



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP-23-003

### DEVELOPMENT PERMIT DP-23-003

THIS PERMIT, issued March 29 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: Verity Construction Ltd  
106-1039 Langford Parkway  
Victoria, BC V9B 0A6

(the "Permittee")

- 
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 72, 73 & 74 PLAN EPP117070 SECTION 38 ESQUIMALT  
404, 401 & 405 Rock Dove Place  
(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form and character considerations for 3 single family home with secondary suites and associated site improvements are consistent with the design guidelines for areas designated as "Neighbourhood – Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit, including DP-21-008.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.

7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
- Schedule 1 Site Plan, Architectural Drawings, Elevation Drawings, Landscape Plan and Grading Plan for 404 Rock Dove Place dated March 14, 2023
  - Schedule 2 Site Plan, Architectural Drawings, Elevation Drawings, Landscape Plan and Grading Plan for 401 Rock Dove Place dated March 16, 2023
  - Schedule 3 Site Plan, Architectural Drawings, Elevation Drawings, Landscape Plan and Grading Plan for 405 Rock Dove Place dated March 22, 2023
8. This Development Permit authorizes the construction of 3 single family home with secondary suites along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

**FORM AND CHARACTER CONDITIONS****General**

- 8.1. The form and character of the building to be constructed on the Lands shall conform to the drawings attached to this permit as schedules.

**Building Features**

- 8.2. The form and character of the buildings to be constructed on the Lands shall conform to the Site Plan and Architectural Drawings prepared by Victoria Design Group (Schedules 1, 2 and 3).
- 8.3. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services.
- 8.4. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.5. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

**Landscaping**

- 8.6. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Verity Construction (Schedules 1, 2 and 3).

**Grading**

- 8.7. The site specific lot grading shall be in substantial compliance with the Building Grading Slip prepared by Gablecraft Homes (Schedules 1, 2 and 3).

ISSUED ON THIS 29 DAY OF MARCH, 2023

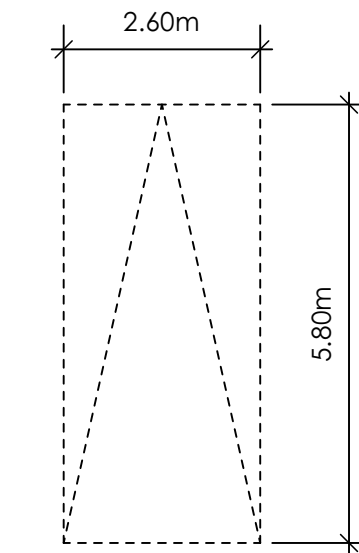
Robert Earl  
Chief Administrative Officer

SITE DATA	RBCD5	LOT 72
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	485.89 sq.m.
LOT COVERAGE	50.00 %	32.28 %
BUILDING HEIGHT	9.50 m.	6.80 m.
LOT WIDTH	10.97 m.	19.51 m.
SETBACKS		
- FRONT	3.00 m.	6.11 m.
- FRONT (GARAGE)	6.00 m.	6.83 m.
- REAR	6.00 m.	6.00 m.
- SIDE	1.20 m.	1.37 m.
- SIDE	1.20 m.	1.27 m.
PROPOSED FLOOR AREA		
- MAIN		145.39 sq.m.
- LOWER		91.16 sq.m.
- GARAGE		52.35 sq.m.
SUB-TOTAL G.F.A.		288.90 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-50.00 sq.m.
GROSS FLOOR AREA		238.90 sq.m.
F.A.R.		0.49 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	32.16 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	76.84 sq.m.

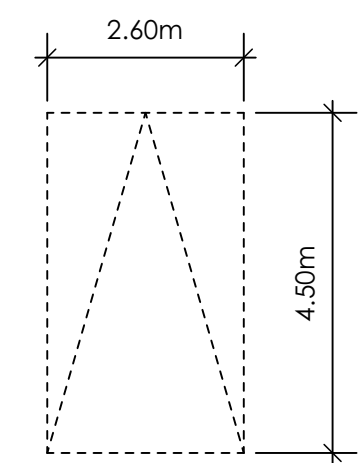
AVERAGE NATURAL GRADE CALCULATION:  
65.45M + 65.30M + 65.54M + 65.70M = 261.99M/4 = 65.50M

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS  
\*XX.Xm\* = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE  
- TO BE CERTIFIED BY AN ENGINEER AND MEET CBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)  
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

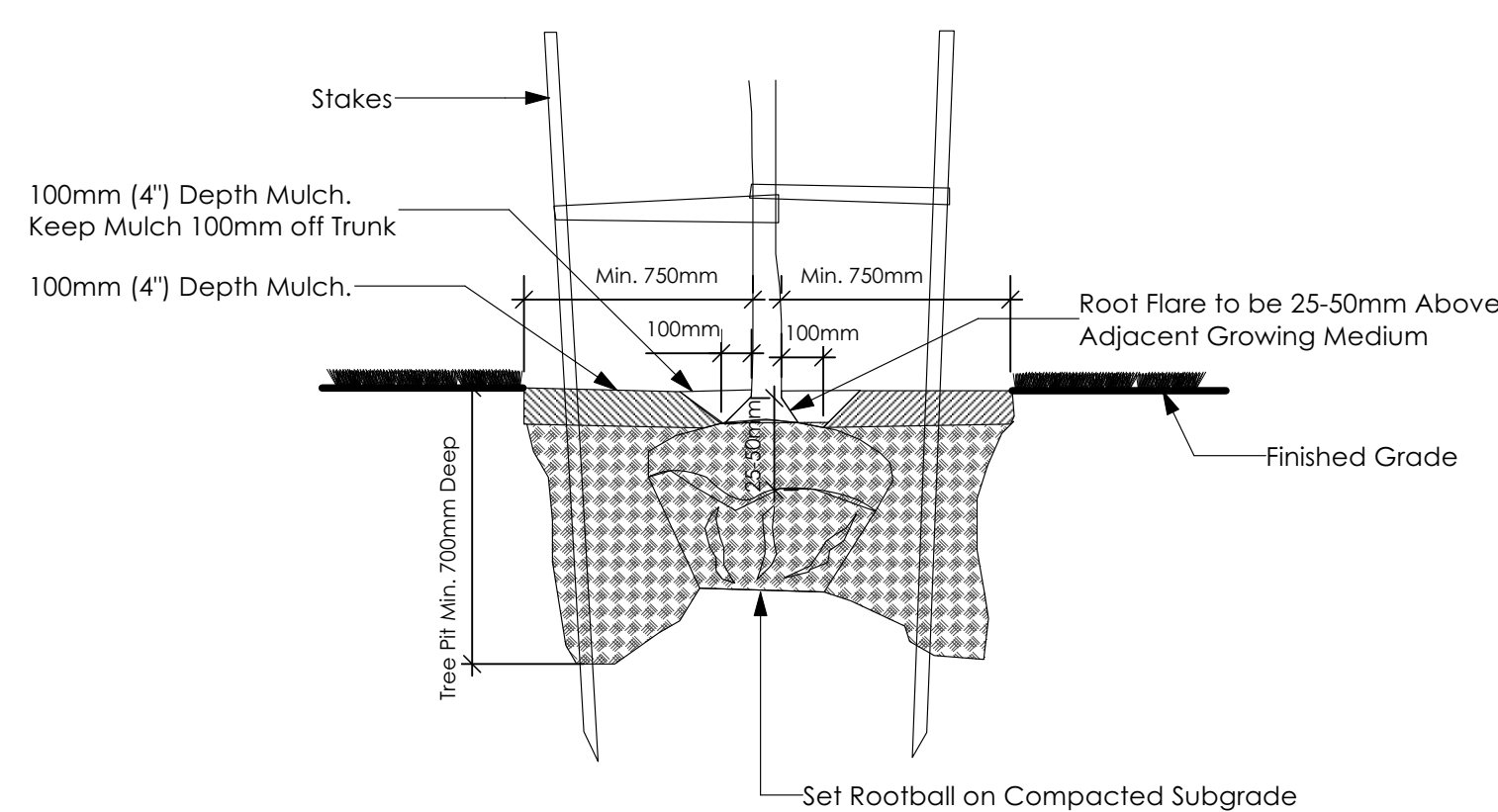


PARKING STALL DIMENSIONS



SMALL CAR PARKING STALL DIMENSIONS

\* as per 2.2.02a allowing one stall to be a small car parking stall

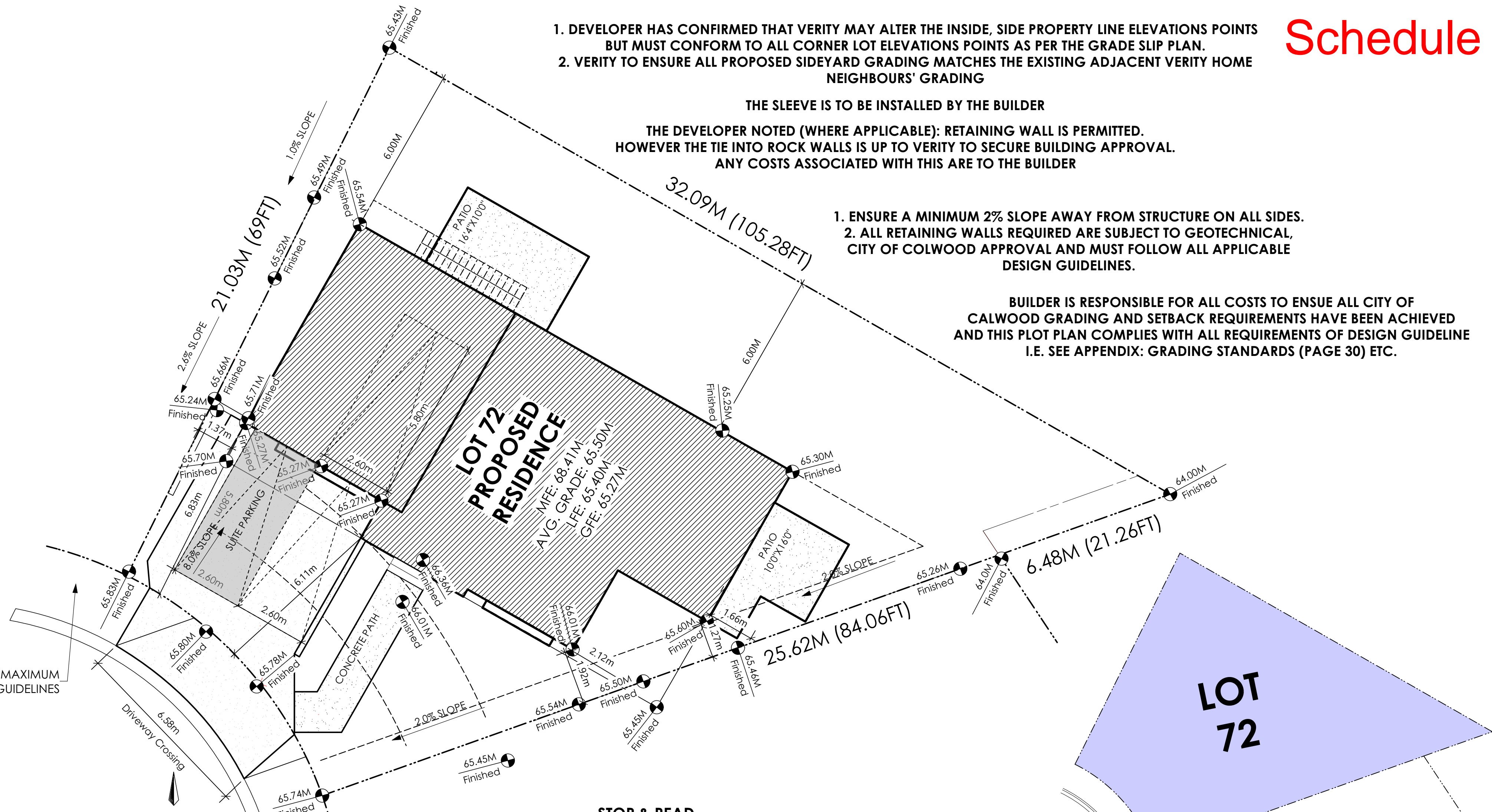


3 Tree Planting Detail  
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m<sup>3</sup> of fertile topsoil, 700mm Deep

ENSURE SIDEWALK = MAXIMUM 1.5M WIDE AS PER GUIDELINES

1 Site Plan  
Scale: 1:100



1. DEVELOPER HAS CONFIRMED THAT VERITY MAY ALTER THE INSIDE, SIDE PROPERTY LINE ELEVATIONS POINTS BUT MUST CONFORM TO ALL CORNER LOT ELEVATIONS POINTS AS PER THE GRADE SLIP PLAN.
2. VERITY TO ENSURE ALL PROPOSED SIDEYARD GRADING MATCHES THE EXISTING ADJACENT VERITY HOME NEIGHBOURS' GRADING

THE SLEEVE IS TO BE INSTALLED BY THE BUILDER

THE DEVELOPER NOTED (WHERE APPLICABLE): RETAINING WALL IS PERMITTED. HOWEVER THE TIE INTO ROCK WALLS IS UP TO VERITY TO SECURE BUILDING APPROVAL. ANY COSTS ASSOCIATED WITH THIS ARE TO THE BUILDER

1. ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES.
2. ALL RETAINING WALLS REQUIRED ARE SUBJECT TO GEOTECHNICAL, CITY OF COLWOOD APPROVAL AND MUST FOLLOW ALL APPLICABLE DESIGN GUIDELINES.

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF CALWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF DESIGN GUIDELINE I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

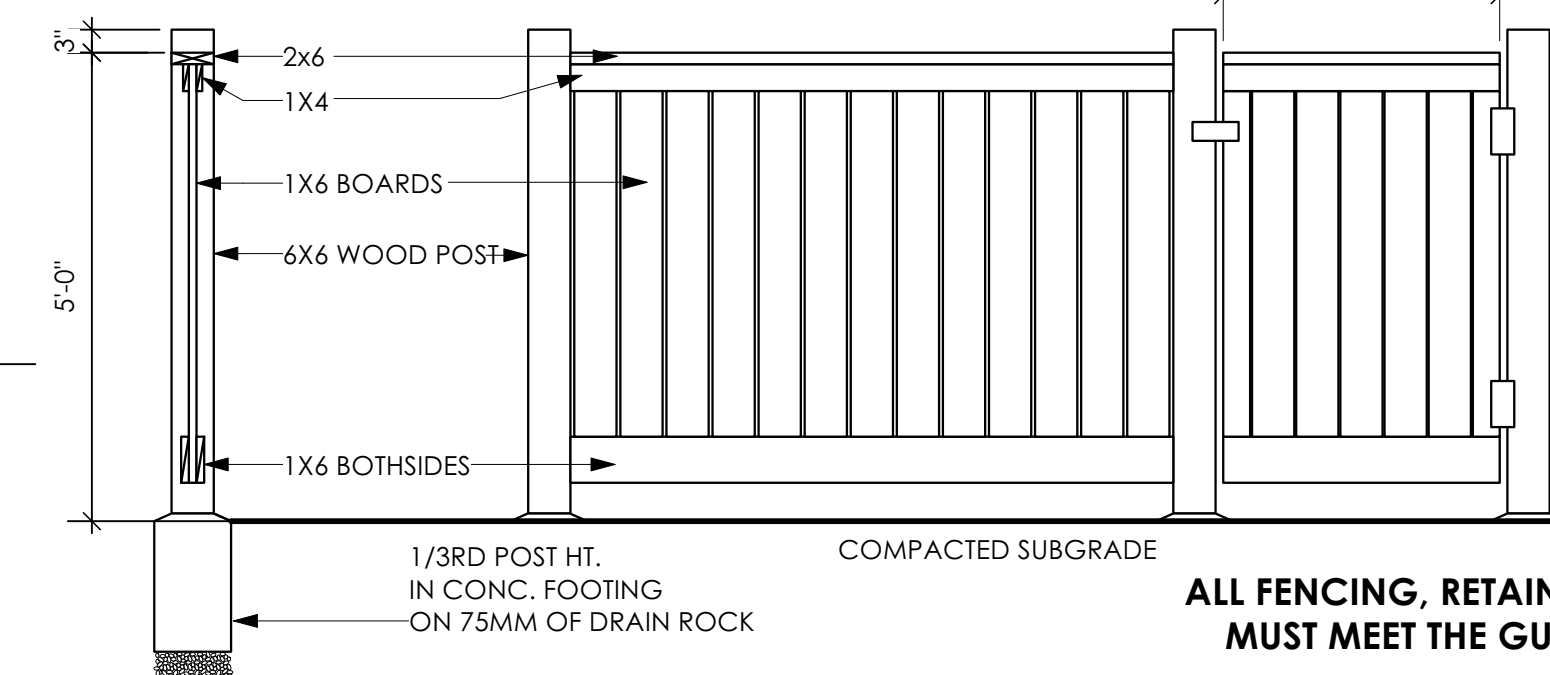
MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

2 Key Plan  
1: 650

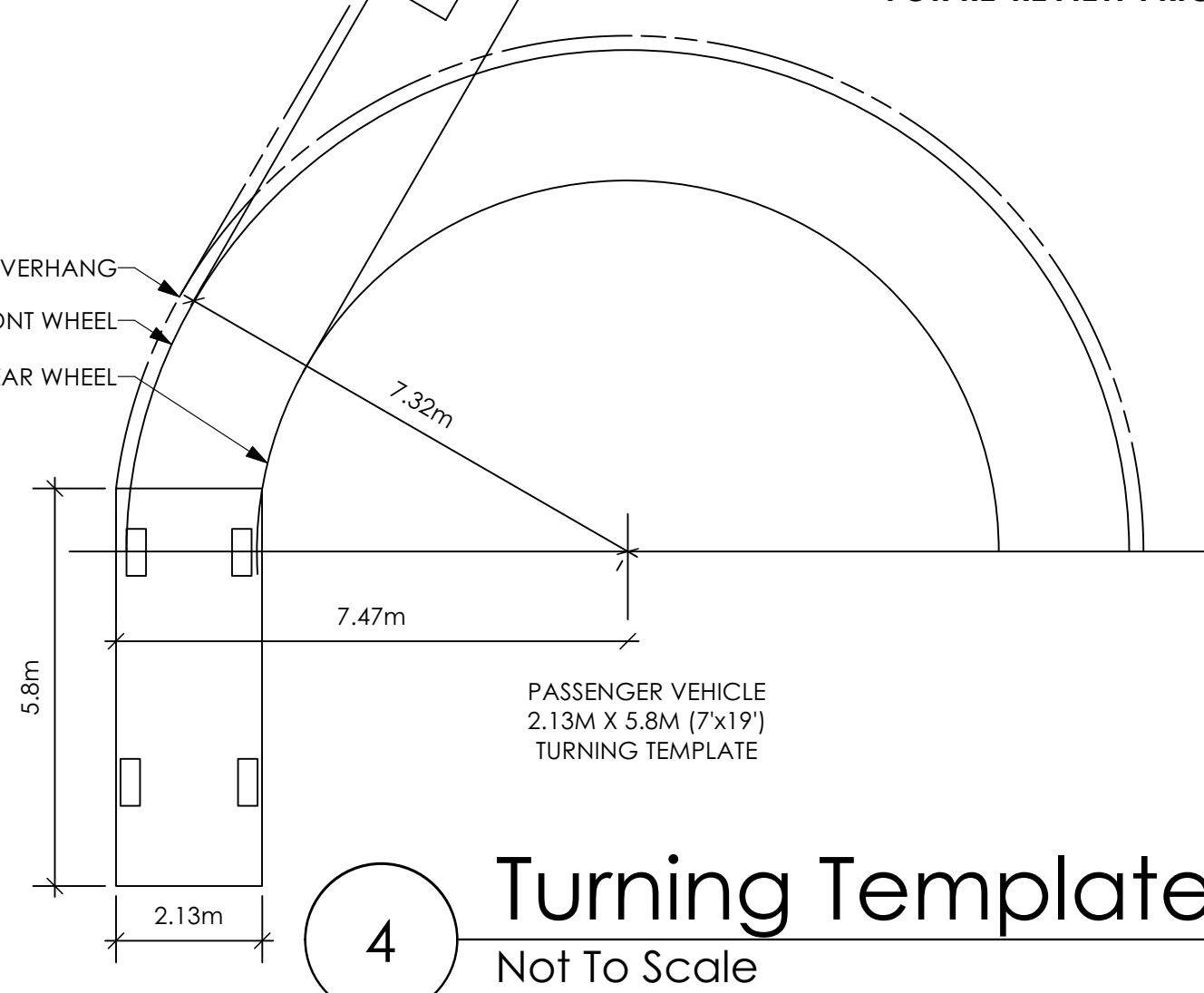
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION  
IF NOTICEABLE CHANGES ARE REQUIRED, VERITY MUST SUBMIT TO SUMMA FOR RE-REVIEW PRIOR TO START OF CONSTRUCTION

- TYPICAL FENCE NOTES:
1. ALL WOOD P.T. HEM FIR.
  2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
  3. ALL HARDWARE HOT DIPPED GALVANIZED
  4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



5 Typical Fence Detail  
Not To Scale

\*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



4 Turning Template  
Not To Scale

'BEARING' - TRADITIONAL

Date

MAR 14 2023

Project Address

404 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

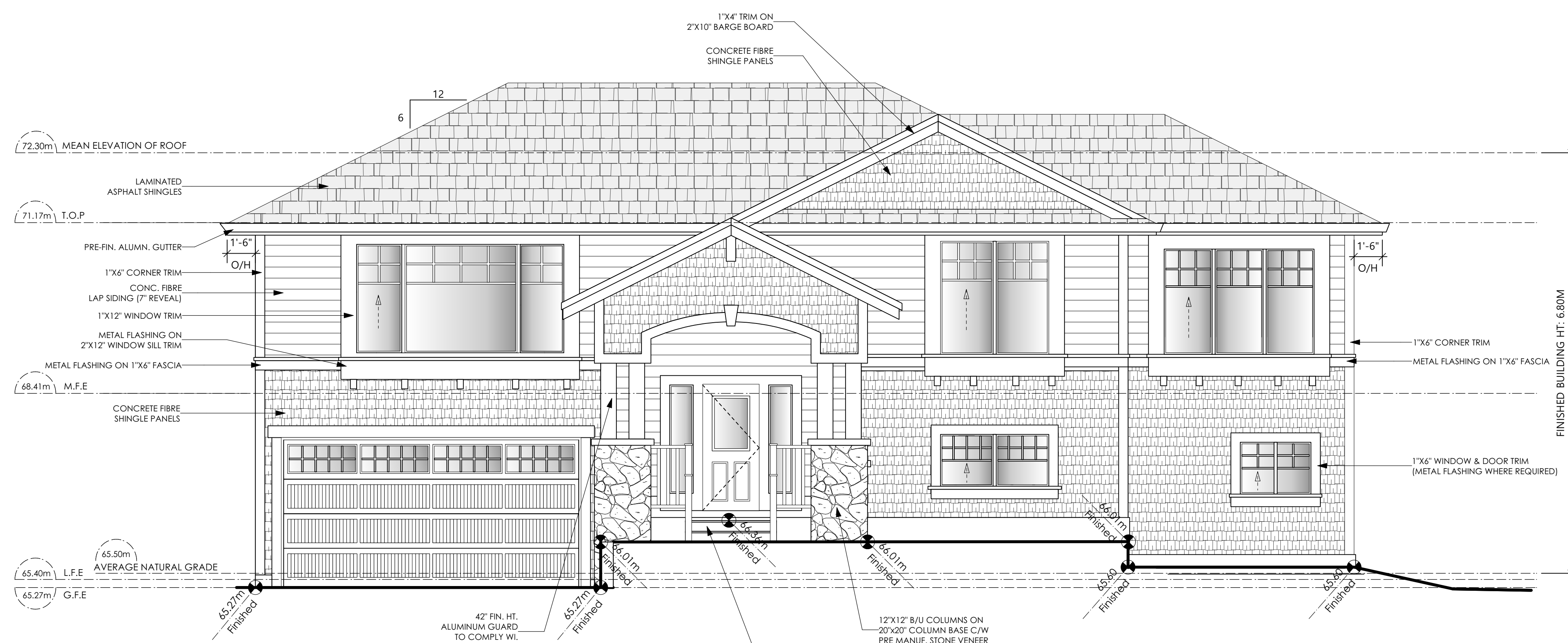
Prepared for  
Verity Construction

Project #  
8298

Scale  
As Noted

Drawn By  
MIS

# Development Permit Presentation



SLAB ON GRADE PREVIOUSLY ACCEPTED BY THE DEVELOPER ON OTHER LOTS

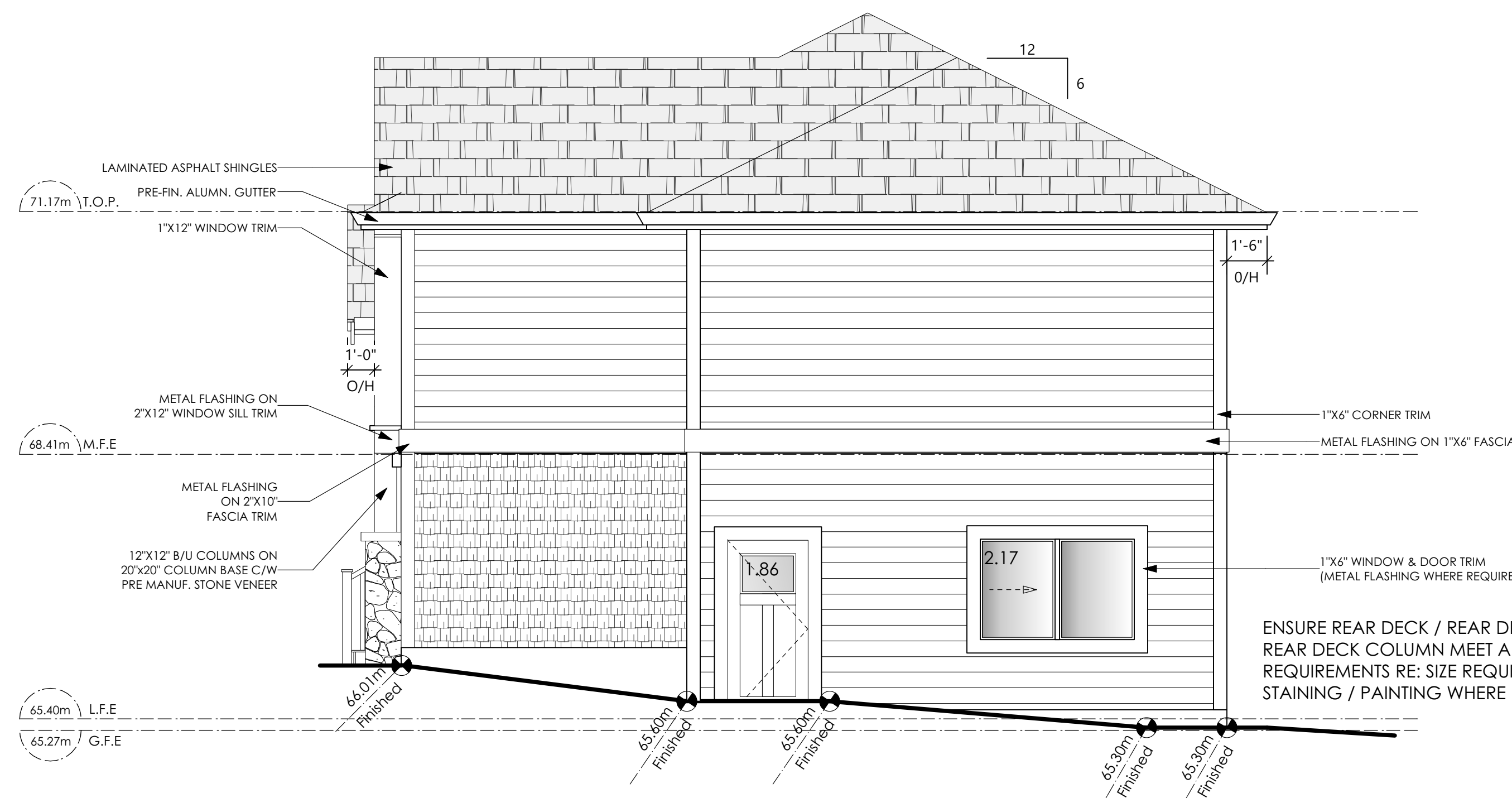
SIZE OF HOUSE PROPOSED FOR THIS LOT IS ACCEPTED BY DEVELOPER AS LONG AS ALL BUILDING CODE/BYLAWS, GUIDELINES AND CITY OF COLWOOD REQUIREMENTS HAVE BEEN ACHIEVED

1 **Front Elevation**  
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:  
ALL REQUIRED FLASHING ARE NON-GALVANISED  
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES  
TRADITIONAL LAP SIDING IS USED  
ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

ENSURE ENTRY STEPS MEET ALL GUIDE REQUIREMENTS  
I.E. MAXIMUM 2, STAINED / PAINTED STEPS ETC.

Limiting Distance	1.66	m.
Exposed Building Face	53.26	sq.m.
Allowable Openings	8.00	%
Allowable Opening Area	4.26	sq.m.
Proposed Openings	4.03	sq.m.



ENSURE REAR DECK / REAR DECK STAIRS / REAR DECK COLUMN MEET ALL GUIDELINES REQUIREMENTS RE: SIZE REQUIREMENTS, STAINING / PAINTING WHERE REQUIRED ETC.

2 **Right Side Elevation**  
Scale: 1/4" = 1'-0"

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW

'BEARING' - TRADITIONAL

Date

MAR 14 2023

Project Address

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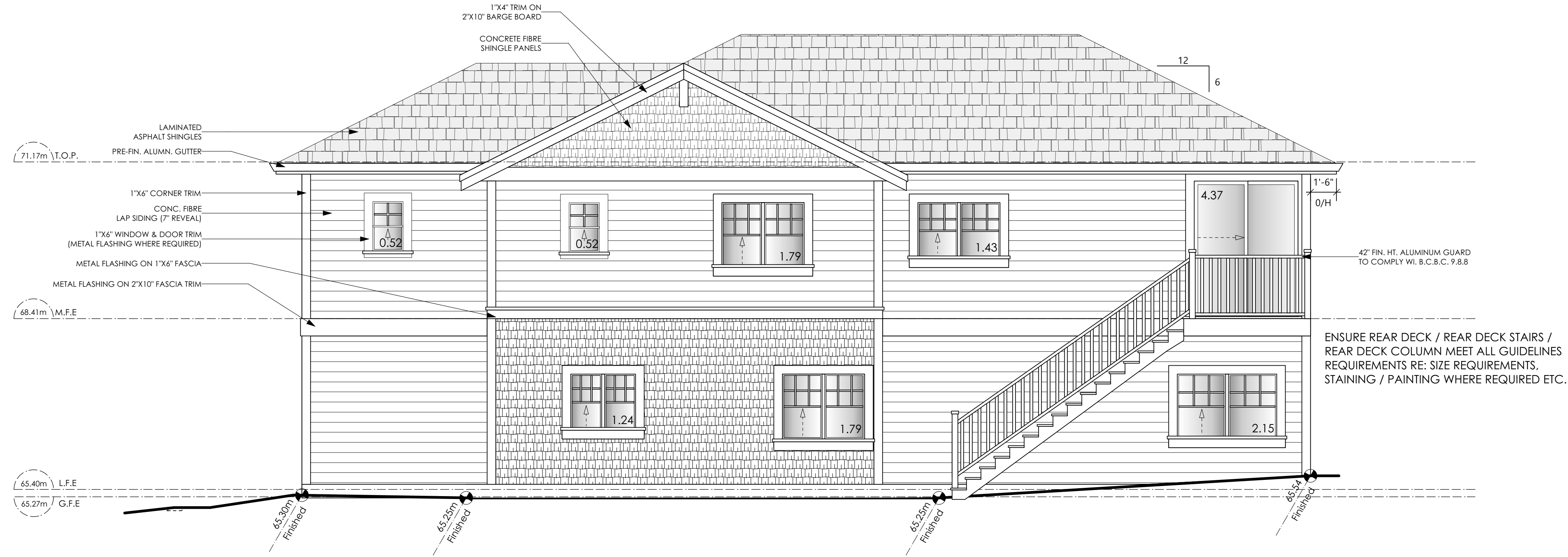
Scale

As Noted

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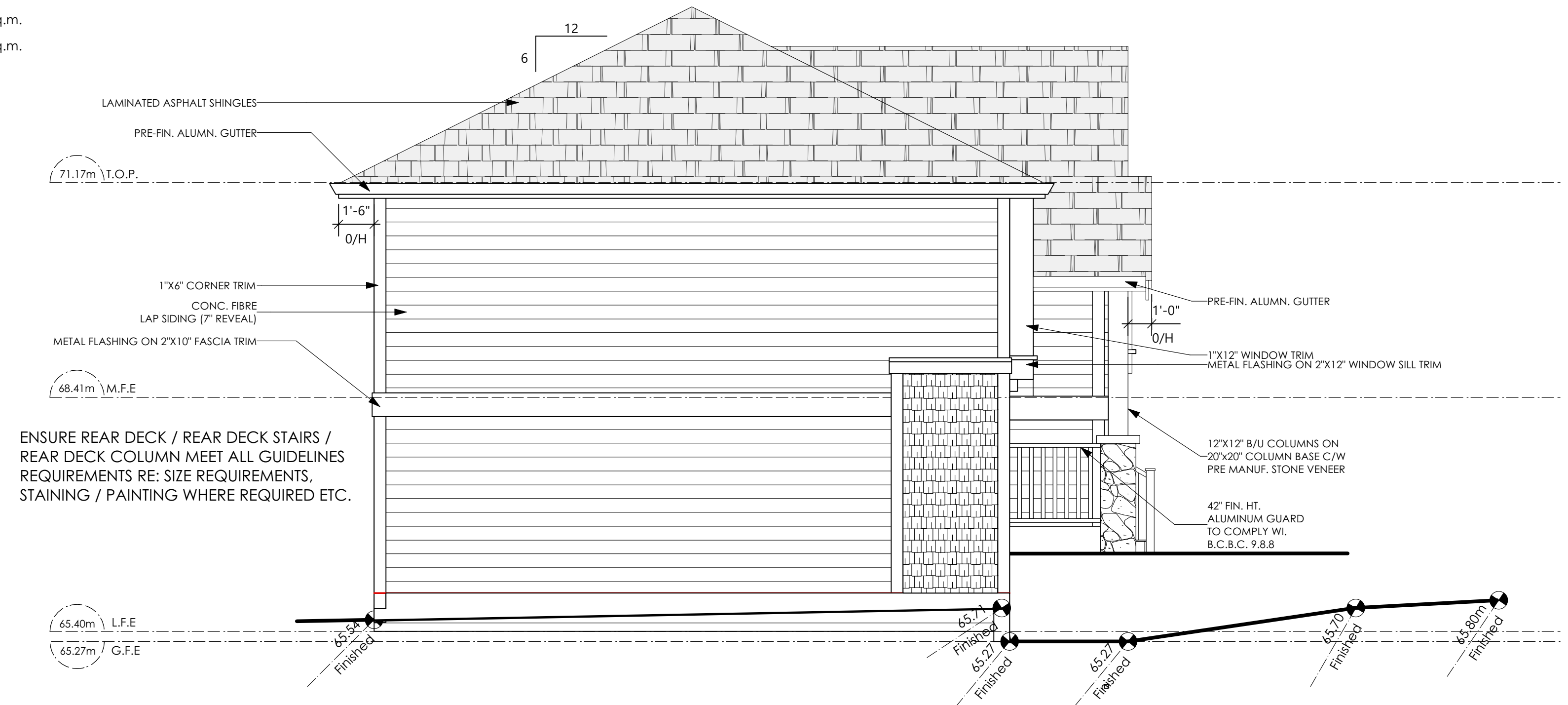
# Development Permit Presentation



**1 Rear Elevation**  
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:  
ALL REQUIRED FLASHING ARE NON-GALVANISED  
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES  
TRADITIONAL LAP SIDING IS USED  
ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

Limiting Distance	6.00	m.
Exposed Building Face	104.00	sq.m.
Allowable Openings	19.00	%
Allowable Opening Area	20.59	sq.m.
Proposed Openings	15.67	sq.m.



**2 Left Side Elevation**  
Scale: 1/4" = 1'-0"

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW

'BEARING' - TRADITIONAL

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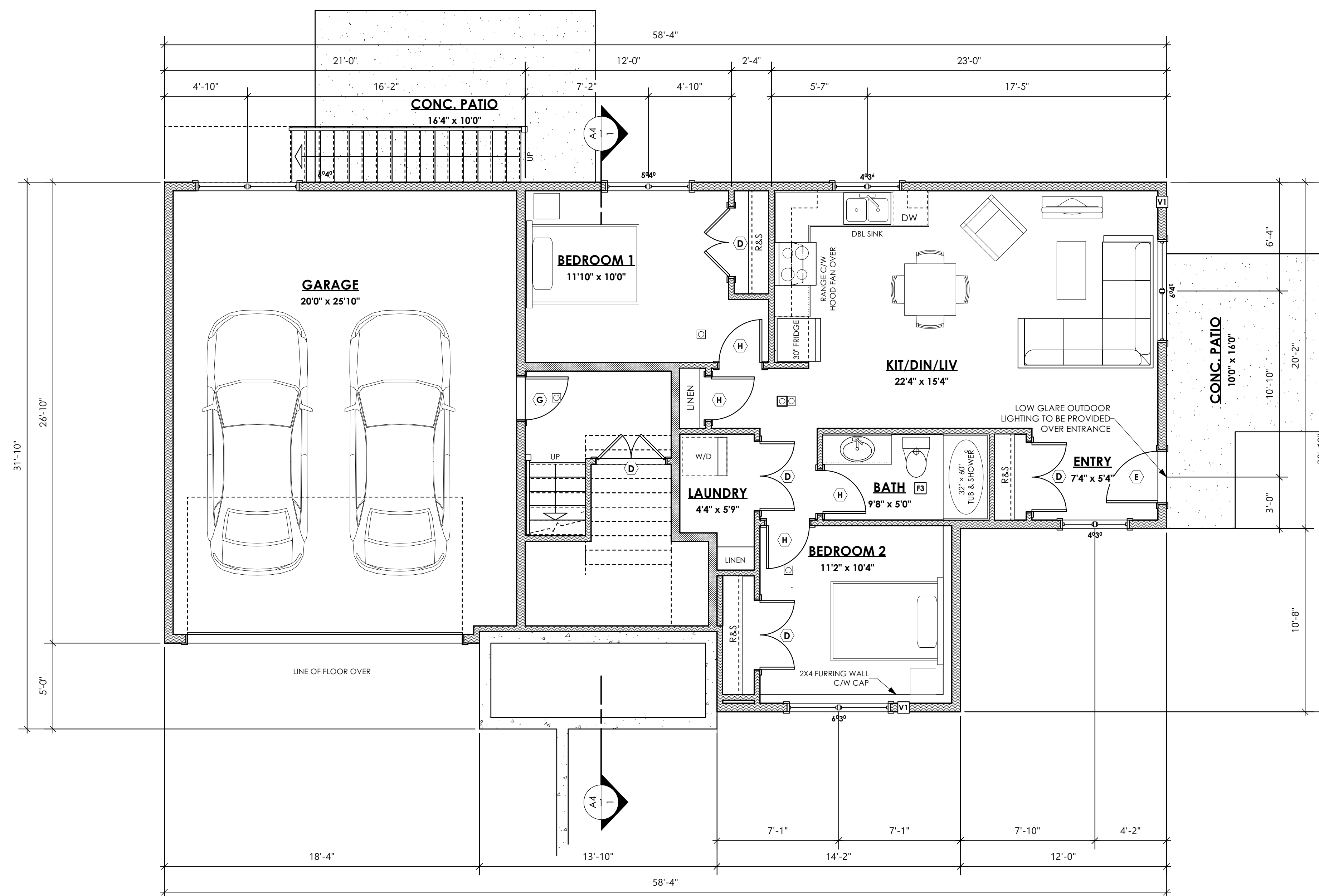
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# Development Permit Presentation



1 Lower Floor Plan

Scale: 1/4" = 1'-0"

Lower: 154.09ff<sup>2</sup> (14.32m<sup>2</sup>)  
Suite: 827.05ff<sup>2</sup> (76.84m<sup>2</sup>)  
**Total: 981.14ff<sup>2</sup> (91.16m<sup>2</sup>)**  
Garage: 563.50ff<sup>2</sup> (52.35 m<sup>2</sup>)

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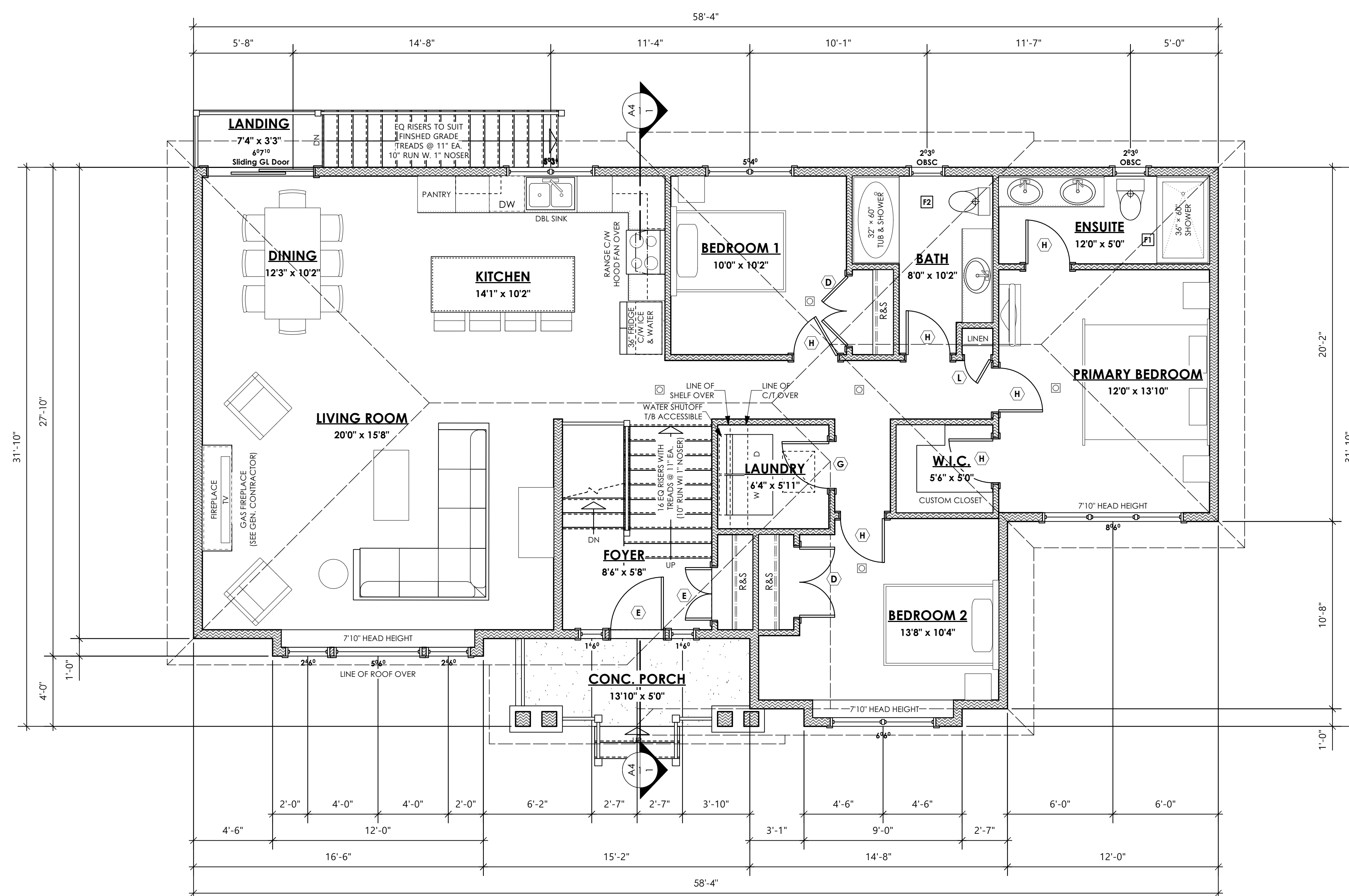
Scale

As Noted

Drawn By

MIS

# Development Permit Presentation



1 Main Floor Plan  
Scale: 1/4" = 1'-0"  
Primary: 1565 ft<sup>2</sup> (145.39 m<sup>2</sup>)

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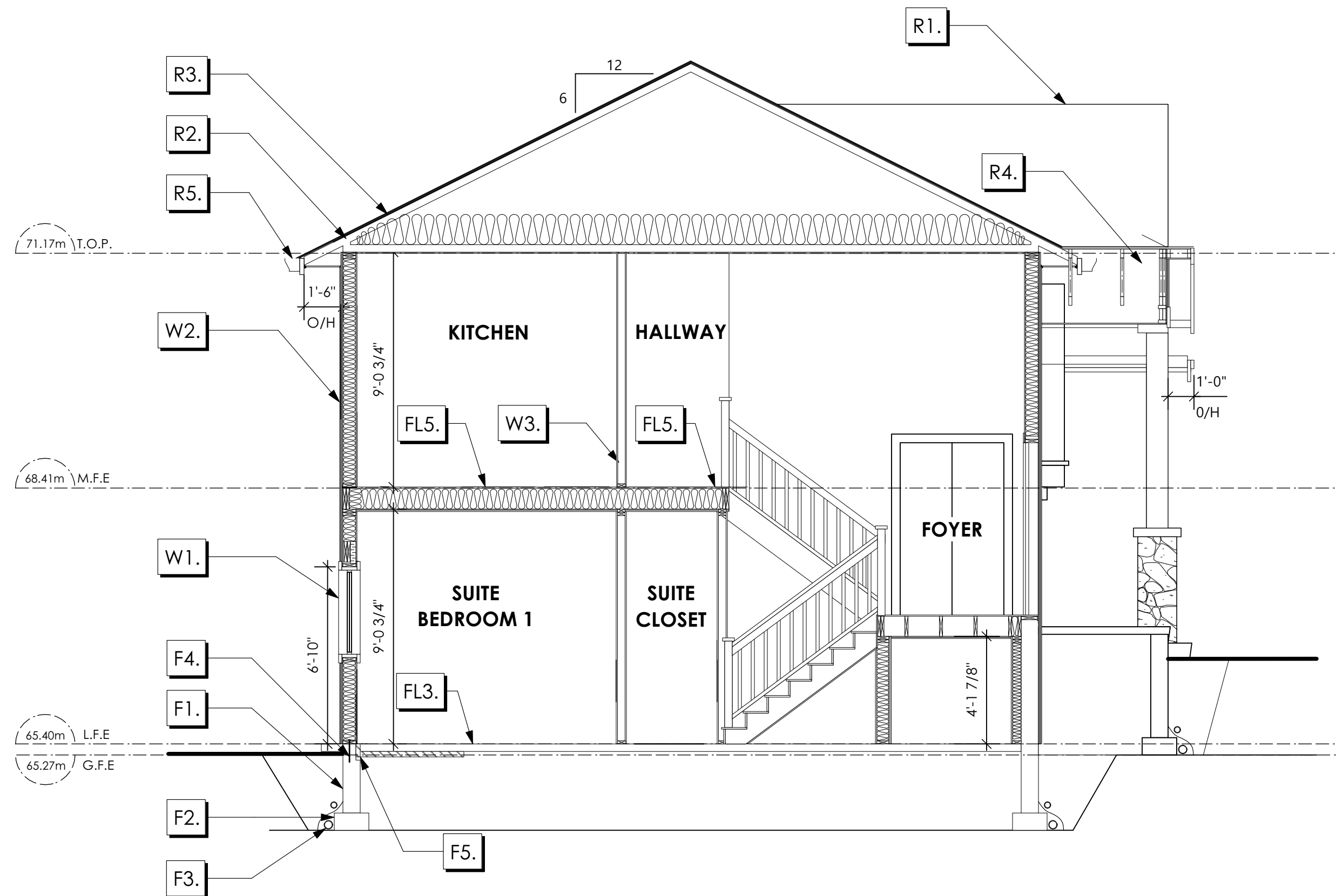
Scale

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# Development Permit Presentation



1 Section  
Scale: 1/4" = 1'-0"

**NOTE:**  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED  
STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

### Section Notes

\* SEE A1 FOR EFFECTIVE RSI CALCULATIONS

#### ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLASS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WL. B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)

#### FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD (NOT SHOWN IN SECTION)
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION 6 MIL POLY'N VAPOUR BARRIER 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- FL3. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL4. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL5. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON (NOT FINISHED FLOORING UNDER STAIRS) 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYER 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL6. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)

#### WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2 1/2"x10" LINTEL OVER (8" bearing walls only) (TYPICAL, WL. R-10 F/G BATT INSUL'N.) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) STARLINE WINDOWS TO ENSURE ALL WINDOWS & DOORS TO COMPLY WITH B.C. BLDG. CODE 9.7 & AAMA/WDMA/CSA 101/1.5.2/A440, NAFS & A44051-09 Class LANGFORD R - PG20 (220) A2 RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE SIDING ON 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP [A.B.] (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD 2x6 STUDS @ 16" O/C R-20 F/G BATT INSULATION 6 MIL POLY'N V.B. 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" o/c c/w R-20 INSULATION 6MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W5. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATIS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

#### FOUNDATION WALLS

- F1. DAMPROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY OR VERTICALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT SHOWN IN SECTION)

'BEARING' - TRADITIONAL

Date

DEC 22 2022

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Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

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Scale

As Noted

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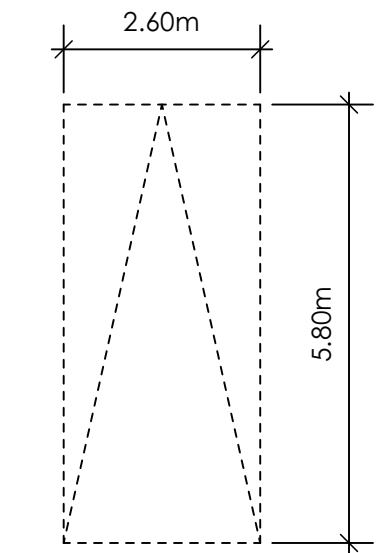


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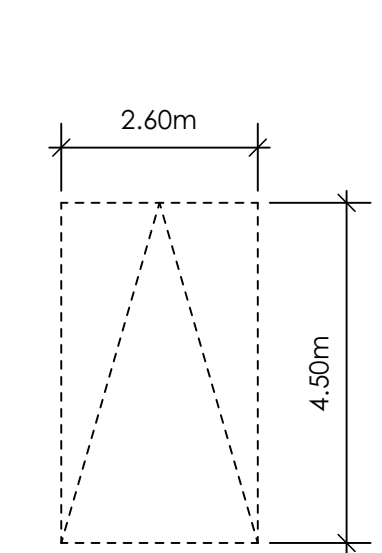
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SEE LANDSCAPING PLAN FOR TREE SCHEDULE

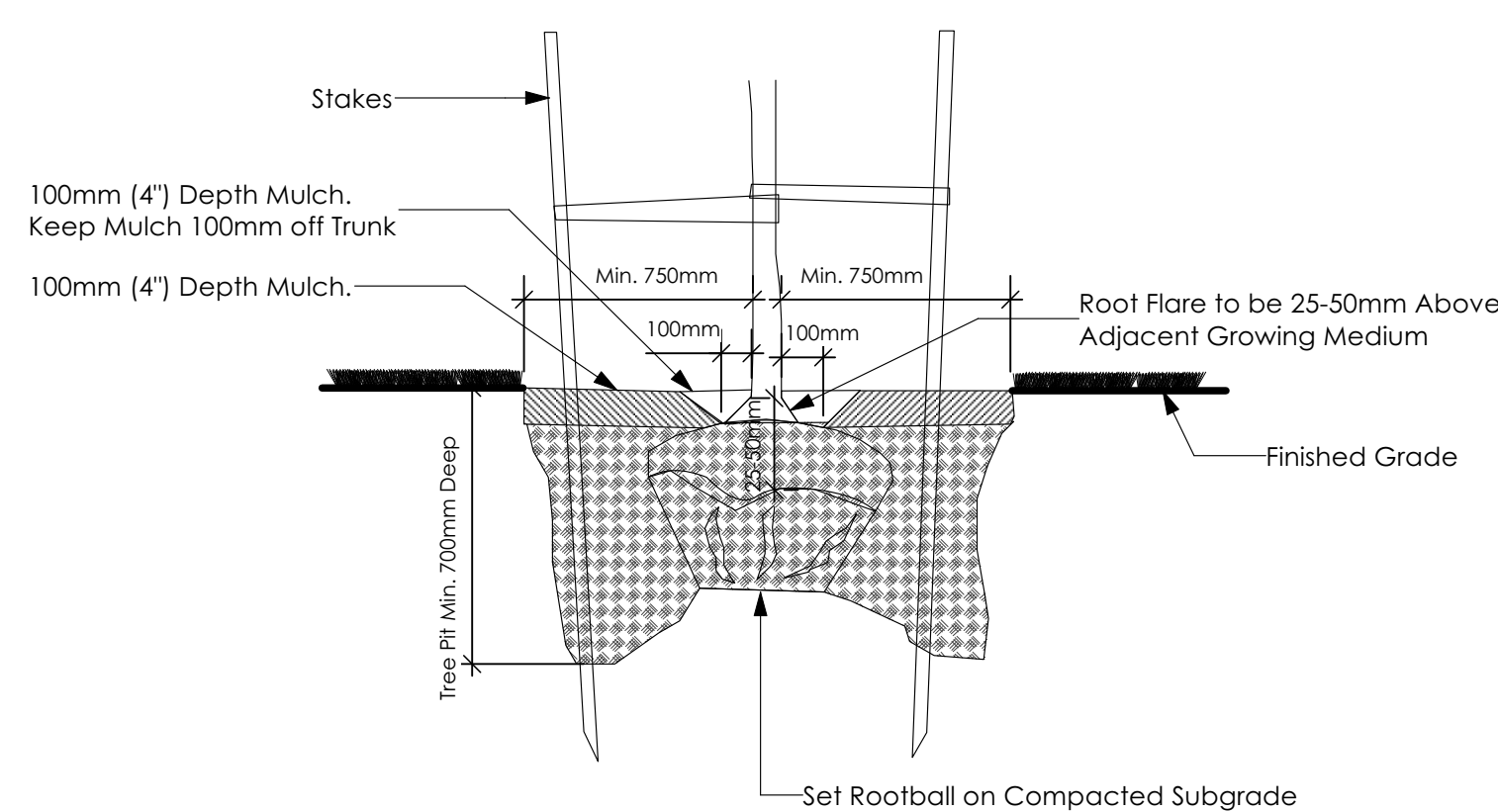
RETAINING WALLS  
\*XX.Xm\* = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE  
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- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS

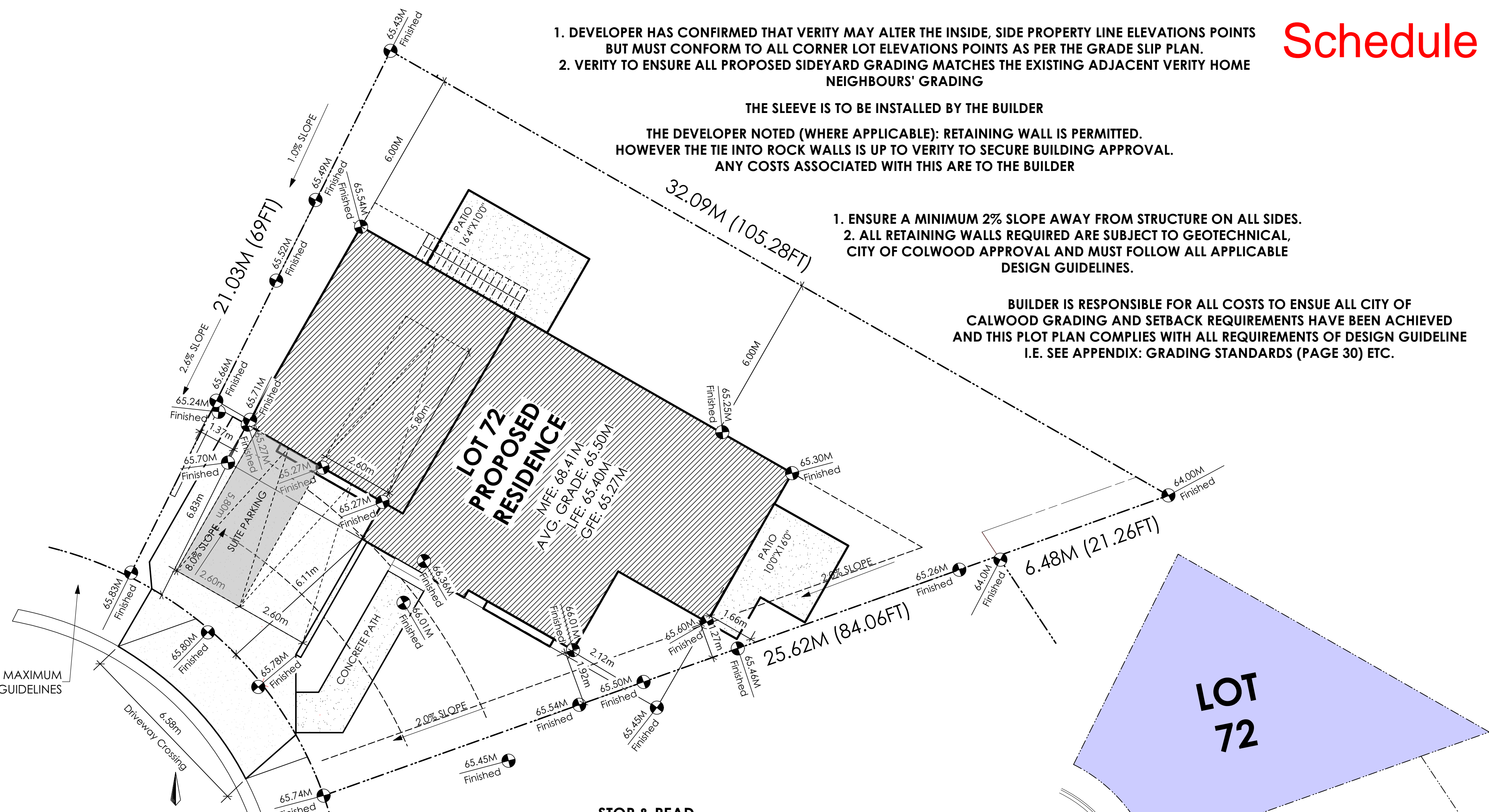


SMALL CAR PARKING STALL DIMENSIONS  
\* as per 2.2.02a allowing one stall to be a small car parking stall



3 Tree Planting Detail  
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m<sup>3</sup> of fertile topsoil, 700mm Deep



ENSURE SIDEWALK = MAXIMUM 1.5M WIDE AS PER GUIDELINES

1 Site Plan  
Scale: 1:100

STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

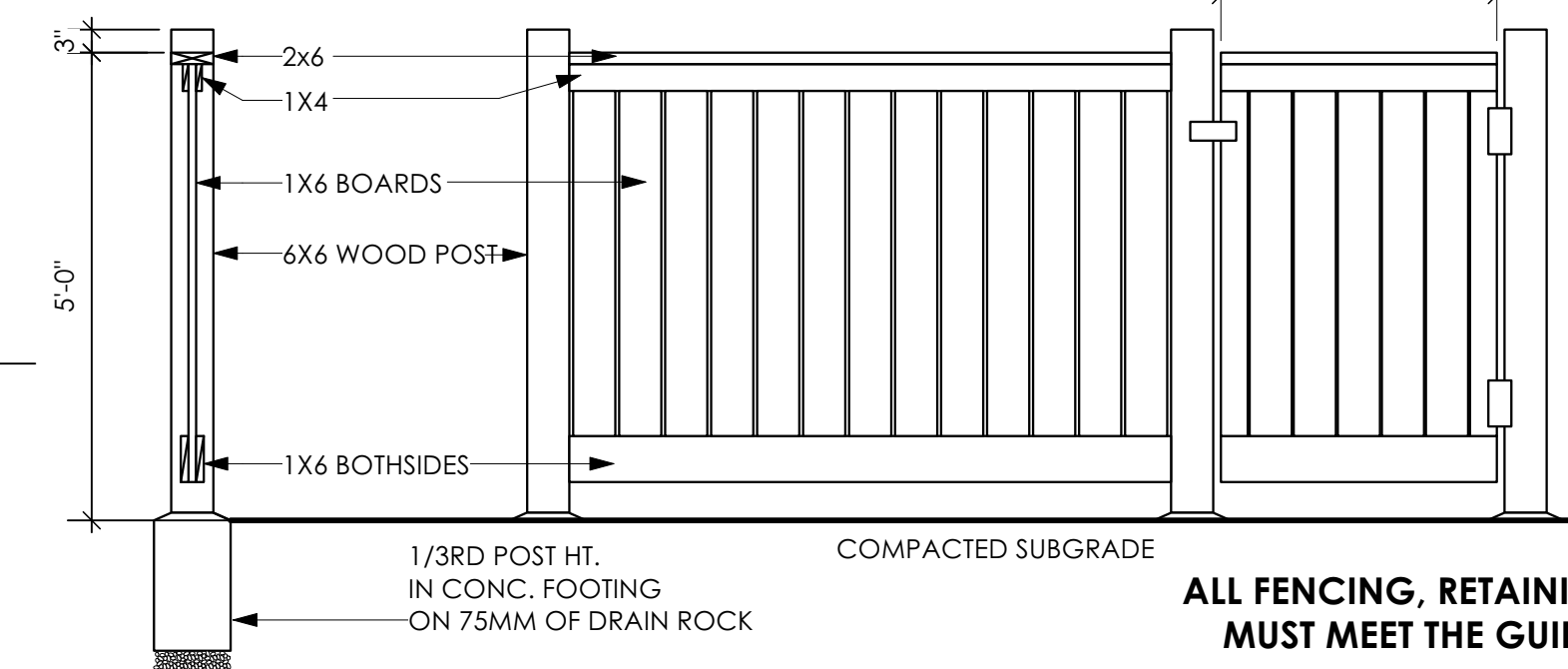
MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

2 Key Plan  
1: 650

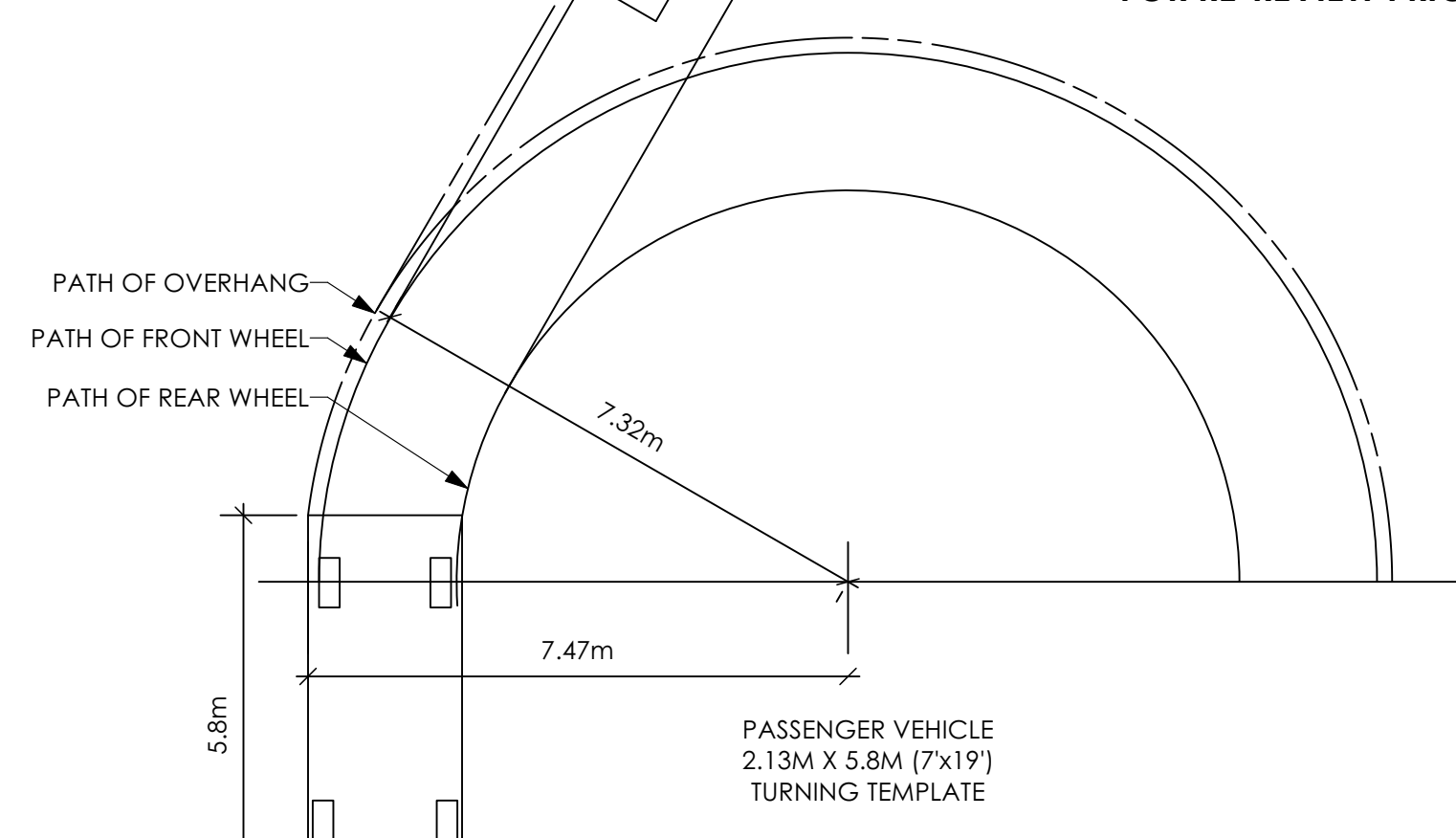
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION  
IF NOTICEABLE CHANGES ARE REQUIRED, VERITY MUST SUBMIT TO SUMMA FOR RE-REVIEW PRIOR TO START OF CONSTRUCTION

TYPICAL FENCE NOTES:  
1. ALL WOOD P.T. HEM FIR.  
2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)  
3. ALL HARDWARE HOT DIPPED GALVANIZED  
4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



5 Typical Fence Detail  
Not To Scale

\*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



4 Turning Template  
Not To Scale

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

# Development Permit Presentation

MUNICIPAL ADDRESS <b>404 Rock Dove Place</b>	P.I.D.
LOT 72	PLAN
BUILDER <b>VERITY HOMES</b>	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

**PROPOSED BUILDING GRADES**

ALL ELEVATIONS ARE METRIC GEODETIC + \_\_\_\_\_

MAIN FLOOR ELEVATION (TOP OF JOISTS) not provided

FRONT ELEV. 65.27/ REAR ELEV. 65.54/65.25/65.30  
(FINISHED GRADE) 66.01 (FINISHED GRADE)

FINISHED GRADE AT GARAGE 65.71/65.27

ACTUAL TOP OF FOOTING ELEVATION (ATF) not provided

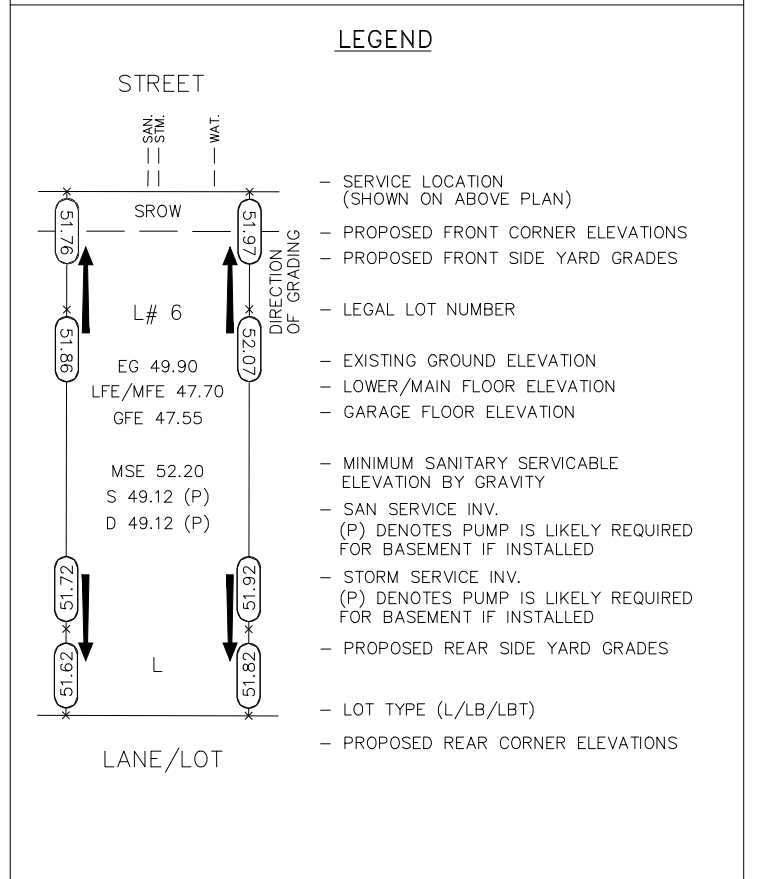
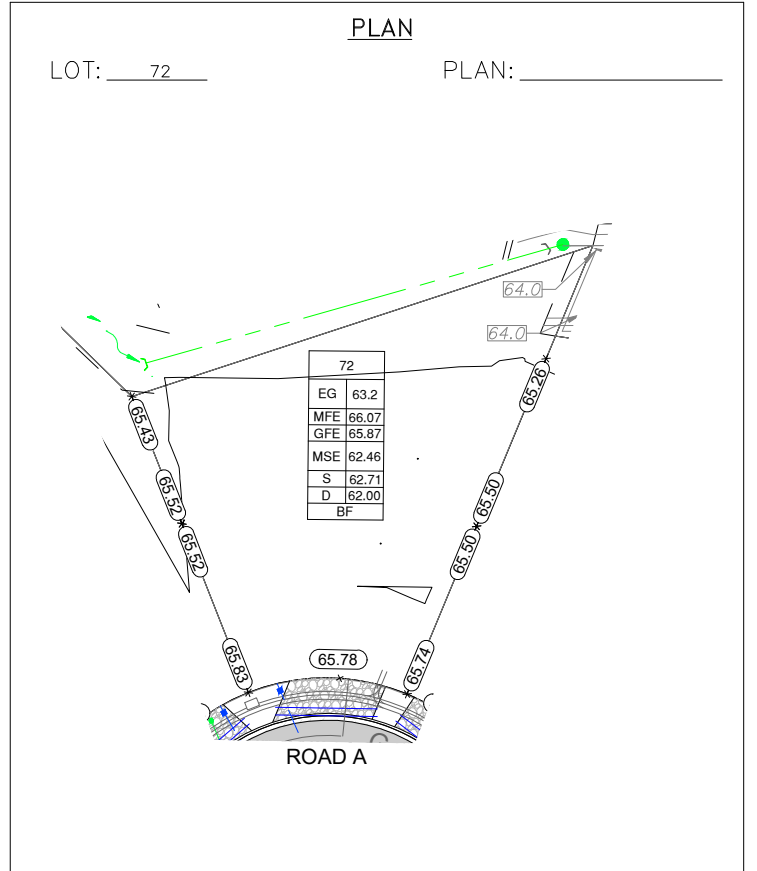
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) not provided

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER .....	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY .....	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM .....	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED) .....	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED) .....	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY .....	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED .....	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT) .....	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT) .....	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT .....	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**NOTES**

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: \_\_\_\_\_



I, THE BUILDER'S REPRESENTATIVE, \_\_\_\_\_, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

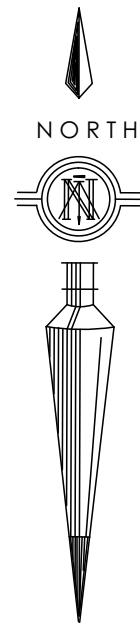
\_\_\_\_\_  
AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED \_\_\_\_\_

C. Hume - REDO - Oct. 5/22

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

SITE DATA		RBCDS	LOT 73
ITEMS	PERMITTED		PROPOSED
LOT AREA	368 sq.m.		440.06 sq.m.
LOT COVERAGE	50.00 %		35.99 %
BUILDING HEIGHT	9.50 m.		7.82 m.
LOT WIDTH	10.97 m.		13.30 m.
SETBACKS			
- FRONT (W)	3.00 m.		6.01 m.
- FRONT (GARAGE)(W)	6.00 m.		6.01 m.
- REAR (E)	6.00 m.		8.19 m.
- SIDE (N)	1.20 m.		1.28 m.
- SIDE (S)	1.20 m.		1.26 m.
PROPOSED FLOOR AREA			
- UPPER			90.70 sq.m.
- MAIN			100.80 sq.m.
- LOWER			100.80 sq.m.
- GARAGE			42.27 sq.m.
SUB-TOTAL G.F.A.			334.57 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.		-42.27 sq.m.
GROSS FLOOR AREA			292.30 sq.m.
F.A.R.			
			0.66 TO 1.0
SECONDARY SUITE			
FLOOR AREA [%]	40.00 %		20.24 %
FLOOR AREA [SQ.M.]	90.00 sq.m.		59.17 sq.m.



THE DEVELOPER NOTED: RETAINING WALLS ARE PERMITTED, HOWEVER THE TIE IN TO ROCK WALLS IS UP TO VERITY TO SECURE BUILDING APPROVAL. ANY COSTS ASSOCIATED WITH THIS ARE TO THE BUILDER

1. DEVELOPER HAS CONFIRMED THAT VERITY MAY ALTER THE INSIDE, SIDE PROPERTY LINE ELEVATIONS POINTS BUT MUST CONFORM TO ALL CORNER LOT ELEVATION POINTS AS PER THE GRADE SLIP PLAN.
2. VERITY TO ENSURE ALL PROPOSED SIDE YARD GRADING MATCHES THE EXISTING ADJACENT VERITY HOME NEIGHBOURS GRADING

NOV. 23/22 REVIEWED FOR GUIDELINE COMPLIANCE WITH NOTES & CHANGES. VERITY IS RESPONSIBLE FOR THE COST OF ALL CHANGES REQUIRED.

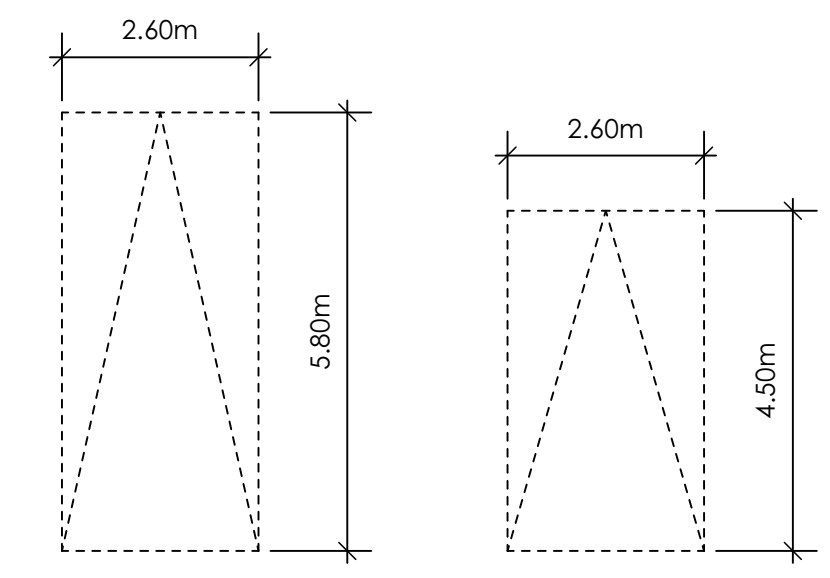
IF NOTICEABLE CHANGES ARE REQUIRED TO THIS REVIEWED SITE PLAN, VERITY MUST SUBMIT TO SUMMA FOR RE-REVIEW PRIOR TO START OF CONSTRUCTION

1. ENDURE A MINIMUM 2% SLOPE WAY FROM THE STRUCTURE ON ALL SIDES.
2. ALL RETAINING WALLS REQUIRED ARE SUBJECT TO GEOTECHNICAL, CITY OF COLWOOD APPROVAL AND MUST FOLLOW ALL APPLICABLE DESIGN GUIDELINES

AVERAGE NATURAL GRADE CALCULATION  
65.85 m. + 65.85 m. + 65.85 m. + 65.63 m. + 65.23 m. + 62.83 m. + 62.83 m. = 454.07 m.  
divided by 7 = ave. grade 64.87 m.

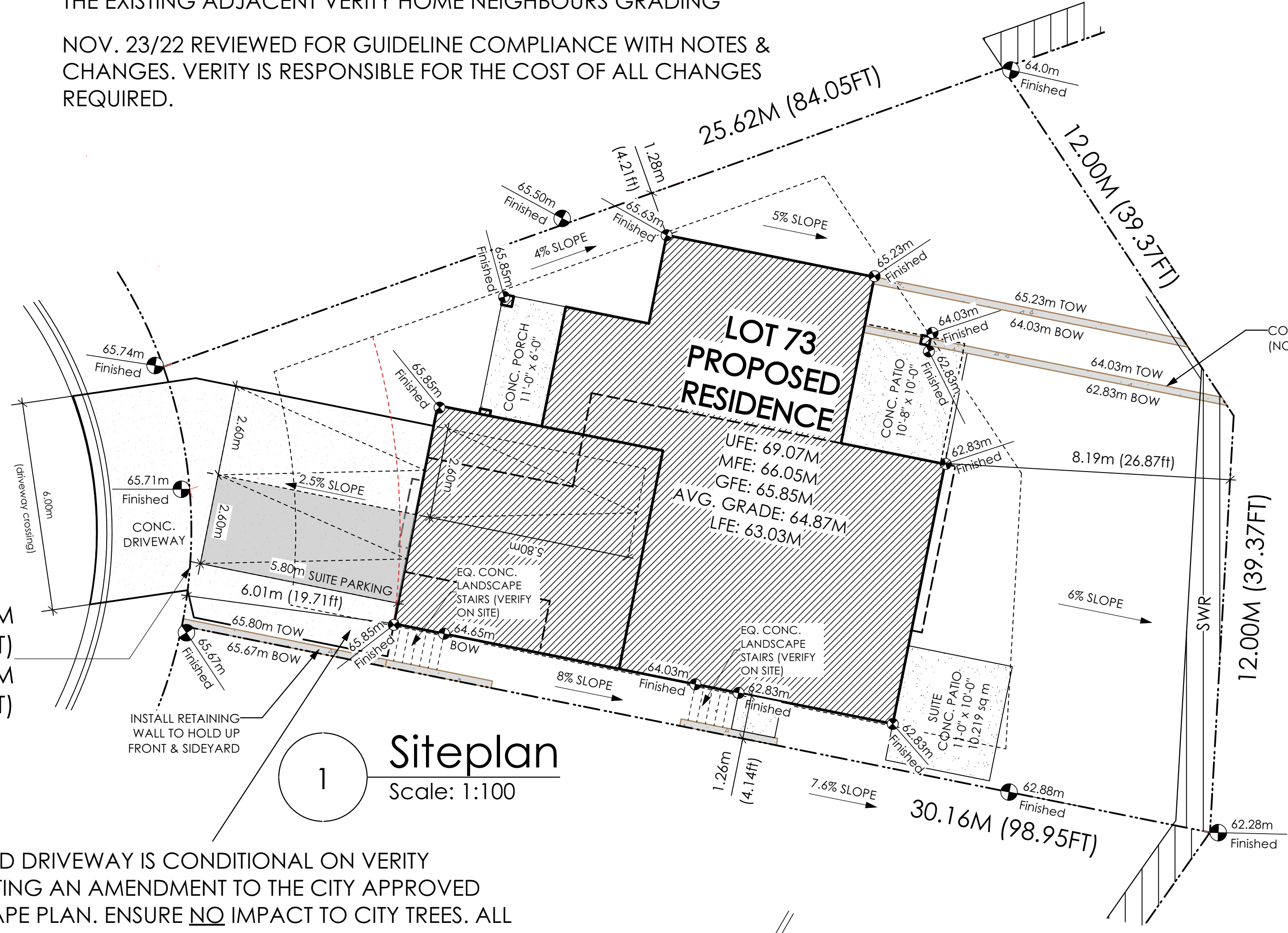
SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS  
\*XX.Xm\* = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE  
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)  
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS  
SMALL CAR PARKING STALL DIMENSIONS  
\* as per 2.2.02a allowing one stall to be a small car parking stall

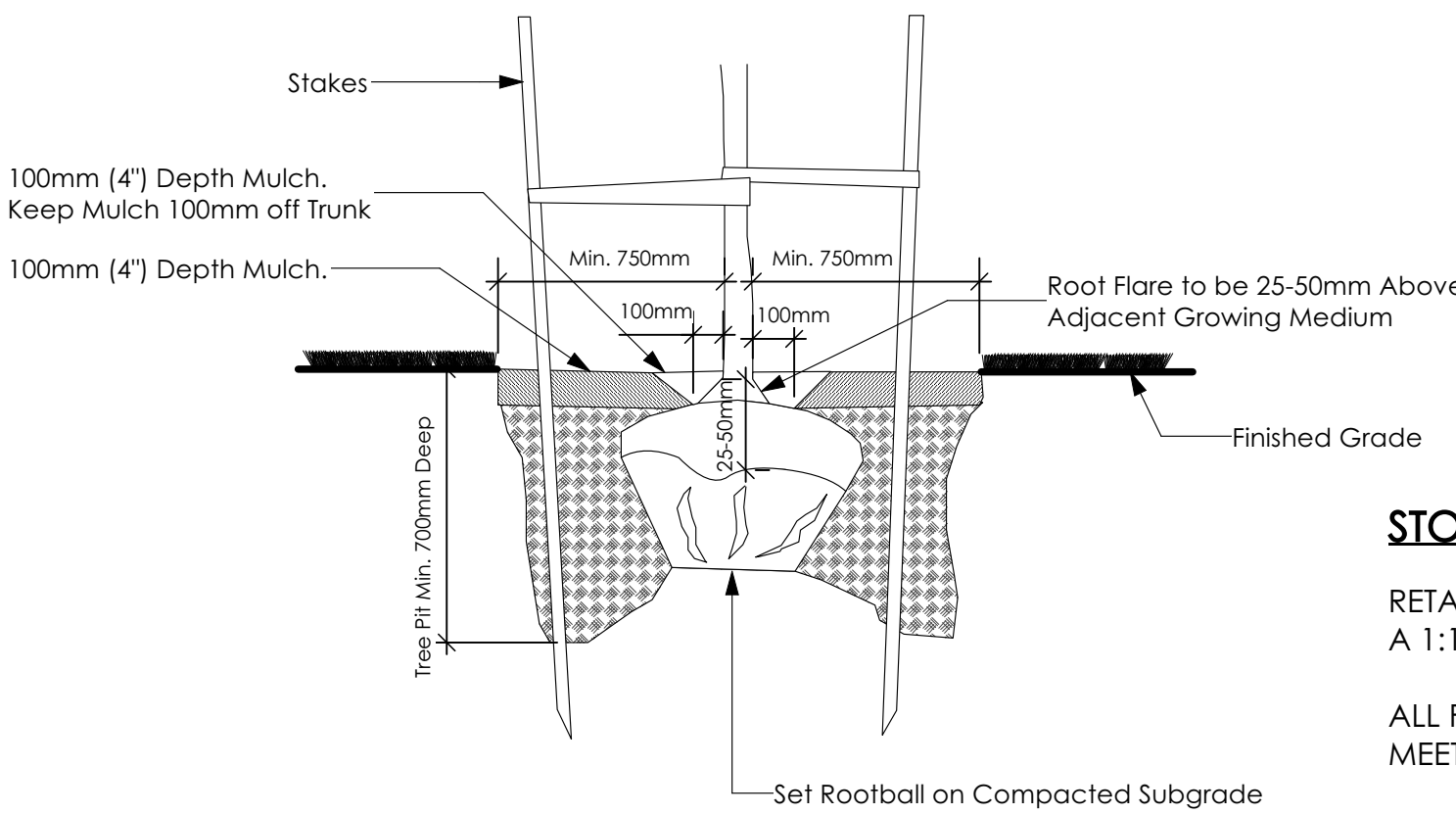
R=14.08M (46.19FT)  
A=7.56M (24.80FT)



1 Siteplan  
Scale: 1:100

OVERSIZED DRIVEWAY IS CONDITIONAL ON VERITY COMPLETING AN AMENDMENT TO THE CITY APPROVED LANDSCAPE PLAN. ENSURE NO IMPACT TO CITY TREES. ALL LANDSCAPING REQUIREMENTS MUST BE ATTAINABLE - CHANGES MAY BE REQUIRED TO ACCOMMODATE.

VERITY IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL REQUIREMENTS RE: MFE & LFE ARE ACHIEVED



2 Tree Planting Detail  
Not To Scale  
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

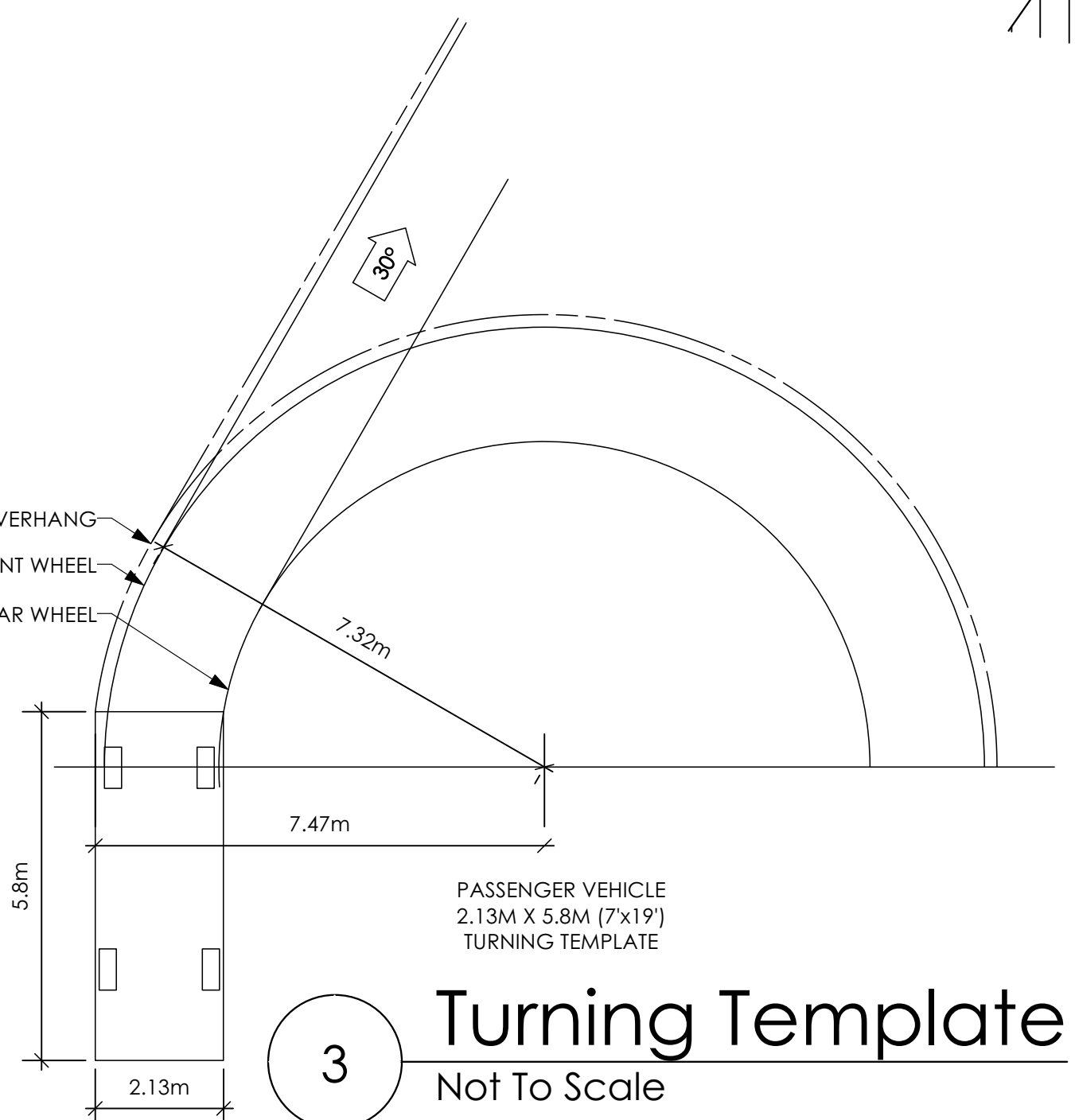
**STOP & READ**  
RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

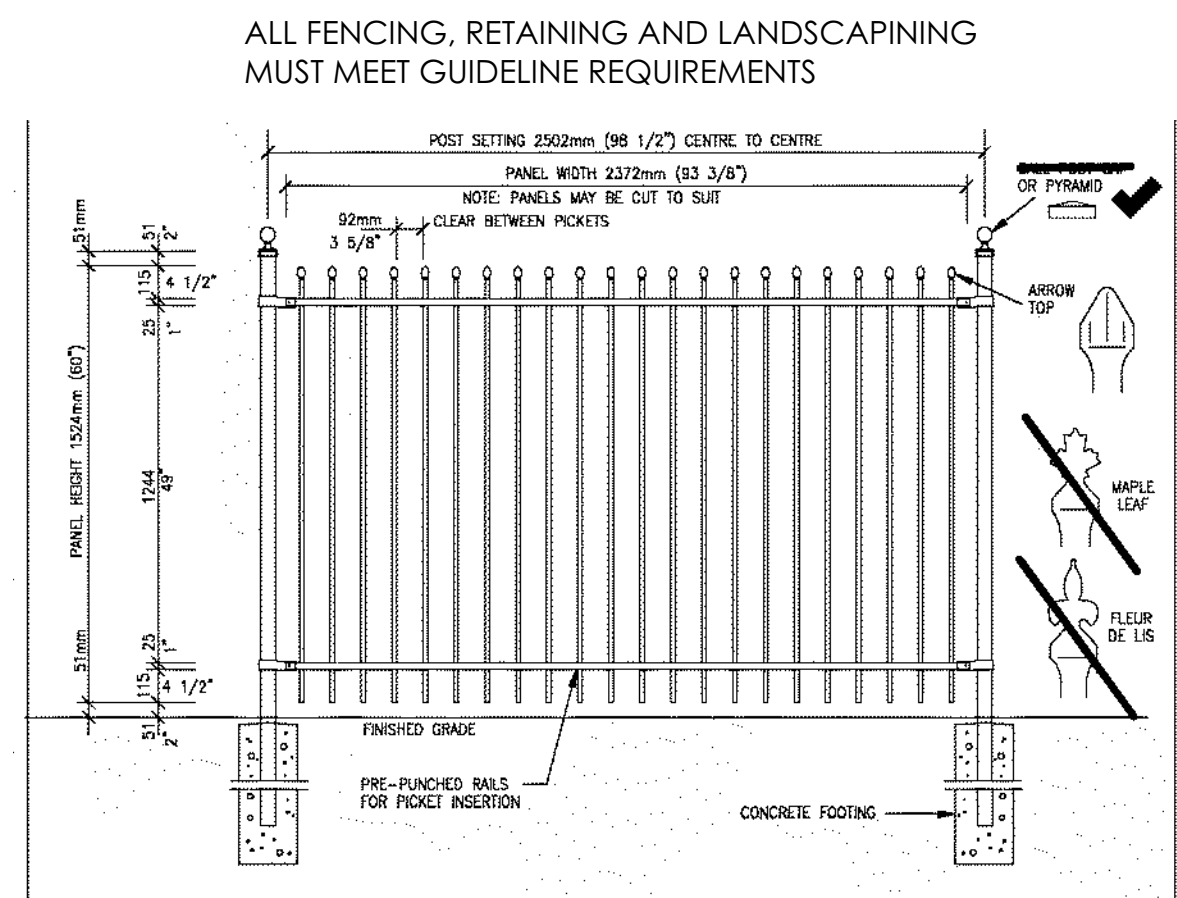
MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

CONTRACTOR TO ENSURE A MINIMUM 2% SLOPE SIDE YARD SWALING (BOTH SIDES) MAY BE REQUIRED



3 Turning Template  
Not To Scale



4 Fence Treatment  
Not To Scale  
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

5 Key Plan  
1:250

CARAVEL TRADITIONAL

Date

March 22, 2023

Project Address

Lot 73 - 401 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

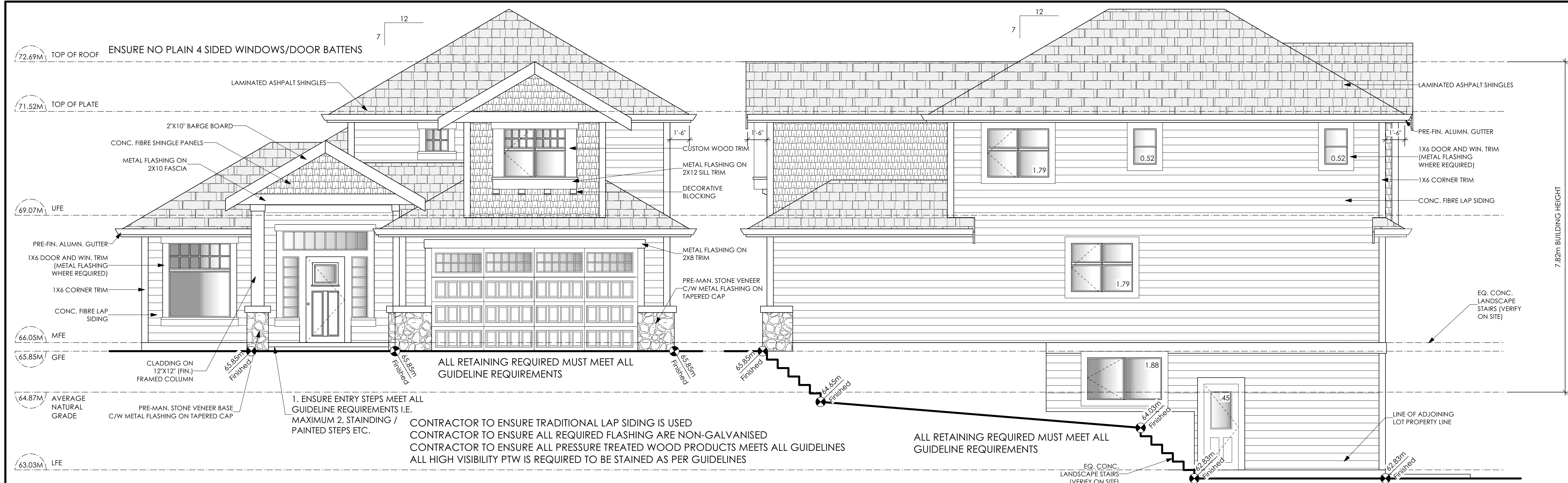
8298

Scale

As Noted

Drawn By

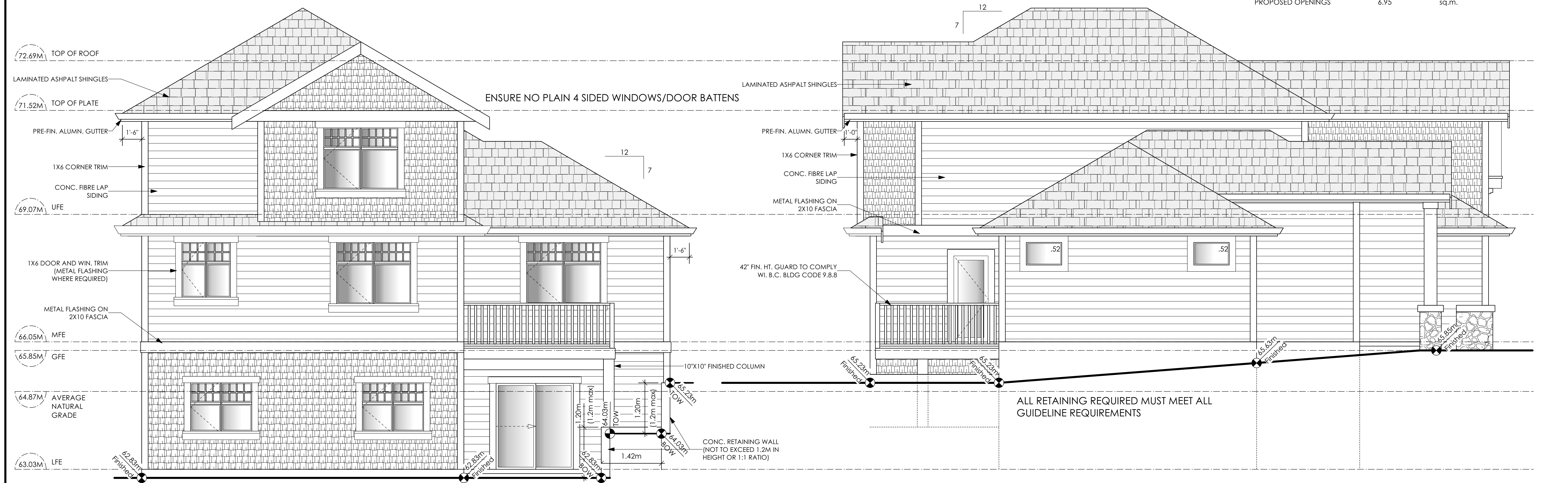
LIS



1 Front Elevation  
A3 Scale: 1/4" = 1'-0"

2 Right Side Elevation  
A3 Scale: 1/4" = 1'-0"

LIMITING DISTANCE	1.26	m.
EXPOSED BUILDING FACE	100.92	sq.m.
ALLOWABLE OPENINGS	7.00	%
ALLOWABLE OPENING AREA	7.06	sq.m.
PROPOSED OPENINGS	6.95	sq.m.



3 Rear Elevation  
A3 Scale: 1/4" = 1'-0"

4 Left Side Elevation  
A3 Scale: 1/4" = 1'-0"

LIMITING DISTANCE	1.28	m.
EXPOSED BUILDING FACE	20.45	sq.m.
ALLOWABLE OPENINGS	7.00	%
ALLOWABLE OPENING AREA	1.43	sq.m.
PROPOSED OPENINGS	1.04	sq.m.

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW  
ENSURE REAR DECK / REAR DECK STAIRS / REAR DECK COLUMNS MEET ALL GUIDELINE REQUIREMENTS RE: SIZE & MATERIAL REQUIRED, STAINED / PAINTING ETC.

CARAVEL TRADITIONAL

Date

March 22, 2023

Project Address

Lot 73 - 401 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

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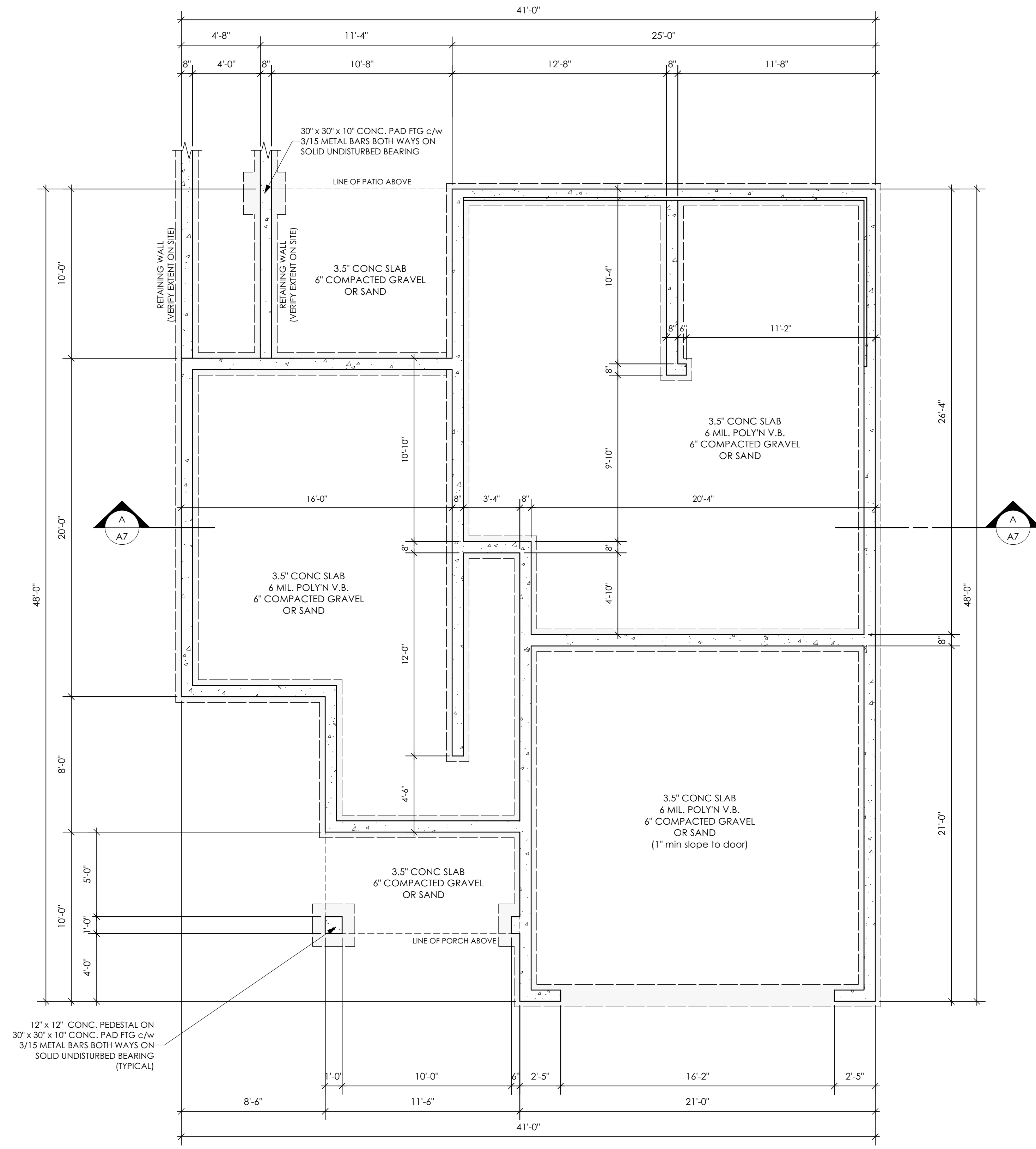
Scale

As Noted

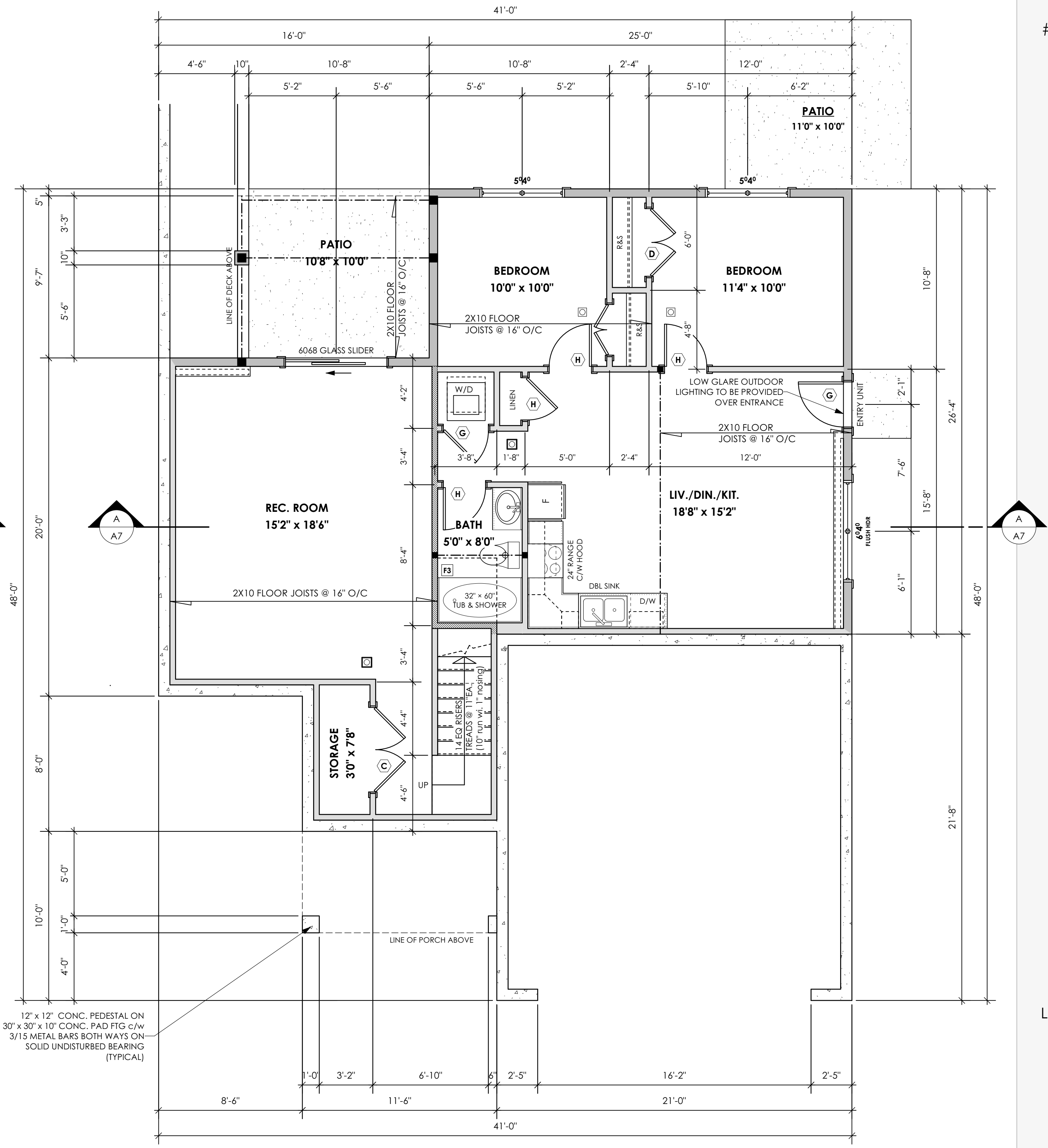
Drawn By

LIS

# Development Permit Presentation



1 Foundation Plan  
A4 Scale: 1/4" = 1'-0"



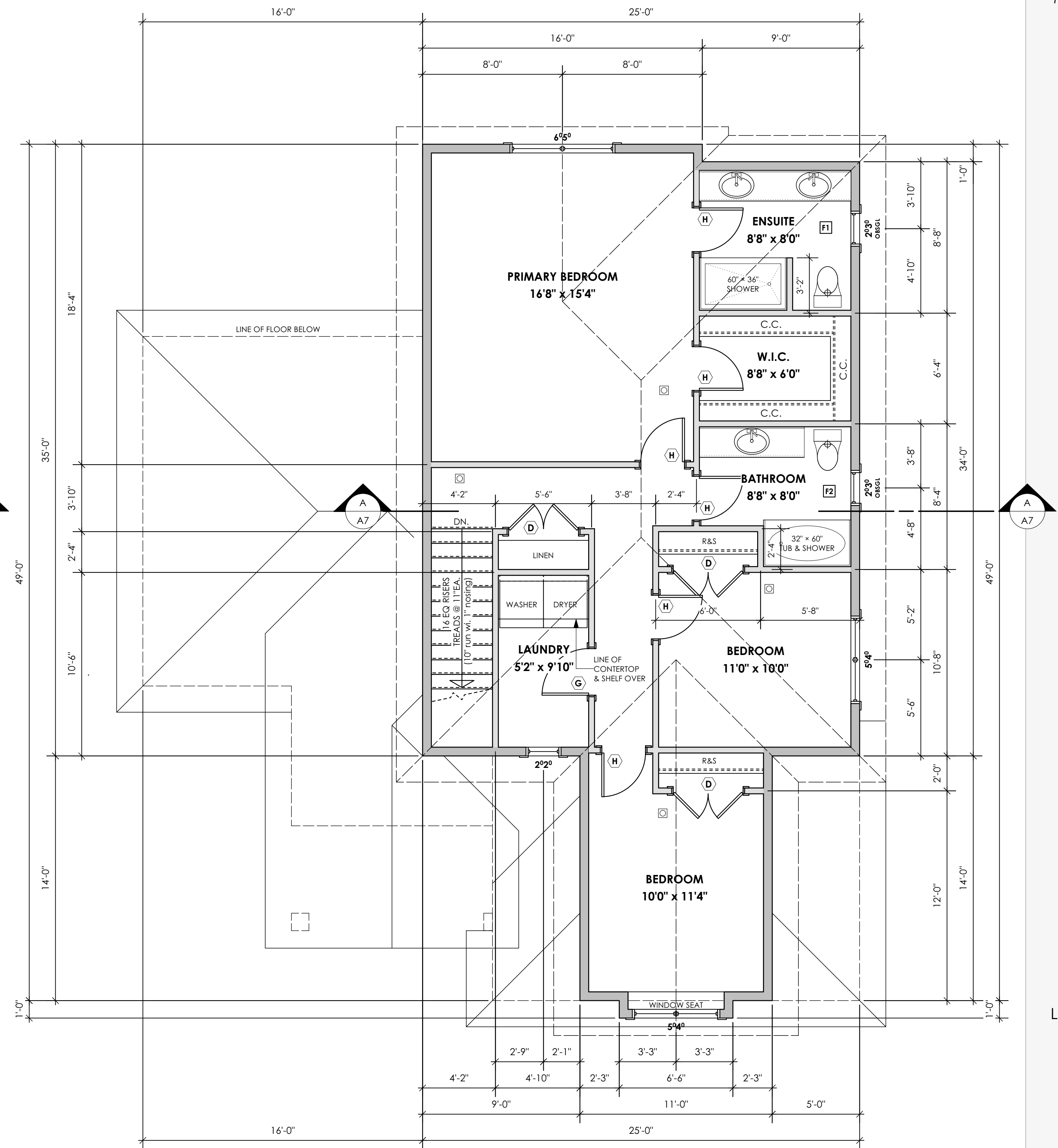
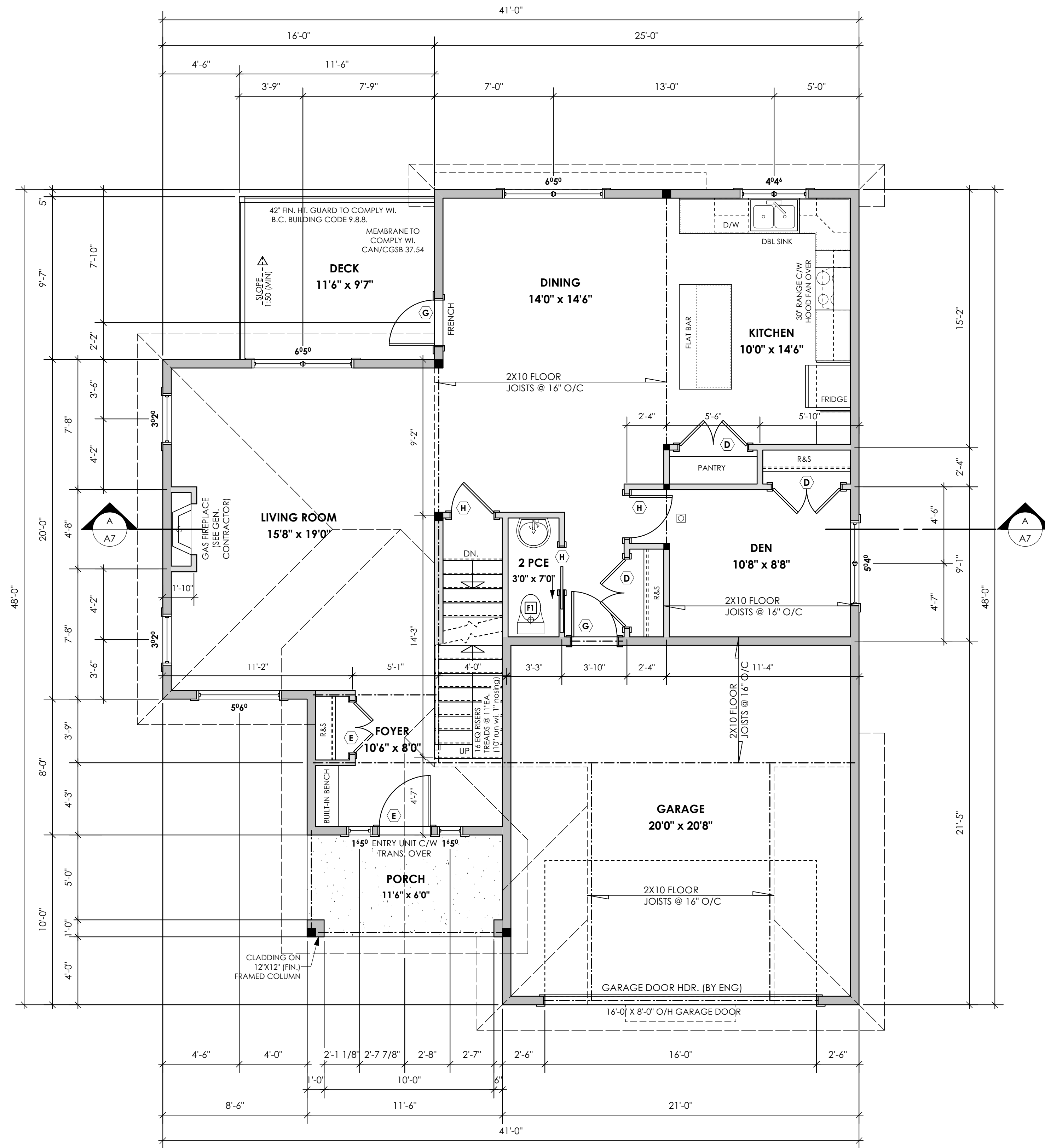
2 Lower Floor Plan  
A4 Scale: 1/4" = 1'-0"

Primary: 448.06 sq.ft. (41.63 sq.m.)  
Suite: 636.94 sq.ft. (59.17 sq.m.)

CARAVEL TRADITIONAL  
Date  
Feb. 6, 2023  
Project Address  
Lot 73 - 401 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.  
Prepared for  
Verity Construction

Project #  
8298  
Scale  
As Noted  
Drawn By  
LIS

# Development Permit Presentation



CARAVEL TRADITIONAL

Date

Feb. 6, 2023

Project Address

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Royal Bay - Sector 7  
Colwood, B.C.

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Verity Construction

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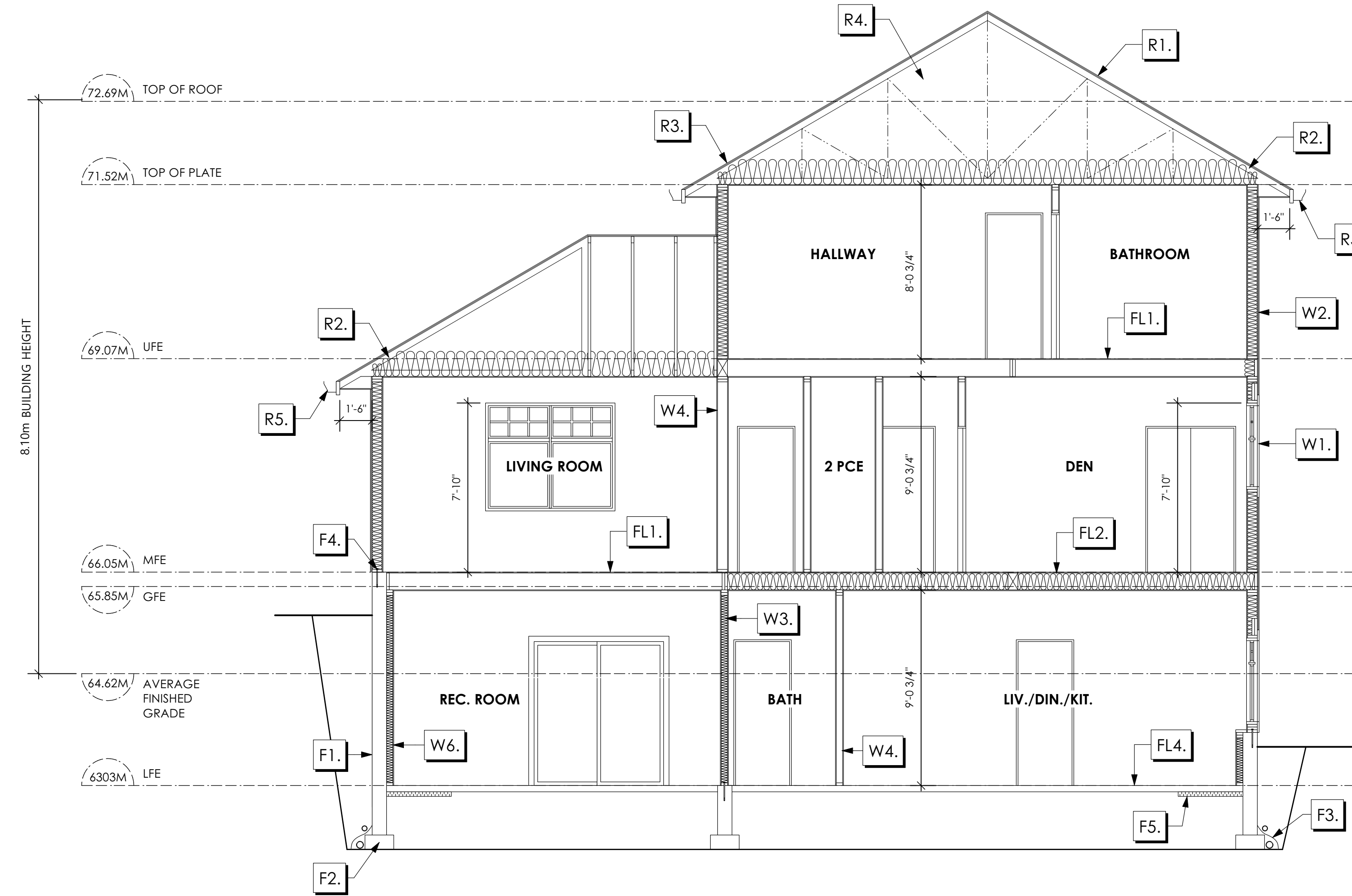
Scale

As Noted

Drawn By

LIS

# Development Permit Presentation



1 Section A-A  
A7 Scale: 1/4" = 1'-0"

### Section Notes

#### ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2m) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WITH BCBC 9.19.1)
- R5. ALUMINUM GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED ALUMINUM SOFFIT
- R6. ALUMINUM GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD TO COMPLY WITH BCBC 9.10.15.5(11) USE WHEN SOFFIT IS WITHIN 1.2m FROM PROPERTY LINE VENTED ALUMINUM SOFFIT

#### FLOORS

- FL1. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY FBD FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT IN SECTION)
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)

#### WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW-E" RATING IN THERMAL BREAK FRAMES 2/2" X10" LINTEL OVER @ bearing walls only) [TYPICAL. WI. 2 1/2" XPS insulation] FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/115.2/A440. "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (not in section)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION BUILDING WRAP OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)

#### FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2m) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13 AND SUPPLY DETAILS IF REQUIRED

CARAVEL TRADITIONAL

Date

Feb. 6, 2023

Project Address

Lot 73 - 401 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

Scale

As Noted

Drawn By

LIS

Development Permit Presentation

**ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS**

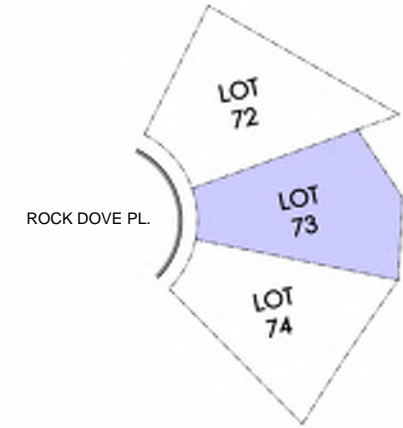
ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

\*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

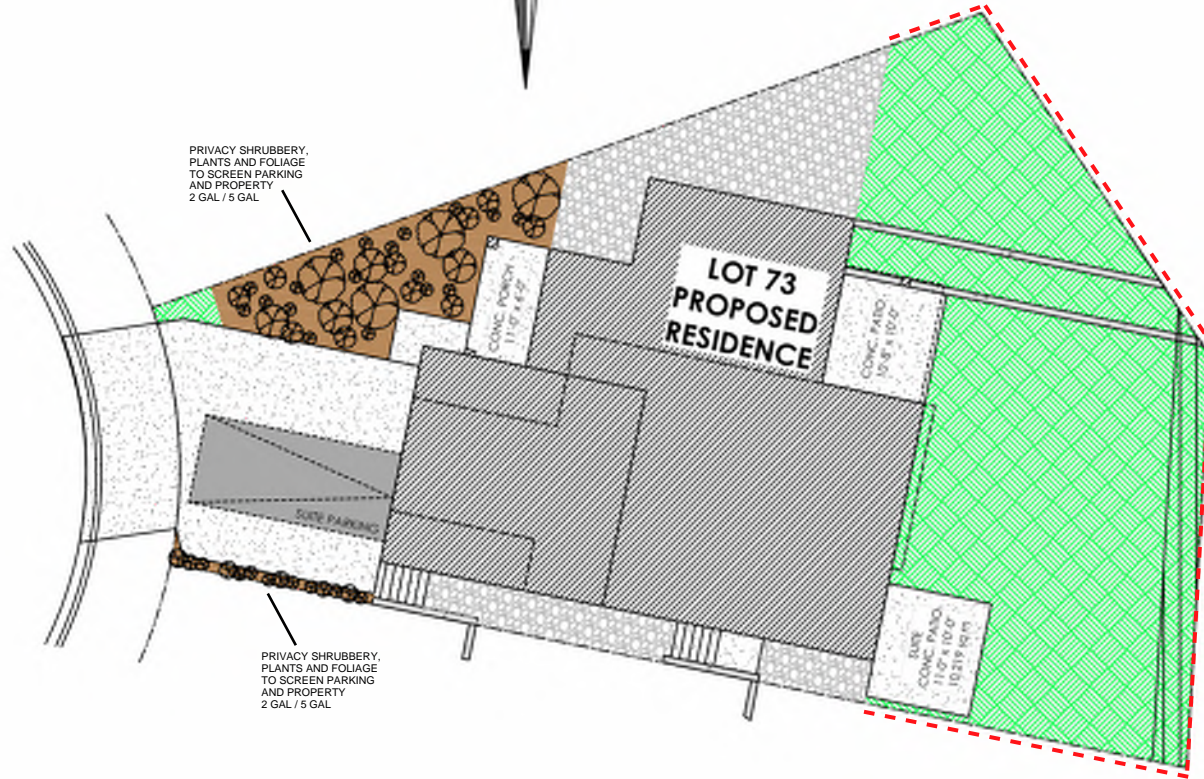
KEY PLAN NOT TO SCALE



ITEM	AREA (sf)	%
GARDEN BED	298	10%
GRAVEL	446	14%
CONCRETE	837	27%
SOD	1,559	49%
TOTAL	3,140	100%

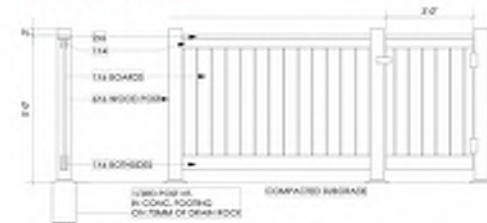


LEGEND	
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE - 2 GAL - 5 GAL
	PRIVACY SHRUBBERY



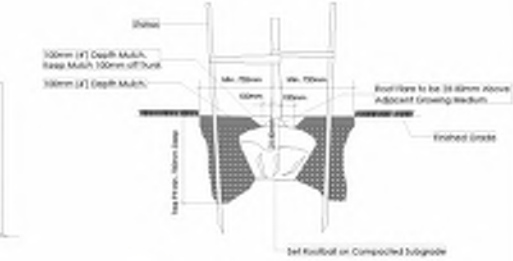
ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

LOCATION INDICATED BY



Typical Fence Detail  
Not To Scale

TYPICAL FENCE DETAIL BASED ON FENCE DETAIL 1/3 FROM PLAN, BUT DESIGN/CONSTRUCTION IS 2"



Tree Planting Detail  
Not To Scale

All trees and plants by the home owner to be planted in minimum 100% of fertile topsoil, 100mm Deep

**LANDSCAPE PLAN**  
NOT TO SCALE

**ADDITIONAL NOTES:**  
PROPERTY TO BE IRRIGATED  
**6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES**

MM/DD/YY	ISSUED/REVISED	DATE
01	11/16/22	FOR APPROVAL
02	01/26/23	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN  
LOT 73, 401 ROCK DOVE PL.  
ROYAL BAY, SECTOR 7  
CITY OF COLWOOD



QUALITY CONSTRUCTION. TRUSTED SERVICE.  
106 - 1039 Langford Parkway  
Victoria, B.C. V9B 0A6  
P: 250.474.1039  
www.verityconstruction.ca



MUNICIPAL ADDRESS <b>401 Rock Dove Place</b>	P.I.D.
LOT 73	PLAN
BUILDER <b>VERITY HOMES</b>	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

**PROPOSED BUILDING GRADES**

ALL ELEVATIONS ARE METRIC GEODETIC + \_\_\_\_\_

MAIN FLOOR ELEVATION (TOP OF JOISTS) **66.05**

FRONT ELEV. (FINISHED GRADE) **65.85** REAR ELEV. (FINISHED GRADE) **65.23/62.83**

FINISHED GRADE AT GARAGE **65.85**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

**PLAN**

LOT: 73 PLAN: \_\_\_\_\_

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

**NOTES**

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: \_\_\_\_\_

**LEGEND**

- SERVICE LOCATION (SHOWN ON ABOVE PLAN)
- PROPOSED FRONT CORNER ELEVATIONS
- PROPOSED FRONT SIDE YARD GRADES
- LEGAL LOT NUMBER
- EXISTING GROUND ELEVATION
- LOWER/MAIN FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- MINIMUM SANITARY SERVICABLE ELEVATION BY GRAVITY
- SAN SERVICE INV. (P) DENOTES PUMP IS LIKELY REQUIRED FOR BASEMENT IF INSTALLED
- STORM SERVICE INV. (P) DENOTES PUMP IS LIKELY REQUIRED FOR BASEMENT IF INSTALLED
- PROPOSED REAR SIDE YARD GRADES
- LOT TYPE (L/LB/LBT)
- PROPOSED REAR CORNER ELEVATIONS

I, THE BUILDER'S REPRESENTATIVE, \_\_\_\_\_, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

\_\_\_\_\_  
AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED \_\_\_\_\_

\_\_\_\_\_  
ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

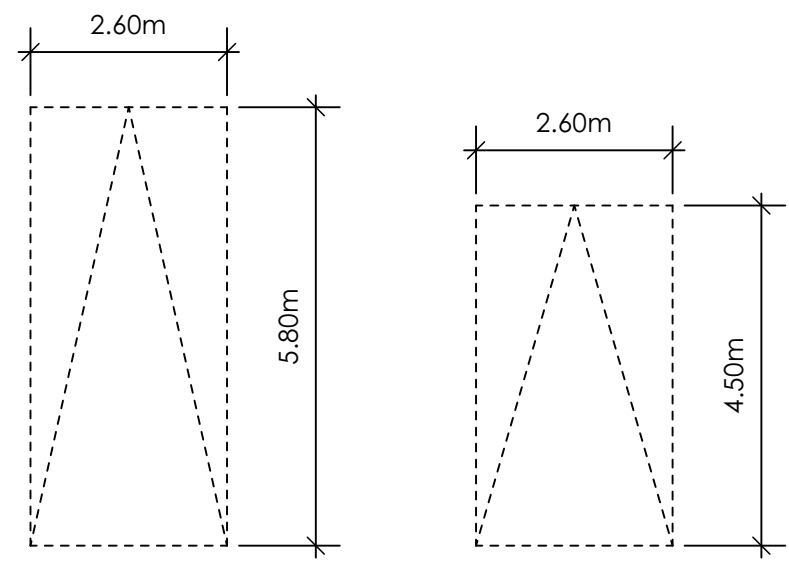
C. Hume - Jan. 31/23

SITE DATA		RBCD5	LOT 74
ITEMS	PERMITTED	PROPOSED	
LOT AREA	368 sq.m.	453.72 sq.m.	
LOT COVERAGE	50.00 %	34.71 %	
BUILDING HEIGHT	9.50 m.	8.64 m.	
LOT WIDTH	10.97 m.	8.31 m.	
SETBACKS			
- FRONT	3.00 m.	6.79 m.	
- FRONT (GARAGE)	6.00 m.	7.09 m.	
- REAR	6.00 m.	6.00 m.	
- SIDE	1.20 m.	1.24 m.	
- SIDE	1.20 m.	1.39 m.	
PROPOSED FLOOR AREA			
- UPPER		139.00 sq.m.	
- MAIN		103.93 sq.m.	
- LOWER		103.94 sq.m.	
- GARAGE		39.02 sq.m.	
SUB-TOTAL G.F.A.		385.89 sq.m.	
GARAGE ALLOWANCE	50.00 sq.m.	-39.02 sq.m.	
GROSS FLOOR AREA		346.87 sq.m.	
F.A.R.			
		0.76 TO 1.0	
SECONDARY SUITE			
FLOOR AREA (%)	40.00 %	18.60 %	
FLOOR AREA (SQ.M.)	90.00 sq.m.	64.51 sq.m.	

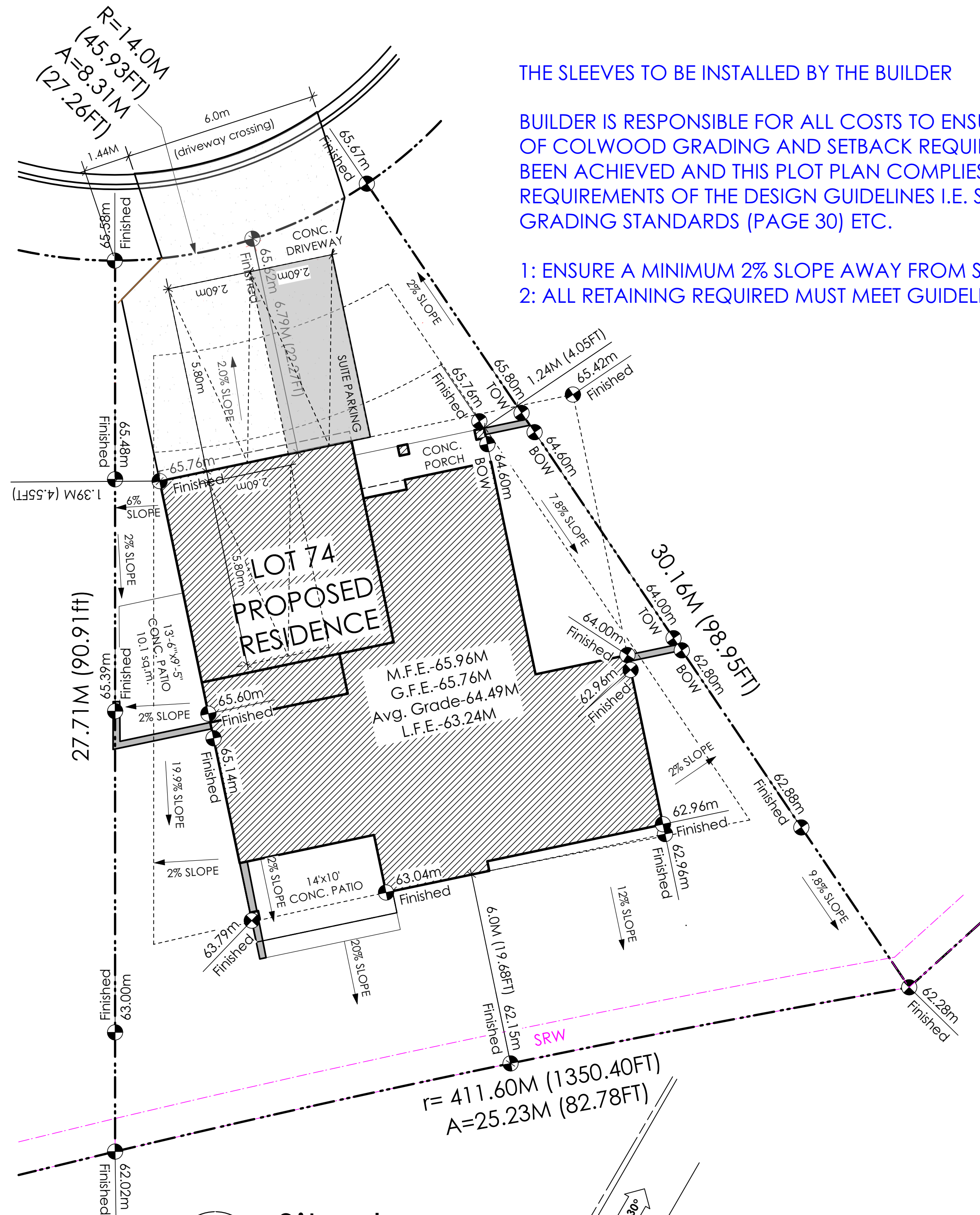
AVERAGE NATURAL GRADE CALCULATION  
 $65.76\text{m} + 63.79\text{m} + 62.94\text{m} + 65.45\text{m} = 257.94\text{m}$   
 divided by 4 = ave. grade 64.49 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS  
 \*XX.Xm\* = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE  
 - TO BE CERTIFIED BY AN ENGINEER AND MEET CBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)  
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS  
 SMALL CAR PARKING STALL DIMENSIONS  
 \* as per 2.2.02a allowing one stall to be a small car parking stall



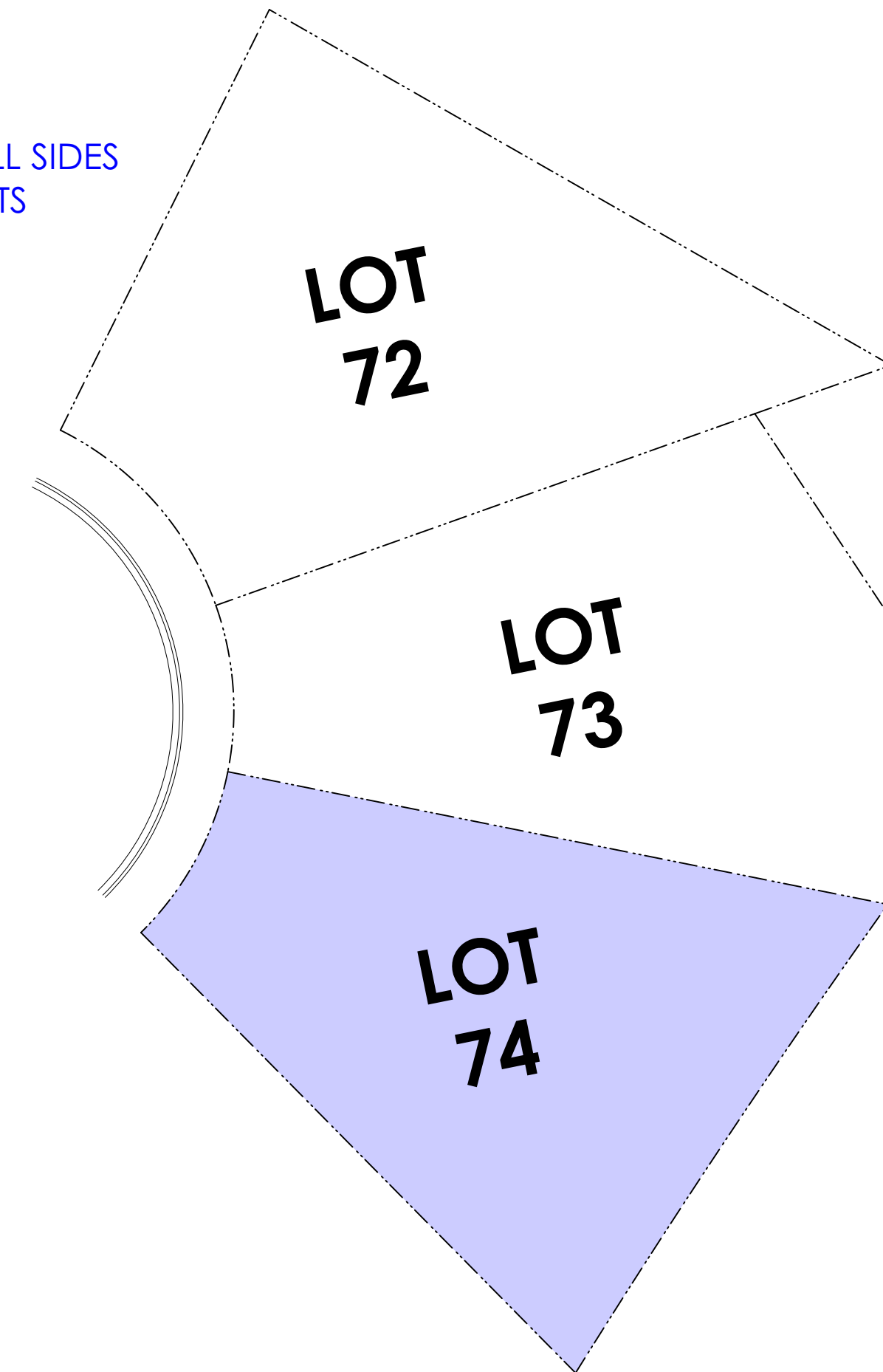
1 Siteplan  
 Scale: 1:100

THE SLEEVES TO BE INSTALLED BY THE BUILDER

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

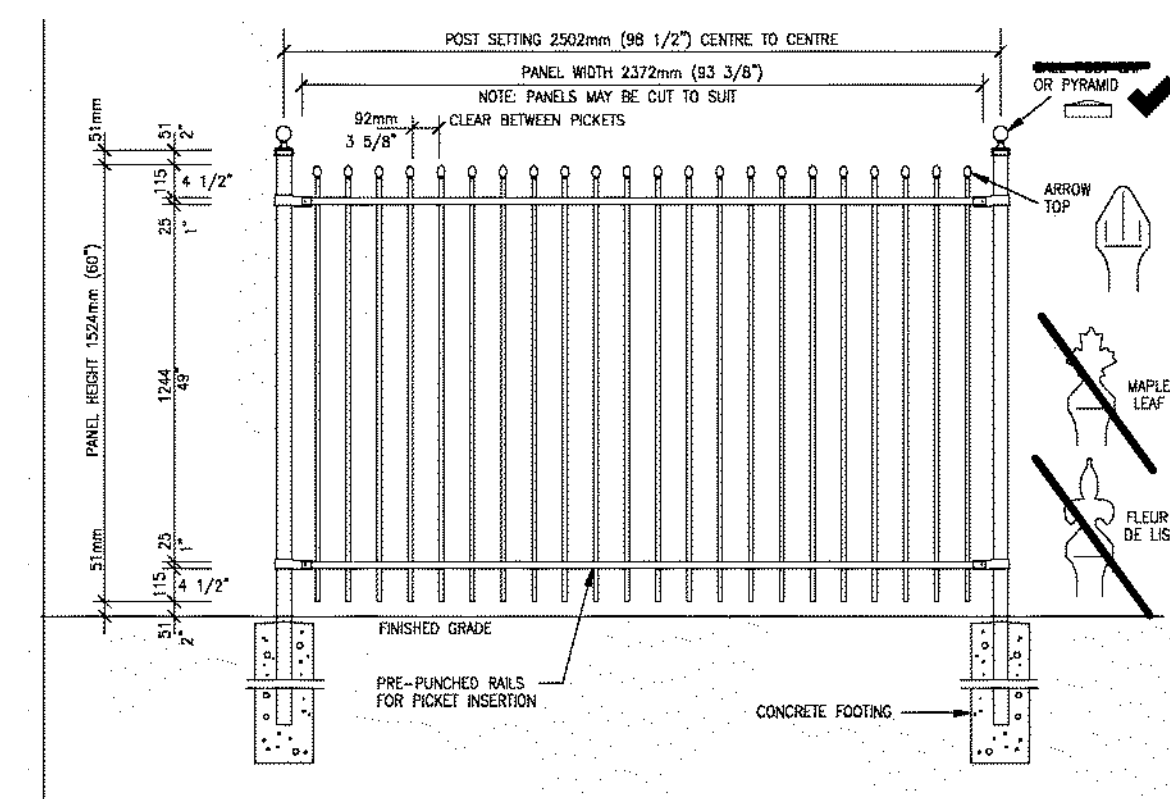
- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

### Schedule 3

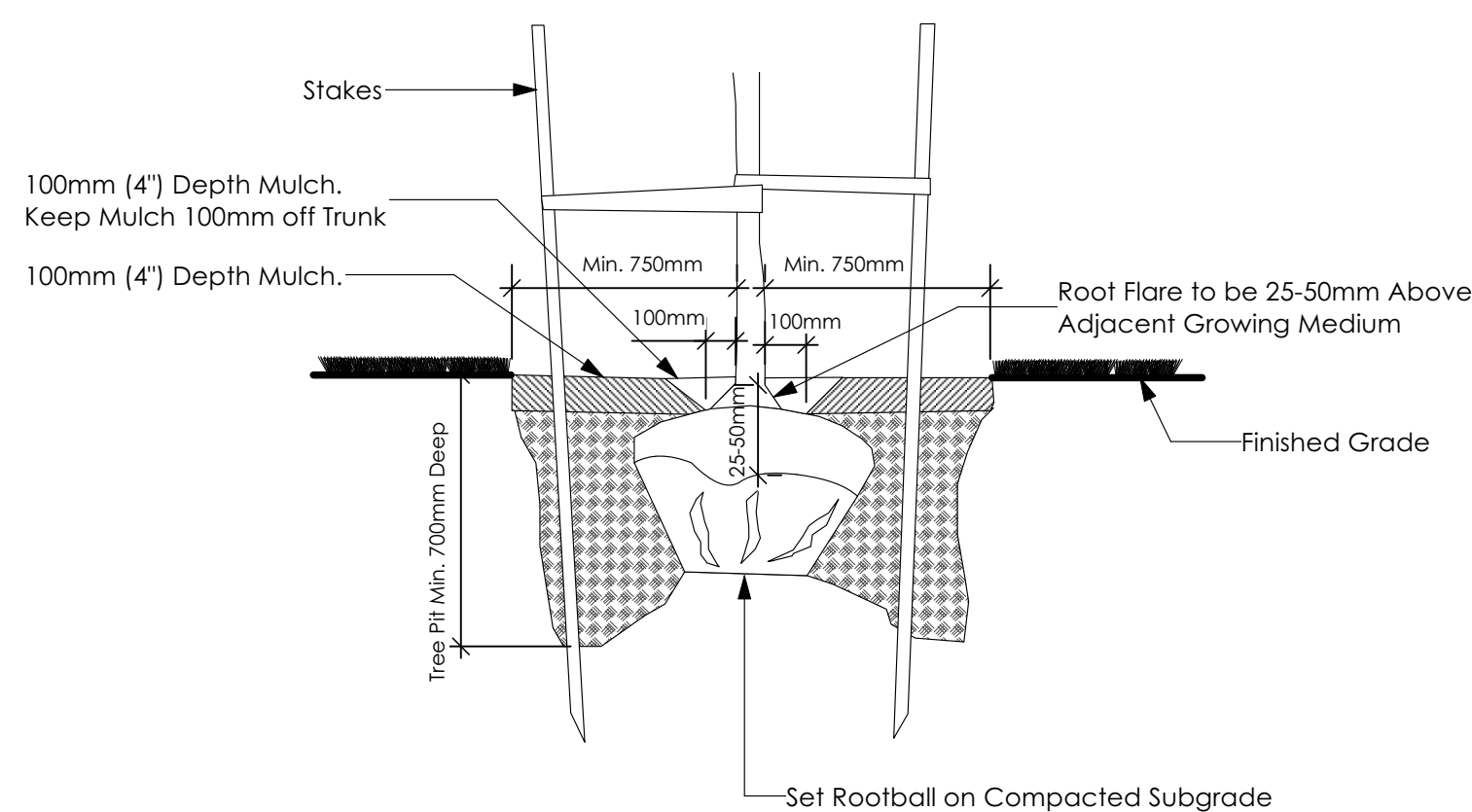


5 Key Plan  
 1: 250

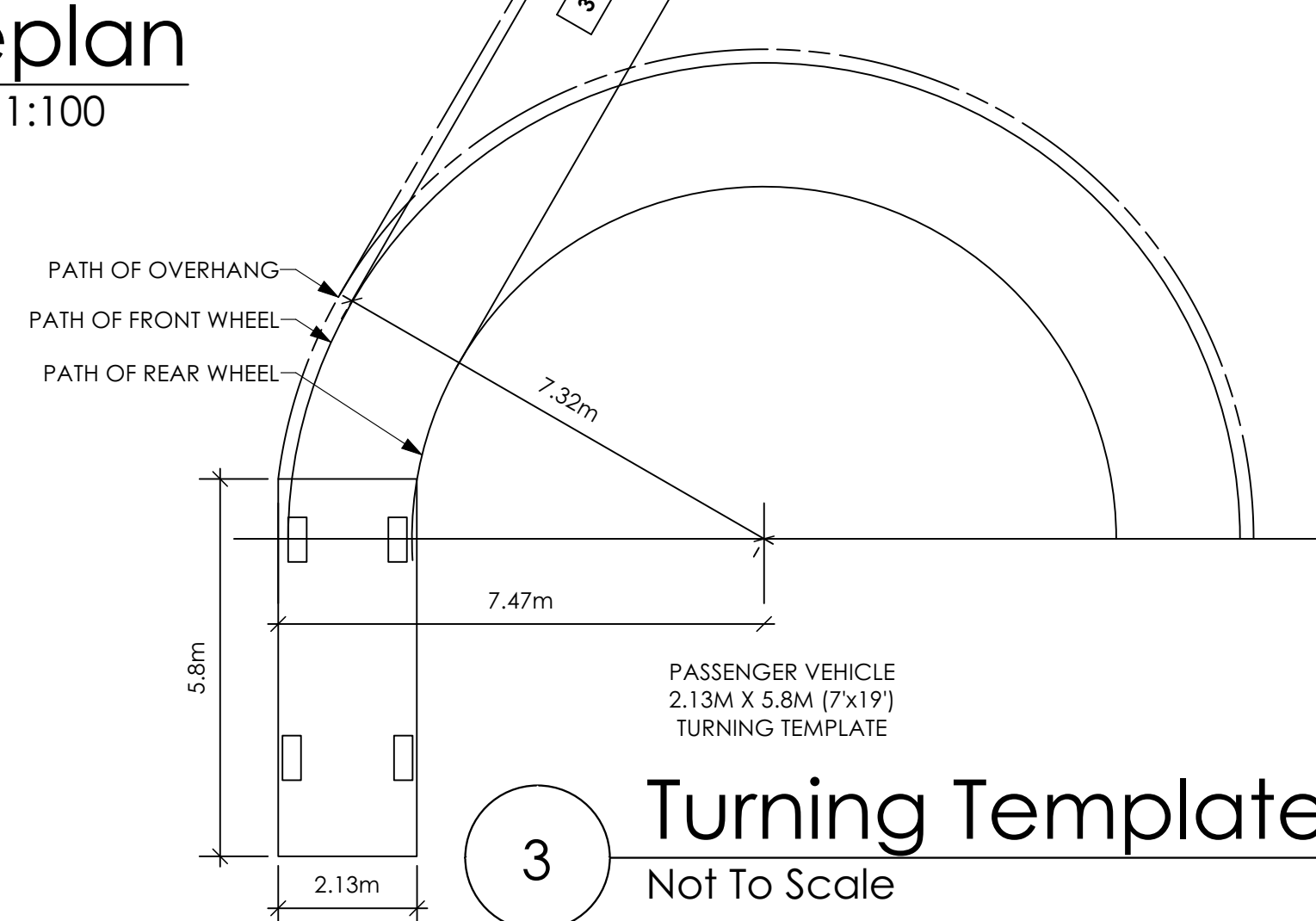
ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS



4 Fence Treatment  
 Not To Scale  
 (SEE LANDSCAPE PLAN FOR FENCE LOCATION)



2 Tree Planting Detail  
 Not To Scale  
 All trees and plants by the home owner to be planted in minimum 10m<sup>2</sup> of fertile topsoil, 700mm Deep



3 Turning Template  
 Not To Scale

APPROVED BY VERITY CONSTRUCTION

DATE

APPROVED BY REALTOR

DATE

SPINNAKER COASTAL

Date

March 16, 2023

Project Address

405 Rock Dove Place  
 Royal Bay - Sector 7  
 Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

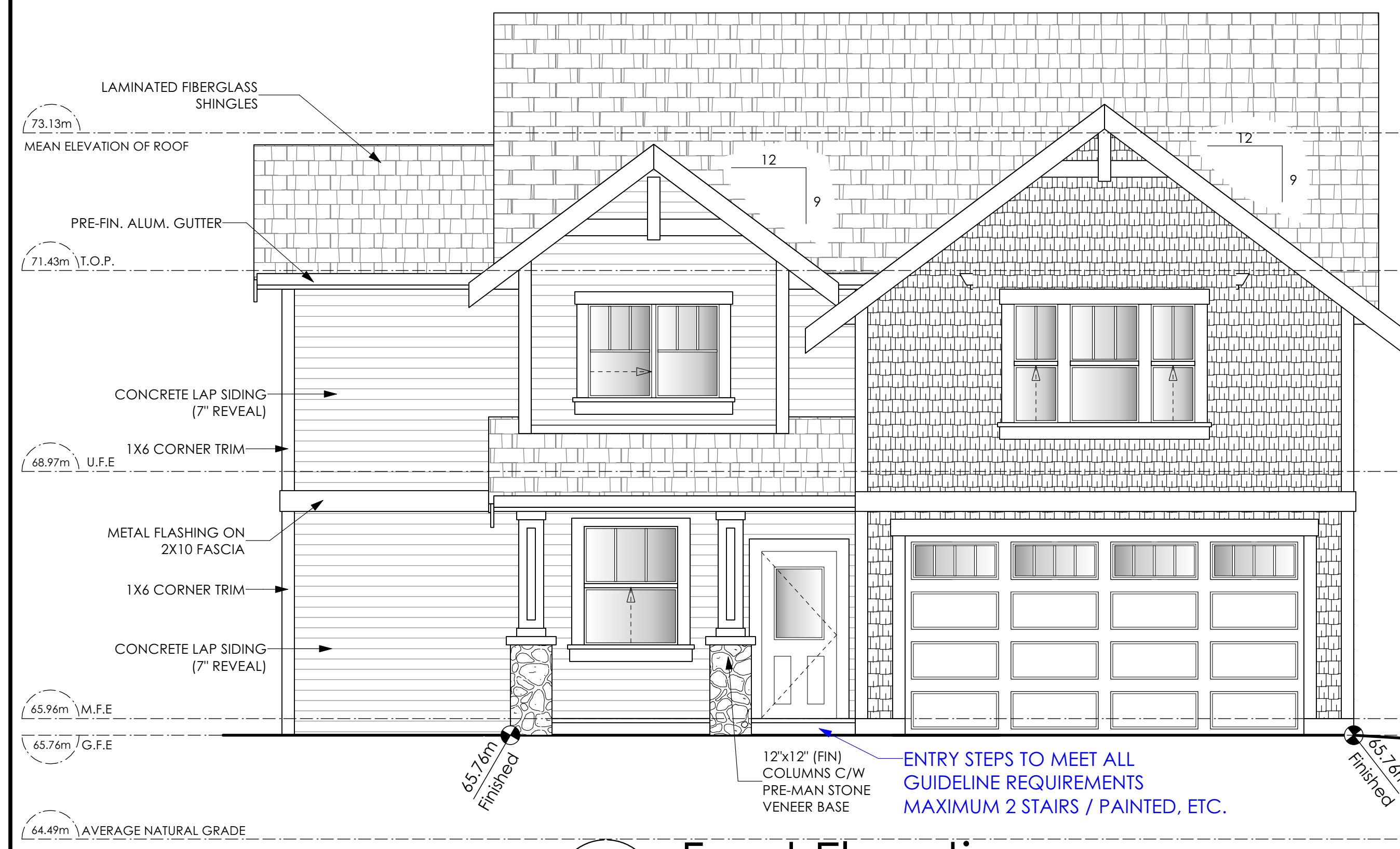
Scale

As Noted

Drawn By

MRB

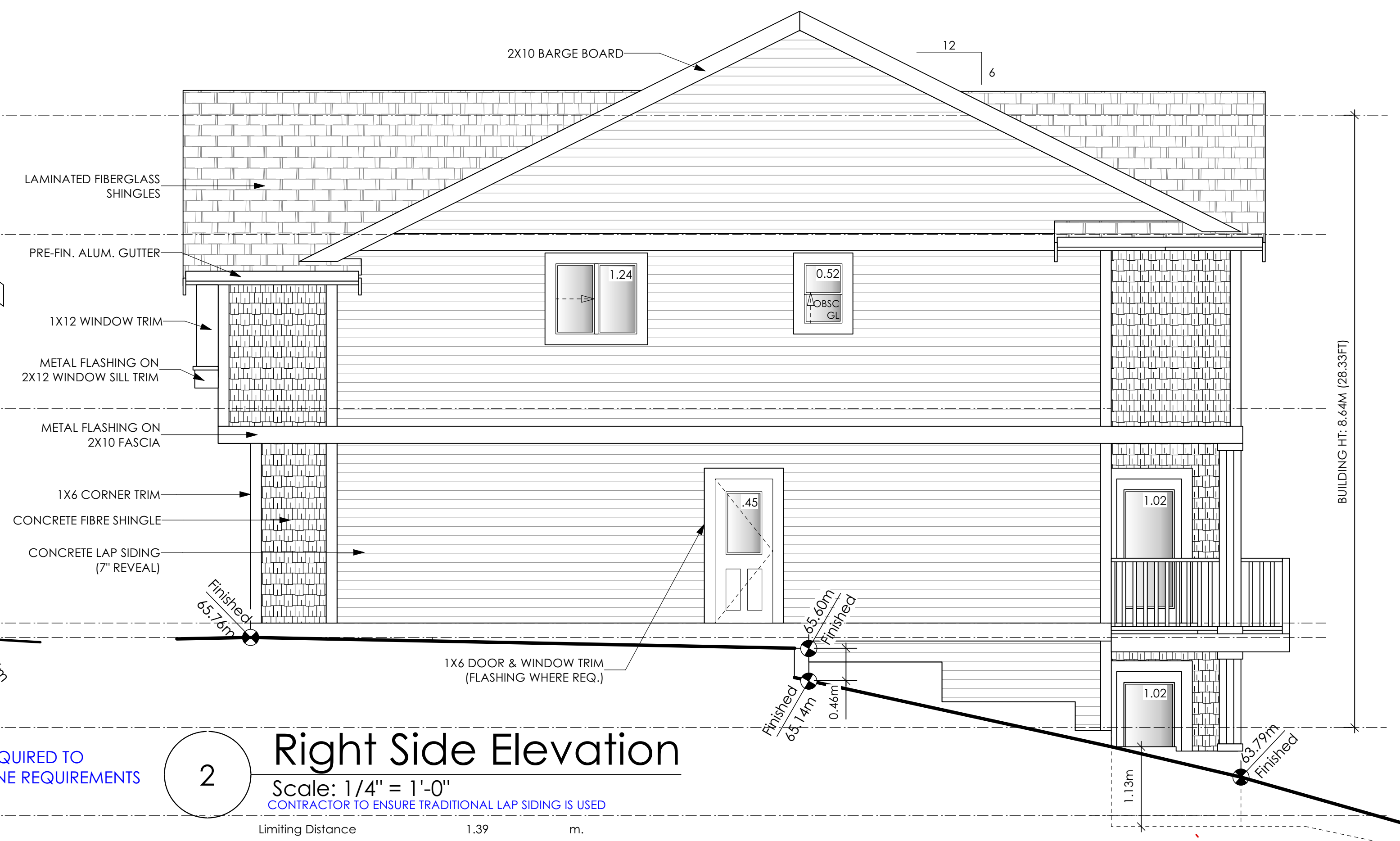
# Development Permit Presentation



1 **Front Elevation**  
Scale: 1/4" = 1'-0"  
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED  
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES



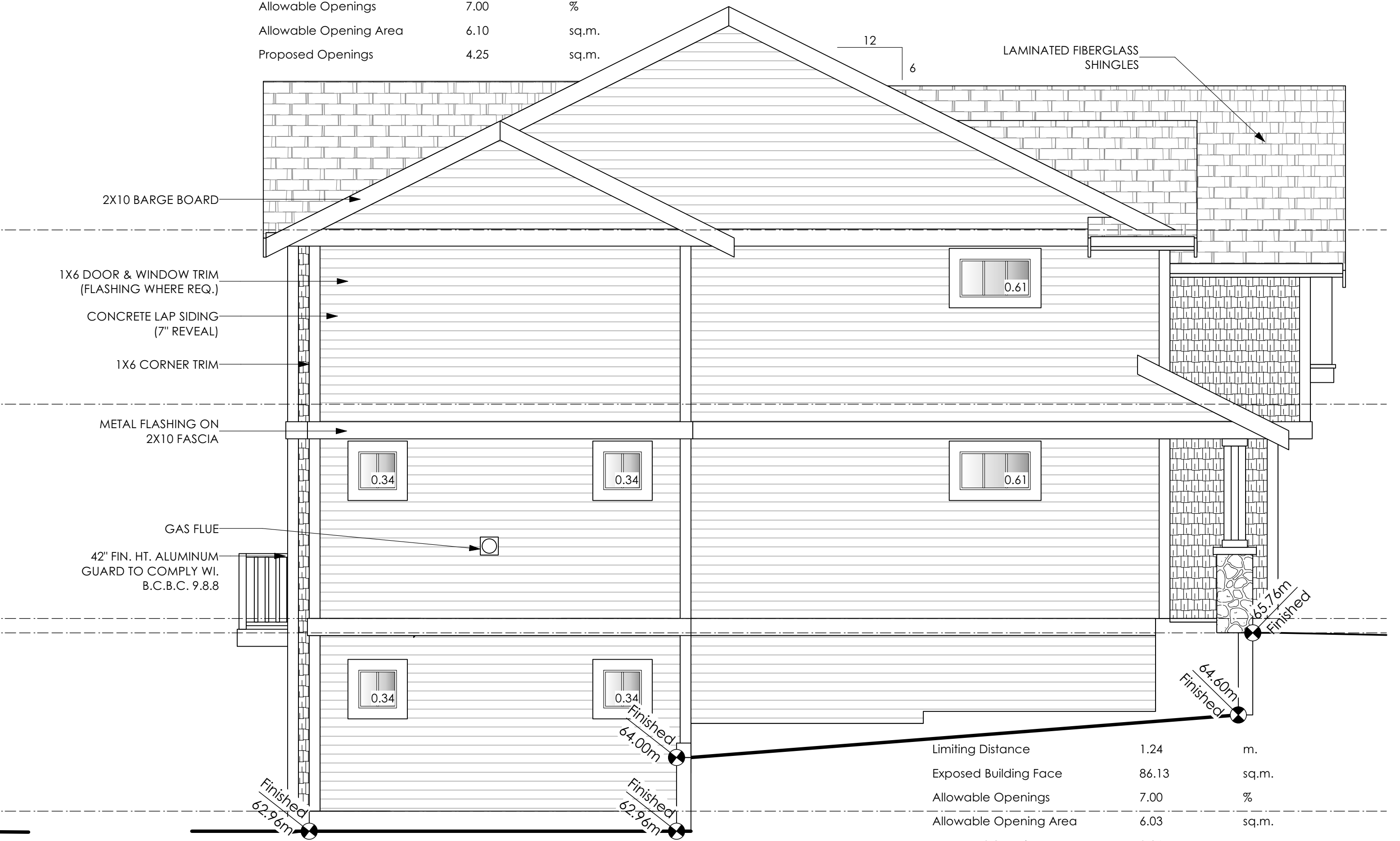
2 **Right Side Elevation**  
Scale: 1/4" = 1'-0"  
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

Limiting Distance	1.39	m.
Exposed Building Face	87.10	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.10	sq.m.
Proposed Openings	4.25	sq.m.



3 **Rear Elevation**  
Scale: 1/4" = 1'-0"  
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW



4 **Left Side Elevation**  
Scale: 1/4" = 1'-0"  
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

Limiting Distance	1.24	m.
Exposed Building Face	86.13	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.03	sq.m.
Proposed Openings	3.26	sq.m.

SPINNAKER COASTAL

Date

March 16, 2023

Project Address

405 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

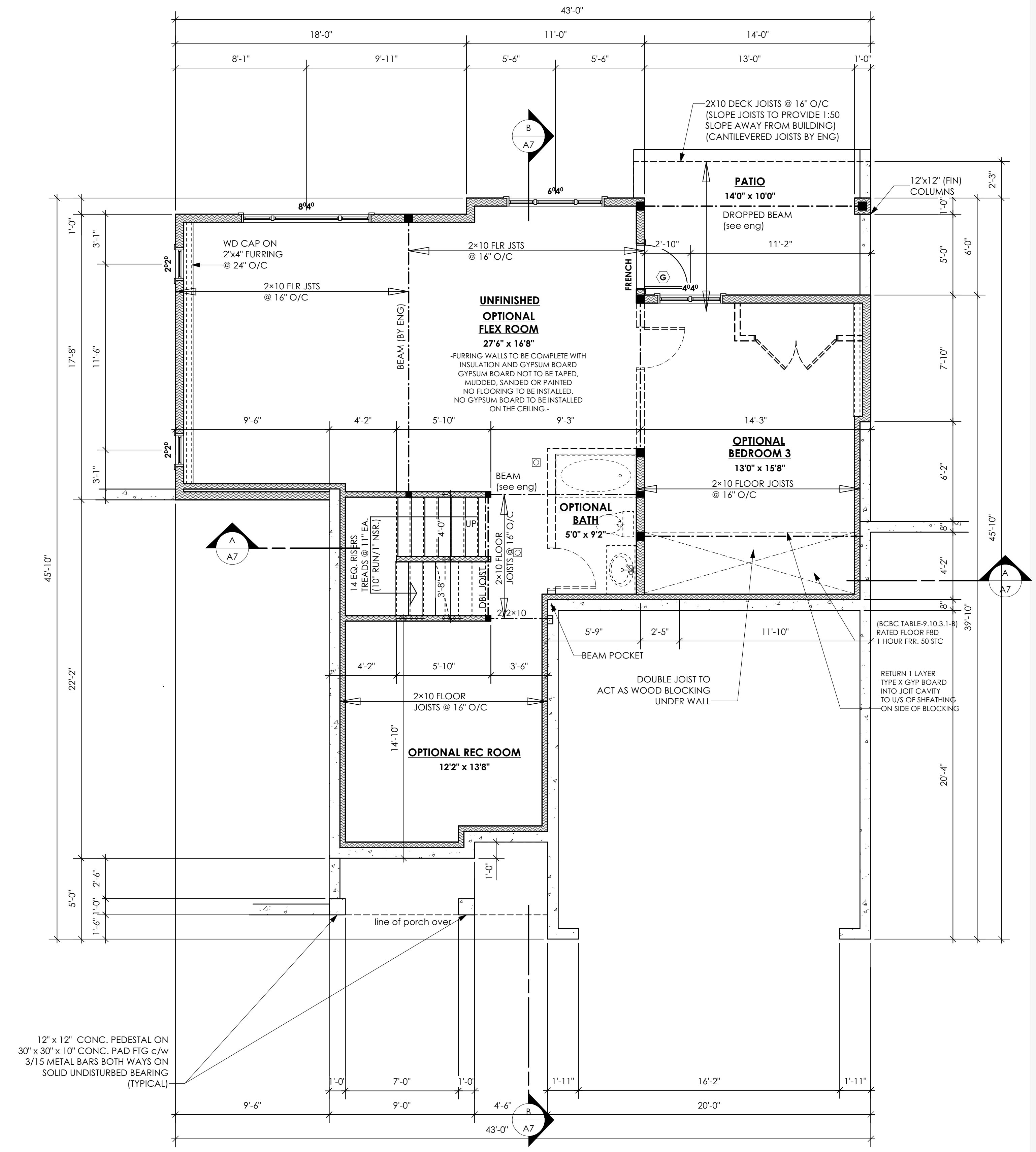
8298

Scale A3

As Noted

Drawn By

MRB



1 Lower Floor Plan  
Scale: 1/4" = 1'-0"  
Primary: 1118.69 sq.ft. (103.94 sq.m.)

SPINNAKER COASTAL

Date

Jan 23, 2023

Project Address

405 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

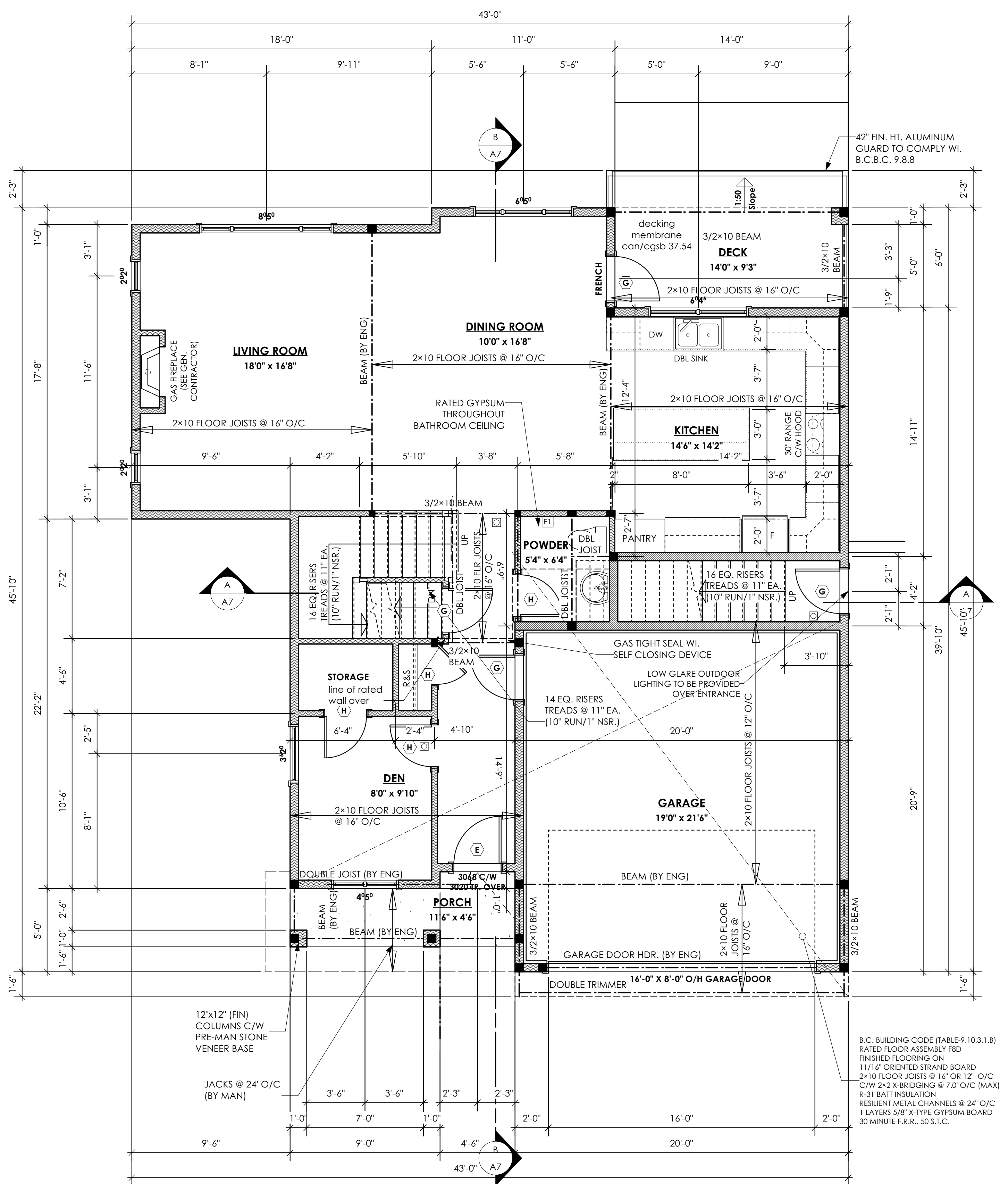
Scale A4

As Noted

Drawn By

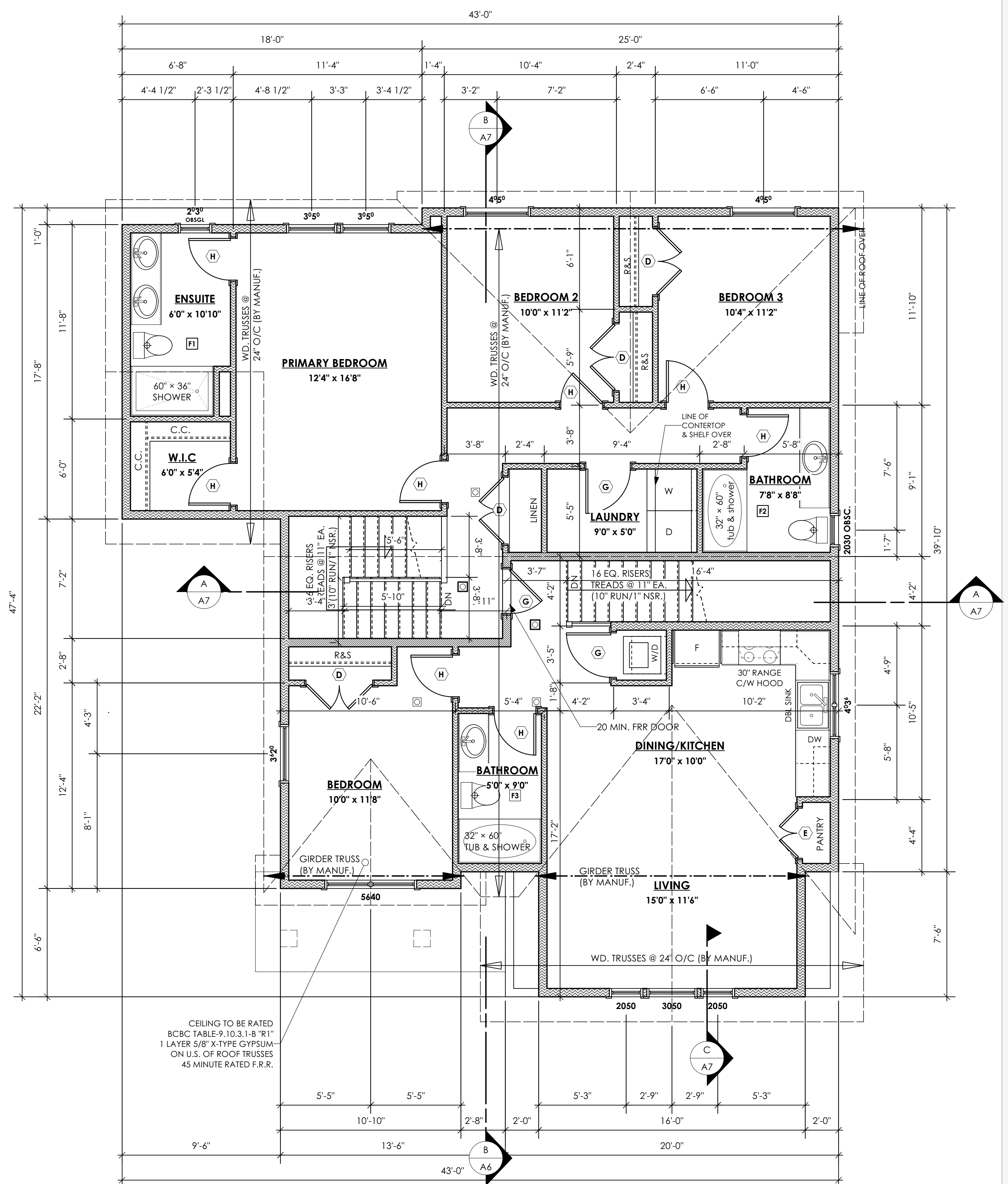
MRB

# Development Permit Presentation



**1 Main Floor Plan**  
Scale: 1/4" = 1'-0"  
Primary: 1063.58 sq.ft. (98.81 sq.m.)  
Suite: 55.11 sq.ft. (5.12 sq.m.)  
Total: 1118.69 sq.ft. (103.93 sq.m.)  
Garage: 420.00 sq.ft. (39.02 sq.m.)

B.C. BUILDING CODE (TABLE 9.10.3.1.8)  
RATED FLOOR ASSEMBLY F8D  
FINISHED FLOORING ON  
1 1/4" ORIENTED STRAND BOARD  
2x10 FLOOR JOISTS @ 16" OR 12" O/C  
C/W 2x2 BRIDGING @ 7'0" O/C (MAX)  
R-31 BATT INSULATION  
RESILIENT METAL CHANNELS @ 24" O/C  
1 LAYERS 5/8" X-TYPE GYPSUM BOARD  
30 MINUTE F.R.R., 50 S.I.C.



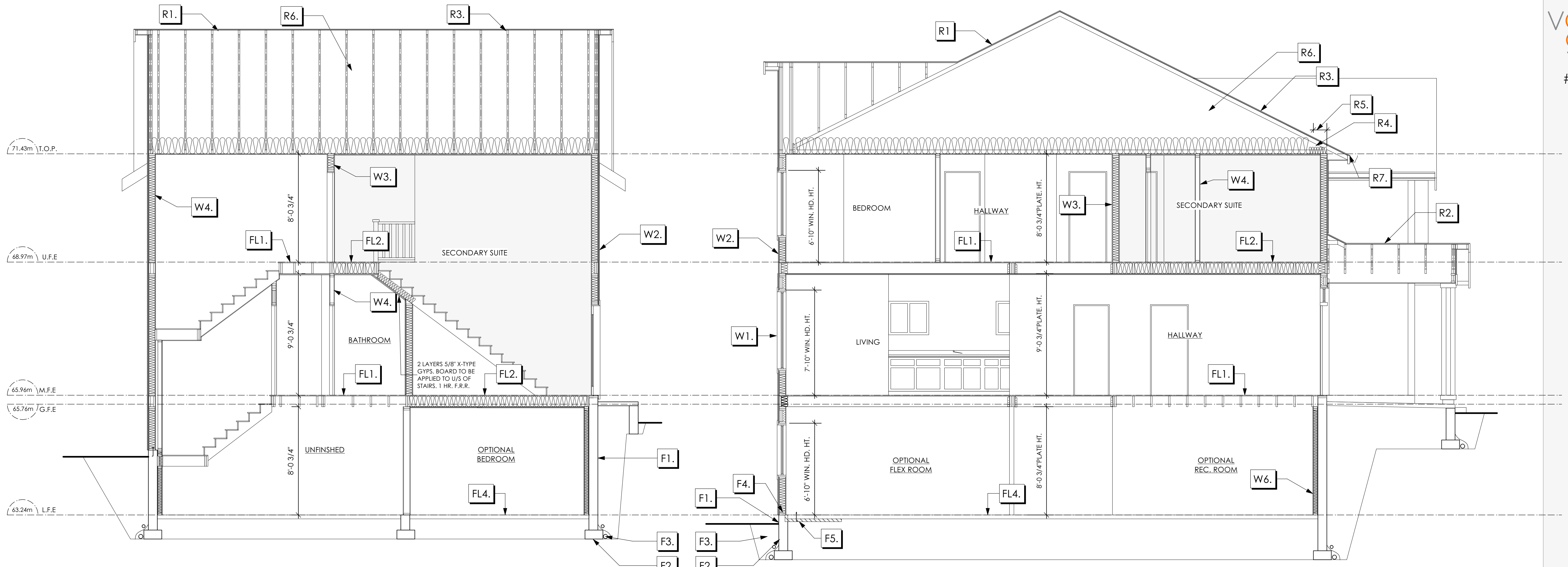
**2 Upper Floor Plan**  
Scale: 1/4" = 1'-0"  
Primary: 856.91 sq.ft. (79.61 sq.m.)  
Suite: 639.27 sq.ft. (59.39 sq.m.)  
Total: 1496.18 sq.ft. (139.0 sq.m.)

CEILING TO BE RATED  
BCBC TABLE 9.10.3.1.8 "R1"  
1 LAYER 5/8" X-TYPE GYPSUM  
ON U.S. OF ROOF TRUSSES  
45 MINUTE RATED F.R.R.

SPINNAKER COASTAL  
Date  
Jan 23, 2023  
Project Address  
405 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.  
Prepared for  
Verity Construction

Project #  
8298  
Scale A5  
As Noted  
Drawn By  
MRB

# Development Permit Presentation

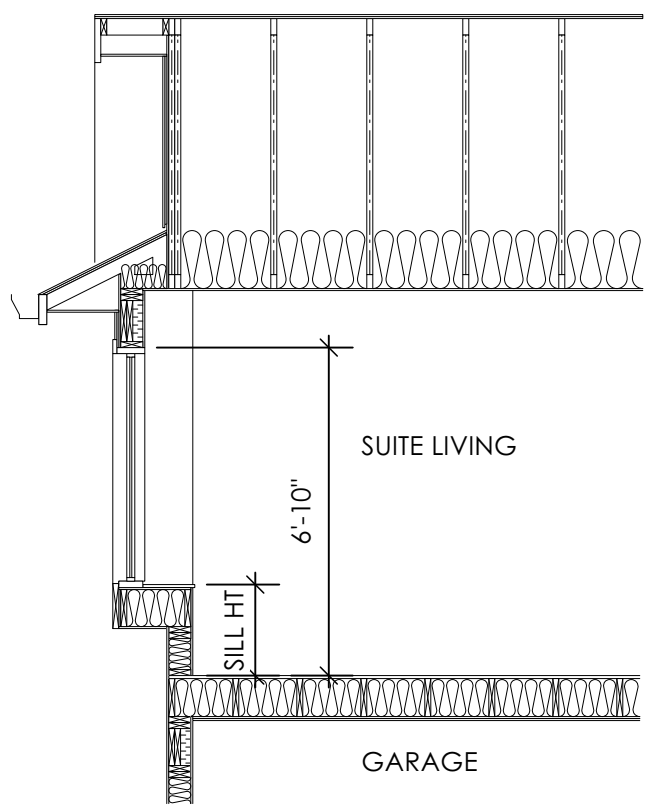


1 Section A-A  
Scale: 1/4" = 1'-0"

2 Section B-B  
Scale: 1/4" = 1'-0"

Section Notes

- | ROOFS  | FLOORS  | WALLS  | FOUNDATION  |
|--|---|--|---|
| <p>R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD</p> <p>R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 1/2" ORIENTED STRAND BOARD VENTED SOFFIT</p> <p>R3. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED ROOF ASSEMBLY LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R.</p> <p>R4. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)</p> <p>R5. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.</p> <p>R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)</p> <p>R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)</p> | <p>FL1. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED &amp; GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD (NO GYPSUM OVER UNFIN. BASEMENT)</p> <p>FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED &amp; GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.</p> <p>FL3. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED &amp; GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS</p> <p>FL4. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND</p> <p>FL5. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)</p> | <p>W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2 1/2"x10" LINTEL OVER (bearing walls only) (TYPICAL, w/ 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors &amp; within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.</p> <p>W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD</p> <p>W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND Batts 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING &amp; SECONDARY SUITE)</p> | <p>F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W</p> <p>F2. 16"X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)</p> <p>F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK</p> <p>F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS</p> <p>F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)</p> |



3 Section C-C  
Scale: 1/4" = 1'-0"

SPINNAKER COASTAL

Date

Jan 23, 2023

Project Address

405 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

Scale A6

As Noted

Drawn By

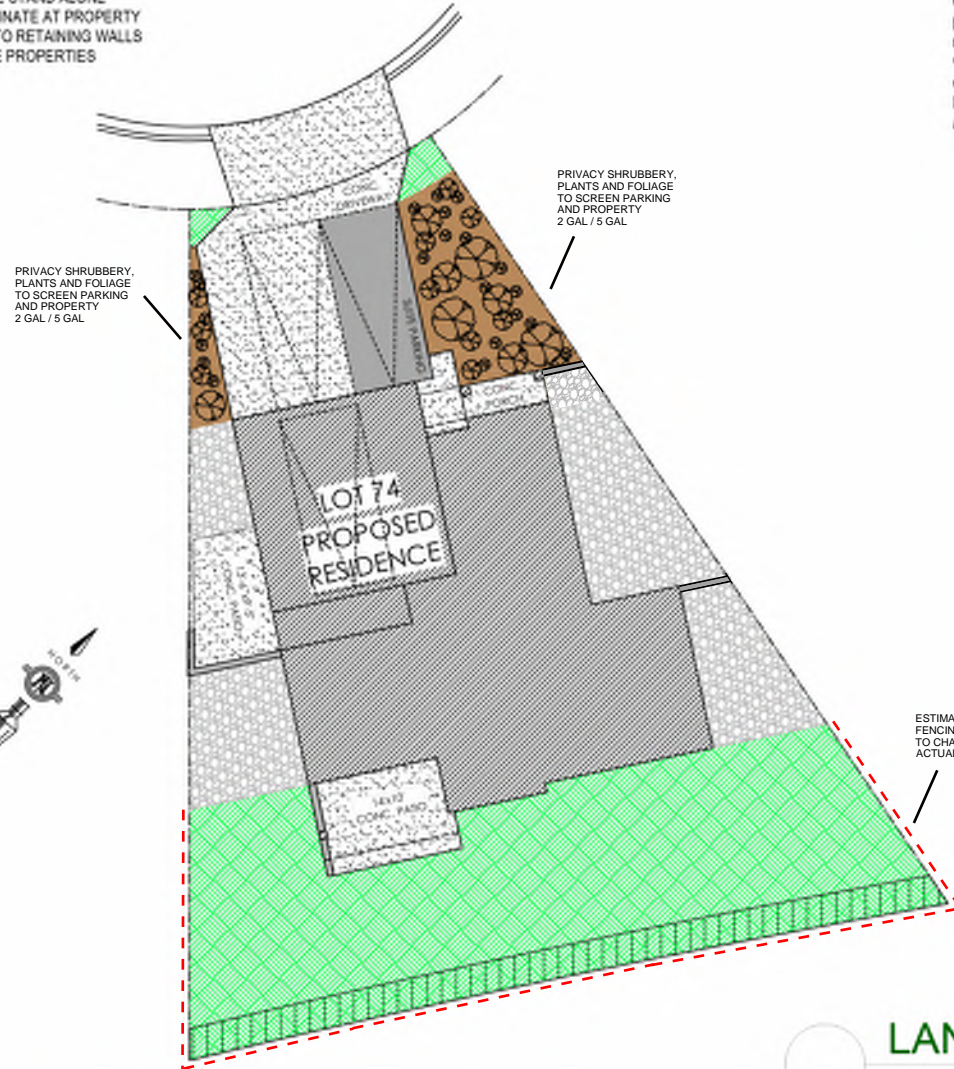
MRB

**ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS**

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

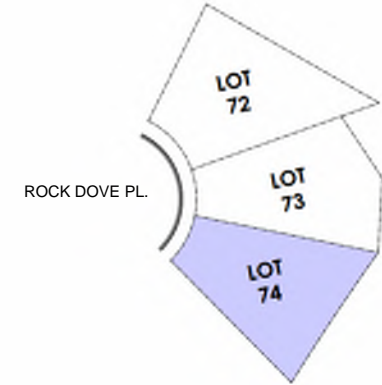
\*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN  
NOT TO SCALE

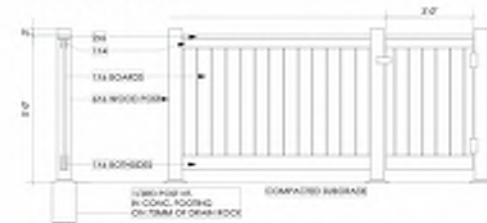


ITEM	AREA (sf)	%
GARDEN BED	307	9%
GRAVEL	619	19%
CONCRETE	795	24%
SOD	1,605	48%
TOTAL	3,326	100%

LEGEND	
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

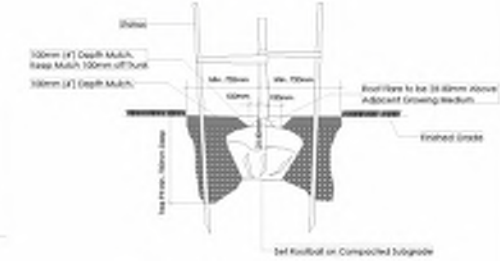


LOCATION INDICATED BY



Typical Fence Detail

Not To Scale  
TYPICAL FENCE DETAIL BASED ON FENCE DETAIL 1/3 FROM POTAL BAY DESIGN/CONSTRUCTION PAGE 21



Tree Planting Detail

Not To Scale  
All trees and plants to be planted in minimum 100% of bottle top soil, 100mm Deep

**LANDSCAPE PLAN**  
NOT TO SCALE

**ADDITIONAL NOTES:**  
PROPERTY TO BE IRRIGATED  
**6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES**

MM/DD/YY	ISSUED/REVISED	DATE
01	09/28/22	FOR APPROVAL
02	01/26/23	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN  
LOT 74, 405 ROCK DOVE PL.  
ROYAL BAY, SECTOR 7  
CITY OF COLWOOD



QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway  
Victoria, B.C. V9B 0A6

P: 250.474.1039

www.verityconstruction.ca

# BUILDING GRADE SLIP

MUNICIPAL ADDRESS <b>405 Rock Dove Place</b>	P.I.D.
LOT 74	PLAN
BUILDER <b>VERITY HOMES</b>	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

### PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + \_\_\_\_\_

MAIN FLOOR ELEVATION (TOP OF JOISTS) **65.96**

FRONT ELEV. **65.45** REAR ELEV. **62.96/63.04/63.79**  
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **65.76**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

### PLAN

LOT: 74 PLAN: \_\_\_\_\_

74	
EG	61.4
LFE	63.18
GFE	65.73
MSE	61.77
S	61.30
D	61.30
WST	

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER .....	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY .....	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM .....	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED) .....	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED) .....	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY .....	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED .....	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT) .....	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT) .....	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT .....	<input checked="" type="checkbox"/>	<input type="checkbox"/>

### NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: \_\_\_\_\_

### LEGEND

- SERVICE LOCATION (SHOWN ON ABOVE PLAN)
- PROPOSED FRONT CORNER ELEVATIONS
- PROPOSED FRONT SIDE YARD GRADES
- CIVIL LOT NUMBER
- LEGAL LOT NUMBER
- CIVIC ADDRESS NUMBER
- EXISTING GROUND ELEVATION
- LOWER/MAIN FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- MAXIMUM FINAL GROUND ELEVATION
- MINIMUM SANITARY SERVICABLE ELEVATION BY GRAVITY
- SAN SERVICE INV. (P) DENOTES PUMP IS LIKELY REQUIRED FOR BASEMENT IF INSTALLED
- STORM SERVICE INV. (P) DENOTES PUMP IS LIKELY REQUIRED FOR BASEMENT IF INSTALLED
- PROPOSED REAR SIDE YARD GRADES
- MAXIMUM BASEMENT SLAB DEPTH ELEVATION
- LOT TYPE (L/LB/LBT)
- PROPOSED REAR CORNER ELEVATIONS

I, THE BUILDER'S REPRESENTATIVE, \_\_\_\_\_, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

\_\_\_\_\_  
AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED \_\_\_\_\_

\_\_\_\_\_  
C. Hume - August 4/22

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE