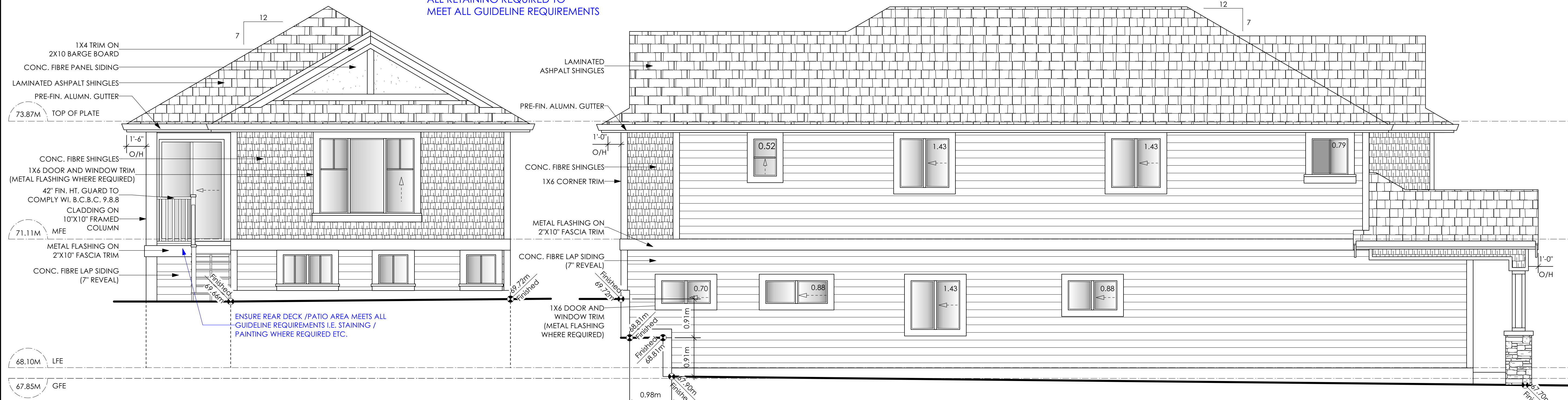
1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

2 Right Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

LIMITING DISTANCE	1.26	M.
EXPOSED BUILDING FACE	111.82	SQ.M.
ALLOWABLE OPENINGS	7.00	%
ALLOWABLE OPENING AREA	7.83	SQ.M.
PROPOSED OPENINGS	4.76	SQ.M.

CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES

ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS



3 Rear Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

4 Left Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

LIMITING DISTANCE	1.20	M.
EXPOSED BUILDING FACE	117.41	SQ.M.
ALLOWABLE OPENINGS	7.0	%
ALLOWABLE OPENING AREA	8.22	SQ.M.
PROPOSED OPENINGS	7.06	SQ.M.

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW

'PORT' - TRADITIONAL

Date
Dec 19 2022

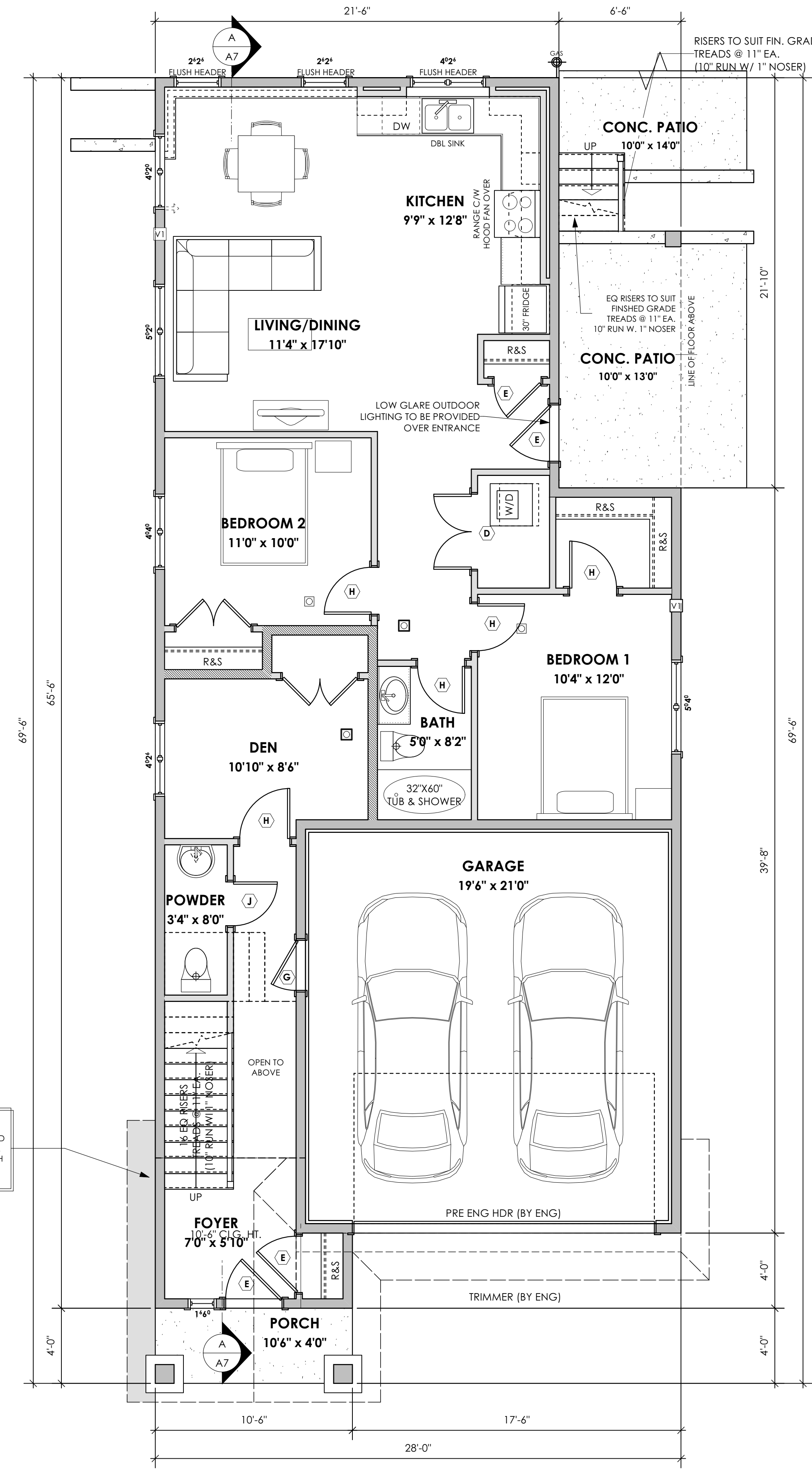
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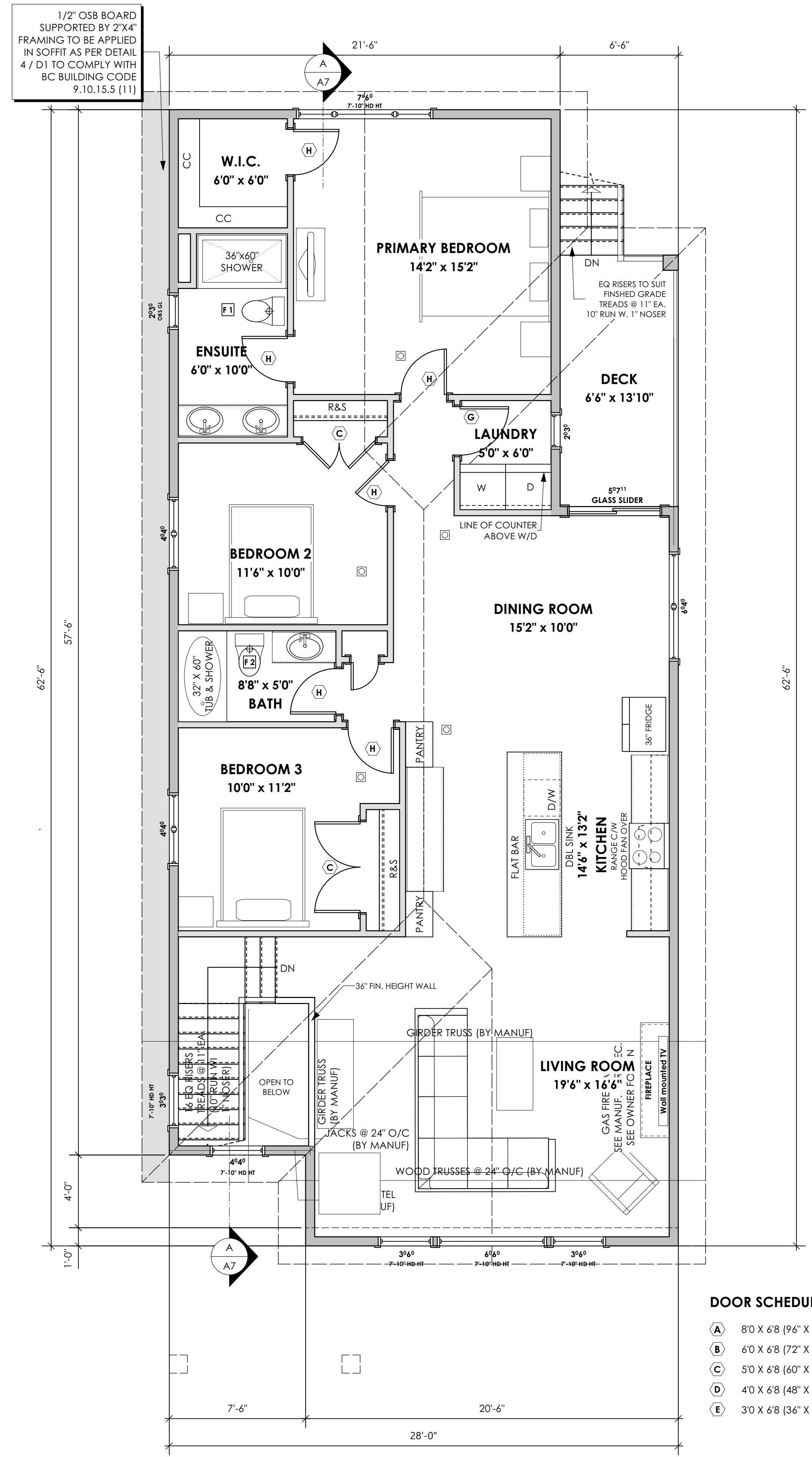
Scale
As Noted

Drawn By
MRB



1 Lower Floor Plan
Scale: 1/4" = 1'-0"

PRIMARY: 309.90 FT² (28.79 M²)
SUITE: 861.19 FT² (80.01 M²)
TOTAL: 1171.09 FT² (108.80 M²)
GARAGE: 451.00 FT² (41.90 M²)



2 Main Floor Plan
Scale: 1/4" = 1'-0"

PRIMARY: 1486.71 FT² (138.12 M²)

DOOR SCHEDULE

(A)	8'0" X 6'8" (9'6" X 8'0")	(G)	2'8" X 6'8" (3'2" X 8'0")
(B)	6'0" X 6'8" (7'2" X 8'0")	(H)	2'6" X 6'8" (3'0" X 8'0")
(C)	5'0" X 6'8" (6'0" X 8'0")	(J)	2'4" X 6'8" (2'8" X 8'0")
(D)	4'0" X 6'8" (4'8" X 8'0")	(K)	2'0" X 6'8" (2'4" X 8'0")
(E)	3'0" X 6'8" (3'6" X 8'0")	(L)	1'6" X 6'8" (1'8" X 8'0")

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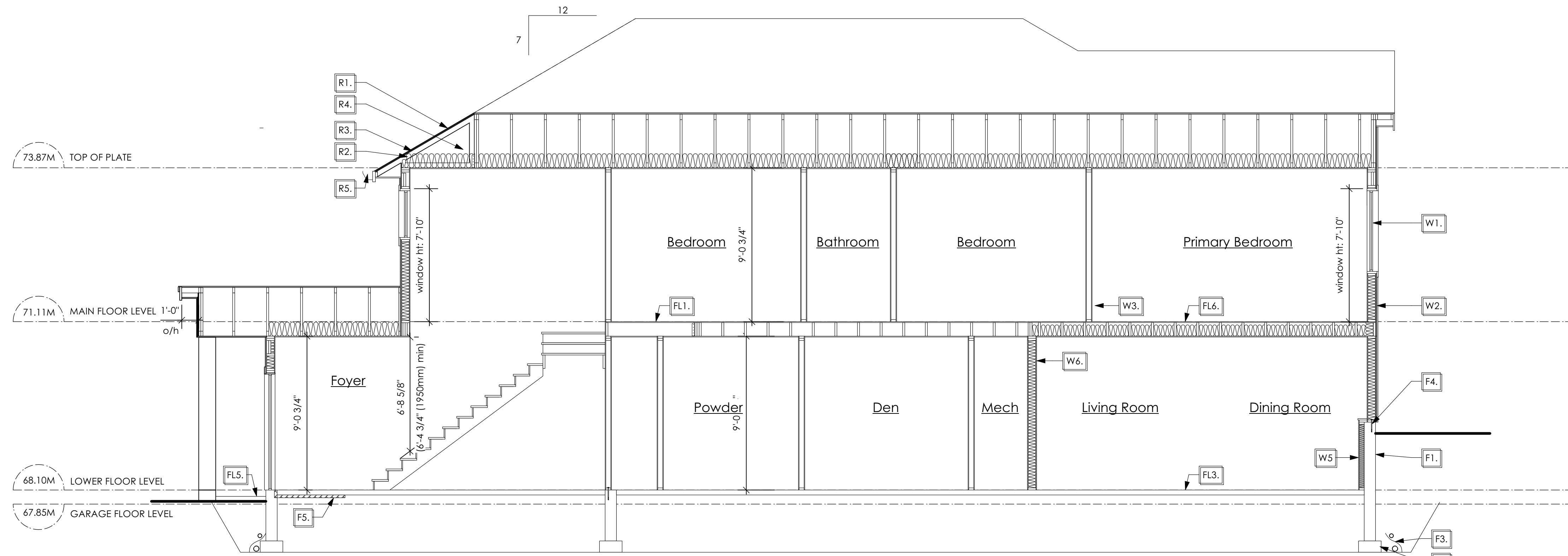
Scale

As Noted

Drawn By

MRB

Development Permit Presentation



1 Section A-A
A7 Scale: 1/4" = 1'-0"

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 2012 9.3.2.9.(3)

SECTION NOTES

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) OR R-40 FIBRE GLASS BATT INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (Min. R-20 @ roof-wall connection for 4'-0" (1.2m) around perimeter of building; air ventilation baffles to be installed where required in as per BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. PRE-FN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (see contractor)
- R6. PRE MANUF SOFFIT 1/2" OSB BOARD SUPPORTED BY 2X4" FRAMING REFER TO DETAIL 4 / D1 (to be applied in any soffit that has less than 1.2m clearance to any property line. To comply with BC BUILDING CODE 9.10.15.5 (11)) (AS REQUIRED, VERIFY ON SITE) (NOT SHOWN IN SECTION)

Floors

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 FIBRE GLASS BATT INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- FL3. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL5. 3 1/2" CONCRETE SLAB (CONTRACTOR TO VERIFY EXTENT OF EXTERIOR SLABS AND FINISHES) (SLOPE AWAY FROM BUILDING @ 2% MIN.) 6" COMPACTED GRAVEL OR SAND
- FL6. F8-d RATED CEILING ASSEMBLY (BC BUILDING CODE TABLE 9.10.3.1.B) FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.

Walls

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL. WL 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA WDMA/CSA 1011/S.2/A440. "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W5. 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED) R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)
- W6. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3C 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATT 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W7. STUD SPACING
- UPPER FLOOR: 2'x6" @ 24" O/C
- MAIN FLOOR: 2'x6" @ 24" O/C
- LOWER FLOOR: 2'x6" @ 16" O/C
(if applicable)
- INTERIOR PARTITION: 2'x4" @ 24" O/C
- LOAD BEARING: 2'x4" @ 16" O/C
- PARTY WALL: 2'x4" @ 24" O/C
(if applicable)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

'PORT' - TRADITIONAL

Date

Dec 19 2022

Project Address

3467 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

Scale

As Noted

Drawn By

MRB

Development Permit Presentation

MUNICIPAL ADDRESS 3467 Trumpeter Street	P.I.D.
LOT 47	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **71.11**

FRONT ELEV. **67.70** REAR ELEV. **69.72/69.66**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **67.85**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

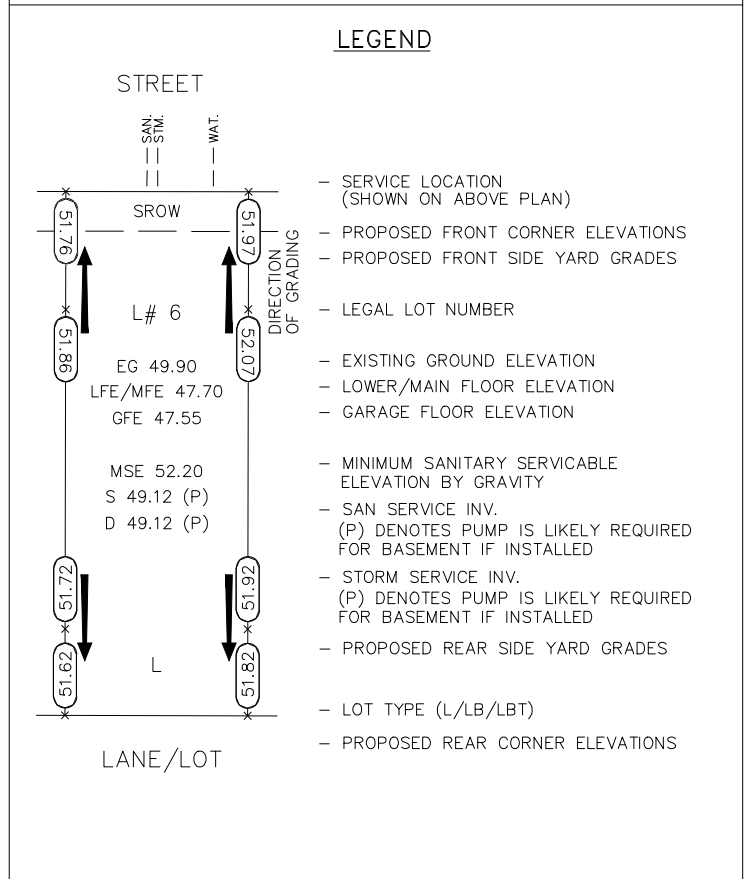
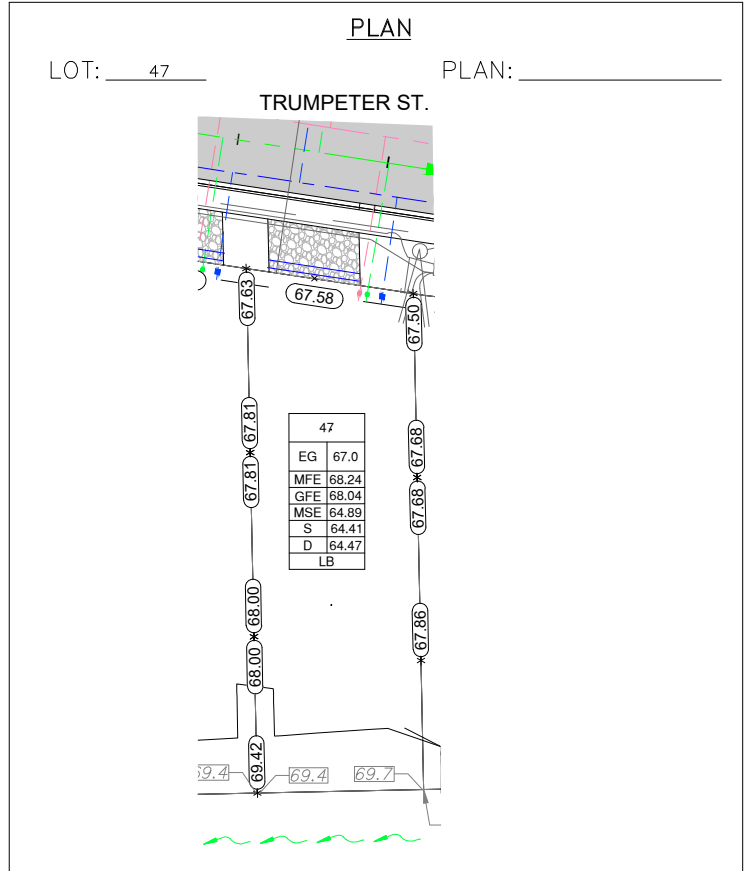
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

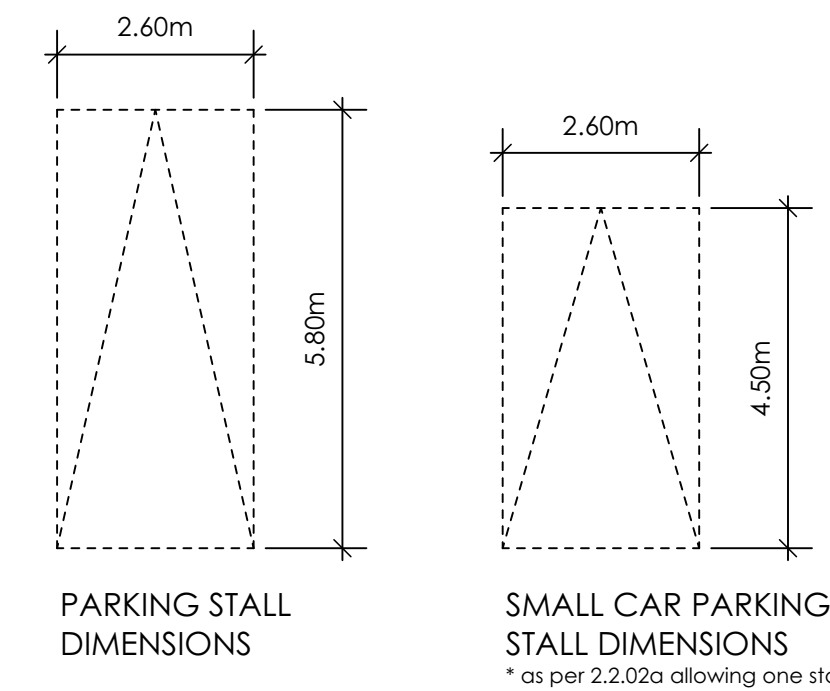
C. Hume - Oct. 12/22
ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

SITE DATA	RBCD5	LOT 48
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	392.10 sq.m.
LOT COVERAGE	50.00 %	44.42 %
BUILDING HEIGHT	9.50 m.	6.74 m.
LOT WIDTH	10.97 m.	11.16 m.
SETBACKS		
- FRONT	3.00 m.	6.74 m.
- FRONT (GARAGE)	6.00 m.	8.54 m.
- REAR	6.00 m.	7.20 m.
- RIGHT SIDE	1.20 m.	1.27 m.
- LEFT SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- MAIN		138.15 sq.m.
- LOWER		108.80 sq.m.
- GARAGE		41.90 sq.m.
SUB-TOTAL G.F.A.		288.85 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.90 sq.m.
GROSS FLOOR AREA		246.95 sq.m.
F.A.R.		
		0.63 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	32.40 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	80.01 sq.m.

AVERAGE NATURAL GRADE CALCULATION:
 $69.30M + 69.55M + 67.85M + 68.00M = 274.70M/4 = 68.68M$

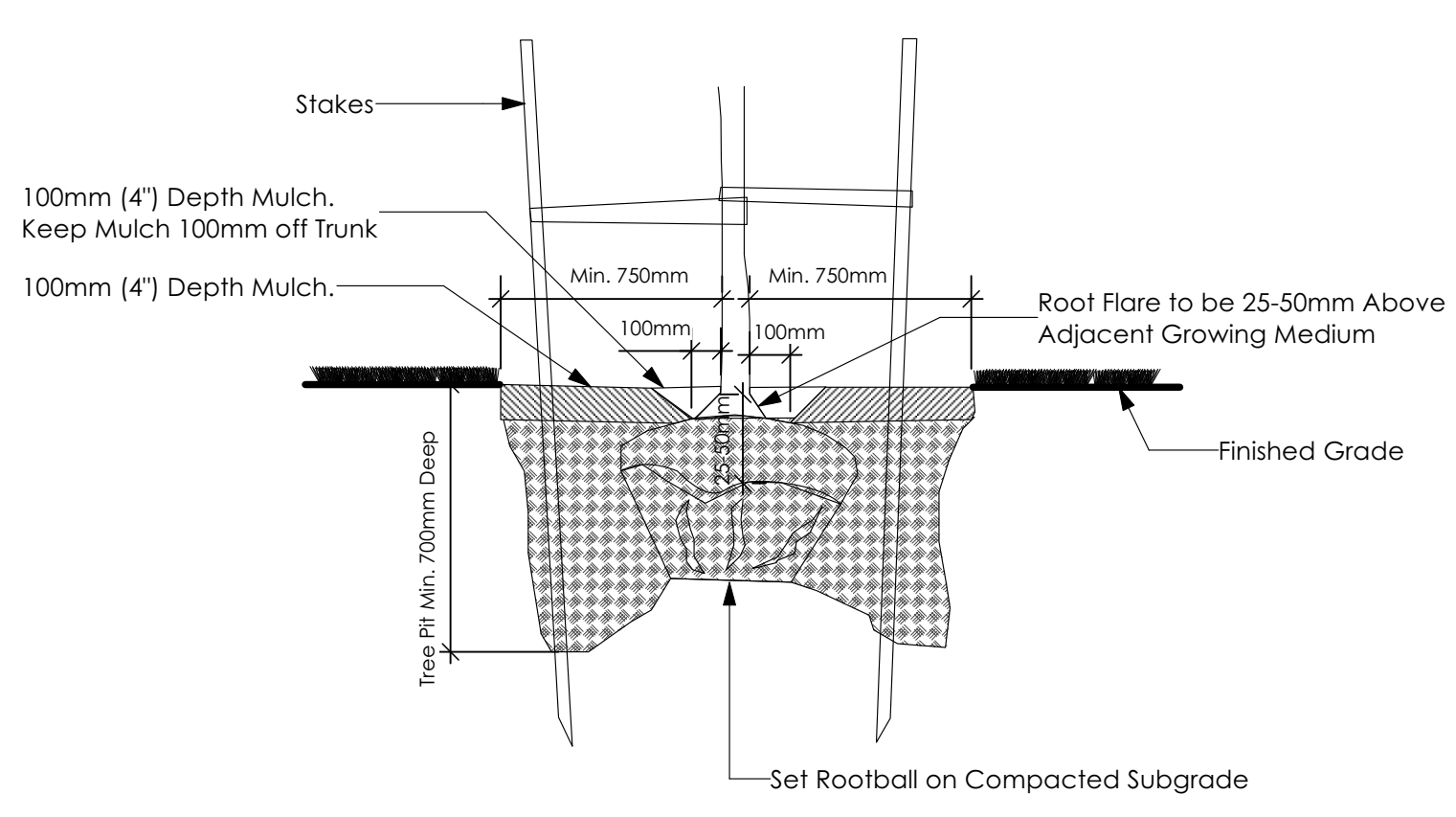
SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



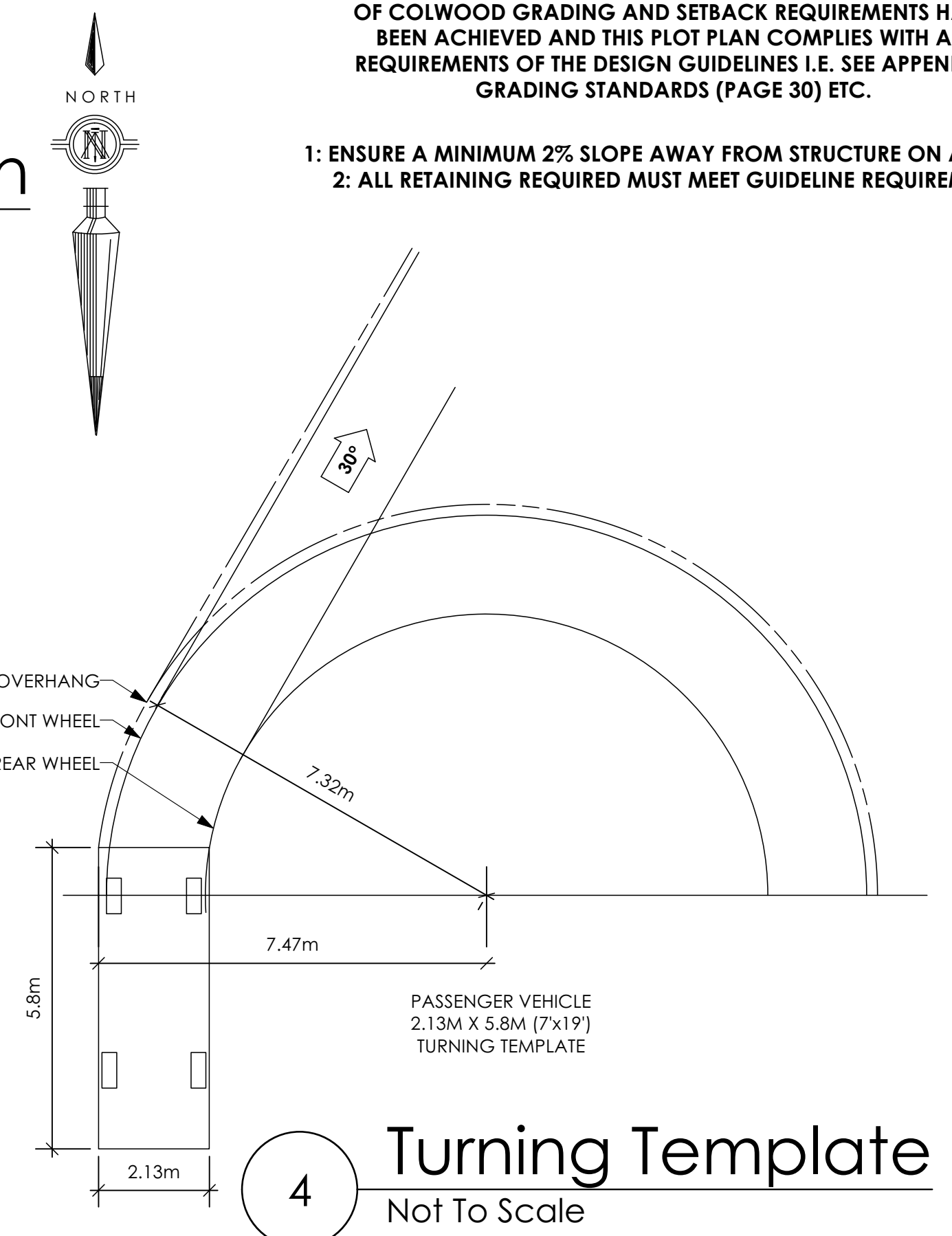
1 Site Plan
Scale: 1:100

2 Key Plan
1:1000

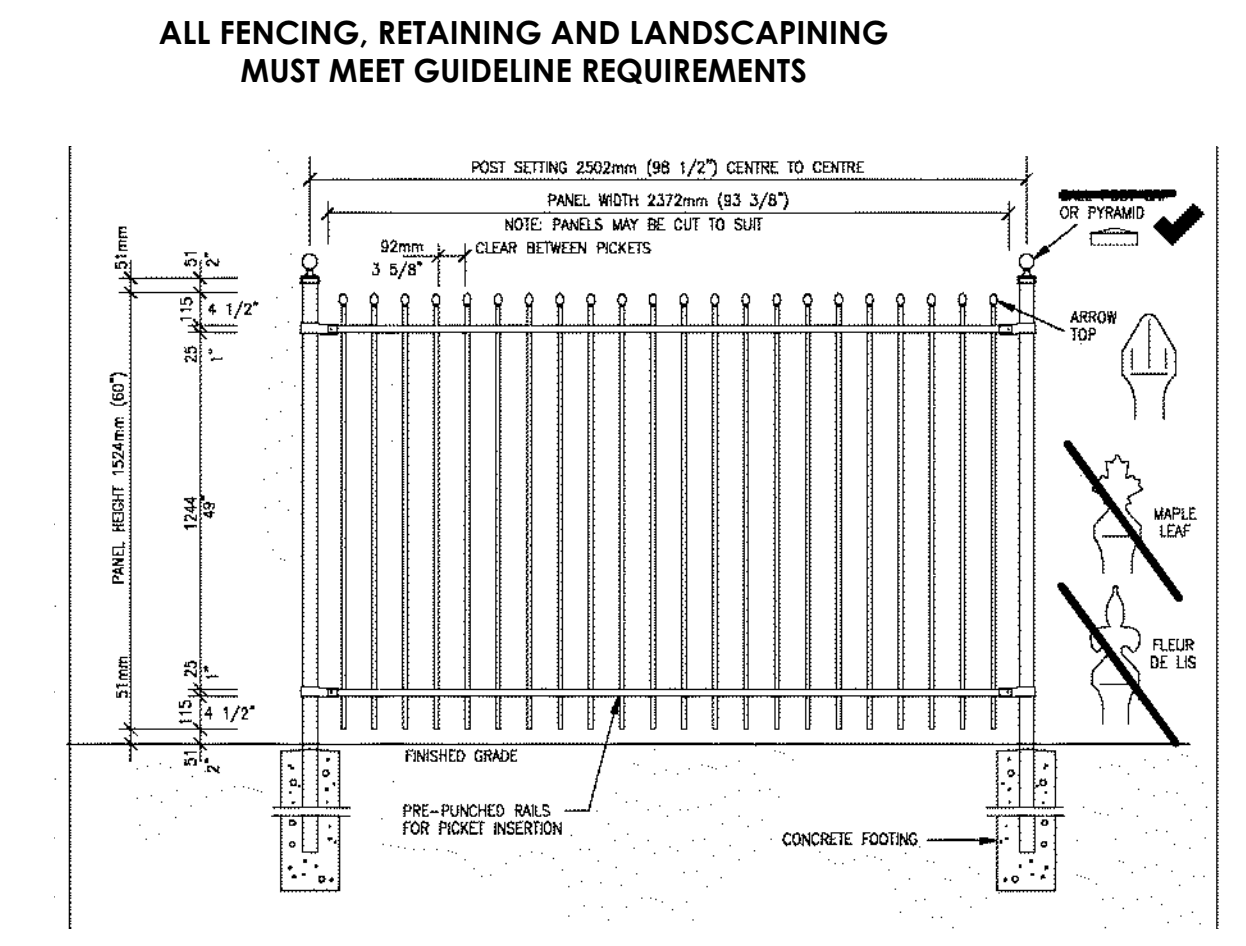


3 Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep



4 Turning Template
Not To Scale



5 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

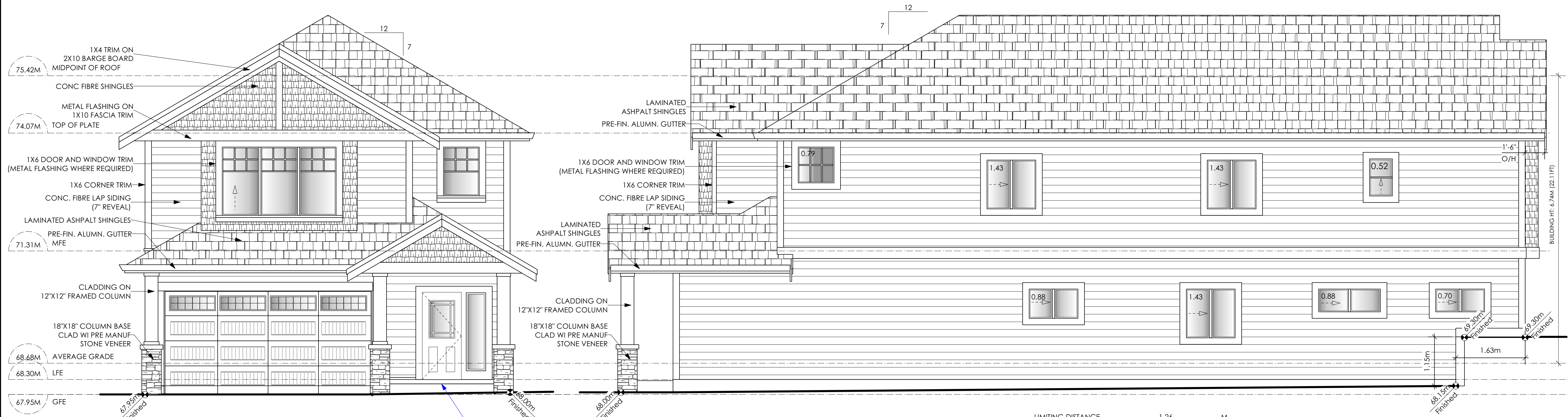
THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION

THE SLEEVES TO BE INSTALLED BY THE BUILDER

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS



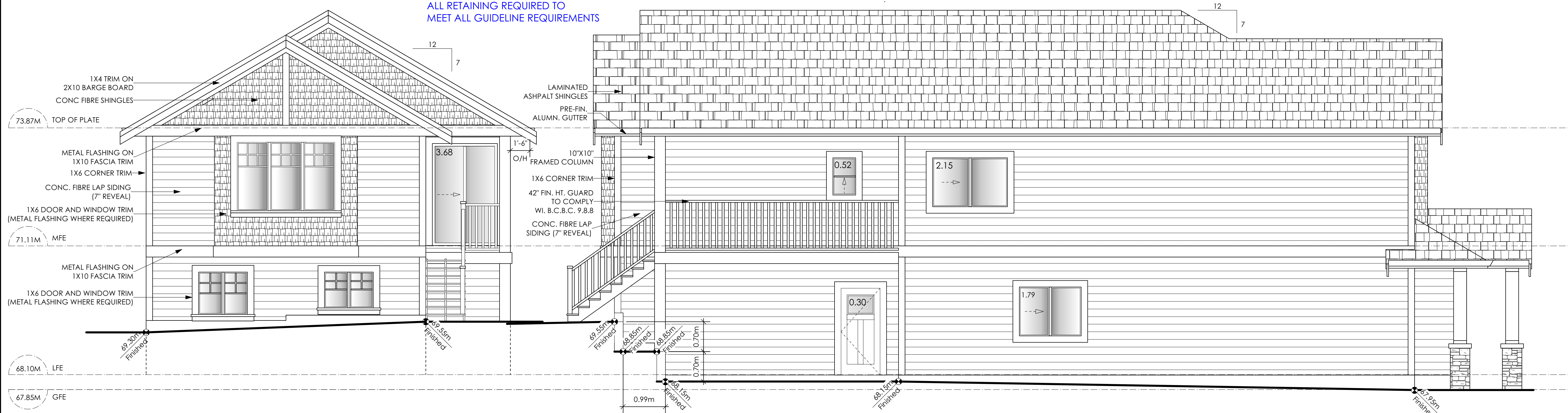
1 **Front Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

2 **Right Side Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

LIMITING DISTANCE	1.26	M.
EXPOSED BUILDING FACE	115.10	SQ.M.
ALLOWABLE OPENINGS	7.00	%
ALLOWABLE OPENING AREA	8.06	SQ.M.
PROPOSED OPENINGS	8.06	SQ.M.

CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES

ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS



3 **Rear Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

4 **Left Side Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

LIMITING DISTANCE	1.20	M.
EXPOSED BUILDING FACE	117.41	SQ.M.
ALLOWABLE OPENINGS	7.0	%
ALLOWABLE OPENING AREA	8.22	SQ.M.
PROPOSED OPENINGS	4.76	SQ.M.

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW

'PORT' - COASTAL

Date

Dec 22 2022

Project Address

3469 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

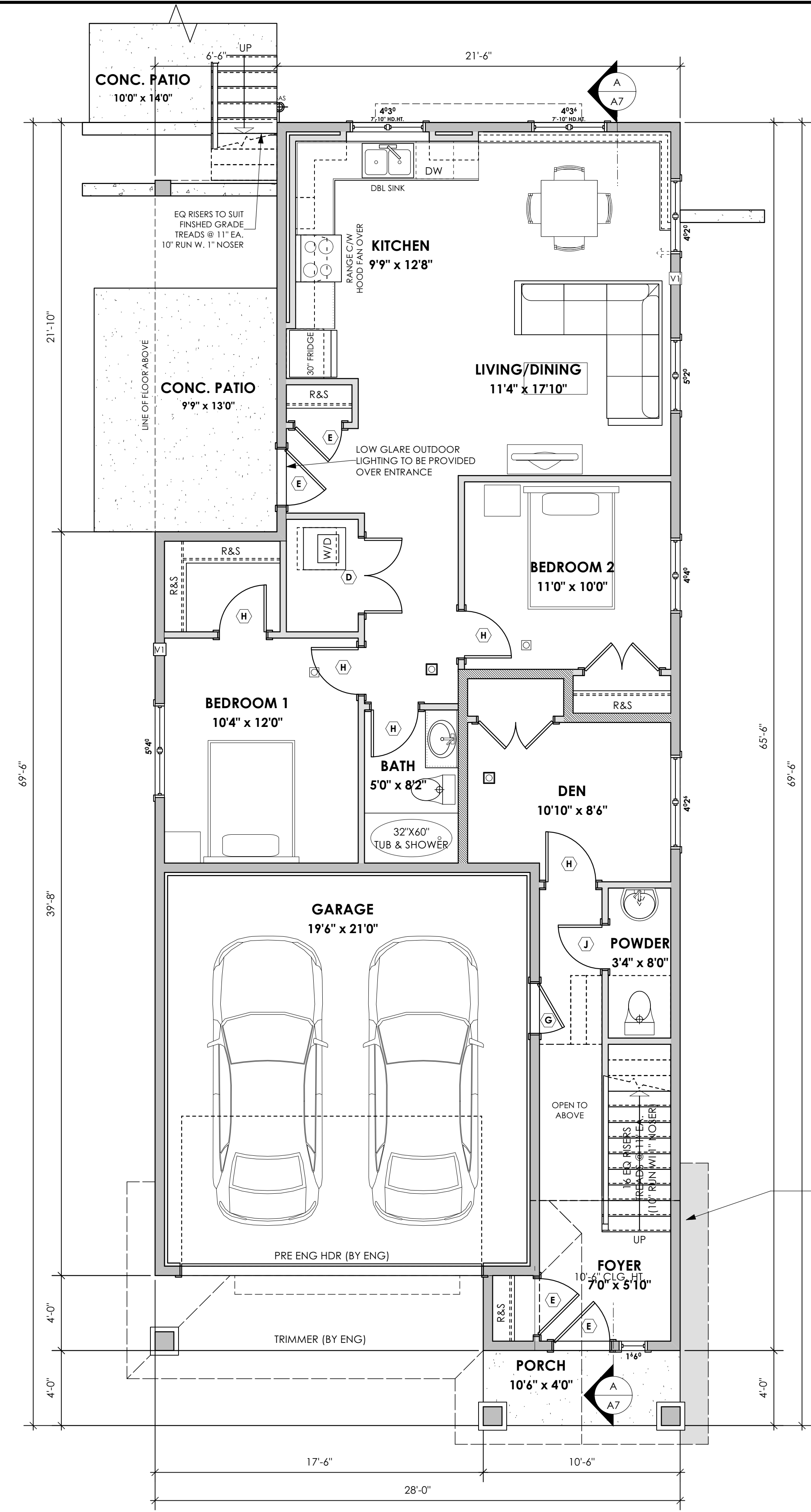
8298

Scale

As Noted

Drawn By

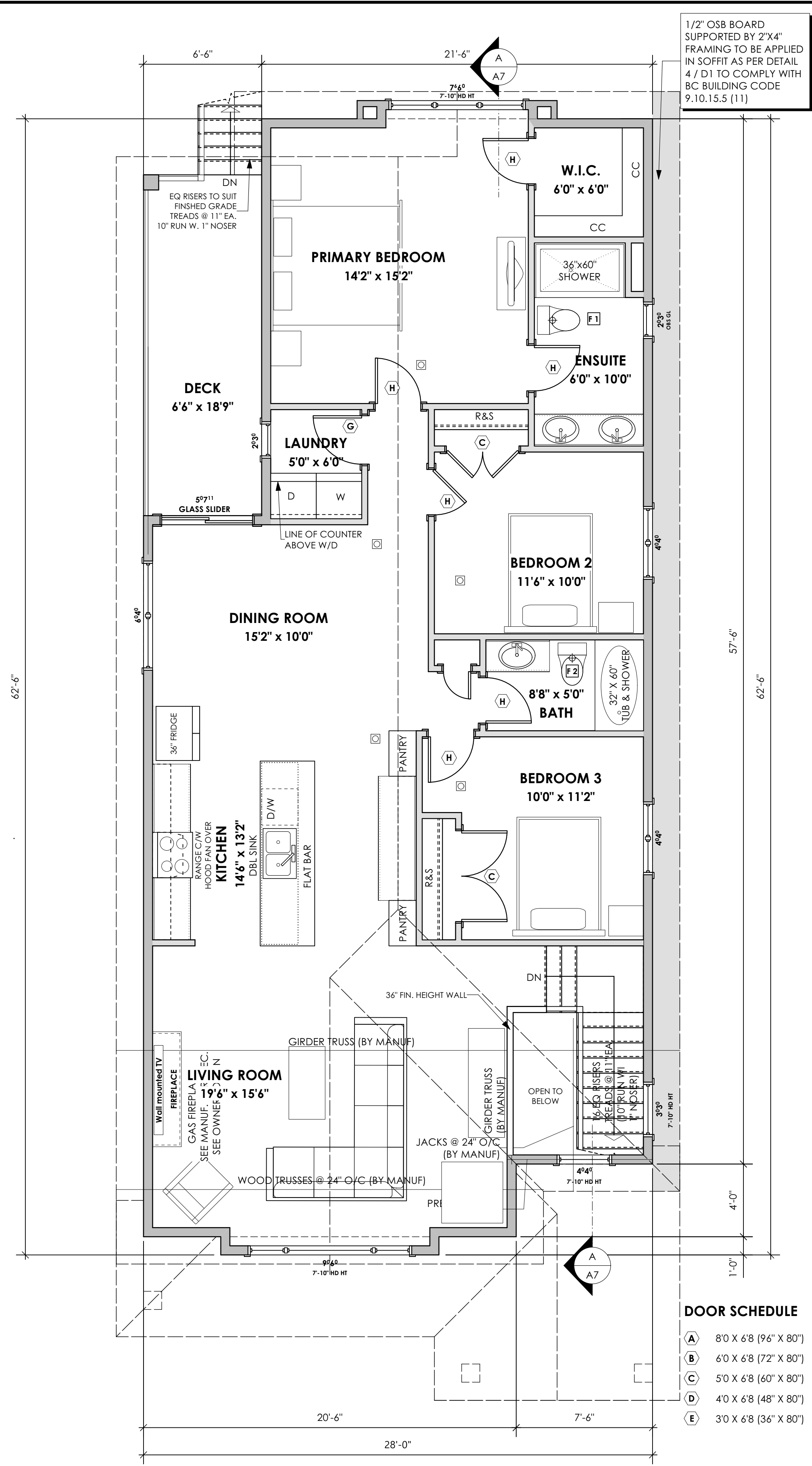
MRB



1 Lower Floor Plan
 Scale: 1/4" = 1'-0"

PRIMARY: 309.90 FT² (28.79 M²)
 SUITE: 861.19 FT² (80.01 M²)
 TOTAL: 1171.09 FT² (108.80 M²)
 GARAGE: 451.00 FT² (41.90 M²)

1/2" OSB BOARD SUPPORTED BY 2"x4" FRAMING TO BE APPLIED IN SOFFIT AS PER DETAIL 4 / D1 TO COMPLY WITH BC BUILDING CODE 9.10.15.5 (11)



2 Main Floor Plan
 Scale: 1/4" = 1'-0"

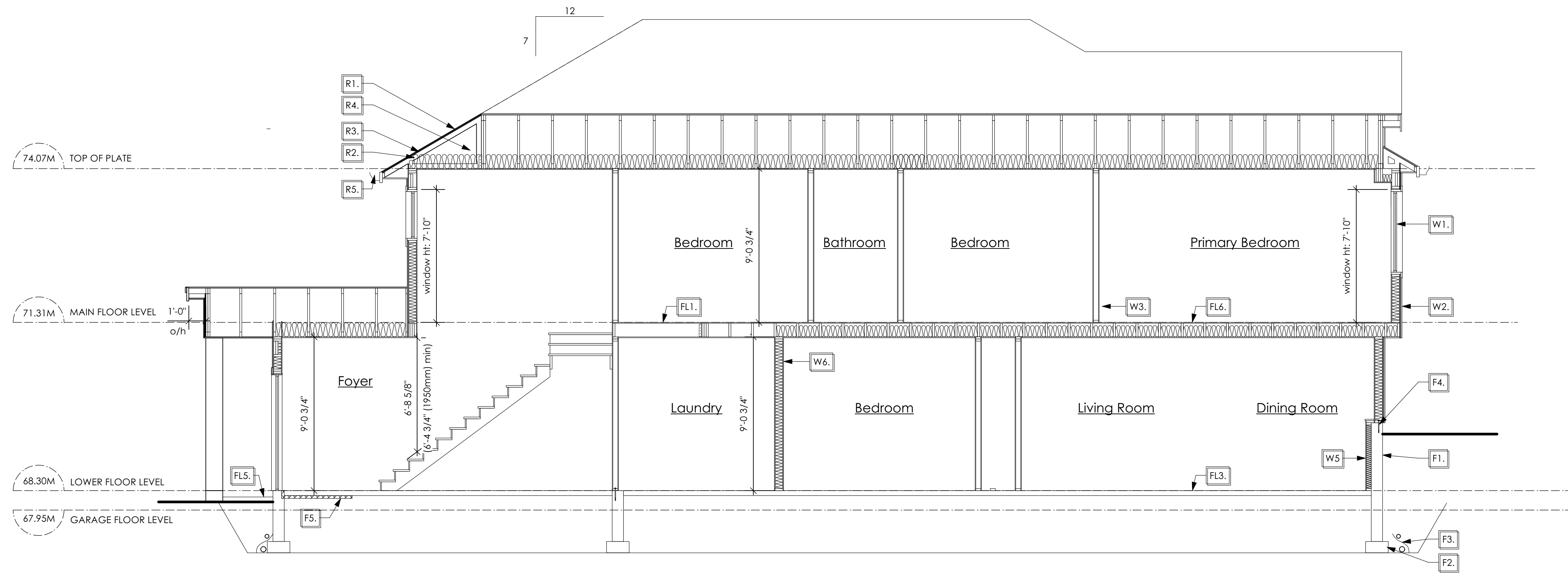
PRIMARY: 1487.03 FT² (138.15 M²)

1/2" OSB BOARD SUPPORTED BY 2"x4" FRAMING TO BE APPLIED IN SOFFIT AS PER DETAIL 4 / D1 TO COMPLY WITH BC BUILDING CODE 9.10.15.5 (11)

DOOR SCHEDULE

(A)	8'0" X 6'8" (96" X 80")	(G)	2'8" X 6'8" (32" X 80")
(B)	6'0" X 6'8" (72" X 80")	(H)	2'6" X 6'8" (30" X 80")
(C)	5'0" X 6'8" (60" X 80")	(J)	2'4" X 6'8" (28" X 80")
(D)	4'0" X 6'8" (48" X 80")	(K)	2'0" X 6'8" (24" X 80")
(E)	3'0" X 6'8" (36" X 80")	(L)	1'6" X 6'8" (18" X 80")

Development Permit Presentation



1 Section A-A
A7 Scale: 1/4" = 1'-0"

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESERVE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 2012 9.3.2.9.(3)

SECTION NOTES

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) OR R-40 FIBRE GLASS BATT INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection for 4'-0" (1.2m) around perimeter of building. air ventilation baffles to be installed where required in as per BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. PRE-FN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (see contractor)

- R6. PRE MANUF SOFFIT 1/2" OSB BOARD SUPPORTED BY 2X4" FRAMING REFER TO DETAIL 4 / D1 (to be applied in any soffit that has less than 1.20m clearance to any property line. To comply with BC BUILDING CODE 9.10.15.5 (11)) (AS REQUIRED, VERIFY ON SITE) (NOT SHOWN IN SECTION)

Floors

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 FIBRE GLASS BATT INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- FL3. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL5. 3 1/2" CONCRETE SLAB (CONTRACTOR TO VERIFY EXTENT OF EXTERIOR SLABS AND FINISHES) (SLOPE AWAY FROM BUILDING @ 2% MIN.) 6" COMPACTED GRAVEL OR SAND
- FL6. F84 RATED CEILING ASSEMBLY (BC BUILDING CODE TABLE 9.10.3.1.B) FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.

Walls

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X 10" LUNTEL OVER (@ BEARING WALLS ONLY) (TYPICAL WL 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED)

- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS (SEE SPACING BELOW) R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W5. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS (SEE SPACING BELOW) OR 2x6 STUDS (SEE SPACING BELOW) (IF NOTED) R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)
- W6. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W7. STUD SPACING - UPPER FLOOR: 2'X6" @ 24" O/C - MAIN FLOOR: 2'X6" @ 24" O/C - LOWER FLOOR: 2'X6" @ 16" O/C (if applicable) - INTERIOR PARTITION: 2'X4" @ 24" O/C - LOAD BEARING: 2'X4" @ 16" O/C - PARTY WALL 2'X4" @ 24" O/C (if applicable)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 14" X 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

'PORT' - COASTAL

Date

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Prepared for

Verity Construction

Project #

8298

Scale

As Noted

Drawn By

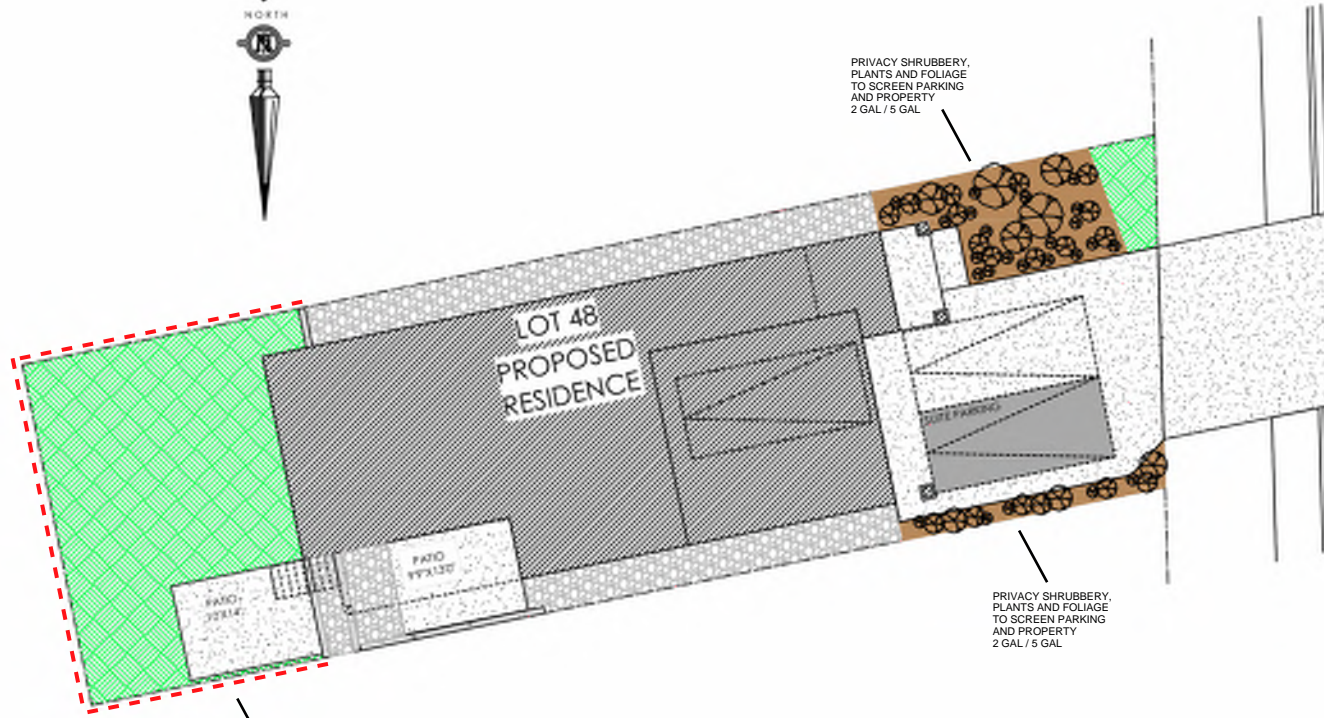
MRB

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

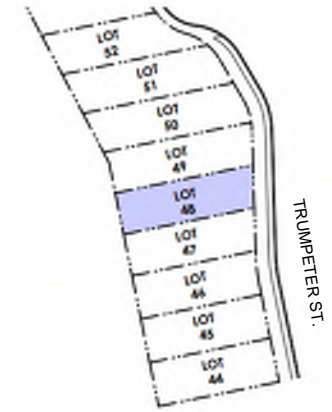
KEY PLAN
NOT TO SCALE



ITEM	AREA (sq)	%
GARDEN BED	277	11%
GRAVEL	480	19%
CONCRETE	979	38%
SOD	825	32%
TOTAL	2,561	100%

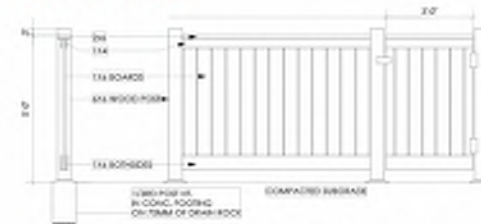
LEGEND

	PRIVACY SHRUBBERY		UPGRADE SHRUBBERY, PLANTS AND FOLIAGE - 2 GAL
	PRIVACY SHRUBBERY		UPGRADE SHRUBBERY, PLANTS AND FOLIAGE - 5 GAL



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

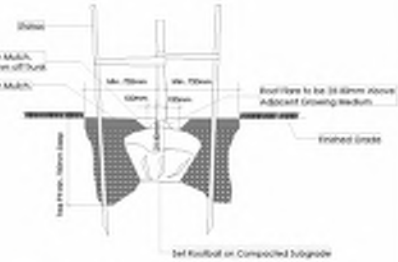
LOCATION INDICATED BY



Typical Fence Detail

Not To Scale

TYPICAL FENCE DETAIL BASED ON FENCE DETAIL 1/21 FROM POTAL 847 DESIGN/DESIGN/REVISION PAGE 21



Tree Planting Detail

Not To Scale

All trees and plants by the home owner to be planted in minimum 100% of bottle top soil, 100mm Deep

ADDITIONAL NOTES:

PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	09/30/22 FOR APPROVAL	PROJECT
02	10/12/22 GARDEN BED PLANTING	LANDSCAPING PLAN LOT 48, 3469 TRUMPETER ST. ROYAL BAY, SECTOR 7 CITY OF COLWOOD
03	01/03/23 REVISION AS PER CITY OF COLWOOD	



QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway
Victoria, B.C. V9B 0A6

P: 250.474.1039

www.verityconstruction.ca

MUNICIPAL ADDRESS 3469 Trumpeter Street		P.I.D.
LOT 48		PLAN
BUILDER VERITY HOMES		SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS		DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **71.31**

FRONT ELEV. **68.00** REAR ELEV. **69.55/96.30**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **67.95**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **n/a**

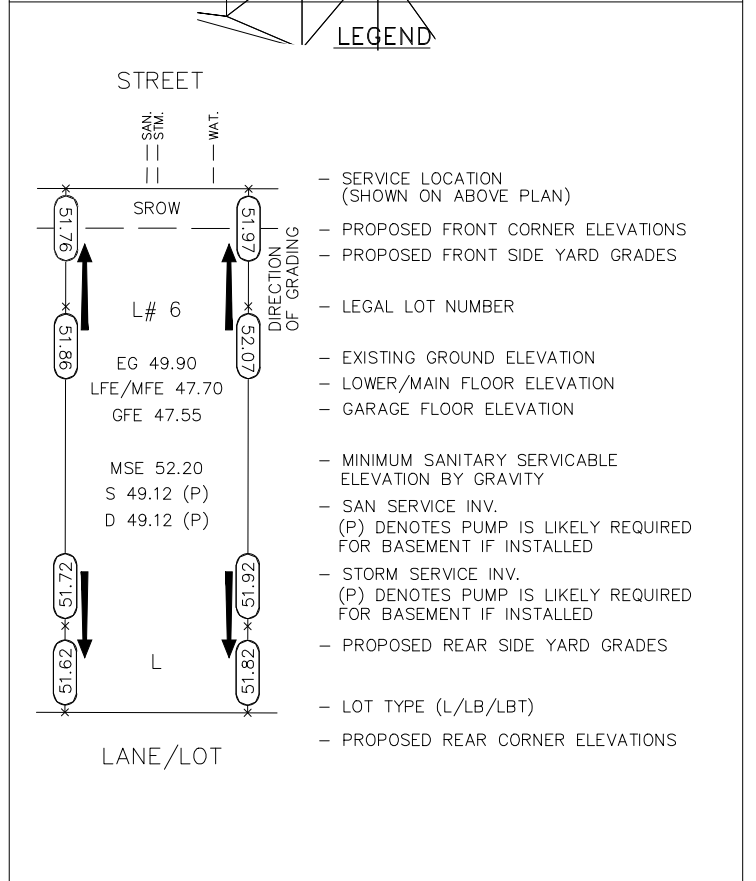
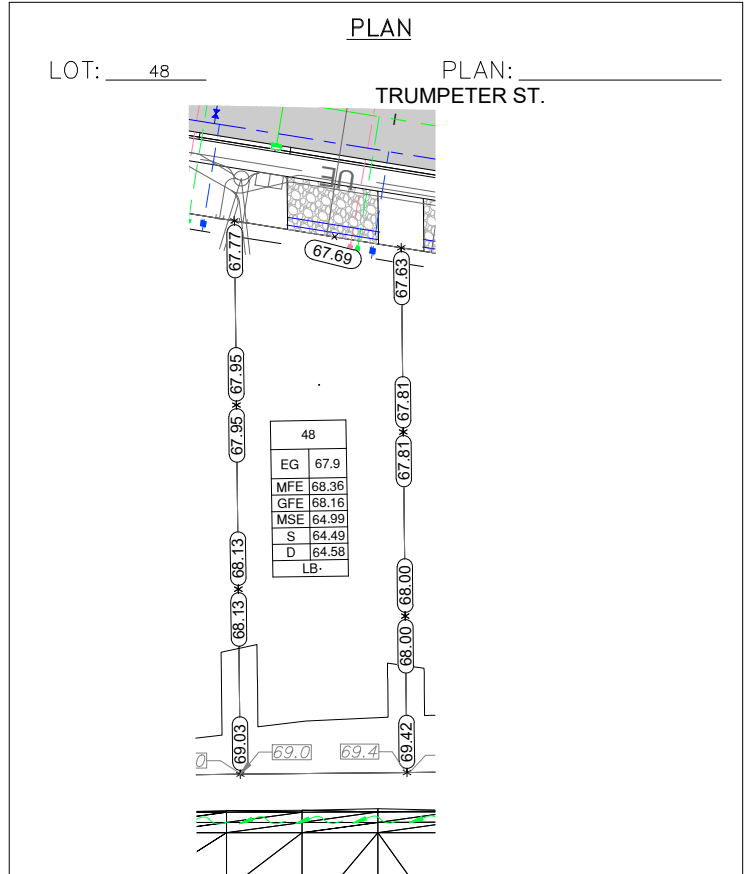
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

C. Hume - October 13/22
ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE