



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250-294-8153
planning@colwood.ca | www.colwood.ca

File: DP-23-008

DEVELOPMENT PERMIT DP-23-008

THIS PERMIT, issued September ^{5th}, 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: Gablecraft RB Homes Limited Partnership
Suite 1774, Four Bentall Center, 1055 Dunsmuir St
Vancouver, BC V6B 4N7

(the "Permittee")

-
1. This Form & Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

Lot 41 and Lot 42, Section 40, Esquimalt District Plan EPP1133484
3585 Westerly Place and 3587 Westerly Place

(the "Lands")

2. This Development Permit regulates the development of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form and character considerations for two single-family homes and associated site improvements are consistent with the Form & Character design guidelines for "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied or supplemented by this Permit.
5. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
6. The Director of Development Services or their delegate may approve minor variations to the

schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.

7. The Development is to be constructed in accordance with the following plans and specifications, which are attached to and from as part of this permit (Schedules 1-4).
8. This Development Permit authorizes the construction of two single-family homes with any associated site works and landscaping. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

FORM AND CHARACTER CONDITIONS

Building Features

- 8.1. The form and character of the buildings to be constructed on the Lands shall conform to the Site Plans and Architectural Drawings prepared by Gablecraft Homes.
- 8.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services.
- 8.3. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

Grading

- 8.5. Lot preparations shall be in compliance with the site-specific grading show in the Site Plans by Gablecraft Homes in Schedule 1.

Landscaping

- 8.6. The design and construction of the proposed landscaping shall generally conform to the Landscape Plans by Gablecraft Homes in Schedule 4.

PLANS AND SPECIFICATIONS

9. The following plans and specifications are attached to and form part of this permit:

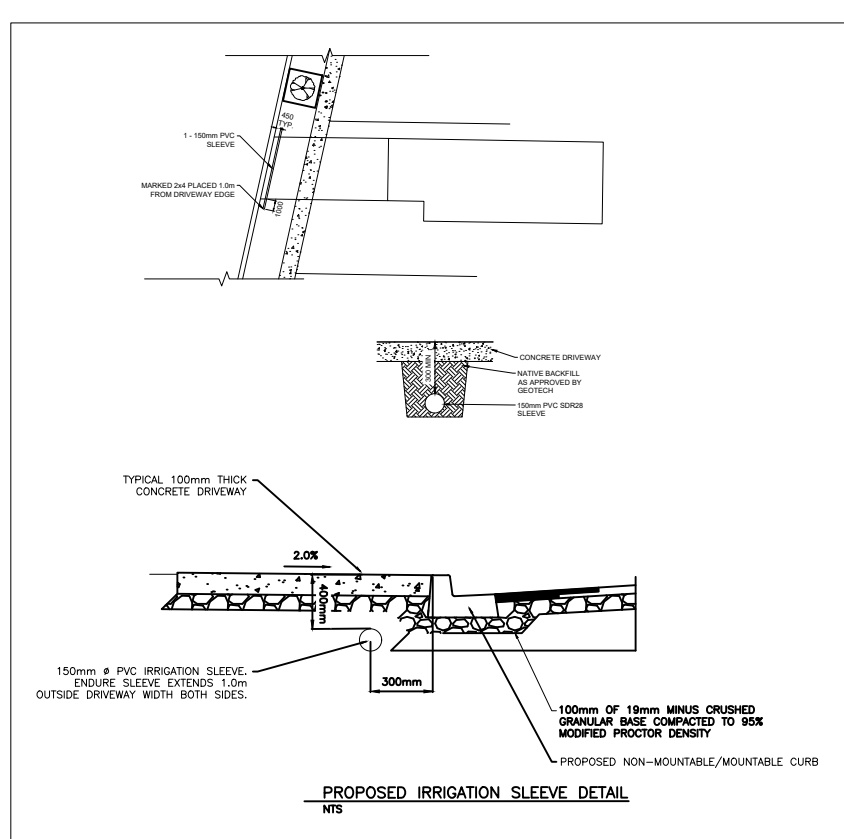
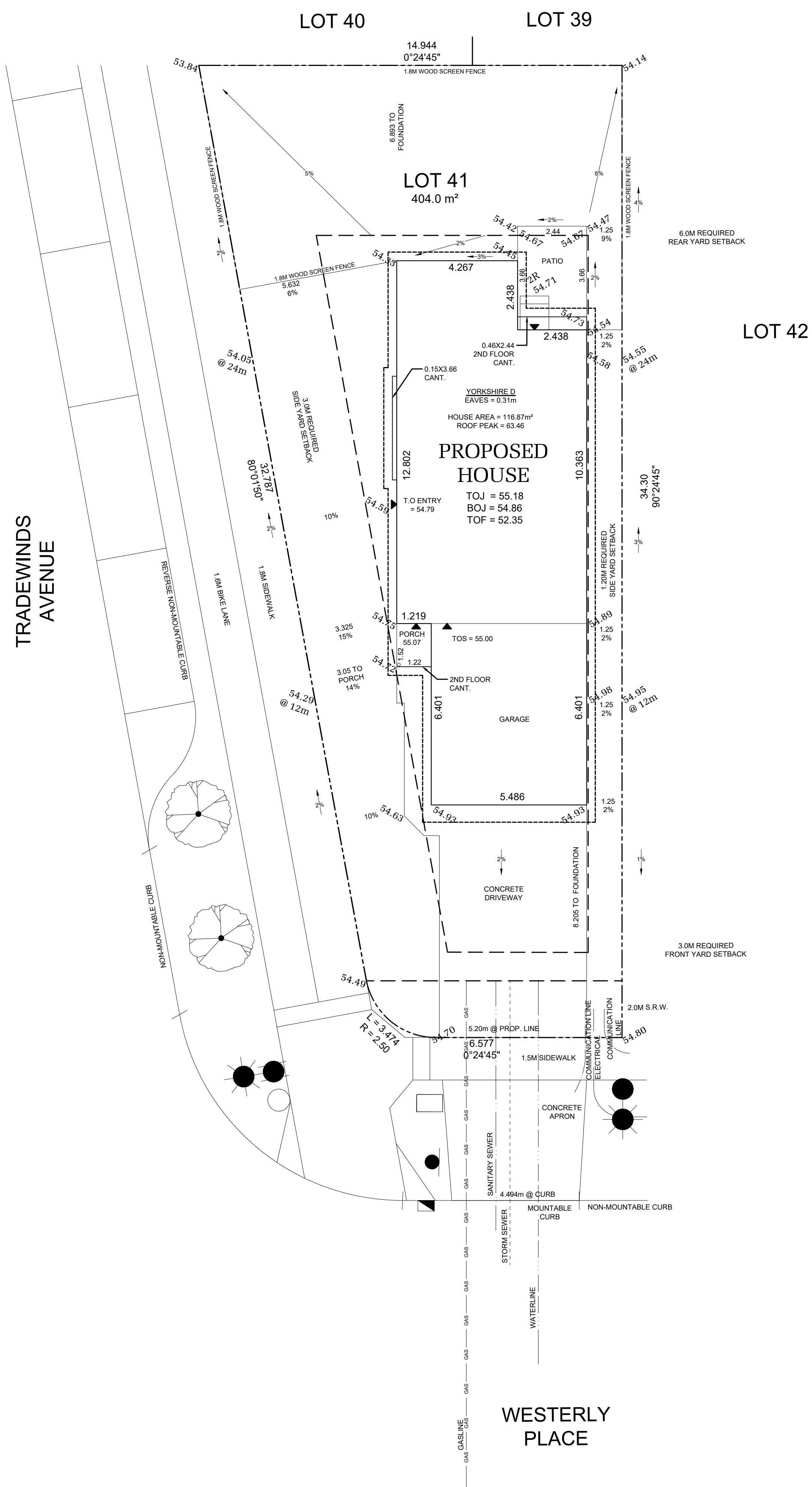
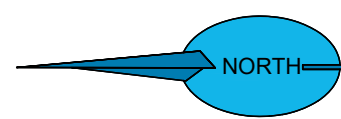
Schedule 1	Site Plans for 3585 and 3587 Westerly Place prepared by Gablecraft Homes dated April 28th, 2023, and May 1st, 2023.
Schedule 2	Architectural Drawings for 3585 and 3587 Westerly Place prepared by Gablecraft Homes dated May 4th, 2023, and May 1st, 2023.
Schedule 3	Parking Plans for 3585 and 3587 Westerly Place prepared by Gablecraft Homes dated May 10th, 2023, and March 30th, 2023.
Schedule 4	Landscape Plans for 3585 and 3587 Westerly Place prepared by Gablecraft Homes dated April 28th, 2023, and May 1st, 2023.

ISSUED ON THIS 5th DAY OF SEPTEMBER 2023.

Yazmin Hernandez B.

Yazmin Hernandez

Director of Development Services



BY-LAW ZONE DATA: CD28		
DEVELOPMENT REGULATION	REQUIRED	PROPOSED
LOT TYPE	MEDIUM ONE-FAMILY DWELLING	
LOT AREA	368 m ² (min.)	404 m ²
LOT WIDTH	10.97m (min.)	10.49m
LOT COVERAGE	50% (max.)	28.93%
BUILDING HEIGHT (PRINCIPLE)	9.5m (max.)	7.06m
ACCESSORY BUILDING HEIGHT	4.5m (max.)	0m
FRONT SETBACK (PRINCIPLE)	3m (min.)	8.205m
SIDE SETBACK (PRINCIPLE)	1.2m (min.)	5.63m/1.25m
REAR SETBACK (PRINCIPLE)	6m (min.)	6.893m
REAR SETBACK (ACCESSORY)	1m (min.)	0m
COMBINED FLOOR AREA (ACCESSORY)	60m ² (max.)	0m ²

PLOT PLAN

IMPORTANT NOTE
ALL DIMENSIONS AND SERVICES MUST BE
CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION

LOT INFORMATION	VALUE
MINIMUM MAIN FLOOR ELEVATION (MFE)	55.05
GARAGE FLOOR ELEVATION (GFE)	54.90
MAXIMUM FINAL GRADE ELEVATION (MFGE)	N/A
MINIMUM SANITARY SERVICEABLE ELEVATION (MSE)	52.00
PROPOSED SANITARY SEWER SERVICE INVERT (S)	51.20
PROPOSED STORM DRAIN SERVICE INVERT (D)	51.20
BASEMENT FLOOR ELEVATION (BFE)	N/A
FRONT YARD HARD SURFACE AREA (MAX. 40%)	37%

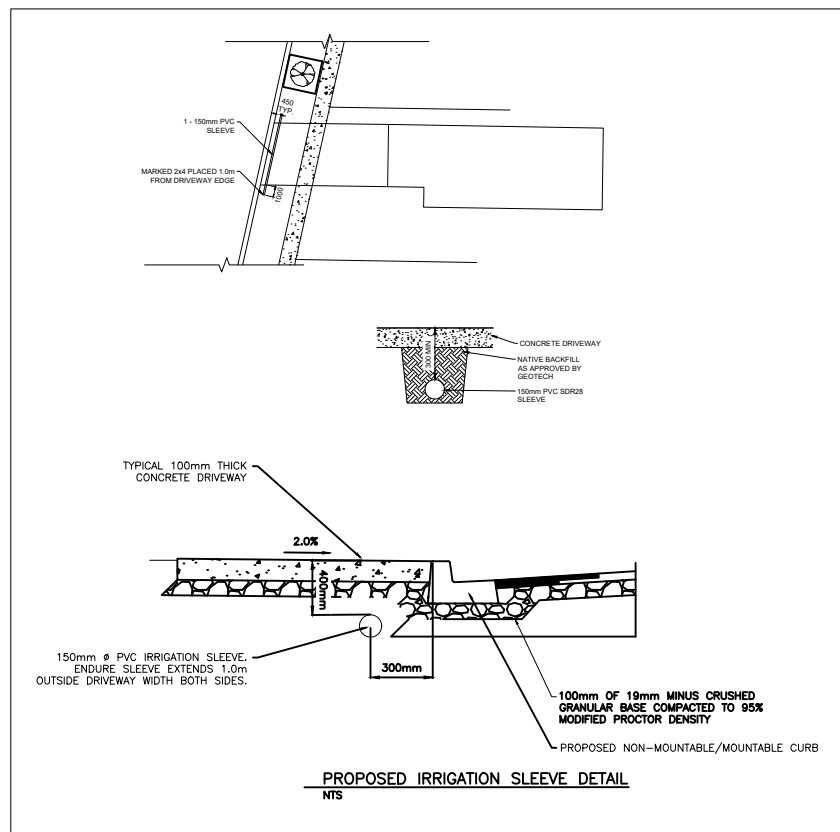
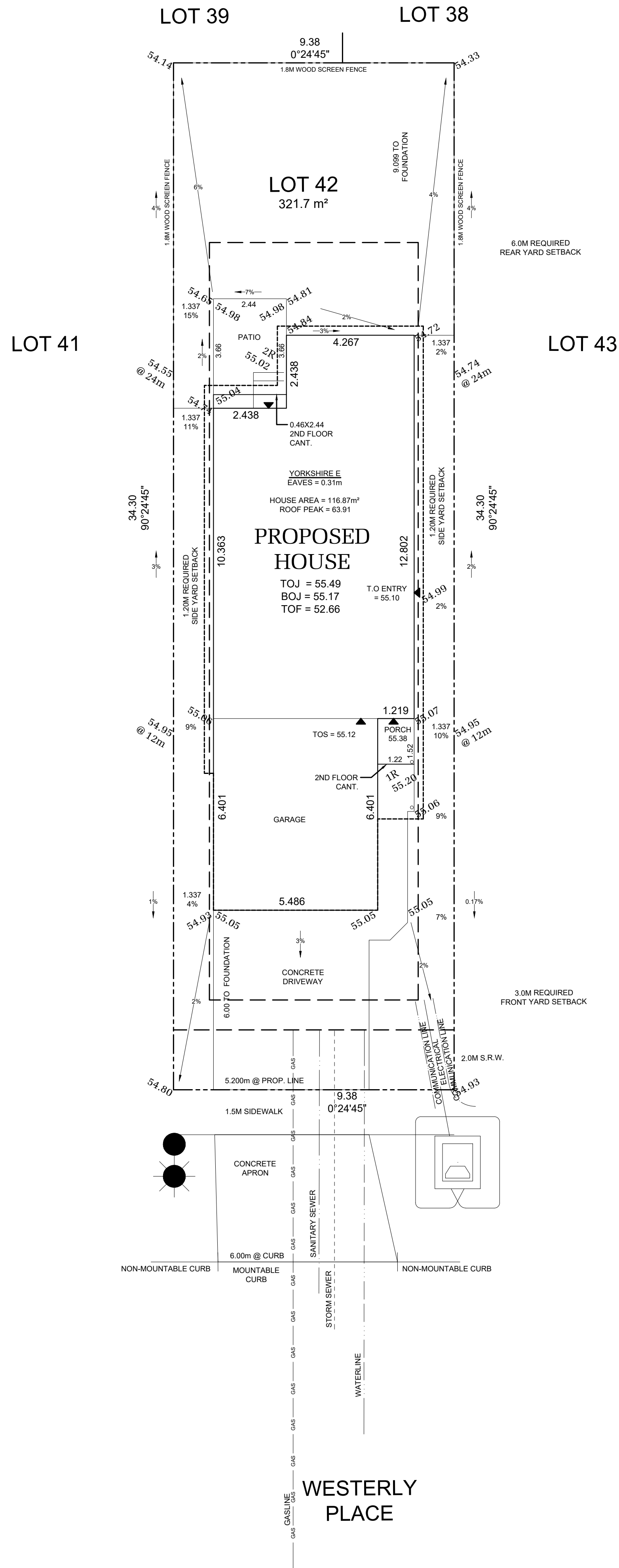
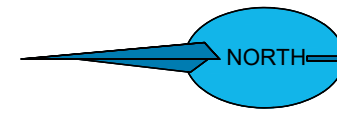


365 LATORIA BOULEVARD
 VICTORIA, BRITISH COLUMBIA V9C 0L7
 GABLECRAFT HOMES RESERVES ALL RIGHTS
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LOT 41 SECTOR 0 REL 1
 JOB 44-0100041 SCALE 1:100
**3585 WESTERLY PLACE,
 COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	04/28/23	INITIAL PLOT PLAN DRAFTING

SHEET NUMBER
PLOT



BY-LAW ZONE DATA: CD28

DEVELOPMENT REGULATION	REQUIRED	PROPOSED
LOT TYPE	COMPACT ONE-FAMILY DWELLING	
LOT AREA	278 m ² (min.)	321.7 m ²
LOT WIDTH	9.15m (min.)	9.38m
LOT COVERAGE	50% (max.)	36.33%
BUILDING HEIGHT (PRINCIPLE)	9.5m (max.)	7.17m
ACCESSORY BUILDING HEIGHT	4.5m (max.)	0m
FRONT SETBACK (PRINCIPLE)	3m (min.)	6.00m
SIDE SETBACK (PRINCIPLE)	1.2m (min.)	1.337m
REAR SETBACK (PRINCIPLE)	6m (min.)	9.099m
REAR SETBACK (ACCESSORY)	1m (min.)	0m
COMBINED FLOOR AREA (ACCESSORY)	60m ² (max.)	0m ²

PLOT PLAN

IMPORTANT NOTE
ALL DIMENSIONS AND SERVICES MUST BE
CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION

LOT INFORMATION	VALUE
MINIMUM MAIN FLOOR ELEVATION (MFE)	55.05
GARAGE FLOOR ELEVATION (GFE)	55.00
MAXIMUM FINAL GRADE ELEVATION (MFGE)	N/A
MINIMUM SANITARY SERVICEABLE ELEVATION (MSE)	52.10
PROPOSED SANITARY SEWER SERVICE INVERT (S)	51.30
PROPOSED STORM DRAIN SERVICE INVERT (D)	51.30
BASEMENT FLOOR ELEVATION (BFE)	N/A
FRONT YARD HARD SURFACE AREA (MAX. 40%)	??%

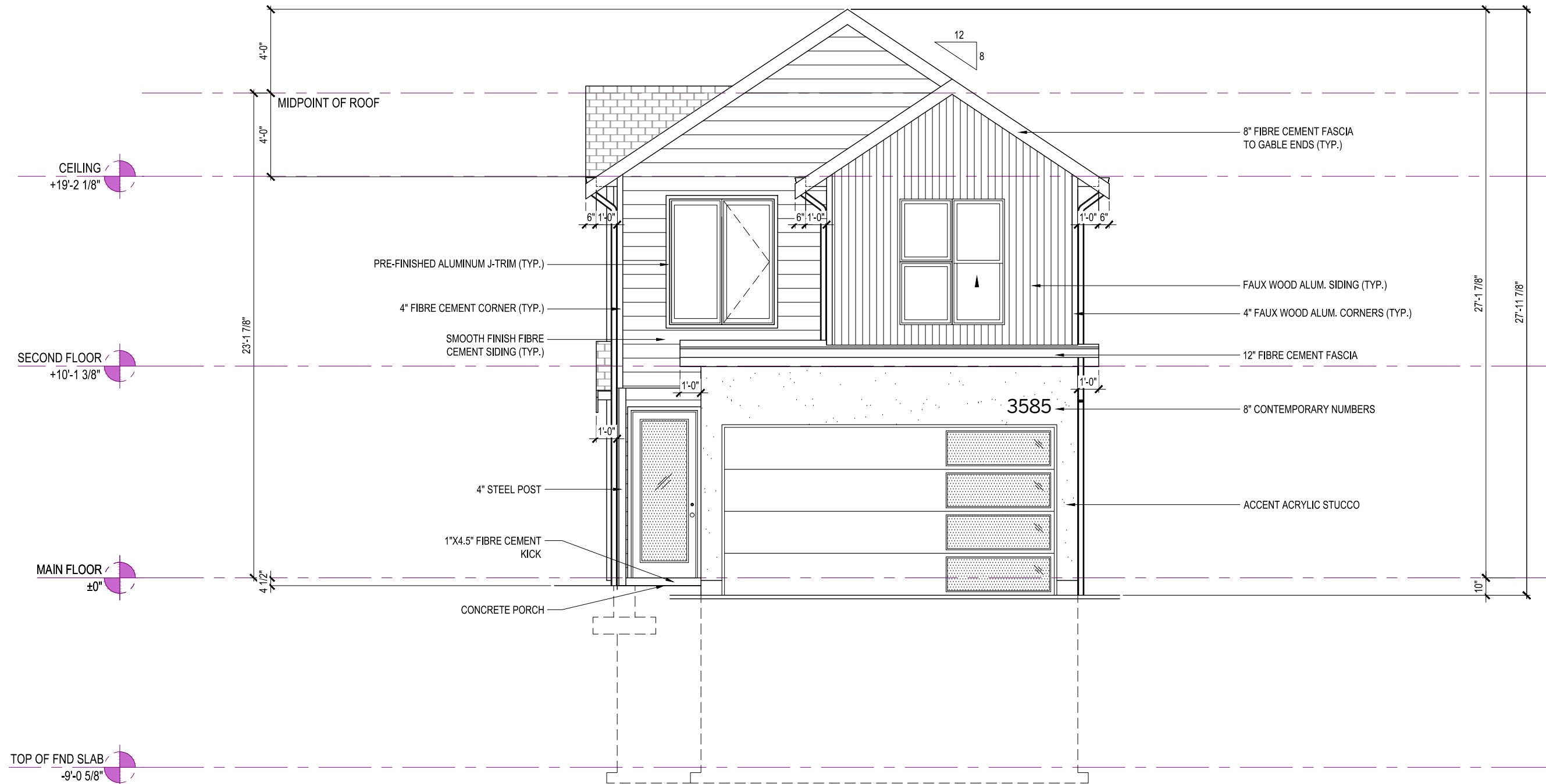


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LOT 42 SECTOR 0 REL 1
 JOB 43-0100042 SCALE 1:100
**3587 WESTERLY PLACE,
 COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/01/23	INITIAL PLOT PLAN DRAFTING

SHEET NUMBER
PLOT



FRONT ELEVATION
STYLE - TRANSITIONAL MODERN

9' UPPER FLOOR
9' MAIN FLOOR
8' BASEMENT

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YORKSHIRE
ELEVATION D

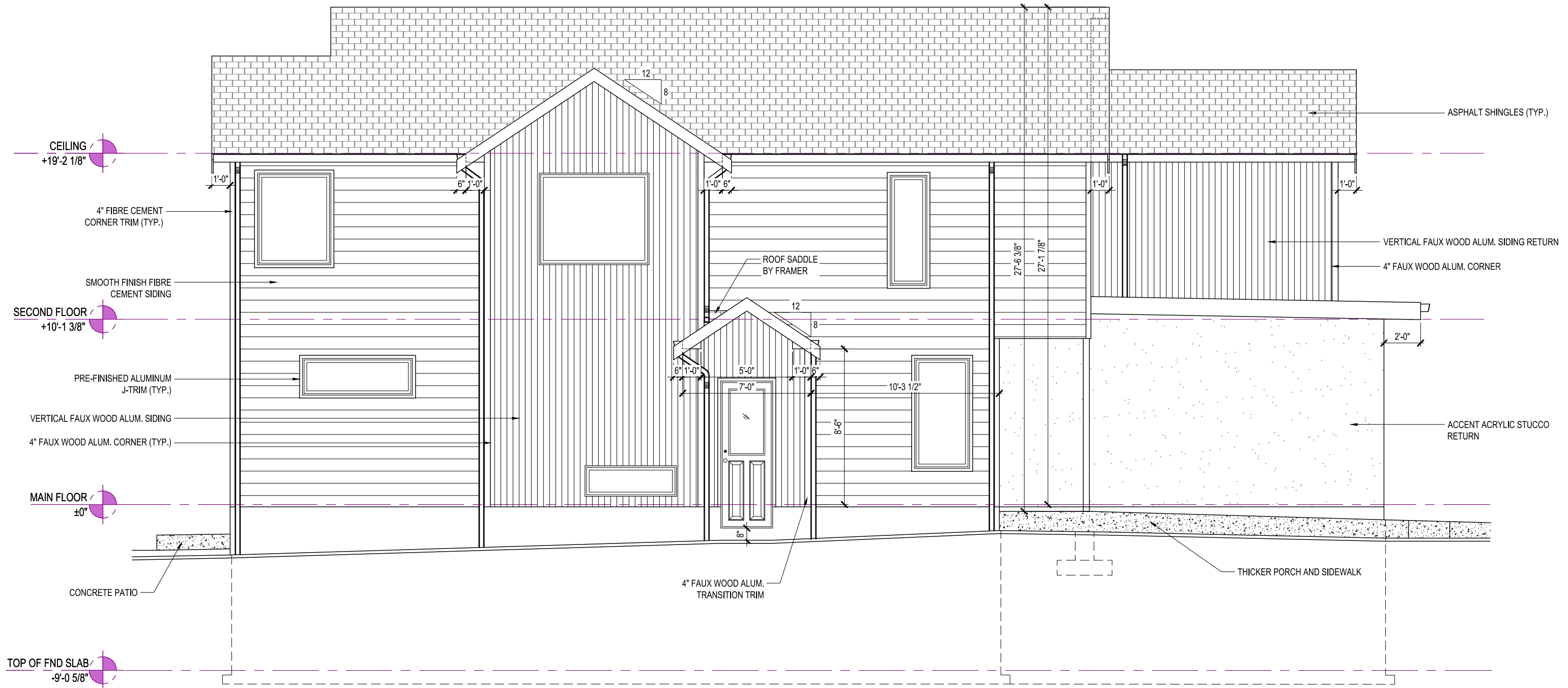
2004 SQ. FT.

3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-01-00041	

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER
01



LEFT ELEVATION



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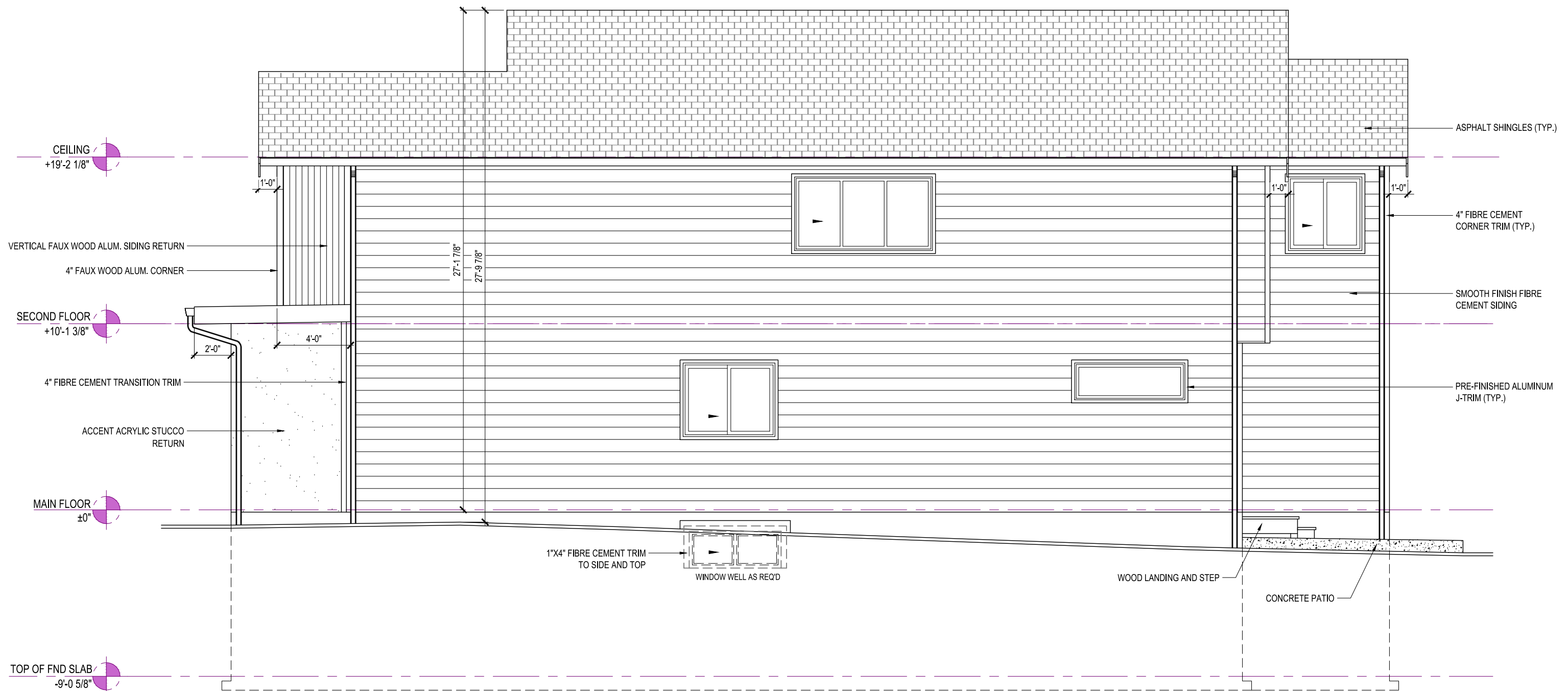
YORKSHIRE
 ELEVATION D
 2004 SQ. FT.

3585 WESTERLY PLACE,
 COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-01-00041		

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER
 02



WALL AREA = 1112 SQ.FT.
 UNPROTECTED OPENING AREA = 62 SQ.FT.
 5.57%

RIGHT ELEVATION



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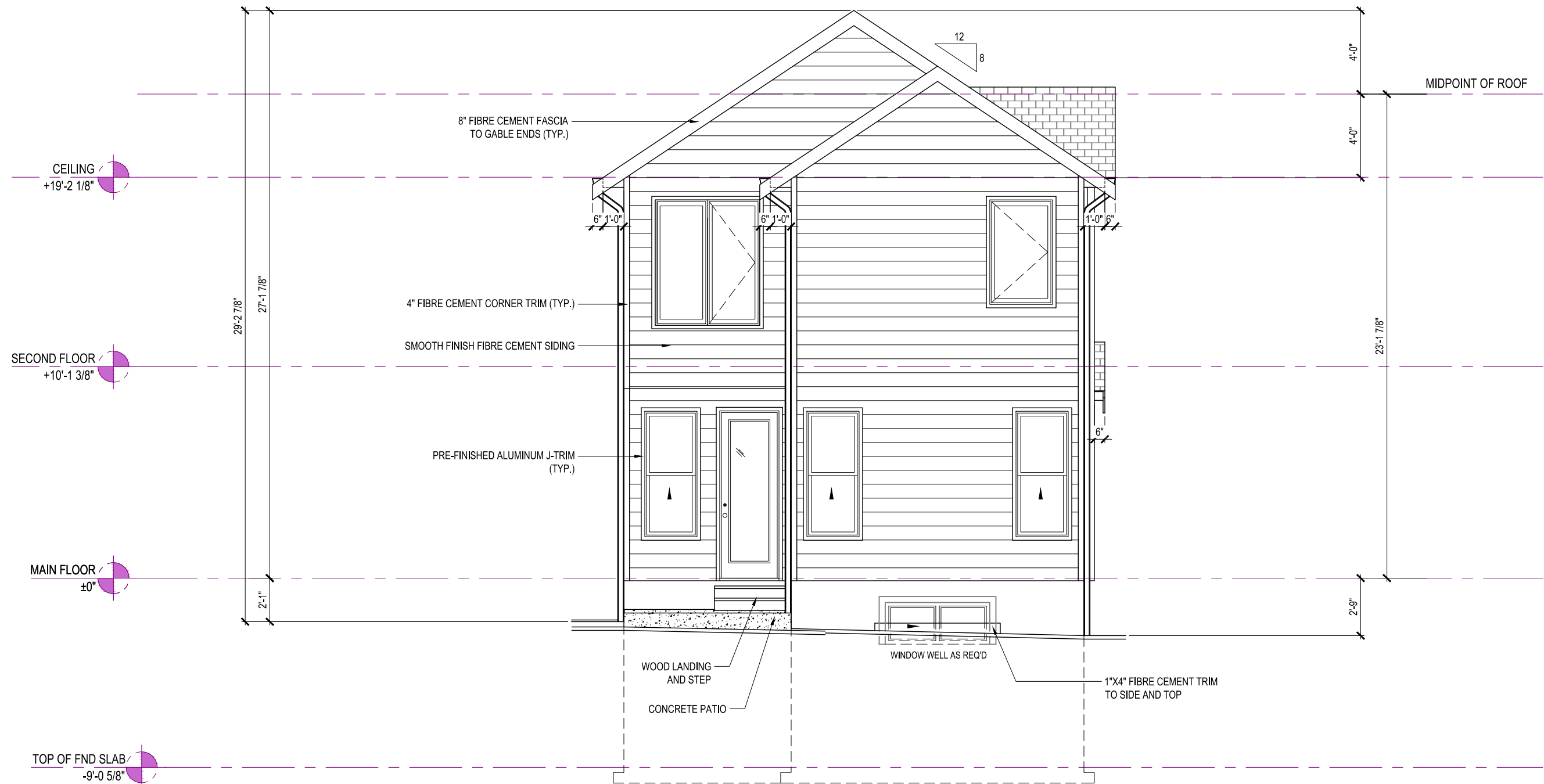
YORKSHIRE
ELEVATION D
 2004 SQ. FT.

3585 WESTERLY PLACE,
 COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-01-00041	

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER
03



REAR ELEVATION - HIGH EXPOSURE

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YORKSHIRE
ELEVATION D

2004 SQ. FT.

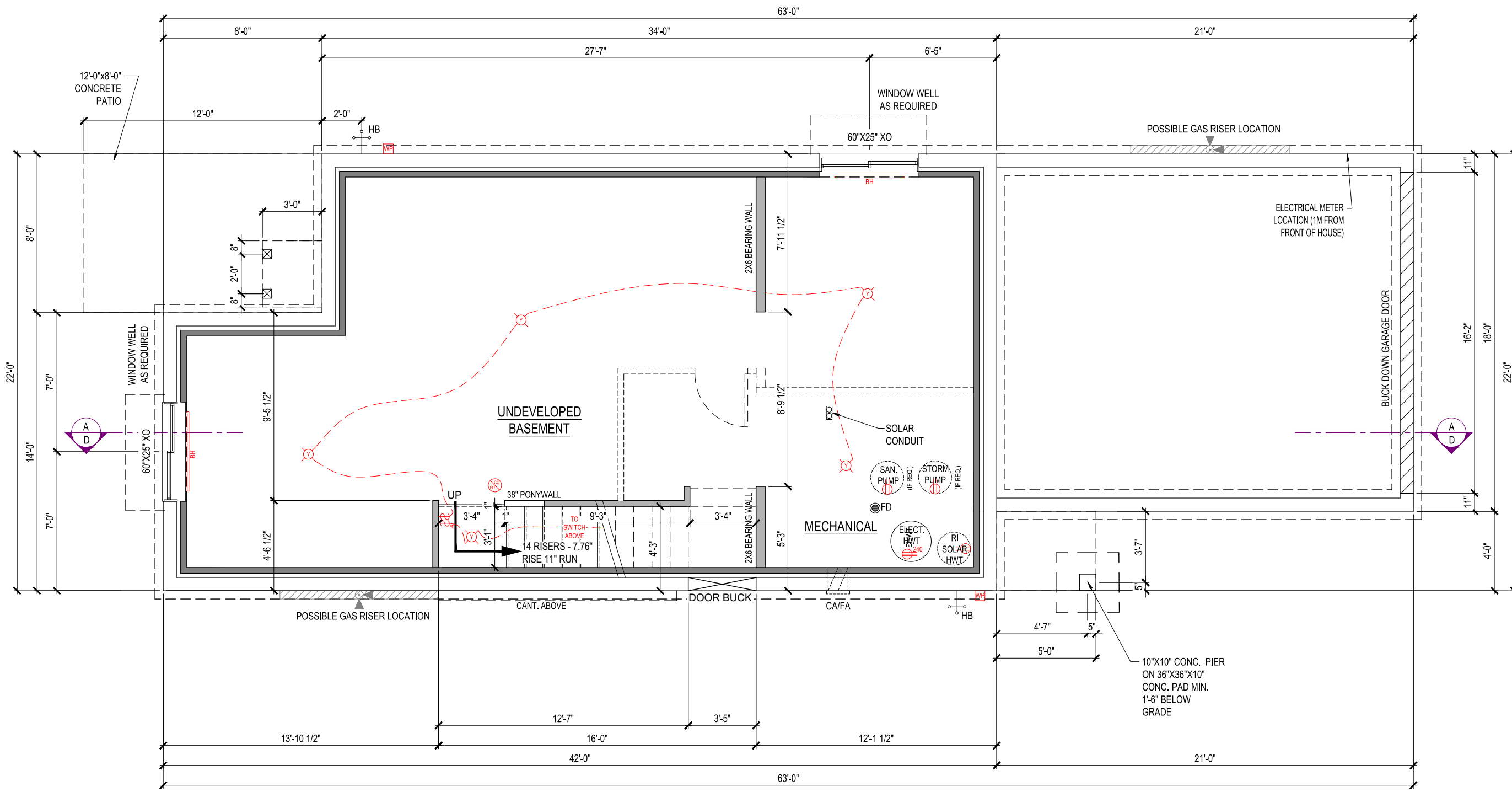
3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-01-00041	

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER

04



LEGEND	
	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	240 VOLT OUTLET
	GROUND FAULT OUTLET
	ISLAND OUTLET
	SOFFIT OUTLET
	WEATHER PROOF JUNCTION BOX FOR IRRIGATION WIRING
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	FLUSH MOUNT LIGHT FIXTURE (7" OR 10")
	STAIRWELL LIGHT PENDANT
	DINING LIGHT PENDANT
	KITCHEN LIGHT PENDANT
	SEMI FLUSH LIGHT FIXTURE
	TWO LIGHT VANITY LIGHT FIXTURE
	THREE LIGHT VANITY LIGHT FIXTURE
	WALL SCONCE LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR DOOR LAMP FIXTURE
	EXTERIOR GARAGE LAMP FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	3" GIMBAL POT LIGHT
	UNDERCABINET LIGHTING
	TYPICAL CONDUIT
	BASEBOARD HEATER
	BATH FAN
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

FOUNDATION PLAN

776 Sq.Ft.



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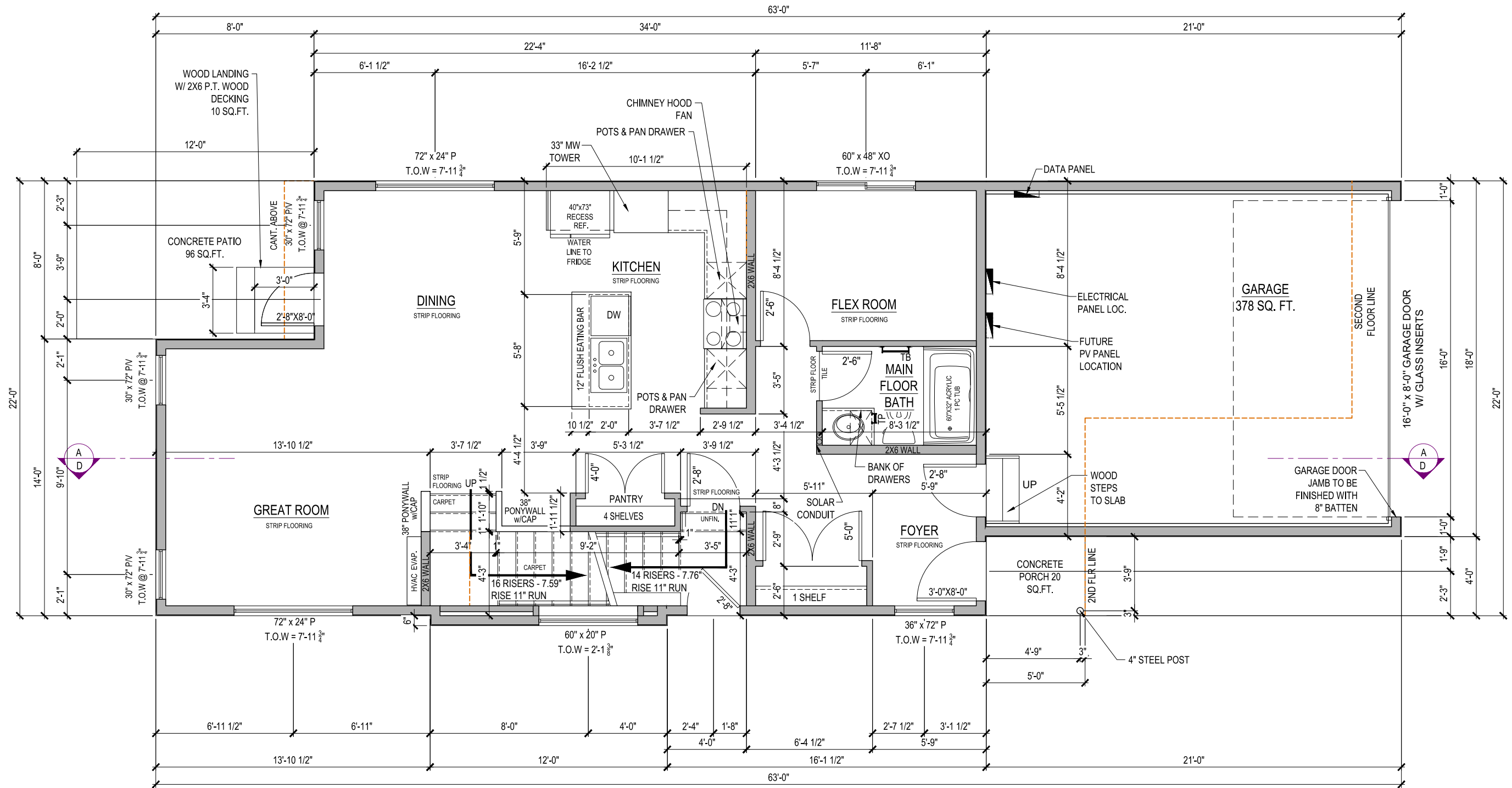
YORKSHIRE
ELEVATION D
2004 SQ. FT.

3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE:	$\frac{3/16"}{1"} = 1'-0"$
SEC	0		
REL	1		
JOB	44-01-00041		

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER
05



MAIN FLOOR PLAN

860 Sq.Ft.

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YORKSHIRE
ELEVATION D
2004 SQ. FT.

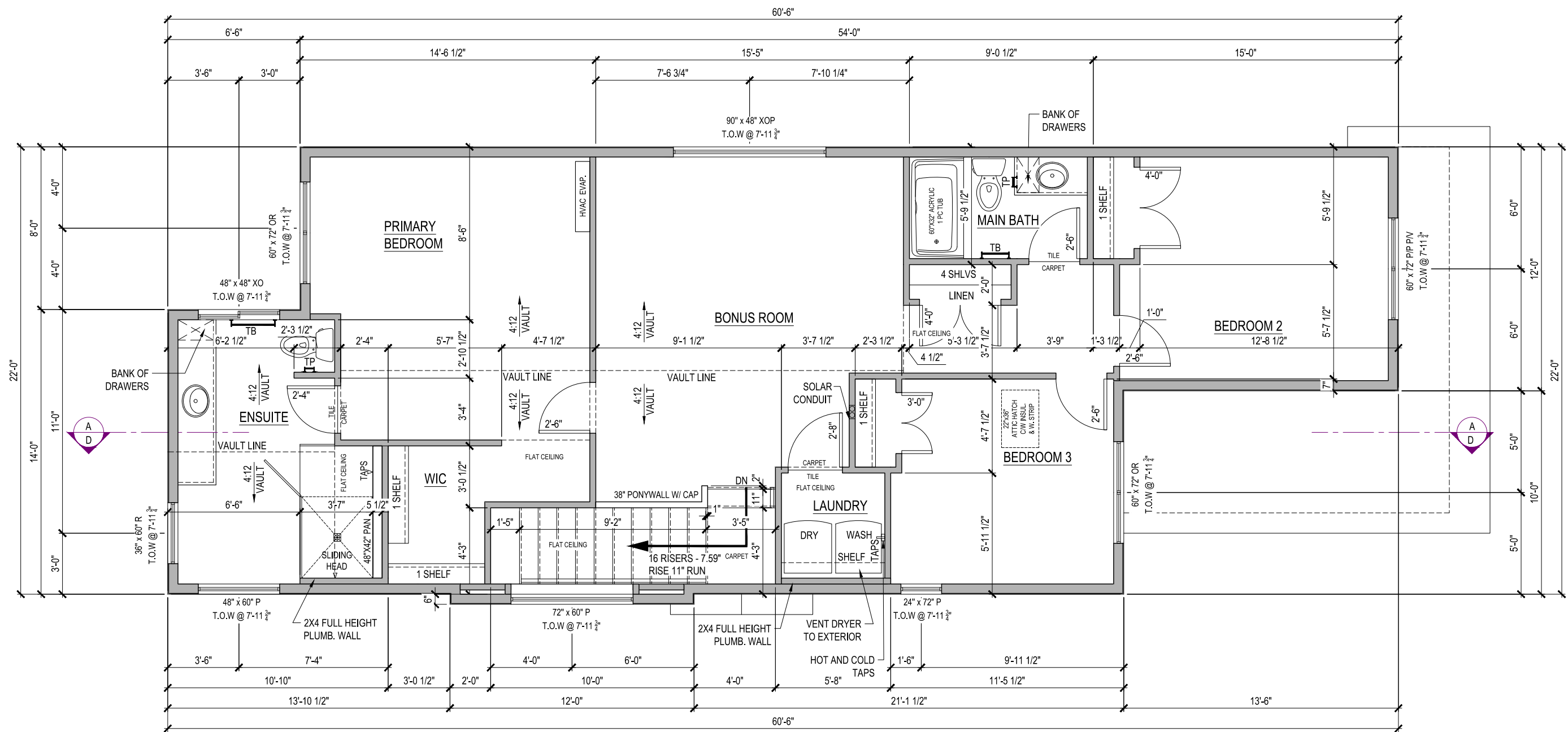
3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-01-00041		

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER

06



SECOND FLOOR PLAN
1144 Sq.Ft.

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YORKSHIRE
ELEVATION D

2004 SQ. FT.

3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-01-00041		

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

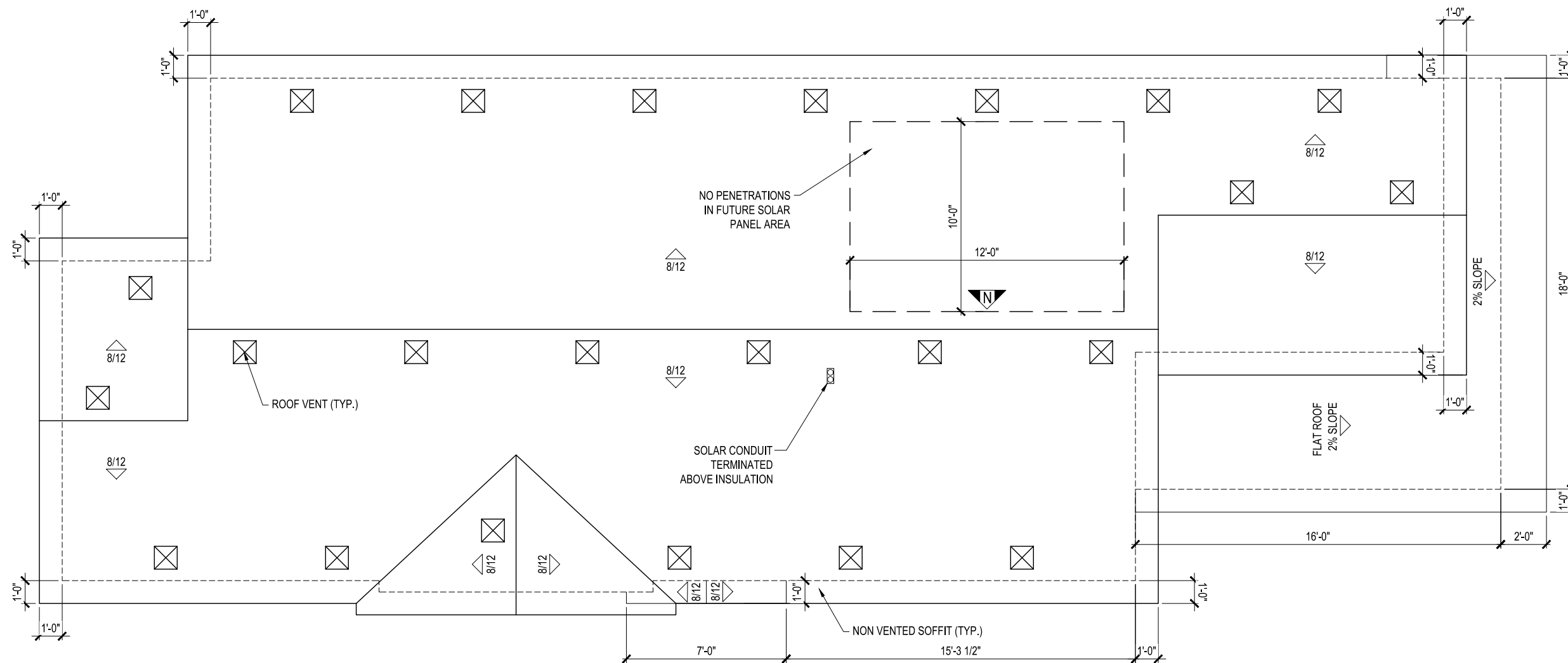
SHEET NUMBER
07

ROOF AREA

1144 Sq.Ft.

FRAMER NOTE:

- ENSURE THE EDGE OF THE BOTTOM ROOF VENT HOLE IS 48" AWAY FROM THE FASCIA
- ROOF VENTS MUST BE A MINIMUM OF 36" AWAY FROM VALLEYS
- STAGGER UPPER AND LOWER VENTS WHERE POSSIBLE
- ROOF VENT HOLES TO BE APPROX. 8" X 8"
- ROOF VENTS MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MIN. OF 12")
- ENSURE THAT VENTS AT EQUAL HEIGHT ARE IN LINE WITH EACH OTHER
- FRAMERS TO CONFIRM THE VENTING LAYOUT WITH ROOFING INSTALLER PRIOR TO FRAMING VENT LOCATIONS



ROOF PLAN

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YORKSHIRE
ELEVATION D

2004 SQ. FT.

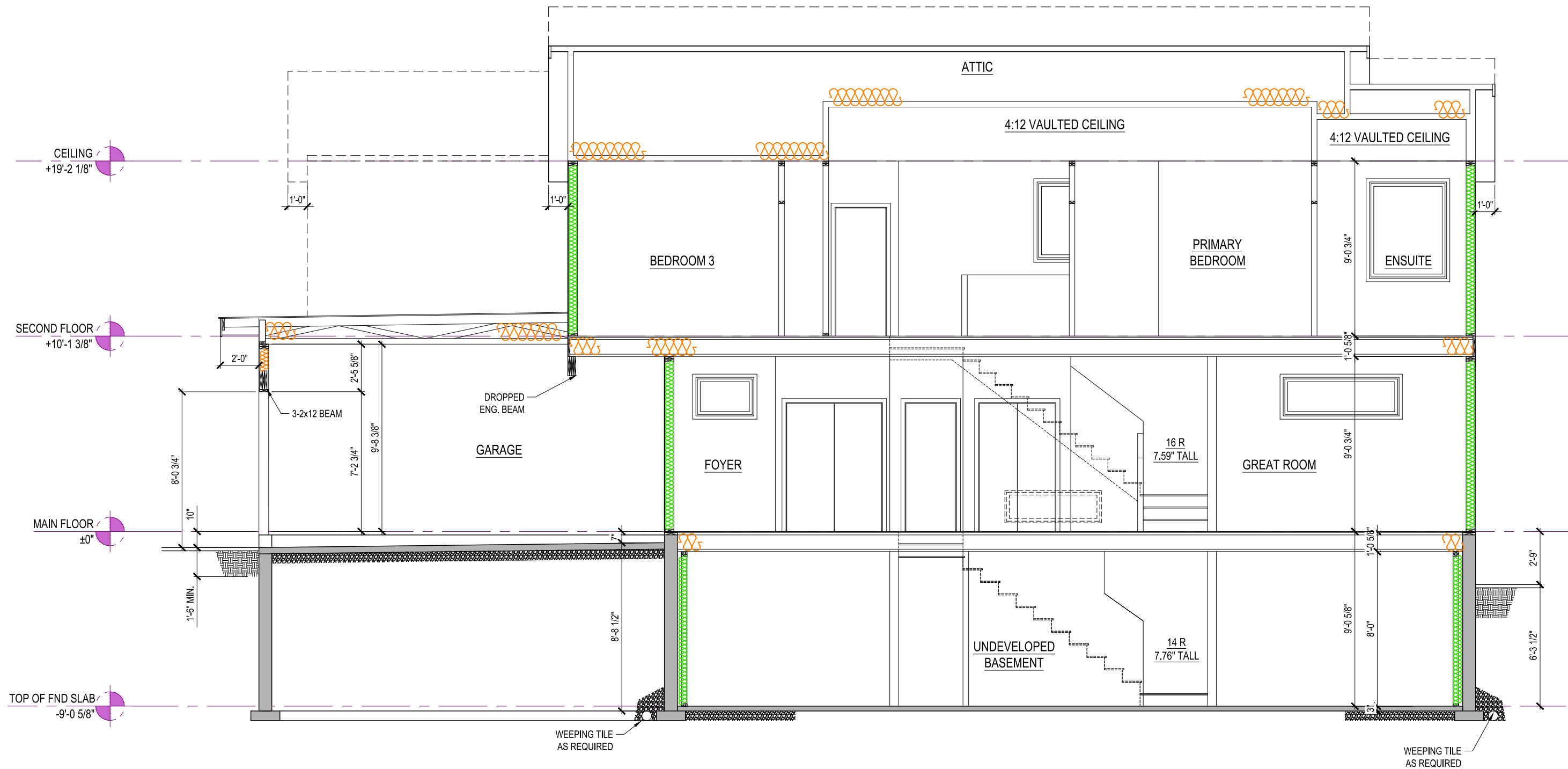
3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-01-00041	

REV. NO.	DESIGN	DATE	REMARKS
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SHEET NUMBER

08



SECTION A-D 8' BASEMENT 9' MAIN FLOOR 9' UPPER FLOOR

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YORKSHIRE
ELEVATION D

2004 SQ. FT.

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LOT	41	SCALE: $\frac{3/16"}{1"} = 1'-0"$
SEC	0	
REL	1	
JOB	44-01-00041	

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER

09

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YORKSHIRE
ELEVATION D

2004 SQ. FT.

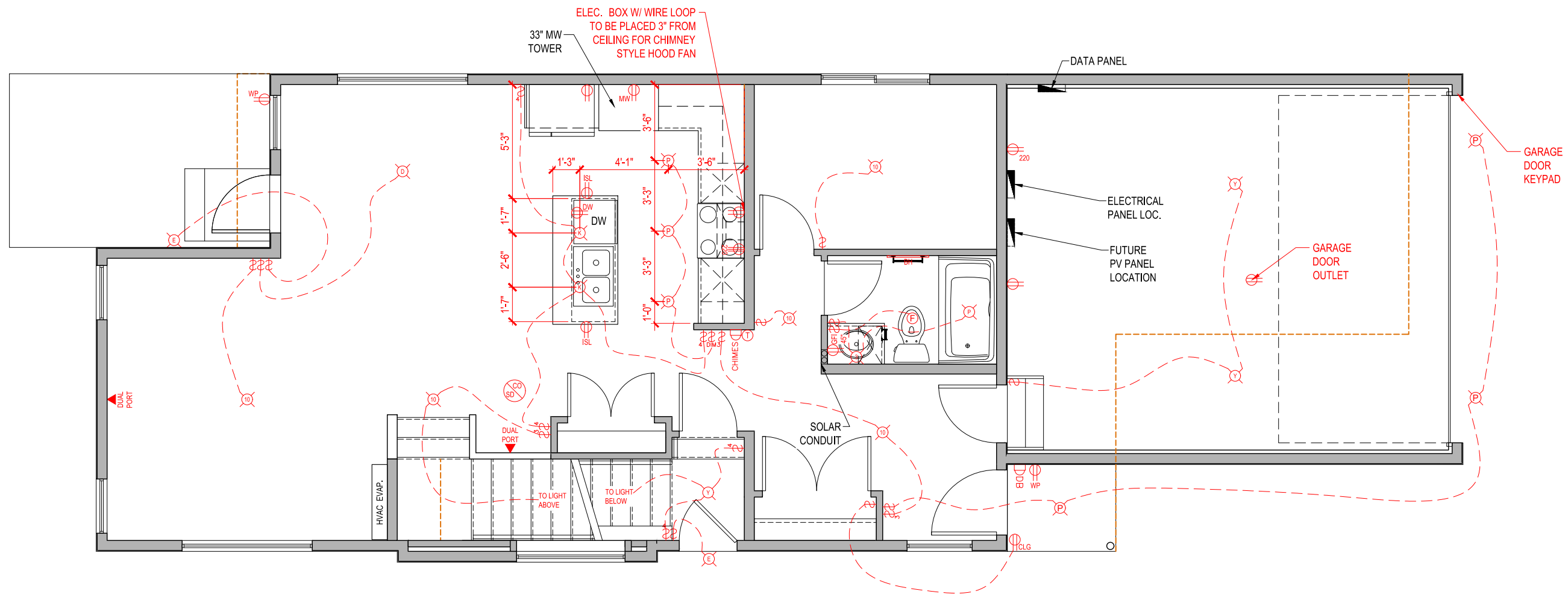
3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-01-00041	

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER

10



LEGEND	
	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	240 VOLT OUTLET
	GROUND FAULT OUTLET
	ISLAND OUTLET
	SOFFIT OUTLET
	WEATHER PROOF JUNCTION BOX FOR IRRIGATION WIRING
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	FLUSH MOUNT LIGHT FIXTURE (7" OR 10")
	STAIRWELL LIGHT PENDANT
	DINING LIGHT PENDANT
	KITCHEN LIGHT PENDANT
	SEMI FLUSH LIGHT FIXTURE
	TWO LIGHT VANITY LIGHT FIXTURE
	THREE LIGHT VANITY LIGHT FIXTURE
	WALL SCONCE LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR DOOR LAMP FIXTURE
	EXTERIOR GARAGE LAMP FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	3" GIMBAL POT LIGHT
	UNDERCABINET LIGHTING
	TYPICAL CONDUIT
	BASEBOARD HEATER
	BATH FAN
	SHORT RUN CONDUIT @60° PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72° PROVIDE BLOCKING AND POWER
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

MAIN FLOOR PLAN - ELECTRICAL

860 Sq.Ft.

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YORKSHIRE
ELEVATION D
2004 SQ. FT.

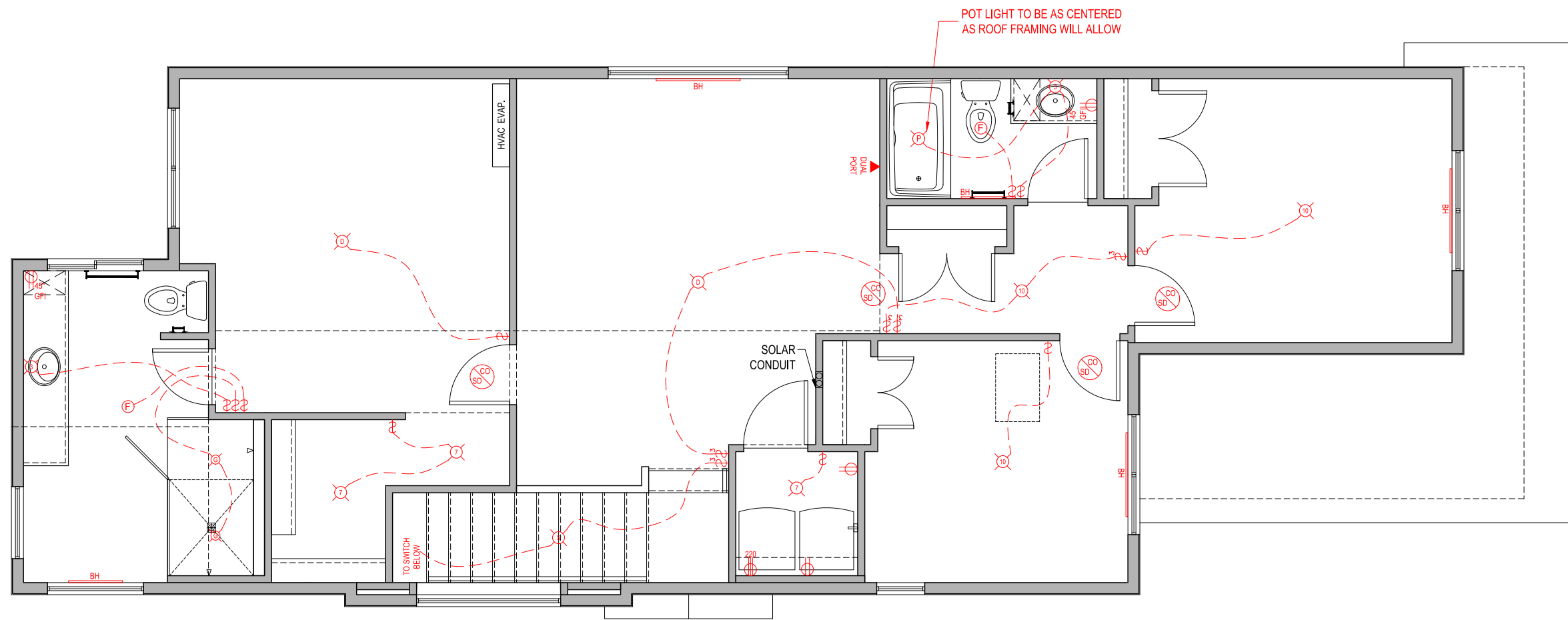
3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-01-00041		

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

SHEET NUMBER

11



SECOND FLOOR PLAN - ELECTRICAL

1144 Sq.Ft.

LEGEND	
	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	240 VOLT OUTLET
	GROUND FAULT OUTLET
	ISLAND OUTLET
	SOFFIT OUTLET
	WEATHER PROOF JUNCTION BOX FOR IRRIGATION WIRING
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	FLUSH MOUNT LIGHT FIXTURE (7" OR 10")
	STAIRWELL LIGHT PENDANT
	DINING LIGHT PENDANT
	KITCHEN LIGHT PENDANT
	SEMI FLUSH LIGHT FIXTURE
	TWO LIGHT VANITY LIGHT FIXTURE
	THREE LIGHT VANITY LIGHT FIXTURE
	WALL SCONCE LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR DOOR LAMP FIXTURE
	EXTERIOR GARAGE LAMP FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	3" GIMBAL POT LIGHT
	UNDERCABINET LIGHTING
	TYPICAL CONDUIT
	BASEBOARD HEATER
	BATH FAN
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

LOT	41	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-01-00041		

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/04/23	INITIAL WORKING DRAWINGS

GENERAL NOTES:

- DO NOT SCALE DRAWINGS
- ALL CONSTRUCTION IS TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND ALSO TO CONFORM TO THE CURRENT PROVINCIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS

A) CONCRETE WALL ASSEMBLIES: 2.17- 3.17

- NOTE: BEFORE DELIVERING CONCRETE TO SITE, TRADE TO CONTACT GABLECRAFT SUPERVISION TO CONFIRM ANY REQUIREMENT IN MIX DESIGN TO ACCOMMODATE HIGH SULFATE CONDITIONS SPECIFIC TO LOT
- NOTE: BEFORE FORMING FOOTING ON SITE, TRADE IS TO CONTACT GABLECRAFT SITE SUPERVISION TO CONFIRM ANY SPECIFIC SIZING REQUIREMENTS DUE TO GEOTECHNICAL OR DEEP FILL REPORTS
- FOUNDATION POLYURETHANE WATER PROOFING, 8" CONCRETE WALLS (25 MPA CONCRETE) REINFORCED W/ 4 ROWS OF 10M REBAR, 18"X6" CONTINUOUS CONCRETE FOOTINGS (20 MPA CONCRETE C/W 10M REBAR) WHEN REQUIRED AS PER SOIL BEARING TEST, MIN. 1'-6" BELOW GRADE & MIN. 4'-0" BELOW GRADE FOR FULL BASEMENT & CRAWL SPACE.
- INTERIOR STUDS
- A-1= 2X4 INTERIOR STUDS @ 24" O/C W/PRESSURE TREATED 2X4 BOTTOM PLATE AND 2-2X4 TOP PLATES. FULL HEIGHT R-20 FIBERGLASS BATT INSULATION W/6 MIL POLY VAPOUR BARRIER TO FULL BASEMENT AREAS (RSI 3.17) A-2= 2X4 INTERIOR STUDS (FOR INTERIOR PARTY WALLS) @ 24" O/C W/ PRESSURE TREATED 2X4 BOTTOM PLATE AND 2-2X4 TOP PLATES. R-12 FIBERGLASS BATT INSULATION W/6 MIL POLY VAPOUR BARRIER TO UNFINISHED AREAS (RSI 2.17) A-3= FOILED BACK BLANKET INSULATION (R-12) TO CRAWL SPACE AREAS. (RSI=2.34)
- WHERE STEP FOOTINGS OCCUR, THE VERTICAL DIMENSION OF EACH STEP SHALL NOT EXCEED 23 5/8" AND THE MINIMUM HORIZONTAL DIMENSION OF EACH STEP SHALL BE 23 5/8"
- BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MINIMUM BEARING CAPACITY OF 100kPa OR GREATER.
- INCREASE FOOTING SIZE TO 22"X7" FOR 3-STOREY HOUSES OR 2 STOREY WITH WALK-OUT BASEMENT CONDITION
- 100MM (4") DIA. WEEPING TILE 150MM (6") CRUSHED STONE OVER AND AROUND WEEPING TILES
- BEAM POCKET, MINIMUM BEARING 3 1/2"

LUMBER:

- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER, OR AS NOTED
- ALL STUDS ARE CONSTRUCTION GRADE SPRUCE OR BETTER

ENGINEERED FRAMING PRODUCTS:

- ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER

TRUSSES:

- ENGINEERED ROOF TRUSSES TO BE INSTALLED AS PER DRAWINGS PROVIDED WITH THE MANUFACTURER'S SPECIFICATION SUPERSEDING
- STANDARD EAVE OVERHANG AS PER ELEVATION

FLOORS AND SUPPORTS:

- ENGINEERED COLUMNS AND BEAMS AS PER ENGINEERED FLOOR DRAWINGS
- LVL BEAMS SHALL BE 2.OE WS MICRO-LAM LVL (Fb=2800psi.MINIMUM) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 3 1/2" LONG COMMON WIRE NAILS @ 12" O/C STAGGERED IN 2 ROWS FOR 7 1/4", 9 1/2", 11 7/8" DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 1/2" DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM @ 3'-0" O/C
- JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS

FRAMING NOTES:

- ENSURE EDGE OF LOWER ROOF VENT HOLES ARE 48" FROM THE FASCIA
- ROOF VENTS MUST BE A MINIMUM OF 36" FROM VALLEYS
- STAGGER UPPER & LOWER VENTS WHERE POSSIBLE
- ROOF VENT HOLES TO BE APPROX. 8"X8"
- ROOF VENT MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MINIMUM 12")
- ENSURE VENTS AT EQUAL HEIGHTS ARE IN LINE W/ EACH OTHER
- STANDARD EAVE OVERHANG AS PER ELEVATION
- SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT PROVINCIAL BUILDING CODE.
- BUILT-UP-POST WITH DAMPROOFING MATERIAL WRAPPED AT THE END OF POST ANCHORED TO CONCRETE FOOTING

EXPOSED BUILDING FACE

- EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES WHERE LIMITING DISTANCE IS LESS THAN 3'-11". WHERE THE LIMITING DISTANCE IS LESS THAN 1'-11", THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL

B) FIRE SEPARATION WALLS:

SECONDARY SUITE:

(USING PHOTO-ELECTRIC SMOKE/CO DETECTORS IN SUITE INTERCONNECTED TO MAIN HOME)

- WALL TYPE = W3C (FIRE = 45 MIN, STC = 43)
- 1/2" TYPE X DRYWALL (MAIN UNIT SIDE)
- 2X4 STUDS @ 24" O/C UNLESS OTHERWISE NOTED
- 3 1/2" FIBERGLASS BATT INSULATION
- RESILIENT METAL CHANNEL @ 24" O/C (SUITE SIDE)
- 1/2" TYPE X DRYWALL (SUITE SIDE)
- ALL PENETRATIONS TO BE FIRE RATED
- SEMI-ATTACHED:
- MIN. 1 HOUR FIRE RATED PARTY WALL
- 2 LAYER 1/2" TYPE X DRYWALL (1/2" OVER 5/8" TO BATHROOM AREAS)
- 2x4/2x6 STUDS @ 16" O/C
- 3 1/2" MINERAL FIBRE THERMAL BATT INSULATION
- 1" GAP
- 3 1/2" MINERAL FIBRE THERMAL BATT INSULATION
- 2x6 STUDS @ 16" O/C
- 2 LAYER 1/2" TYPE X DRYWALL (1/2" OVER 5/8" TO BATHROOM AREAS)
- ALL PENETRATIONS TO BE FIRE RATED
- REFER TO DETAILS FOR ADDITIONAL INFORMATION

NOTE: STABILITY OF NARROW (20'-25') & TALL (+/- 30') HOUSES:

- BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION.
- IN ADDITION TO STIFFING THE STRUCTURE IN TRANSVERSE DIRECTION USE 7/16" THICK PLYWOOD NAILED TO THE INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2 INTERIOR PARTITION WALLS ON BOTH SIDES AND PERPENDICULAR TO THE LONG WALLS.

C) TALL WALLS: RSI = 2.60

- SEE ENGINEERING LETTERS AND/OR LAYOUTS

D) INTERIOR PARTITION WALL ASSEMBLIES

INTERIOR STUD PARTITIONS:

- BEARING PARTITIONS 2"X4" @ 16" O/C FOR 2 STORIES AND 12" O/C FOR 3 STORIES, 1/2" DRYWALL BOTH SIDES
- NON-BEARING PARTITIONS 2"X4" @ 24" O/C PROVIDE (1-2"X4") BOTTOM PLATE AND (2-2"X4") TOP PLATE, 1/2" DRYWALL BOTH SIDES OF STUD, PROVIDE 2"X6" @ 24" O/C STUDS/PLATES WHERE NOTED. NON-BEARING PARTITIONS 2"X4" OR 2"X6" @ 24" O/C, 1/2" DRYWALL BOTH SIDES

- DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES

E) FLOOR ASSEMBLIES: RSI = 1.80 - 3.72

GENERAL CONDITION:

- FINISH AS SPECIFIED
- 3/8" PARTICLE BOARD UNDER LINO AREAS
- 3/4" TONGUE & GROOVE O.S.B NAILED, GLUED, AND SCREWED
- ENGINEERED FLOOR SYSTEM PONY WALL CONDITION (RSI = 1.80) END RIM BOARD CONDITION (RSI = 3.74)
- R-19 FIBERGLASS BATT INSULATION TO RIM JOISTS & VENT PENETRATION ONLY
- STRAPPING AS REQUIRED
- 1/2" DRYWALL AS REQUIRED

SUITE SEPARATION:

FLOOR TYPE = F8H (FIRE = 30 MIN, STC = 48, IMPACT = 43)

- FINISH AS SPECIFIED
- 3/8" PARTICLE BOARD UNDER LINO AREAS
- 3/4" TONGUE & GROOVE O.S.B NAILED, GLUED, AND SCREWED
- ENGINEERED FLOOR SYSTEM PONY WALL CONDITION (RSI = 1.80) END RIM BOARD CONDITION (RSI = 3.74)
- 5 1/2" FIBERGLASS BATT INSULATION
- RESILIENT CHANNEL @ 24" O/C
- 1/2" TYPE X DRYWALL

EXTERIOR ENVELOPE WALL ASSEMBLIES:

F) EXTERIOR WALL: RSI= 2.64 - 2.78

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- FIRE RETARDANT SPRAY
- 2"X6"
- STUDS @ 24" O/C, RSI = 2.78
- STUDS @ 16" O/C (ON MAIN FLOOR FOR HOMES W/ LOFTS OR STUCCO FINISHED WALLS), RSI = 2.69
- STUDS @ 12" O/C, RSI = 2.64
- R-19 FIBERGLASS BATT INSULATION
- WINDOW & DOOR LINTEL TO BE 2-2"X10" OR AS PER CURRENT PROVINCIAL BUILDING CODE
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL (DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES)

EXTERIOR ENVELOPE WALL ASSEMBLIES:

G) EXTERIOR WALL: RSI= 2.64 - 2.78

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- FIRE RETARDANT SPRAY
- 2"X6"
- STUDS @ 24" O/C, RSI = 2.78
- STUDS @ 16" O/C (ON MAIN FLOOR FOR HOMES W/ LOFTS OR STUCCO FINISHED WALLS), RSI = 2.69
- STUDS @ 12" O/C, RSI = 2.64
- R-19 FIBERGLASS BATT INSULATION
- WINDOW & DOOR LINTEL TO BE 2-2"X10" OR AS PER CURRENT PROVINCIAL BUILDING CODE
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL (DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES)

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HOMES™**

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YORKSHIRE
ELEVATION D

2004 SQ. FT.

3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-01-00041	

REV. NO.	DESIGN	DATE	REMARKS
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SHEET NUMBER
13

H) STANDARD ATTACHED GARAGE EXTERIOR WALL: RSI= 2.69-2.78

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- 2X6 STUDS @ 24" O/C (RSI=2.78) (16" O/C FOR STUCCO) FINISHED WALLS(RSI= 2.69))
- R-19 FIBERGLASS BATT INSULATION
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

I) CANTILEVER FLOOR AND WALL ASSEMBLY: RSI= 4.86

- 3/4" O.S.B
- JOISTS
- TO CANTILEVER R-28 FIBERGLASS BATT INSULATION (RSI=4.86) 1/2" EXTERIOR DRYWALL IF DISTANCE TO GRADE IS GREATER THAN 24"
- NON-VENTED SOFFIT ON EXPOSED AREAS

I) ZERO LOT LINE HIRF WALL: RSI= 2.69

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 5/8" EXTERIOR GYPSUM EQUIVALENT (5/8" TO BE USED ON LOFT MODELS)
- 2"X6" STUDS @ 16" O/C
- R-19 FIBERGLASS BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 5/8" TYPE X DRYWALL

J) WALKOUT WALL: RSI = 2.69

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- 2"X6" STUDS @ 16" O/C
- R-19 FIBERGLASS BATT INSULATION
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

K) ROOF CONSTRUCTION: RSI = 4.79 - 7.07

- ASPHALT SHINGLES
- 7/16" O.S.B SHEATHING WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" O/C MAXIMUM
- K1- TYPICAL TRUSS ASSEMBLY W/ R40 GLASS FIBRE LOOSE FILL INSULATION = RSI 7.07
- K2- VAULTED TRUSS ASSEMBLY W/ R40 BATT INSULATION = RSI 6.91
- K3- RAFTER CEILING ASSEMBLY W/ R28 BATT INSULATION = RSI 4.79
- APPROVED EAVE PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND 12" BEYOND INNER FACE OF EXTERIOR WALL. 2"X4" TRUSS BRACING @ 6'-0" O/C AT BOTTOM CHORD.
- PREFINISHED ALUMINUM EAVES TROUGH, FASCIA, EAVESTROUGH & VENTED OR NON-VENTED (WHERE REQUIRED) SOFFIT.
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

CONCRETE FLATWORK:

- BEFORE DELIVERING CONCRETE TO SITE, TRADE TO CONTACT GABLECRAFT SUPERVISION TO CONFIRM ANY REQUIREMENT IN MIX DESIGN TO ACCOMMODATE HIGH SULFATE CONDITIONS SPECIFIC TO LOT.

DRIVEWAY:

- DRIVEWAY TO BE 4" THICK 32MPA CONCRETE DURAMIX SIDEWALK/FROTWALK:
- FRONT WALK TO BE POURED WIDTH OF FRONT STEPS AND FLARED DOWN TO 3'-0" WIDE.

L) BASEMENT/ WALKOUT SLAB: RSI = 0.19

- 3" THICK CONCRETE SLAB 32 MPA TYPE 10 CONCRETE, 6 MIL POLY VAPOUR

BARRIER - JOISTS TO BE LAPPED
 - 3" TYPE 1 EXTRUDED POLYSTYRENE FOR 4'-0" HORIZONTALLY AND VERTICALLY FROM U/S SLAB TO TOP OF FOOTING WHERE SLAB IS ABOVE GRADE (WALKOUTS)
 - 6" DRAINAGE GRAVEL

N) 3-STOREY CURB DETAIL: RSI = 1.84

- 3" CONCRETE SLAB ON GRADE
- 3 1/2" STUDS
- R-12 FIBREGLASS BATT INSULATION
- FROST CURB TO OVER-LAP FRAMED EXTERIOR WALL BY MIN. 6"
- 6 MIL POLY VAPOUR BARRIER
- 3 1/2" PT HALF LADDER IN 8" FOUNDATION WALL
- EXTERIOR WALL ASSEMBLY ON TOP OF FOUNDATION WALL

O) BALCONY ASSEMBLY: RSI= 5.09

- 1/2" INTERIOR CEILING DRYWALL FINISH OR APPROVED EQUAL.
- R-28 FIBERGLASS BATT INSULATION
- I JOIST RAFTER
- 3/4" G1S PLYWOOD SLOPED 1/4" PER FOOT
- VINYL DECKING

P) FLOOR ABOVE GARAGE ASSEMBLY: RSI= 4.99

- 3/4" T & G OSB TO ACT AS AIR VAPOR AND BARRIER
- R-28 FIBERGLASS BATT INSULATION
- 1/2" INTERIOR CEILING DRYWALL FINISH OR APPROVED EQUAL.
- IF IN A SIDE YARD, SEE FOR HIRF ADDITIONS.

DETACHED GARAGE SLAB:

- 3 1/2" THICK 32 MPA CONCRETE DURAMIX SLOPED TO FRONT AT 1% MINIMUM
- 6" COMPACTED SAND

ATTACHED GARAGE SLAB:

- 4" 32 MPA CONCRETE SLAB SLOPED 5" TO FRONT W/5-8% AIR VENT WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL

STUCCO WALL ASSEMBLY:

- STUCCO APPLICATION, BUILDING PAPER EXPANDED METAL LATH, 3/8" O.S.B EXT. TYPE SHEATHING, 2"X6" STUDS @ 16" O/C
- PROVIDE 1-2"X6" BOTTOM PLATE AND 2-2"X6" TOP PLATE, R-19 BATT. INSULATION

BRICK VENEER CONSTRUCTION:

- STEEL LINTELS SIZED AND BOLTED IN ACCORDANCE TO THE ENGINEERS REVIEW AND DESIGN
- 4" FACE BRICK
- 1" AIR SPACE
- 7/8"X7"X0.03" GALVANIZED METAL TIES @ 32" O/C HORIZONTAL 16" O/C VERTICAL
- APPROVED SHEATHING PAPER 1/2" O.S.B EXT. TYPE SHEATHING
- 2"X6" STUDS @ 16" O/C
- R20 FIBERGLASS BATT INSULATION AND 6 MIL POLY VAPOUR BARRIER WITH APPROVED CONTINUOUS AIR BARRIER.
- 1/2" DRYWALL FINISH
- PROVIDE WEEP HOLES @ 32" O/C BOTTOM COURSE, PROVIDE BASE FLASHING UP MINIMUM 6" BEHIND BUILDING PAPER
- SEE ENGINEERS BRICK CLADDING DETAIL

WINDOWS AND EXTERIOR DOORS:

- LOW-E COATING TO ALL WINDOWS AND DOORS, EXCLUDING STANDARD BASEMENT WINDOWS
- MINIMUM BEDROOM WINDOW - CURRENT PROVINCIAL BUILDING CODE
- AT LEAST ONE BEDROOM WINDOW PER BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MINIMUM CLEAR WIDTH OF 1'-3" WINDOW GUARDS - CURRENT PROVINCIAL BUILDING CODE
- A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-6" ABOVE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR

TO ADJACENT GRADE IS GREATER THAN 5'-11"
 - STANDARD WINDOW HEIGHT TO BE 6'-11 3/4" FROM SUB-FLOOR TO TOP OF WINDOW, UNLESS OTHERWISE SPECIFIED
 RESISTANCE TO FORCED ENTRY
 - ALL WINDOWS WITHIN 6'-7" OF ADJACENT GROUND LEVEL AND ALL ENTRANCE DOORS TO DWELLING UNITS ARE TO BE RESISTANT TO FORCED ENTRY AS PER CURRENT PROVINCIAL BUILDING CODE
 WINDOW OVER STAIRS & LANDINGS AS PER CURRENT PROVINCIAL BUILDING CODE
 - A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 2'-11" ABOVE THE SURFACE OF THE TREAD, RAMP, OR LANDING
 - U VALUE OF ALL DOORS, WINDOWS AND SKYLIGHTS TO BE NO GREATER THAN 1.7 W/ (SQ.M. K).
 - STANDARD WINDOW HEIGHT TO BE FRAMED @ 7'-0" FROM FLOOR TO U/S OF HEADER

DRYWALL AND INSULATION:

GARAGE:
 - 1/2" GYPSUM BOARD ON INTERIOR GARAGE WALL AND CEILING, 6 MIL POLY VAPOUR BARRIER, R-19 BATT. INSULATION IN WALL & R-40 BATT. INSULATION IN CEILING, TAPE AND SEAL & STRUCTURAL SUPPORT ALL JOINTS, IN ORDER TO BE GAS/FUME TIGHT FOAM INSULATION:
 - PROVIDE R28 FIBERGLASS BATT INSULATION & VAPOUR BARRIER FOR CANTILEVERED FLOORS.

STAIRS AND RAILINGS:

ALL STAIRS/EXTERIOR STAIRS, B.C. BUILDING CODE 2018.
 - MAXIMUM RISE: 7 7/8"
 - MAXIMUM NOSING: 1"
 - MINIMUM HEADROOM: 6'-8 3/4"
 - RAIL HEIGHT @ LANDING: 3'-6"
 - RAIL HEIGHT @ STAIRS: 3'-6"
 - MINIMUM STAIR WIDTH: 2'-10"
RAILINGS
 - FINISHED RAILING ON PICKETS SPACED MAXIMUM 4" BETWEEN PICKETS GUARDS
 - INTERIOR GUARD HEIGHT: 3'-0" MINIMUM
 - EXTERIOR GUARD HEIGHT: 3'-0" MINIMUM
 - STAIRS TO BE MANUFACTURED TO 3" NARROWER THAN STAIRWELL OPENING

ELECTRICAL NOTES:

- WHEN PLACING SWITCHES AND OUTLETS OVER COUNTERTOP AREAS ENSURE PLATES (UNLESS SPECIFIED OTHERWISE DUE TO LOCATION)
 - ALL ELECTRICAL LOCATIONS ARE APPROXIMATE AND PLACED AS PER CODE
 - PROVIDE & INSTALL GARAGE DOOR OPENER C/W 2 REMOTE OPENERS & MOTION SENSOR
 - ELECTRICAL PANEL LOCATION TO BE DETERMINED ON SITE
 - STANDARD ELECTRICAL SWITCH HEIGHT TO BE 45" TO BOTTOM OF BOX
 - SMOKE / CO DETECTORS IN BASEMENTS SUITE TO BE PHOTO-ELECTRIC AND BE INTERCONNECTED TO THE MAIN HOUSE

FLOOR PLAN NOTES:

- PLACE MIRROR DIRECTLY ABOVE BACKSPLASH IN BATHS
 - WHEN PLACING WASHER & DRYER, ENSURE THAT THE DRYER IS TO THE RIGHT OF THE WASHER
 - FURNACE AND GHWT LOCATIONS ARE APPROX. AND MAY BE ALTERED PENDING ON SITE CONDITIONS
 - MAN DOOR TO ATTACHED GARAGE WILL BE EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
 - ATTIC HATCH TO BE 22"x36", ACCESS HATCHES CANNOT ALWAYS BE INSTALLED WHERE SPECIFIED TO ALLOW PROPER SPACE FOR MAN ACCESS AS PER BUILDING CODE.

HVAC NOTES

- SECONDARY SUITES TO BE HEATED WITH BASEBOARD HEATING WITH THE USE OF PASSIVE VENTING AND A CONTINUOUS PRINCIPAL EXHAUST FAN



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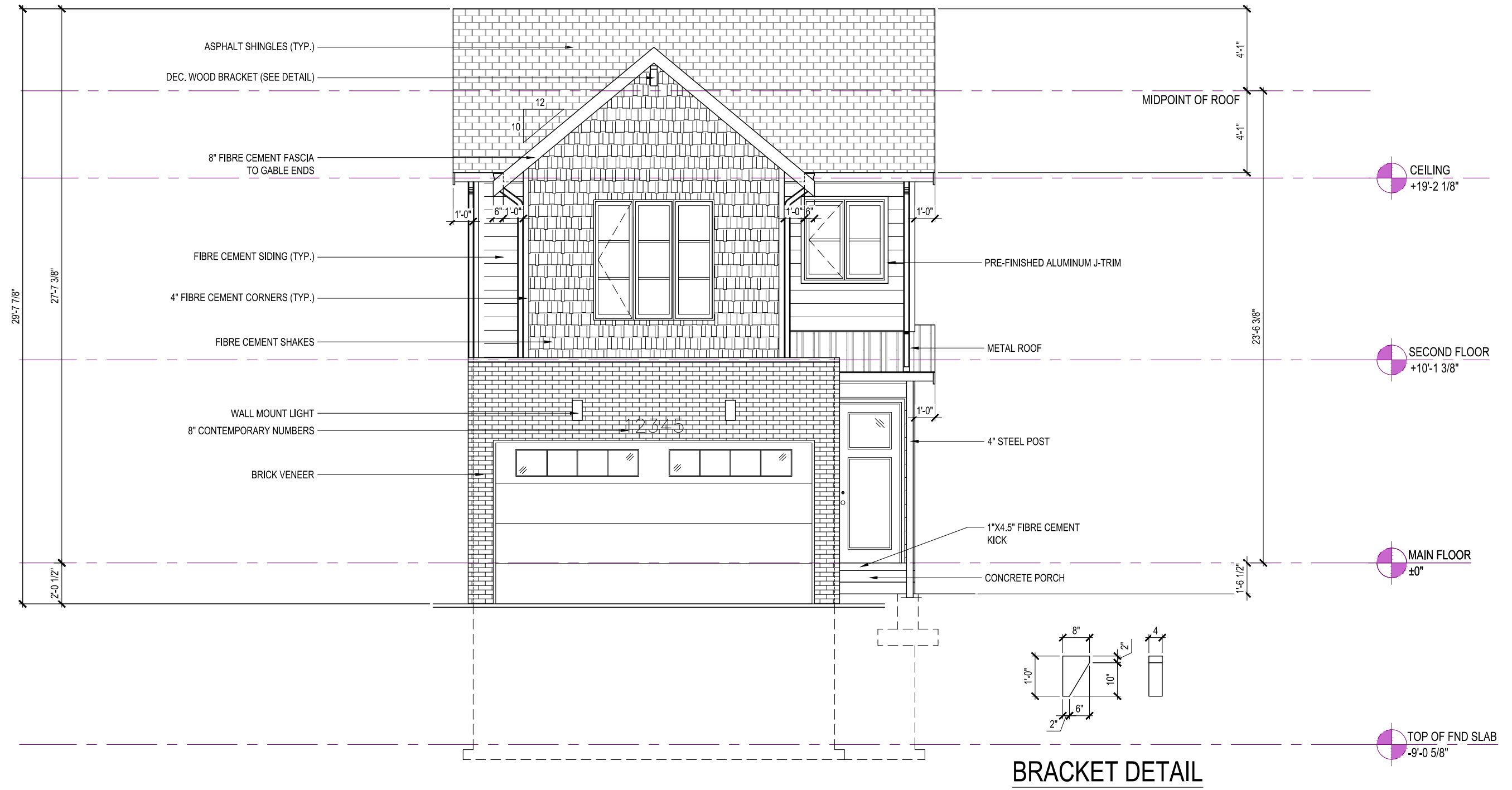
YORKSHIRE
 ELEVATION D

2004 SQ. FT.

3585 WESTERLY PLACE,
 COLWOOD, BRITISH COLUMBIA

LOT	41	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-01-00041	

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FRONT ELEVATION
 STYLE - MODERN TRADITIONAL

9' UPPER FLOOR
 9' MAIN FLOOR
 8' BASEMENT



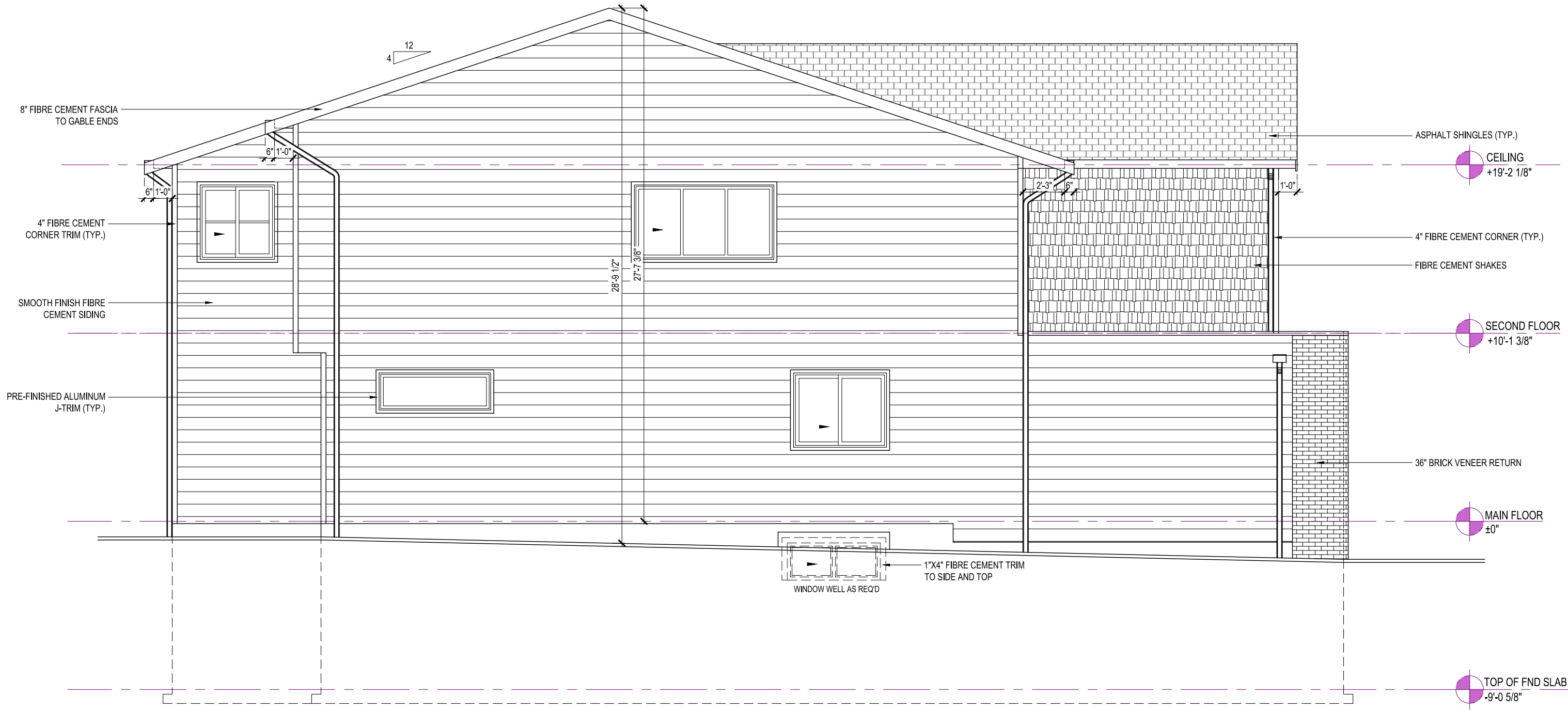
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YORKSHIRE
 ELEVATION E
 2001 SQ. FT.
 3587 Westerly Place, COLWOOD, BRITISH
 COLUMBIA

LOT	42	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-0100042		

REV. NO.	DESIGN	DATE	REMARKS
1	MS	05/12/23	INITIAL WORKING DRAWINGS

SHEET NUMBER
 01



LEFT ELEVATION

WALL AREA = 1117.89 SQ.FT.
 UNPROTECTED OPENING AREA = 62 SQ.FT.
 5.55%



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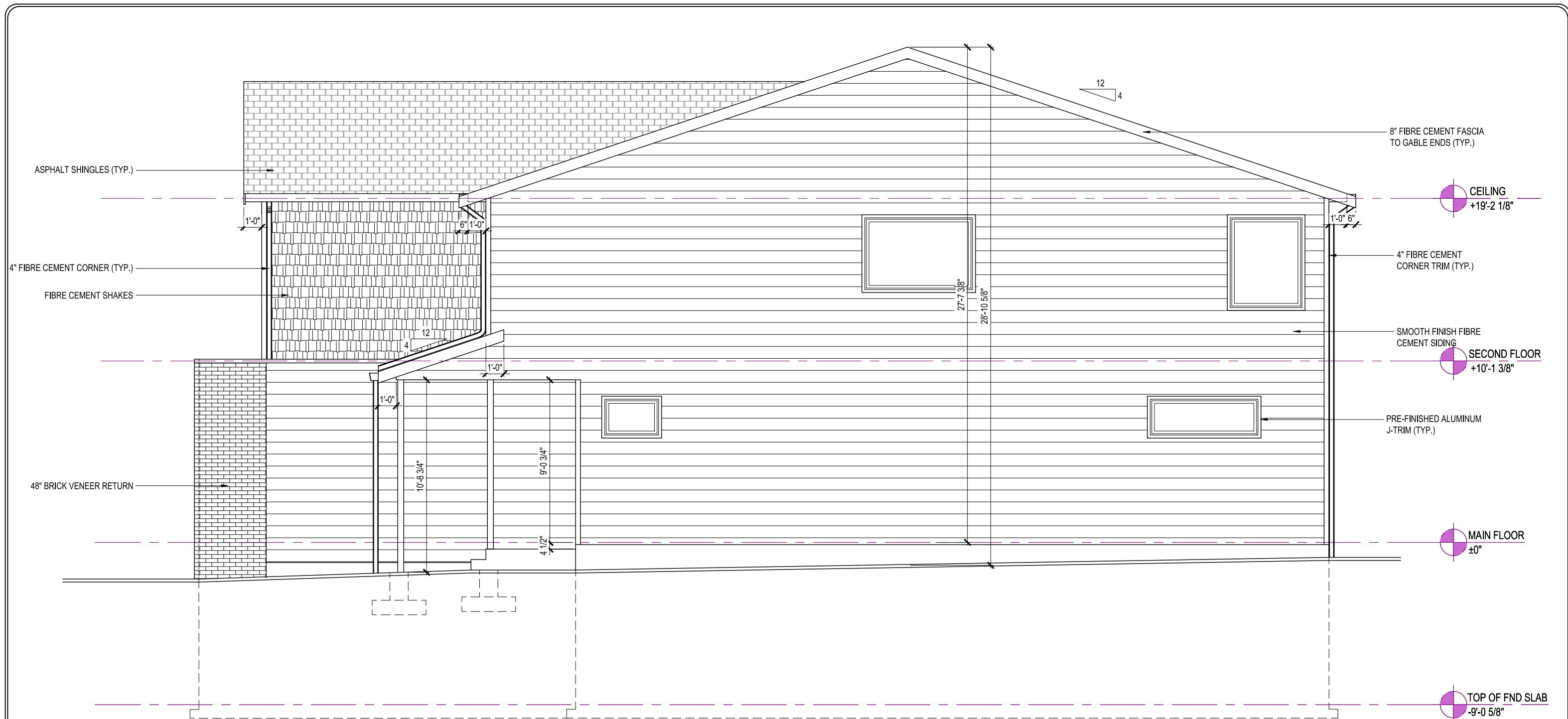
YORKSHIRE
ELEVATION E
 2001 SQ. FT.

3587 Westerly Place, COLWOOD, BRITISH
 COLUMBIA

LOT	42	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-0100042		

REV. NO.	DESIGN	DATE	REMARKS
1	MS	05/12/23	INITIAL WORKING DRAWINGS

SHEET NUMBER
02



RIGHT ELEVATION

WALL AREA = 907.74 SQ.FT.
 UNPROTECTED OPENING AREA = 62 SQ.FT.
 6.83%



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YORKSHIRE
 ELEVATION E
 2001 SQ. FT.

3587 Westerly Place, COLWOOD, BRITISH
 COLUMBIA

LOT	42	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-0100042		

REV. NO.	DESIGN	DATE	REMARKS
1	MS	05/12/23	INITIAL WORKING DRAWINGS

SHEET NUMBER
 03



REAR ELEVATION

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YORKSHIRE
ELEVATION E

2001 SQ. FT.

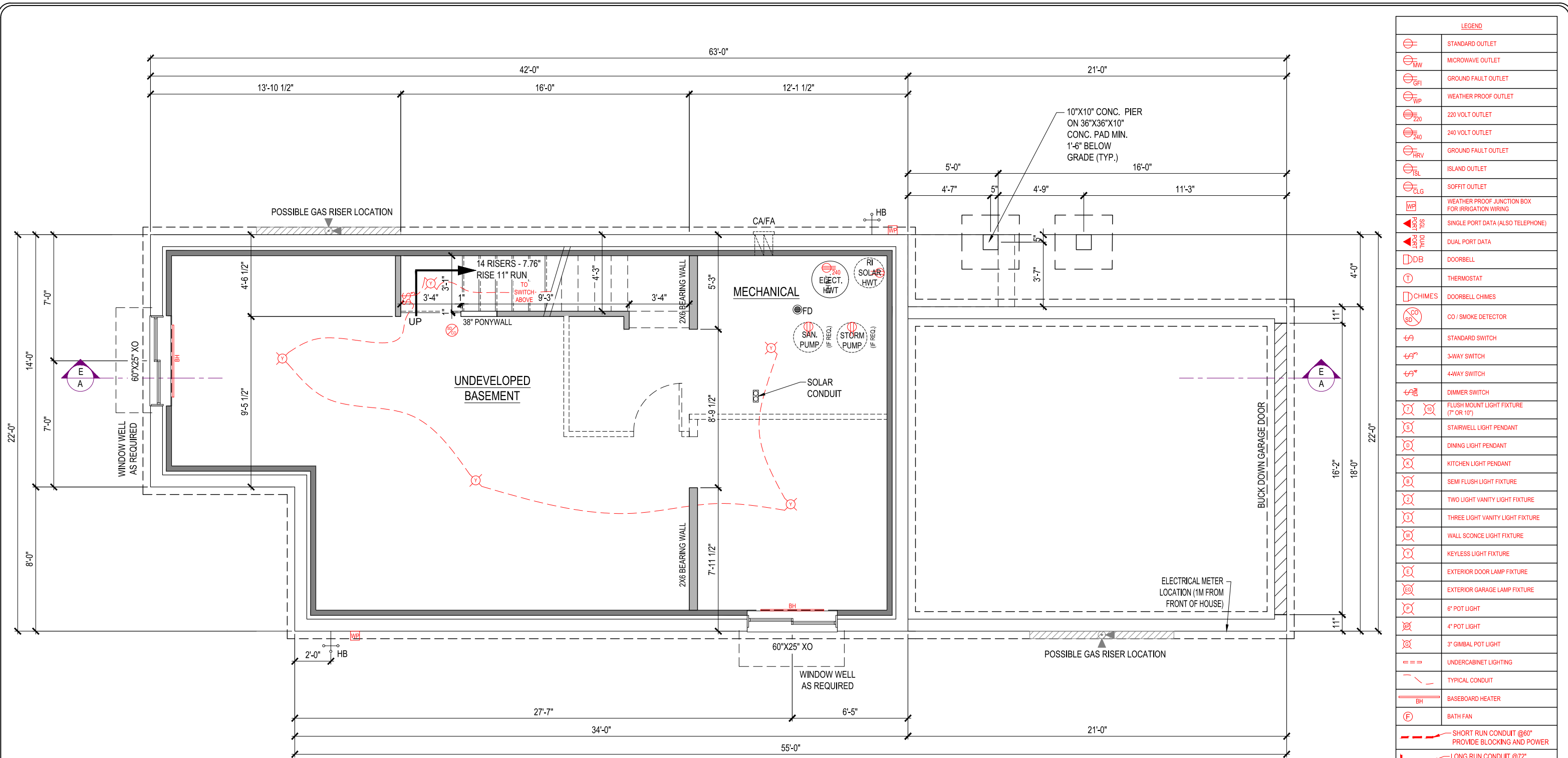
3587 Westerly Place, COLWOOD, BRITISH
COLUMBIA

LOT	42	SCALE: $\frac{3}{16}" = 1'-0"$
SEC	0	
REL	1	
JOB	44-0100042	

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04



FOUNDATION PLAN
776 Sq.Ft.

LEGEND	
	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	240 VOLT OUTLET
	GROUND FAULT OUTLET
	ISLAND OUTLET
	SOFFIT OUTLET
	WEATHER PROOF JUNCTION BOX FOR IRRIGATION WIRING
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	FLUSH MOUNT LIGHT FIXTURE (7" OR 10")
	STAIRWELL LIGHT PENDANT
	DINING LIGHT PENDANT
	KITCHEN LIGHT PENDANT
	SEMI FLUSH LIGHT FIXTURE
	TWO LIGHT VANITY LIGHT FIXTURE
	THREE LIGHT VANITY LIGHT FIXTURE
	WALL SCONCE LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR DOOR LAMP FIXTURE
	EXTERIOR GARAGE LAMP FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	3" GIMMEL POT LIGHT
	UNDERCABINET LIGHTING
	TYPICAL CONDUIT
	BASEBOARD HEATER
	BATH FAN
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN



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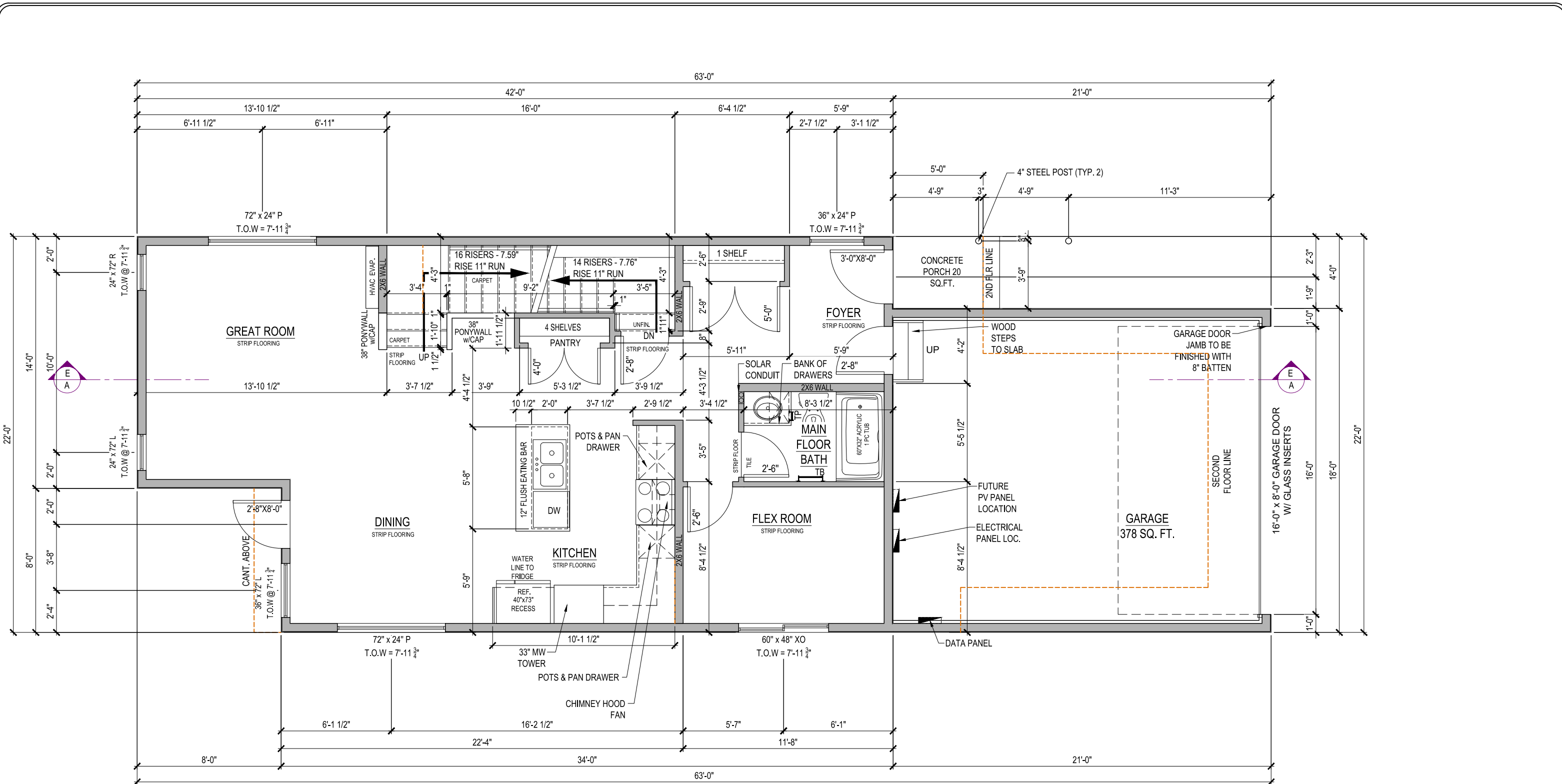
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YORKSHIRE
ELEVATION E
2001 SQ. FT.

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SEC	0	
REL	1	
JOB	44-0100042	

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MAIN FLOOR PLAN
860 Sq.Ft.

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YORKSHIRE
ELEVATION E

2001 SQ. FT.

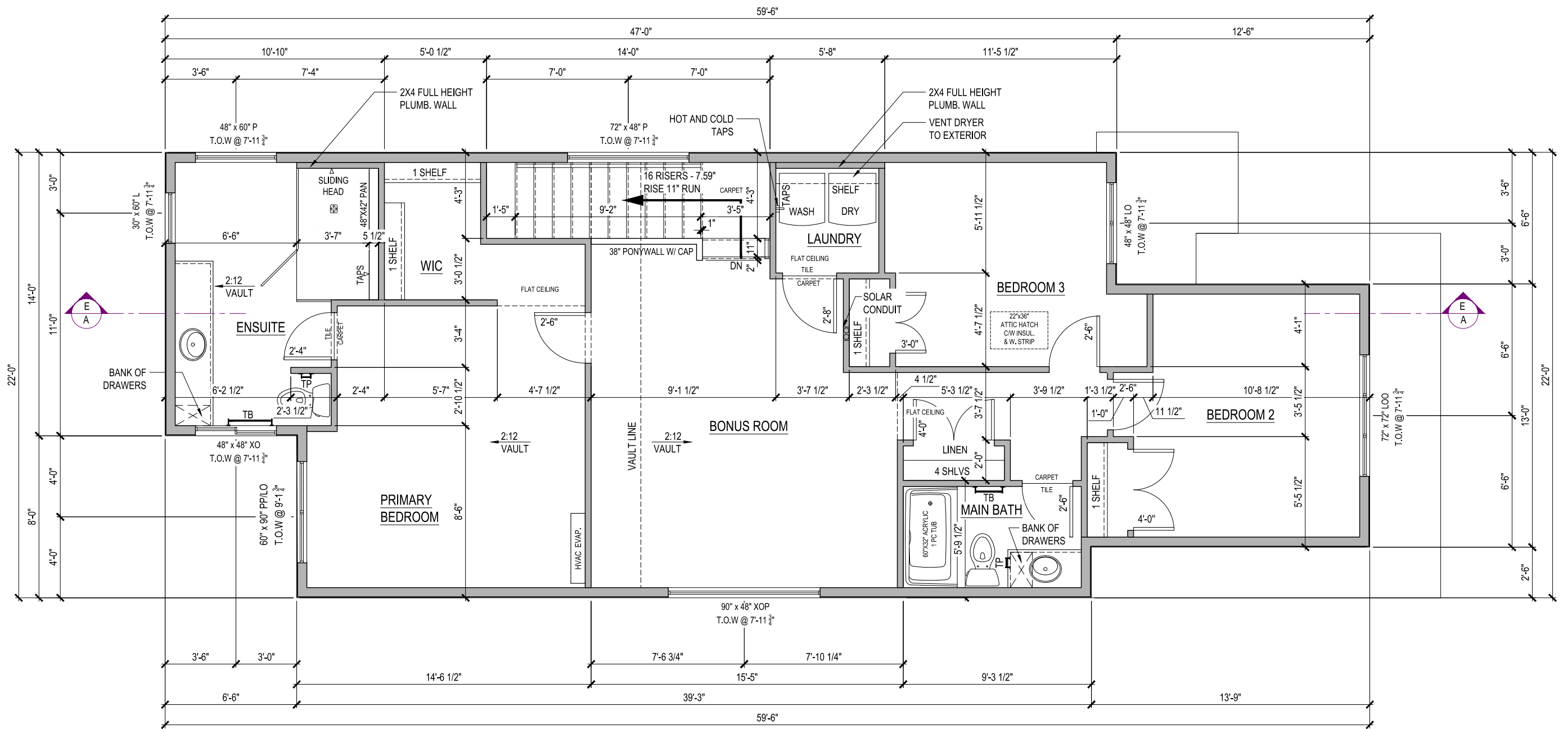
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REL	1		
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06



SECOND FLOOR PLAN
1141 Sq.Ft.



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YORKSHIRE
ELEVATION E
2001 SQ. FT.

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LOT	42	SCALE:	$\frac{3}{16}'' = 1'-0''$
SEC	0		
REL	1		
JOB	44-0100042		

REV. NO.	DESIGN	DATE	REMARKS
1	MS	05/12/23	INITIAL WORKING DRAWINGS

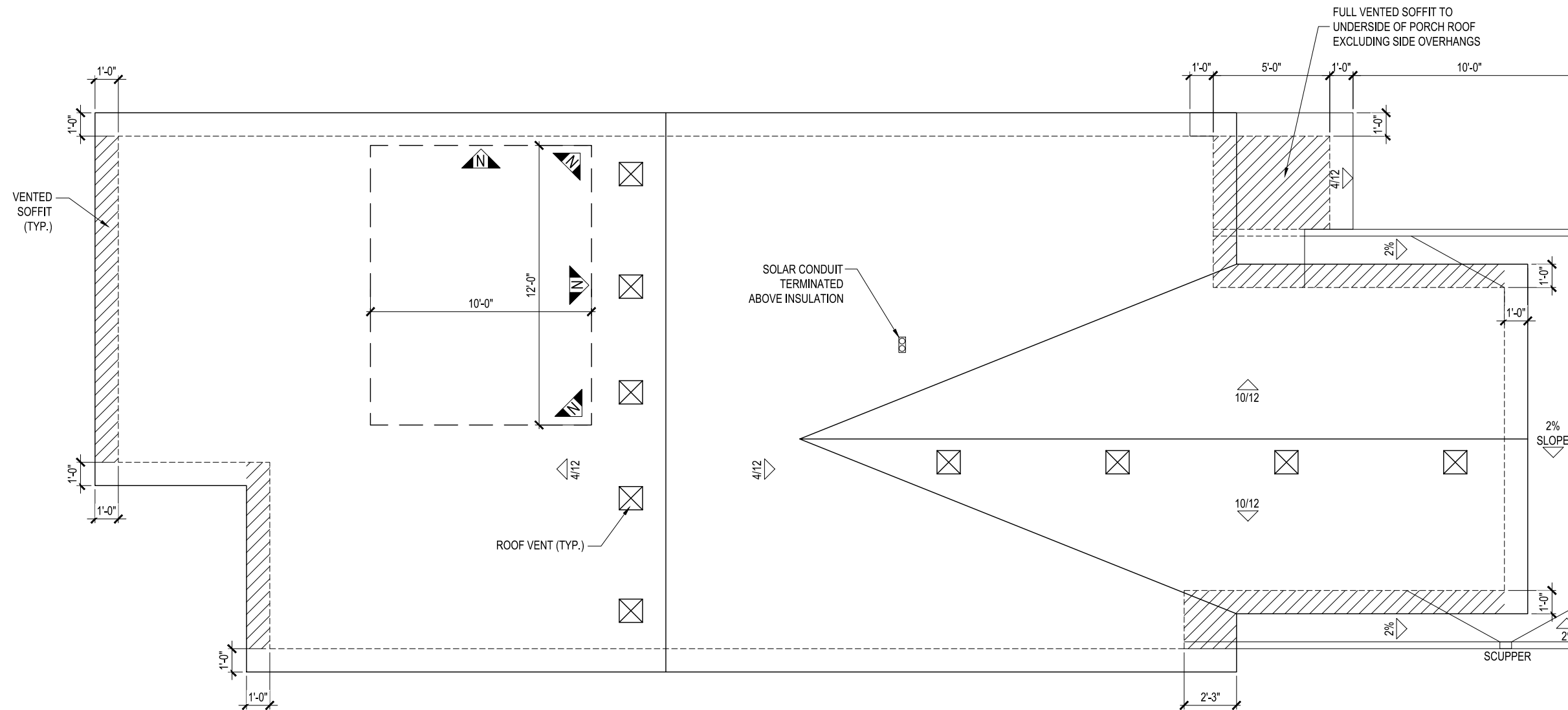
SHEET NUMBER
07

ROOF AREA

1141 Sq.Ft.

FRAMER NOTE:

- ENSURE THE EDGE OF THE BOTTOM ROOF VENT HOLE IS 48" AWAY FROM THE FASCIA
- ROOF VENTS MUST BE A MINIMUM OF 36" AWAY FROM VALLEYS
- STAGGER UPPER AND LOWER VENTS WHERE POSSIBLE
- ROOF VENT HOLES TO BE APPROX. 8" X 8"
- ROOF VENTS MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MIN. OF 12")
- ENSURE THAT VENTS AT EQUAL HEIGHT ARE IN LINE WITH EACH OTHER
- FRAMERS TO CONFIRM THE VENTING LAYOUT WITH ROOFING INSTALLER PRIOR TO FRAMING VENT LOCATIONS



ROOF PLAN

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YORKSHIRE
ELEVATION E

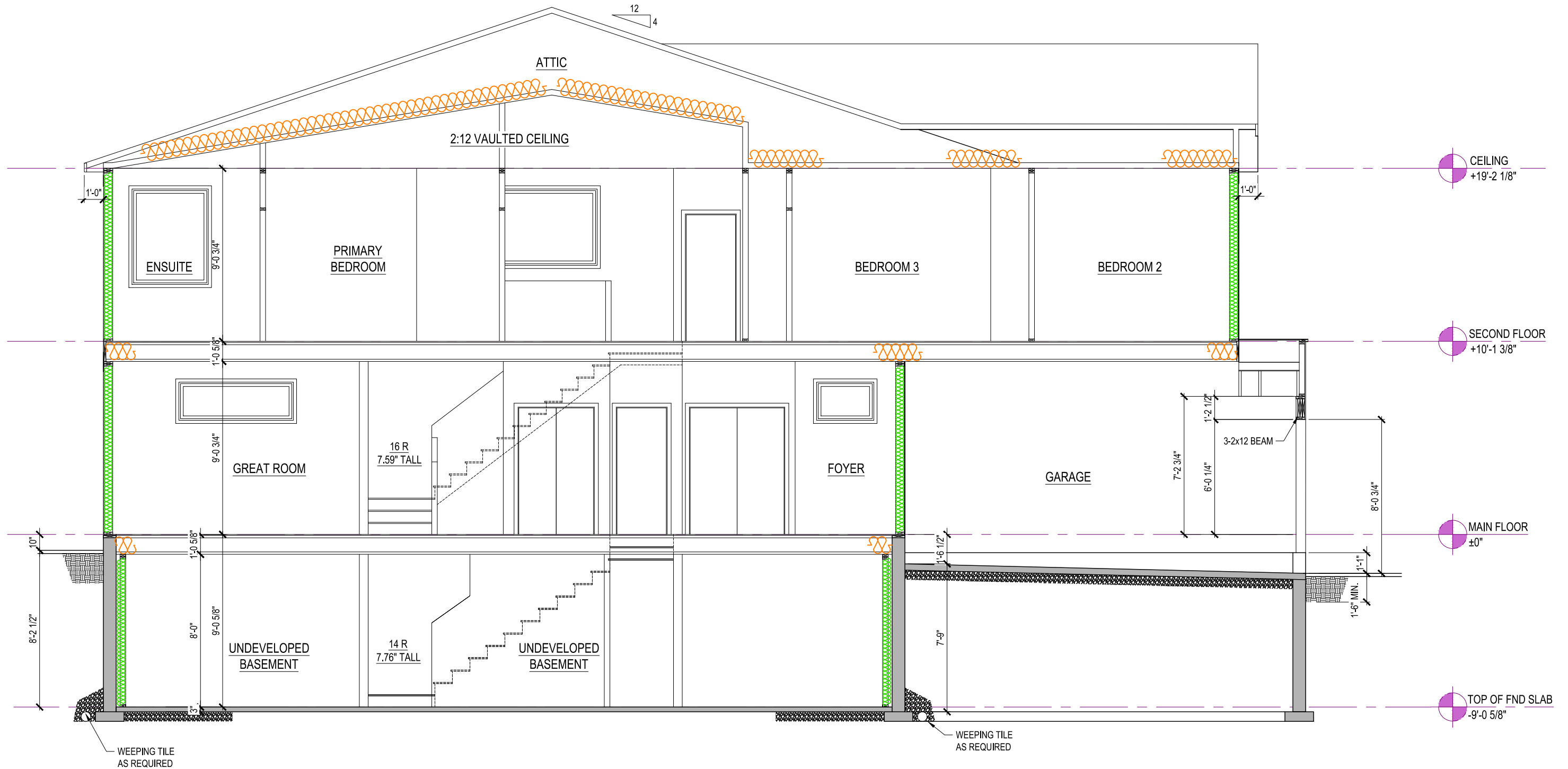
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08



SECTION E-A 8' BASEMENT 9' MAIN FLOOR 9' UPPER FLOOR

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REL	1	
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09

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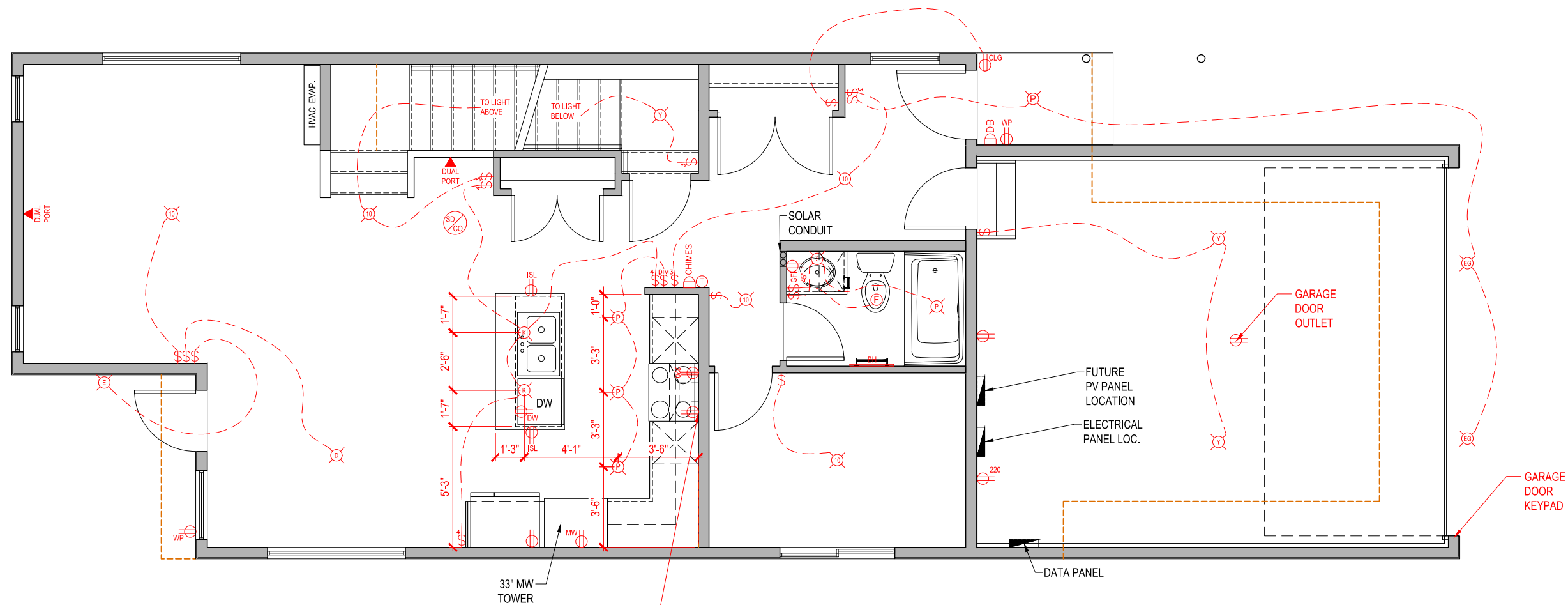
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REL	1	
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SHEET NUMBER

10



LEGEND	
	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	240 VOLT OUTLET
	GROUND FAULT OUTLET
	ISLAND OUTLET
	SOFFIT OUTLET
	WEATHER PROOF JUNCTION BOX FOR IRRIGATION WIRING
	SINGLE PORT DATA (ALSO TELEPHONE)
	DUAL PORT DATA
	DOORBELL
	THERMOSTAT
	DOORBELL CHIMES
	CO / SMOKE DETECTOR
	STANDARD SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	FLUSH MOUNT LIGHT FIXTURE (7" OR 10")
	STAIRWELL LIGHT PENDANT
	DINING LIGHT PENDANT
	KITCHEN LIGHT PENDANT
	SEMI FLUSH LIGHT FIXTURE
	TWO LIGHT VANITY LIGHT FIXTURE
	THREE LIGHT VANITY LIGHT FIXTURE
	WALL SCONCE LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR DOOR LAMP FIXTURE
	EXTERIOR GARAGE LAMP FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	3" GIMBALLE POT LIGHT
	UNDERCABINET LIGHTING
	TYPICAL CONDUIT
	BASEBOARD HEATER
	BATH FAN
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
	LONG RUN CONDUIT @72" PROVIDE BLOCKING AND POWER
	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN

MAIN FLOOR PLAN - ELECTRICAL

860 Sq.Ft.

GABLECRAFT HOMES™

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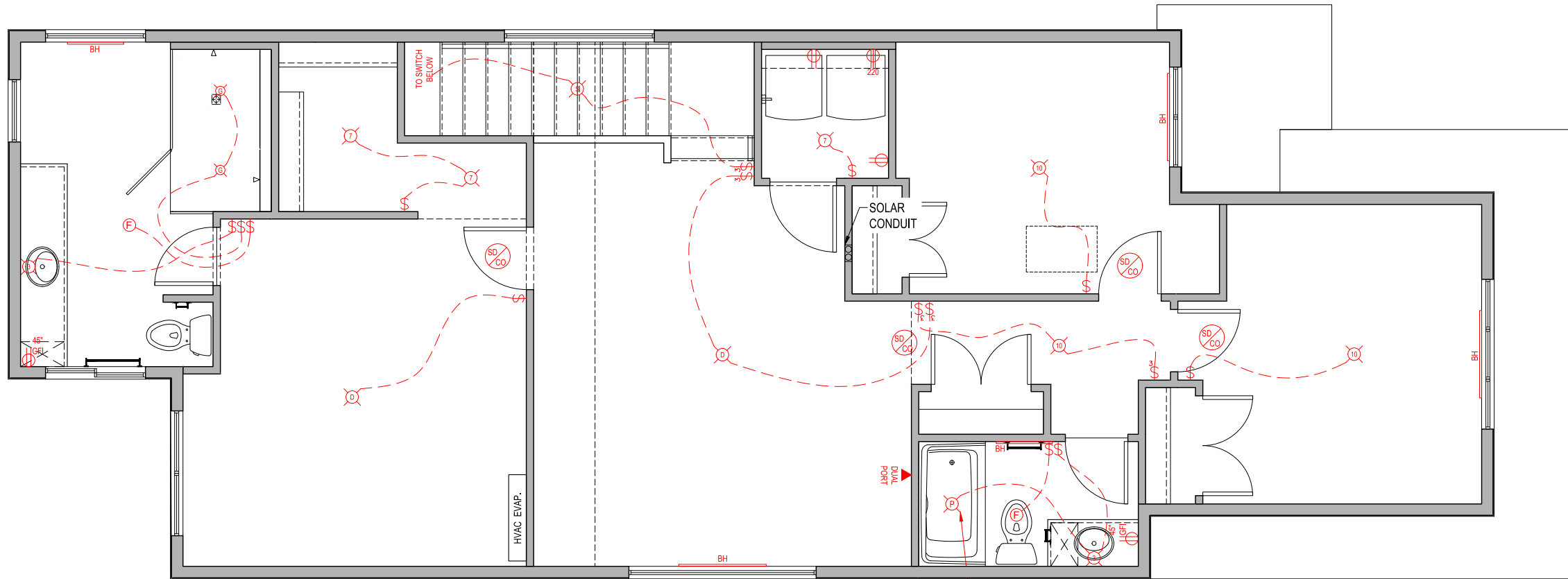
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11



POT LIGHT TO BE AS CENTERED AS ROOF FRAMING WILL ALLOW

SECOND FLOOR PLAN - ELECTRICAL

1141 Sq.Ft.

LEGEND	
	STANDARD OUTLET
	MICROWAVE OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	240 VOLT OUTLET
	GROUND FAULT OUTLET
	ISLAND OUTLET
	SOFFIT OUTLET
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	DIMMER SWITCH
	FLUSH MOUNT LIGHT FIXTURE (7" OR 10")
	STAIRWELL LIGHT PENDANT
	DINING LIGHT PENDANT
	KITCHEN LIGHT PENDANT
	SEMI FLUSH LIGHT FIXTURE
	TWO LIGHT VANITY LIGHT FIXTURE
	THREE LIGHT VANITY LIGHT FIXTURE
	WALL SCONCE LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR DOOR LAMP FIXTURE
	EXTERIOR GARAGE LAMP FIXTURE
	6" POT LIGHT
	4" POT LIGHT
	3" GIMBAL POT LIGHT
	UNDERCABINET LIGHTING
	TYPICAL CONDUIT
	BASEBOARD HEATER
	BATH FAN
	SHORT RUN CONDUIT @60" PROVIDE BLOCKING AND POWER
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	ELECT. BOX W/ WIRE LOOP TO BE PLACED 3" FROM CEILING FOR CHIMNEY STYLE HOOD FAN



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GENERAL NOTES:

- DO NOT SCALE DRAWINGS
 - ALL CONSTRUCTION IS TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND ALSO TO CONFORM TO THE CURRENT PROVINCIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS

A) CONCRETE WALL ASSEMBLIES: 2.17- 3.17

- NOTE: BEFORE DELIVERING CONCRETE TO SITE, TRADE TO CONTACT GABLECRAFT SUPERVISION TO CONFIRM ANY REQUIREMENT IN MIX DESIGN TO ACCOMMODATE HIGH SULFATE CONDITIONS SPECIFIC TO LOT
 - NOTE: BEFORE FORMING FOOTING ON SITE, TRADE IS TO CONTACT GABLECRAFT SITE SUPERVISION TO CONFIRM ANY SPECIFIC SIZING REQUIREMENTS DUE TO GEOTECHNICAL OR DEEP FILL REPORTS
 - FOUNDATION DAMPROOFING, 8" CONCRETE WALLS (25 MPA CONCRETE) REINFORCED W/ 4 ROWS OF 10M REBAR, 18"x6" CONTINUOUS CONCRETE FOOTINGS (20 MPA CONCRETE C/W 10M REBAR) WHEN REQUIRED AS PER SOIL BEARING TEST, MIN. 1'-6" BELOW GRADE & MIN. 4'-0" BELOW GRADE FOR FULL BASEMENT & CRAWL SPACE.
 - INTERIOR STUDS
 A-1= 2X4 INTERIOR STUDS @ 24" O/C W/PRESSURE TREATED 2X4 BOTTOM PLATE AND 2-2X4 TOP PLATES. 3" AIR GAP. FULL HEIGHT R-20 FIBERGLASS BATT INSULATION W/6 MIL POLY VAPOUR BARRIER TO FULL BASEMENT AREAS (RSI 3.17) A-2= 2X4 INTERIOR STUDS (FOR INTERIOR PARTY WALLS) @ 24" O/C W/ PRESSURE TREATED 2X4 BOTTOM PLATE AND 2-2X4 TOP PLATES. R-12 FIBERGLASS BATT INSULATION W/6 MIL POLY VAPOUR BARRIER TO UNFINISHED AREAS (RSI 2.17) A-3= FOILED BACK BLANKET INSULATION (R-12) TO CRAWL SPACE AREAS. (RSI=2.34)
 - WHERE STEP FOOTINGS OCCUR, THE VERTICAL DIMENSION OF EACH STEP SHALL NOT EXCEED 23 5/8" AND THE MINIMUM HORIZONTAL DIMENSION OF EACH STEP SHALL BE 23 5/8"
 - BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MINIMUM BEARING CAPACITY OF 100kPa OR GREATER.
 - INCREASE FOOTING SIZE TO 22"x7" FOR 3-STOREY HOUSES OR 2 STOREY WITH WALK-OUT BASEMENT CONDITION
 - 100MM (4") DIA. WEEPING TILE 150MM (6") CRUSHED STONE OVER AND AROUND WEEPING TILES
 - BEAM POCKET, MINIMUM BEARING 3 1/2"

LUMBER:

- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER, OR AS NOTED
 - ALL STUDS ARE CONSTRUCTION GRADE SPRUCE OR BETTER

ENGINEERED FRAMING PRODUCTS:

- ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER

TRUSSES:

- ENGINEERED ROOF TRUSSES TO BE INSTALLED AS PER DRAWINGS PROVIDED WITH THE MANUFACTURER'S SPECIFICATION SUPERSEDING
 - STANDARD EAVE OVERHANG AS PER ELEVATION

FLOORS AND SUPPORTS:

- ENGINEERED COLUMNS AND BEAMS AS PER ENGINEERED FLOOR DRAWINGS
 - LVL BEAMS SHALL BE 2.OE WS MICRO-LAM LVL (Fb=2800psi.MINIMUM) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 3 1/2" LONG COMMON WIRE NAILS @ 12" O/C STAGGERED IN 2 ROWS FOR 7 1/4", 9 1/2", 11 7/8" DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 1/2" DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM @ 3'-0" O/C
 - JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS

FRAMING NOTES:

- ENSURE EDGE OF LOWER ROOF VENT HOLES ARE 48" FROM THE FASCIA
 - ROOF VENTS MUST BE A MINIMUM OF 36" FROM VALLEYS
 - STAGGER UPPER & LOWER VENTS WHERE POSSIBLE
 - ROOF VENT HOLES TO BE APPROX. 8"x8"
 - ROOF VENT MUST BE AS CLOSE TO RIDGE AS POSSIBLE (MINIMUM 12")
 - ENSURE VENTS AT EQUAL HEIGHTS ARE IN LINE W/ EACH OTHER
 - STANDARD EAVE OVERHANG AS PER ELEVATION
 - SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT PROVINCIAL BUILDING CODE.
 - BUILT-UP-POST WITH DAMPROOFING MATERIAL WRAPPED AT THE END OF POST ANCHORED TO CONCRETE FOOTING

EXPOSED BUILDING FACE

- EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES WHERE LIMITING DISTANCE IS LESS THAN 3'-11". WHERE THE LIMITING DISTANCE IS LESS THAN 1'-11", THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL

B) FIRE SEPERATION WALLS:

SECONDARY SUITE:

(USING PHOTO-ELECTRIC SMOKE/CO DETECTORS IN SUITE INTERCONNECTED TO MAIN HOME)

WALL TYPE = W3C (FIRE = 45 MIN, STC = 43)

- 1/2" TYPE X DRYWALL (MAIN UNIT SIDE)
 - 2X4 STUDS @ 24" O/C UNLESS OTHERWISE NOTED
 - 3 1/2" FIBREGLASS BATT INSULATION
 - RESILIENT METAL CHANNEL @ 24" O/C (SUITE SIDE)
 - 1/2" TYPE X DRYWALL (SUITE SIDE)
 - ALL PENETRATIONS TO BE FIRE RATED
 SEMI-ATTACHED:
 - MIN. 1 HOUR FIRE RATED PARTY WALL
 - 2 LAYER 1/2" TYPE X DRYWALL (1/2" OVER 5/8" TO BATHROOM AREAS)
 - 2x4/2x6 STUDS @ 16" O/C
 - 3 1/2" MINERAL FIBRE THERMAL BATT INSULATION
 - 1" GAP
 - 3 1/2" MINERAL FIBRE THERMAL BATT INSULATION
 - 2x6 STUDS @ 16" O/C
 - 2 LAYER 1/2" TYPE X DRYWALL (1/2" OVER 5/8" TO BATHROOM AREAS)
 - ALL PENETRATIONS TO BE FIRE RATED
 - REFER TO DETAILS FOR ADDITIONAL INFORMATION

NOTE: STABILITY OF NARROW (20'-25') & TALL (+/- 30') HOUSES:

- BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION.
 - IN ADDITION TO STIFFING THE STRUCTURE IN TRANSVERSE DIRECTION USE 7/16" THICK PLYWOOD NAILED TO THE INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2 INTERIOR PARTITION WALLS ON BOTH SIDES AND PERPENDICULAR TO THE LONG WALLS.

C) TALL WALLS: RSI = 2.60

- SEE ENGINEERING LETTERS AND/OR LAYOUTS

D) INTERIOR PARTITION WALL ASSEMBLIES

INTERIOR STUD PARTITIONS:

- BEARING PARTITIONS 2"x4" @ 16" O/C FOR 2 STORIES AND 12" O/C FOR 3 STORIES, 1/2" DRYWALL BOTH SIDES
 - NON-BEARING PARTITIONS 2"x4" @ 24" O/C PROVIDE (1-2"x4") BOTTOM PLATE AND (2-2"x4") TOP PLATE, 1/2" DRYWALL BOTH SIDES OF STUD, PROVIDE 2"x6" @ 24" O/C STUDS/PLATES WHERE NOTED. NON-BEARING PARTITIONS 2"x4" OR 2"x6" @ 24" O/C, 1/2" DRYWALL BOTH SIDES

- DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES

E) FLOOR ASSEMBLIES: RSI = 1.80 - 3.72

GENERAL CONDITION:

- FINISH AS SPECIFIED
 - 3/8" PARTICLE BOARD UNDER LINO AREAS
 - 3/4" TONGUE & GROOVE O.S.B NAILED, GLUED, AND SCREWED
 - ENGINEERED FLOOR SYSTEM PONY WALL CONDITION (RSI = 1.80) END RIM BOARD CONDITION (RSI = 3.74)
 - R-19 FIBERGLASS BATT INSULATION TO RIM JOISTS & VENT PENETRATION ONLY
 - STRAPPING AS REQUIRED
 - 1/2" DRYWALL AS REQUIRED

SUITE SEPARATION:

FLOOR TYPE = F8H (FIRE = 30 MIN, STC =48, IMPACT = 43)

- FINISH AS SPECIFIED
 - 3/8" PARTICLE BOARD UNDER LINO AREAS
 - 3/4" TONGUE & GROOVE O.S.B NAILED, GLUED, AND SCREWED
 - ENGINEERED FLOOR SYSTEM PONY WALL CONDITION (RSI = 1.80) END RIM BOARD CONDITION (RSI = 3.74)
 - 5 1/2" FIBREGLASS BATT INSULATION
 - RESILIENT CHANNEL @ 24" O/C
 - 1/2" TYPE X DRYWALL

EXTERIOR ENVELOPE WALL ASSEMBLIES:

F) EXTERIOR WALL: RSI= 2.64 - 2.78

- FINISHED AS SPECIFIED
 - BUILDING PAPER
 - 7/16" O.S.B
 - FIRE RETARDANT SPRAY
 - 2"x6"
 STUDS @ 24" O/C, RSI = 2.78
 STUDS @ 16" O/C (ON MAIN FLOOR FOR HOMES W/ LOFTS OR STUCCO FINISHED WALLS), RSI = 2.69
 STUDS @ 12" O/C, RSI = 2.64
 - R-19 FIBERGLASS BATT INSULATION
 - WINDOW & DOOR LINTEL TO BE 2-2"x10" OR AS PER CURRENT PROVINCIAL BUILDING CODE
 - FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
 - 6 MIL POLY VAPOUR BARRIER
 - 1/2" DRYWALL (DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES)

EXTERIOR ENVELOPE WALL ASSEMBLIES:

G) EXTERIOR WALL: RSI= 2.64 - 2.78

- FINISHED AS SPECIFIED
 - BUILDING PAPER
 - 7/16" O.S.B
 - FIRE RETARDANT SPRAY
 - 2"x6"
 STUDS @ 24" O/C, RSI = 2.78
 STUDS @ 16" O/C (ON MAIN FLOOR FOR HOMES W/ LOFTS OR STUCCO FINISHED WALLS), RSI = 2.69
 STUDS @ 12" O/C, RSI = 2.64
 - R-19 FIBERGLASS BATT INSULATION
 - WINDOW & DOOR LINTEL TO BE 2-2"x10" OR AS PER CURRENT PROVINCIAL BUILDING CODE
 - FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
 - 6 MIL POLY VAPOUR BARRIER
 - 1/2" DRYWALL (DENSESHIELD/MOLDTOUGH OR EQUIVALENT TO BE USED BEHIND ALL SHOWER/TUB ENCLOSURES)

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YORKSHIRE
ELEVATION E

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COLUMBIA

LOT	42	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-0100042	

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13

H) STANDARD ATTACHED GARAGE EXTERIOR WALL: RSI= 2.69-2.78

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- 2X6 STUDS @ 24" O/C (RSI=2.78) (16" O/C FOR STUCCO) FINISHED WALLS(RSI= 2.69))
- R-19 FIBERGLASS BATT INSULATION
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

I) CANTILEVER FLOOR AND WALL ASSEMBLY: RSI= 4.86

- 3/4" O.S.B
- JOISTS
- TO CANTILEVER R-28 FIBERGLASS BATT INSULATION (RSI=4.86) 1/2" EXTERIOR DRYWALL IF DISTANCE TO GRADE IS GREATER THAN 24"
- NON-VENTED SOFFIT ON EXPOSED AREAS

I) ZERO LOT LINE HIRF WALL: RSI= 2.69

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 5/8" EXTERIOR GYPSUM EQUIVALENT (5/8" TO BE USED ON LOFT MODELS)
- 2"X6" STUDS @ 16" O/C
- R-19 FIBERGLASS BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 5/8" TYPE X DRYWALL

J) WALKOUT WALL: RSI = 2.69

- FINISHED AS SPECIFIED
- BUILDING PAPER
- 7/16" O.S.B
- 2"X6" STUDS @ 16" O/C
- R-19 FIBERGLASS BATT INSULATION
- FLASHING OVER ALL OPENINGS OR AS PER CURRENT PROVINCIAL BUILDING CODE
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

K) ROOF CONSTRUCTION: RSI = 4.79 - 7.07

- ASPHALT SHINGLES
- 7/16" O.S.B SHEATHING WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" O/C MAXIMUM
- K1- TYPICAL TRUSS ASSEMBLY W/ R40 GLASS FIBRE LOOSE FILL INSULATION = RSI 7.07
- K2- VAULTED TRUSS ASSEMBLY W/ R40 BATT INSULATION = RSI 6.91
- K3- RAFTER CEILING ASSEMBLY W/ R28 BATT INSULATION = RSI 4.79
- APPROVED EAVE PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND 12" BEYOND INNER FACE OF EXTERIOR WALL. 2"X4" TRUSS BRACING @ 6'-0" O/C AT BOTTOM CHORD.
- PREFINISHED ALUMINUM EAVES TROUGH, FASCIA, EAVESTROUGH & VENTED OR NON-VENTED (WHERE REQUIRED) SOFFIT.
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRYWALL

CONCRETE FLATWORK:

- BEFORE DELIVERING CONCRETE TO SITE, TRADE TO CONTACT GABLECRAFT SUPERVISION TO CONFIRM ANY REQUIREMENT IN MIX DESIGN TO ACCOMMODATE HIGH SULFATE CONDITIONS SPECIFIC TO LOT.

DRIVEWAY:

- DRIVEWAY TO BE 4" THICK 32MPA CONCRETE DURAMIX SIDEWALK/FrontWALK:
- FRONT WALK TO BE POURED WIDTH OF FRONT STEPS AND FLARED DOWN TO 3'-0" WIDE.

L) BASEMENT/ WALKOUT SLAB: RSI = 0.19

- 3" THICK CONCRETE SLAB 32 MPA TYPE 10 CONCRETE, 6 MIL POLY VAPOUR

- BARRIER - JOISTS TO BE LAPPED
- 3" TYPE 1 EXTRUDED POLYSTYRENE FOR 4'-0" HORIZONTALLY AND VERTICALLY FROM U/S SLAB TO TOP OF FOOTING WHERE SLAB IS ABOVE GRADE (WALKOUTS)
- 6" DRAINAGE GRAVEL

N) 3-STOREY CURB DETAIL: RSI = 1.84

- 3" CONCRETE SLAB ON GRADE
- 3 1/2" STUDS
- R-12 FIBREGLASS BATT INSULATION
- FROST CURB TO OVER-LAP FRAMED EXTERIOR WALL BY MIN. 6"
- 6 MIL POLY VAPOUR BARRIER
- 3 1/2" PT HALF LADDER IN 8" FOUNDATION WALL
- EXTERIOR WALL ASSEMBLY ON TOP OF FOUNDATION WALL

O) BALCONY ASSEMBLY: RSI= 5.09

- 1/2" INTERIOR CEILING DRYWALL FINISH OR APPROVED EQUAL.
- R-28 FIBERGLASS BATT INSULATION
- 1 JOIST RAFTER
- 3/4" G1S PLYWOOD SLOPED 1/4" PER FOOT
- VINYL DECKING

P) FLOOR ABOVE GARAGE ASSEMBLY: RSI= 4.99

- 3/4" T & G OSB TO ACT AS AIR VAPOR AND BARRIER
- R-28 FIBERGLASS BATT INSULATION
- 1/2" INTERIOR CEILING DRYWALL FINISH OR APPROVED EQUAL.
- IF IN A SIDE YARD, SEE FOR HIRF ADDITIONS.

DETACHED GARAGE SLAB:

- 3 1/2" THICK 32 MPA CONCRETE DURAMIX SLOPED TO FRONT AT 1% MINIMUM
- 6" COMPACTED SAND

ATTACHED GARAGE SLAB:

- 4" 32 MPA CONCRETE SLAB SLOPED 5" TO FRONT W/5-8% AIR VENT WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL

STUCCO WALL ASSEMBLY:

- STUCCO APPLICATION, BUILDING PAPER EXPANDED METAL LATH, 3/8" O.S.B EXT. TYPE SHEATHING, 2"X6" STUDS @ 16" O/C
- PROVIDE 1-2"X6" BOTTOM PLATE AND 2-2"X6" TOP PLATE, R-19 BATT. INSULATION

BRICK VENEER CONSTRUCTION:

- STEEL LINTELS SIZED AND BOLTED IN ACCORDANCE TO THE ENGINEERS REVIEW AND DESIGN
- 4" FACE BRICK
- 1" AIR SPACE
- 7/8"X7"X0.03" GALVANIZED METAL TIES @ 32" O/C HORIZONTAL 16" O/C VERTICAL
- APPROVED SHEATHING PAPER 1/2" O.S.B EXT. TYPE SHEATHING
- 2"X6" STUDS @ 16" O/C
- R20 FIBERGLASS BATT INSULATION AND 6 MIL POLY VAPOUR BARRIER WITH APPROVED CONTINUOUS AIR BARRIER.
- 1/2" DRYWALL FINISH
- PROVIDE WEEP HOLES @ 32" O/C BOTTOM COURSE, PROVIDE BASE FLASHING UP MINIMUM 6" BEHIND BUILDING PAPER
- SEE ENGINEERS BRICK CLADDING DETAIL

WINDOWS AND EXTERIOR DOORS:

- LOW-E COATING TO ALL WINDOWS AND DOORS, EXCLUDING STANDARD BASEMENT WINDOWS
- MINIMUM BEDROOM WINDOW - CURRENT PROVINCIAL BUILDING CODE
- AT LEAST ONE BEDROOM WINDOW PER BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MINIMUM CLEAR WIDTH OF 1'-3" WINDOW GUARDS - CURRENT PROVINCIAL BUILDING CODE
- A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-6" ABOVE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR

- TO ADJACENT GRADE IS GREATER THAN 5'-11"
- STANDARD WINDOW HEIGHT TO BE 6'-11 3/4" FROM SUB-FLOOR TO TOP OF WINDOW, UNLESS OTHERWISE SPECIFIED
- RESISTANCE TO FORCED ENTRY
- ALL WINDOWS WITHIN 6'-7" OF ADJACENT GROUND LEVEL AND ALL ENTRANCE DOORS TO DWELLING UNITS ARE TO BE RESISTANT TO FORCED ENTRY AS PER CURRENT PROVINCIAL BUILDING CODE
- WINDOW OVER STAIRS & LANDINGS AS PER CURRENT PROVINCIAL BUILDING CODE
- A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 2'-11" ABOVE THE SURFACE OF THE TREAD, RAMP, OR LANDING
- U VALUE OF ALL DOORS, WINDOWS AND SKYLIGHTS TO BE NO GREATER THAN 1.7 W/ (SQ.M. K).
- STANDARD WINDOW HEIGHT TO BE FRAMED @ 7'-0" FROM FLOOR TO U/S OF HEADER

DRYWALL AND INSULATION:

- GARAGE:
- 1/2" GYPSUM BOARD ON INTERIOR GARAGE WALL AND CEILING, 6 MIL POLY VAPOUR BARRIER, R-19 BATT. INSULATION IN WALL & R-40 BATT. INSULATION IN CEILING, TAPE AND SEAL & STRUCTURAL SUPPORT ALL JOINTS, IN ORDER TO BE GAS/FUME TIGHT
- FOAM INSULATION:
- PROVIDE R28 FIBERGLASS BATT INSULATION & VAPOUR BARRIER FOR CANTILEVERED FLOORS.

STAIRS AND RAILINGS:

- ALL STAIRS/EXTERIOR STAIRS, B.C. BUILDING CODE 2018.
- MAXIMUM RISE: 7 7/8"
- MAXIMUM NOSING: 1"
- MINIMUM HEADROOM: 6'-8 3/4"
- RAIL HEIGHT @ LANDING: 3'-6"
- RAIL HEIGHT @ STAIRS: 3'-6"
- MINIMUM STAIR WIDTH: 2'-10"
- RAILINGS
- FINISHED RAILING ON PICKETS SPACED MAXIMUM 4" BETWEEN PICKETS GUARDS
- INTERIOR GUARD HEIGHT: 3'-0" MINIMUM
- EXTERIOR GUARD HEIGHT: 3'-0" MINIMUM
- STAIRS TO BE MANUFACTURED TO 3" NARROWER THAN STAIRWELL OPENING

ELECTRICAL NOTES:

- WHEN PLACING SWITCHES AND OUTLETS OVER COUNTERTOP AREAS ENSURE PLATES (UNLESS SPECIFIED OTHERWISE DUE TO LOCATION)
- ALL ELECTRICAL LOCATIONS ARE APPROXIMATE AND PLACED AS PER CODE
- PROVIDE & INSTALL GARAGE DOOR OPENER C/W 2 REMOTE OPENERS & MOTION SENSOR
- ELECTRICAL PANEL LOCATION TO BE DETERMINED ON SITE
- STANDARD ELECTRICAL SWITCH HEIGHT TO BE 45" TO BOTTOM OF BOX
- SMOKE / CO DETECTORS IN BASEMENTS SUITE TO BE PHOTO-ELECTRIC AND BE INTERCONNECTED TO THE MAIN HOUSE

FLOOR PLAN NOTES:

- PLACE MIRROR DIRECTLY ABOVE BACKSPLASH IN BATHS
- WHEN PLACING WASHER & DRYER, ENSURE THAT THE DRYER IS TO THE RIGHT OF THE WASHER
- FURNACE AND GHWT LOCATIONS ARE APPROX. AND MAY BE ALTERED PENDING ON SITE CONDITIONS
- MAN DOOR TO ATTACHED GARAGE WILL BE EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
- ATTIC HATCH TO BE 22"x36", ACCESS HATCHES CANNOT ALWAYS BE INSTALLED WHERE SPECIFIED TO ALLOW PROPER SPACE FOR MAN ACCESS AS PER BUILDING CODE.

HVAC NOTES

- SECONDARY SUITES TO BE HEATED WITH BASEBOARD HEATING WITH THE USE OF PASSIVE VENTING AND A CONTINUOUS PRINCIPAL EXHAUST FAN



3588B QUARRY STREET
VICTORIA, BRITISH COLUMBIA V9C 0S4

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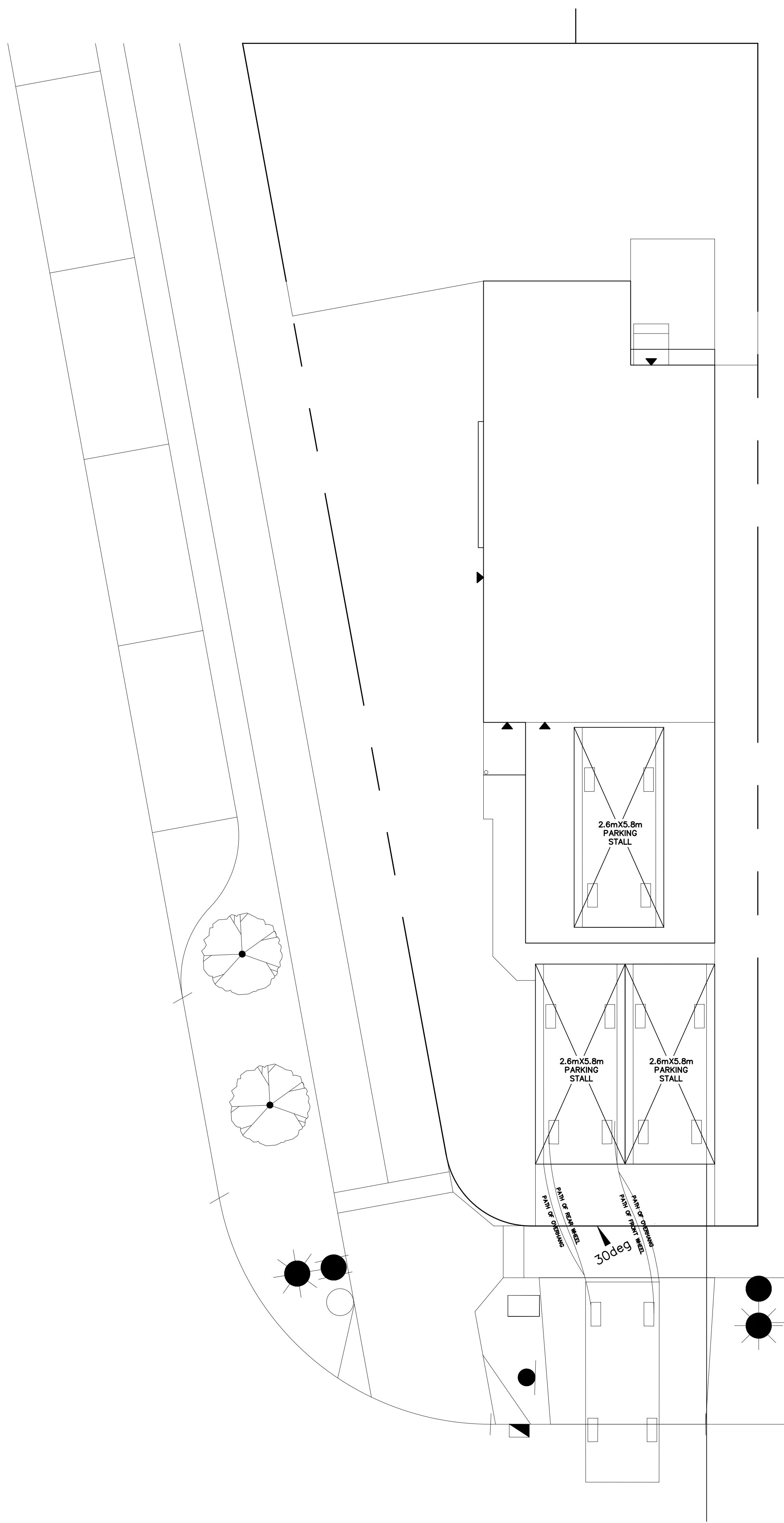
YORKSHIRE
ELEVATION E

2001 SQ. FT.

3587 Westerly Place, COLWOOD, BRITISH
COLUMBIA

LOT	42	SCALE: $\frac{3}{16}'' = 1'-0''$
SEC	0	
REL	1	
JOB	44-0100042	

REV. NO.	DESIGN	DATE	REMARKS
1	MS	05/12/23	INITIAL WORKING DRAWINGS



PARKING PLAN

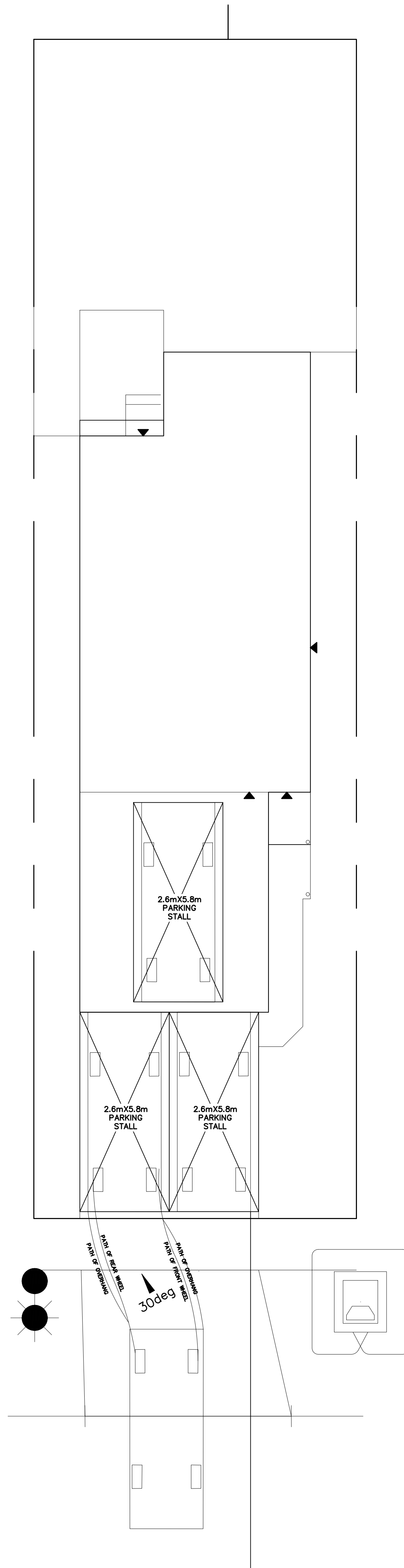


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LOT	41	SECTOR	0	REL	1
JOB	44-0100041	SCALE	1:75		
3585 WESTERLY PLACE, COLWOOD, BRITISH COLUMBIA					

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	03/30/22	INITIAL PARKING DRAFTING
2	CVD	05/10/23	FINAL PARKING DRAFTING

SHEET NUMBER
PLOT
 8/26/2020 3:42 PM



PARKING PLAN

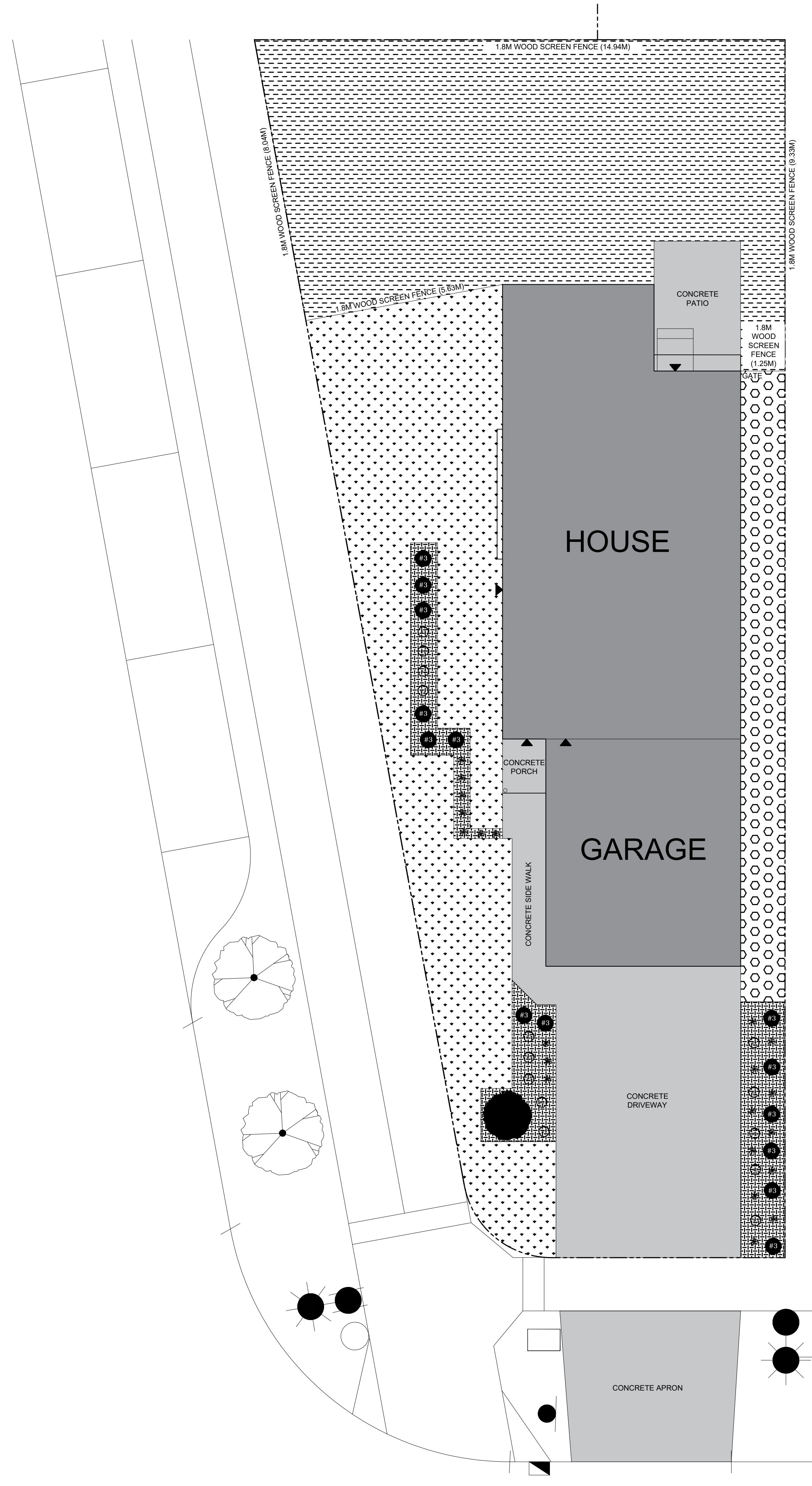


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LOT	42	SECTOR	0	REL	1
JOB	43-0100042	SCALE	1:75		
3587 WESTERLY PLACE, COLWOOD, BRITISH COLUMBIA					

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	03/30/22	INITIAL PARKING DRAFTING

SHEET NUMBER
PLOT
 8/26/2020 3:42 PM



LANDSCAPE PLAN

PLANTING LEGEND						
KEY	QTY	PLANTING	PLANTING SIZE	SPECIES A	SPECIES B	SPECIES C
#R	14	HEDGING SHRUB	#0 POT, 4-8FT IN HEIGHT 15" DEEP GROWING MEDIUM	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	YELLOW RIBBON HEDGING CEDAR <i>Thuja occidentalis 'Yellow Ribbon'</i>
#S	14	SHORT SHRUB	#2 POT, 60cm SPREAD 15" DEEP GROWING MEDIUM	DAVID'S VIBURNUM <i>Viburnum davidii</i>	KINKIKINICK <i>Actinophora chinensis</i>	DAWLEAF HYDRANGEA <i>Hydrangea davidsonii</i>
#E	21	ORNAMENTAL GRASS	#1 POT, 20cm SPREAD 15" DEEP GROWING MEDIUM	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>
#T	1	TREE	20ft HEIGHT, TREE PIT TO BE DEPTH OF ROOT BALL WITH WIDTH BEING AT LEAST TWICE THE WIDTH OF ROOT BALL WITH SAUCER SHAPED SIDES. BARK MULCH COVER, PROVIDE A CLEAN MULCHED 3FT DIAMETER CIRCLE CENTRED ON TREE.	KOUSA DOGWOOD <i>Quercus KUSA</i>	FRANS FONTAINE EUROPEAN HORSEAM <i>Comptonia reticulata 'Frans Fontaine'</i>	MAIDENHAIR TREE <i>BANKSIA</i>

LOT IMPROVEMENTS LEGEND				
KEY	QTY	MATERIAL	SPECIFICATION	REMARKS
[Pattern]	101.64	LOAM (TOP SOIL) ONLY	TESTED AND APPROVED GROWING MEDIUM	MINIMUM 1% SLOPE
[Pattern]	83.66	LOAM (TOP SOIL), SOIL AND IRRIGATION	NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS	1. LOAM TO BE A MINIMUM OF 1" DEEP 2. SOIL TO BE NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS FOR SUN PLOTS FOR SHADE
[Pattern]	20.96	GRAVEL	CRUSHED GRANITE SCREENING	1. LARGER PARTICLES MUST BE REMOVED FROM GRAVEL
[Pattern]	21.92	BARK MULCH	MIN. 10MM (3/8") AND DARK BROWN IN COLOUR	1. FREE OF FERTILIZERS, SOIL, COPEL, FERTILIZERS AND OTHERS. ALL BARK, LOGS, BRUSH AND OTHERS TO BE REMOVED FROM THE SITE. 2. BARK MULCH TO BE 100% FRESH GRASSHOPPER MULCH. FRESH GRASSHOPPER MULCH WILL BE REJECTED.
[Pattern]	112.79	1.8M WOOD SCREEN FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	1.8M METAL FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	0.8M DECORATIVE WOOD FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	STACKED STONE RETAINING WALL	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER PLOT PLAN
[Pattern]	79.93	BROOM FINISHED CONCRETE	DRIVEWAY, APRONS, AND SIDEWALKS	1. LOCATIONS AS PER PLOT PLAN

IMPORTANT NOTES

- ANY DEVIATIONS FROM THE ABOVE MUST BE FIRST REVIEWED AND APPROVED BY GABLECRAFT PRIOR TO INSTALLATION
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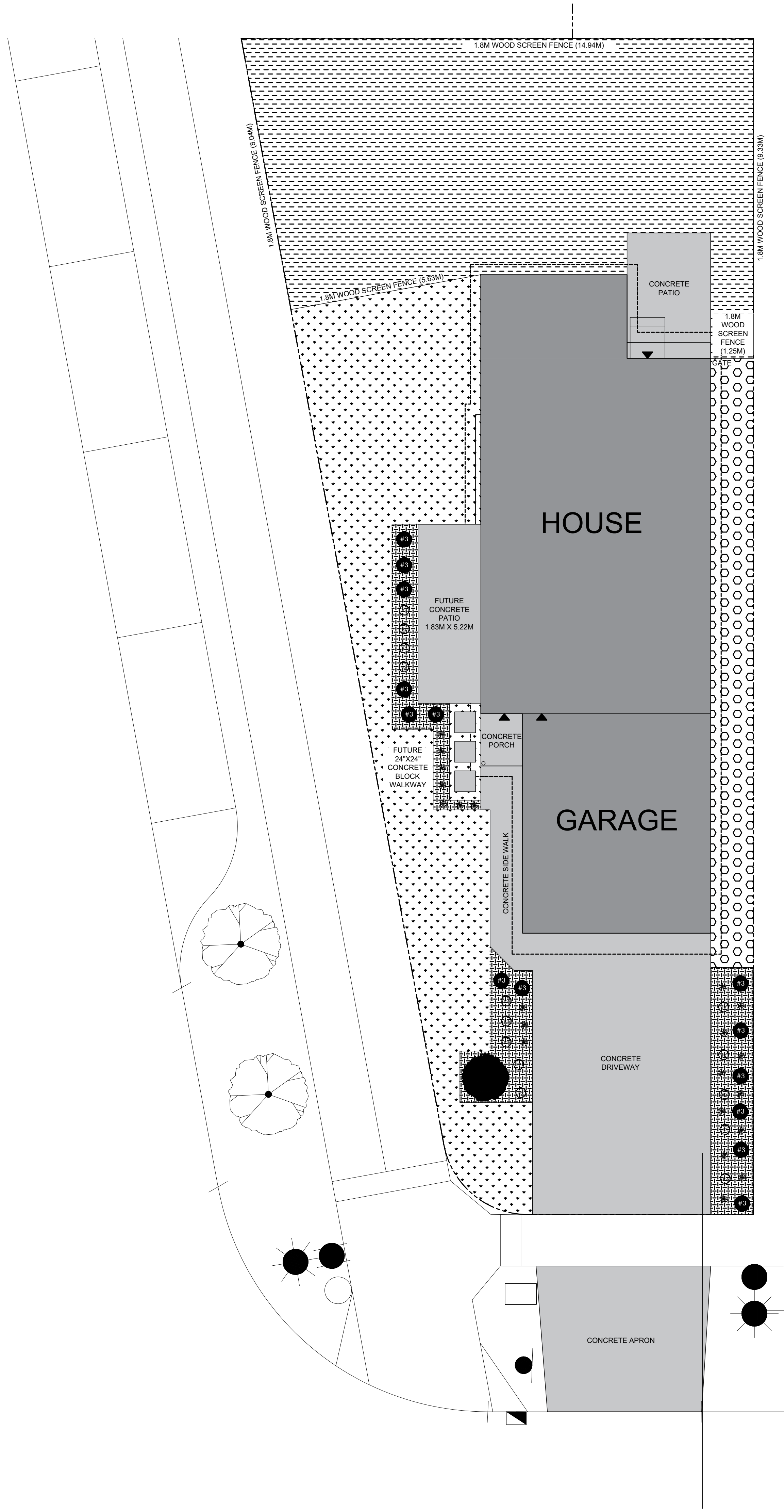
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LOT 41 SECTOR 0 REL 1
JOB 44-0100041 SCALE 1:75
**3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	04/28/23	INITIAL LANDSCAPE DRAFTING

SHEET NUMBER
PLOT

Option for Suite



LANDSCAPE PLAN

PLANTING LEGEND						
KEY	QTY	PLANTING	PLANTING SIZE	SPECIES A	SPECIES B	SPECIES C
#R	14	HEDGING SHRUB	#0 POT, 4-8FT IN HEIGHT 15" DEEP GROWING MEDIUM	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	YELLOW RIBBON HEDGING CEDAR <i>Thuja occidentalis 'Yellow Ribbon'</i>
#S	14	SHORT SHRUB	#2 POT, 60cm SPREAD 15" DEEP GROWING MEDIUM	DAVID'S VIBURNUM <i>Viburnum davidii</i>	KINKKINICK <i>Actinophyes chinensis</i>	DAMLEAF HYDRANGEA <i>Hydrangea davidsonii</i>
#G	21	ORNAMENTAL GRASS	#1 POT, 20cm SPREAD 15" DEEP GROWING MEDIUM	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>
#T	1	TREE	20th HEIGHT, TREE PIT TO BE DEPTH OF ROOT BALL WITH WIDTH BEING AT LEAST TWICE THE WIDTH OF ROOT BALL WITH SAUCER SHAPED SIDES. BARK MULCH COVER, PROVIDE A CLEAN MULCHED 3FT DIAMETER CIRCLE CENTRED ON TREE.	KOUSA DOGWOOD <i>Quercus koehneana</i>	FRANS FONTAINE EUROPEAN HORSEAM <i>Comptonia reticulata 'Frans Fontaine'</i>	MAIDENHAIR TREE <i>Banksia laevis</i>

LOT IMPROVEMENTS LEGEND				
KEY	QTY	MATERIAL	SPECIFICATION	REMARKS
[Pattern]	101.64	LOAM (TOP SOIL) ONLY	TESTED AND APPROVED GROWING MEDIUM	1. MINIMUM 1% SLOPE
[Pattern]	83.66	LOAM (TOP SOIL), SOD, AND IRRIGATION	NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS	2. SOIL TO BE A MINIMUM OF 1% SLOPE
[Pattern]	20.96	GRAVEL	CRUSHED GRANITE SCREENINGS	3. SOIL TO BE NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS FOR SUN POCHE FOR SHADE
[Pattern]	21.92	BARK MULCH	MIN. 10MM (3/8") AND DARK BROWN IN COLOUR	4. LARGER TREES MUST BE SET 1500mm DOWN, 500mm WIDE
[Pattern]	112.79	1.8m WOOD SCREEN FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	5. FENCE TO BE 1.8m WIDE AT TOP
[Pattern]	0	1.8M METAL FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	6. FENCE TO BE 1.8m WIDE AT TOP
[Pattern]	0	0.8M DECORATIVE WOOD FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	7. FENCE TO BE 0.8m WIDE AT TOP
[Pattern]	0	STACKED STONE RETAINING WALL	SEE TYPICAL DETAIL FOR CONSTRUCTION	8. WALL TO BE 1.8m WIDE AT TOP
[Pattern]	79.93	BROOM FINISHED CONCRETE	DRIVEWAY, APRONS, AND SIDEWALKS	9. CONCRETE TO BE 150mm THICK

IMPORTANT NOTES

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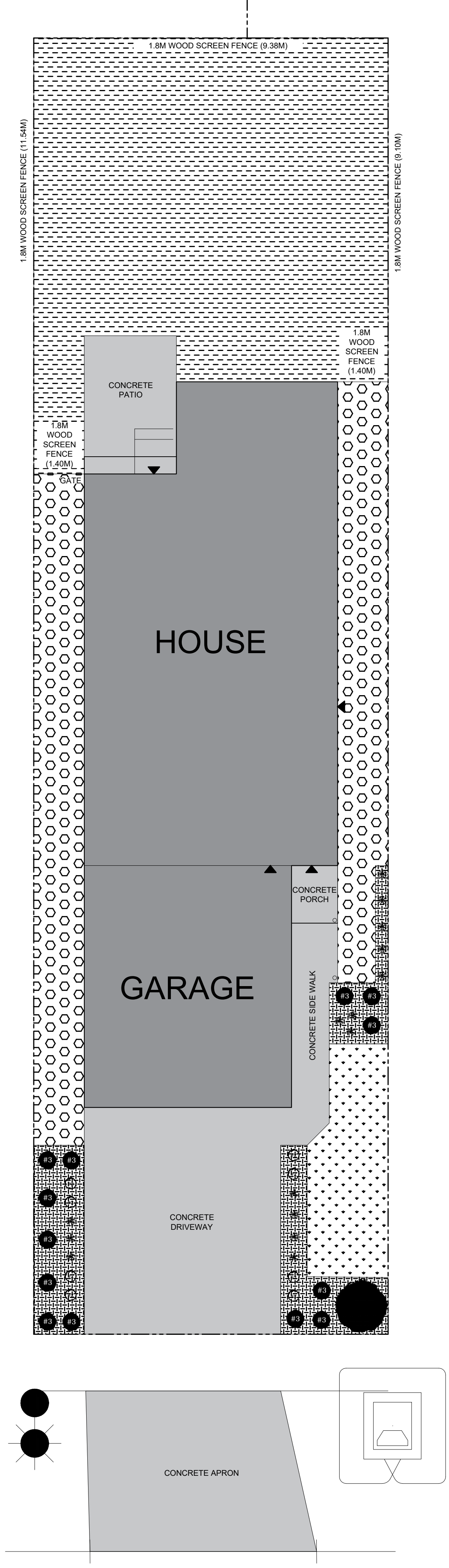
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LOT 41 SECTOR 0 REL 1
JOB 44-0100041 SCALE 1:75
**3585 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	04/28/23	INITIAL LANDSCAPE DRAFTING

SHEET NUMBER
PLOT



LANDSCAPE PLAN

PLANTING LEGEND						
KEY	QTY	PLANTING	PLANTING SIZE	SPECIES A	SPECIES B	SPECIES C
#R	13	HEDGING SHRUB	#0 POT, 4-8FT IN HEIGHT 15" DEEP GROWING MEDIUM	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	YELLOW RIBBON HEDGING CEDAR <i>Thuja occidentalis 'Yellow Ribbon'</i>
#S	8	SHORT SHRUB	#2 POT, 60cm SPREAD 15" DEEP GROWING MEDIUM	DAVID'S VIBURNUM <i>Viburnum davidsonii</i>	KINKIKINICK <i>Actinophora chinensis</i>	DAMLEAF HYDRANGEA <i>Hydrangea davidsonii</i>
*	15	ORNAMENTAL GRASS	#1 POT, 20cm SPREAD 15" DEEP GROWING MEDIUM	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>
T	1	TREE	20th HEIGHT, TREE PIT TO BE DEPTH OF ROOT BALL WITH WIDTH BEING AT LEAST TWICE THE WIDTH OF ROOT BALL WITH SAUCER SHAPED SIDES. BARK MULCH COVER, PROVIDE A CLEAN MULCHED 3FT DIAMETER CIRCLE CENTRED ON TREE.	KOUSA DOGWOOD <i>Quercus laevis</i>	FRANS FONTAINE (EUROPEAN) HORSEAM <i>Castanea sativa 'Frans Fontaine'</i>	MAIDENHAIR TREE <i>Begonia xillanensis</i>

LOT IMPROVEMENTS LEGEND				
KEY	QTY	MATERIAL	SPECIFICATION	REMARKS
[Pattern]	85.62	LOAM (TOP SOIL) ONLY	TESTED AND APPROVED GROWING MEDIUM	MINIMUM 1% SLOPE
[Pattern]	11.82	LOAM (TOP SOIL), SOD, AND IRRIGATION	NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS	1. SOIL TO BE A MINIMUM OF 10" DEPTH 2. SOIL TO BE NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS FOR SUN PEGS FOR SHADE
[Pattern]	43.98	GRAVEL	CRUSHED GRANITE SCREENING	1. LARGER PARTICLES MUST BE REMOVED 2. FILL TO BE 100% COMPACTED
[Pattern]	16.98	BARK MULCH	MIN. 10MM (3/8") AND DARK BROWN IN COLOUR	1. FREE OF FERTILIZERS, SOIL CHIPS, FERTILIZERS AND OTHERS. ALL BARK, LOGS, AND OTHERS TO BE REMOVED AND RECYCLED 2. BARK MULCH TO BE APPLIED TO ALL AREAS WHERE FRESH GRASS IS TO BE PLANTED 3. FRESH GRASS IN COLOUR MUST BE REJECTED
[Pattern]	32.69	1.8m WOOD SCREEN FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	1.8m METAL FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	0.8m DECORATIVE WOOD FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	STACKED STONE RETAINING WALL	SEE TYPICAL DETAIL FOR CONSTRUCTION	1. LOCATIONS AS PER PLOT PLAN
[Pattern]	72.03	BROOM FINISHED CONCRETE	DRIVEWAY, APRONS, AND SIDEWALKS	1. LOCATIONS AS PER PLOT PLAN

- IMPORTANT NOTES**
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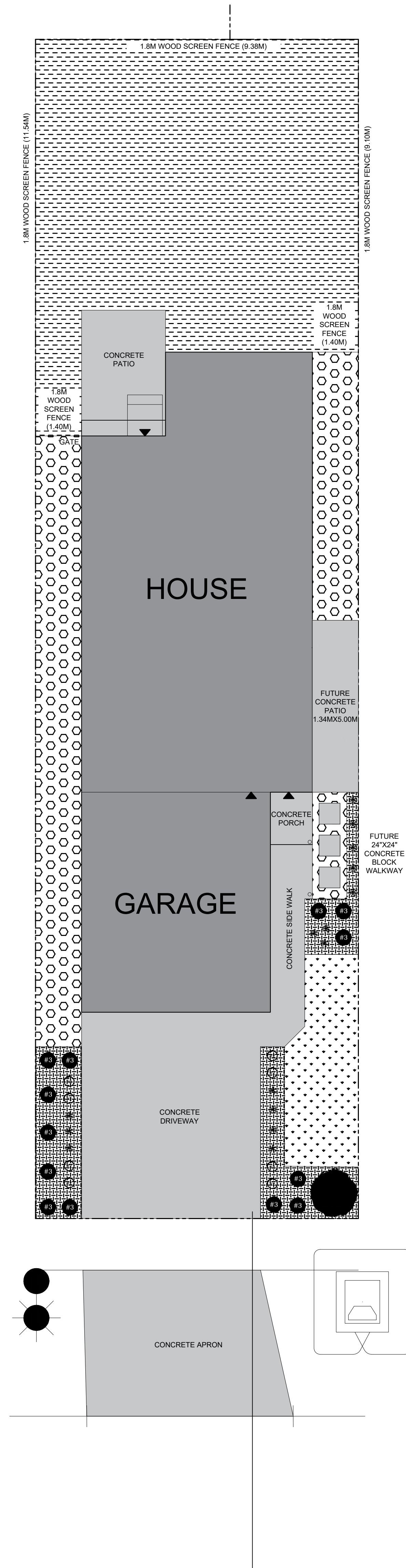
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LOT 42 SECTOR 0 REL 1
JOB 43-0100042 SCALE 1:75
**3587 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/01/23	INITIAL LANDSCAPE DRAFTING

SHEET NUMBER
PLOT
8/26/2020 3:42 PM

Option for Suite



LANDSCAPE PLAN

PLANTING LEGEND						
KEY	QTY	PLANTING	PLANTING SIZE	SPECIES A	SPECIES B	SPECIES C
#R	13	HEDGING SHRUB	#0 POT, 4-8FT IN HEIGHT 15" DEEP GROWING MEDIUM	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	EMERALD HEDGING CEDAR <i>Thuja occidentalis 'Emerald Green'</i>	YELLOW RIBBON HEDGING CEDAR <i>Thuja occidentalis 'Yellow Ribbon'</i>
#S	8	SHORT SHRUB	#2 POT, 60cm SPREAD 15" DEEP GROWING MEDIUM	DAVID'S VIBURNUM <i>Viburnum davidsonii</i>	KINKIKINICK <i>Actinophora chinensis</i>	DAWLEAF HYDRANGEA <i>Hydrangea davidsonii</i>
*	15	ORNAMENTAL GRASS	#1 POT, 20cm SPREAD 15" DEEP GROWING MEDIUM	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>	MONDO GRASS <i>Ophiopogon japonicus</i>
T	1	TREE	20th HEIGHT, TREE PIT TO BE DEPTH OF ROOT BALL WITH WIDTH BEING AT LEAST TWICE THE WIDTH OF ROOT BALL WITH SAUCER SHAPED SIDES. BARK MULCH COVER, PROVIDE A CLEAN MULCHED 3FT DIAMETER CIRCLE CENTRED ON TREE.	KOUSA DOGWOOD <i>Quercus kuskuta</i>	FRANS FONTAINE <i>European Hornbeam</i> <i>Cornus reticulata 'Frans Fontaine'</i>	MAIDENHAIR TREE <i>Banksia laevis</i>

LOT IMPROVEMENTS LEGEND				
KEY	QTY	MATERIAL	SPECIFICATION	REMARKS
[Pattern]	85.62	LOAM (TOP SOIL) ONLY	TESTED AND APPROVED GROWING MEDIUM	1. MINIMUM 1% SLOPE
[Pattern]	11.82	LOAM (TOP SOIL), SOIL, AND IRRIGATION	NO. 1 PREMIUM GRADE KENTUCKY BLUE GRASS	2. LOAM TO BE A MINIMUM OF 10% DEPTHS 3. SOIL TO BE 10% PREMIUM GRADE KENTUCKY BLUE GRASS FOR SUN POCHE FOR SHADE
[Pattern]	43.98	GRAVEL	CRUSHED GRANITE SCREENINGS	4. LARGER PARTICLES MUST BE REMOVED FROM ALL FILL
[Pattern]	16.98	BARK MULCH	MIN. 10MM (3/8") AND DARK BROWN IN COLOUR	5. FREE OF FERTILIZERS, SOIL, AND OTHER CONTAMINANTS 6. MULCH TO BE APPLIED TO ALL EXPOSED SOIL SURFACES 7. MULCH TO BE APPLIED TO ALL EXPOSED SOIL SURFACES 8. MULCH TO BE APPLIED TO ALL EXPOSED SOIL SURFACES
[Pattern]	32.69	1.8M WOOD SCREEN FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	9. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	1.8M METAL FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	10. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	0.8M DECORATIVE WOOD FENCE	SEE TYPICAL DETAIL FOR CONSTRUCTION	11. LOCATIONS AS PER PLOT PLAN
[Pattern]	0	STACKED STONE RETAINING WALL	SEE TYPICAL DETAIL FOR CONSTRUCTION	12. LOCATIONS AS PER PLOT PLAN
[Pattern]	72.03	BROOM FINISHED CONCRETE	DRIVEWAY, APRONS, AND SIDEWALKS	13. LOCATIONS AS PER PLOT PLAN

IMPORTANT NOTES

- ANY DEVIATIONS FROM THE ABOVE MUST BE FIRST REVIEWED AND APPROVED BY GABLECRAFT PRIOR TO INSTALLATION
- USE THIS PLAN IN CONJUNCTION WITH APPROVED DEVELOPMENT PERMIT LANDSCAPE PLAN

GABLECRAFT HOMES™

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JOB 44-0100042 SCALE 1:75
**3587 WESTERLY PLACE,
COLWOOD, BRITISH COLUMBIA**

REV. NO.	DESIGN	DATE	REMARKS
1	CVD	05/01/23	INITIAL LANDSCAPE DRAFTING

SHEET NUMBER
PLOT