



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250-294-8153
planning@colwood.ca | www.colwood.ca

File: DP-23-013

DEVELOPMENT PERMIT DP-23-013

THIS PERMIT, issued August ^{1st} 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: Verity Construction LTD.
106-1039 Langford Parkway
Victoria, BC V8B 0A5

(the "Permittee")

-
1. This Form & Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

Lots 56 - 61, 63 & 64 Plan EPP117070, Section 38, Esquimalt Land District
3485, 3482, 3480, 3478, 3476, 3474, 3470 & 3468 Trumpeter Street

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form & character considerations for a single family home with secondary suite and associated site improvements are consistent with the guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit including DP-21-008.

- 8.3. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services.
- 8.4. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.5. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

Landscaping

- 8.6. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Verity Construction (Schedules 2-9).

Grading

- 8.7. As required by Covenant CA9828107 registered on title, a geotechnical memo was prepared to assess lots where the horizontal distance between the building setback and the foot of the retaining wall was less than 5m. Recommendations from the memo must be followed (Schedule 1).
- 8.8. Lot preparations shall be in compliance with site-specific grading plans prepared by Gablecraft Homes (Schedules 2-9).
- 8.9. All cut and fill expectations must be in substantial compliance with the Site Sections prepared by Victoria Design Group (Schedules 2-9).
- 8.10. Retaining walls are not to connect with neighbouring properties and be a maximum height of 1.2m.

ISSUED ON THIS 1 DAY OF AUGUST, 2023.

Yazmin Hernandez B

Yazmin Hernandez
Director of Development Services

**MGE Services Inc.**

EGBC Permit to Practice No. 1003085

740 Cowper Street, Victoria, BC V9A 2E9
250-661-8335

MGEservices@shaw.ca

July 12, 2023

File: 23V-003

Verity Construction Ltd.
106-1039 Langford Parkway
Victoria, BC
V9B 0A5

Attention: Ms. Patricia Gomes

RE: Proposed House Construction
Lots 56-61, 63 & 64, Sector 7, Royal Bay (Trumpeter St. & Rock Dove Pl.), Colwood
Geotechnical Assessment Report

INTRODUCTION

As requested by Verity Construction Ltd. (the Client), MGE Services Inc. (MGE) has carried out a geotechnical assessment for eight lots within the residential subdivision at the above-referenced site.

The site was developed as part of the Royal Bay subdivision in Colwood, BC. Review of the Geotechnical

Assessment Report for the Sector 7 Subdivision where the subject lots are located (prepared by Thurber Engineering Ltd. (Thurber) dated February 4, 2022) was carried out as part of our site review. This geotechnical report has been prepared as part of the development permit application specifically for Lots 56 to 61, 63 and 64 within Sector 7 at the Royal Bay subdivision in Colwood.

The Royal Bay subdivision is located within a former gravel pit within the Colwood Outwash deposit. The subgrade within the subject sites consist of well-graded, pit run sand and gravel that was placed as part of the gravel pit reclamation following closure in 2008. MGE conducted site walkover of the subject lots in early July 2023, at which time the lots were graded approximately level with slopes and/or existing boulder walls at the rear of the sites. Grading of the existing slopes/walls was prepared by the developer of the Royal Bay subdivision, which is proposed to be altered by the Client to achieve the house designs prepared for the subject lots.

MGE has conducted visual review of the subject lots, as documented in the attached Table 1 – Site Photos. The lot layout is shown in the attached Comprehensive Site Plan provided by the Client, with cross sections of the final grading on Lots 56, 57, 58 and 63 (where existing retaining walls are located within 5m of the proposed house sites) also attached to this report. This geotechnical assessment has been prepared in support of the development permit application prepared by the Client for single family houses to be constructed on the eight subject lots.

PROJECT / SITE CONDITIONS

The proposed development includes eight detached, single family homes that will be constructed with slab-on-grade foundations and with either full or partial step up backyards. Due to the grading, which



MGE Services Inc.

E08C Permit to Practice No. 1003085

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July 12, 2023

File: 23V-003

slopes down at the rear of the lots, the houses are to be constructed with foundation walls increased to provide support for backyards. The existing boulder walls on Lots 56, 57 and 58 will be backfilled as part of the final grading, as shown in their cross sections attached to this report. The retaining walls on Lots 63 and 64 are to remain as constructed in their rear yards. It is noted that the wall on Lot 64 is beyond 5m from the house, which meets the guideline established by Thurber. These walls are constructed to a maximum height of 1.2m, as per City of Colwood requirements. Backfilling of the walls was observed to be pit run sand and gravel that is free-draining and suitable for positive drainage.

Our review of open excavations onsite indicate that the lots are underlain by dense, native sand and gravel, which is consistent with the local geology mapping that shows the site to be within the Colwood Outwash deposit. The surface of the pit run sand and gravel has been disturbed since initial subdivision development and will require further site preparation, as per recommendations provided herein.

GEOTECHNICAL RECOMMENDATIONS

Based on our review of the subsurface conditions, the development of eight single family houses is considered geotechnically appropriate. The native sand and gravel is considered suitable for providing bearing of the house foundations and associated retaining walls. It is recommended that building foundation design be based on a 100 kPa allowable bearing capacity, as determined by independent calculations. The sand and gravel subgrade is expected to require re-compaction, which is recommended to be carried out with a 10 tonne, steel drum, vibratory roller. MGE should be contacted to carry out review of the sand and gravel subgrade prior to foundation construction or structural filling, as needed by final grading.

If structural filling is required, the excavated sand and gravel material from the site is considered suitable for re-use based on past experience with the Colwood Outwash deposit. It is recommended that the sand and gravel is placed in maximum 300mm thickness lifts and thoroughly compacted with the vibratory roller. The extent of structural filling should be outside the building footprint or road alignment by at least the thickness of the fill, ie. a 1H:1V splay. As per the BC Building Code, MGE needs to carry out continuous monitoring of structural fill placement procedures to provide subgrade approval for the building foundations.

As discussed above, re-grading at the rear of the lots, specifically Lots 56 to 58 will be carried out following foundation construction and is shown in the Cross Sections attached to this report. It is not proposed to construct new retaining walls on the eight subject lots. If grading does require new wall construction, MGE can provide retaining wall design to meet City of Colwood bylaw requirements.



MGE Services Inc.

EGBC Permit to Practice No. 1003085

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July 12, 2023

File: 23V-003

CLOSURE

Our geotechnical assessment of the project site and the proposed development indicates that the lands are considered safe and suitable for the use intended. MGE to carry out field reviews during site preparation to confirm the intent of our geotechnical recommendations is met.

This letter has been prepared exclusively for Verity Construction Ltd. in accordance with the January 3, 2023 contract between MGE and Verity Construction Ltd. No third party can rely on this report, except for the City of Colwood, which is considered to be an authorized user, subject to the terms and conditions under which the work was completed.

We trust this meets your current requirements and ask that you contact the undersigned if there are any questions or concerns.

Yours truly,

MGE Services Inc.


Per: Alec Morse, P.Eng.

Attach: Table 1 – Site Photos
Comprehensive Site Plan
Cross Sections – Lots 56, 57, 58 & 63





Table 1 – Site Photos
Project: Lots 56-61, 63 & 64, Royal Bay, Sector 7

Verity Construction Ltd.
File: 23V-003




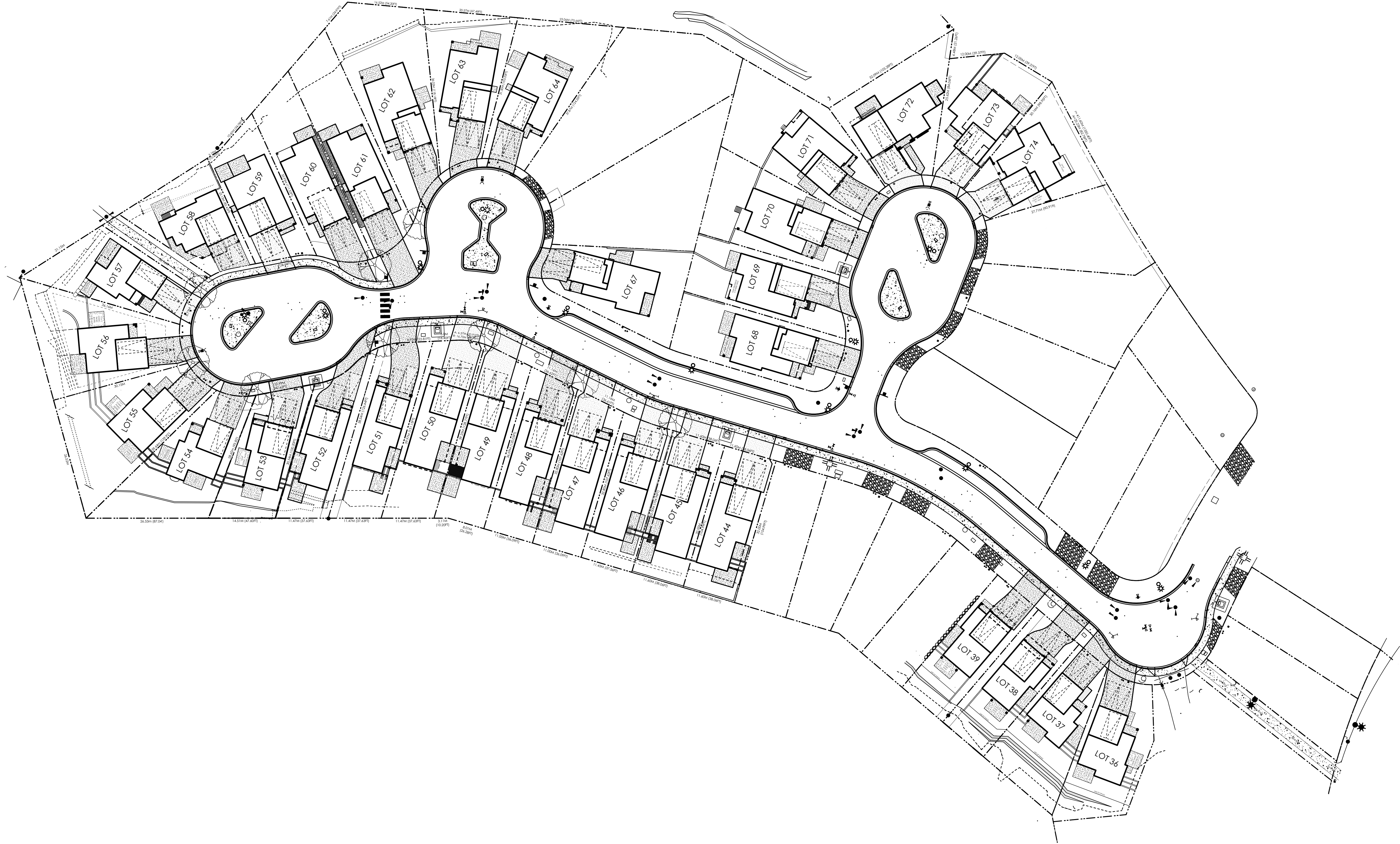
	
July 4, 2023: Current condition of Lot 56, with boulder wall above cut slope in pit run sand and gravel, which will also compose subgrade.	July 4, 2023: Current condition of Lot 57, with boulder wall founded on pit run sand and gravel, which will also compose subgrade.
	
July 4, 2023: Current condition of Lot 58, with boulder wall founded on pit run sand and gravel, which will compose subgrade.	July 4, 2023: Current condition of Lot 59, with pit run sand and gravel exposed as subgrade.
	
July 4, 2023: Current condition of Lot 60, with pit run sand and gravel exposed as subgrade.	July 4, 2023: Current condition of Lot 61, with pit run sand and gravel exposed as subgrade.



Table 1 – Site Photos
Project: Lots 56-61, 63 & 64, Royal Bay, Sector 7

Verity Construction Ltd.
File: 23V-003

	
July 4, 2023: Current condition of Lot 63, with pit run sand and gravel exposed as subgrade.	July 4, 2023: Current condition of Lot 64, with pit run sand and gravel exposed as subgrade.



Date

June 12 2023

Project Address

Royal Bay Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-Sector 7

Scale

1:350

Drawn By

MDK/MRB

Comprehensive Site Plan

WINDWARD CRAFTSMAN

Date
June 1, 2023

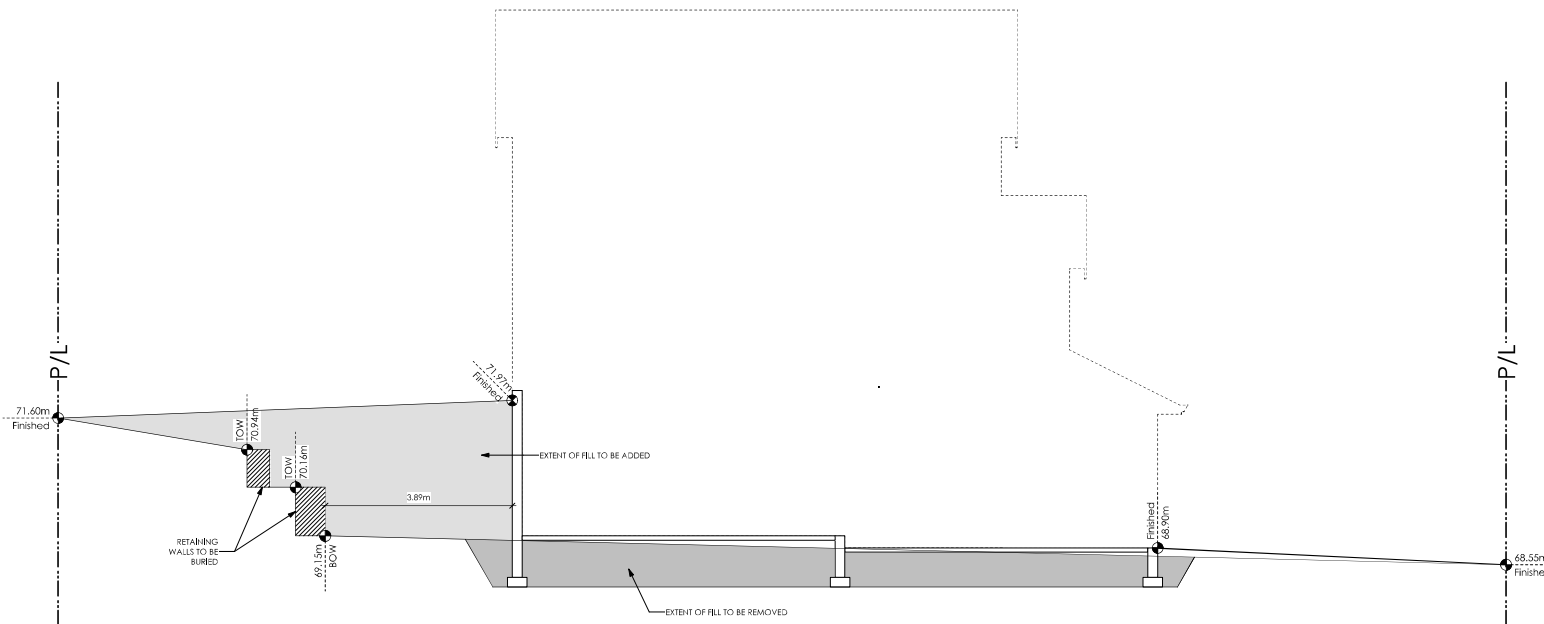
Project Address
3483 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for
Verify Construction

Project #
8298-56

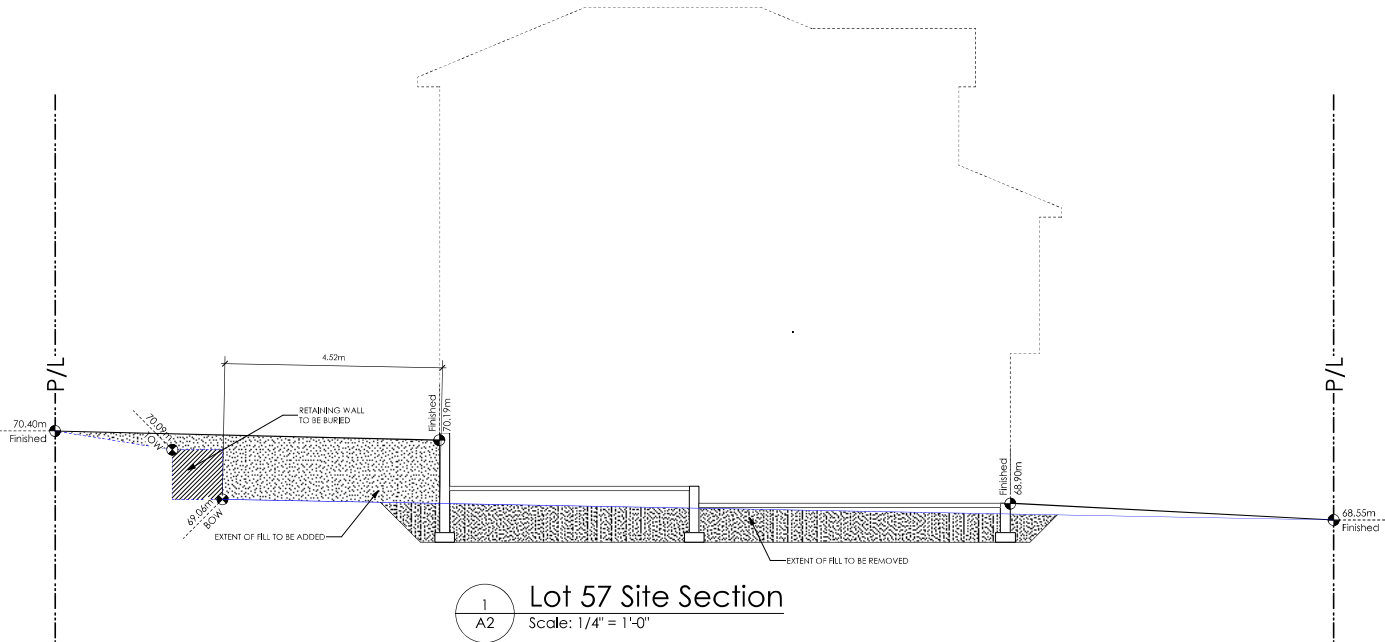
Scale
As Noted

Drawn By
MRB



1 Lot 56 Site Section
Scale: 1/4" = 1'-0"

Development Permit Presentation



1
A2 Lot 57 Site Section
Scale: 1/4" = 1'-0"

GENOA TRADITIONAL

Date

June 29, 2023

Project Address

3482 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-57

Scale

As Noted

Drawn By

MDK

Development Permit Presentation

Lot 58
3480 Trumpeter Street

Windjammer Westcoast

Date

June 29, 2023

Project Address

3480 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

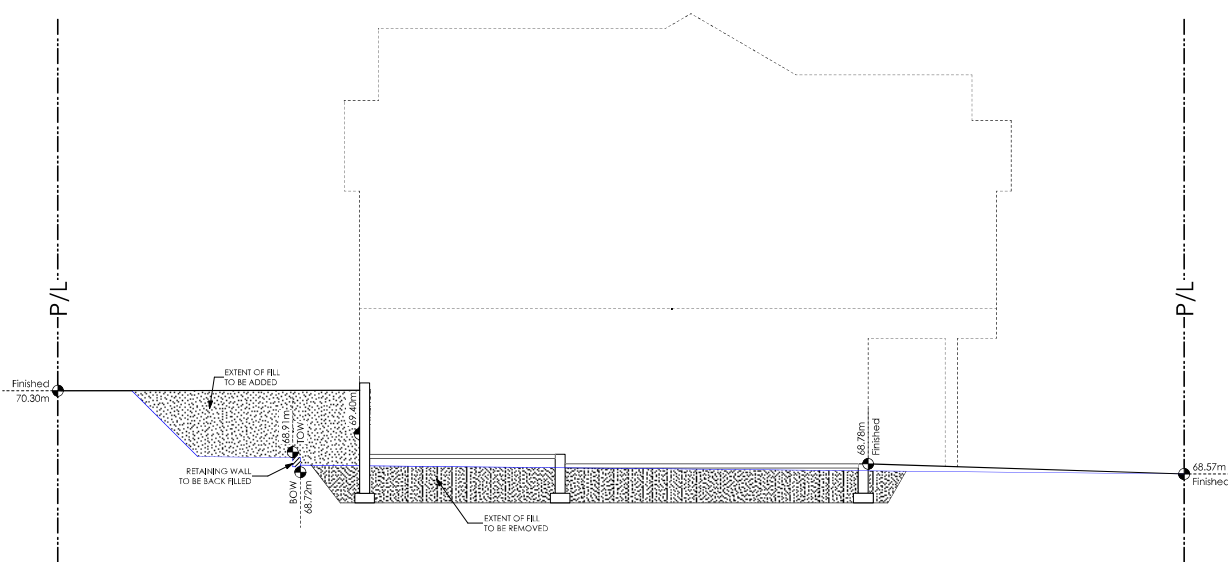
8298

Scale

As Noted

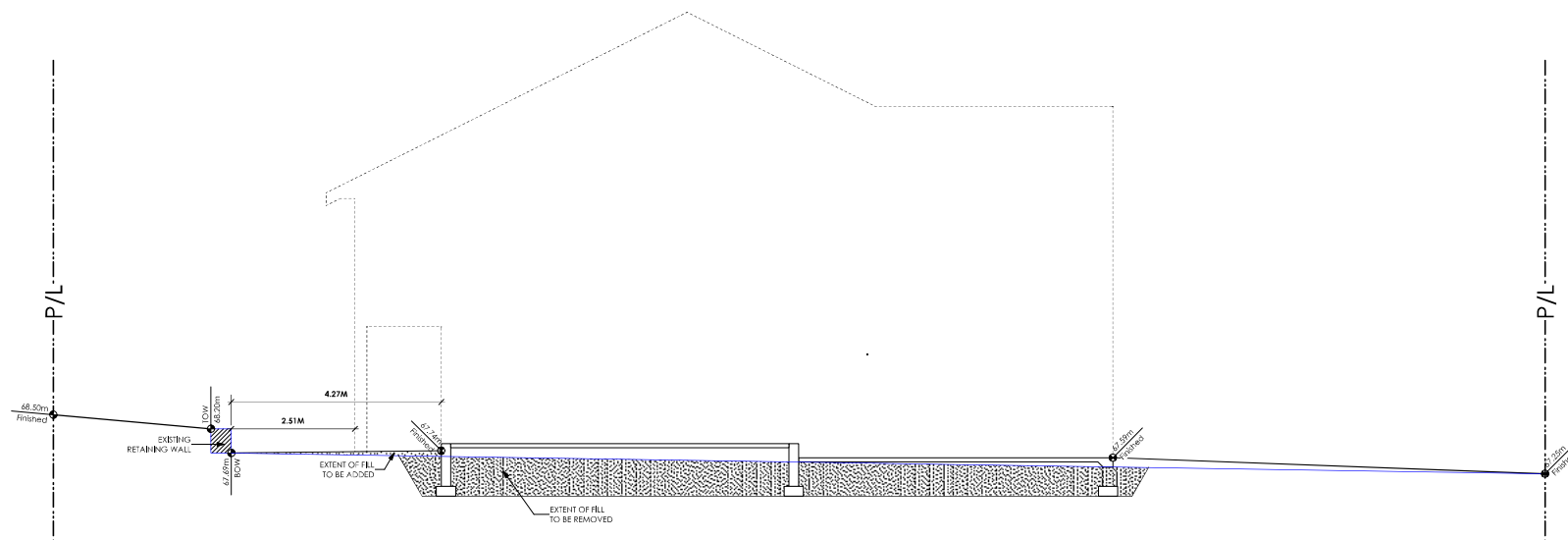
Drawn By

WGM



1 Lot 58 Site Section A
Scale: 1/4" = 1'-0"

Development Permit Presentation



1 Lot 63 Site Section
Scale: 1/4" = 1'-0"

'FLEMING' CRAFTSMAN

Date

July 11, 2023

Project Address
Royal Bay Sector 7
Verity Construction
3470 Trumpeter Street
Lot 63
Colwood, B.C.

Prepared for
Verity Construction

Project #
8298-63

Scale
Not to Scale

Drawn By
MRB

Development Permit Presentation

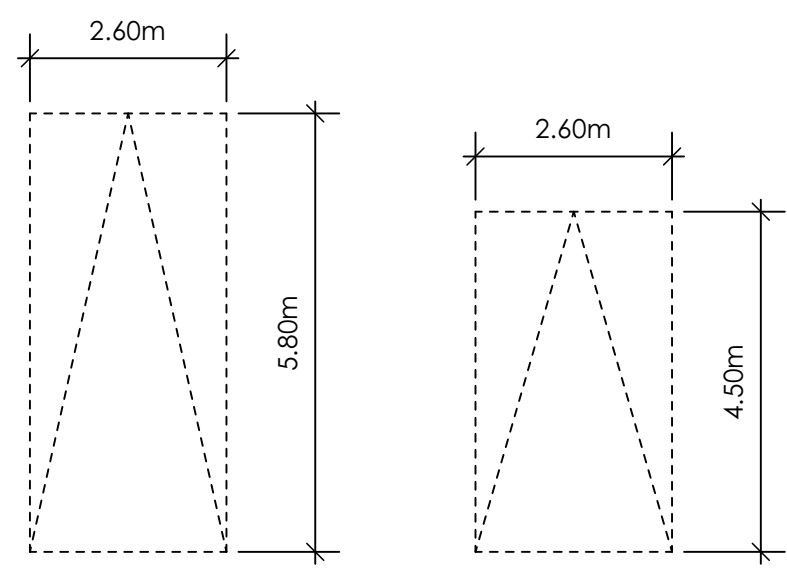
SCHEDULE 2

SITE DATA	RBCD5	LOT 56
ITEMS	PERMITTED	PROPOSED
LOT AREA	550 sq.m.	548.97 sq.m.
LOT COVERAGE	50.00 %	30.87 %
BUILDING HEIGHT	9.50 m.	8.53 m.
LOT WIDTH	16.50 m.	12.97 m.
SETBACKS		
- FRONT	4.50 m.	7.24 m.
- REAR	6.00 m.	8.15 m.
- SIDE	1.20 m.	1.28 m.
- SIDE	1.20 m.	2.50 m.
PROPOSED FLOOR AREA		
- UPPER		79.74 sq.m.
- MAIN		109.42 sq.m.
- LOWER		81.98 sq.m.
- GARAGE		44.37 sq.m.
SUB-TOTAL G.F.A.		315.51 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	44.37 sq.m.
GROSS FLOOR AREA		271.14 sq.m.
F.A.R.		0.49 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	22.35 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	60.59 sq.m.

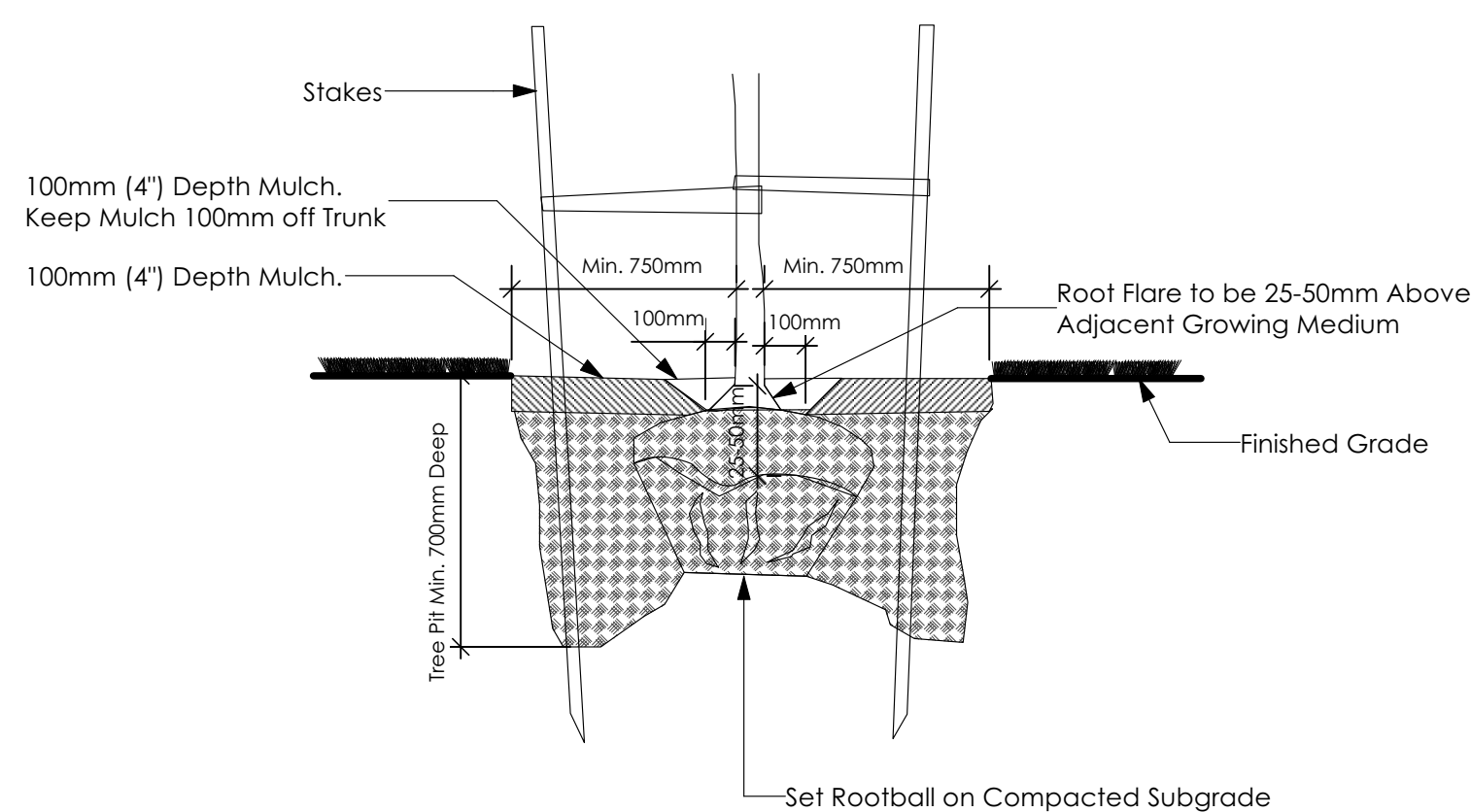
AVERAGE NATURAL GRADE CALCULATION
 $68.90\text{m} + 68.90\text{m} + 71.97\text{m} + 71.60\text{m} = 281.37\text{m}$
 divided by 4 = ave. grade 70.34 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

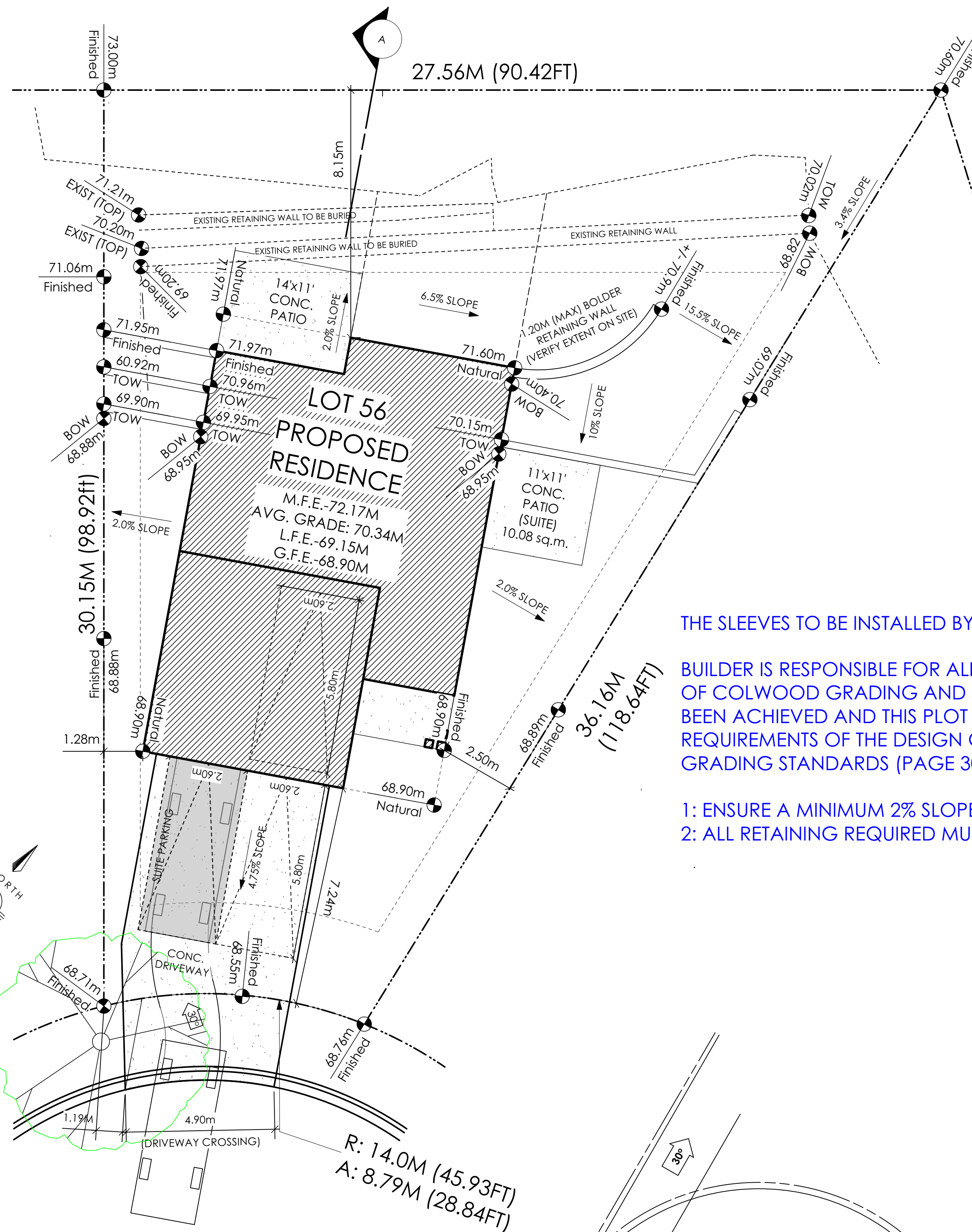


PARKING STALL DIMENSIONS
 SMALL CAR PARKING STALL DIMENSIONS
 * as per 2.2.02a allowing one stall to be a small car parking stall

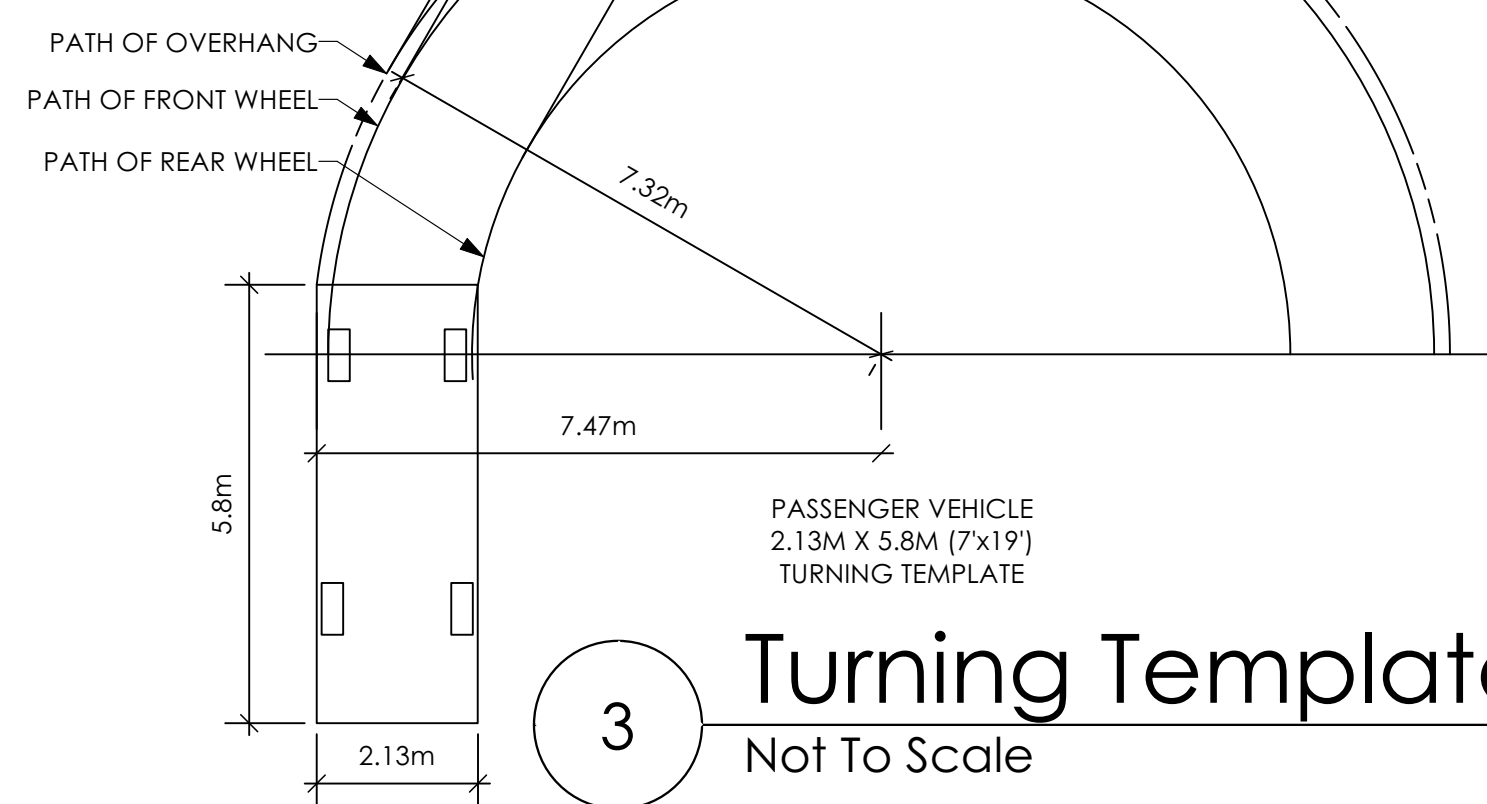


2 Tree Planting Detail
 Not To Scale

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

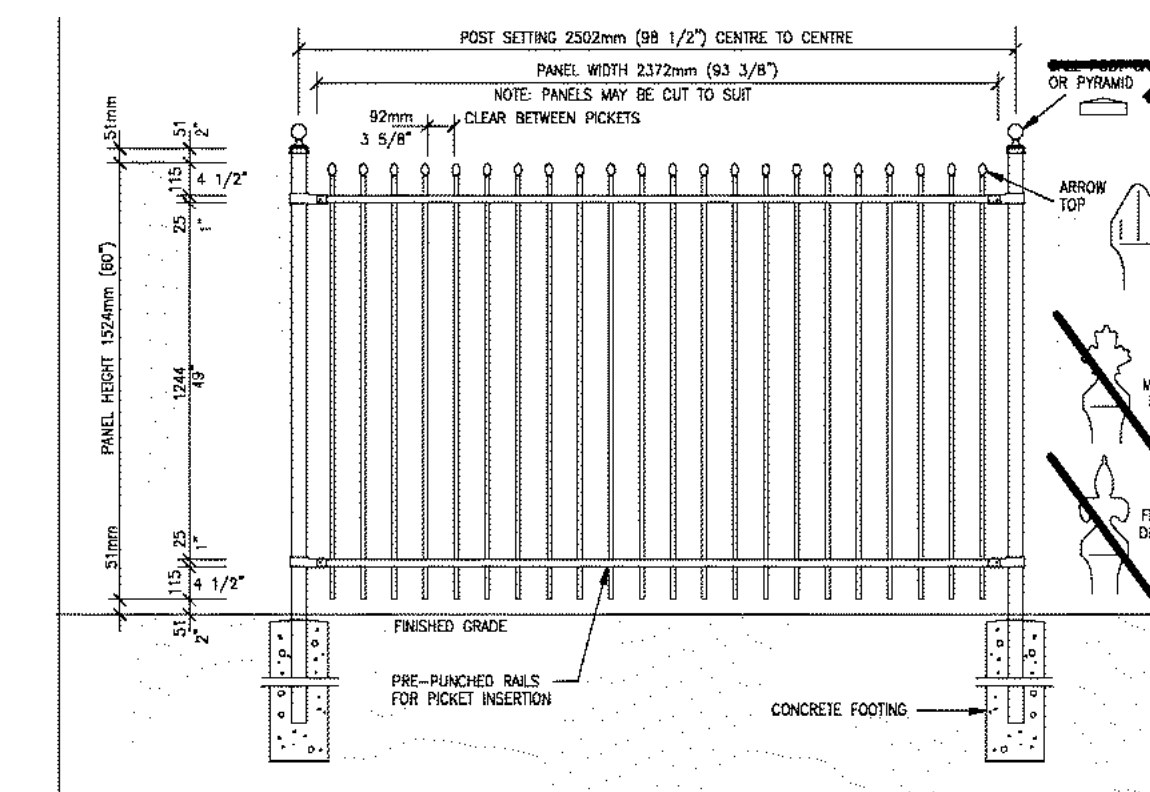


1 Siteplan
 Scale: 1:100



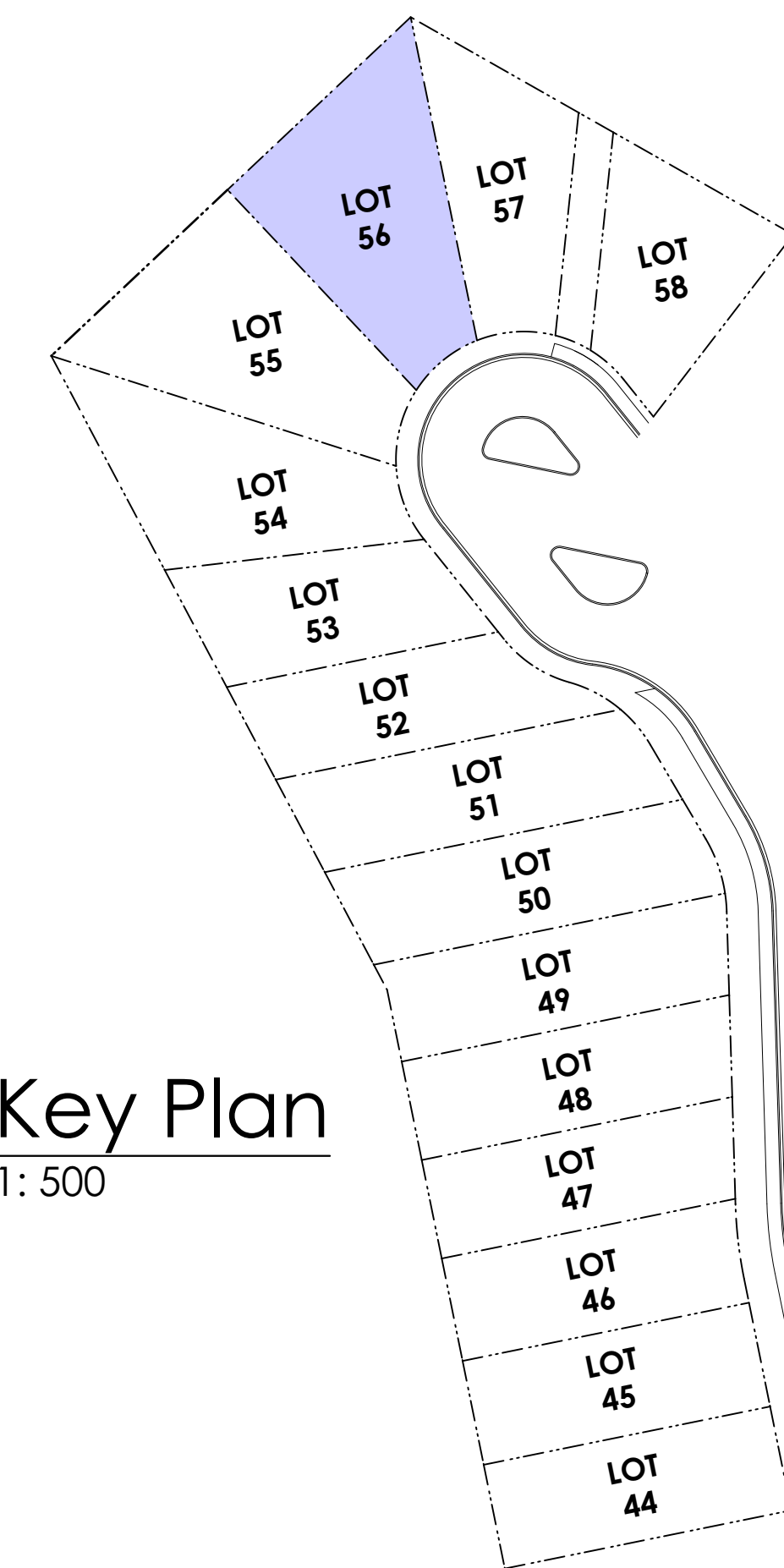
3 Turning Template
 Not To Scale

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS



4 Fence Treatment
 Not To Scale
 (SEE LANDSCAPE PLAN FOR FENCE LOCATION)

5 Key Plan
 1: 500



THE SLEEVES TO BE INSTALLED BY THE BUILDER

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

Date

June 1, 2023

Project Address

3483 Trumpeter Street
 Royal Bay - Sector 7
 Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-56

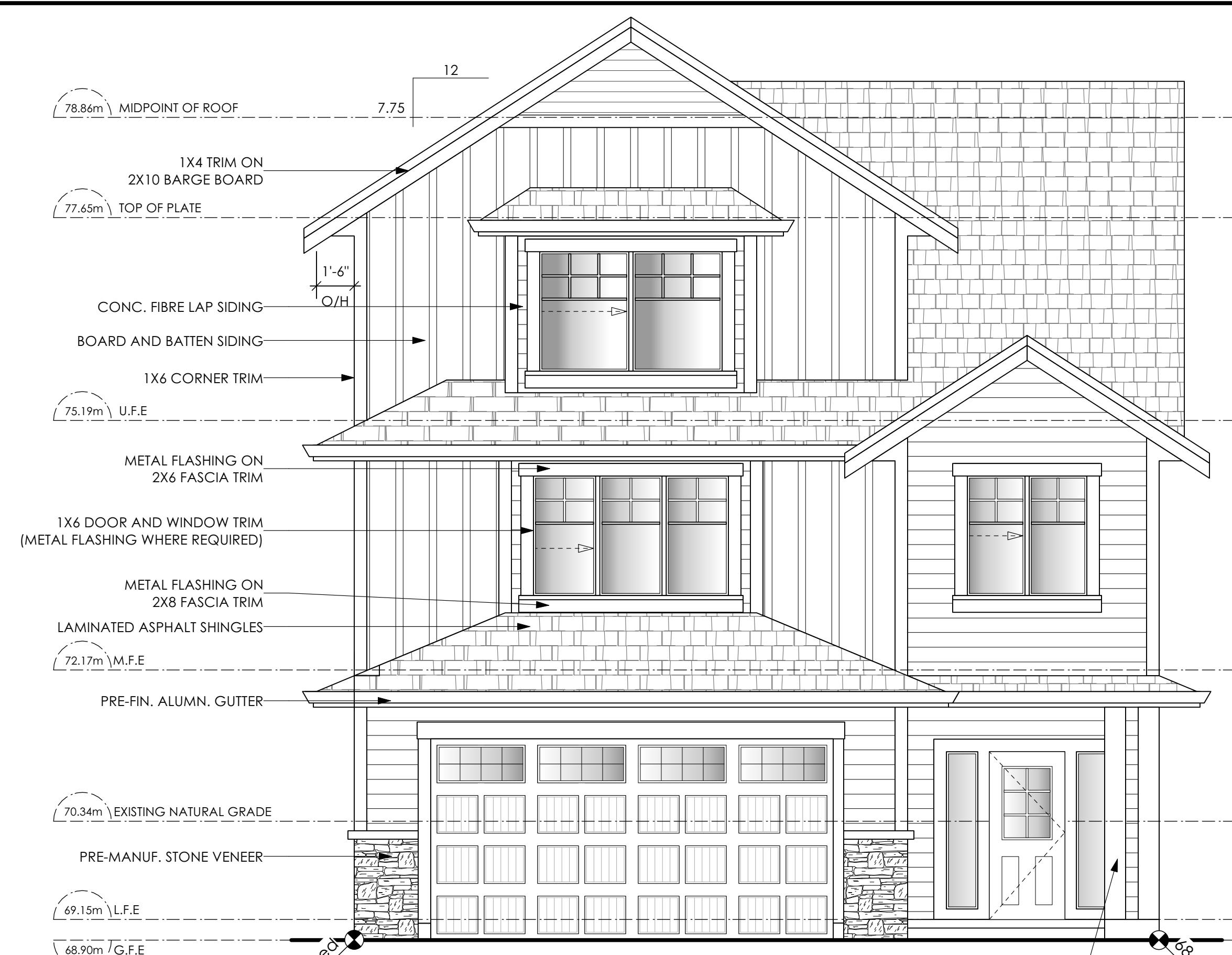
Scale

As Noted

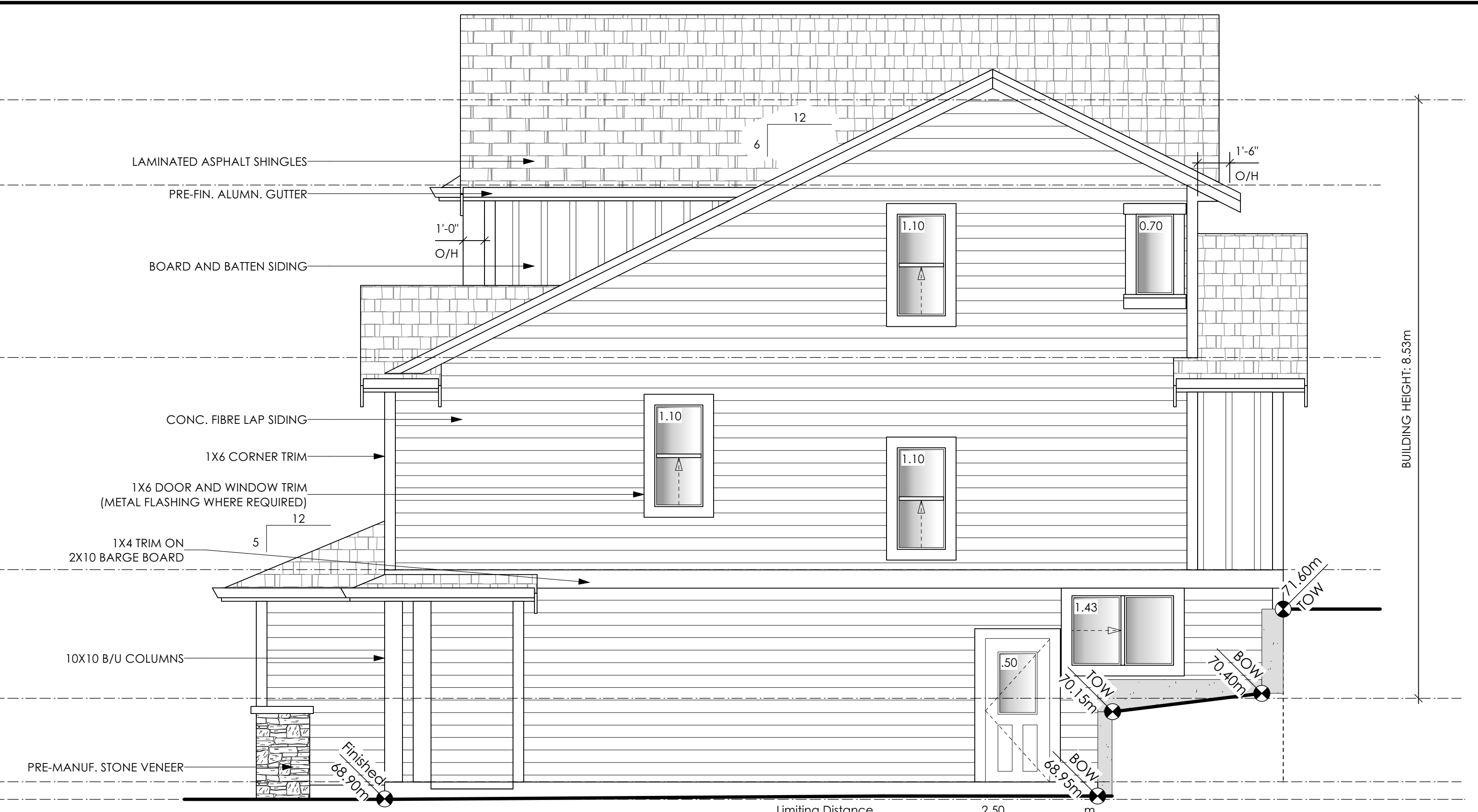
Drawn By

MRB

Development Permit Presentation

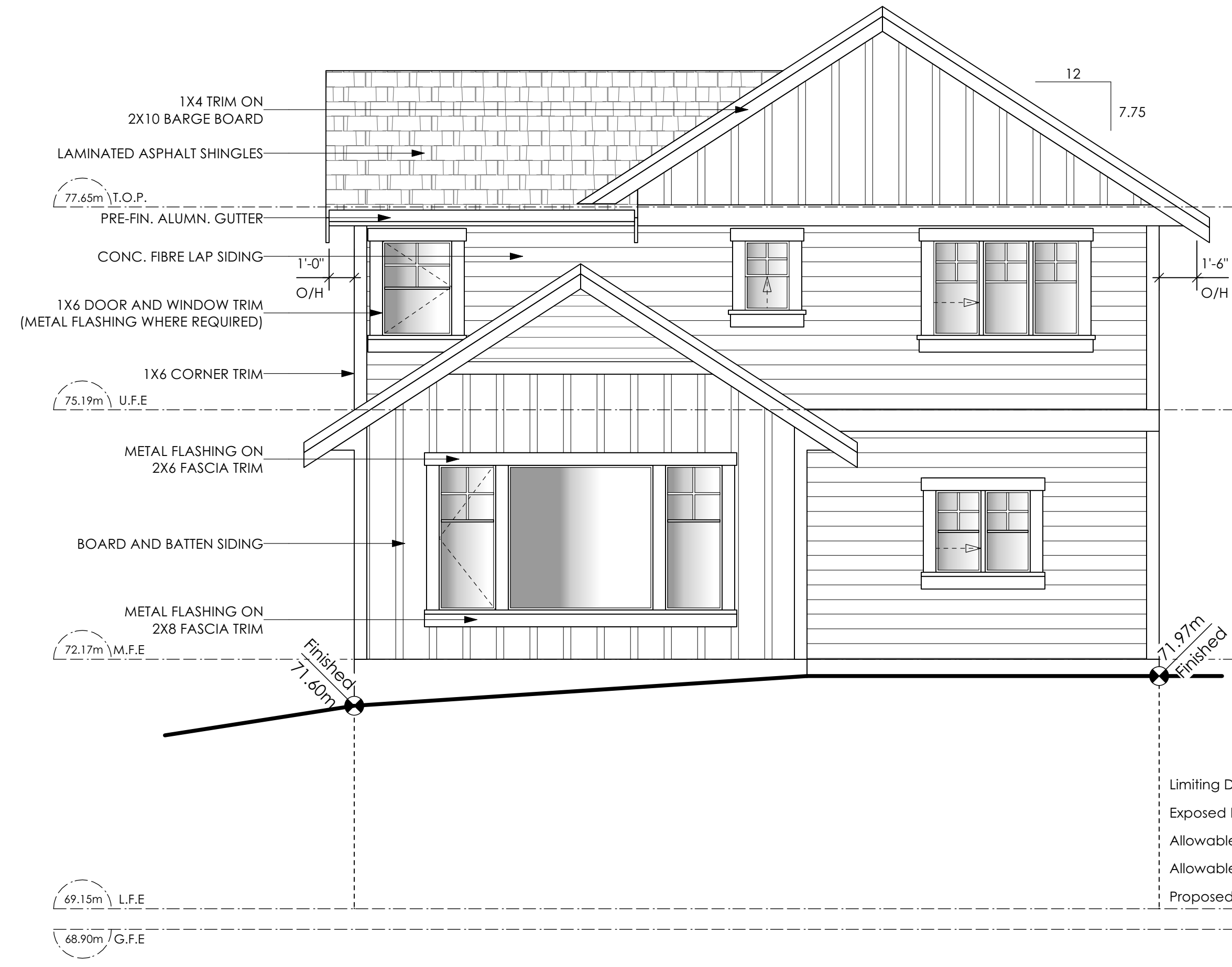


1 Front Elevation
Scale: 1/4" = 1'-0"

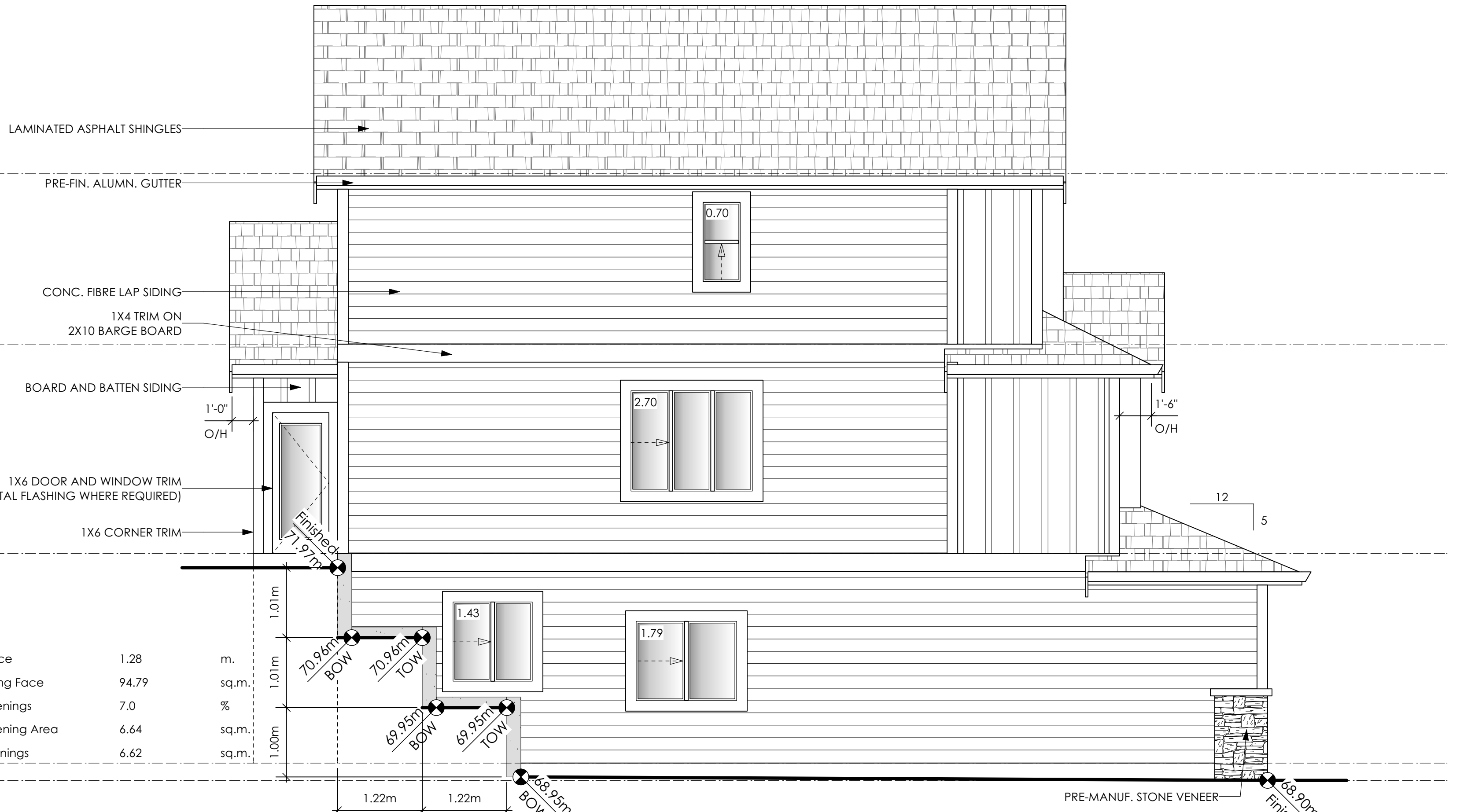


2 Right Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	2.50	m.
Exposed Building Face	82.22	sq.m.
Allowable Openings	10.0	%
Allowable Opening Area	8.22	sq.m.
Proposed Openings	5.93	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"



4 Left Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.28	m.
Exposed Building Face	94.79	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	6.64	sq.m.
Proposed Openings	6.62	sq.m.

WINDWARD CRAFTSMAN

Date
June 1, 2023

Project Address
3483 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

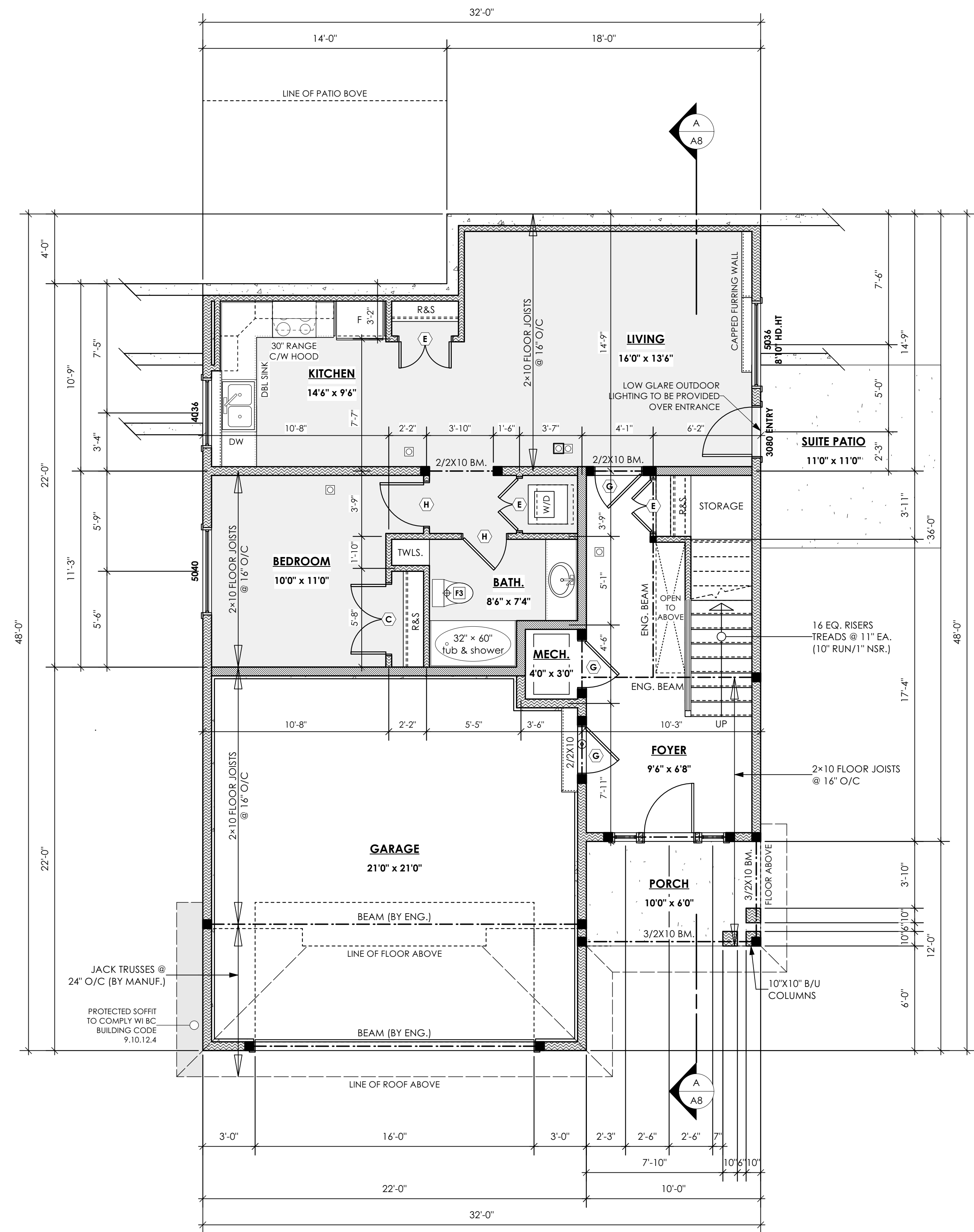
Prepared for
Verity Construction

Project #
8298-56

Scale
As Noted

Drawn By
MRB

Development Permit Presentation



1 Lower Floor Plan

Scale: 1/4" = 1'-0"
 Primary: 230.19 sq.ft. (21.39 sq.m.)
 Suite: 652.23 sq.ft. (60.59 sq.m.)
 Total: 882.42 sq.ft. (81.98 sq.m.)
 Garage: 477.58 sq.ft. (44.37 sq.m.)

WINDWARD CRAFTSMAN

Date
June 1, 2023

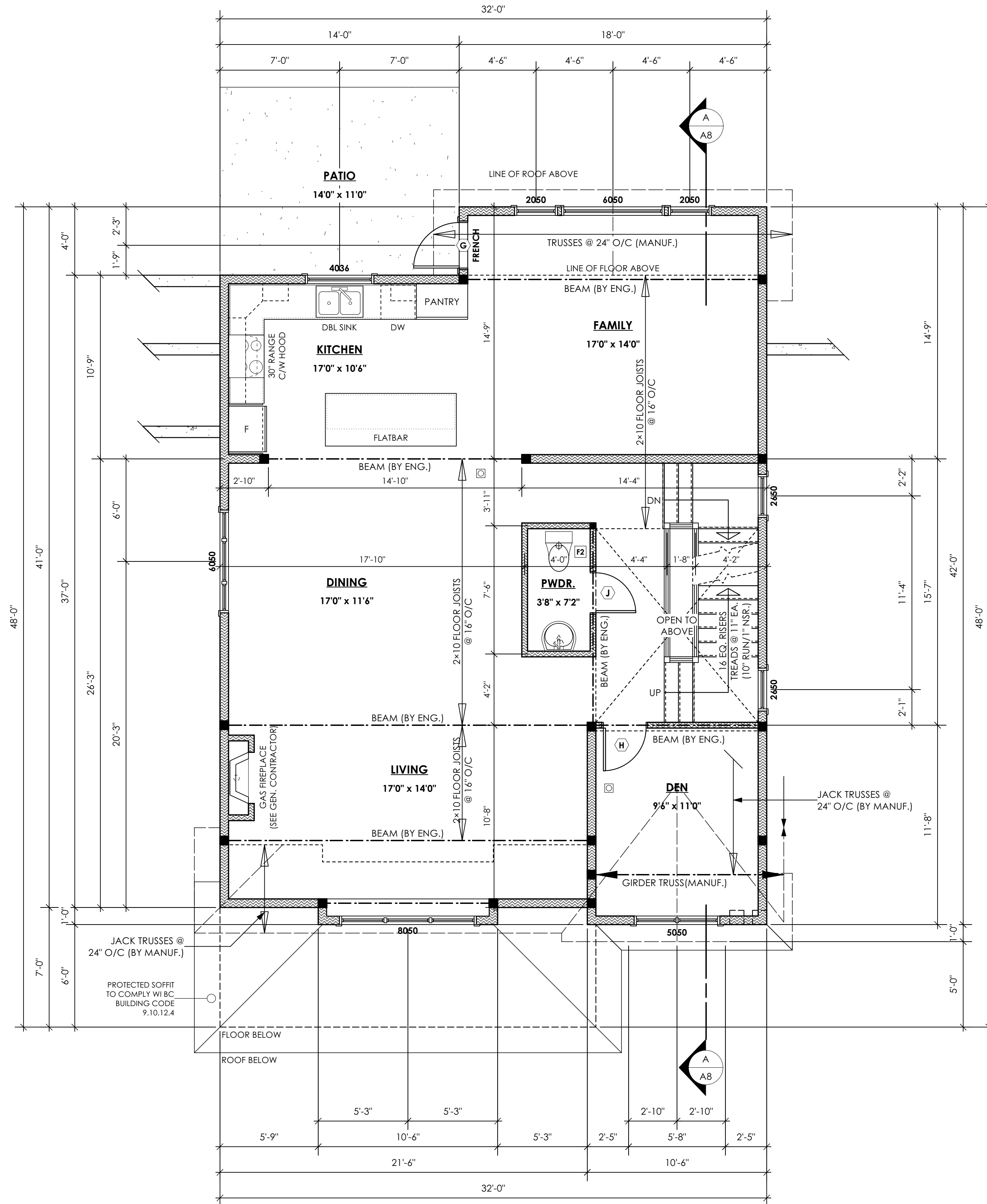
Project Address
3483 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for
Verity Construction

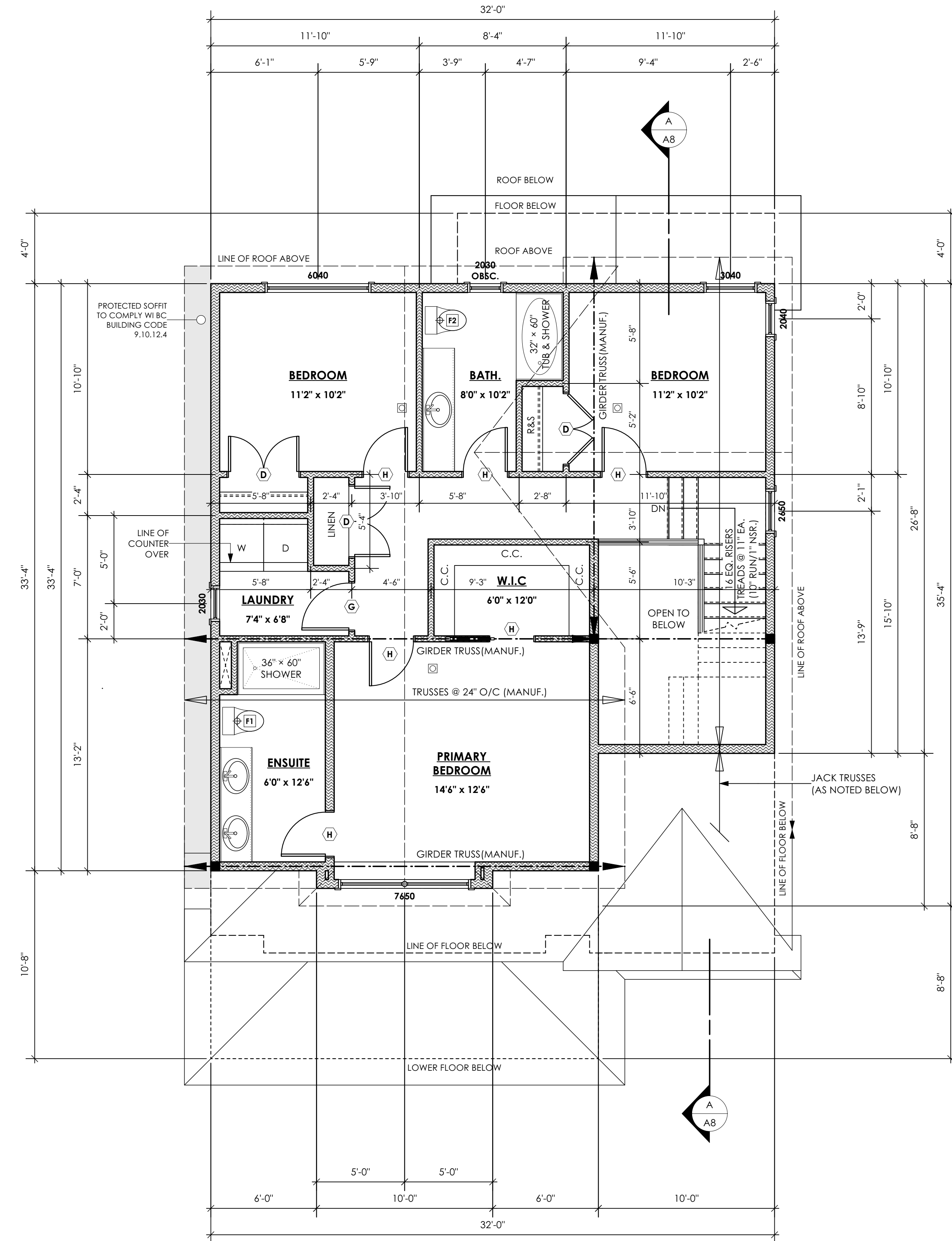
Project #
8298-56

Scale
As Noted

Drawn By
MRB



1 Main Floor Plan
 Scale: 1/4" = 1'-0"
 Primary: 1,177.79 sq.ft. (109.42 sq.m.)



2 Upper Floor Plan
 Scale: 1/4" = 1'-0"
 Primary: 858.36 sq.ft. (79.74 sq.m.)

WINDWARD CRAFTSMAN

Date
 June 1, 2023

Project Address
 3483 Trumpeter Street
 Royal Bay - Sector 7
 Colwood, B.C.

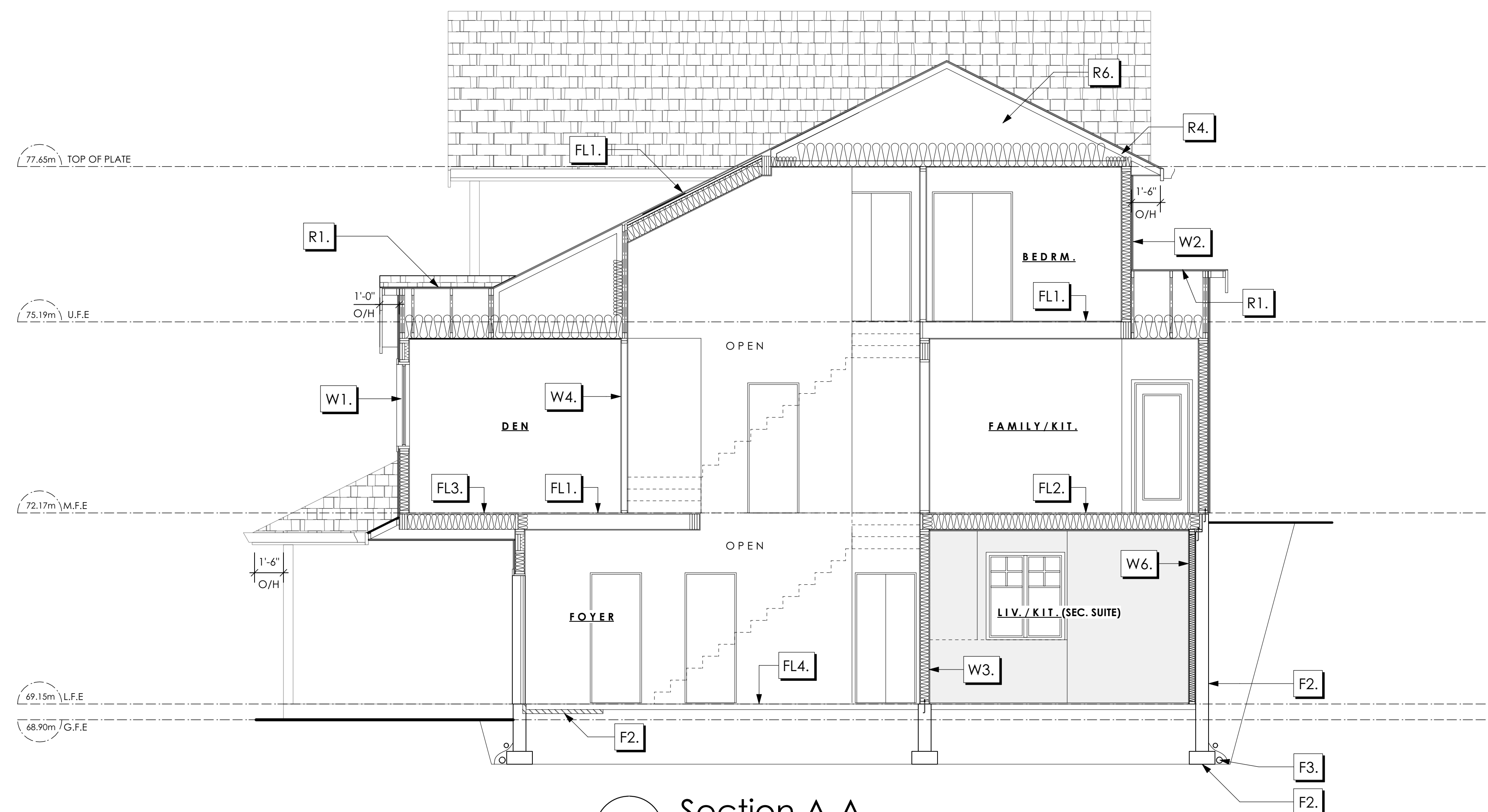
Prepared for
 Verity Construction

Project #
 8298-56

Scale
 As Noted

Drawn By
 MRB

Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 2012 9.23.13.3 AND SUPPLY DETAILS IF REQUIRED

Section Notes

ROOFS	FLOORS	WALLS	FOUNDATIONS
<p>R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD</p> <p>R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 1/2" ORIENTED STRAND BOARD VENTED SOFFIT</p> <p>R3. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD SHEATHING C/W "H" CLIPS 2x4 STRAPPING @ 16" O/C ON 2x10 FLOOR JOISTS @ 16" O/C R-28 BATT INSULATION 1/2" EXTRUDED POLYSTYRENE INSULATION 6 MIL POLYN V.B. 1/2" GYPSUM BOARD</p> <p>R4. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)</p> <p>R5. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.</p> <p>R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)</p> <p>R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)</p> <p>R8. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT</p>	<p>FL1. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD</p> <p>FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.</p> <p>FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS</p> <p>FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND</p> <p>FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)</p>	<p>W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL, wi. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 1011/S.2/A440, "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.</p> <p>W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP [A.B.] (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD</p> <p>W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTIS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)</p> <p>W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)</p> <p>W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)</p> <p>W6. 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION BUILDING WRAP OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)</p>	<p>F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15M BARS @ 24" O/C B/W</p> <p>F2. 16"x8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)</p> <p>F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK</p> <p>F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS</p> <p>F5. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT IN SECTION)</p>

WINDWARD CRAFTSMAN

Date
June 1, 2023

Project Address
3483 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for
Verity Construction

Project #
8298-56

Scale A6

As Noted

Drawn By
MRB

Development Permit Presentation

WINDWARD CRAFTSMAN

Date

June 1, 2023

Project Address

3483 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

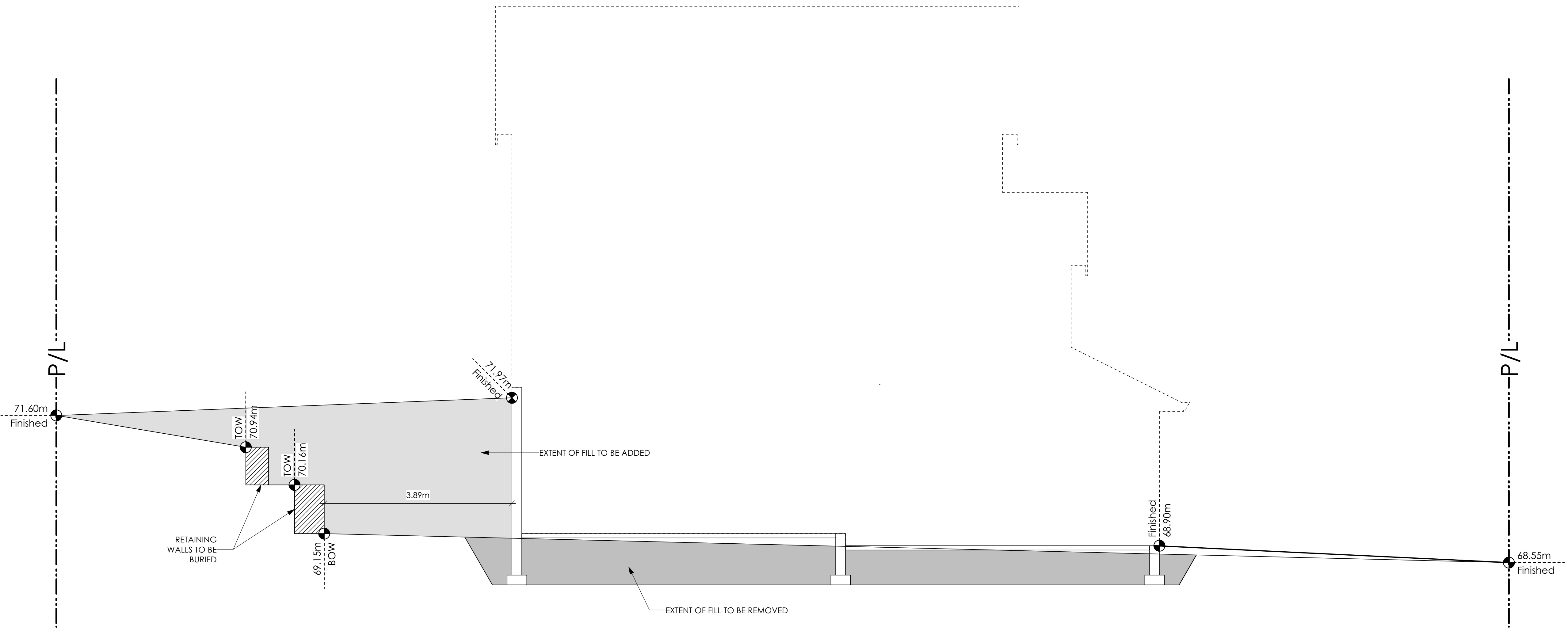
8298-56

Scale ^{A6}

As Noted

Drawn By

MRB



1 Lot 56 Site Section
Scale: 1/4" = 1'-0"

Development Permit Presentation

MUNICIPAL ADDRESS 3485 Trumpeter Street	P.I.D.
LOT 56	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES
ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **69.40**

FRONT ELEV. **68.93** REAR ELEV. **69.25**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **68.90**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **n/a**

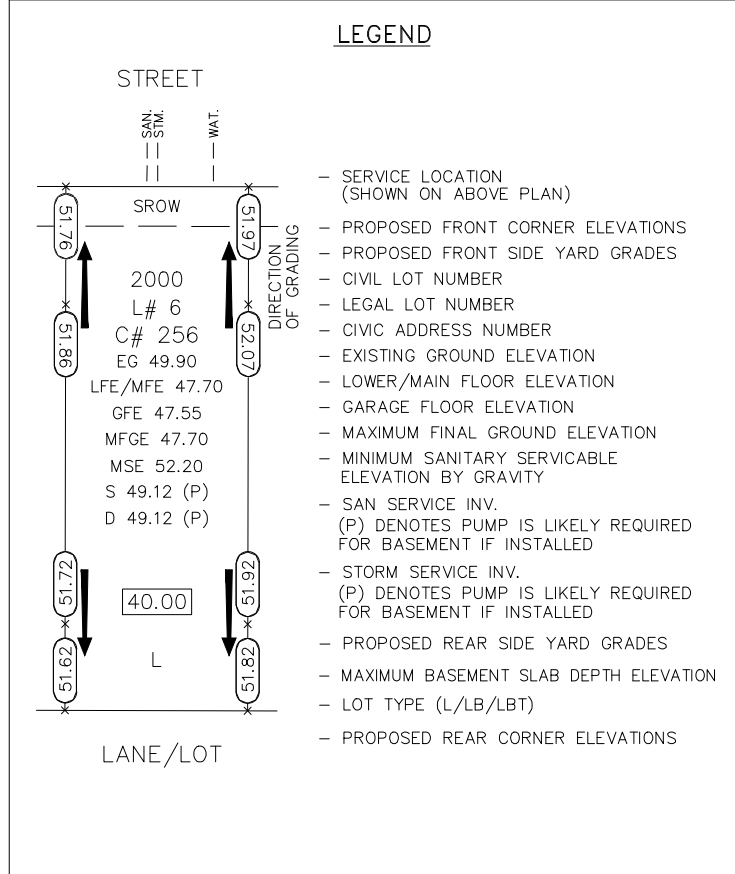
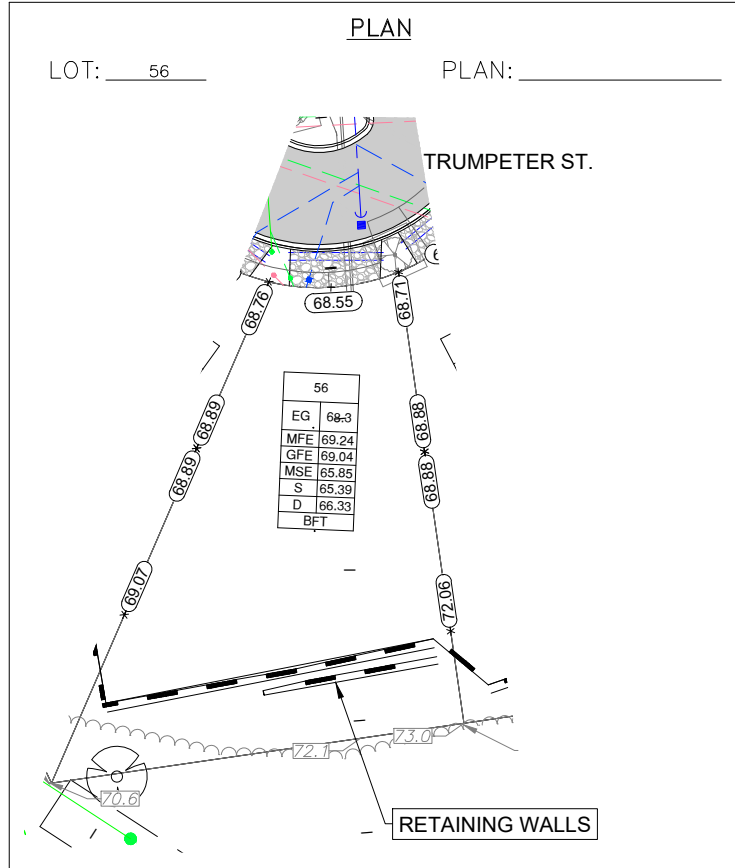
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) **not provided**
(BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.)

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE _____ DATE _____

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

C. Hume - July 26/22

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE _____ DATE _____

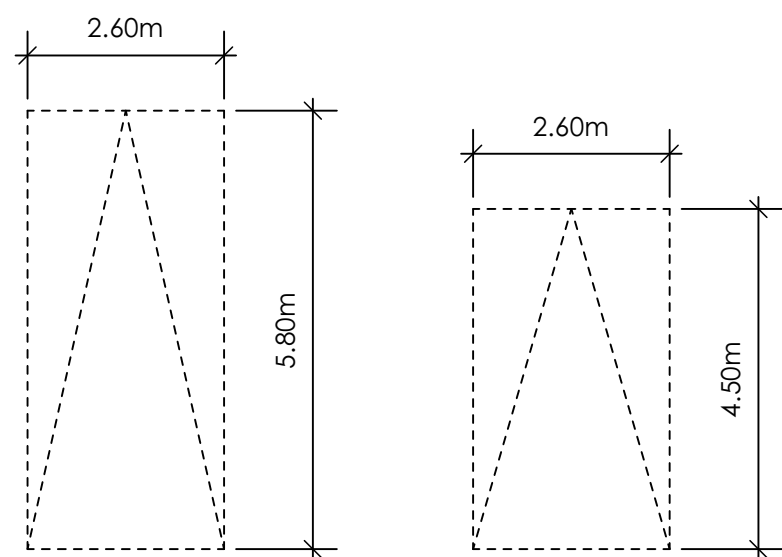
SCHEDULE 3

SITE DATA		RBCD5	LOT 57
ITEMS	PERMITTED		PROPOSED
LOT AREA	550 sq.m.		387.50 sq.m.
LOT COVERAGE	50.00 %		31.11 %
BUILDING HEIGHT	9.50 m.		8.95 m.
LOT WIDTH	16.50 m.		11.89 m.
SETBACKS			
- FRONT	4.50 m.		6.51 m.
- FRONT (GARAGE)	6.00 m.		6.51 m.
- REAR	6.00 m.		6.10 m.
- SIDE	1.20 m.		1.41 m.
- SIDE	1.20 m.		1.41 m.
PROPOSED FLOOR AREA			
- UPPER			89.48 sq.m.
- MAIN			116.38 sq.m.
- LOWER			66.93 sq.m.
- GARAGE			40.88 sq.m.
SUB-TOTAL G.F.A.			313.67 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.		-40.88 sq.m.
GROSS FLOOR AREA			272.79 sq.m.
F.A.R.			0.70 TO 1.0
SECONDARY SUITE			
FLOOR AREA (%)	40.00 %		20.13 %
FLOOR AREA (SQ.M.)	90.00 sq.m.		54.91 sq.m.

AVERAGE NATURAL GRADE CALCULATION
 $68.90\text{m} + 68.84\text{m} + 70.19\text{m} + 70.19\text{m} = 278.12\text{m}$
 divided by 4 = ave. grade 69.53 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

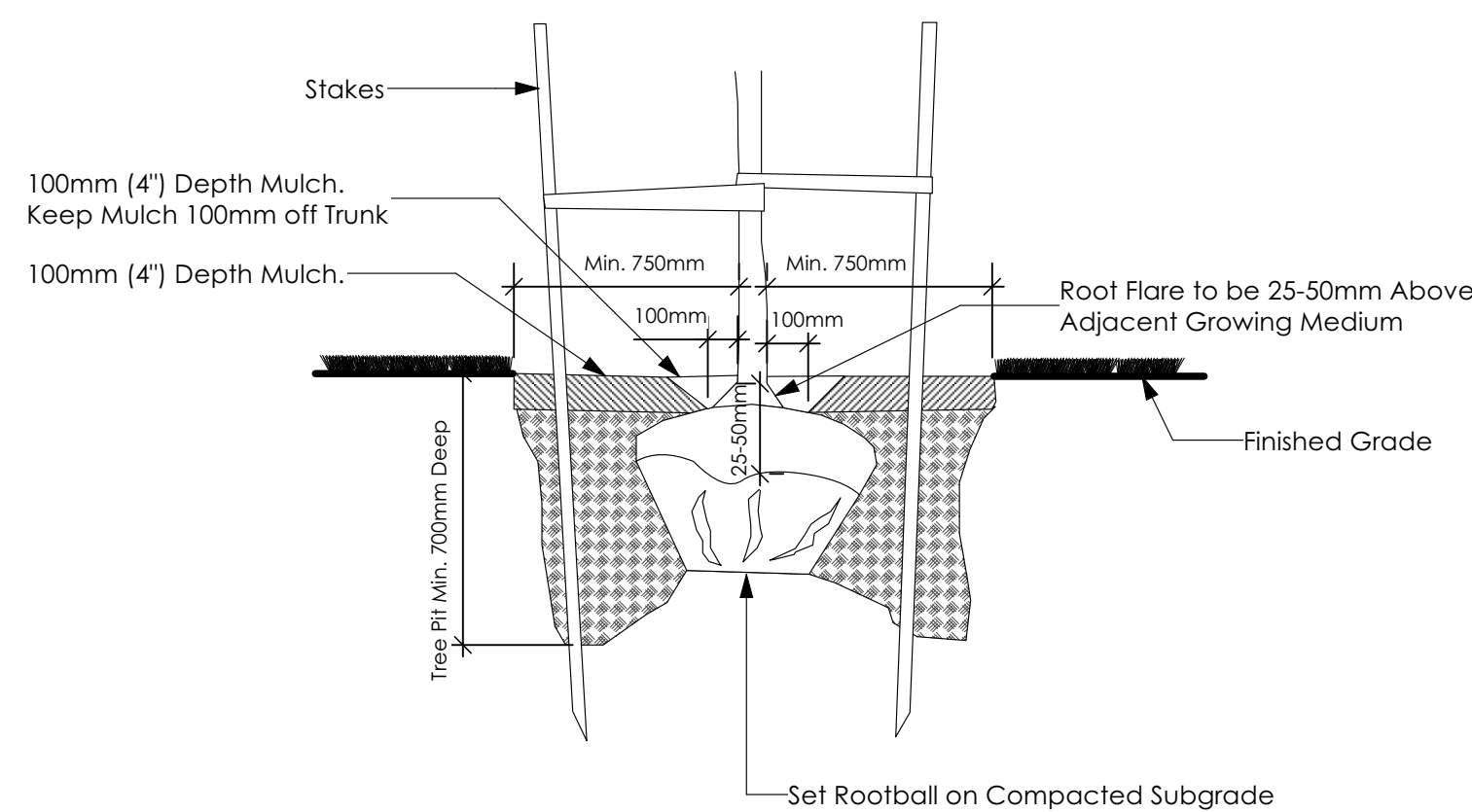
RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS

SMALL CAR PARKING STALL DIMENSIONS

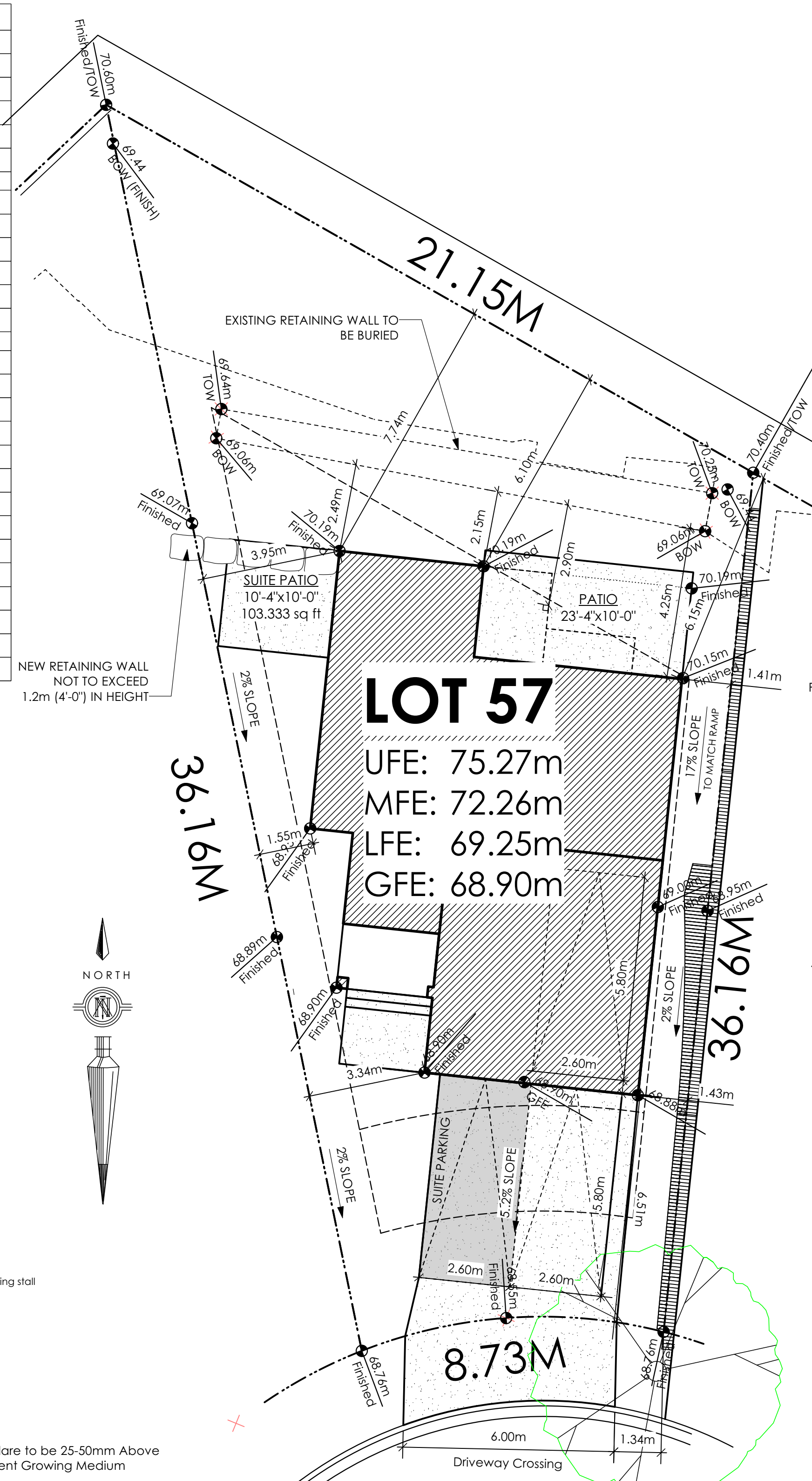
* as per 2.2.02a allowing one stall to be a small car parking stall



1 Tree Planting Detail

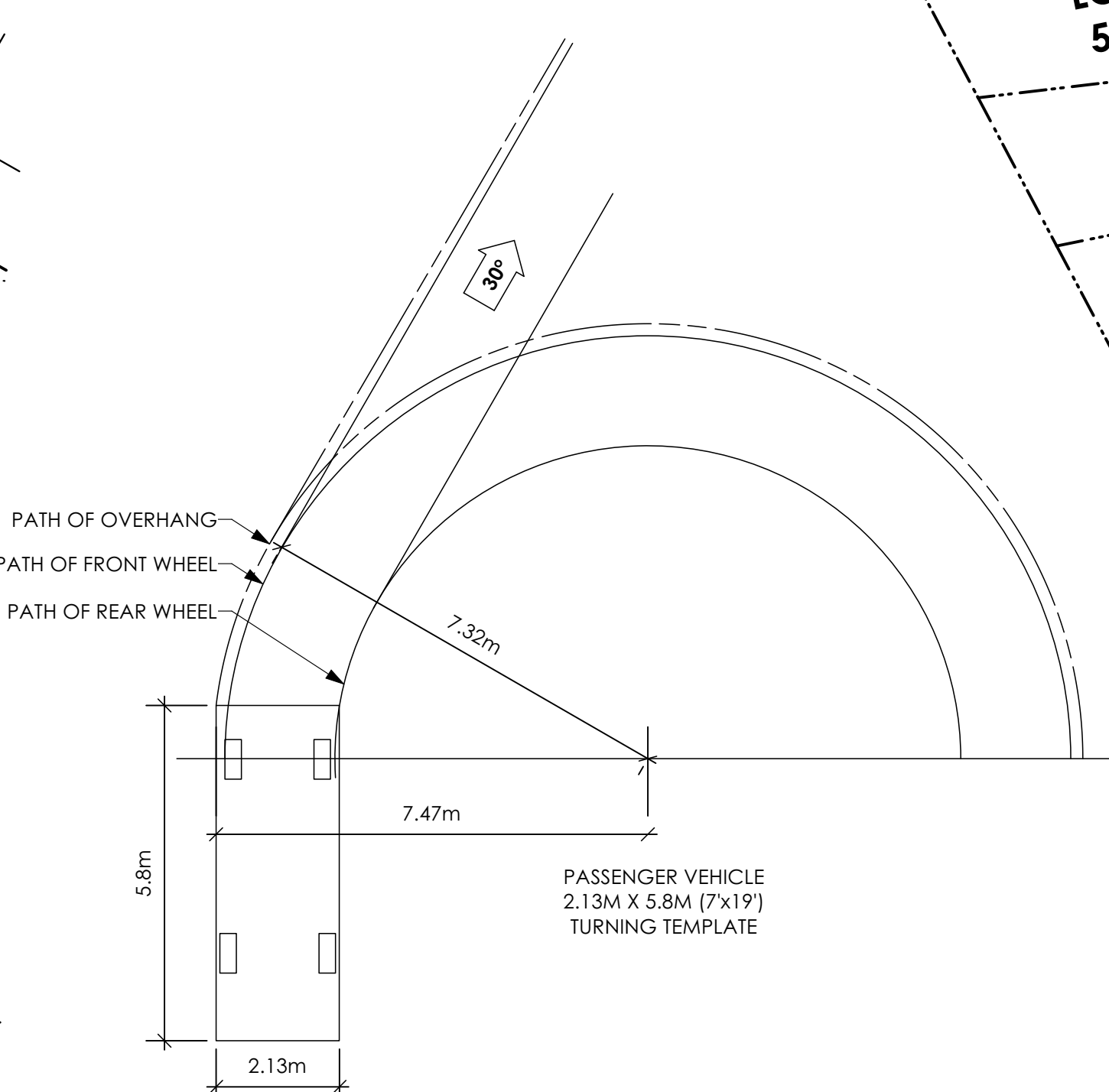
A2 Not To Scale

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep



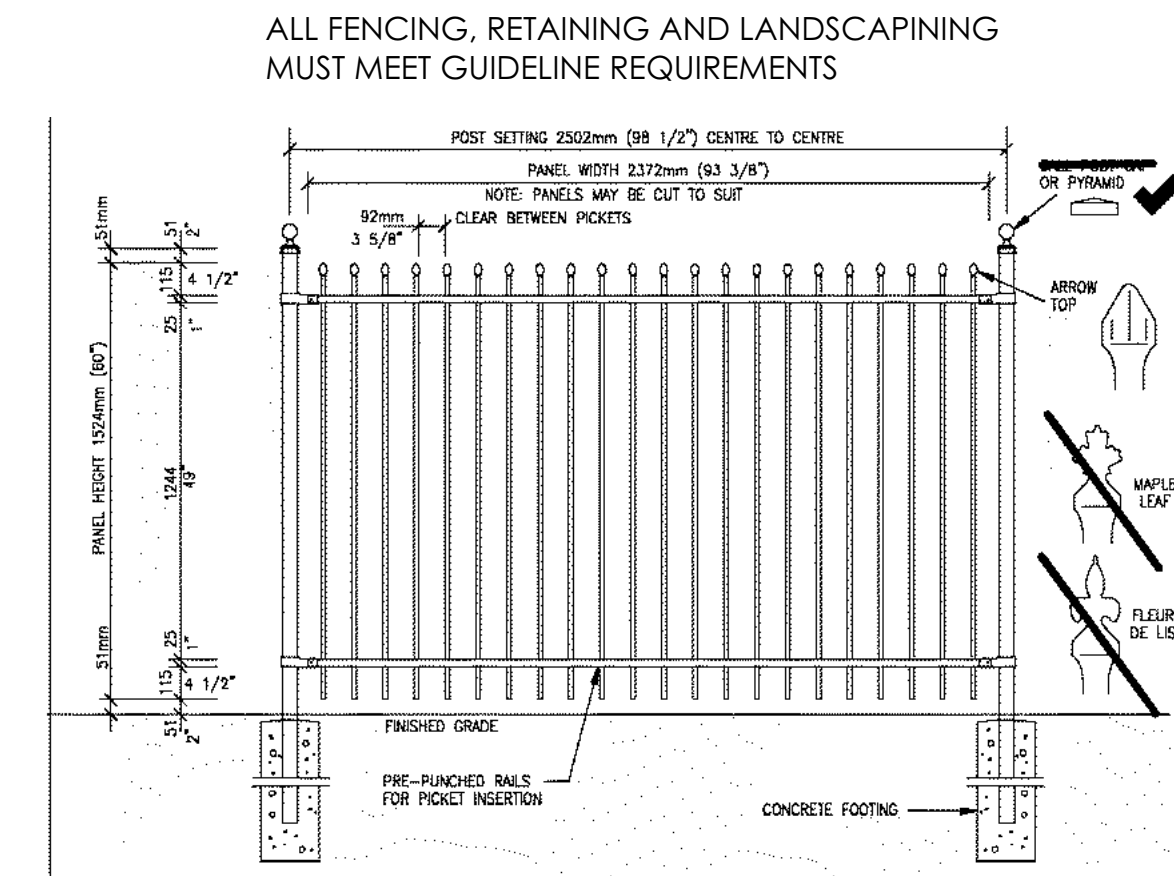
2 Site Plan

A2 1:100



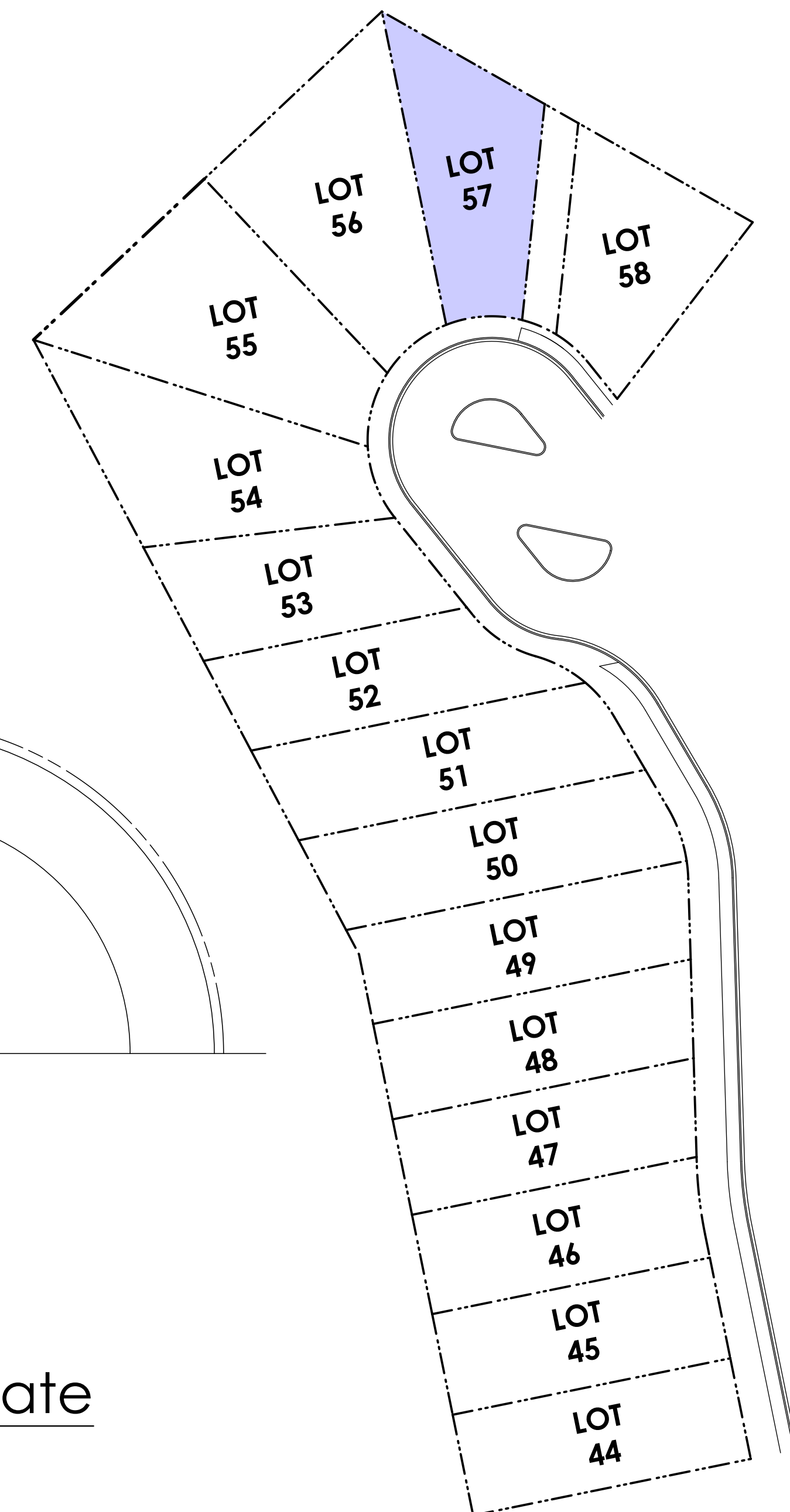
3 Turning Template

A2 Not To Scale



4 Fence Treatment

A2 Not To Scale



5 Key Plan

A2 1:500

GENOA TRADITIONAL

Date

June 29, 2023

Project Address

3482 Trumpeter Street
 Royal Bay - Sector 7
 Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-57

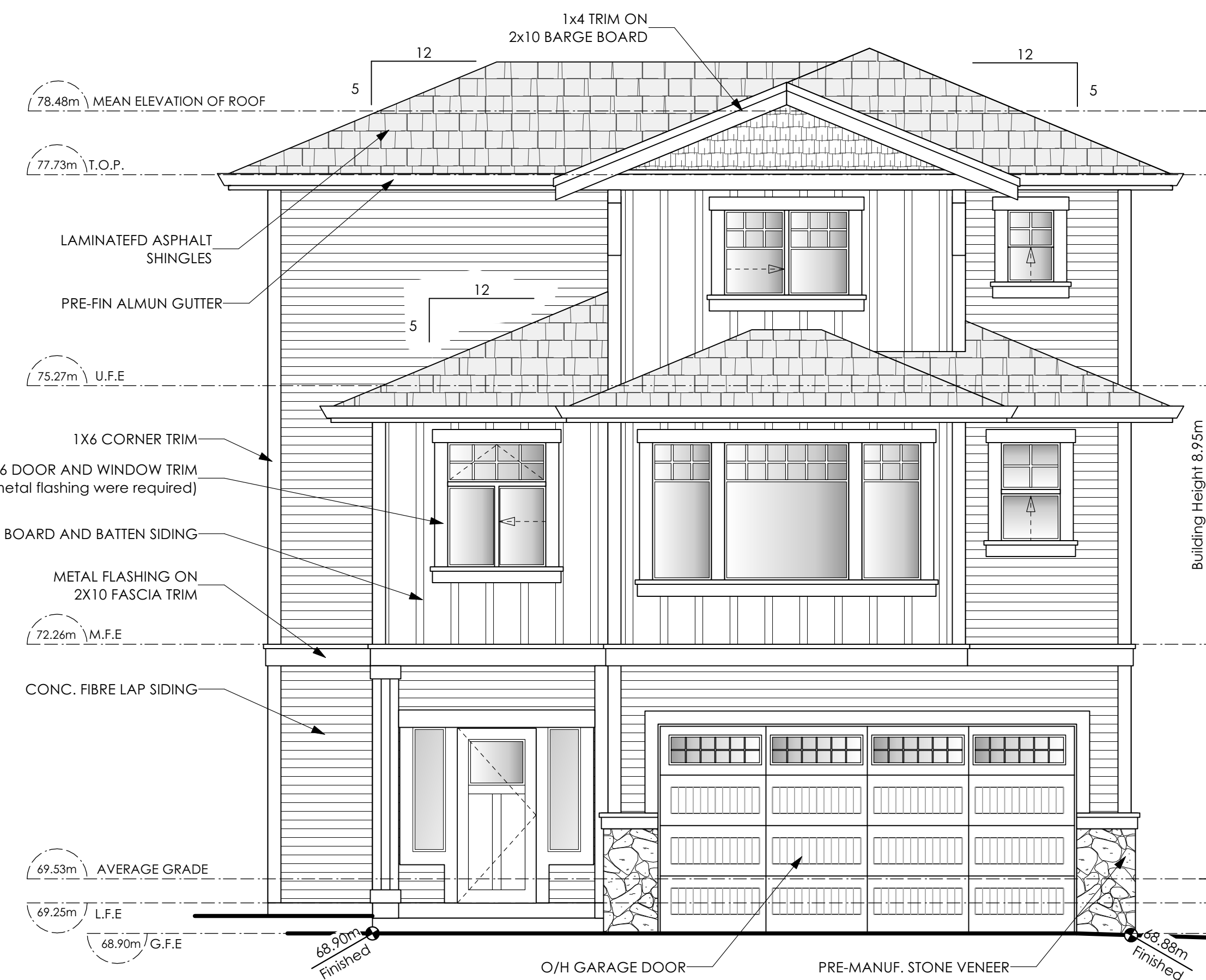
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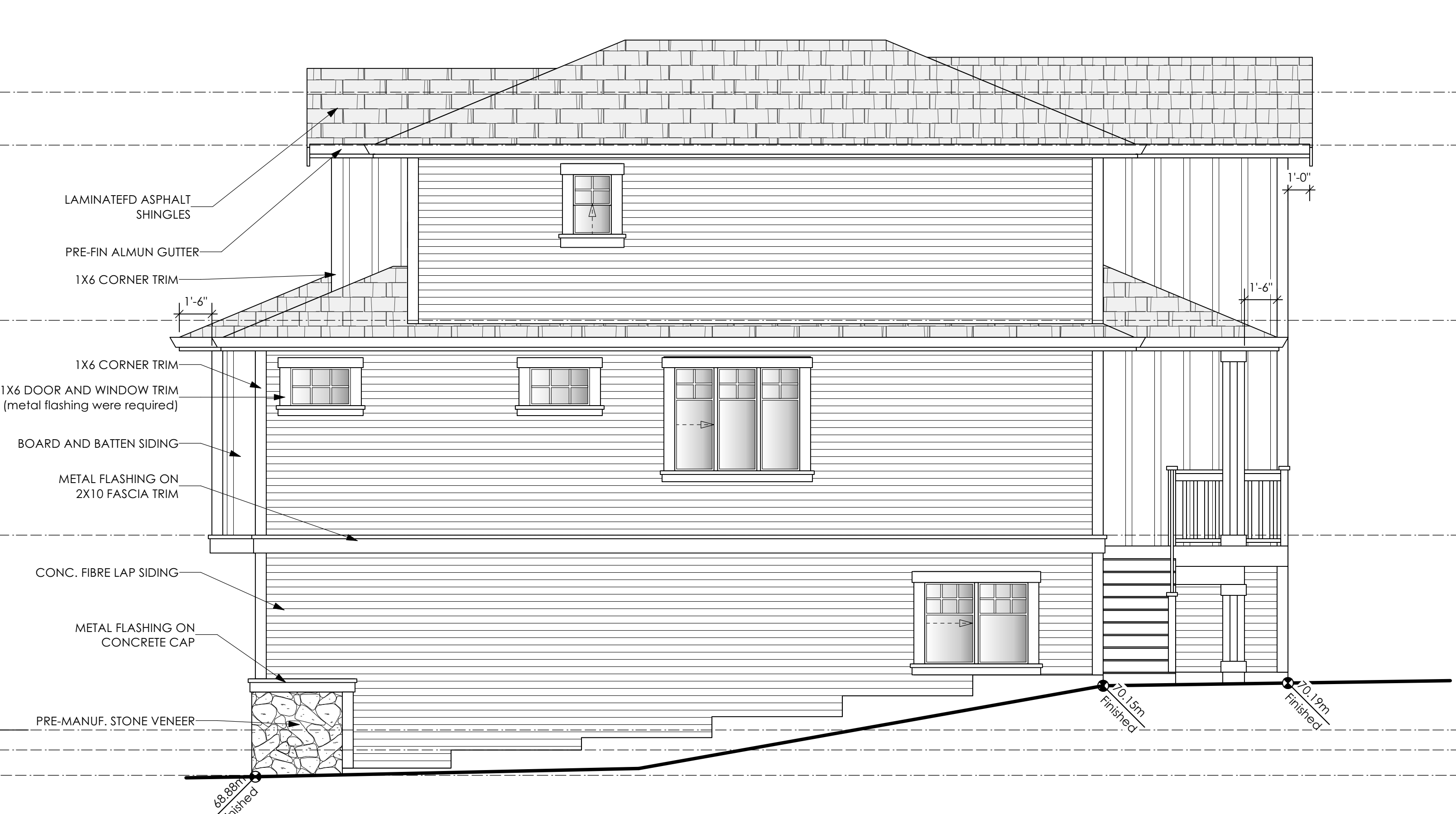
Drawn By

MDK

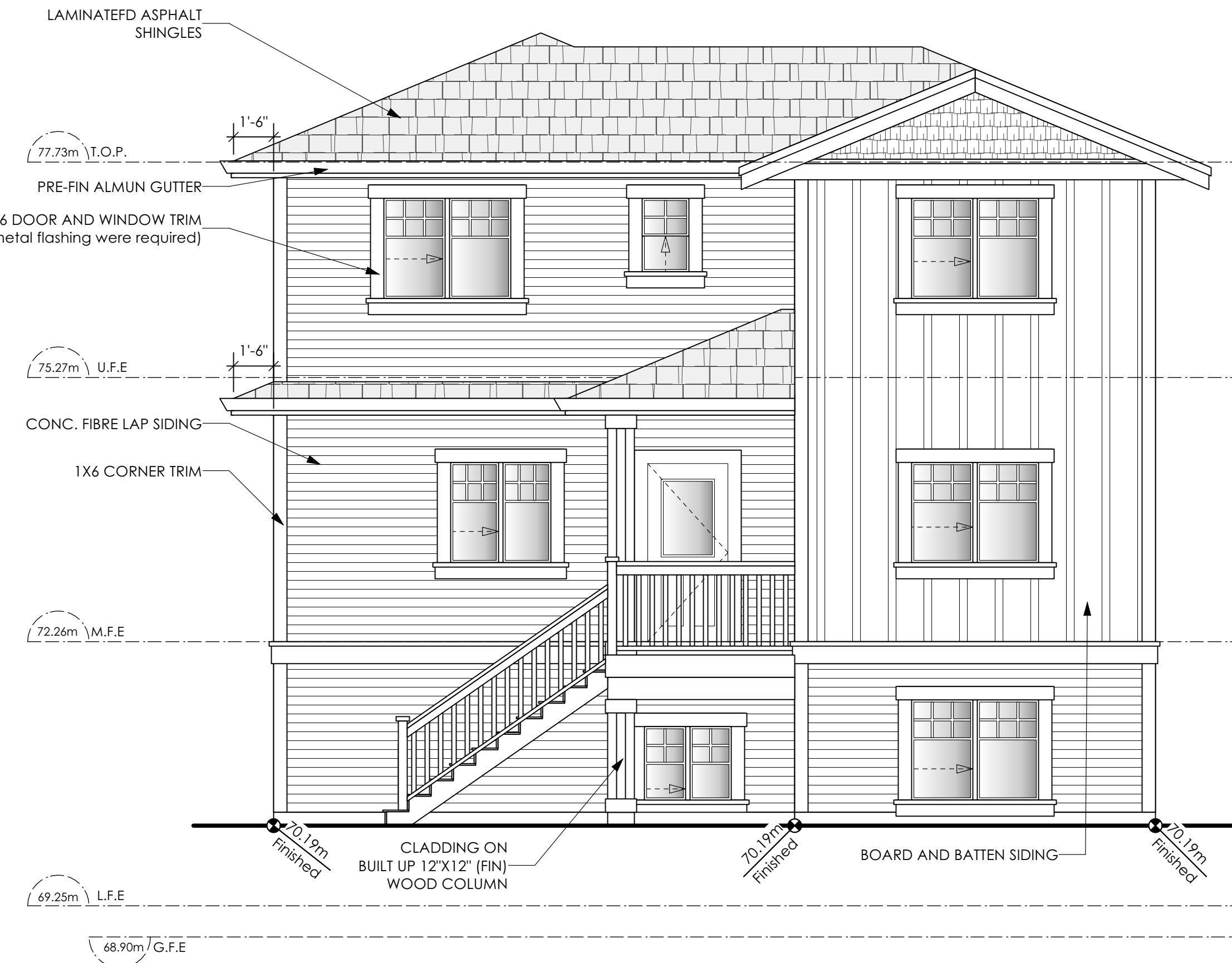
Development Permit Presentation



1
A3 **Front Elevation**
Scale: 1/4" = 1'-0"



2
A3 **Right Side Elevation**
Scale: 1/4" = 1'-0"



3
A3 **Rear Elevation**
Scale: 1/4" = 1'-0"



4
A3 **Left Side Elevation**
Scale: 1/4" = 1'-0"

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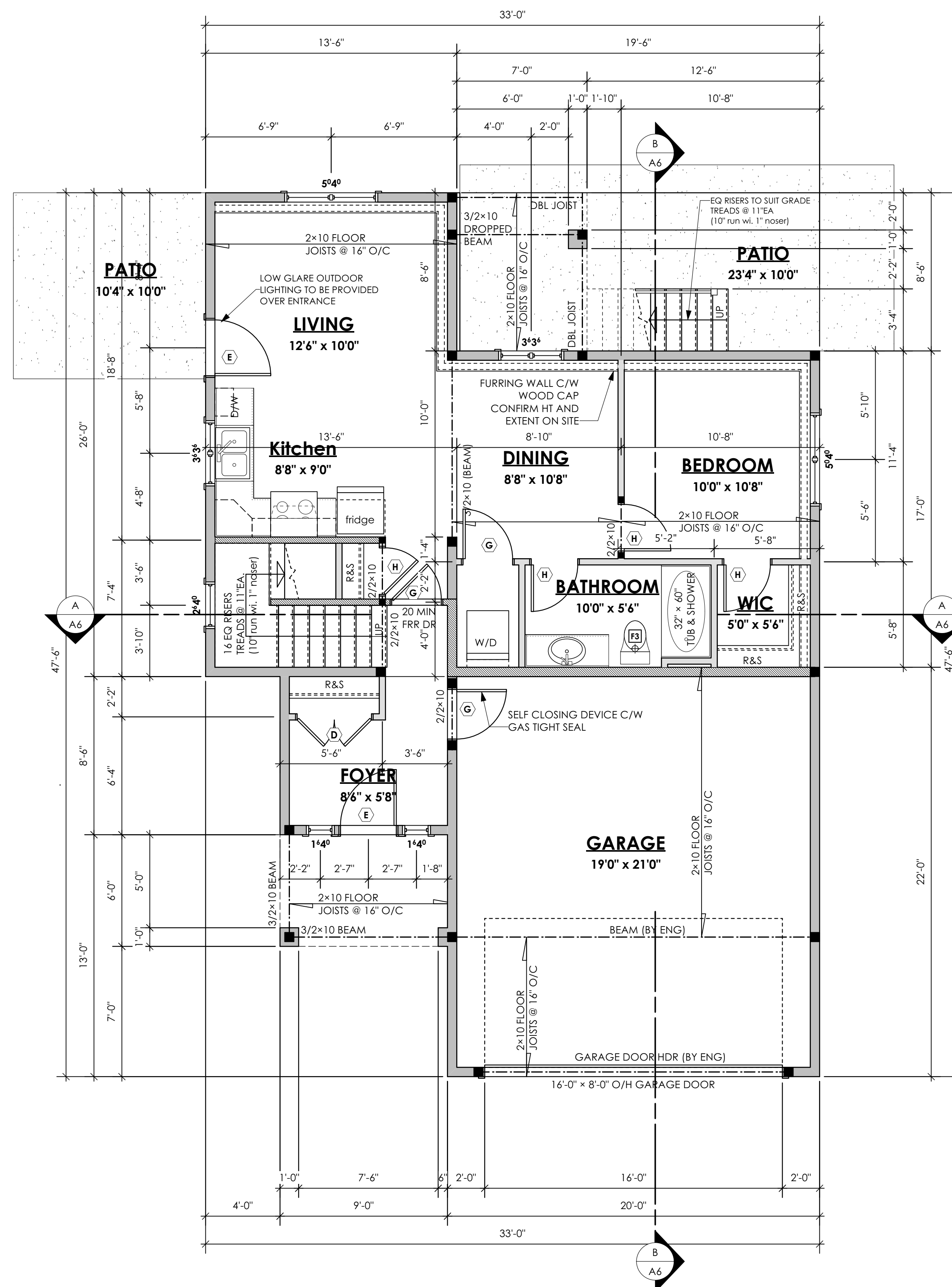
Scale

As Noted

Drawn By

MDK

Development Permit Presentation



1 Lower Floor Plan
Scale: 1/4" = 1'-0"
PRIMARY: 129.38 sq.ft. (12.02 sq.m.)
SUITE: 591.00 sq.ft. (54.91 sq.m.)
TOTAL: 720.38 sq.ft. (66.93 sq.m.)
GARAGE: 440.00 sq.ft. (40.88 sq.m.)

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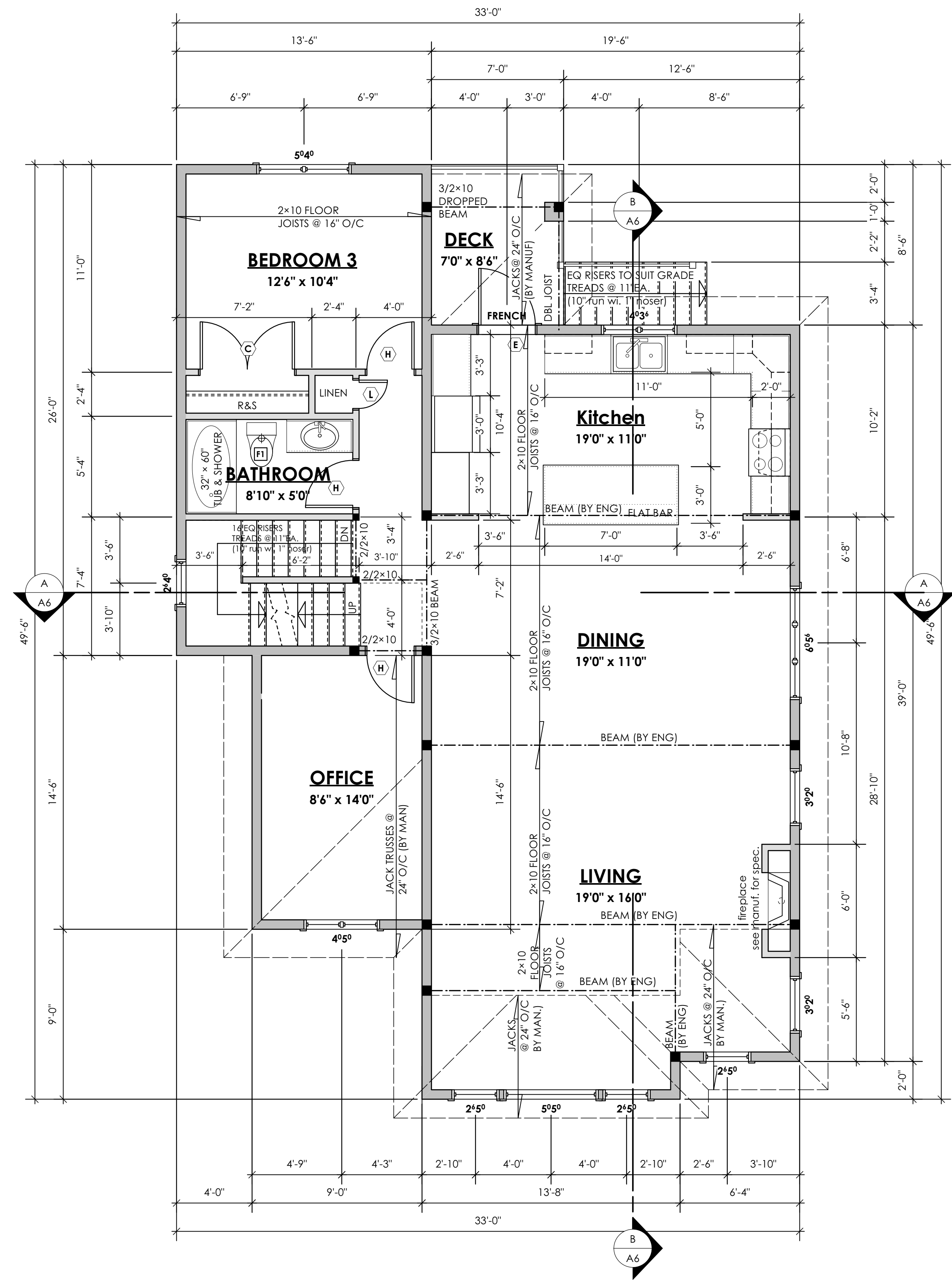
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Drawn By

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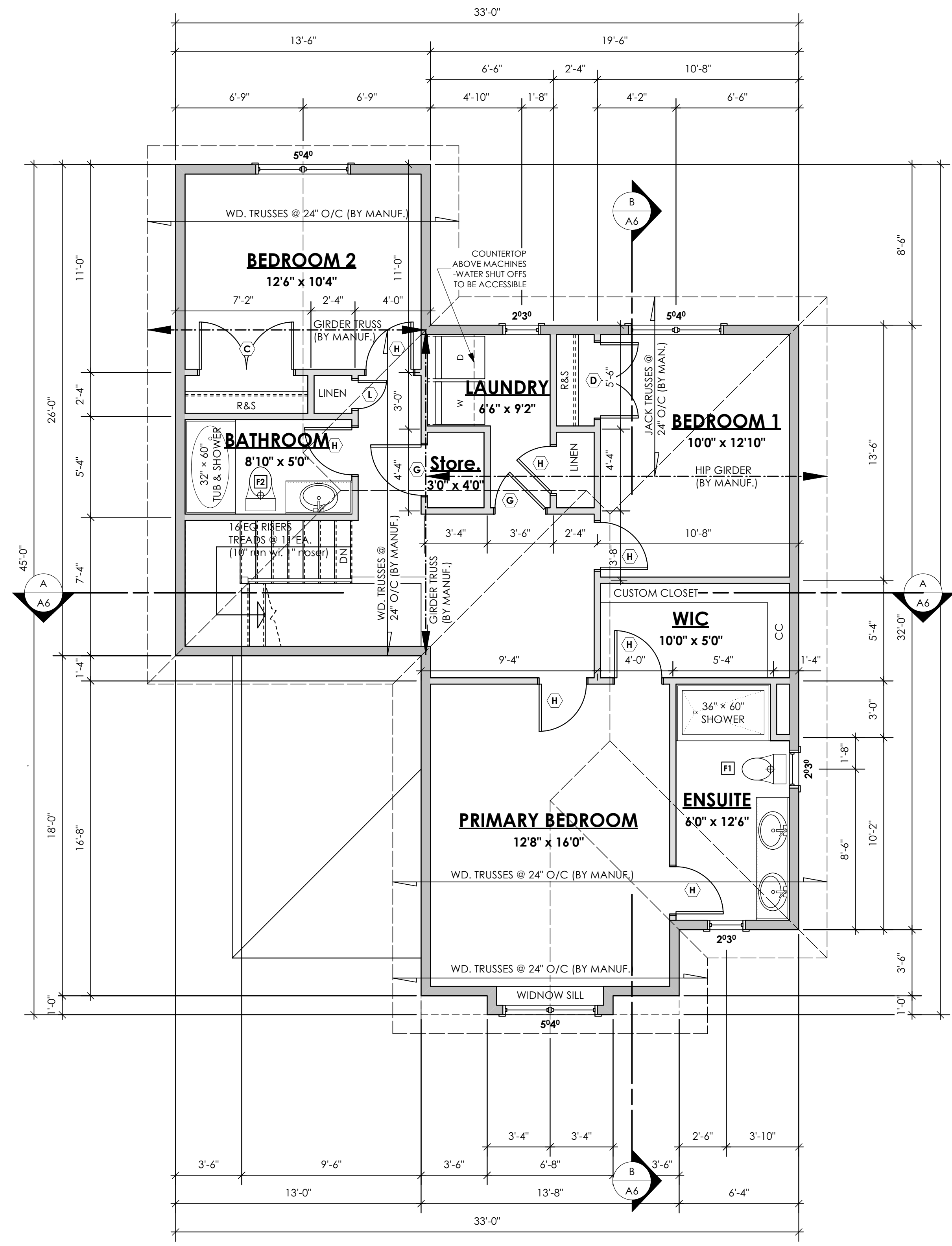
Development Permit Presentation



1
A5 **Main Floor Plan**
Scale: 1/4" = 1'-0"
PRIMARY: 1252.75 sq.ft. (116.38 sq.m.)

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)



1
A6 **Upper Floor Plan**
Scale: 1/4" = 1'-0"
PRIMARY: 963.14 sq.ft. (89.48 sq.m.)

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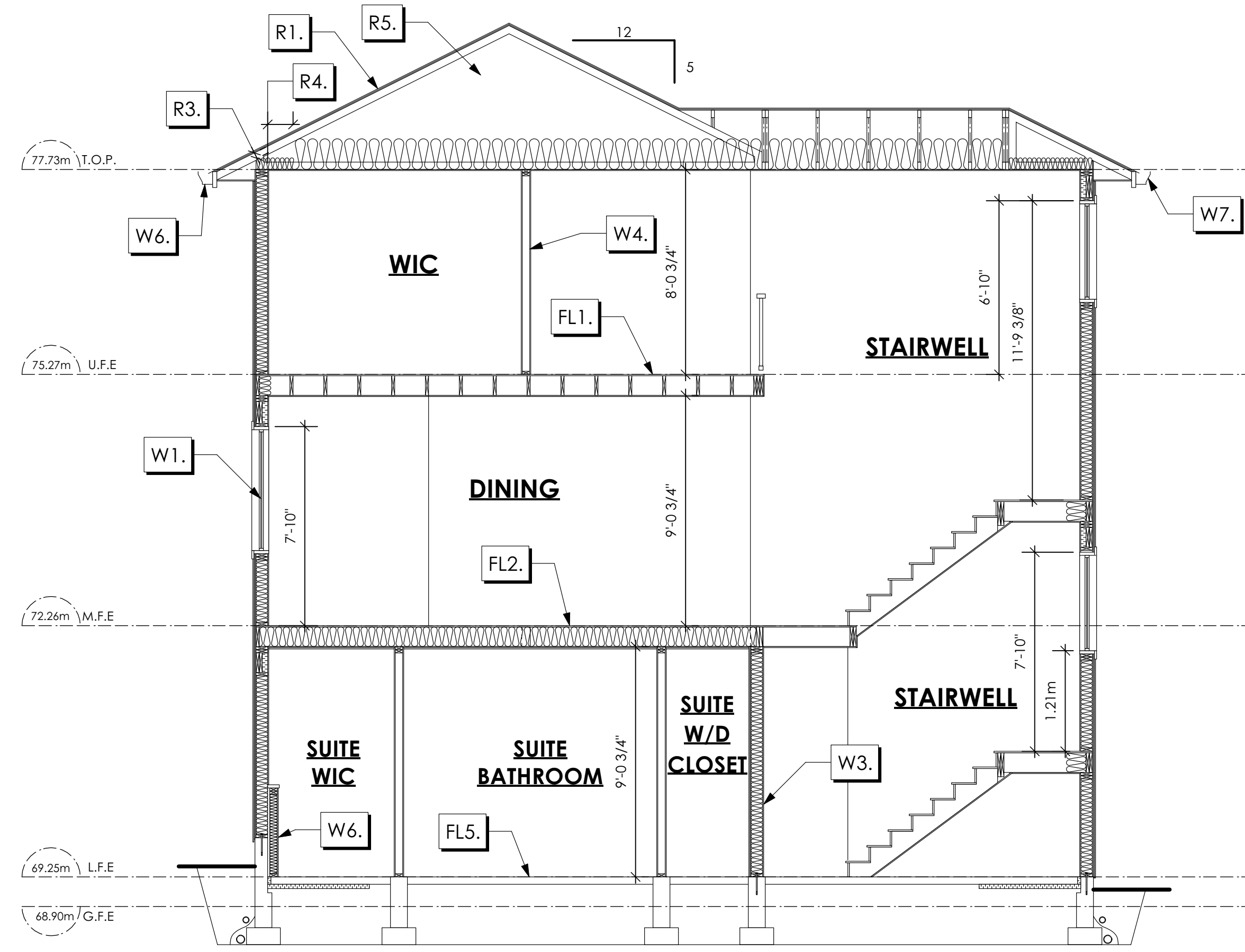
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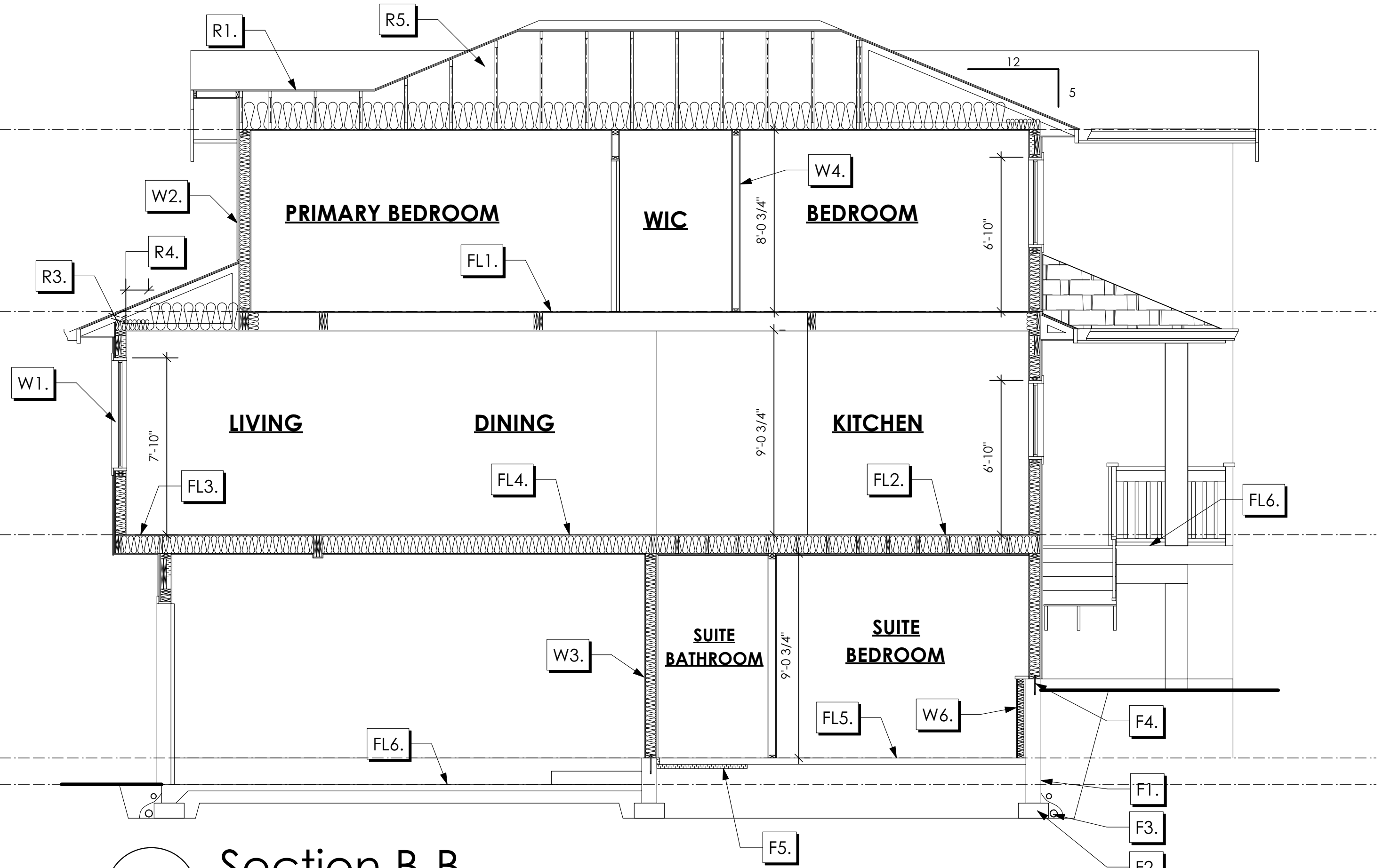
Drawn By

MDK

Development Permit Presentation



1 Section A-A
A7 Scale: 1/4" = 1'-0"



1 Section B-B
A7 Scale: 1/4" = 1'-0"

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS W/ TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
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- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)
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- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
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- FL4. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE)
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- FL6. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)
- FL7. DECKING MEMBRANE (TO COMPLY WITH CAN/CSB 37.54) ON 11/16" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN. 1:50 SLOPE)
- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL, WI. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS"; COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.
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- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3C 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (not in section)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION BUILDING WRAP OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)
- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT IN SECTION)

Development Permit Presentation

GENOA TRADITIONAL

Date

June 29, 2023

Project Address

3482 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

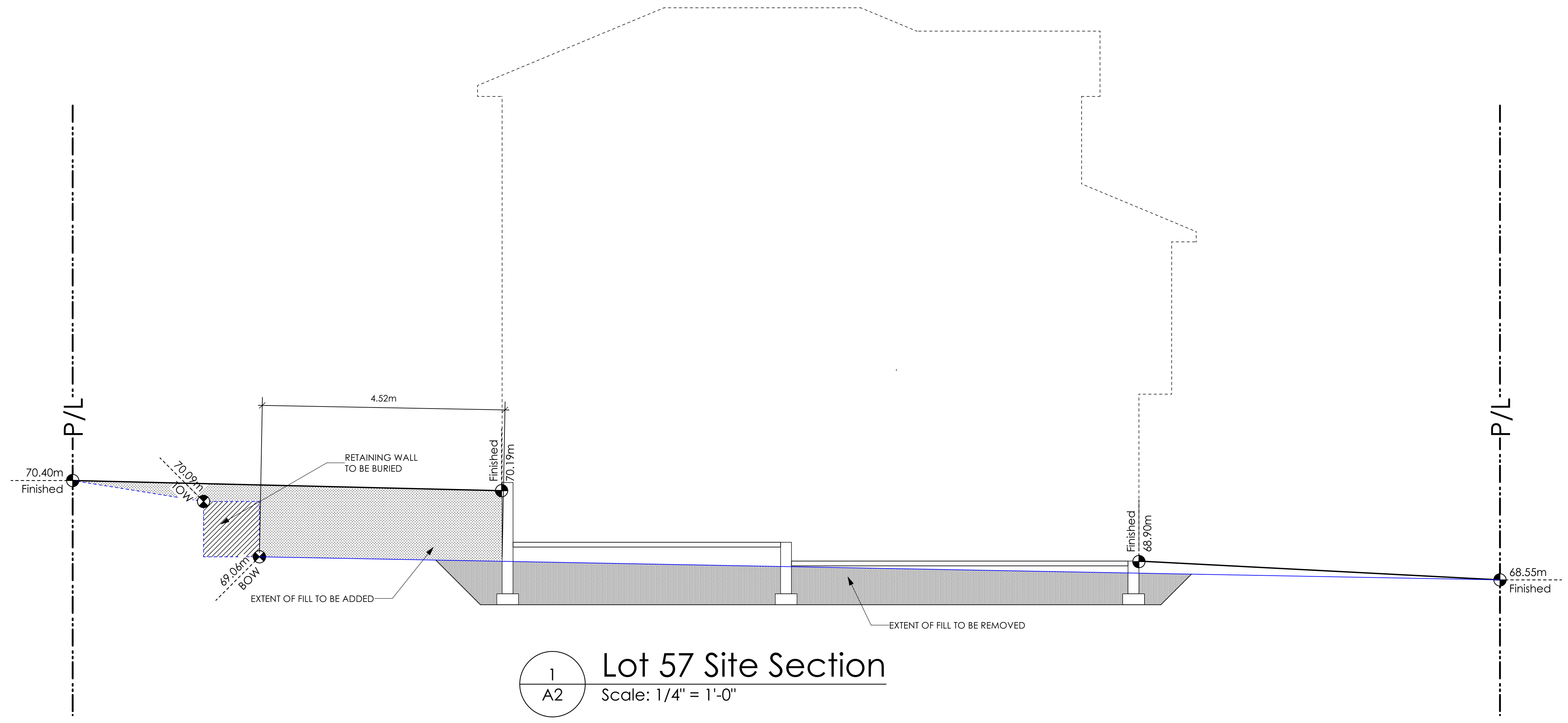
8298-57

Scale ^{A7}

As Noted

Drawn By

MDK



1
A2 **Lot 57 Site Section**
Scale: 1/4" = 1'-0"

GENOA TRADITIONAL

Date

June 29, 2023

Project Address

3482 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-57

Scale

As Noted

Drawn By

MDK

Development Permit Presentation

MUNICIPAL ADDRESS 3482 Trumpeter Street	P.I.D.
LOT 57	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) 72.26

FRONT ELEV. 68.90 REAR ELEV. 69.10
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE 68.90/68.88

ACTUAL TOP OF FOOTING ELEVATION (ATF) n/a

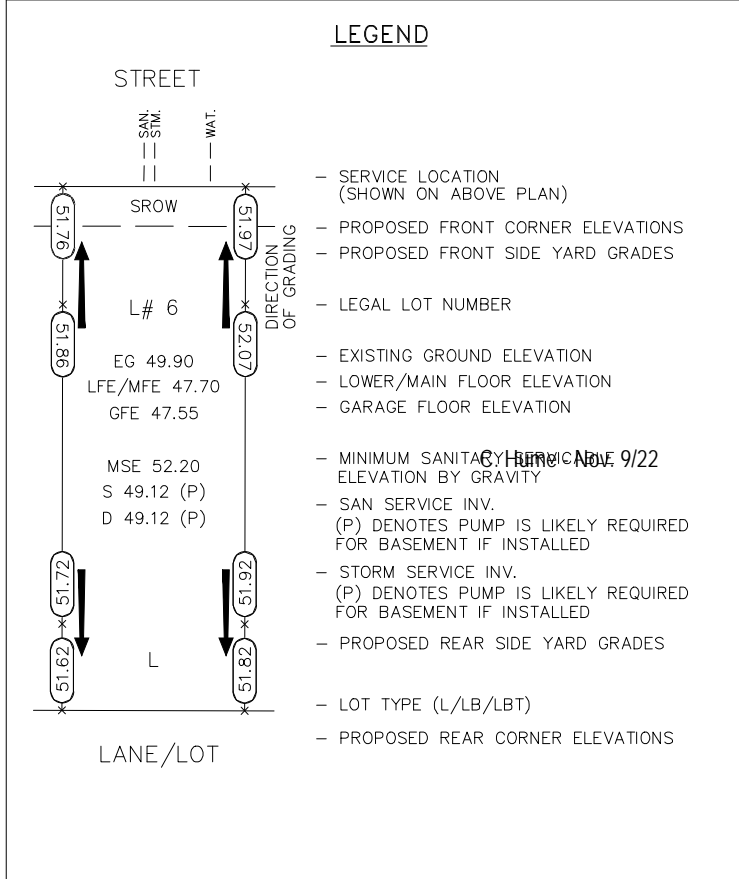
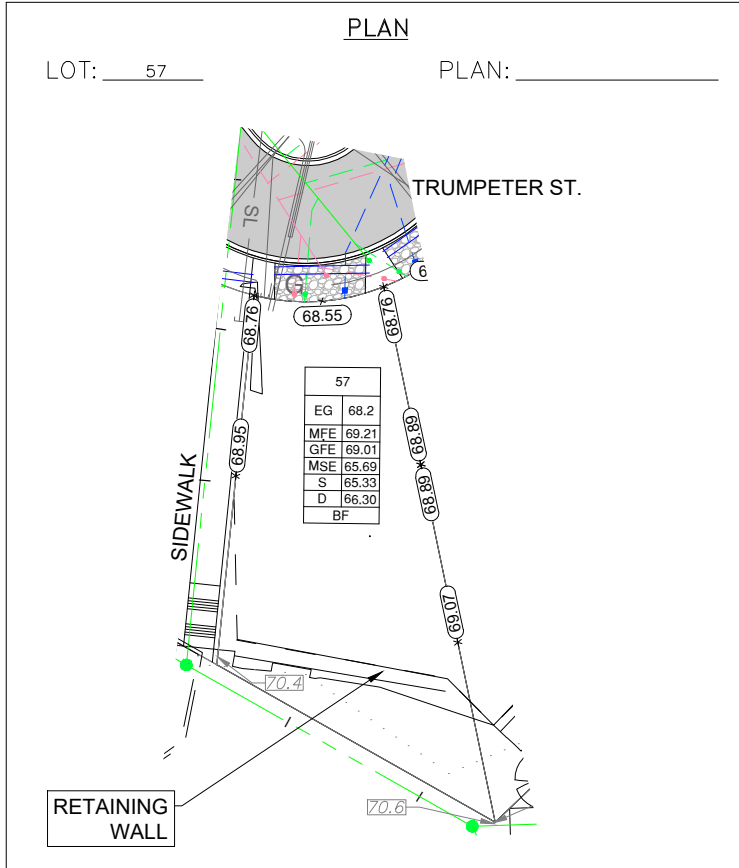
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) not provided

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



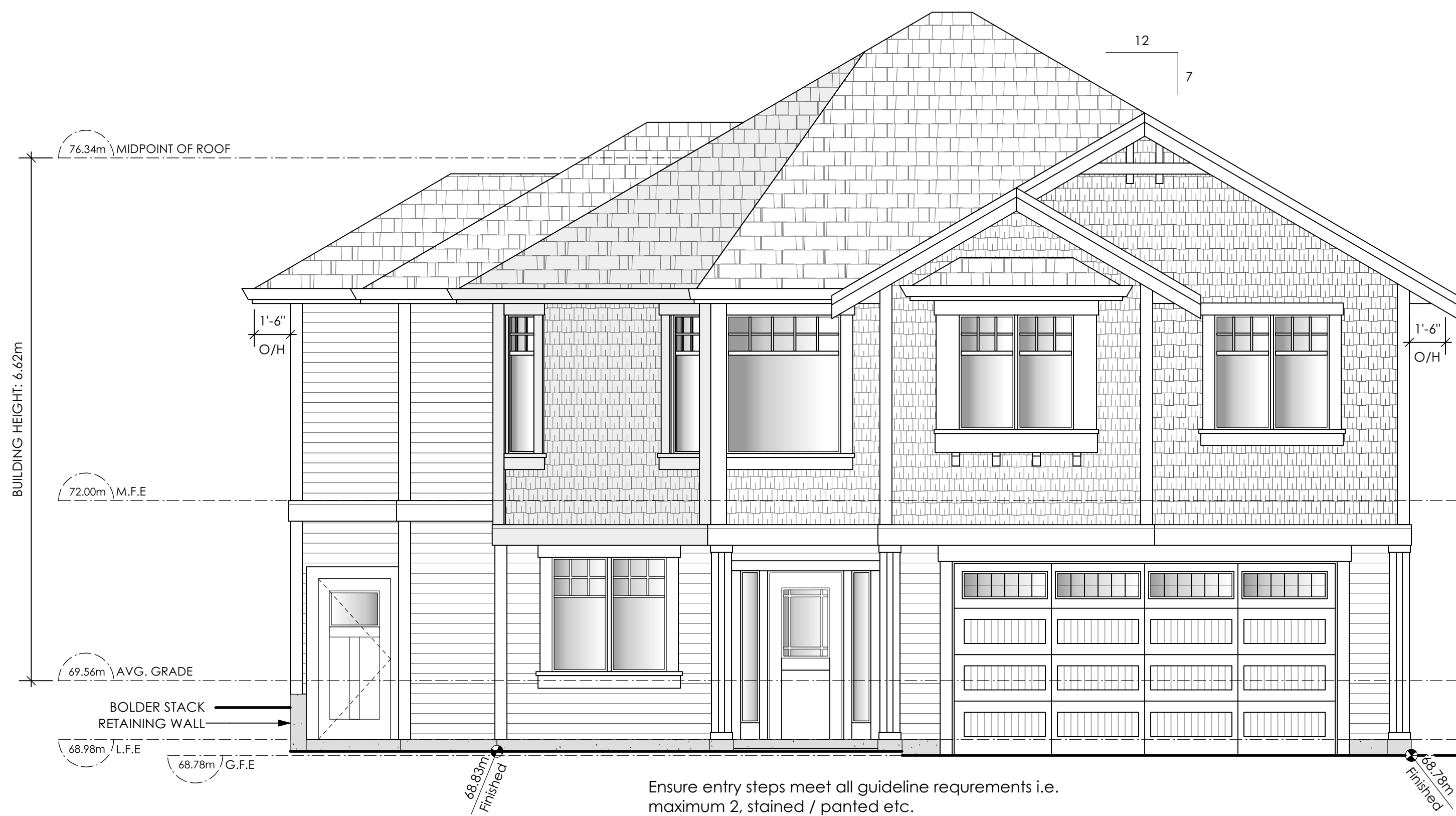
I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

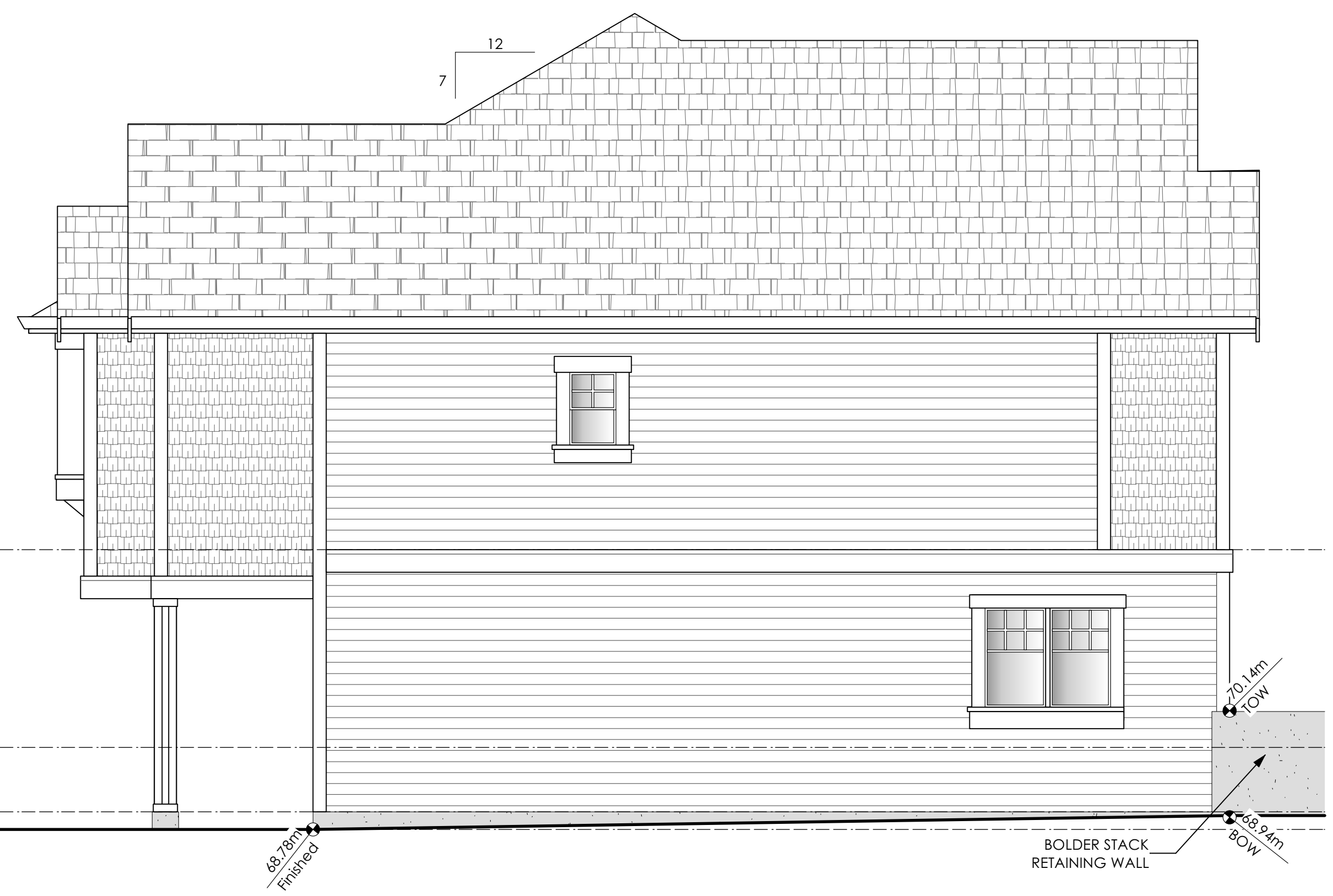
C. Hume - Nov. 9/22



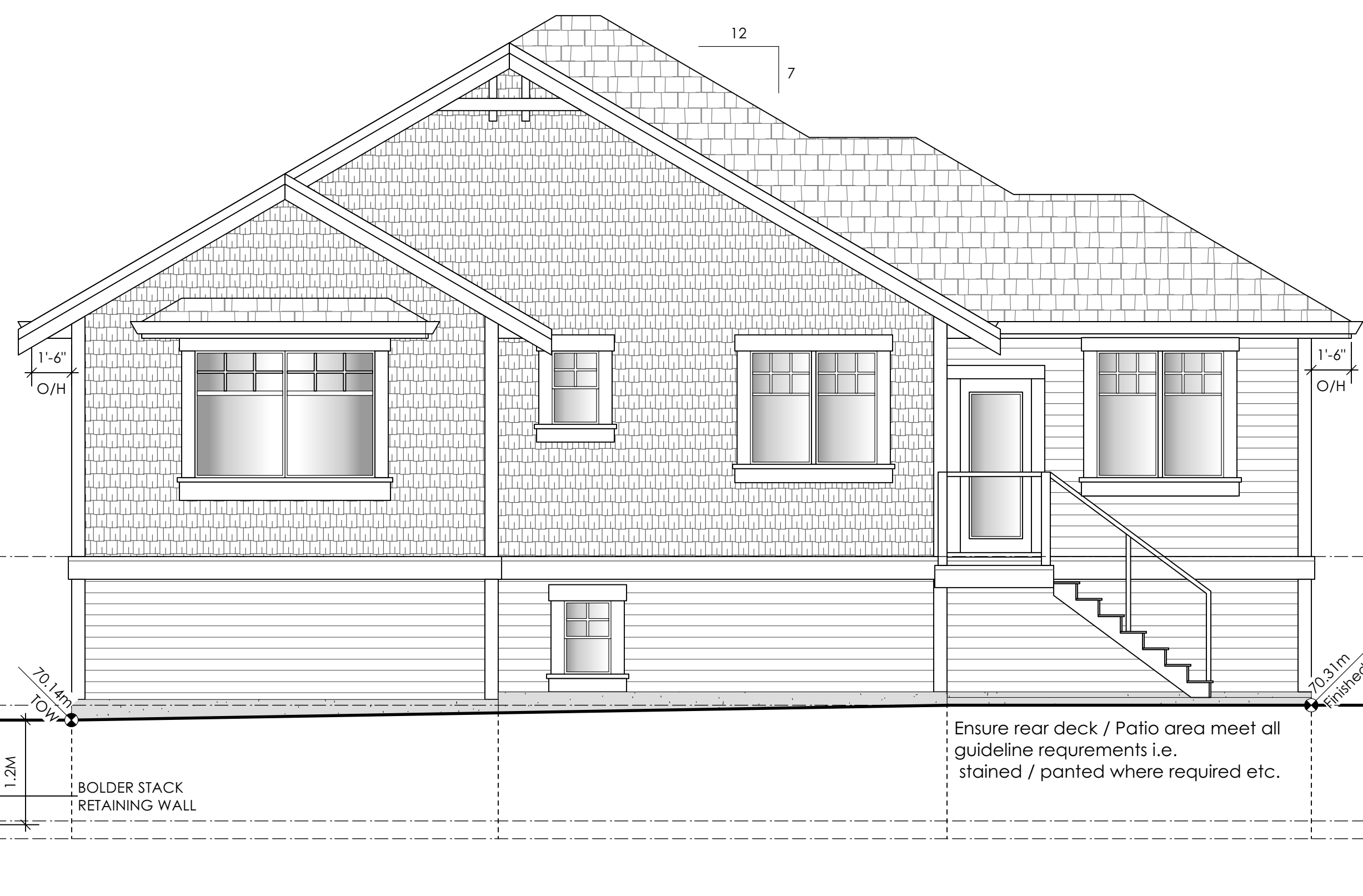
1 Front Elevation
Scale: 1/4" = 1'-0"

Ensure NO galvanized flashing
Slab on grade previously
accepted by the developer on other lots

Ensure entry steps meet all guideline requirements i.e. maximum 2, stained / painted etc.

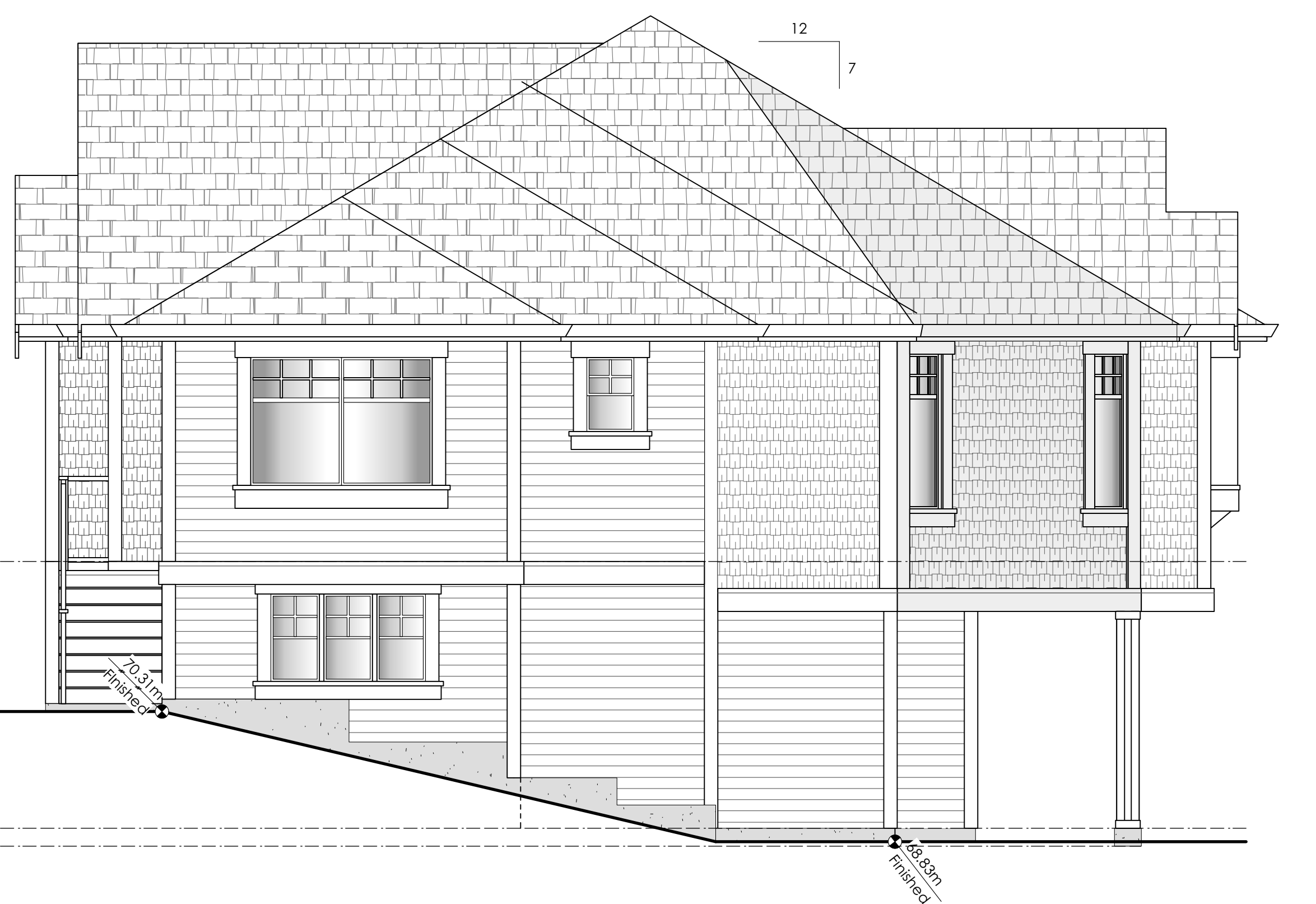


2 Right Side Elevation
Scale: 1/4" = 1'-0"

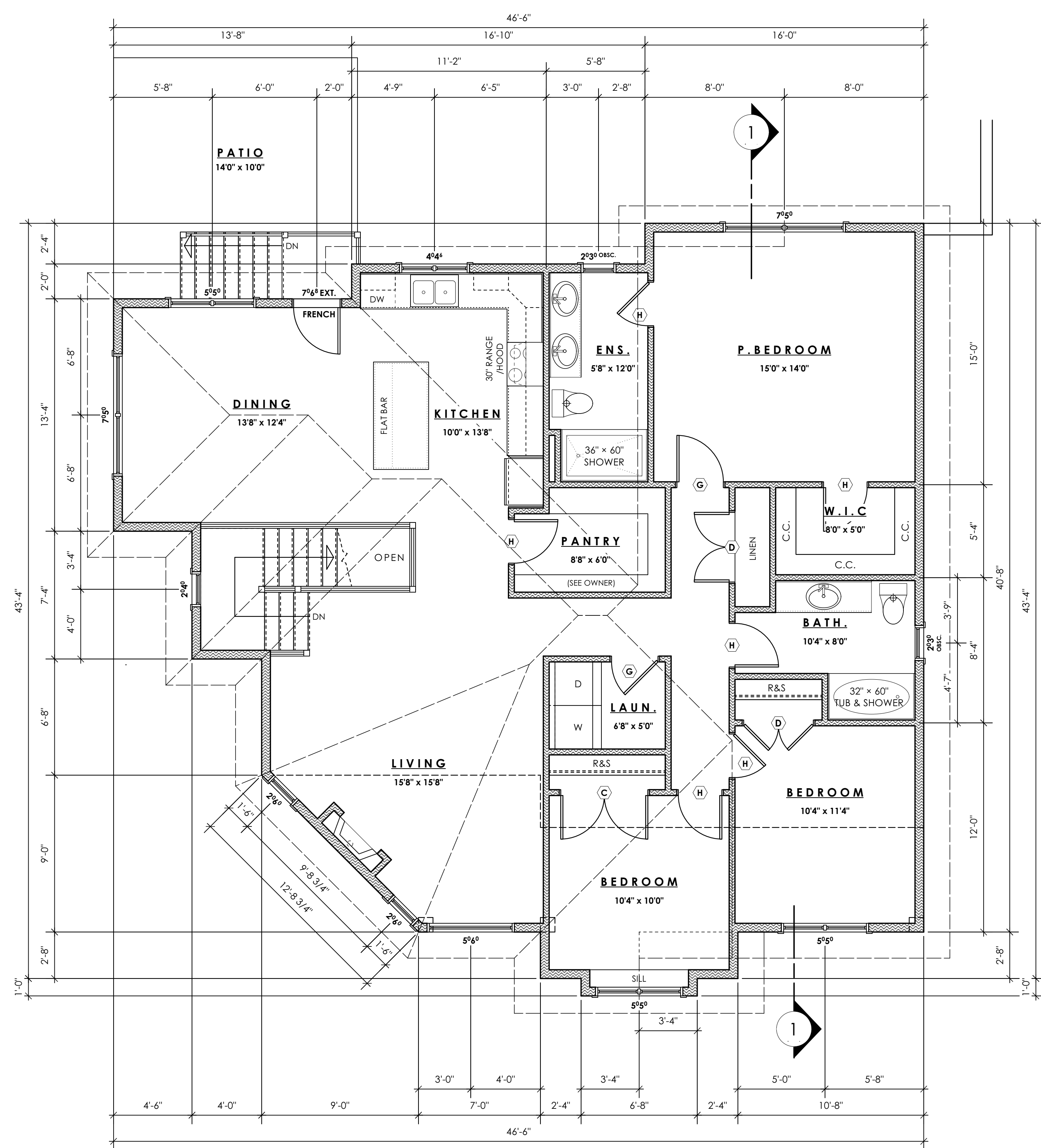
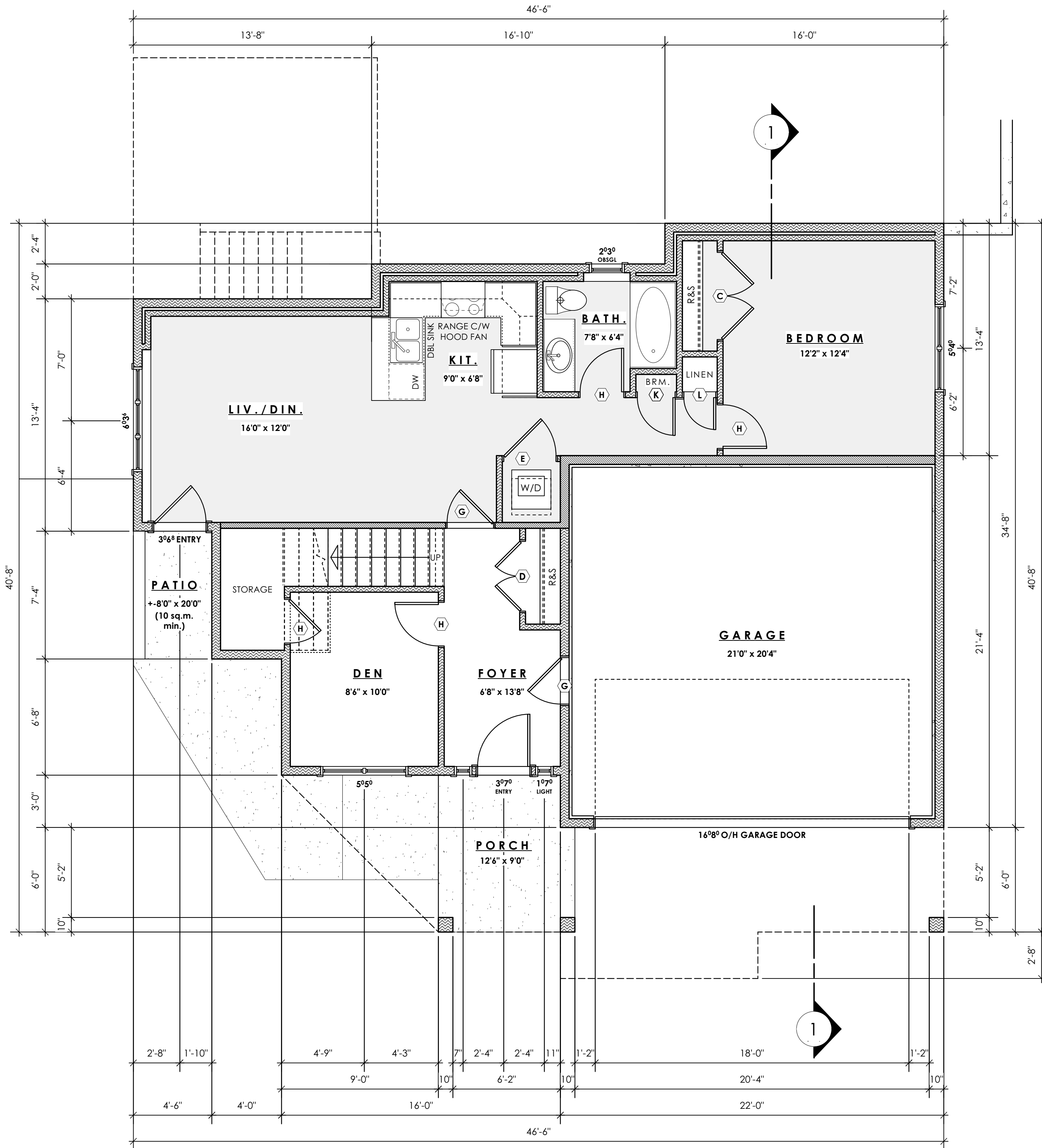


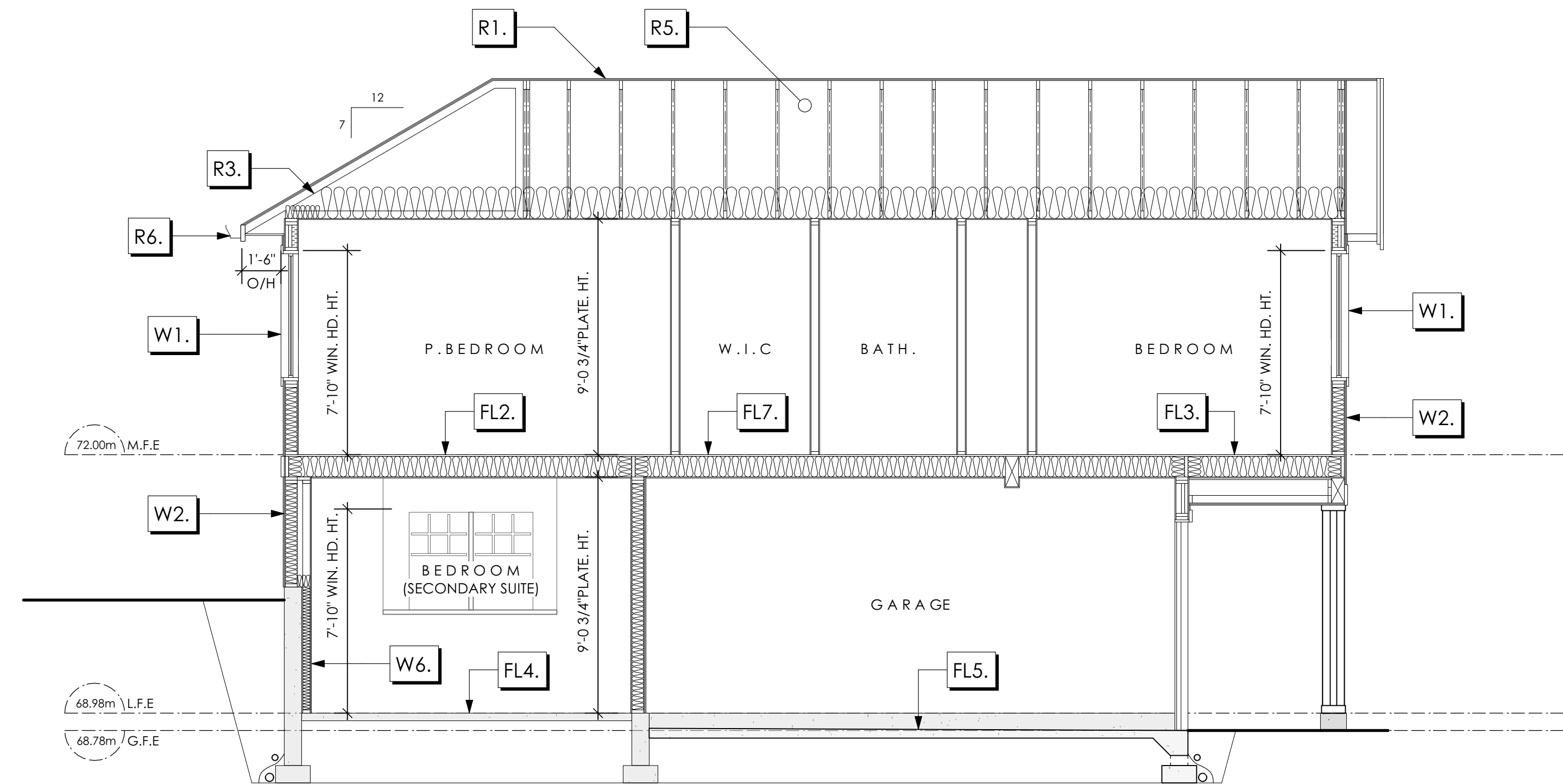
3 Rear Elevation
Scale: 1/4" = 1'-0"

Ensure rear deck / Patio area meet all guideline requirements i.e. stained / painted where required etc.



4 Left Side Elevation
Scale: 1/4" = 1'-0"





1 Section A-A
Scale: 1/4" = 1'-0"

Section Notes

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 1/2" ORIENTED STRAND BOARD VENTED SOFFIT
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R. 50 S.T.C.
- FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPECS) TO ALL SUSPENDED FLOOR AREAS (NOT IN SECTION)
- FL4. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 11/16" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN.1:50 SLOPE)
- FL7. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE)

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL. w/ 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION BUILDING WRAP OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT IN SECTION)

Lot 58
3480 Trumpeter Street

Windjammer Westcoast

Date

JUNE 29, 2023

Project Address

3480 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

Scale

As Noted

Drawn By

WGM

Development Permit Presentation

Lot 58
3480 Trumpeter Street

Windjammer Westcoast

Date

JUNE 29, 2023

Project Address

3480 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

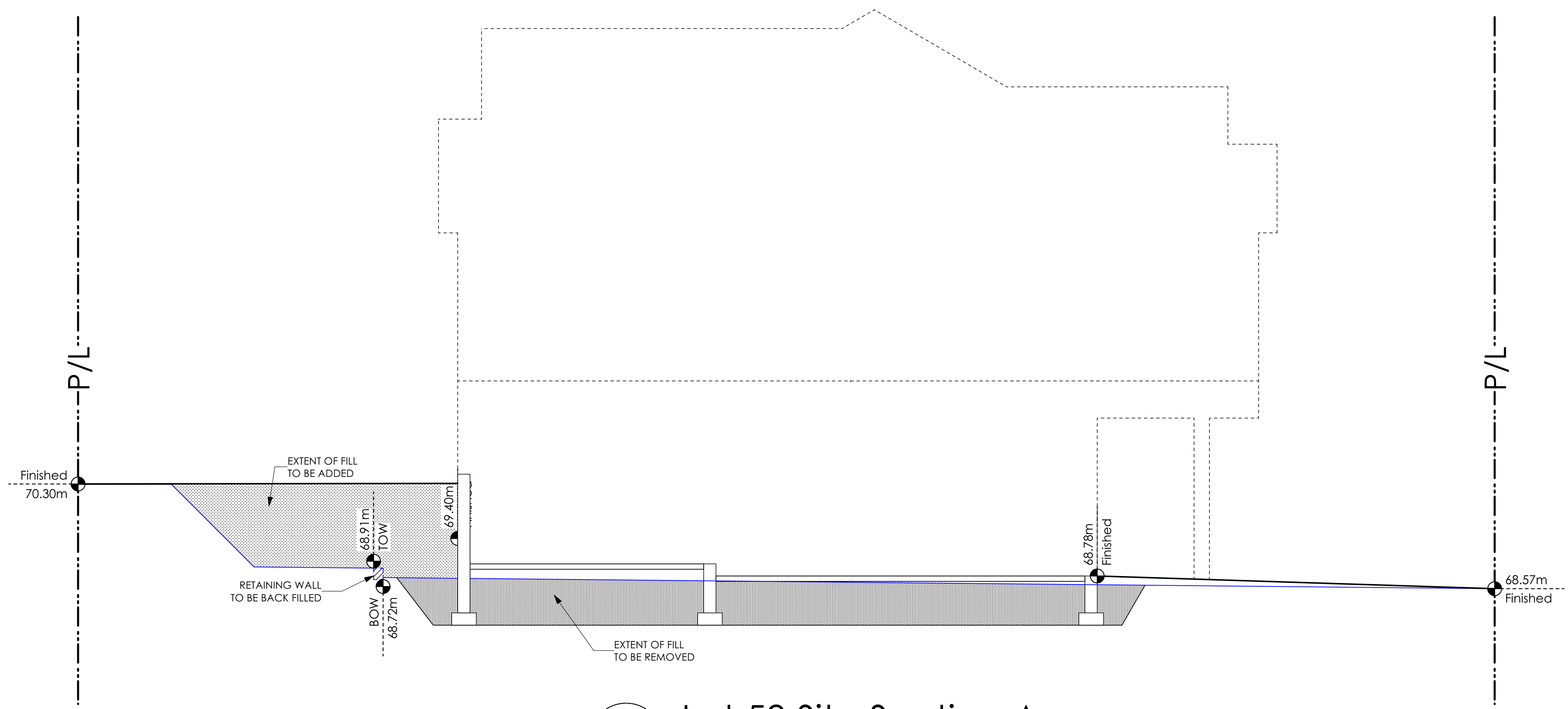
8298

Scale

As Noted

Drawn By

WGM



1 Lot 58 Site Section A
Scale: 1/4" = 1'-0"

Lot 58
3480 Trumpeter Street

Windjammer Westcoast

Date

JUNE 29, 2023

Project Address

3480 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

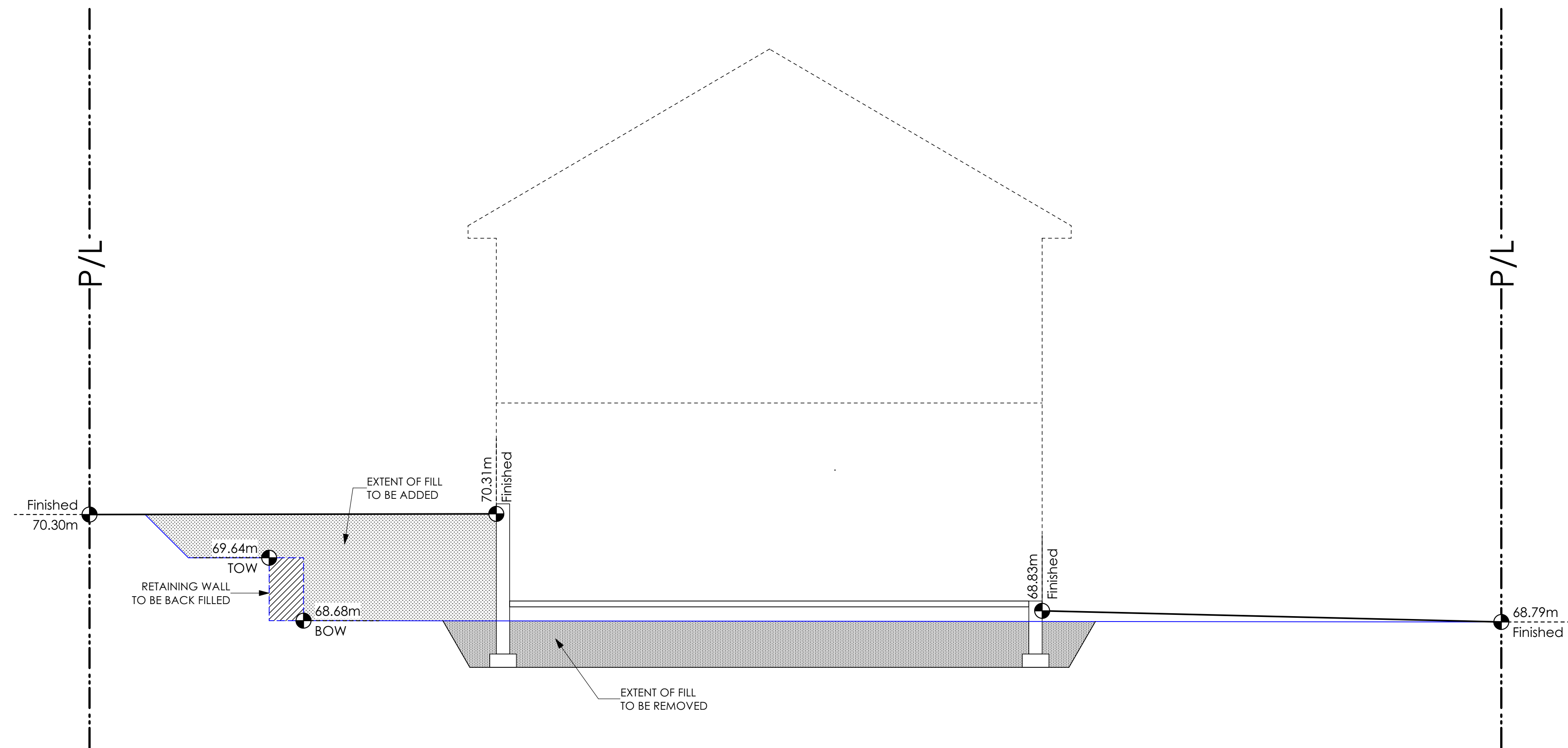
8298

Scale

As Noted

Drawn By

WGM



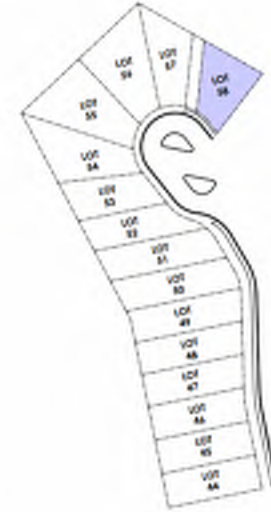
1 Lot 58 Site Section B
Scale: 1/4" = 1'-0"

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN
NOT TO SCALE



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS



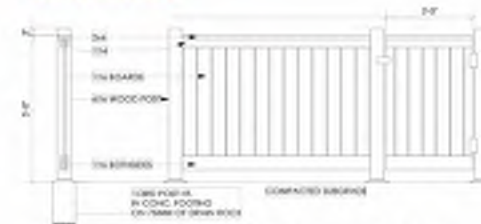
ITEM	AREA (sf)	%
GARDEN BED	241	9%
GRAVEL	269	10%
CONCRETE	867	33%
SOD	1,240	48%
TOTAL	2,617	100%

LEGEND	
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

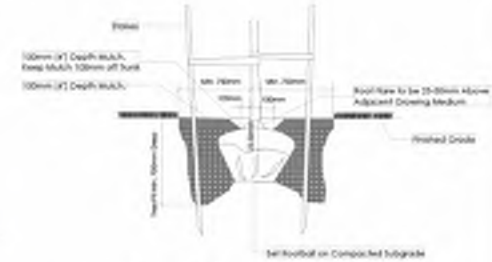
LOCATION INDICATED BY



Typical Fence Detail

Not To Scale

TYPICAL FENCE DETAIL BASED OFF FENCE SPEC 031 FROM PUPA, BY ENGIN CONSULTANTS PAGE 11



Tree Planting Detail

Not To Scale

All trees and plants by the home owner to be planted in minimum 10cm² of fertile topsoil, 750mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN

NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	01/24/23	FOR APPROVAL
02	05/18/23	FOR APPROVAL

PROJECT

LANDSCAPING PLAN
LOT 58, 3480 TRUMPETER ST.
ROYAL BAY, SECTOR 7
CITY OF COLWOOD



QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway
Victoria, B.C. V9B 0A6

P: 250.474.1039

www.verityconstruction.ca

MUNICIPAL ADDRESS 401 Rock Dove Place	P.I.D.
LOT 58	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **72.00**

FRONT ELEV. **68.83** REAR ELEV. **69.57/68.94**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **68.78**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

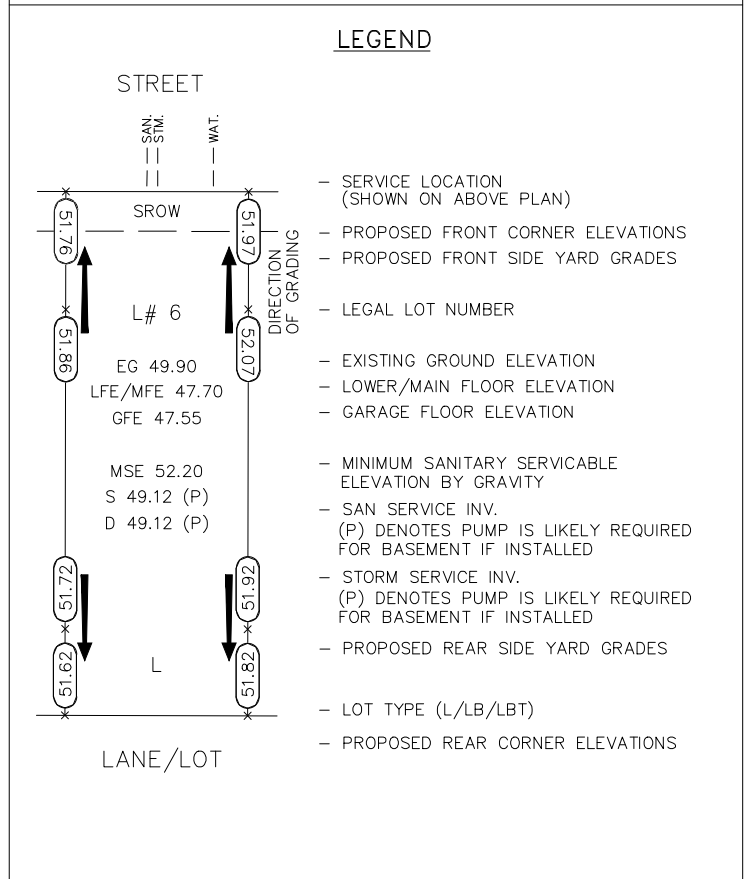
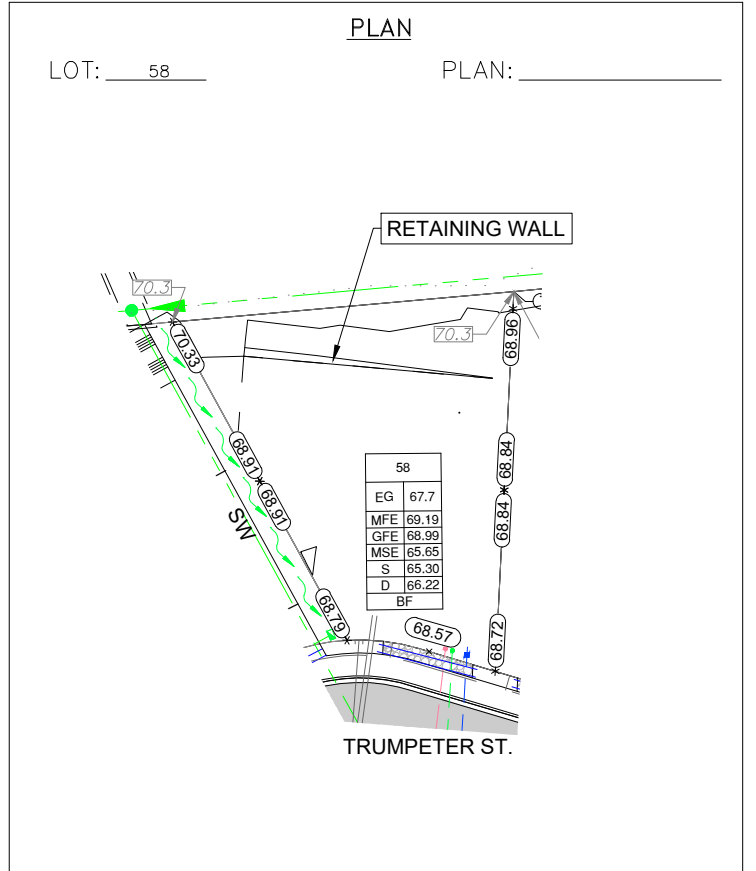
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

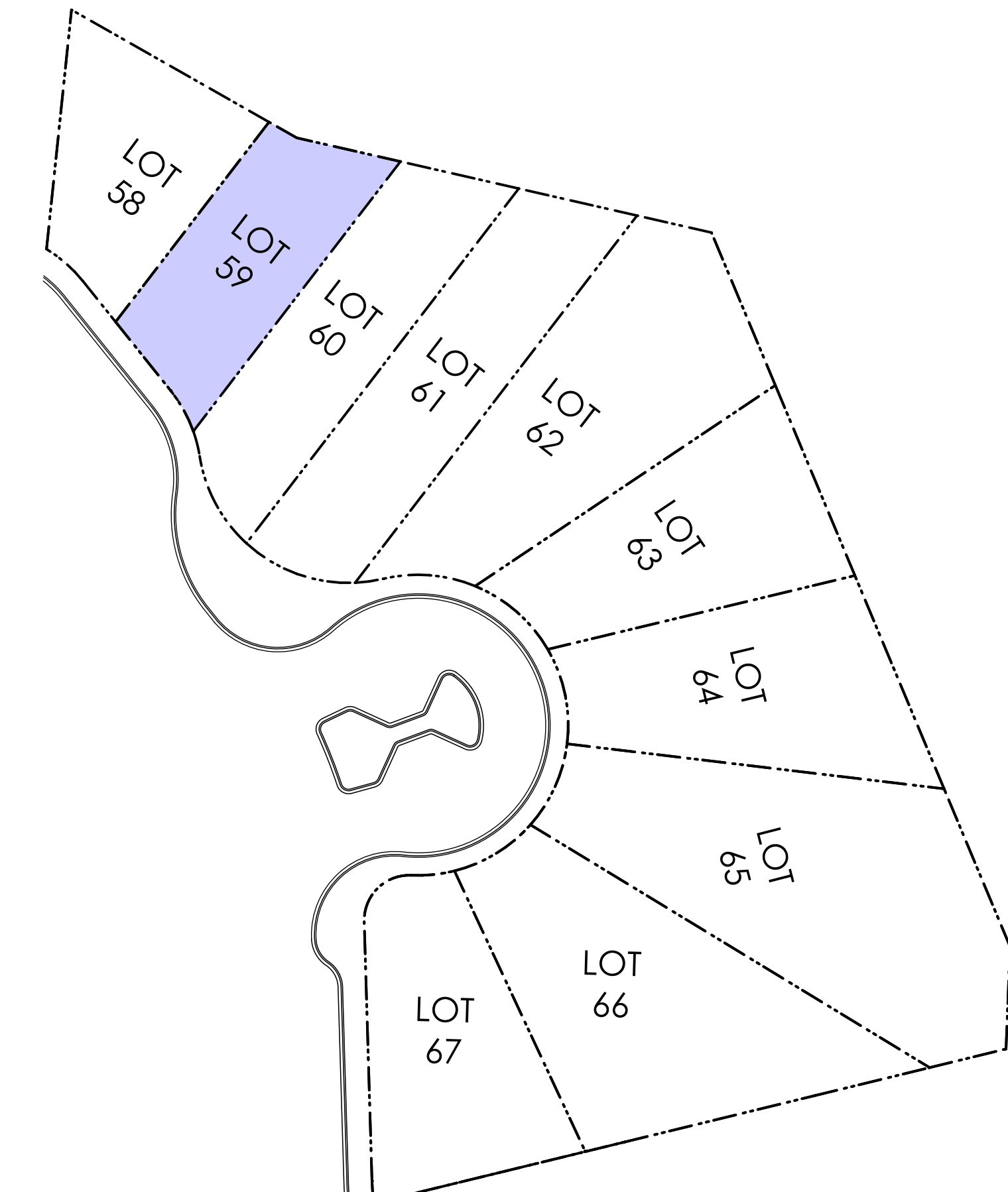
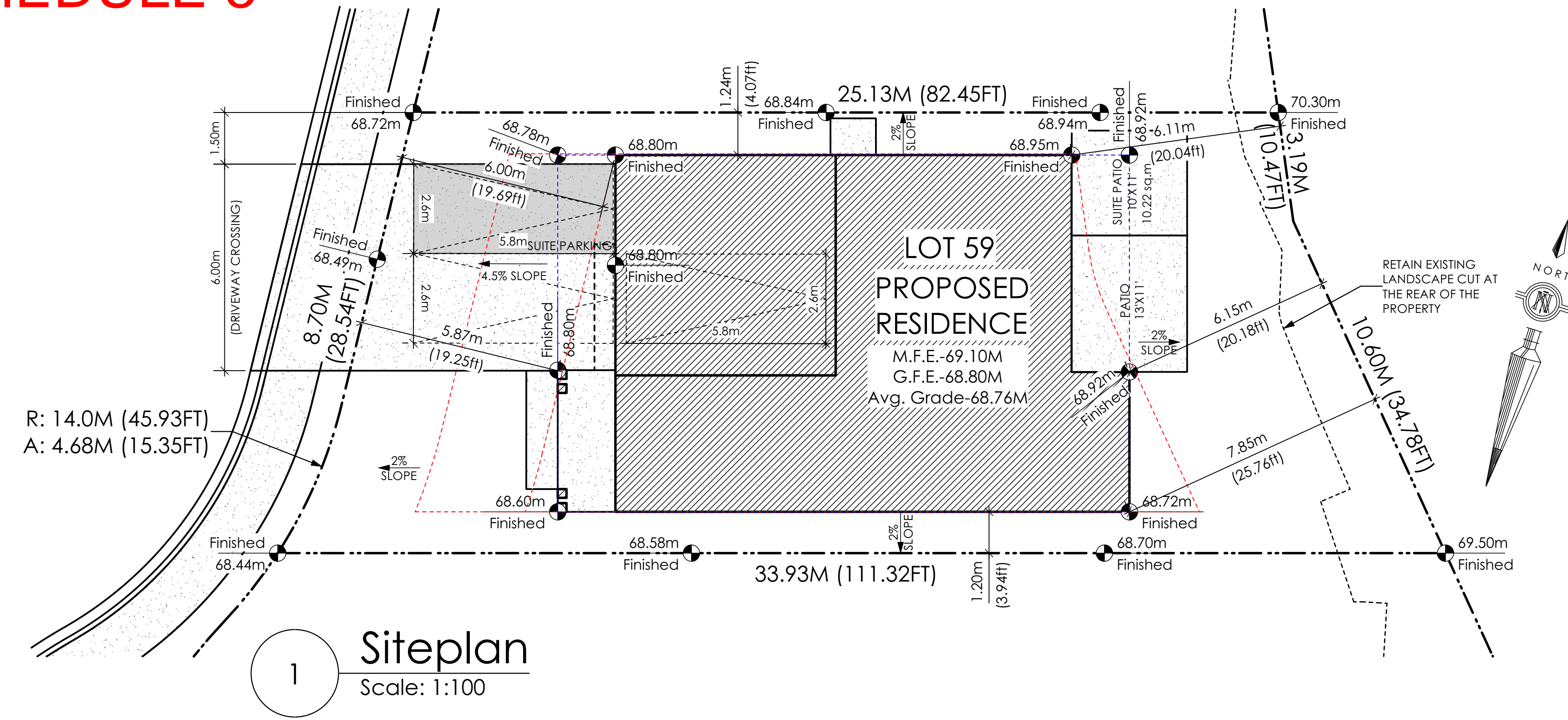
AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

C. Hume - March 14/23

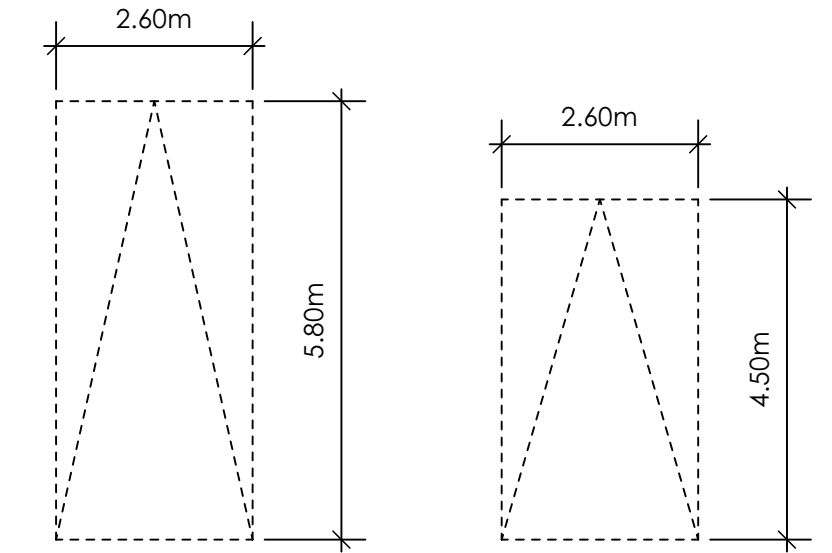
SCHEDULE 5



AVERAGE NATURAL GRADE CALCULATION
70.00 m. + 70.21 m. + 67.32 m. + 67.34 m. = 274.87 m.
divided by 4 = ave. grade 68.72 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



SITE DATA	RBCD5	LOT 59
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	369.14 sq.m.
LOT COVERAGE	50.00 %	41.54 %
BUILDING HEIGHT	9.50 m.	7.60 m.
LOT WIDTH	10.97 m.	13.38 m.
SETBACKS		
- FRONT	4.50 m.	5.87 m.
- FRONT (GARAGE)	6.00 m.	6.00 m.
- REAR	6.00 m.	6.11 m.
- SIDE	1.20 m.	1.24 m.
- SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- UPPER		153.34 sq.m.
- MAIN		103.25 sq.m.
- GARAGE		40.97 sq.m.
SUB-TOTAL G.F.A.		297.56 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-40.97 sq.m.
GROSS FLOOR AREA		256.59 sq.m.
F.A.R.		0.70 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	27.27 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	69.96 sq.m.

THE SLEEVES TO BE INSTALLED BY THE BUILDER

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED ARE SUBJECT TO GEOTECHNICAL, CITY OF COLWOOD APPROVAL AND MUST FOLLOW ALL APPLICABLE DESIGN GUIDELINES

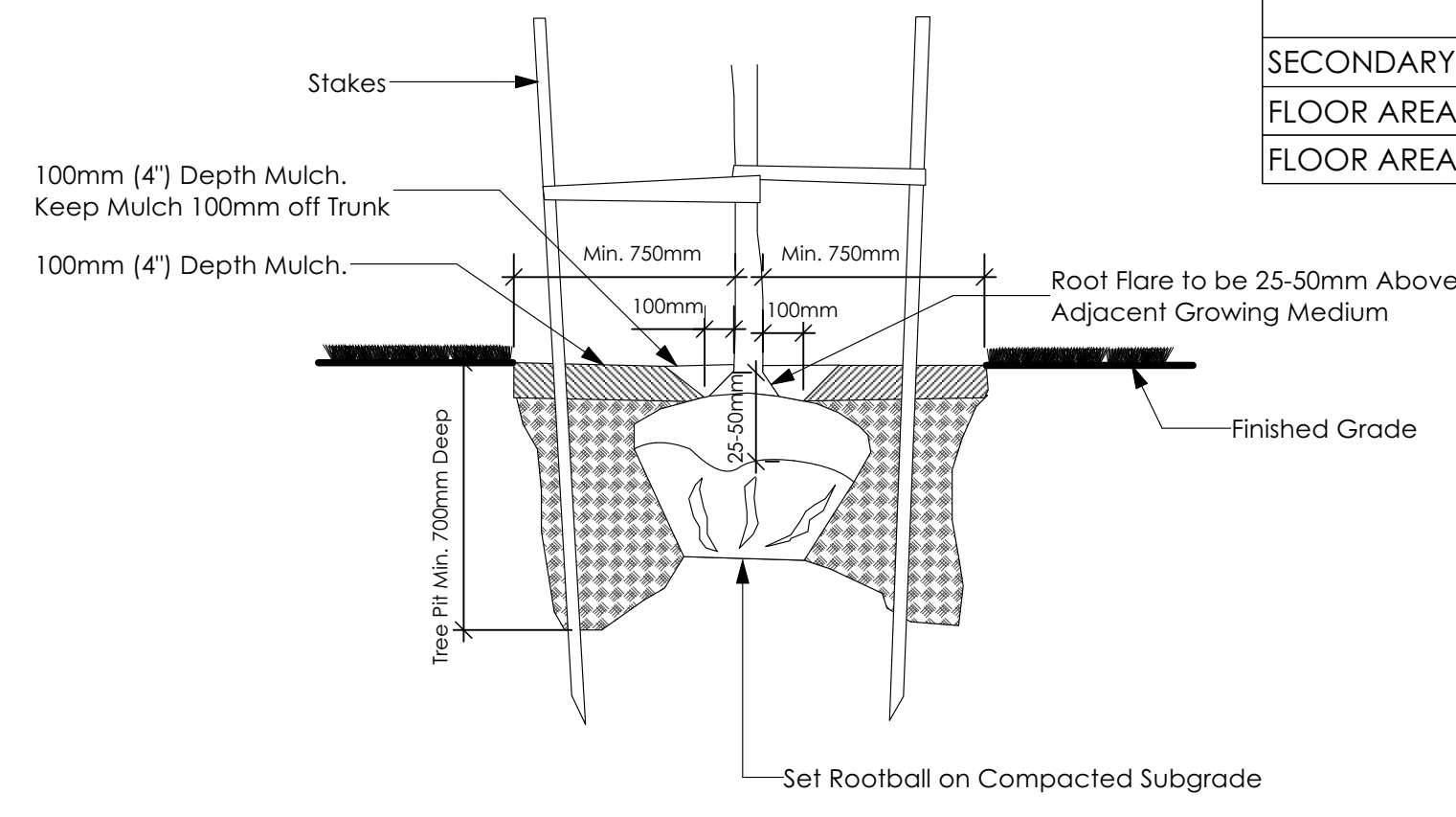
RETAINING WALLS ARE PERMITTED, HOWEVER THE TIE IN TO THE ROCK WALL IS UP TO VERIFY TO SECURE BUILDING APPROVAL. ANY COSTS ASSOCIATED WITH THIS ARE TO THE BUILDER

1. DEVELOPER HAS CONFIRMED THAT VERIFY MAY ALTER THE INSIDE, SIDE PROPERTY LINE ELEVATIONS POINTS, BUT MUST CONFORM TO ALL CORNER LOT ELEVATIONS POINTS AS PER THE GRADE SLIP PLAN.
2. VERIFY TO ENSURE ALL PROPOSED SIDE YARD GRADING MATCHES THE EXISTING ADJACENT VERIFY HOME NEIGHBOURS' GRADING.

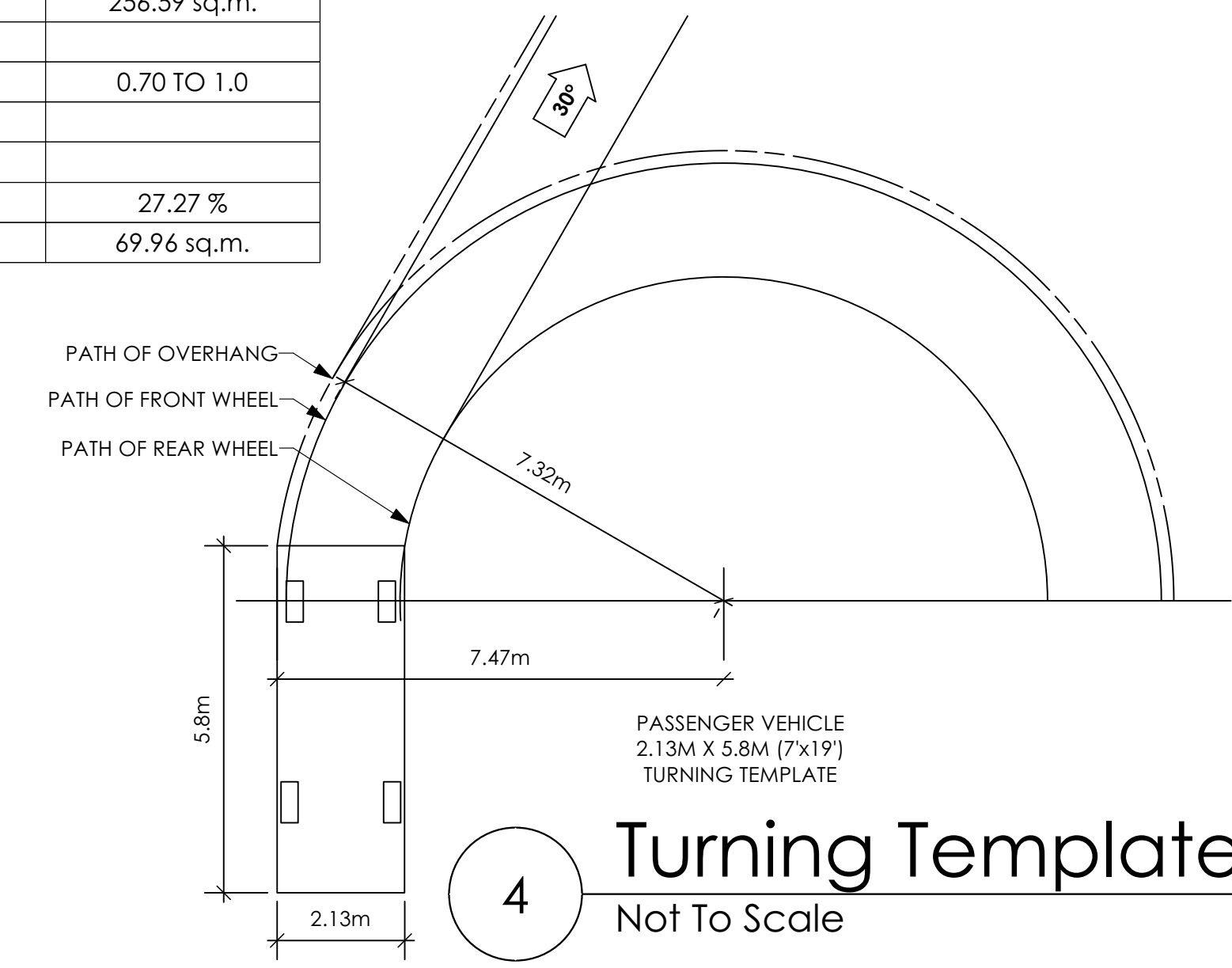
SWALING ALONG SIDE OF HOME MAY BE REQUIRED.

VERIFY IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL REQUIREMENTS RE: GFE ARE ACHIEVED

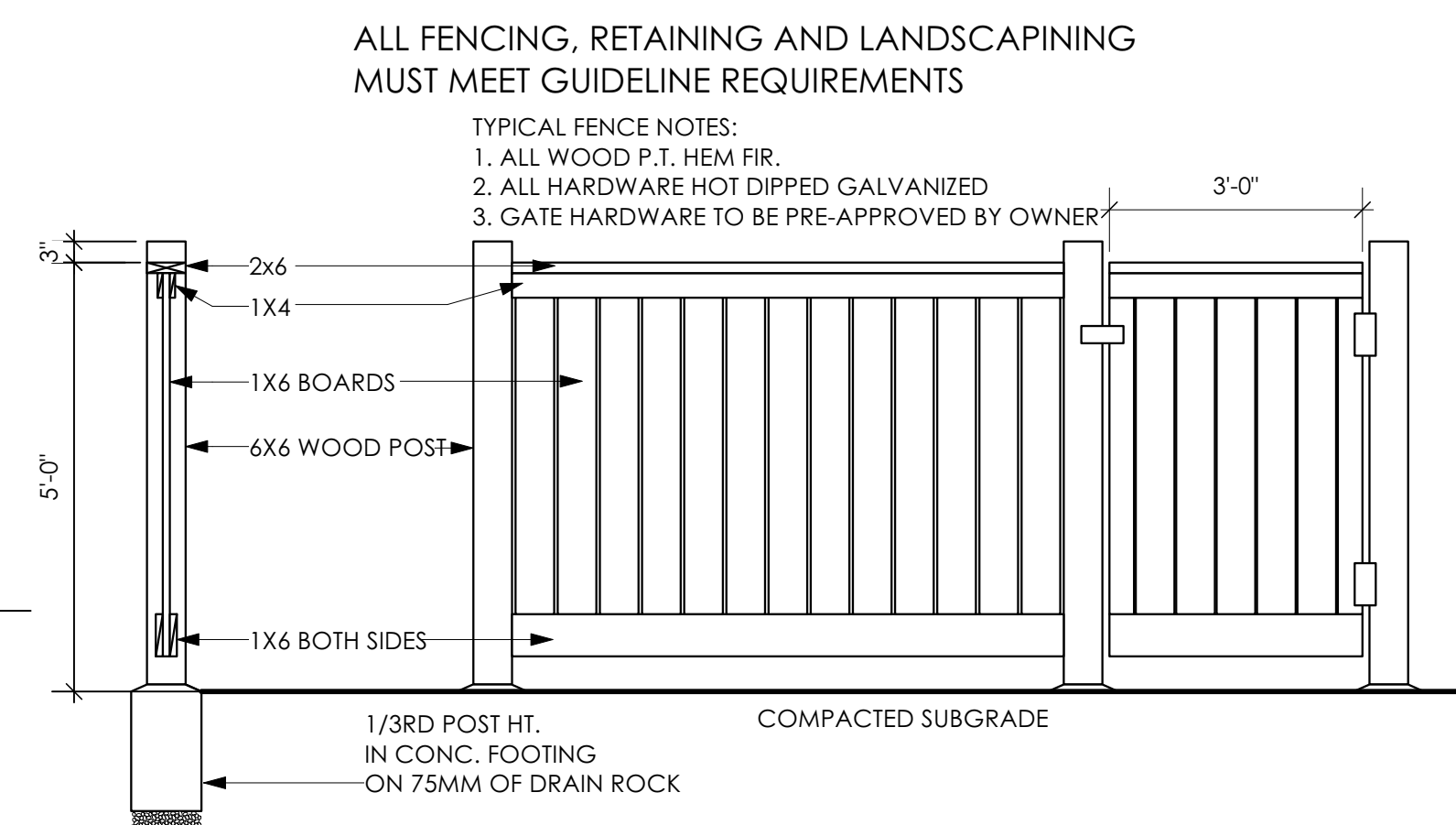
IF NOTICEABLE CHANGES ARE REQUIRED, VERIFY MUST SUBMIT FOR RE-REVIEW PRIOR TO START OF CONSTRUCTION



3 Tree Planting Detail
Not To Scale
All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep



4 Turning Template
Not To Scale



5 Typical Fence Detail
Not To Scale
*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

Galley Westcoast
Date
Mar. 31, 2023

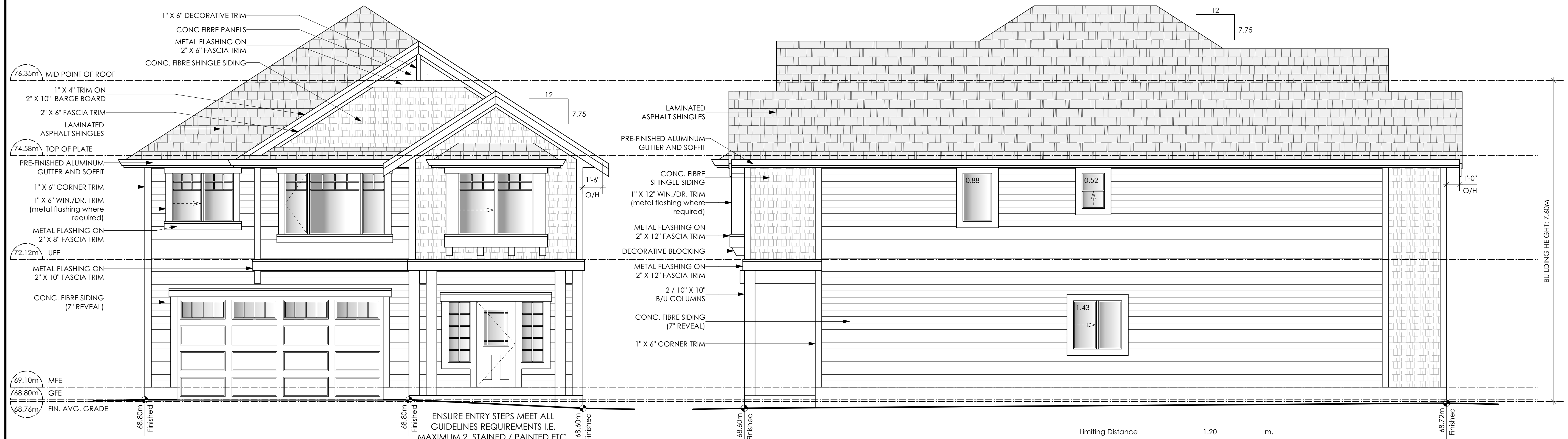
Project Address
3478 Trumpeter Street
Royal Bay - Sector 7 Stage 2
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298

Scale
As Noted

Drawn By
MRB

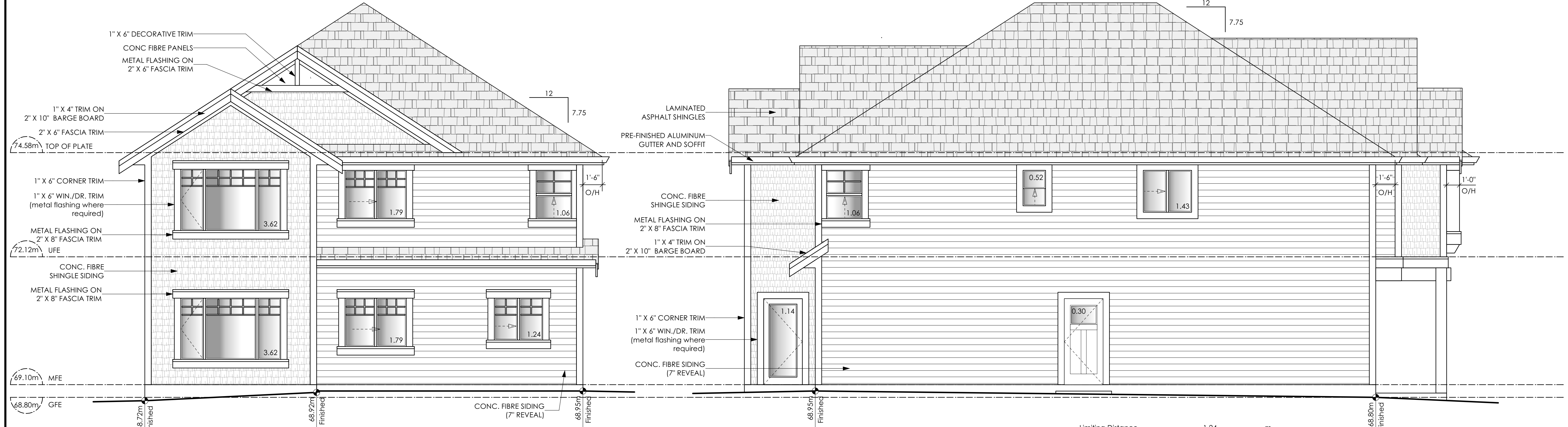
Development Permit Presentation



1 Front Elevation
Scale: 1/4" = 1'-0"
ENSURE NO GALVANIZED FLASHING SLAB ON GRADE PREVIOUSLY ACCEPTED BY THE DEVELOPER ON OTHER LOTS

2 Right Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	92.99	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	6.51	sq.m.
Proposed Openings	2.83	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"
Limiting Distance 6.11 m.
Exposed Building Face 58.95 sq.m.
Allowable Openings 57 %
Allowable Opening Area 33.6 sq.m.
Proposed Openings 13.12 sq.m.

4 Left Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.24	m.
Exposed Building Face	85.20	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	5.97	sq.m.
Proposed Openings	4.45	sq.m.

Galley Westcoast
Date
Mar. 31, 2023

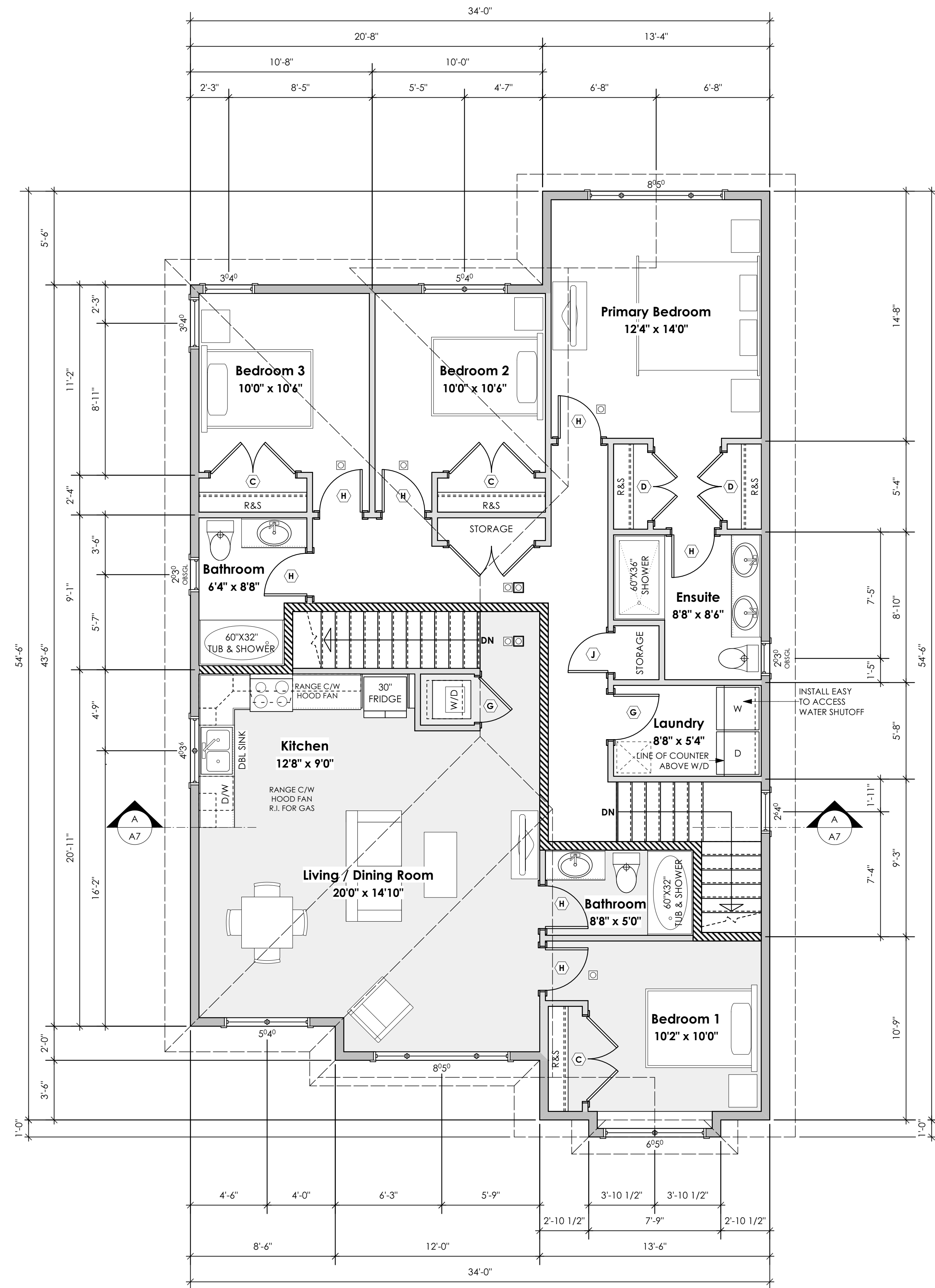
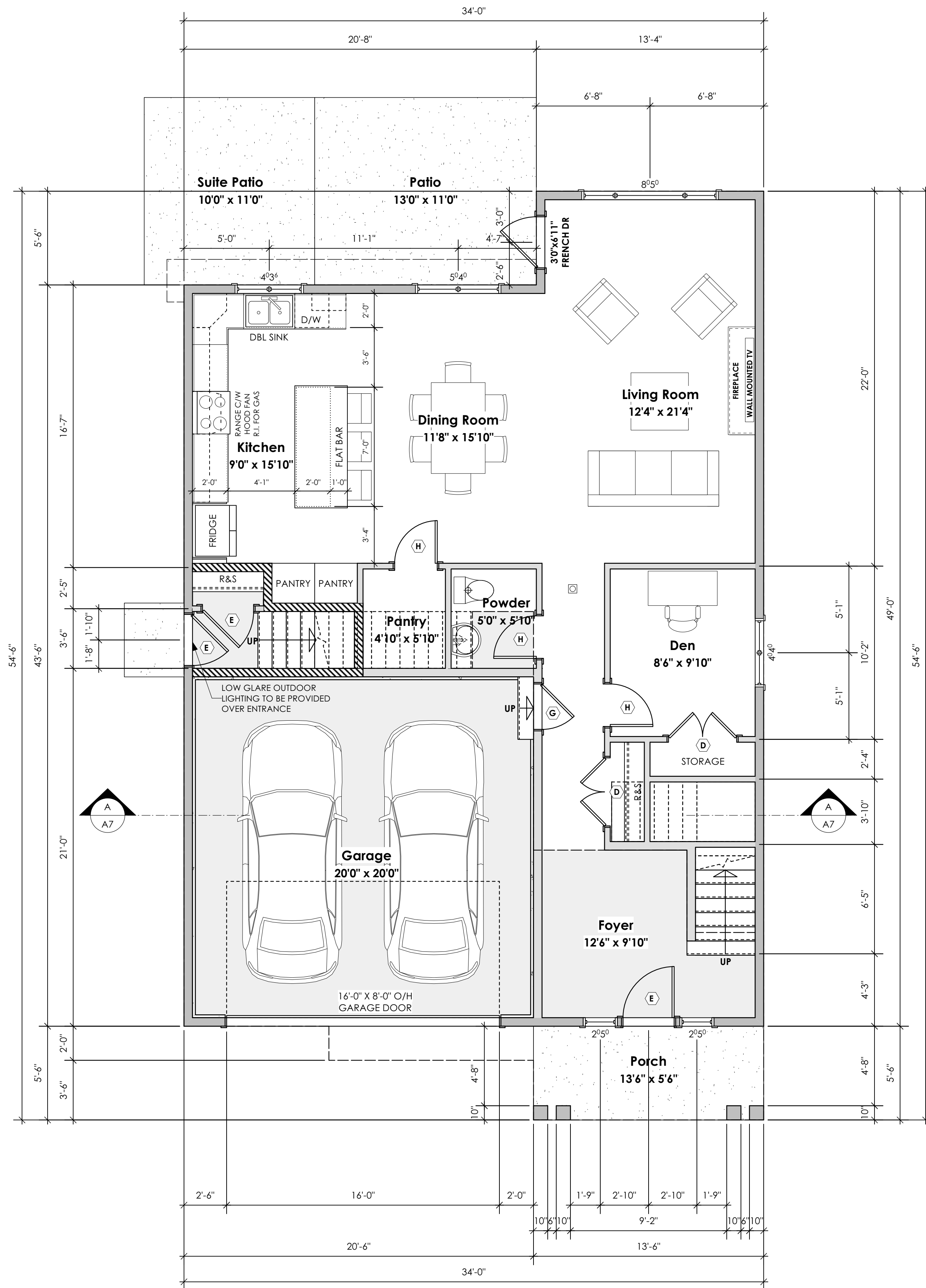
Project Address
3478 Trumpeter Street
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Verity Construction

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8298

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MRB

Development Permit Presentation



Galley Westcoast

Date

Mar. 31, 2023

Project Address

3478 Trumpeter Street
Royal Bay - Sector 7 Stage 2
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298

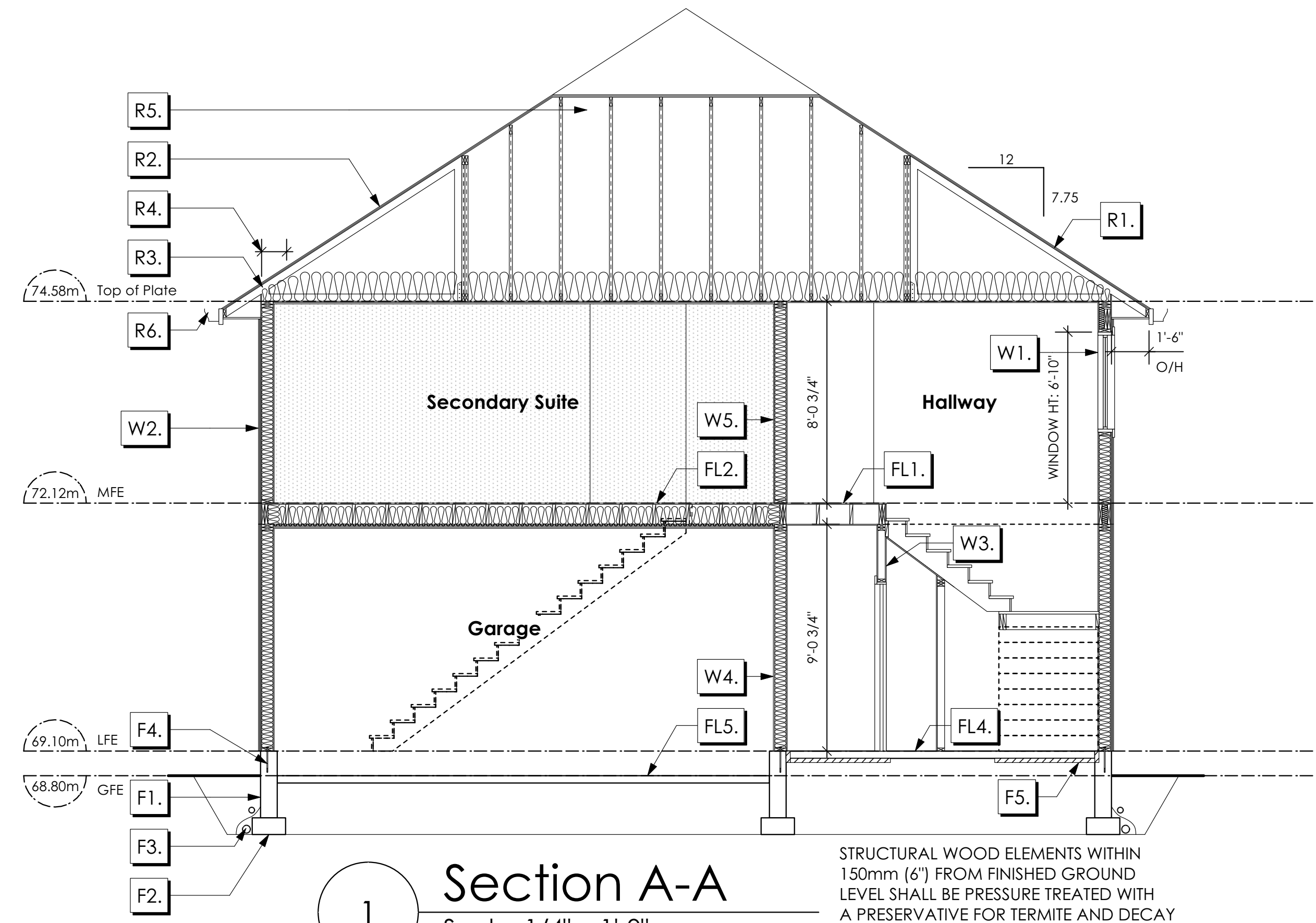
Scale

As Noted

Drawn By

MRB

Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"

STRUCTURAL WOOD ELEMENTS WITHIN 150mm (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLASS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY R1 LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLASS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLY'N V.B. X TYPE 5/8" GYPSUM BOARD 45 MINUTE F.R.R.
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" PLYWOOD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION 6 MIL POLY'N V.B. (when located above garage) RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)
- FL4. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"

FOUNDATION WALLS

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOIT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL. WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/LS.2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING BUILDING WRAP ON 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W5. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

Galley Westcoast
Date
Mar. 31, 2023

Project Address
3478 Trumpeter Street
Royal Bay - Sector 7 Stage 2
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298

Scale
As Noted

Drawn By
MRB

MUNICIPAL ADDRESS 408 Rock Dove Place		P.I.D.
LOT 59		PLAN
BUILDER VERITY HOMES		SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS		DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **69.10**

FRONT ELEV. **68.80/68.60** REAR ELEV. **68.95/68.92/68.72**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **68.80**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

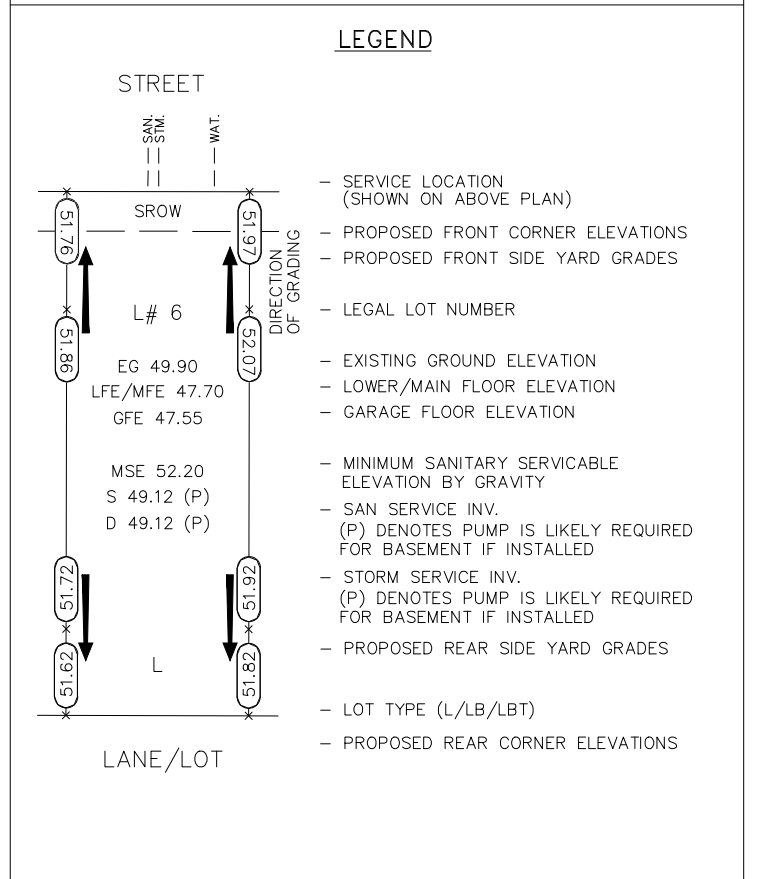
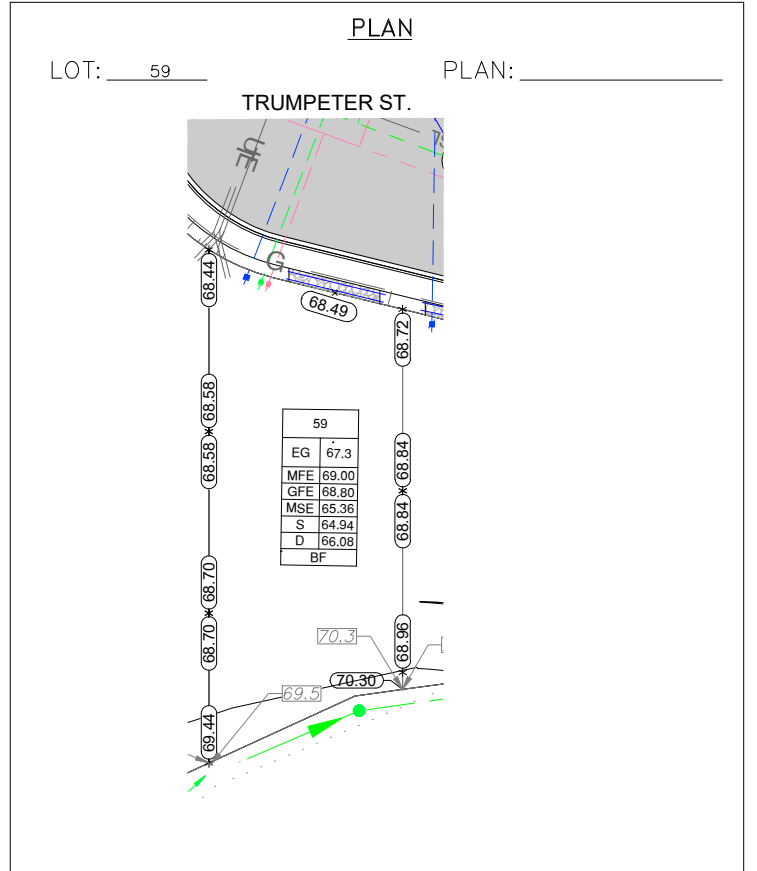
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

C. Hume - March 23/23

SCHEDULE 6

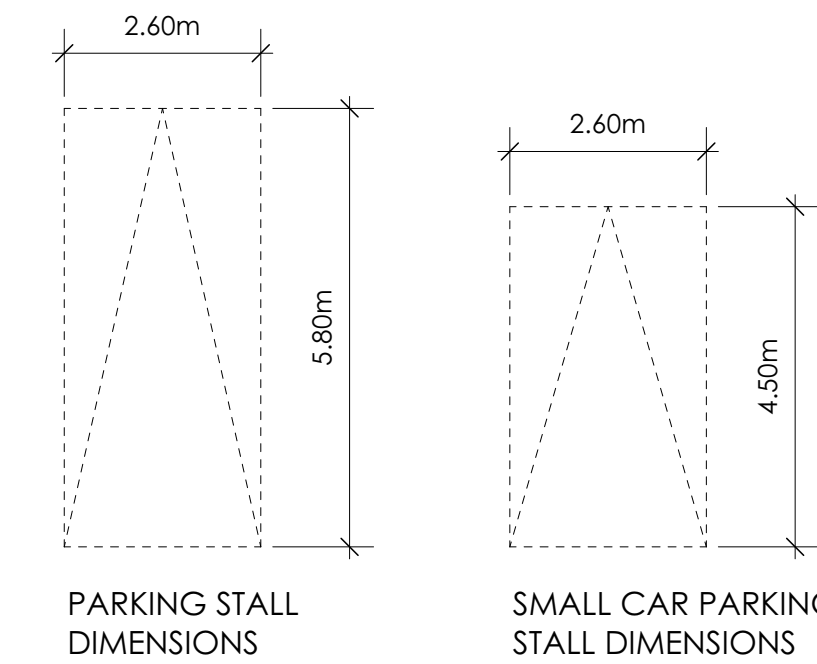
SECTOR 7 - LOT 60

SITE DATA	RBCD5 MEDIUM ONE FAMILY	
ITEMS	PERMITTED	PROPOSED
LOT AREA	368	440.40 sq.m.
LOT COVERAGE	50.00 %	36.45 %
BUILDING HEIGHT	9.50 m.	- m.
LOT WIDTH	10.97 m.	11.00 m.
SETBACKS		
- FRONT	3.00 m.	5.56 m.
- FRONT (GARAGE)	6.00 m.	6.05 m.
- REAR	6.00 m.	9.67 m.
- SIDE	1.20 m.	1.20 m.
- SIDE	1.20 m.	1.21 m.
PROPOSED FLOOR AREA		
- UPPER		139.95 sq.m.
- MAIN		100.87 sq.m.
- GARAGE		46.25 sq.m.
SUB-TOTAL G.F.A.		287.07 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-46.20 sq.m.
GROSS FLOOR AREA		240.87 sq.m.
F.A.R.		0.55 TO 1.0
SECONDARY SUITE		
SECONDARY SUITE (%)	40.00 %	24.80 %
SECONDARY SUITE (SQ.M.)	90.00 sq.m.	59.73 sq.m.

AVERAGE NATURAL GRADE CALCULATION
 $68.51\text{m} + 68.47\text{m} + 68.73\text{m} + 68.60\text{m} = 274.31\text{m}$
 divided by 4 = ave. grade 68.58 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



SECONDARY SUITE PARKING STALL
 (SEE LANDSCAPE PLAN FOR SURFACING TREATMENT TO COMPLY WITH SECTION 2.4.05(4,A) OF THE COLWOOD LANDUSE BYLAW)

STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

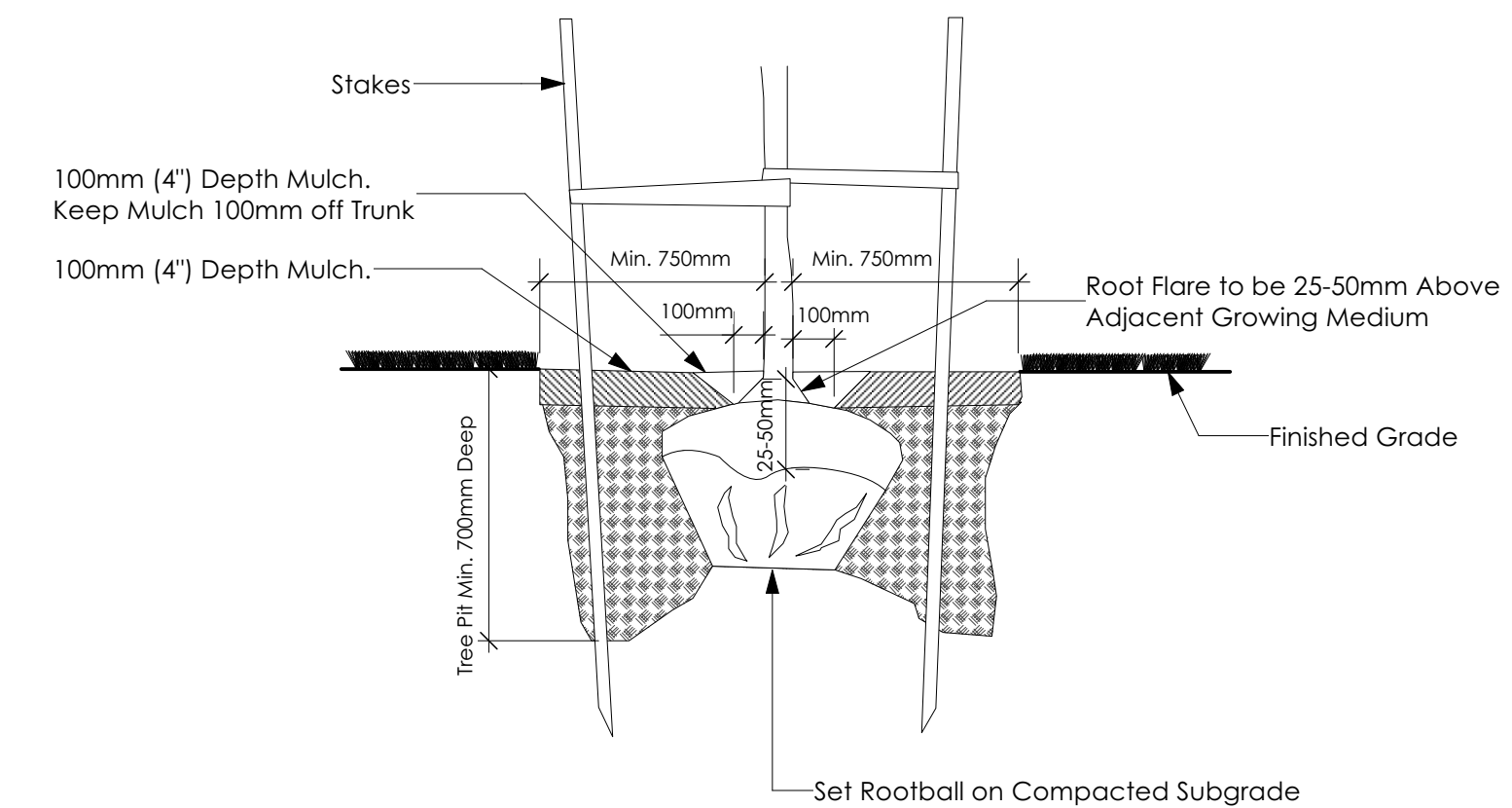
ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

CONTRACTOR TO ENSURE A MINIMUM 2% SLOPE SIDE YARD SWALING (BOTH SIDES) MAY BE REQUIRED

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS

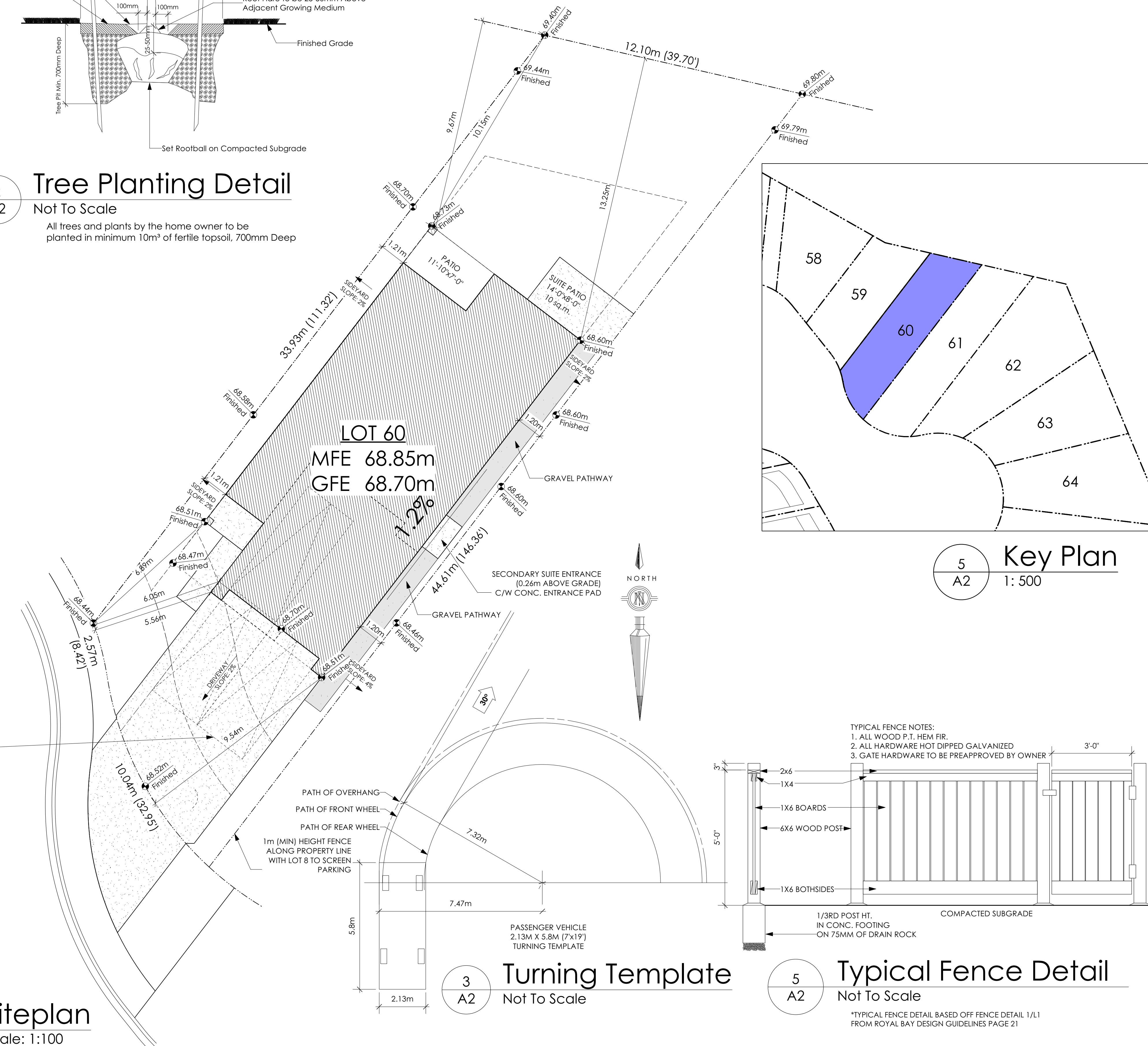


2 Tree Planting Detail

Not To Scale
 All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

1 Siteplan

Scale: 1:100

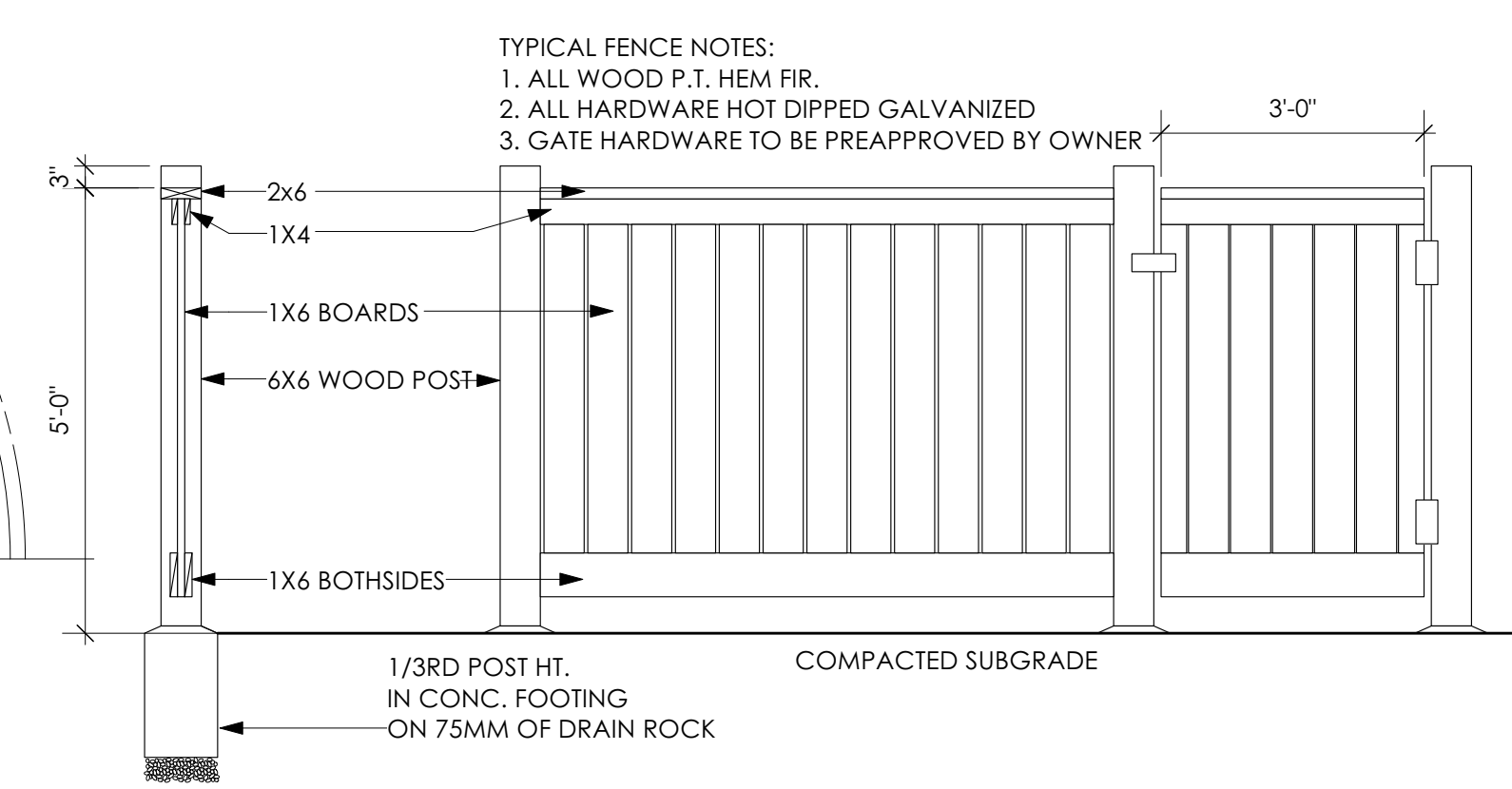


3 Turning Template

Not To Scale

5 Typical Fence Detail

Not To Scale



*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

5 Key Plan

1: 500



#103 - 891 ATTREE AVENUE
 VICTORIA, B.C.
 V9B 0A6
 P. 250.382.7374
 F. 250.382.7364

THE PEARL
 (MODIFIED) TRADITIONAL

Date
 Feb 22, 2023

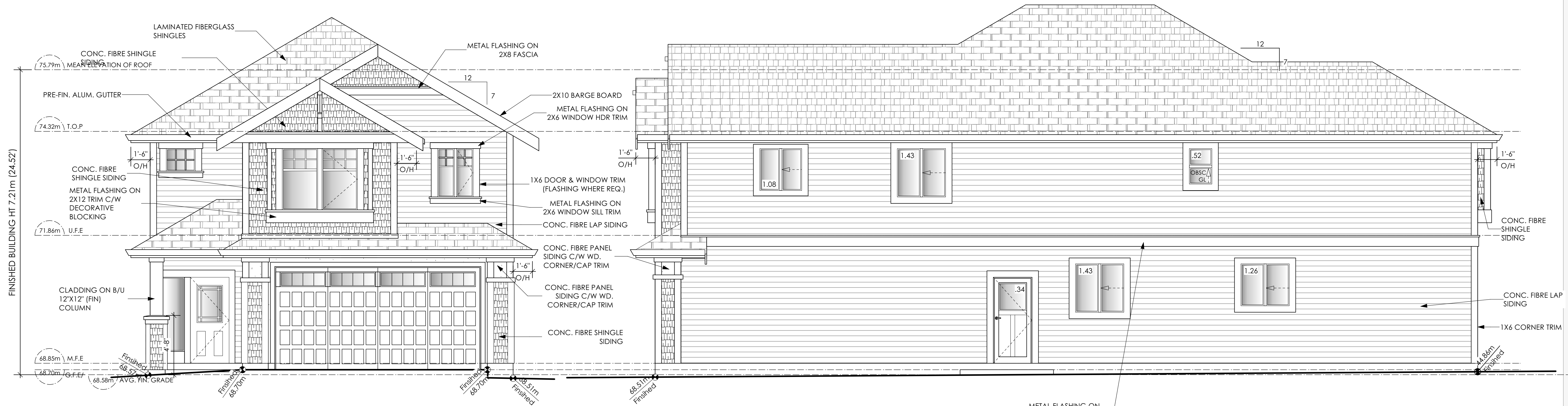
Project Address
 3476 TRUMPETER STREET
 Royal Bay - Sector 7
 Colwood, B.C.
 Prepared for
 Verity Construction

Project #
 8298-60

Scale
 As Noted

Drawn By
 MDK

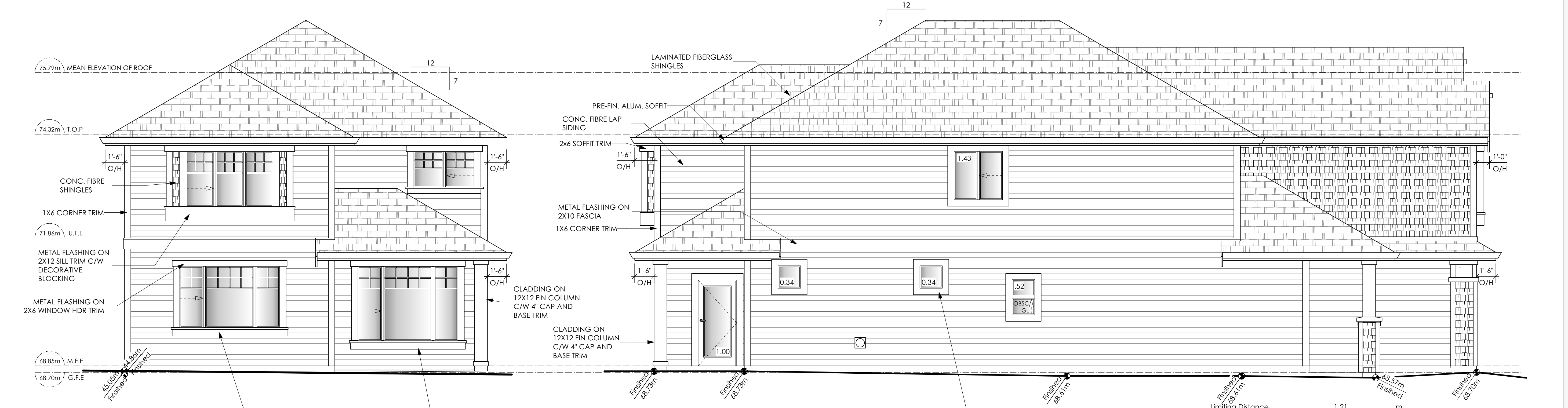
Development Permit Presentation



1 Front Elevation
A3 Scale: 1/4" = 1'-0"

2 Right Side Elevation
A3 Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	110.75	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.75	sq.m.
Proposed Openings	6.06	sq.m.



3 Rear Elevation
A3 Scale: 1/4" = 1'-0"

4 Left Side Elevation
A3 Scale: 1/4" = 1'-0"

Limiting Distance	1.21	m.
Exposed Building Face	108.84	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.61	sq.m.
Proposed Openings	3.63	sq.m.

THE PEARL
(MODIFIED) TRADITIONAL

Date
Feb 22, 2023

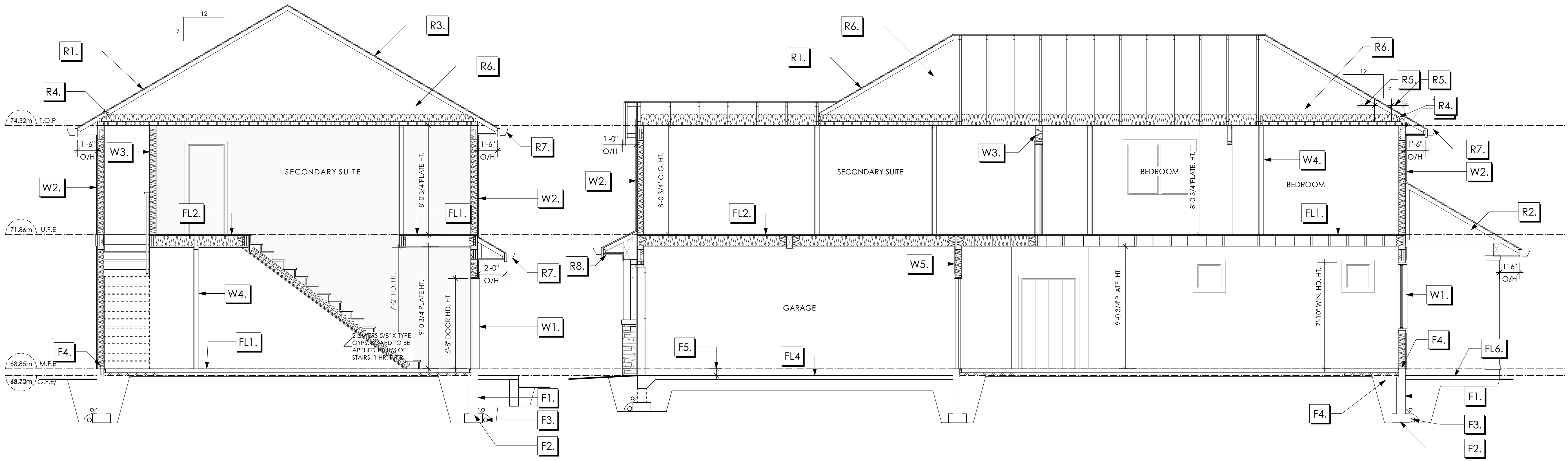
Project Address
3476 TRUMPETER STREET
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-60

Scale
As Noted

Drawn By
MDK

Development Permit Presentation



1 Section A-A
A7 Scale: 1/4" = 1'-0"

2 Section B-B
A7 Scale: 1/4" = 1'-0"

Section Notes

- | ROOFS | FLOORS | WALLS | FOUNDATION |
|--|---|---|--|
| R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD | FL1. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND | W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL, wi. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/I.S.2/A440, "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION. | F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W |
| R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS 2x8 ROOF JOISTS @ 16" O/C VENTED SOFFIT | FL2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C. | W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD | F2. 16"x8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING) |
| R3. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED ROOF ASSEMBLY LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. | FL3. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS | W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3: 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) | F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK |
| R4. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.) | FL4. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" | | F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS |
| R5. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL. | | | F5. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE |
| R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1) | | | F6. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE) |
| R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) | | | |
| R8. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR) | | | |

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 2012 9.23.13. AND SUPPLY DETAILS IF REQUIRED

THE PEARL
(MODIFIED) TRADITIONAL

Date
Feb 22, 2023

Project Address
3476 TRUMPETER STREET
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-60

Scale
As Noted

Drawn By
MDK

MUNICIPAL ADDRESS 3476 Trumpeter Street	P.I.D.
LOT 60	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **68.85**

FRONT ELEV. **68.51** REAR ELEV. **68.73/68.60**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **68.70/68.51**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

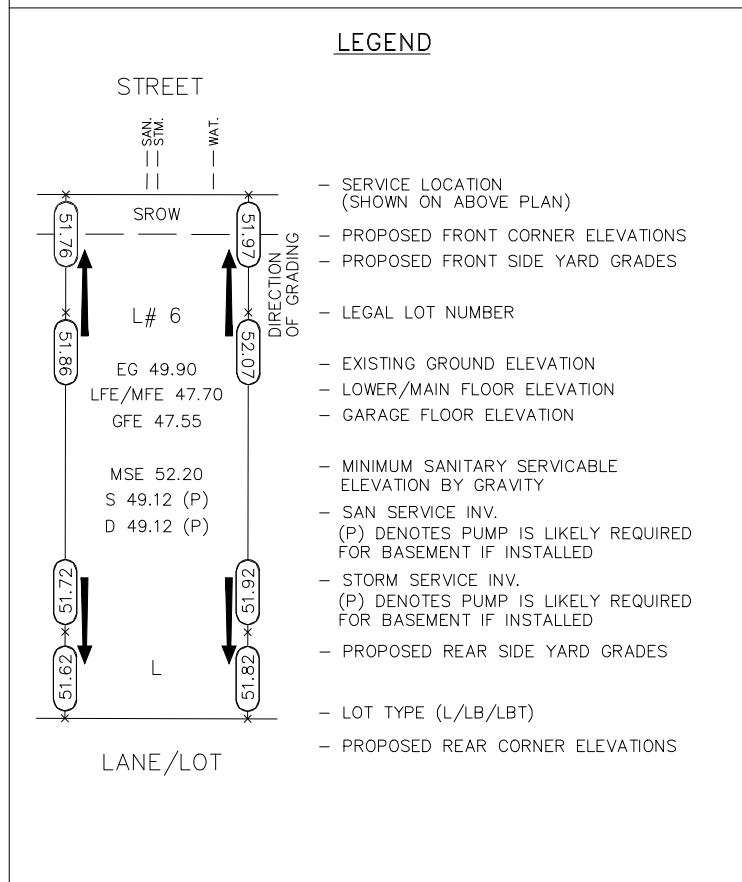
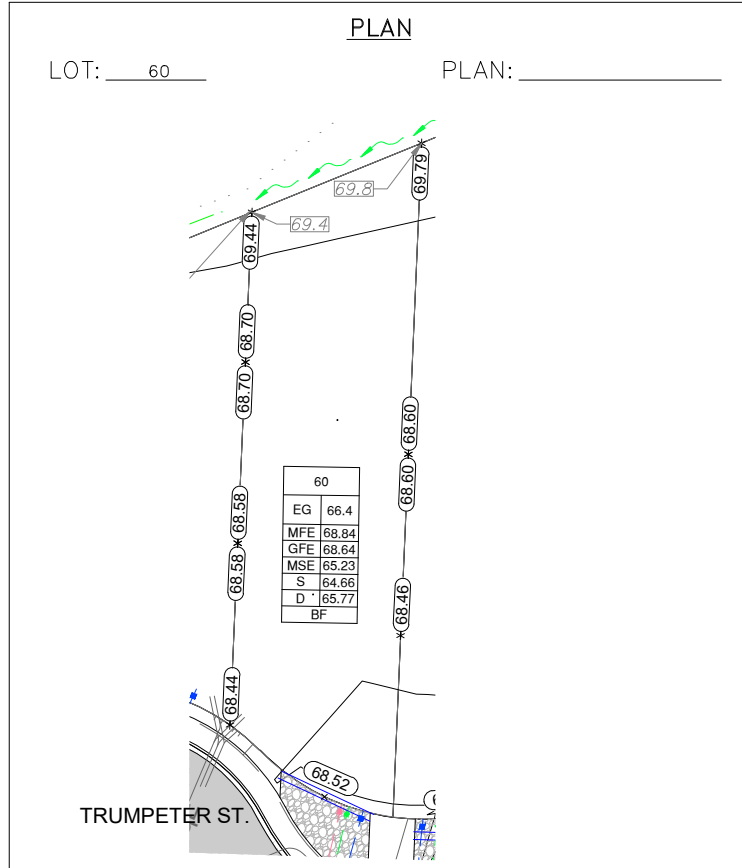
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

C. Hume - March 19/23

SCHEDULE 7

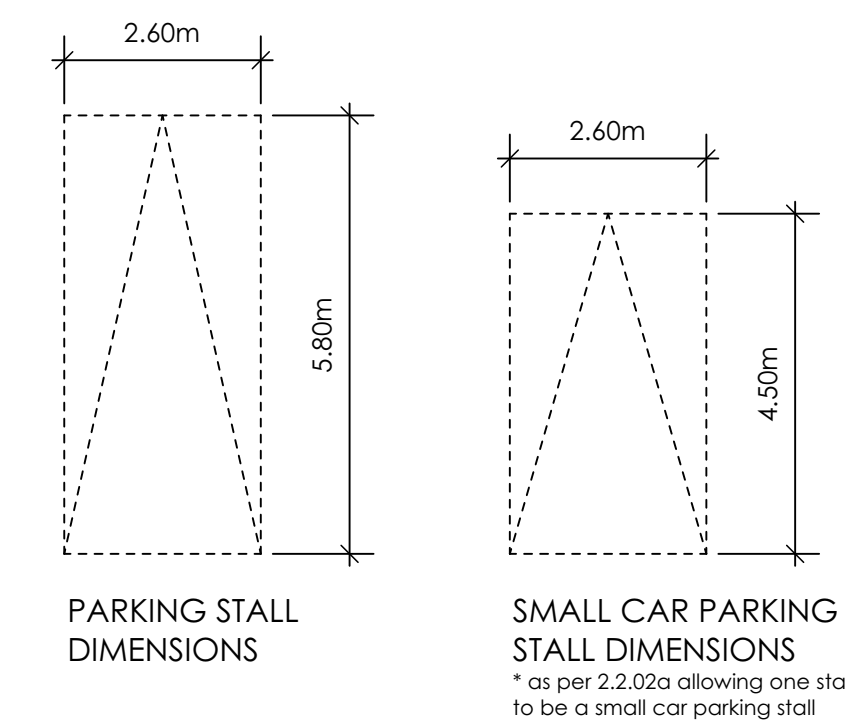
SECTOR 7 - LOT 61

SITE DATA	RBCD5 MEDIUM ONE FAMILY	
ITEMS	PERMITTED	PROPOSED
LOT AREA	368	508.30 sq.m.
LOT COVERAGE	50.00 %	31.60 %
BUILDING HEIGHT	9.50 m.	7.28 m.
LOT WIDTH	10.97 m.	11.00 m.
SETBACKS		
- FRONT	3.00 m.	5.93 m.
- FRONT (GARAGE)	3.00 m.	7.49 m.
- REAR	6.00 m.	17.68 m.
- SIDE	1.20 m.	1.20 m.
- SIDE	1.20 m.	1.21 m.
PROPOSED FLOOR AREA		
- UPPER		139.38 sq.m.
- MAIN		100.87 sq.m.
- GARAGE		46.20 sq.m.
SUB-TOTAL G.F.A.		286.45 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-46.20 sq.m.
GROSS FLOOR AREA		240.25 sq.m.
F.A.R.		0.47 TO 1.0
SECONDARY SUITE		
SECONDARY SUITE (%)	40.00 %	27.47 %
SECONDARY SUITE (SQ.M.)	90.00 sq.m.	65.99 sq.m.

AVERAGE NATURAL GRADE CALCULATION
 $68.60\text{m} + 68.17\text{m} + 68.51\text{m} + 68.51\text{m} = 273.79\text{m}$
 divided by 4 = ave. grade 68.45 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

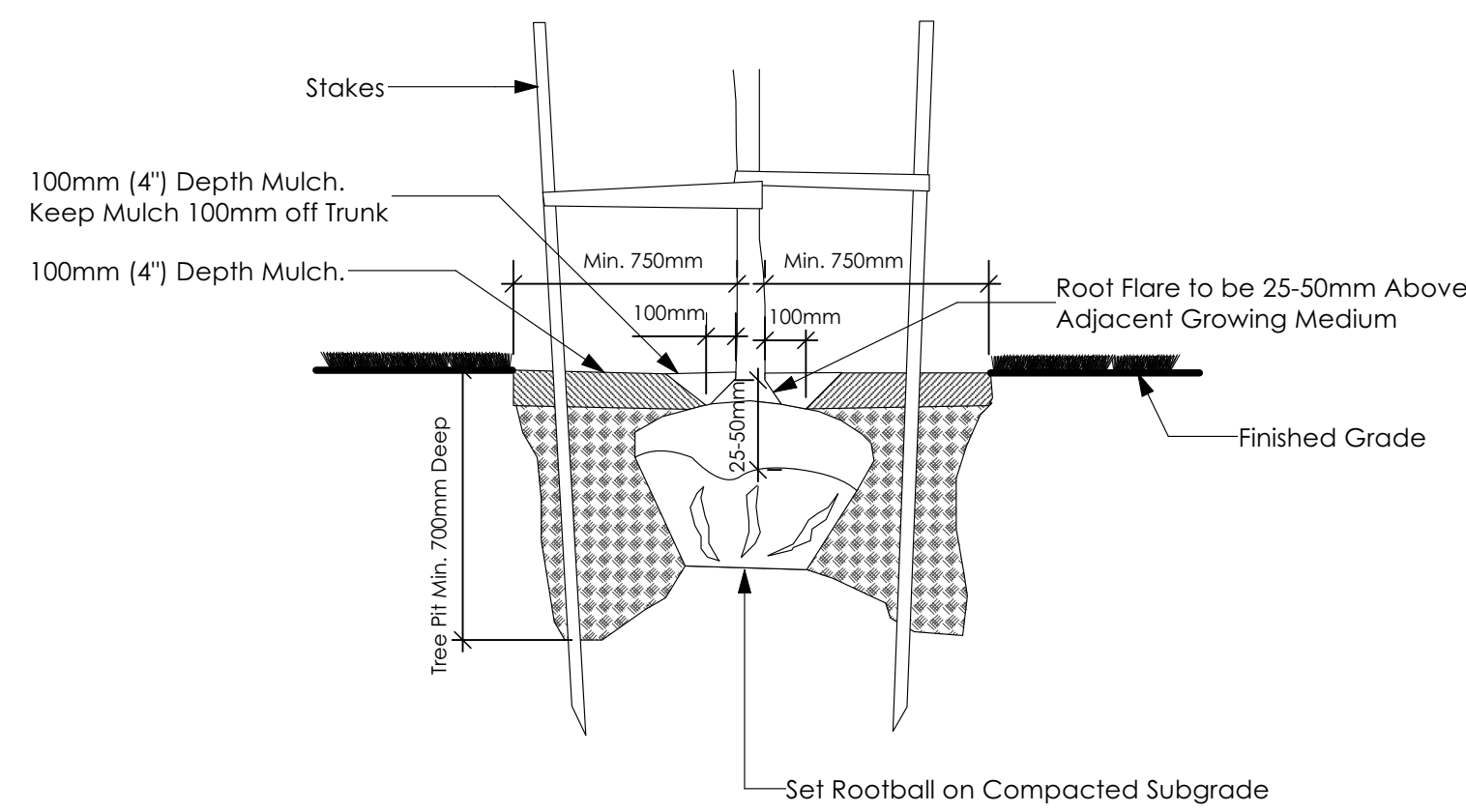
ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

CONTRACTOR TO ENSURE A MINIMUM 2% SLOPE SIDE YARD SWALING (BOTH SIDES) MAY BE REQUIRED

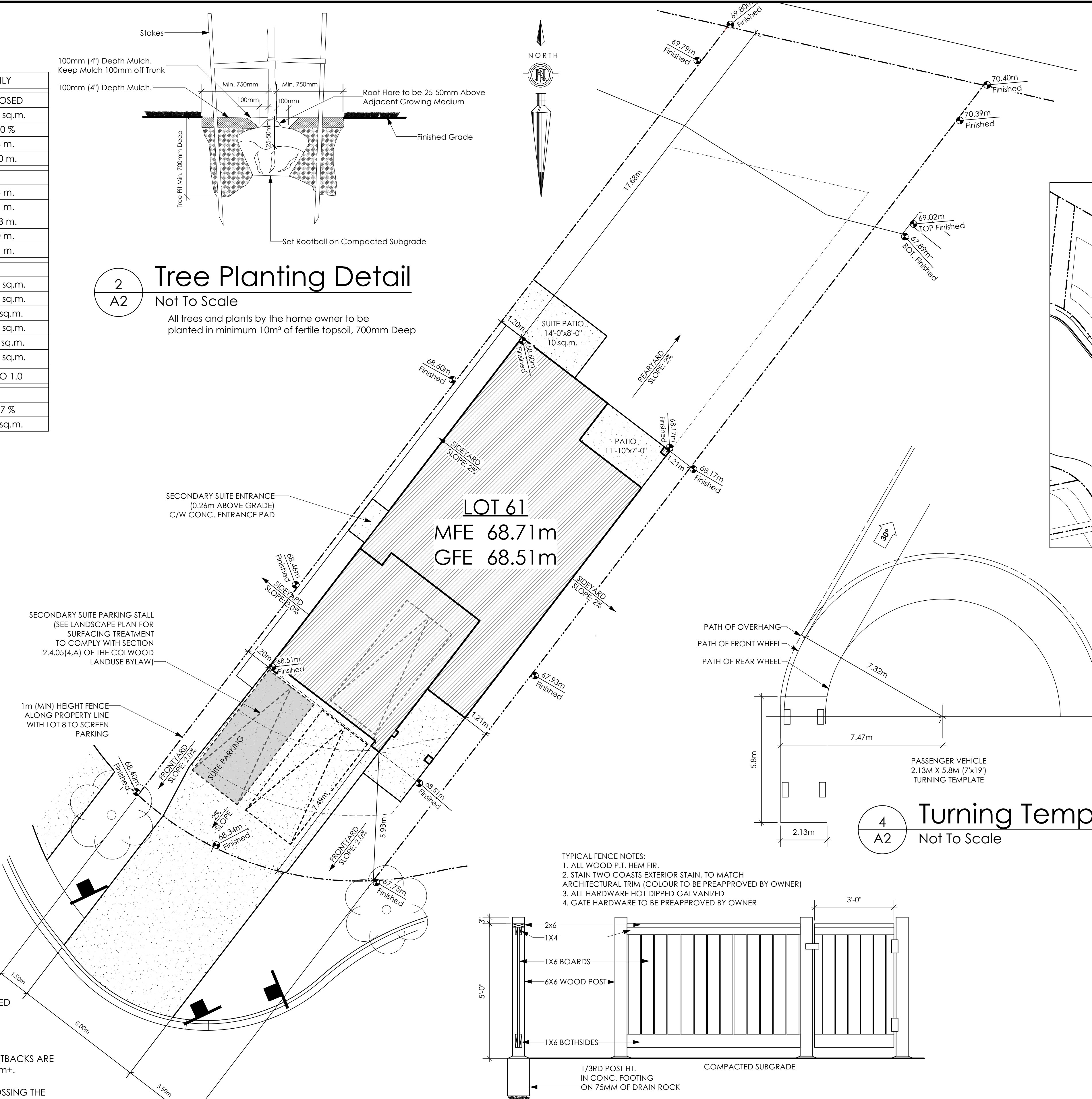
ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS



2 Tree Planting Detail

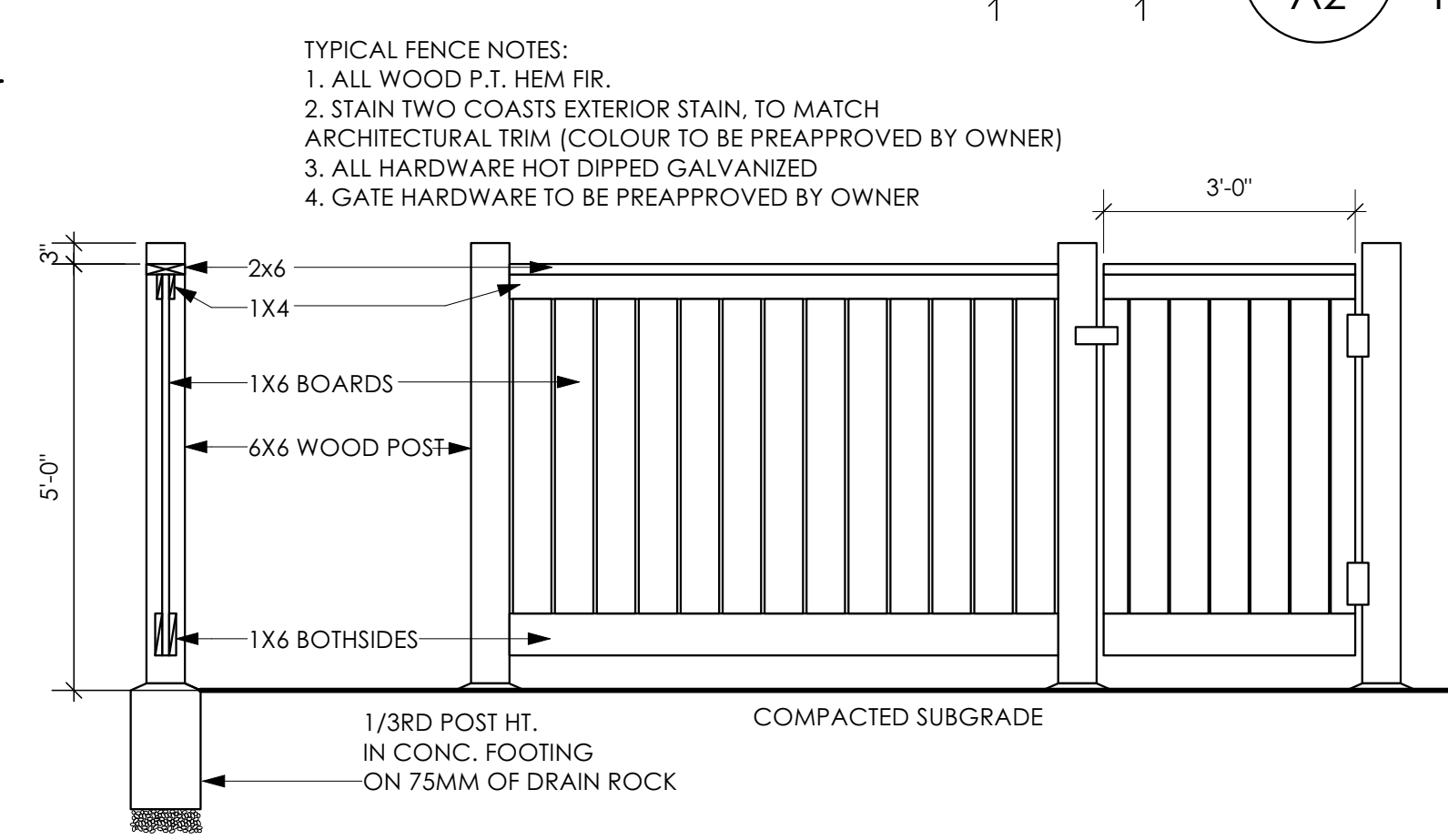
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep



1 Siteplan

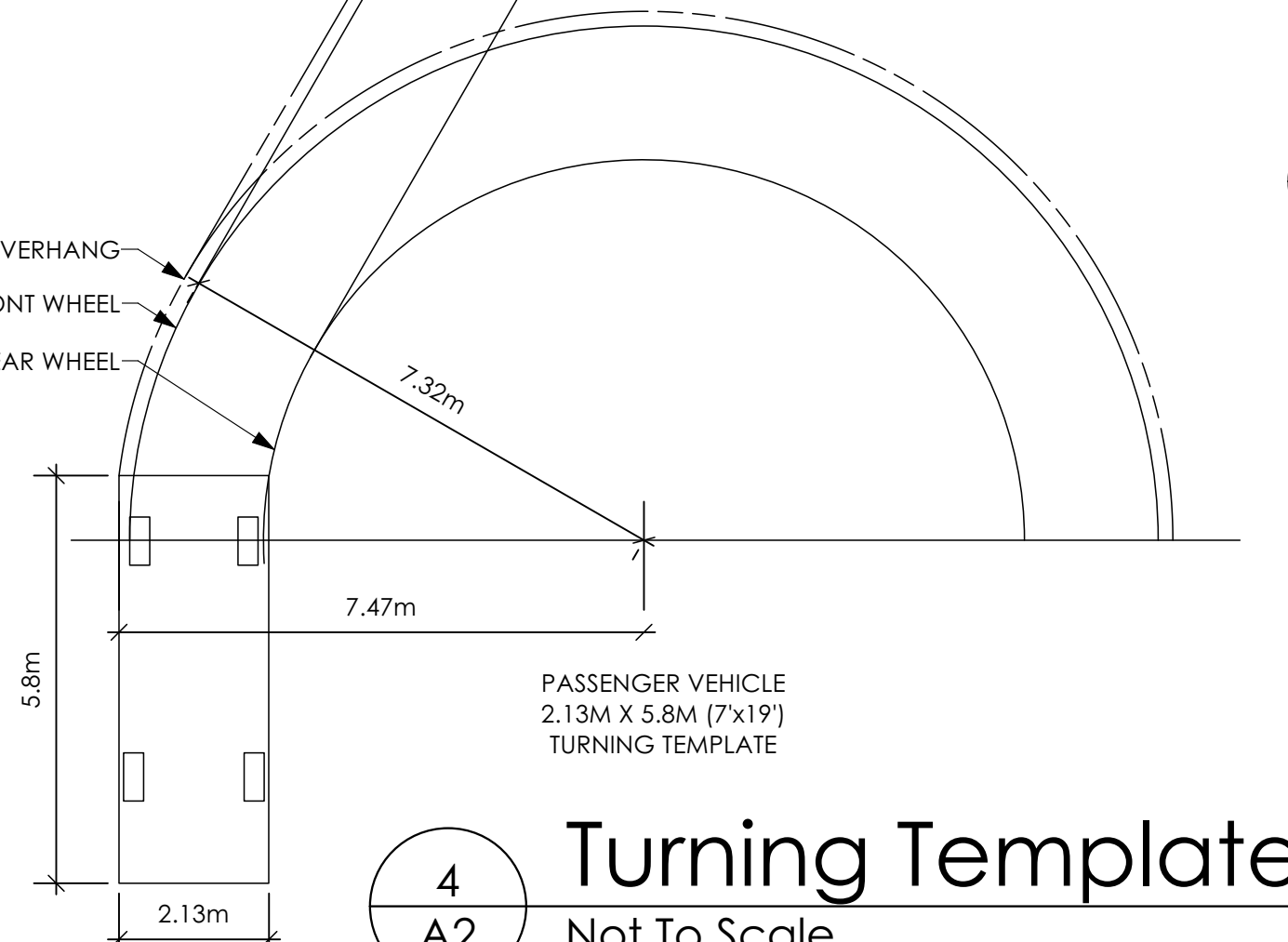
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3 Typical Fence Detail

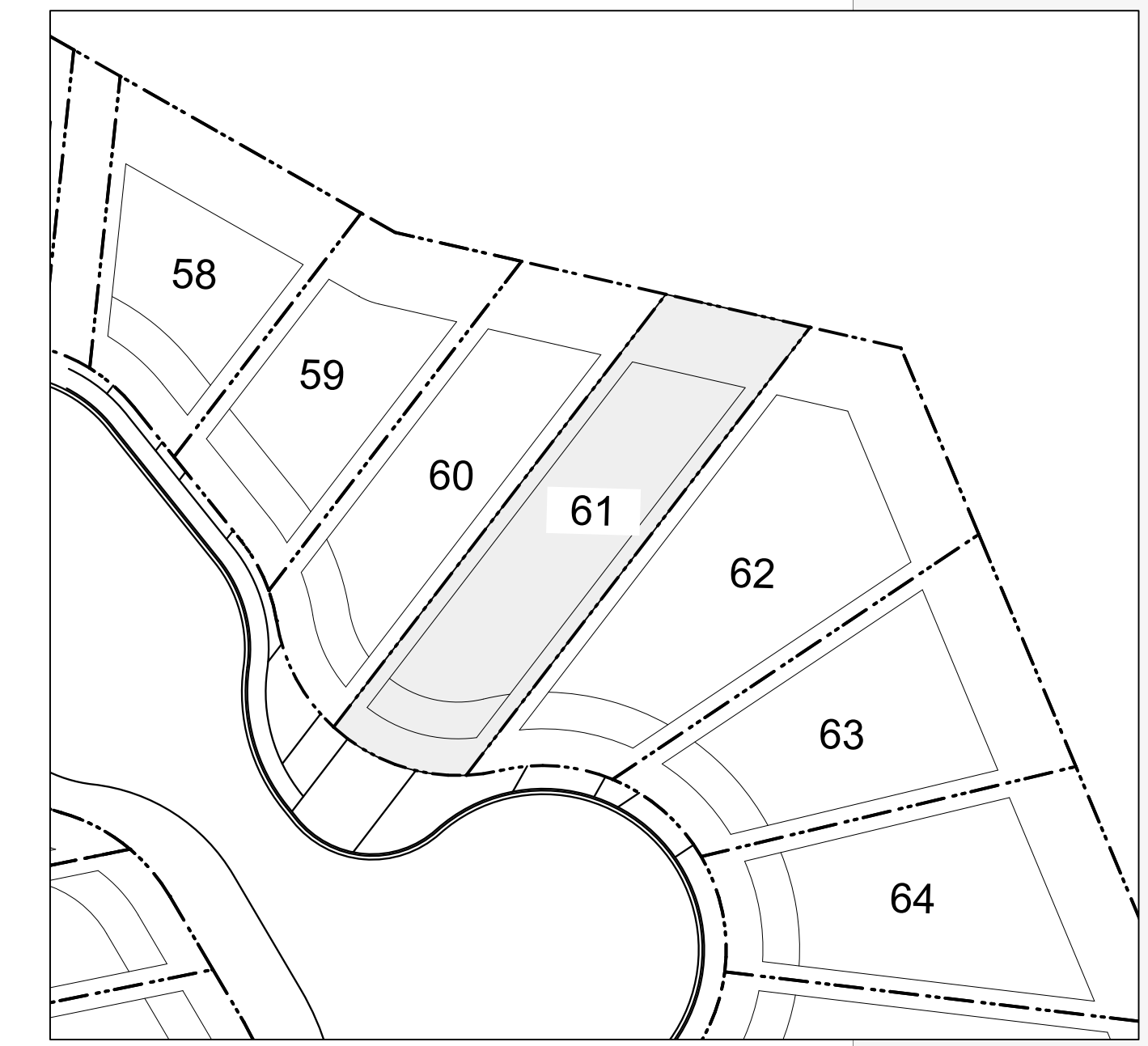
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



4 Turning Template

Not To Scale



5 Key Plan

1: 500

vdg victoria design group
 #103 - 891 ATTREE AVENUE
 VICTORIA, B.C.
 V9B 0A6
 P. 250.382.7374
 F. 250.382.7364

THE PEARL (MODIFIED) CRAFTSMAN

Date
 May 26, 2023

Project Address
 3474 TRUMPETER STREET
 Royal Bay - Sector 7
 Colwood, B.C.
 Prepared for
 Verity Construction

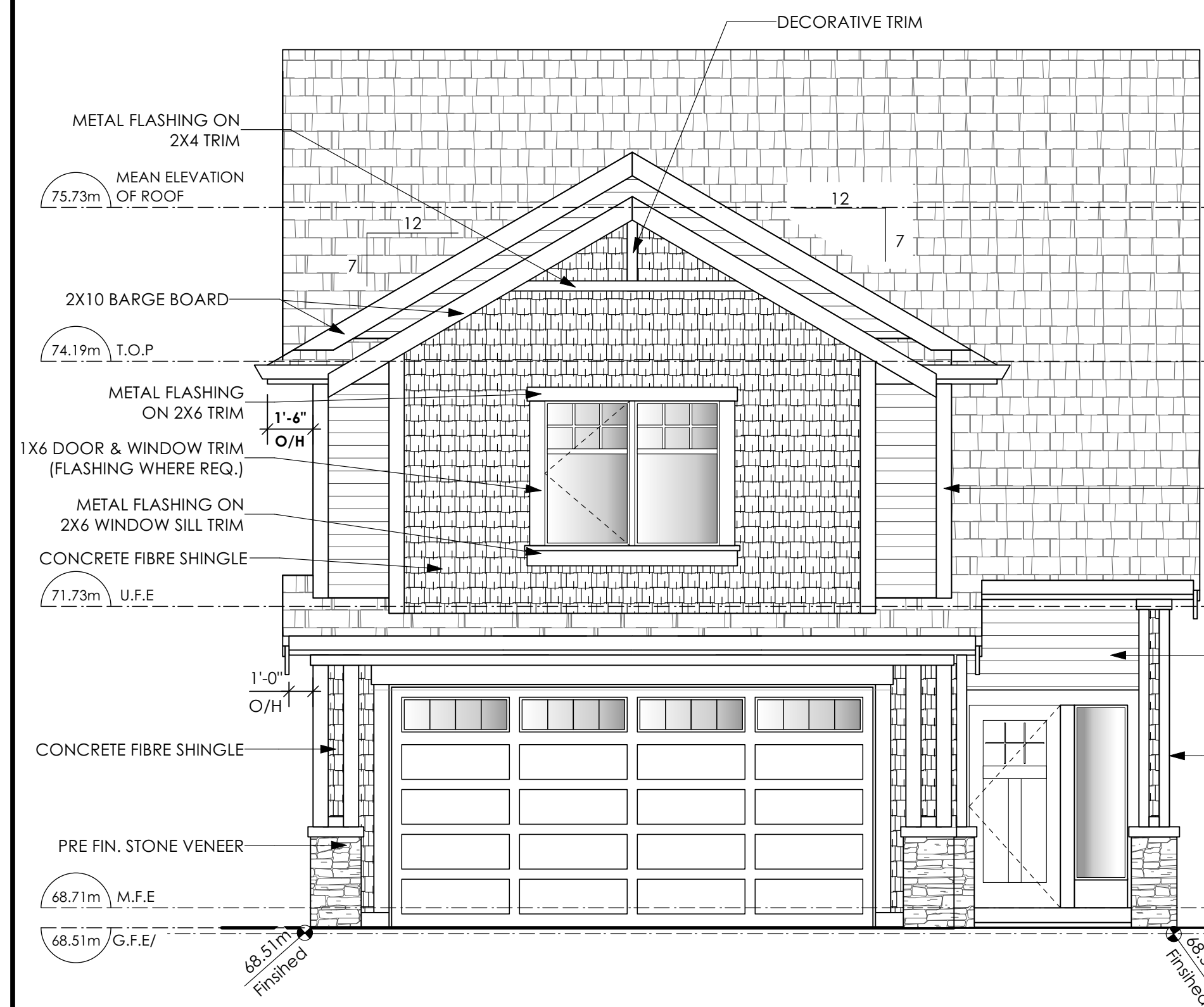
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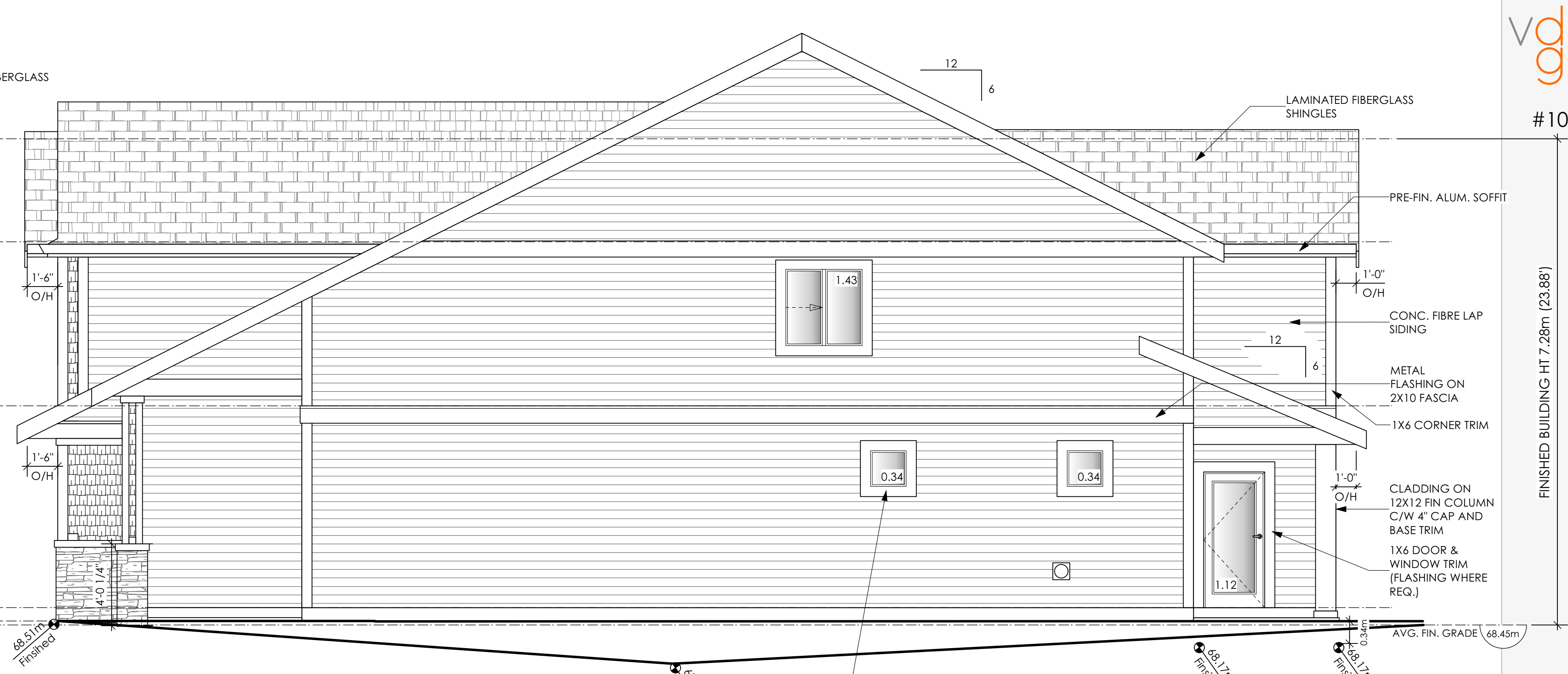
Drawn By
 NS

Development Permit Presentation

FINISHED BUILDING HT 7.28m (23.88')



1 Front Elevation
 A3 Scale: 1/4" = 1'-0"

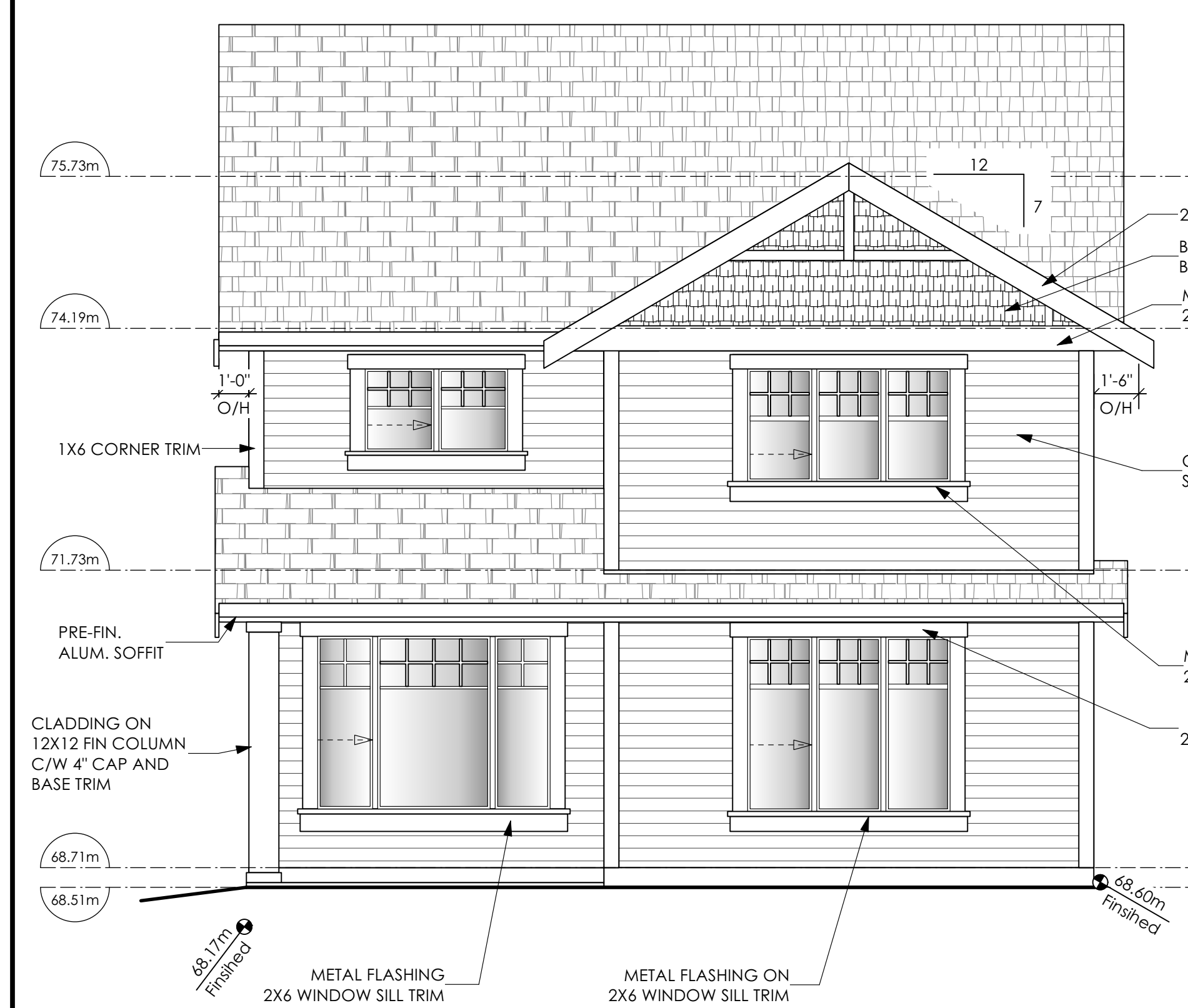


2 Right Side Elevation
 A3 Scale: 1/4" = 1'-0"

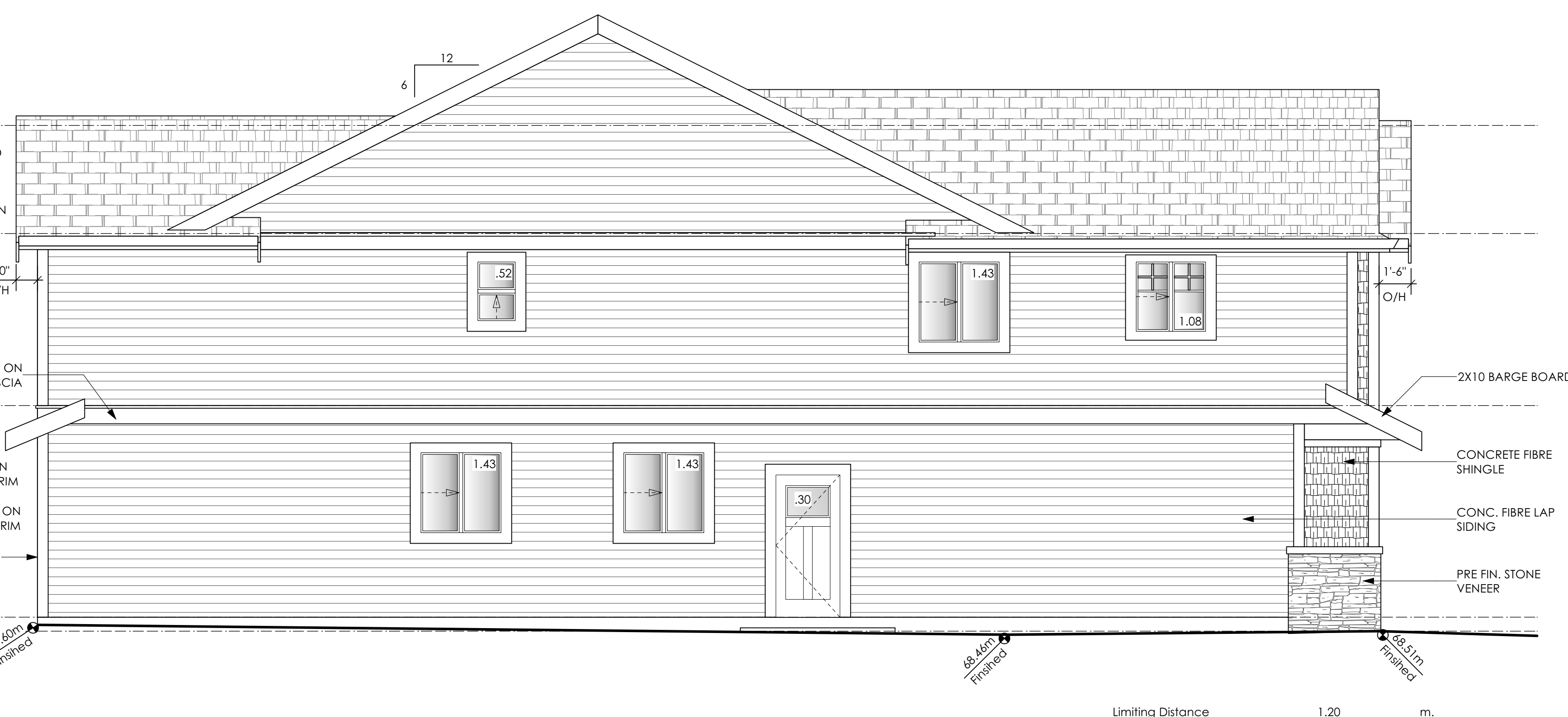
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED
 CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
 CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
 ALL HIGH VISIBILITY PTW IS REQUIRED TO BE STAINED AS PER GUIDELINES
 ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW

Limiting Distance	1.21	m.
Exposed Building Face	88.00	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.16	sq.m.
Proposed Openings	3.23	sq.m.



3 Rear Elevation
 A3 Scale: 1/4" = 1'-0"



4 Left Side Elevation
 A3 Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	104.95	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.34	sq.m.
Proposed Openings	6.19	sq.m.

THE PEARL (MODIFIED) CRAFTSMAN

Date
 May 26, 2023

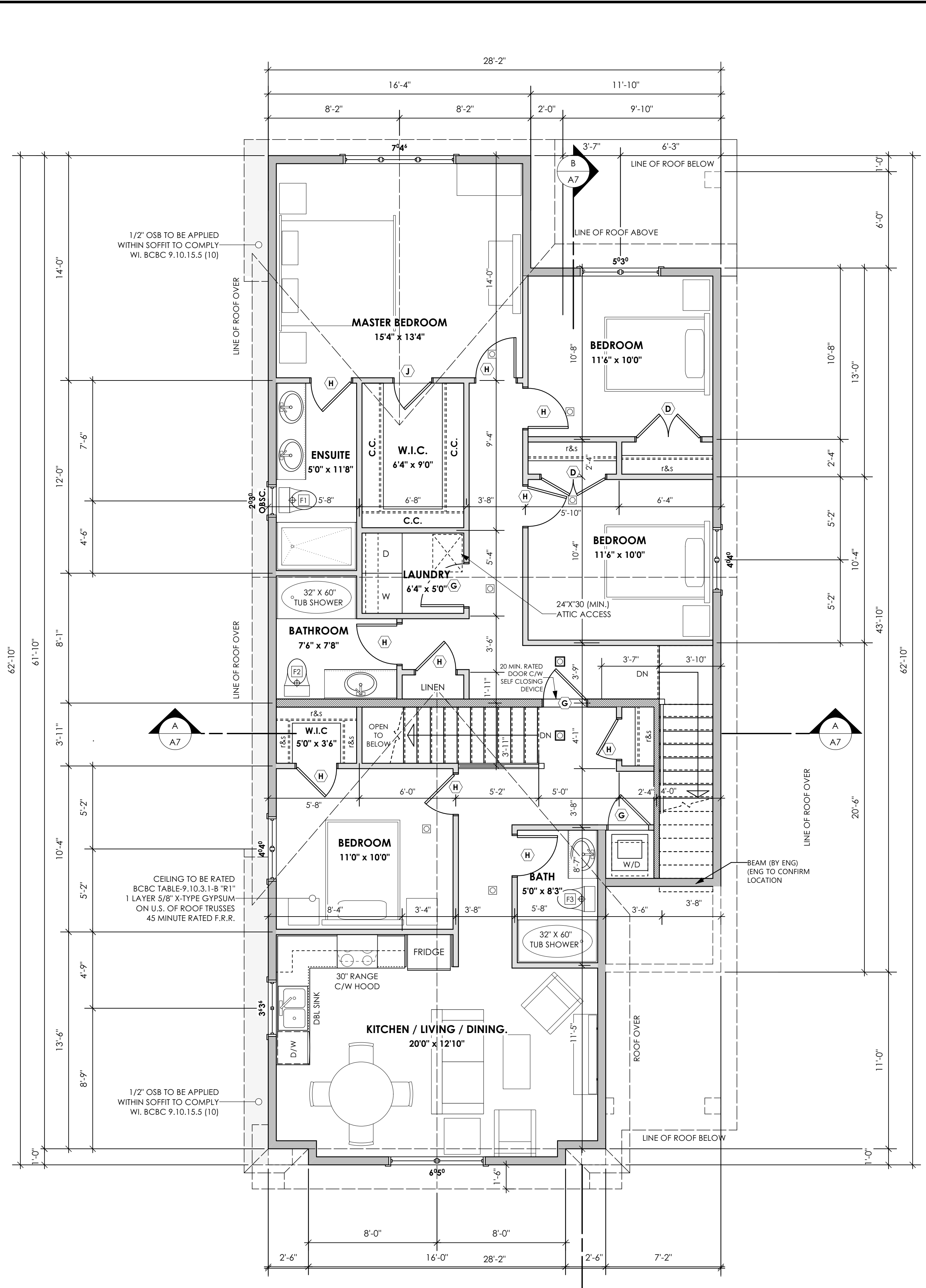
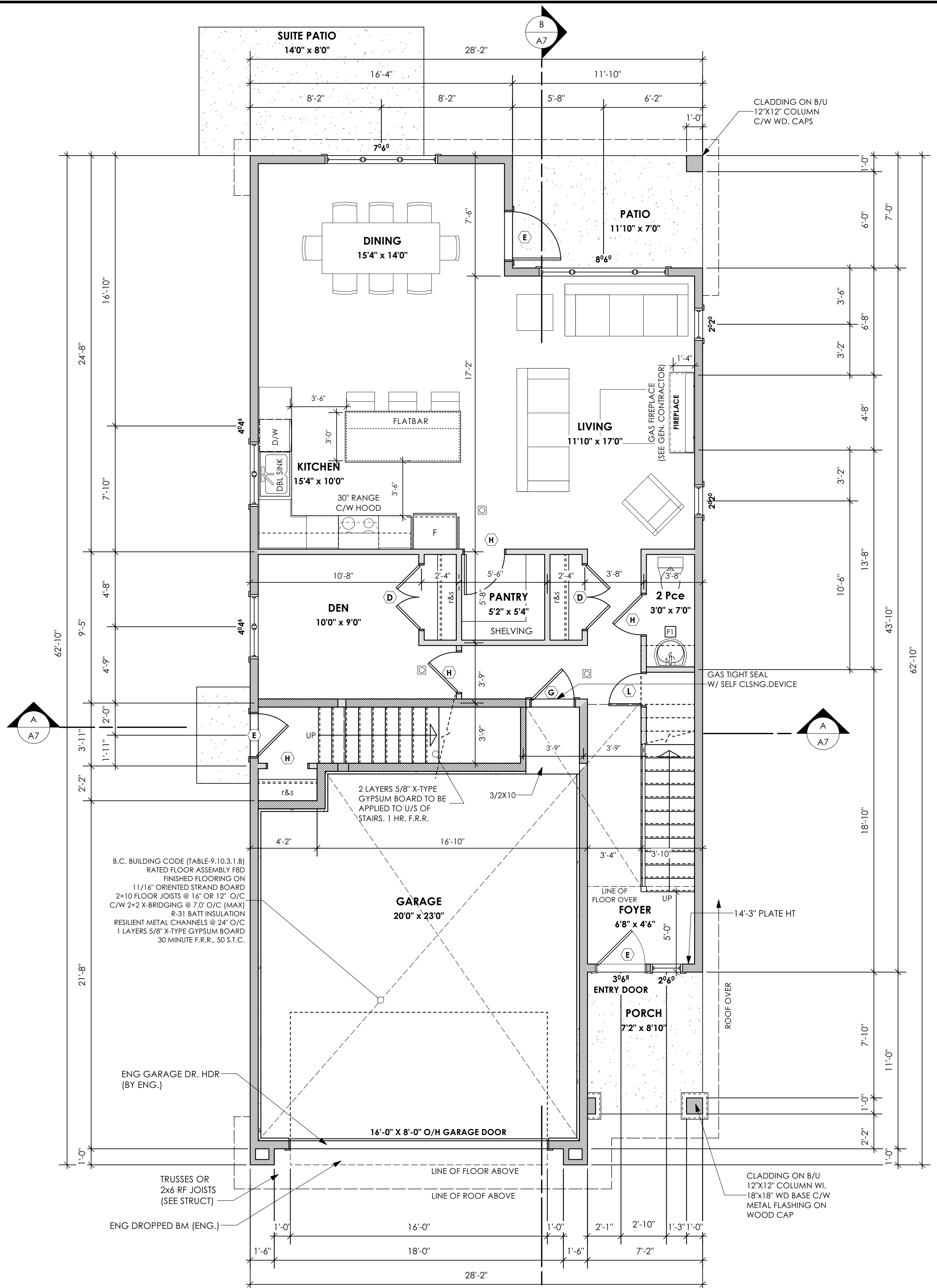
Project Address
 3474 TRUMPETER STREET
 Royal Bay - Sector 7
 Colwood, B.C.
 Prepared for
 Verity Construction

Project #
 8298-61

Scale
 As Noted

Drawn By
 NS

Development Permit Presentation



THE PEARL
 (MODIFIED) CRAFTSMAN

Date
 May 26, 2023

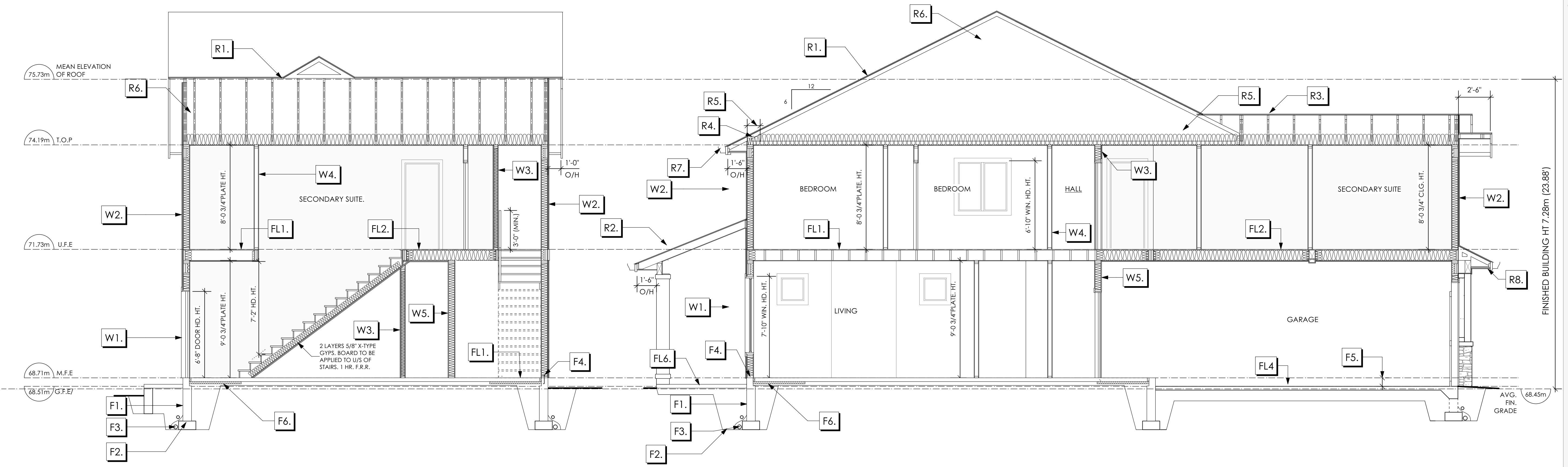
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Drawn By
 NS

Development Permit Presentation



1 Section A-A
A7 Scale: 1/4" = 1'-0"

2 Section B-B
A7 Scale: 1/4" = 1'-0"

Section Notes

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS 2x8 ROOF JOISTS @ 16" O/C VENTED SOFFIT
- R3. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED ROOF ASSEMBLY LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R.
- R4. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R5. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R8. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0" O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0" O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL, WI. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 1011.5.2/A440, "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATT 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION BUILDING WRAP OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE
- F6. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

THE PEARL
(MODIFIED) CRAFTSMAN

Date

May 26, 2023

Project Address

3474 TRUMPETER STREET
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

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Scale

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NS

Development Permit Presentation

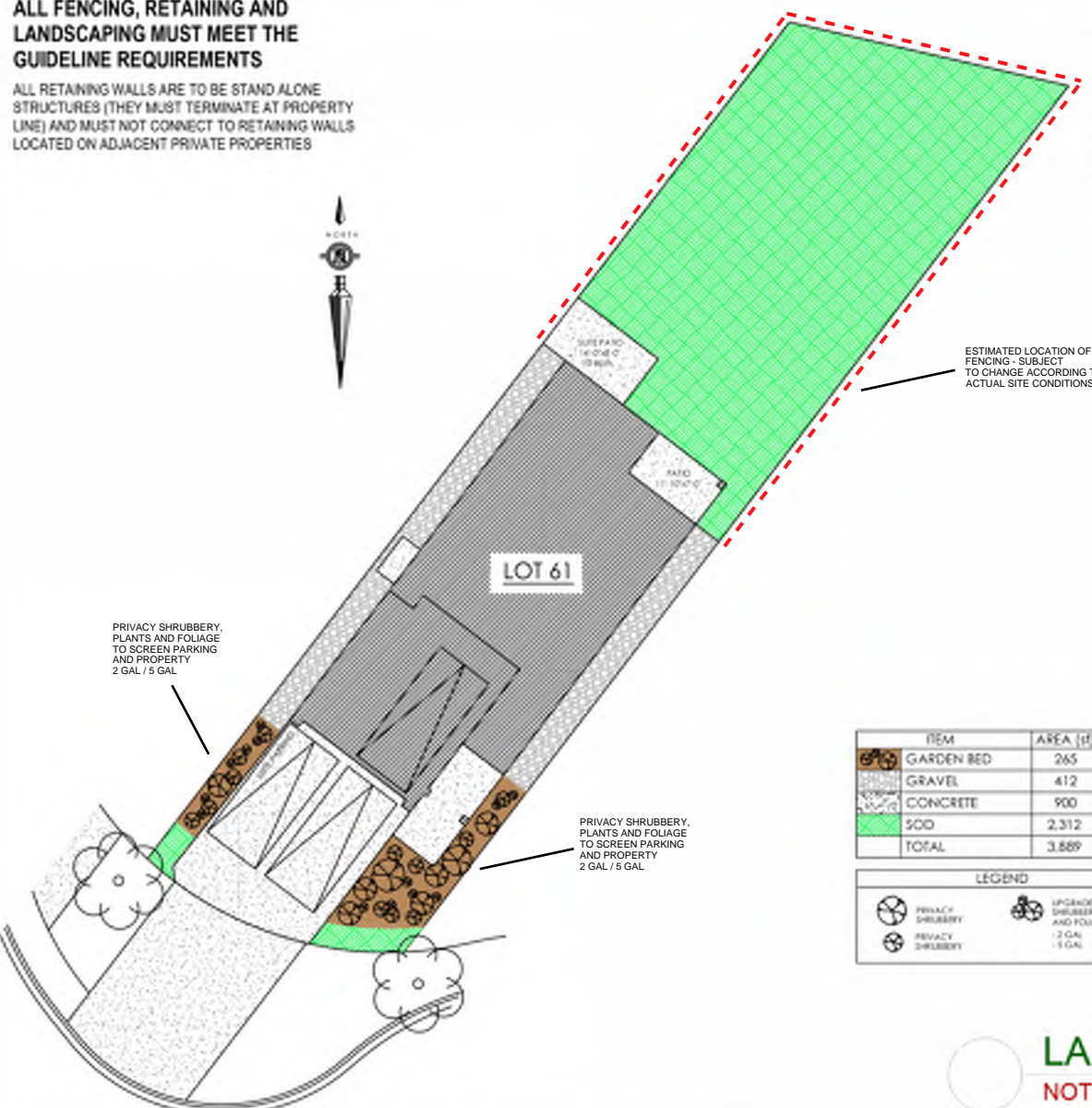
ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES



*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN
NOT TO SCALE



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

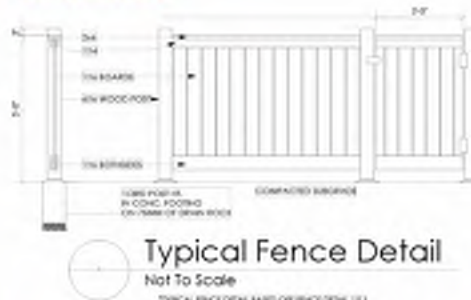
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

LOT 61

ITEM	AREA (ft ²)	%
GARDEN BED	265	7%
GRAVEL	412	11%
CONCRETE	900	23%
SOD	2,312	59%
TOTAL	3,889	100%

LEGEND	
	PRIVACY SHRUBBERY
	LANDSCAPE SHRUBBERY, PLANTS AND FOLIAGE
	2 GAL / 5 GAL
	3 GAL / 5 GAL

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10cm of fertile topsoil, 750mm Deep

LANDSCAPE PLAN

NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	05/09/23	FOR APPROVAL

PROJECT
LANDSCAPING PLAN LOT 61, 3474 TRUMPETER ST. ROYAL BAY, SECTOR 7 CITY OF COLWOOD



QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway
Victoria, B.C. V9B 0A6

P: 250.474.1039

www.verityconstruction.ca

MUNICIPAL ADDRESS	P.I.D.
LOT 61	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **68.71**

FRONT ELEV. **68.51** REAR ELEV. **68.60/68.17**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **68.51**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

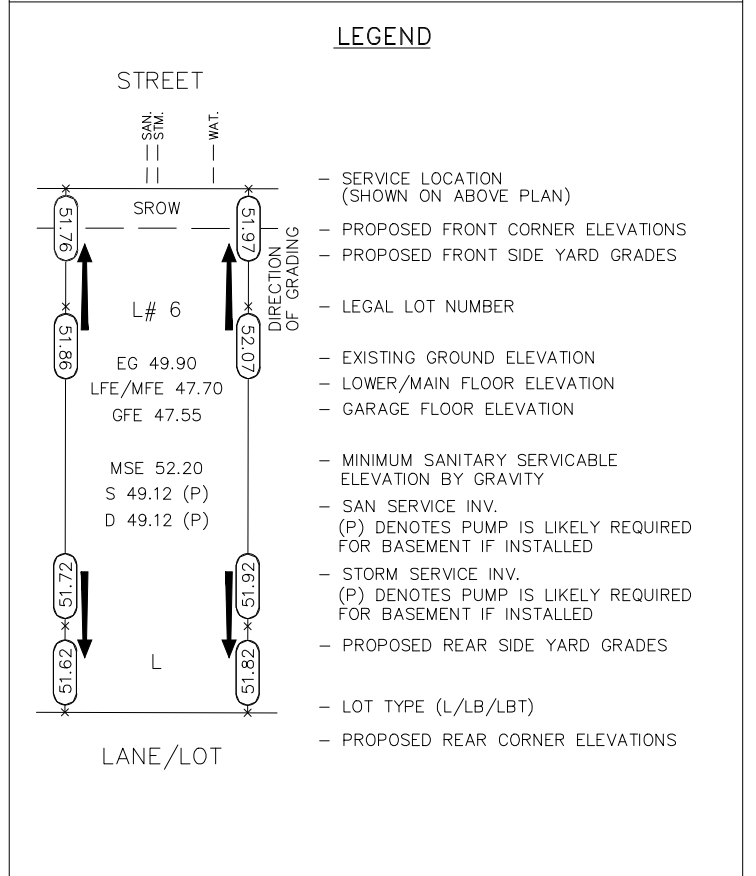
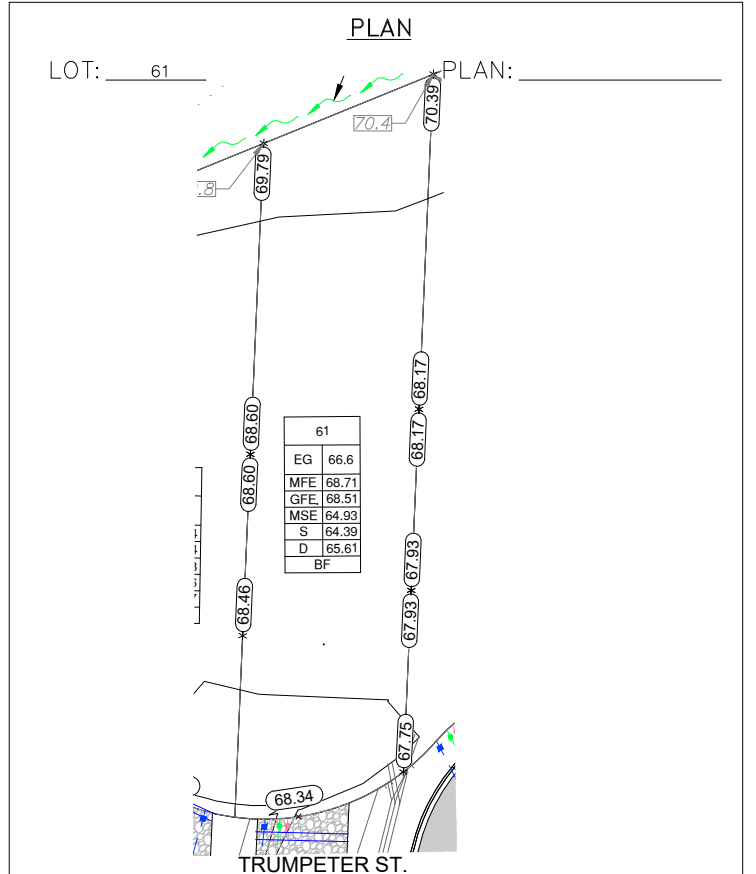
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE

DATE

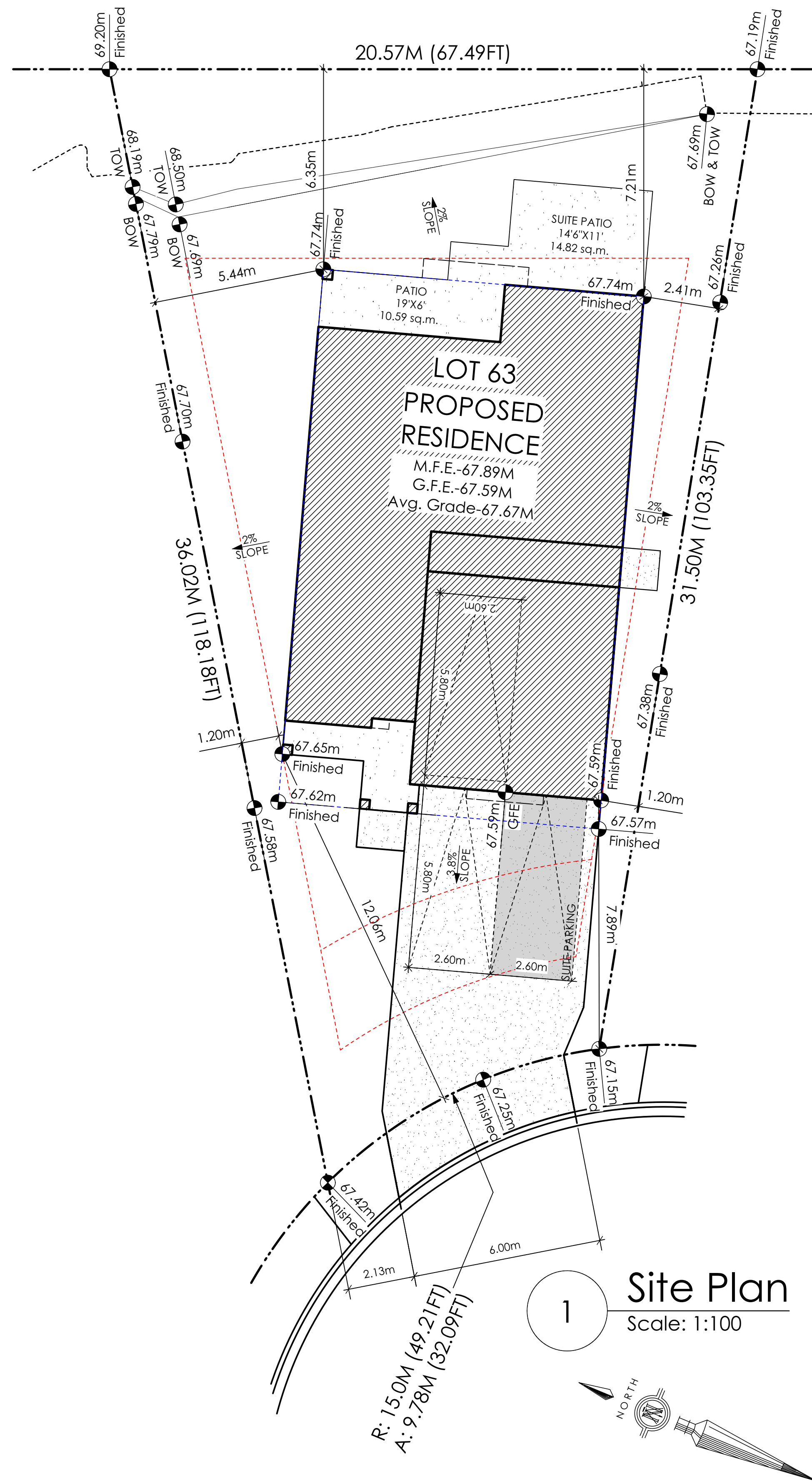
THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

C. Hume - June 6/23

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE

DATE

SCHEDULE 8



SITE DATA	RBCD5	LOT 63
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	481.89 sq.m.
LOT COVERAGE	50.00 %	33.49 %
BUILDING HEIGHT	9.50 m.	7.54 m.
LOT WIDTH	10.97 m.	9.78 m.
SETBACKS		
- FRONT	4.50 m.	7.89 m.
- FRONT (GARAGE)	6.00 m.	7.89 m.
- REAR	6.00 m.	6.35 m.
- SIDE	1.20 m.	1.20 m.
- SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- MAIN		144.58 sq.m.
- LOWER		104.20 sq.m.
- GARAGE		41.81 sq.m.
SUB-TOTAL G.F.A.		290.59 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.81 sq.m.
GROSS FLOOR AREA		248.78 sq.m.
F.A.R.		0.52 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	26.96 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	67.08 sq.m.

AVERAGE NATURAL GRADE CALCULATION:
 $67.74M + 67.74M + 67.62M + 67.57M = 270.67M / 4 = 67.67M$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

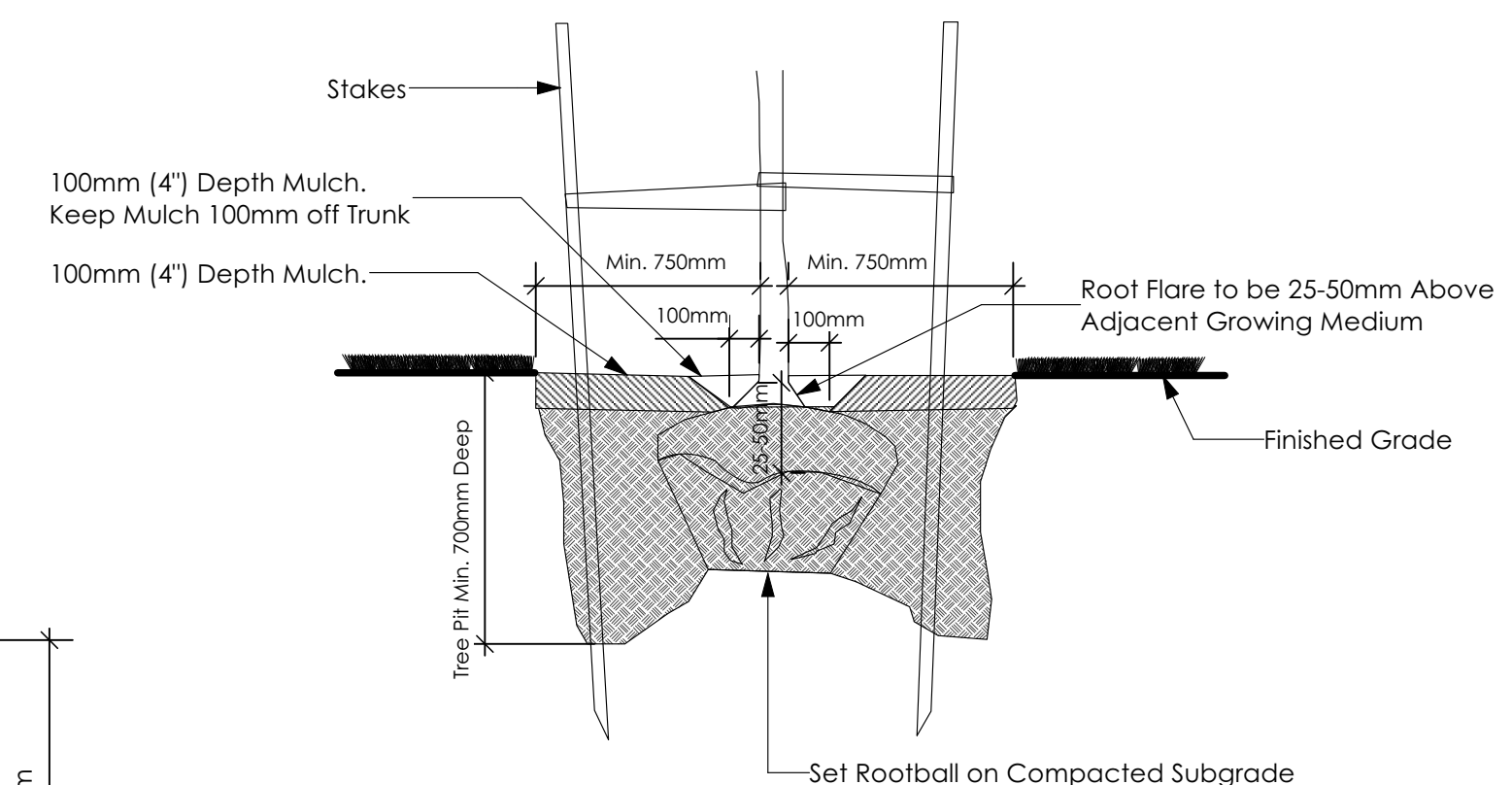
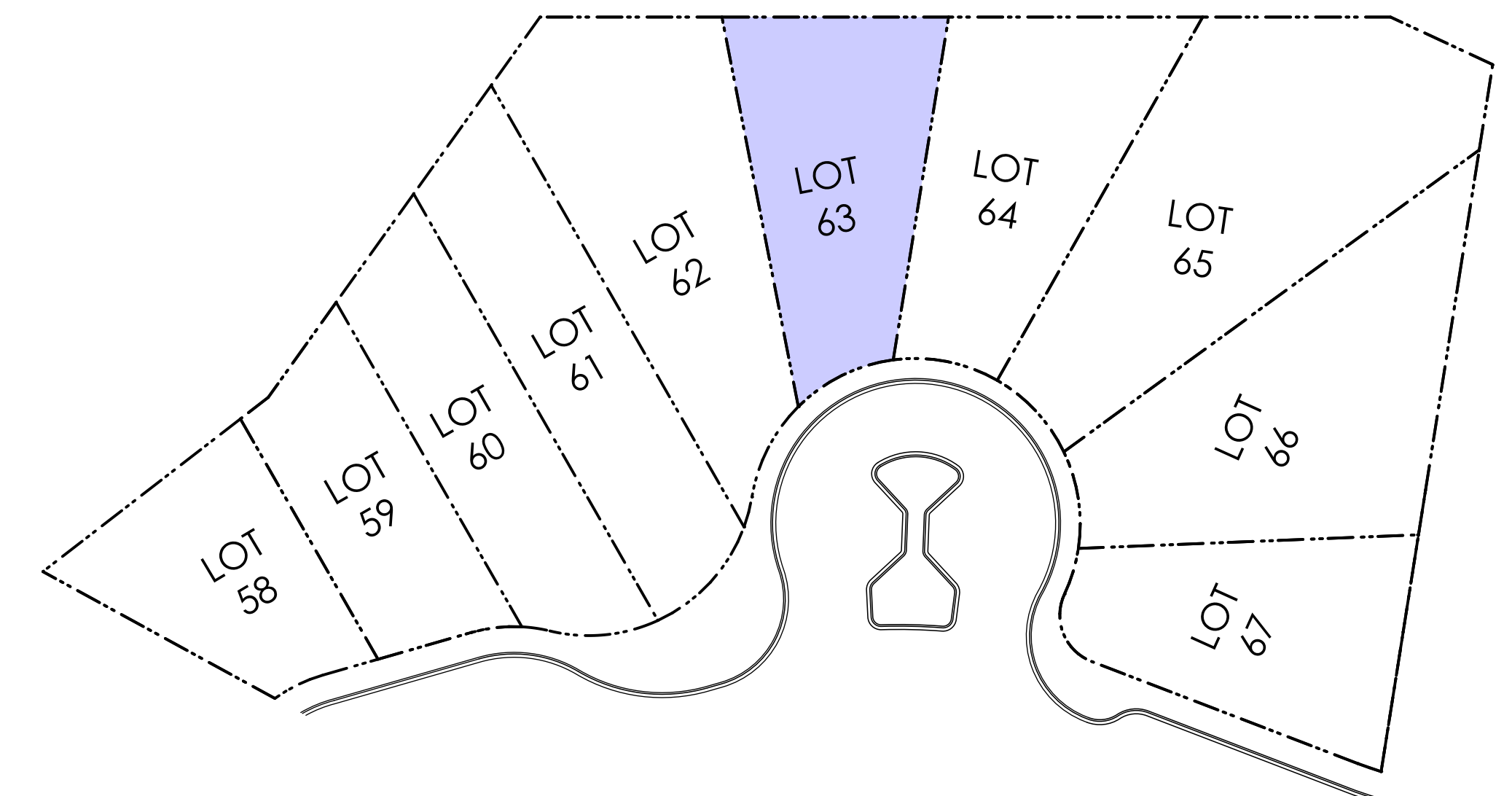
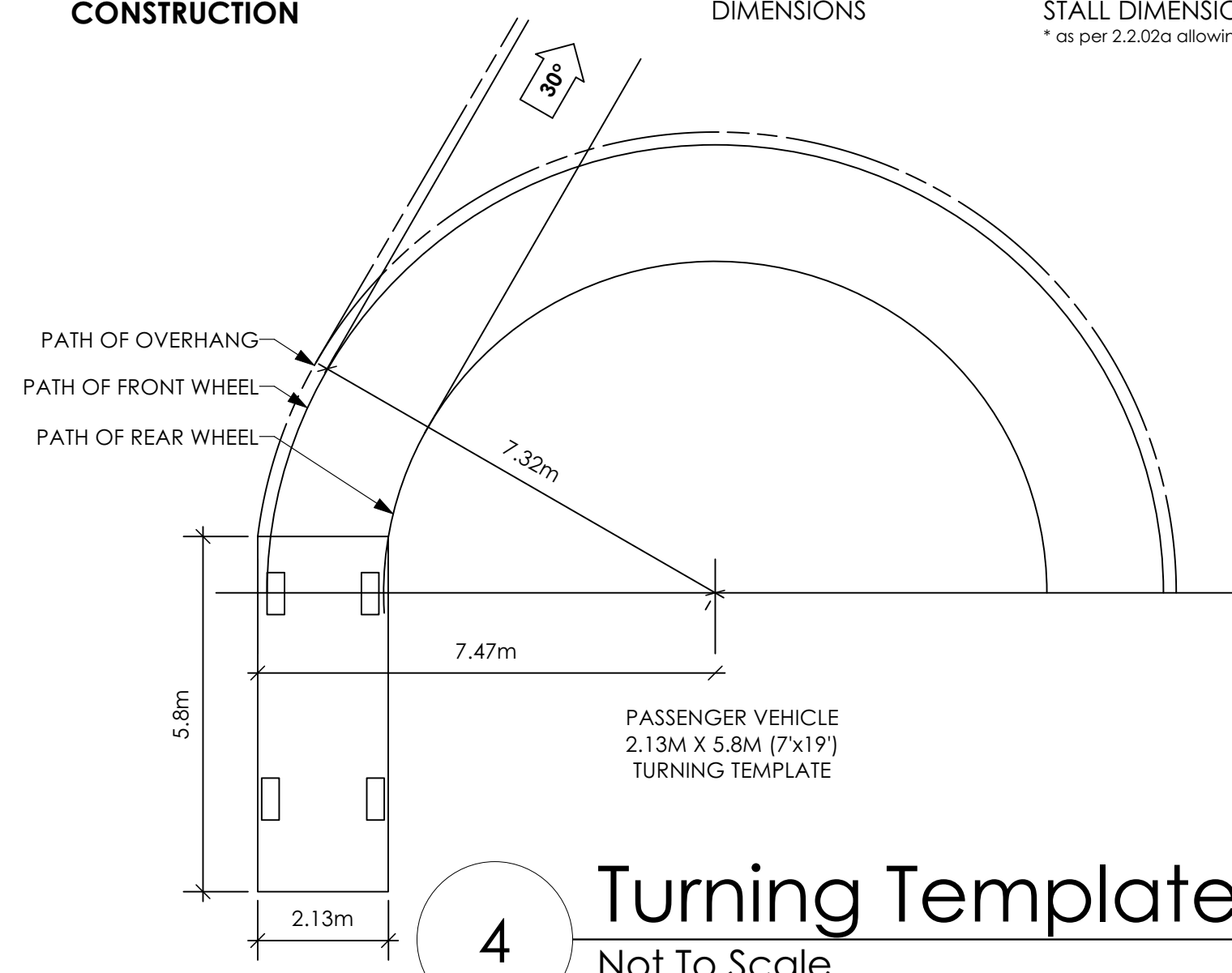
- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

THE SLEEVES TO BE INSTALLED BY THE BUILDER

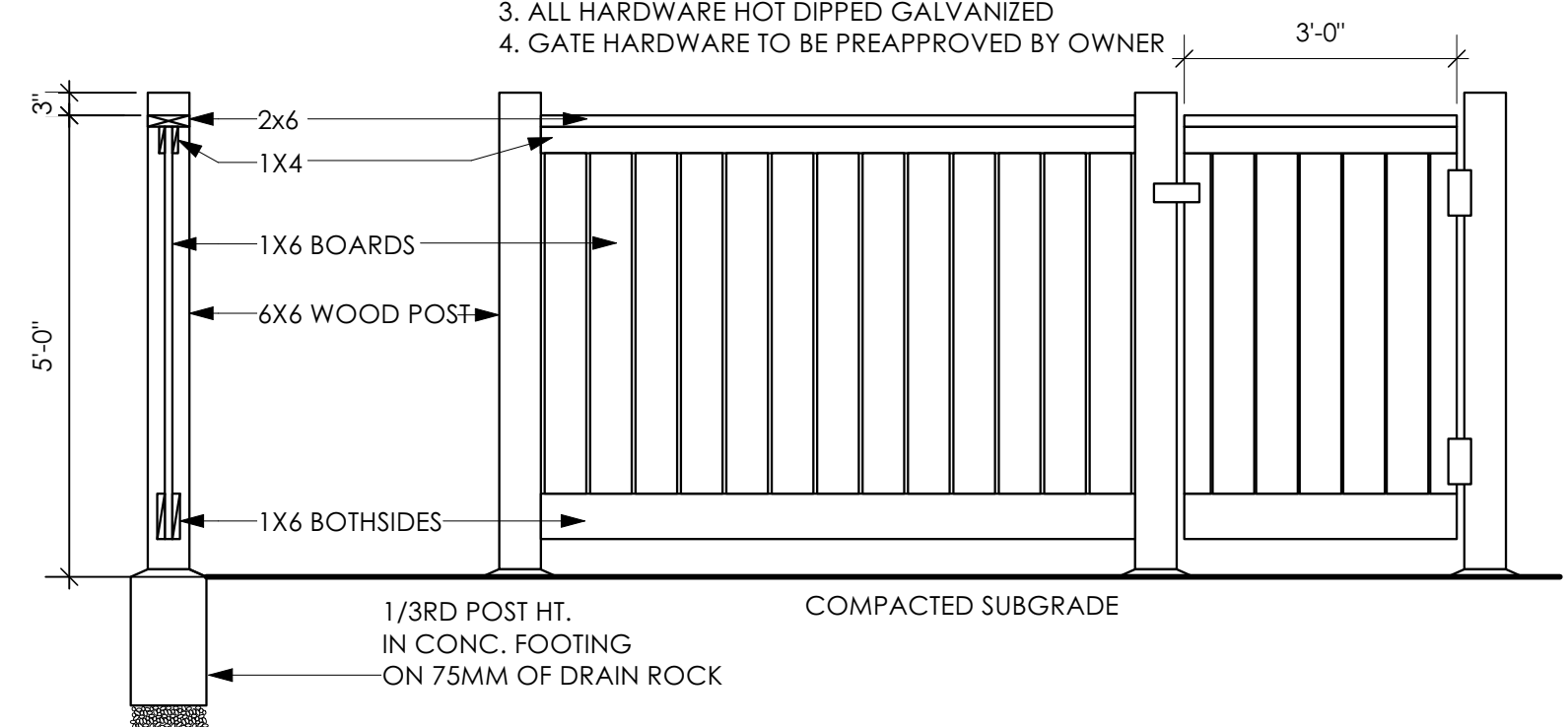
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



Tree Planting Detail

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

- TYPICAL FENCE NOTES:
1. ALL WOOD P.T. HEM FIR.
 2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
 3. ALL HARDWARE HOT DIPPED GALVANIZED
 4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



Typical Fence Detail

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

'FLEMING' CRAFTSMAN

Date

Apr. 10, 2023

Project Address

Royal Bay Sector 7
 Verity Construction
 3470 Trumpeter Street
 Lot 63
 Colwood, B.C.

Prepared for

Verity Construction

Project

8298-63

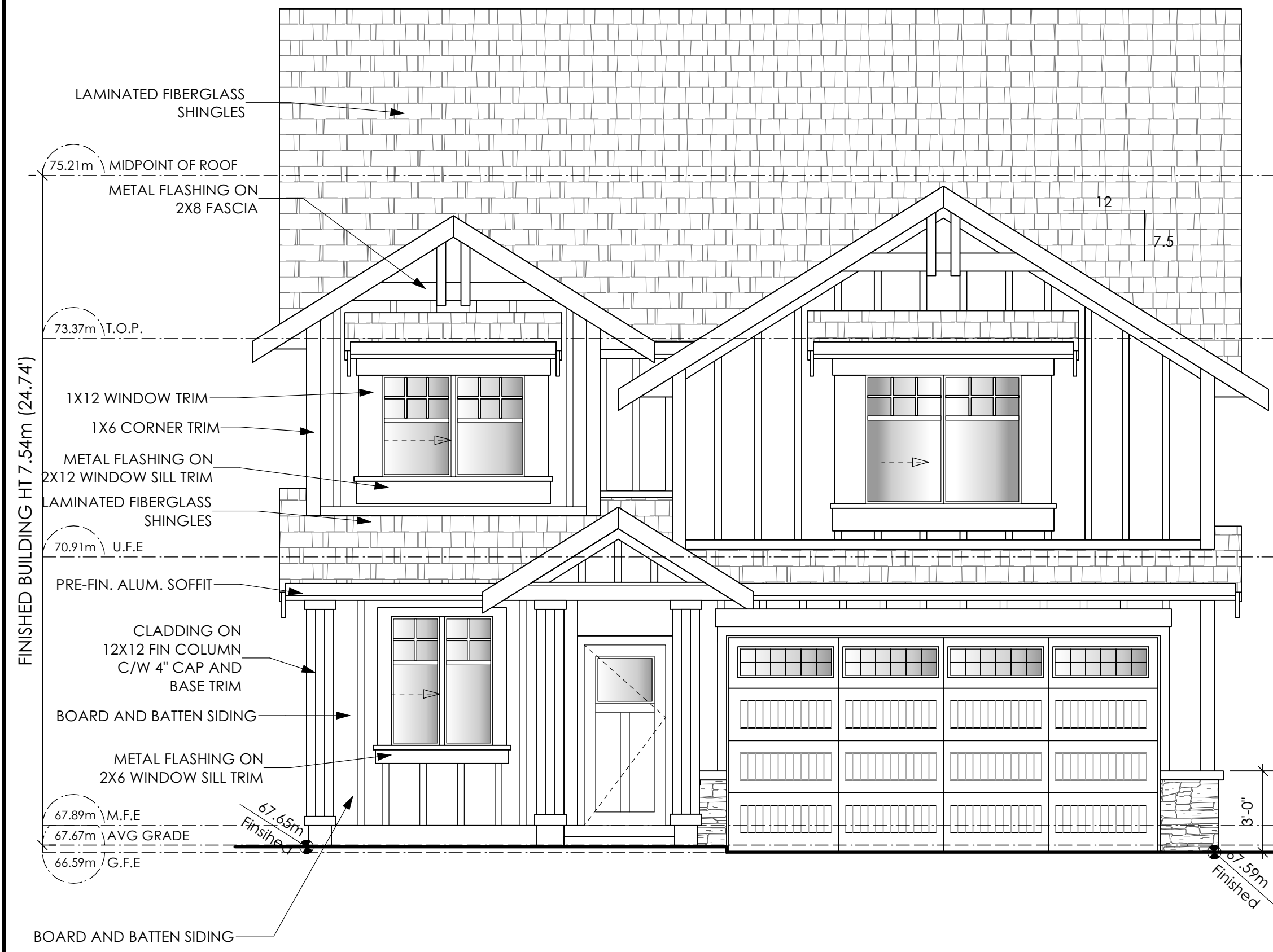
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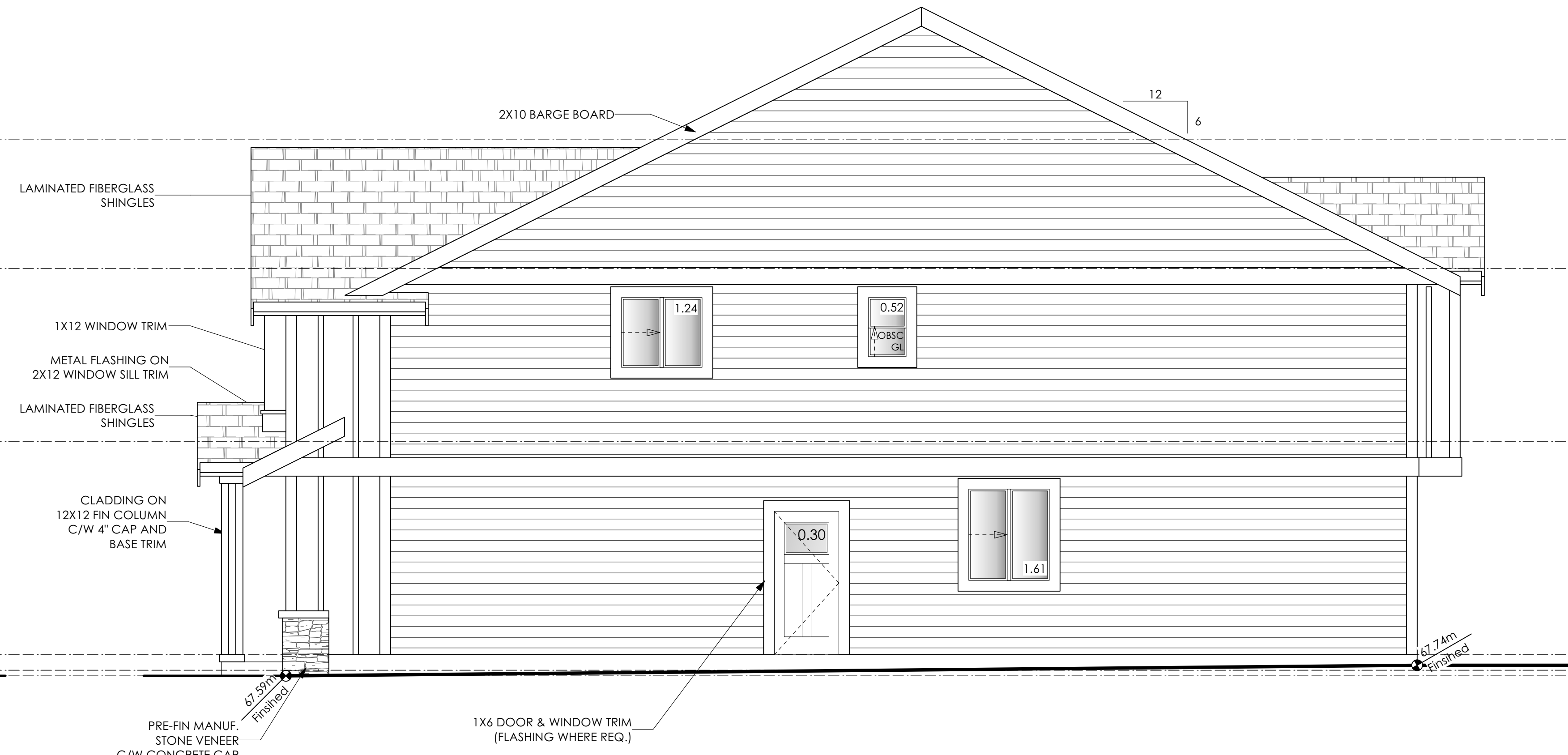
Drawn By

MRB

Development Permit Presentation

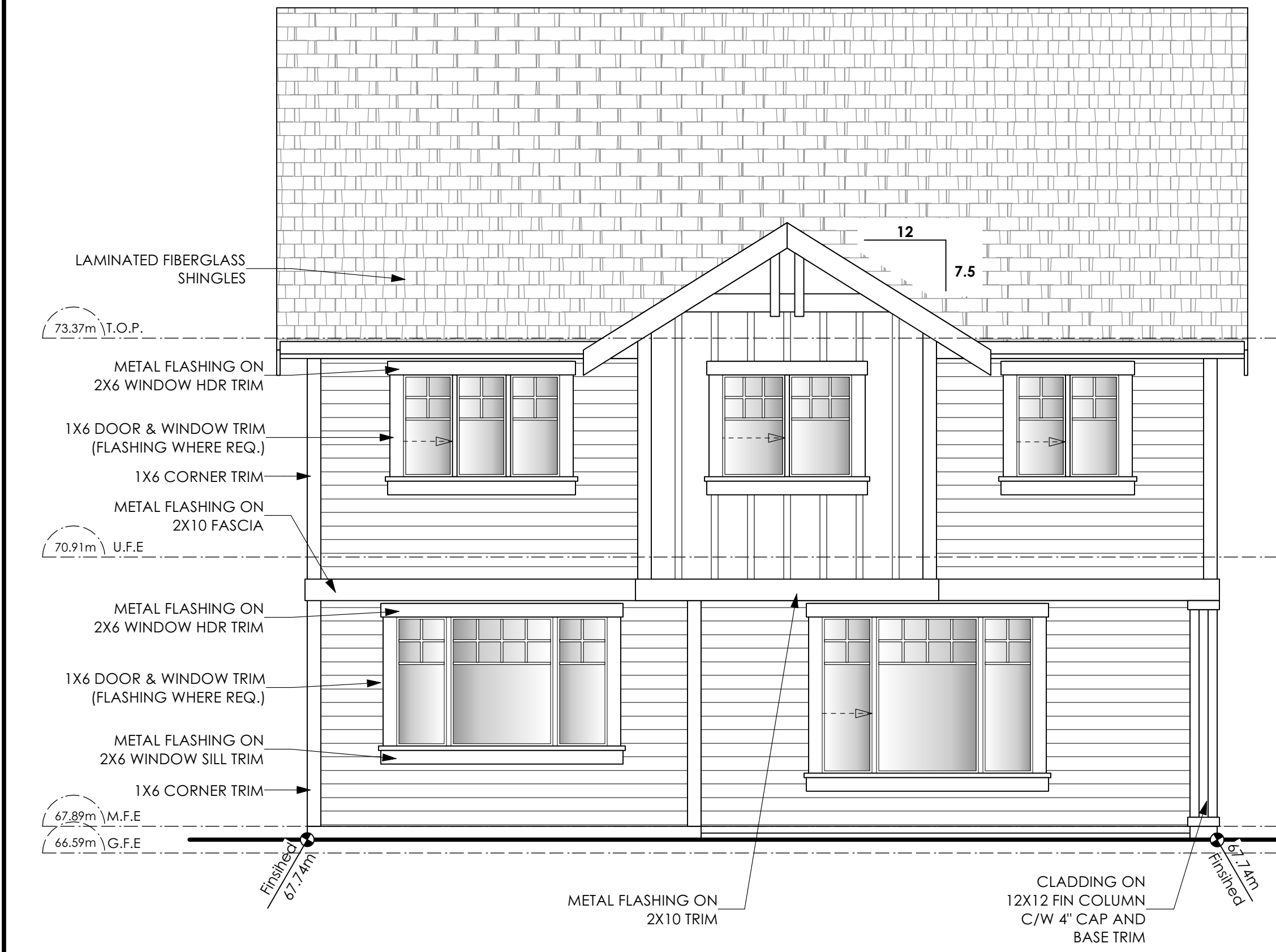


1 **Front Elevation**
 Scale: 1/4" = 1'-0"

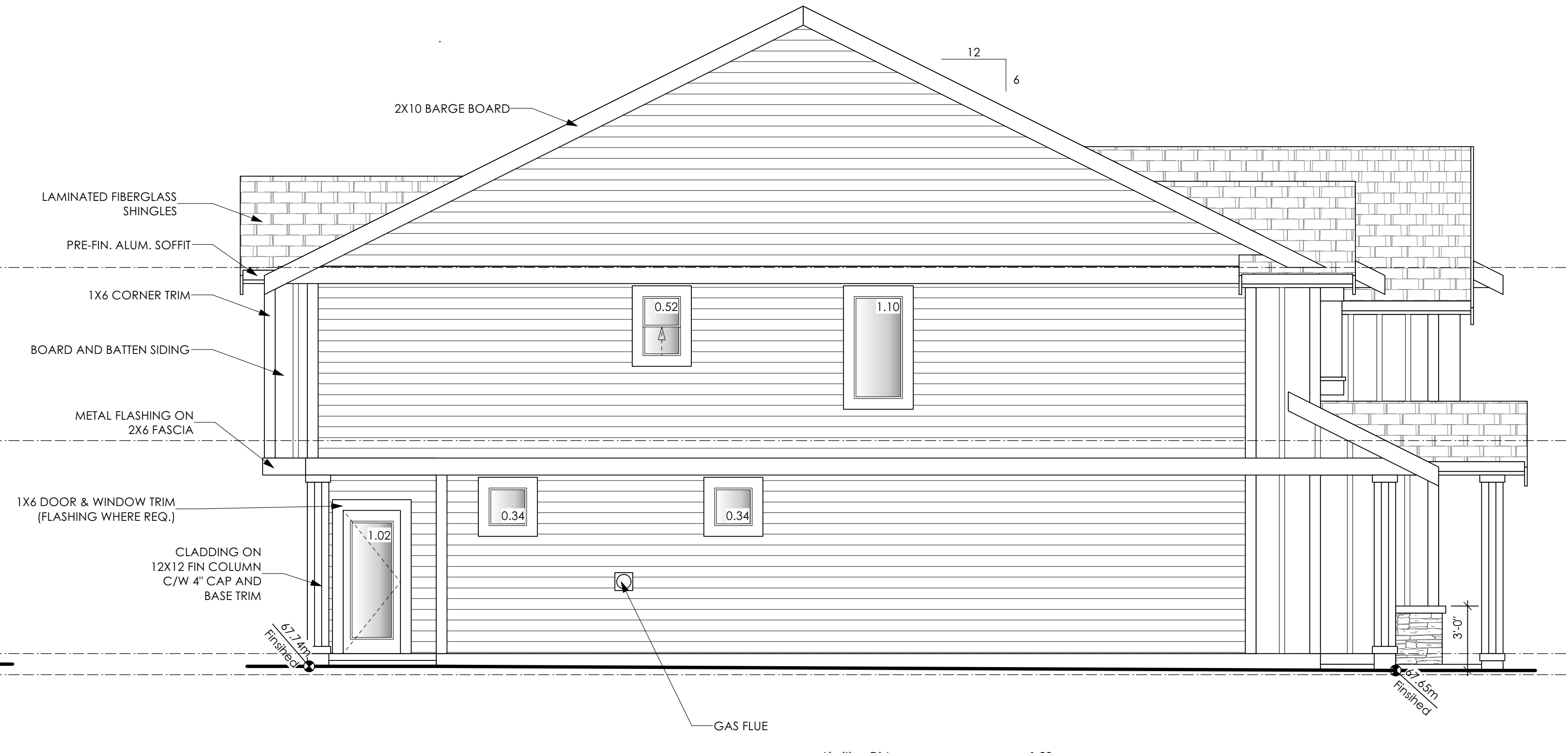


2 **Right Side Elevation**
 Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	91.58	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.41	sq.m.
Proposed Openings	3.67	sq.m.



3 **Rear Elevation**
 Scale: 1/4" = 1'-0"



4 **Left Side Elevation**
 Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	92.97	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.51	sq.m.
Proposed Openings	3.32	sq.m.

'FLEMMING' CRAFTSMAN

Date
 Apr. 10, 2023

Project Address
 Royal Bay Sector 7
 Verity Construction
 3470 Trumpeter Street
 Lot 63
 Colwood, B.C.

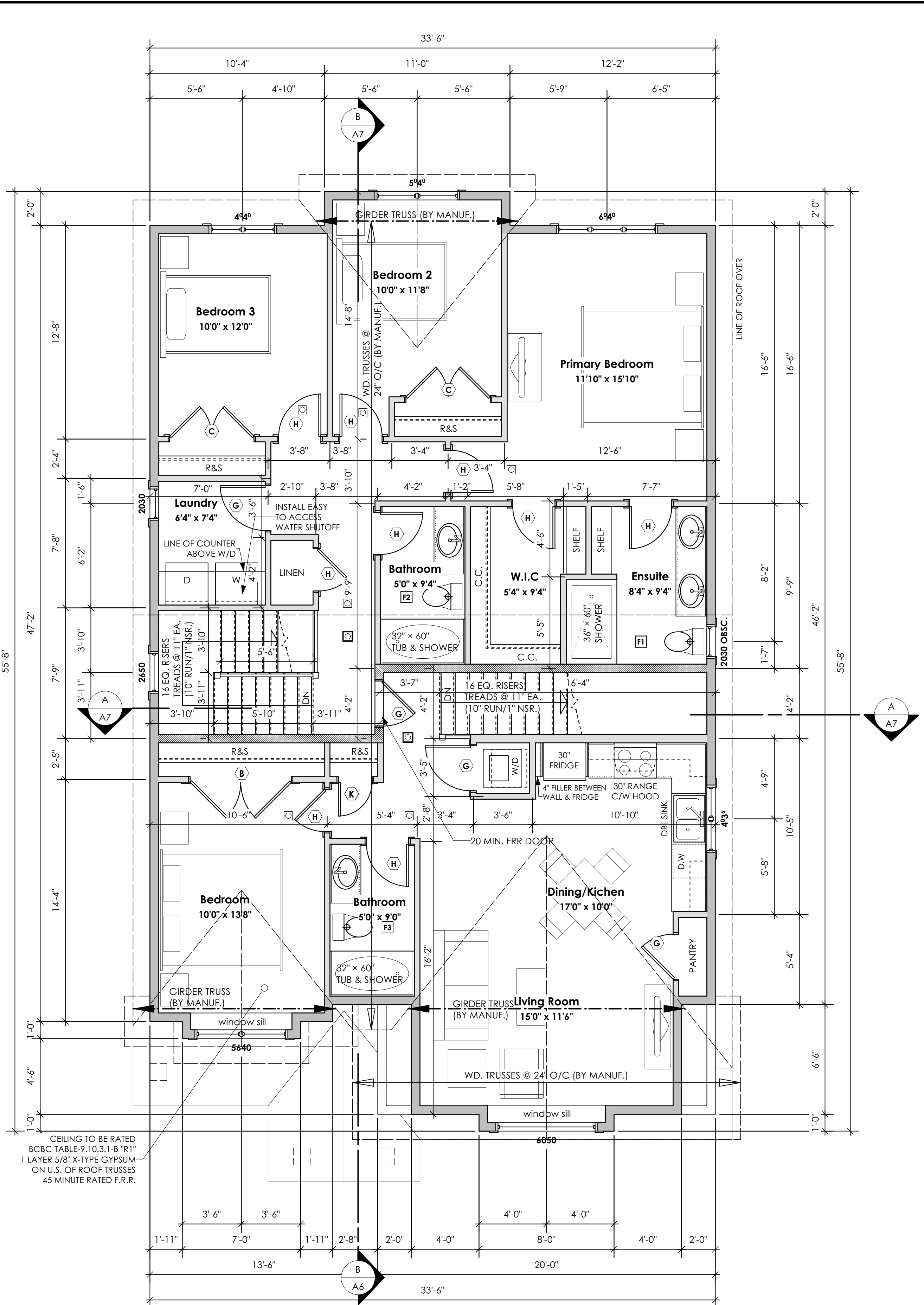
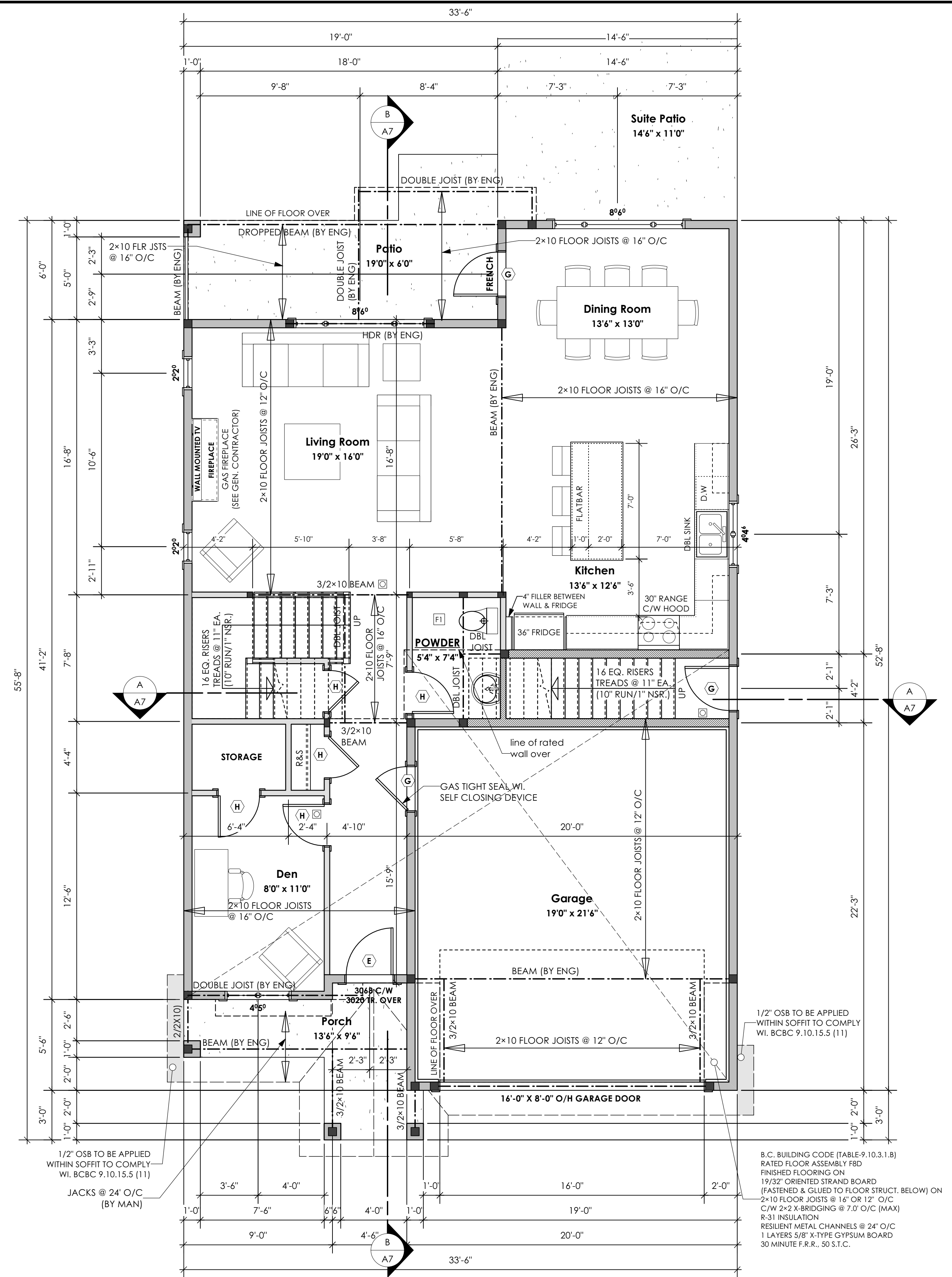
Prepared for
 Verity Construction

Project #
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Scale
 Not to Scale

Drawn By
 MRB

Development Permit Presentation



'FLEMING' CRAFTSMAN

Date

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 3470 Trumpeter Street
 Lot 63
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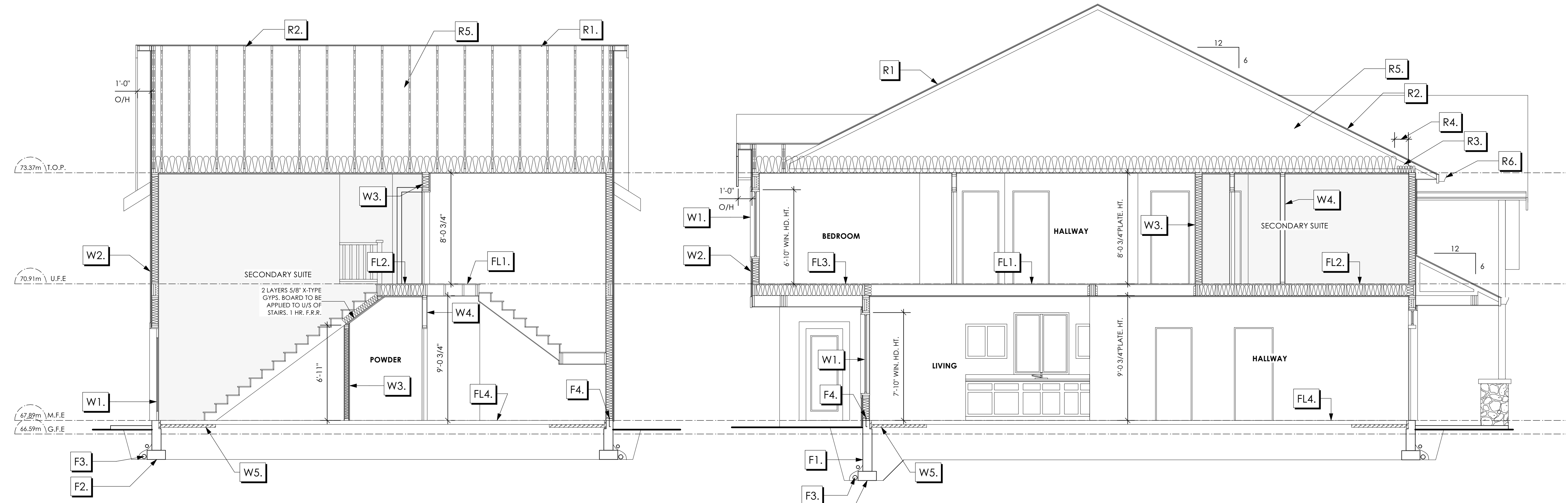
Scale

Not to Scale

Drawn By

MRB

Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"

2 Section B-B
Scale: 1/4" = 1'-0"

Section Notes

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED ROOF ASSEMBLY R1 LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R.
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. FINISHED FLOORING 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)
- FL6. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN.1:50 SLOPE)

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.S.2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30. WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATT FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT IN SECTION)

'FLEMMING' CRAFTSMAN

Date

Apr. 10, 2023

Project Address

Royal Bay Sector 7
Verity Construction
3470 Trumpeter Street
Lot 63
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-63

Scale

Not to Scale

Drawn By

MRB

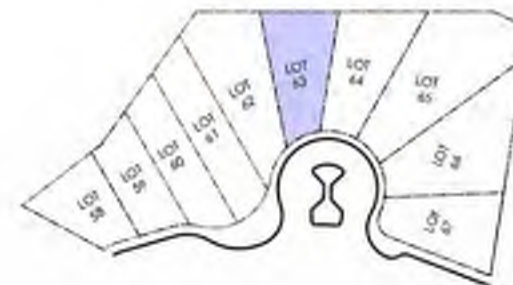
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ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN NOT TO SCALE



ITEM	AREA (sq)	%
GARDEN BED	313	9%
GRAVEL	756	21%
CONCRETE	1,019	28%
SOD	1,528	42%
TOTAL	3,616	100%

LEGEND	
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE - 2 GAL - 5 GAL

May 16/23
Similar landscape plan (with potential changes noted) previously accepted by the Developer. Verity is responsible for all costs to ensure all Guidelines' landscaping requirements (i.e. number required, type, size, etc.) & City of Colwood requirements have been achieved.
C. Hume

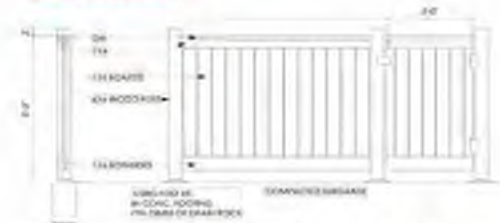
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

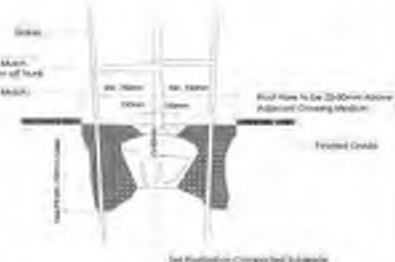


Recommend adding additional planting in area i.e. tree(s), extending plant bedding etc.

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale



Tree Planting Detail
Not To Scale

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	04/21/23	FOR APPROVAL

PROJECT
LANDSCAPING PLAN
LOT 63, 3470 TRUMPETER ST.
ROYAL BAY, SECTOR 7
CITY OF COLWOOD

VERITY
CONSTRUCTION

QUALITY CONSTRUCTION. TRUSTED SERVICE.
106 - 1039 Langford Parkway
Victoria, B.C. V9B 0A6
P: 250.474.1039
www.verityconstruction.ca

MUNICIPAL ADDRESS 3470 Trumpeter Street	P.I.D.
LOT 63	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES
ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **67.89**

FRONT ELEV. **67.65** REAR ELEV. **67.74**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **67.59**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

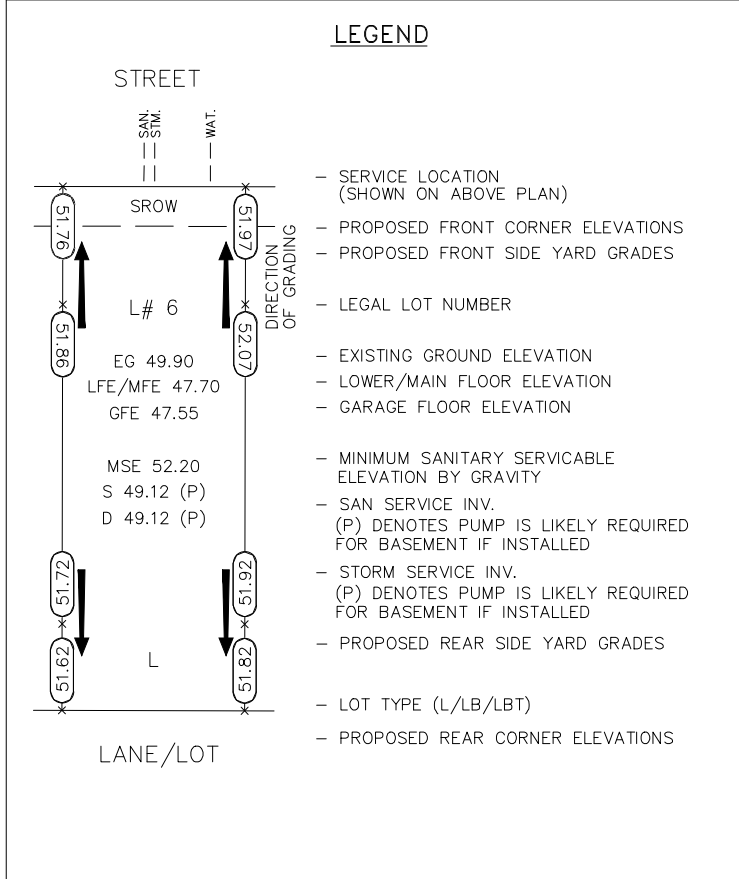
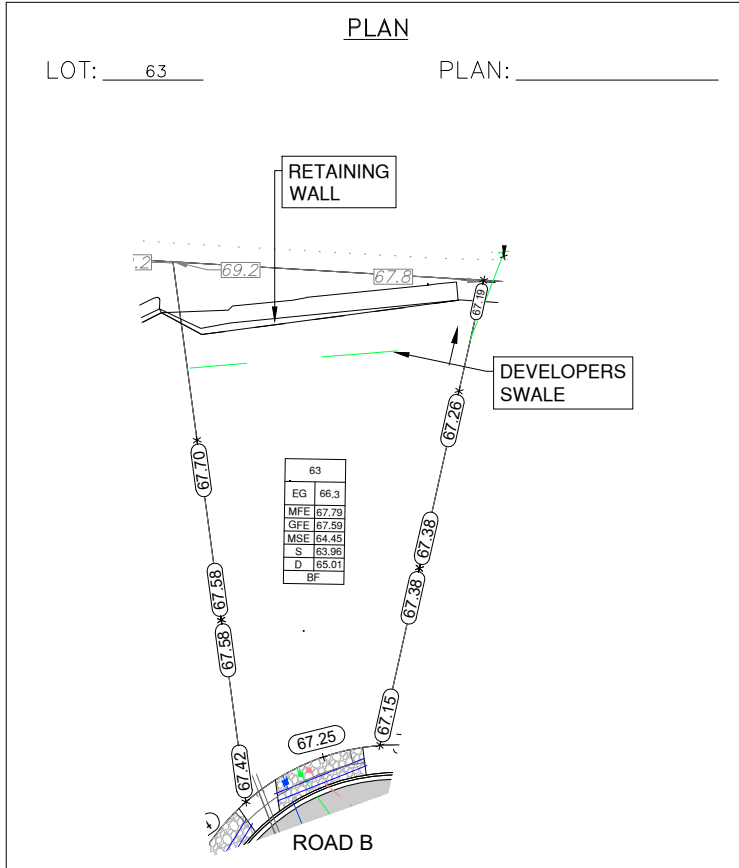
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION. UN-AUTHORIZED DEVIATIONS WILL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH ALL LOCAL BYLAWS.
- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

C. Hume May 16/23

SCHEDULE 9

SITE DATA	RBCD5	LOT 64
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	526.44 sq.m.
LOT COVERAGE	50.00 %	31.41 %
BUILDING HEIGHT	9.50 m.	7.54 m.
LOT WIDTH	10.97 m.	9.74 m.
SETBACKS		
- FRONT	4.50 m.	7.52 m.
- FRONT (GARAGE)	6.00 m.	7.52 m.
- REAR	6.00 m.	7.23 m.
- SIDE	1.20 m.	1.20 m.
- SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- MAIN		144.56 sq.m.
- LOWER		104.20 sq.m.
- GARAGE		41.81 sq.m.
SUB-TOTAL G.F.A.		290.57 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.81 sq.m.
GROSS FLOOR AREA		248.76 sq.m.
F.A.R.		
		0.47 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	27.01 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	67.18 sq.m.

AVERAGE NATURAL GRADE CALCULATION:
 $67.42M + 67.42M + 67.42M + 67.34M = 269.60M/4 = 67.40M$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

STOP & READ

RETAINING WALLS **MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED**

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

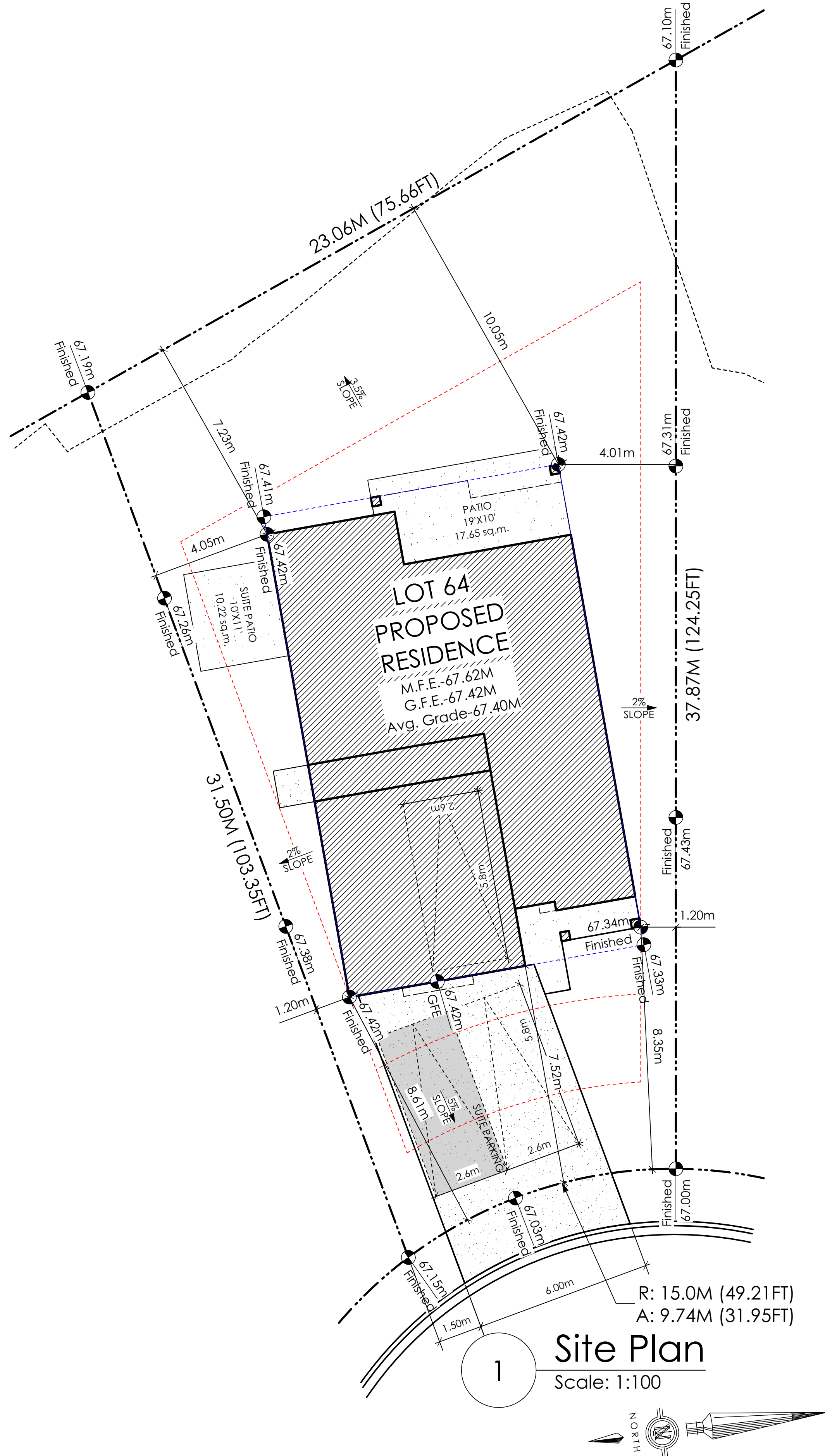
- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

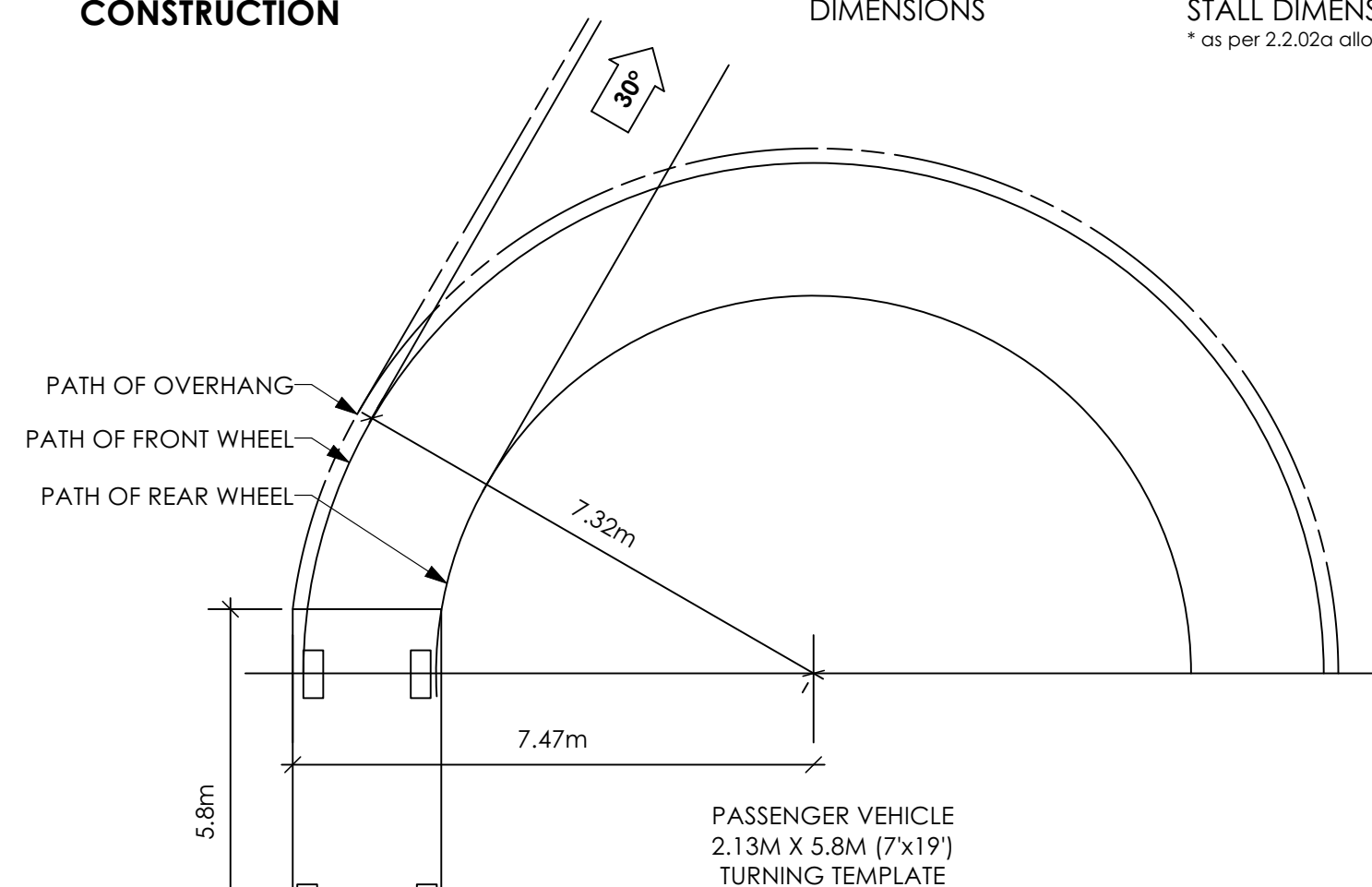
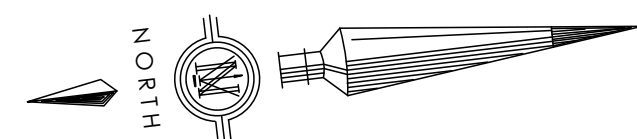
THE SLEEVES TO BE INSTALLED BY THE BUILDER

ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION

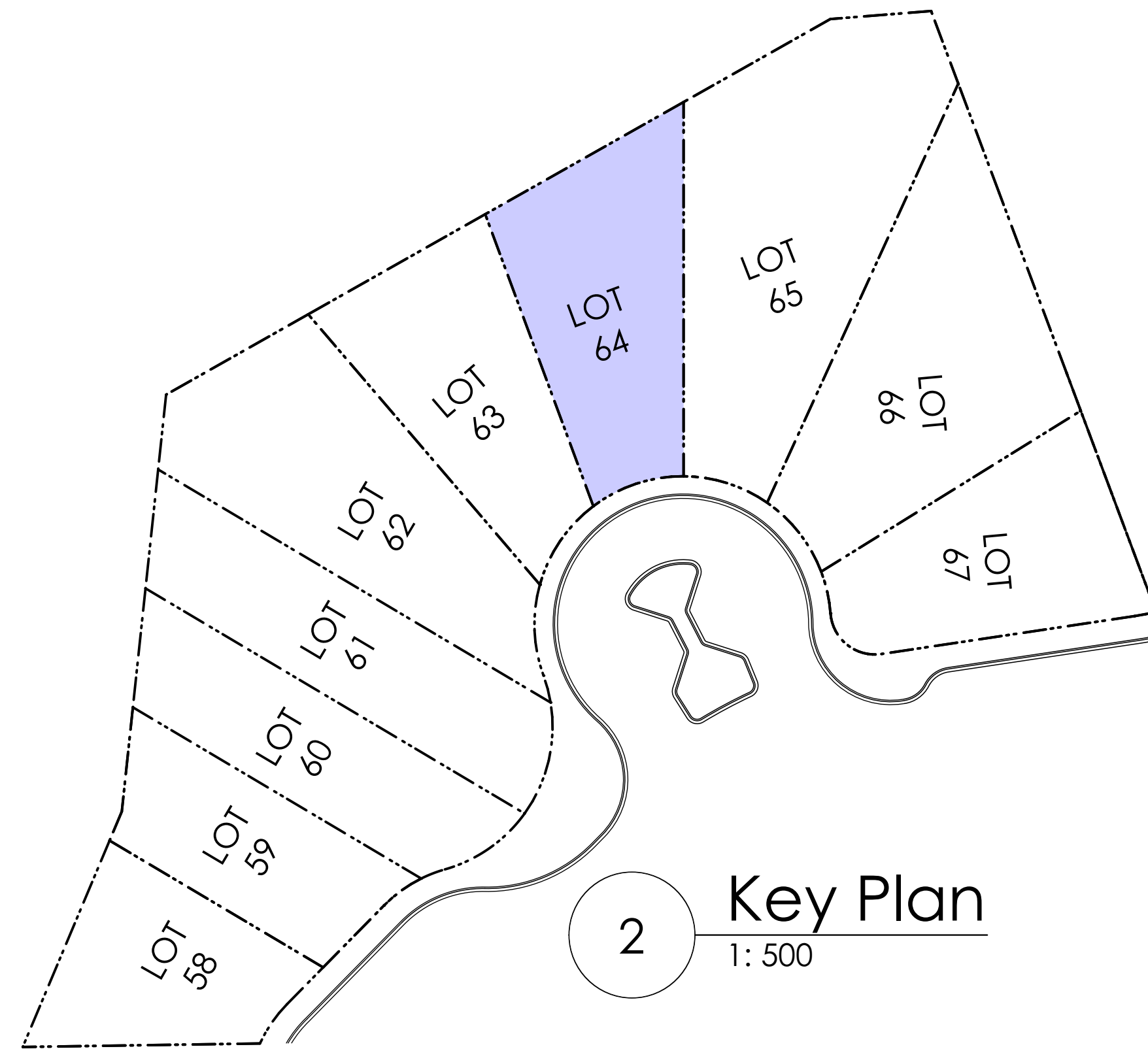


1 Site Plan
Scale: 1:100

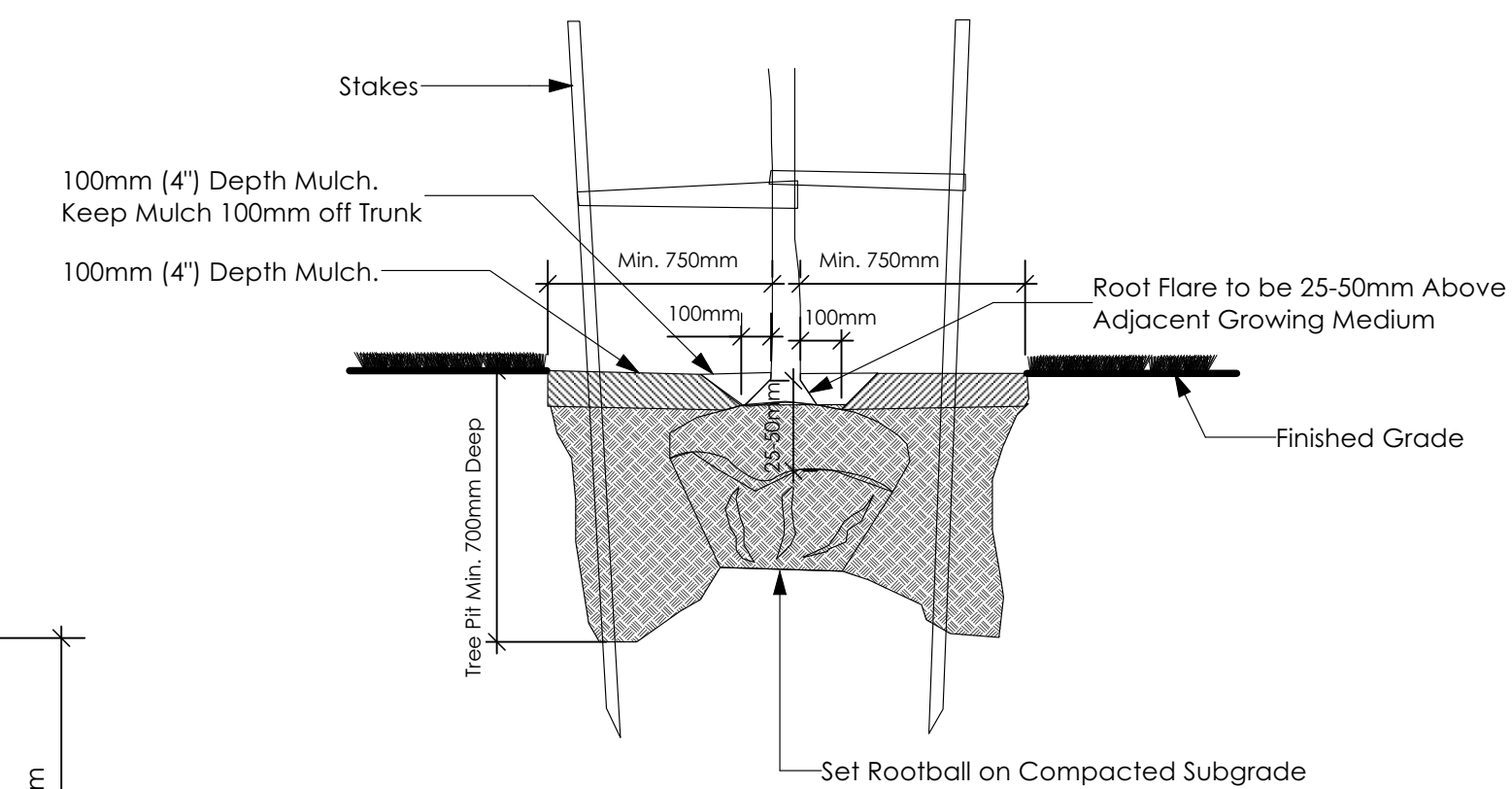
Scale: 1:100



4 Turning Template
Not To Scale



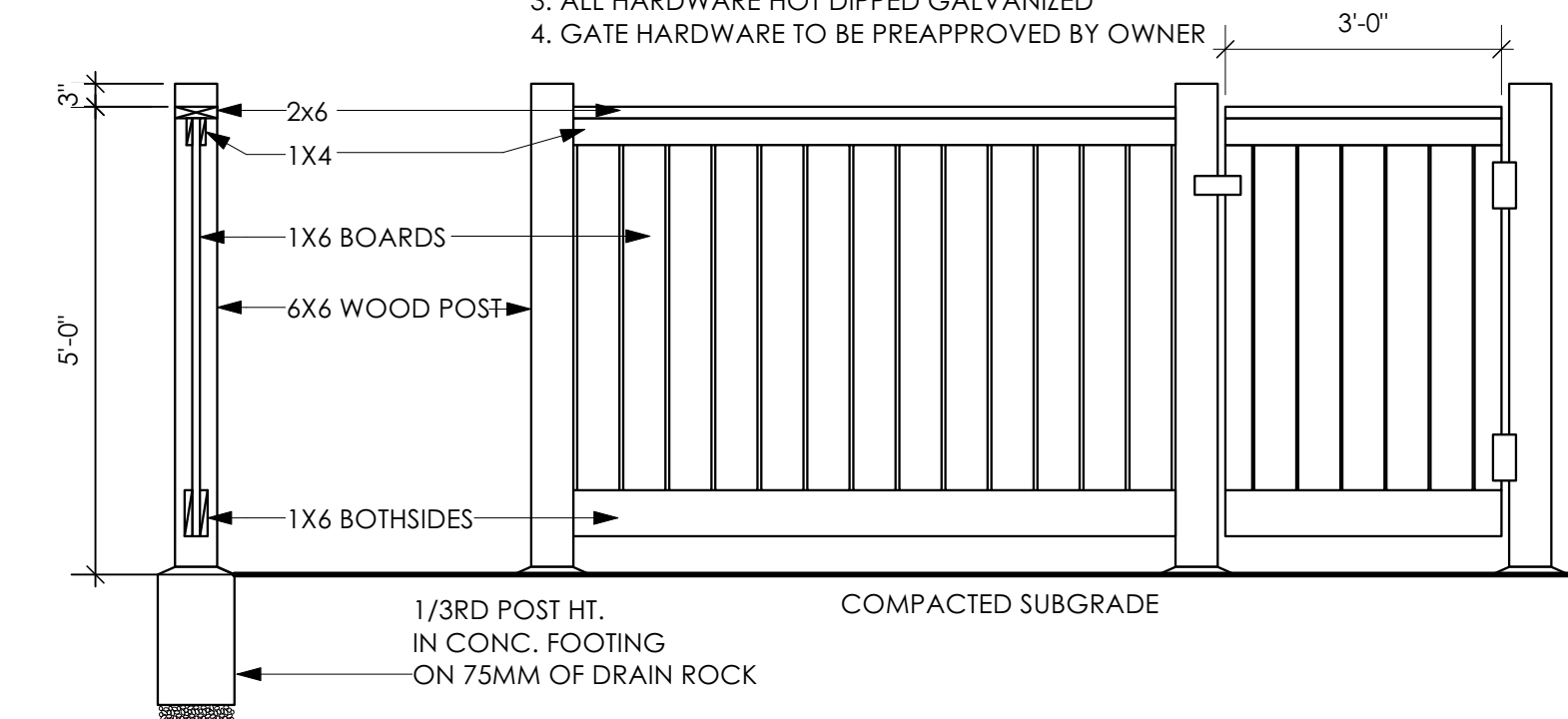
2 Key Plan
1: 500



3 Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

- TYPICAL FENCE NOTES:
1. ALL WOOD P.T. HEM FIR.
 2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
 3. ALL HARDWARE HOT DIPPED GALVANIZED
 4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



5 Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

'FLEMING' COASTAL

Date

June 2, 2023

Project Address

Royal Bay Sector 7
 Verity Construction
 3468 Trumpeter Street
 Lot 64
 Colwood, B.C.

Prepared for
 Verity Construction

Project #
 8298-64

Scale
 Not to Scale

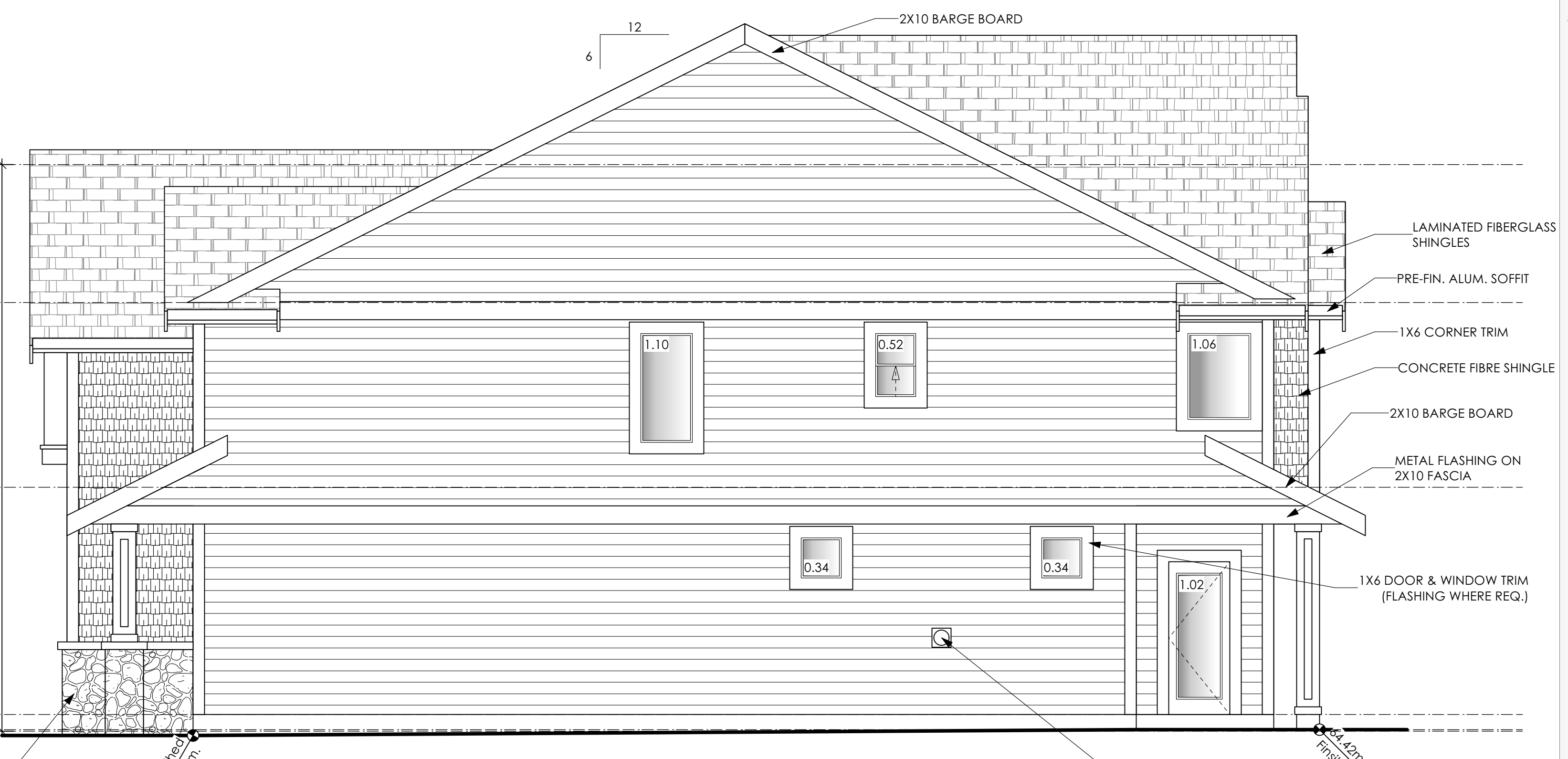
Drawn By
 MRB

Development Permit Presentation



1 Front Elevation
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:
ALL REQUIRED FLASHING ARE NON-GALVANISED
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
TRADITIONAL LAP SIDING IS USED
ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

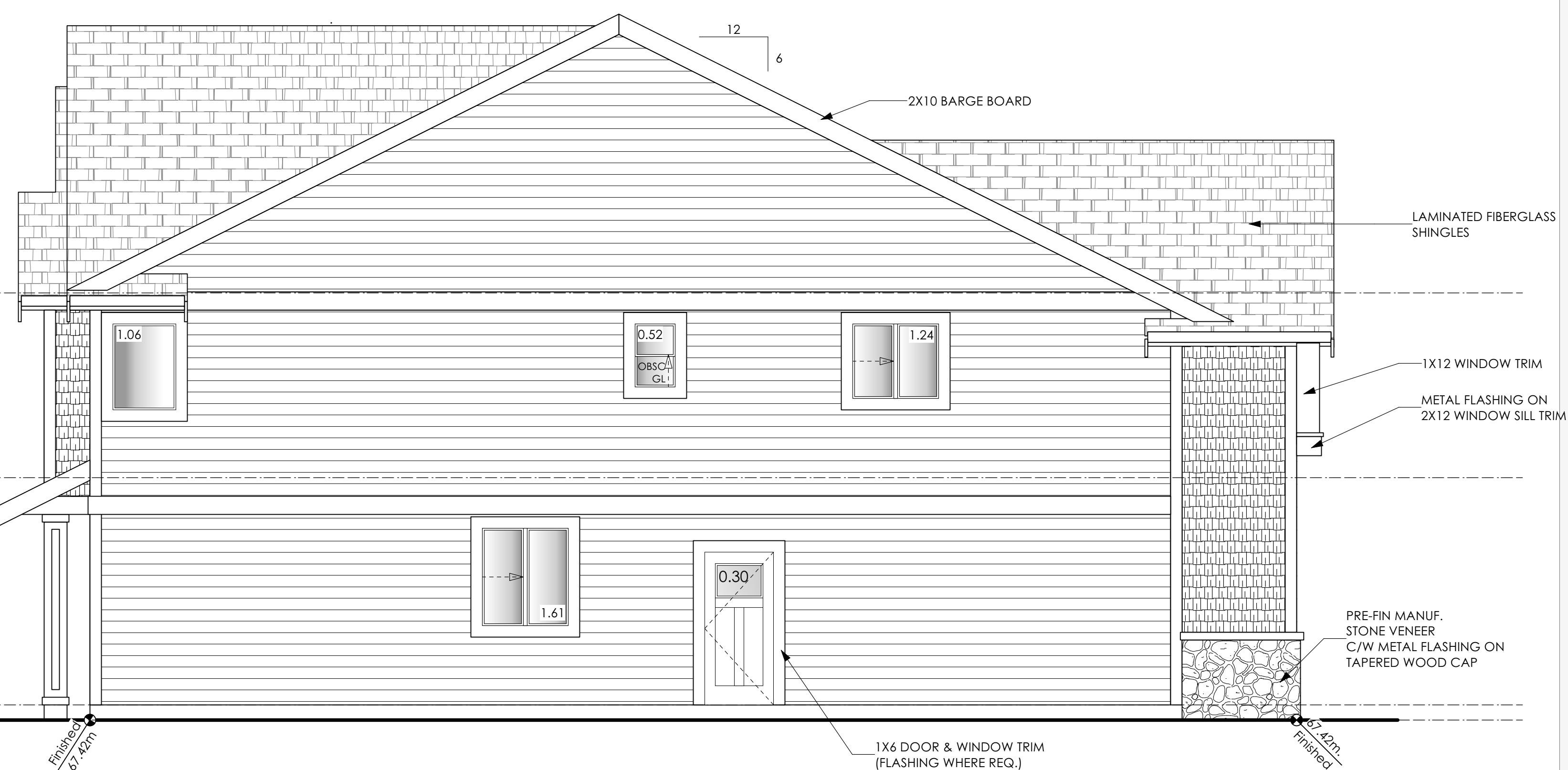


2 Right Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	82.25	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	5.76	sq.m.
Proposed Openings	4.38	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"



4 Left Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.84	m.
Exposed Building Face	91.21	sq.m.
Allowable Openings	6.38	%
Allowable Opening Area	7.58	sq.m.
Proposed Openings	4.73	sq.m.

CONTRACTOR TO ENSURE:
ALL REQUIRED FLASHING ARE NON-GALVANISED
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
TRADITIONAL LAP SIDING IS USED
ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

'FLEMMING' COASTAL

Date
June 2, 2023

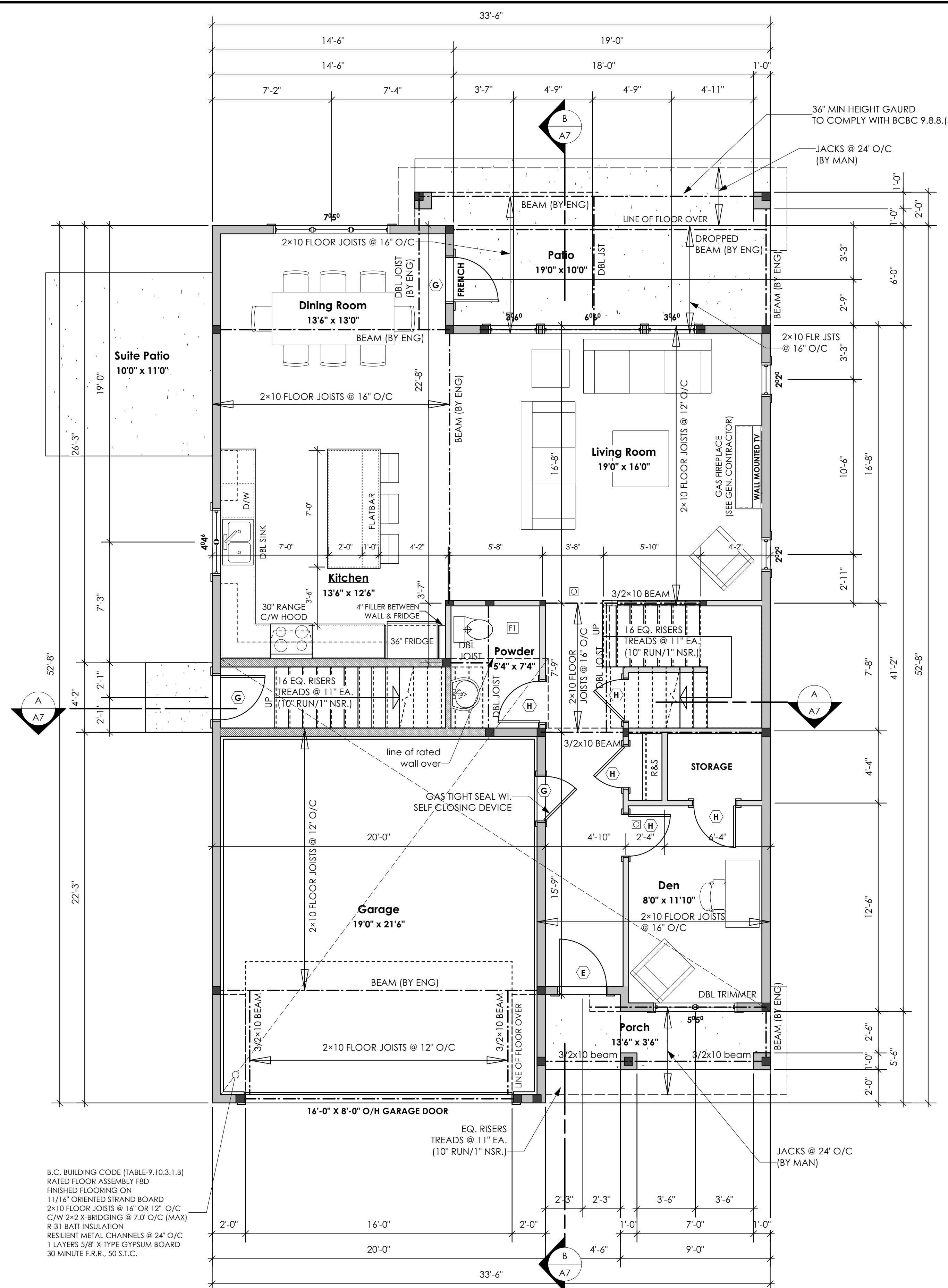
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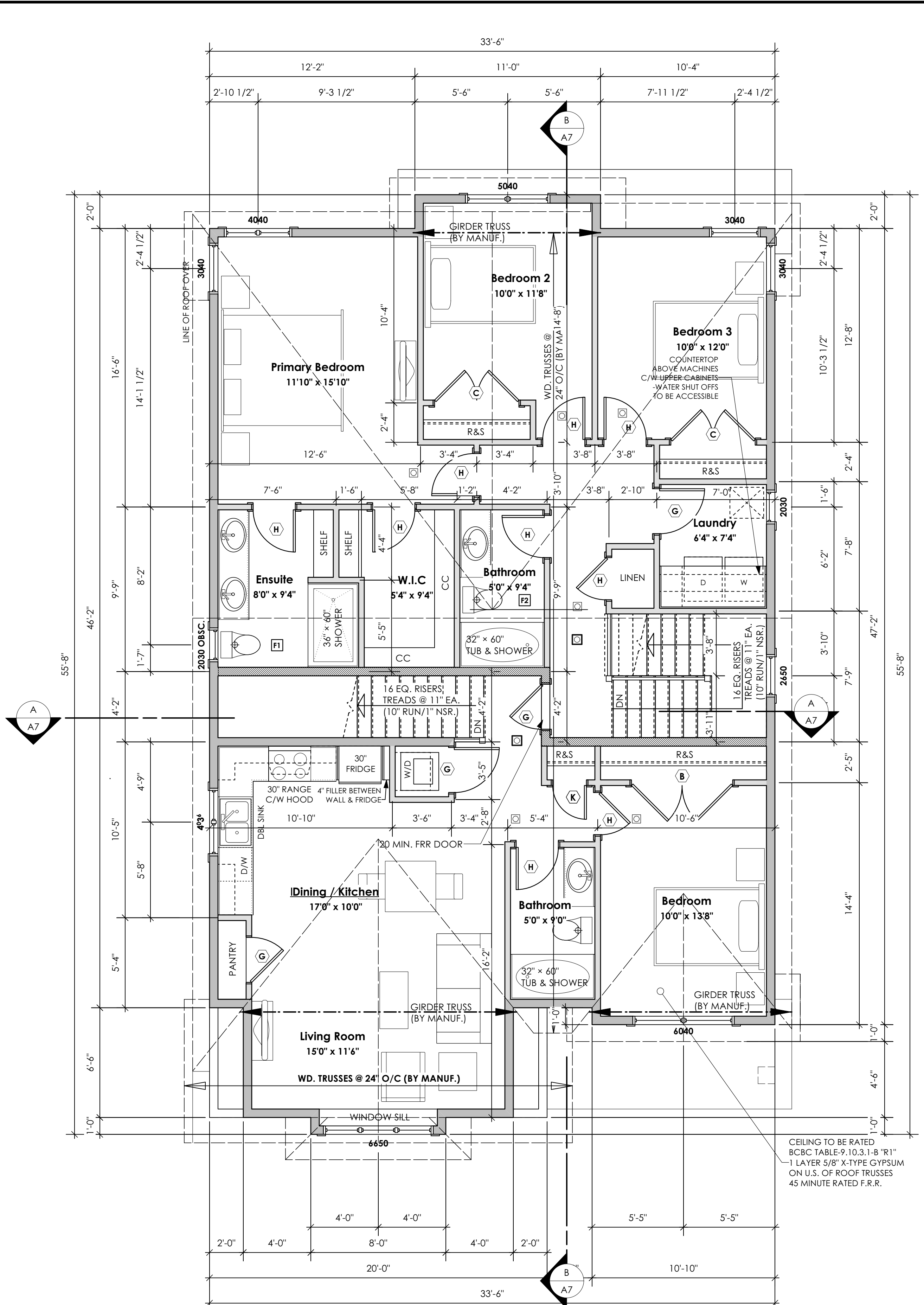
Drawn By
MRB

Development Permit Presentation



1 Main Floor Plan
Scale: 1/4" = 1'-0"

Primary: 1066.10 sq.ft. (99.05 sq.m.)
Suite: 55.51 sq.ft. (5.15 sq.m.)
Total: 1121.58 sq.ft. (104.20 sq.m.)
Garage: 450.00 sq.ft. (41.81 sq.m.)



2 Upper Floor Plan
Scale: 1/4" = 1'-0"

Primary: 888.31 sq.ft. (82.53 sq.m.)
Suite: 667.69 sq.ft. (62.03 sq.m.)
Total: 1556.00 sq.ft. (144.56 sq.m.)

'FLEMMING' COASTAL

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June 2, 2023

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3468 Trumpeter Street
Lot 64
Colwood, B.C.

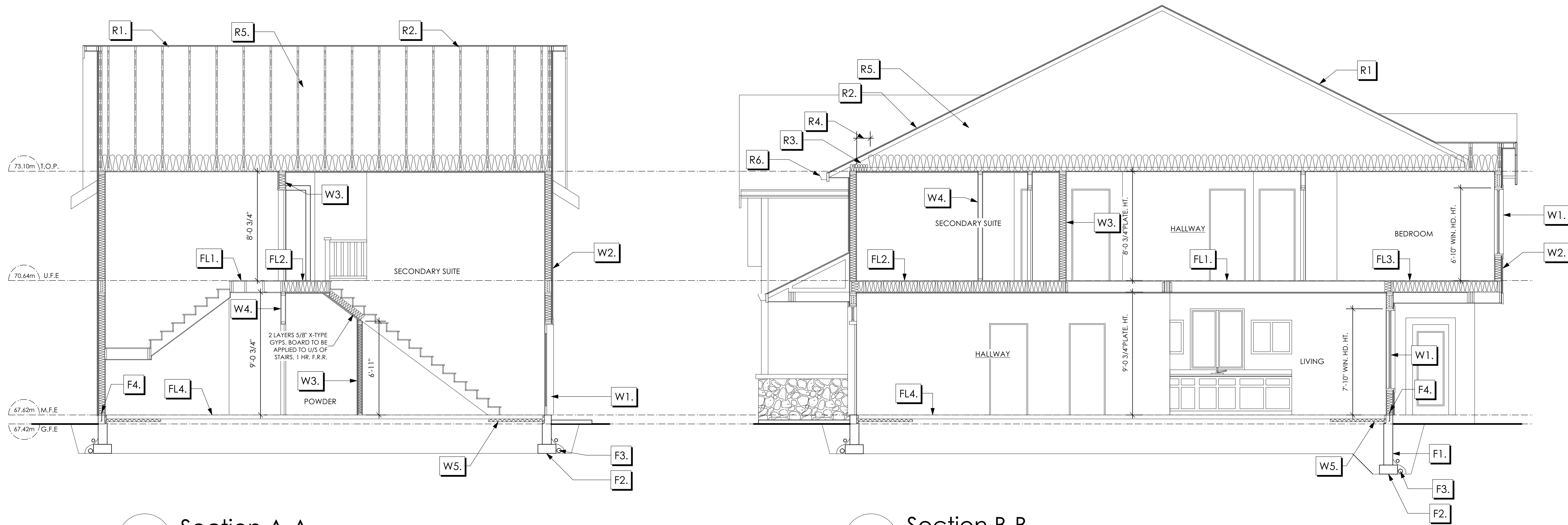
Prepared for
Verity Construction

Project #
8298-64

Scale
Not to Scale

Drawn By
MRB

Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"

2 Section B-B
Scale: 1/4" = 1'-0"

Section Notes

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED ROOF ASSEMBLY R1 LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R.
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY FBD FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. FINISHED FLOORING 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)
- FL6. DECKING MEMBRANE (TO COMPLY WITH CAN/CSB 37.54) ON 19/32" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN. 1:50 SLOPE)

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2 1/2"x10" LINTEL OVER (8" BEARING WALLS ONLY) (TYPICAL WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/11.5.2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT IN SECTION)

'FLEMMING' COASTAL

Date

June 2, 2023

Project Address

Royal Bay Sector 7
Verity Construction
3468 Trumpeter Street
Lot 64
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-64

Scale

Not to Scale

Drawn By

MRB

MUNICIPAL ADDRESS 3468 Trumpeter Street	P.I.D.
LOT 64	PLAN
BUILDER VERITY HOMES	SUBDIVISION ROYAL BAY SECTOR 7
ADDRESS	DEVELOPER MEADOWS DEVELOPMENT LP
REPRESENTATIVE	PH.
	CONSULTANT WSP CANADA INC

PROPOSED BUILDING GRADES

ALL ELEVATIONS ARE METRIC GEODETIC + _____

MAIN FLOOR ELEVATION (TOP OF JOISTS) **67.62**

FRONT ELEV. **67.34** REAR ELEV. **67.42**
(FINISHED GRADE) (FINISHED GRADE)

FINISHED GRADE AT GARAGE **67.42**

ACTUAL TOP OF FOOTING ELEVATION (ATF) **not provided**

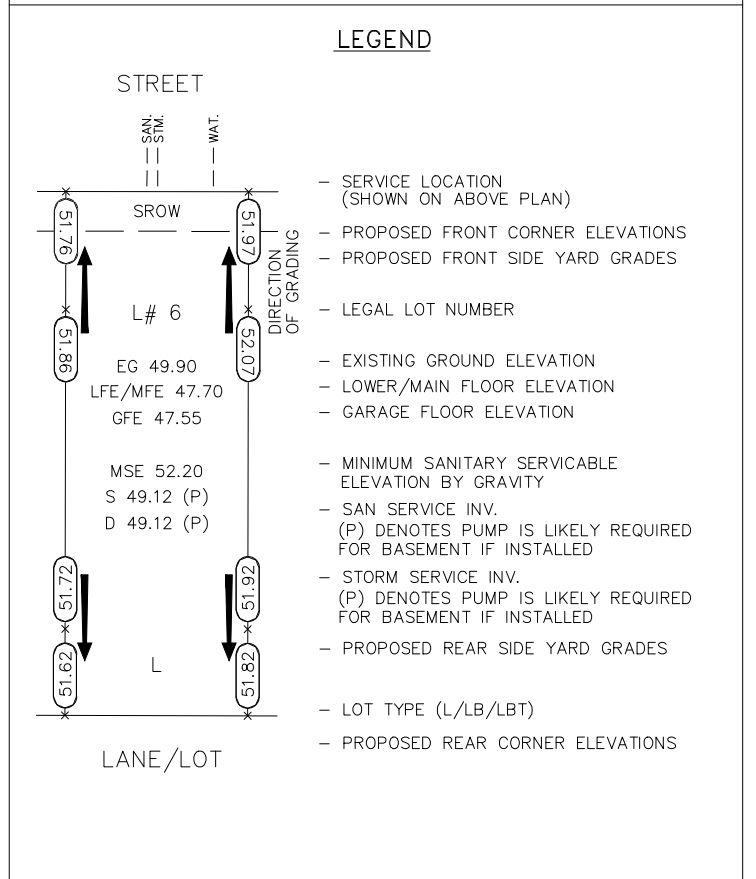
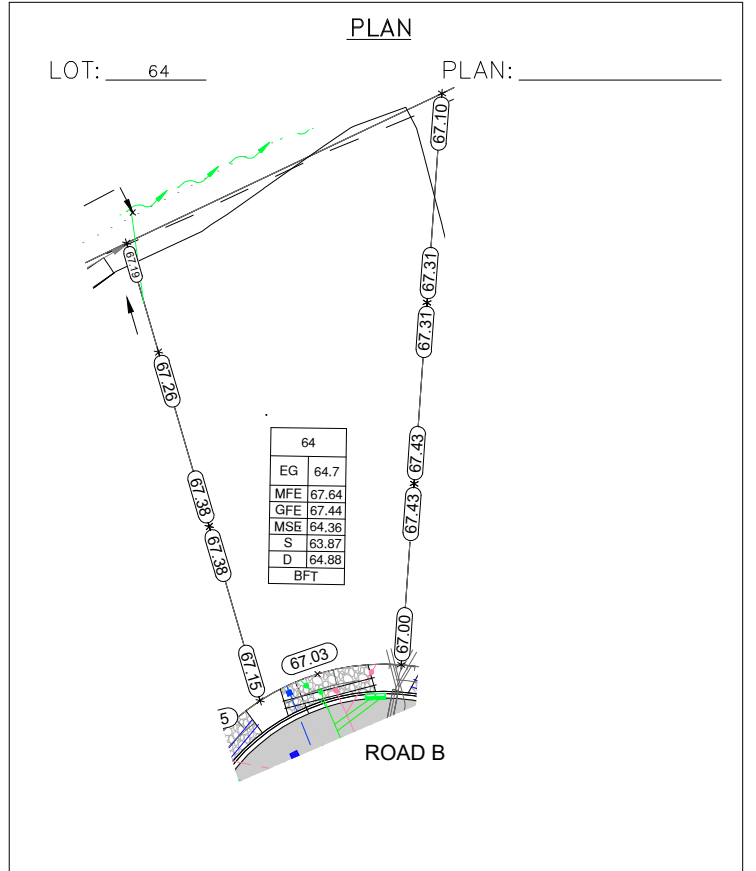
LOWEST PERMITTED TOP OF FOOTING ELEVATION (LTF) (BOTTOM OF BASEMENT SLAB FROST WALLS ARE REQUIRED.) **not provided**

SERVICES	FRONT	REAR	CENTER	REFER TO PLAN	SIZE (mm)
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19
SANITARY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100
STORM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100

COMMENTS	YES	NO
DRAIN TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SEWER TO SUMP PUMP LIKELY REQUIRED (FOR BASEMENT IF INSTALLED)	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED TO _____ m INSIDE PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION CERTIFICATION REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL RESTRICTIONS APPLY (SEE ENVIRONMENTAL REPORT)	<input type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input type="checkbox"/>	<input type="checkbox"/>

NOTES

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- OTHER NOTES: _____



I, THE BUILDER'S REPRESENTATIVE, _____, CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED IN THE BUILDING PERMIT APPLICATION ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.

AUTHORIZED BUILDER'S REPRESENTATIVE DATE

THE INFORMATION CONTAINED HEREIN IS BASED ON THE APPROVED LOT GRADING PLAN FOR THIS SUBDIVISION, DATED _____

ISSUED BY DEVELOPER'S AUTHORIZED REPRESENTATIVE DATE

C. Hume - June 14/23