



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250-294-8153
planning@colwood.ca | www.colwood.ca

File: DP-23-015

DEVELOPMENT PERMIT DP-23-015

THIS PERMIT, issued October ^{10th} 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: Verity Construction LTD
106-1039 Langford Parkway
Victoria, BC V9B 0A5

(the "Permittee")

-
1. This Form and Character (Intensive Residential) Development Permits applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

Lot 36, 37, 38, 39, 67, 68, 69, & 70 Plan EPP117070, Section 38, Esquimalt Land District
3445, 3447, 3449, 3451, & 3462 Trumpeter Street
412, 416, & 420 Rock Dove Place

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form & character considerations for eight single family homes with secondary suites and associated site improvements are consistent with the guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit.
5. The Director of Development Services or their delegate may approve minor variations to the

schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.

6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:

Schedule 1 Site Plans, Elevations, Floor Plans, Cross Sections prepared by Victoria Design Group for Lots 36, 67, 68, & 70 dated September 14, 2023, Lots 37, 38, & 39 dated August 31, 2023, and Lot 69 dated September 29, 2023.

Schedule 2 Landscape Plans prepared by Verity Construction for Lot 36 dated September 15, 2023, Lots 37 & 38 dated June 15, 2023, Lot 39 dated June 16, 2023, Lot 67 & 70 dated September 18, 2023, Lot 68 dated April 11, 2023, and Lot 69 dated September 8, 2023.

8. This Development Permit authorizes the construction of eight single-family homes with secondary suites along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

FORM AND CHARACTER CONDITIONS

Building Features

- 8.1. The form and character of the buildings to be constructed on the Lands shall conform to the Site Plans, Elevations, Floor Plans, and Cross Sections prepared by Victoria Design Group (Schedule 1).
- 8.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services.
- 8.3. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

Landscaping

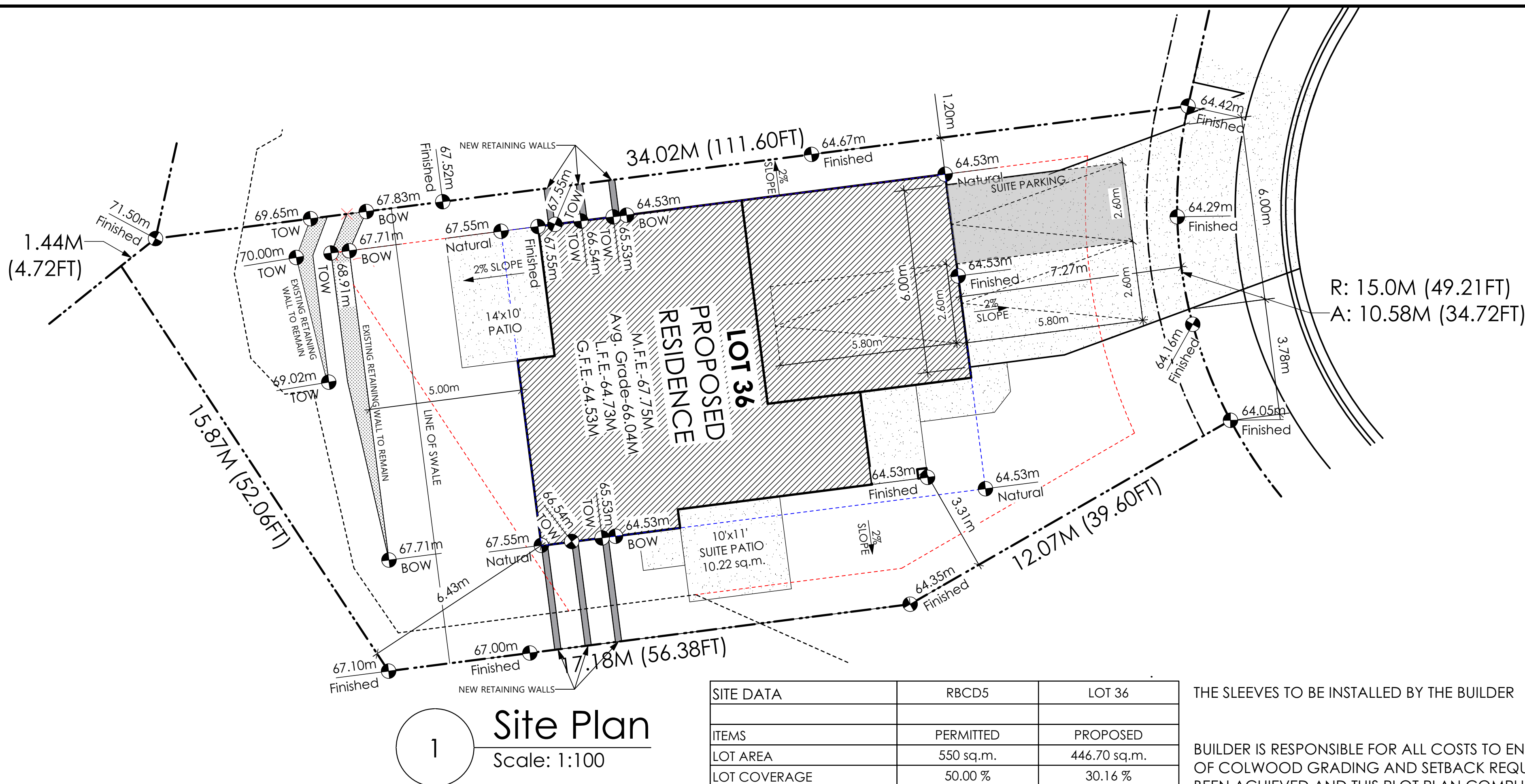
- 8.5. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Verity Construction (Schedule 2).

ISSUED ON THIS 10th DAY OF OCTOBER, 2023.

Yazmin Hernández B.

Yazmin Hernandez

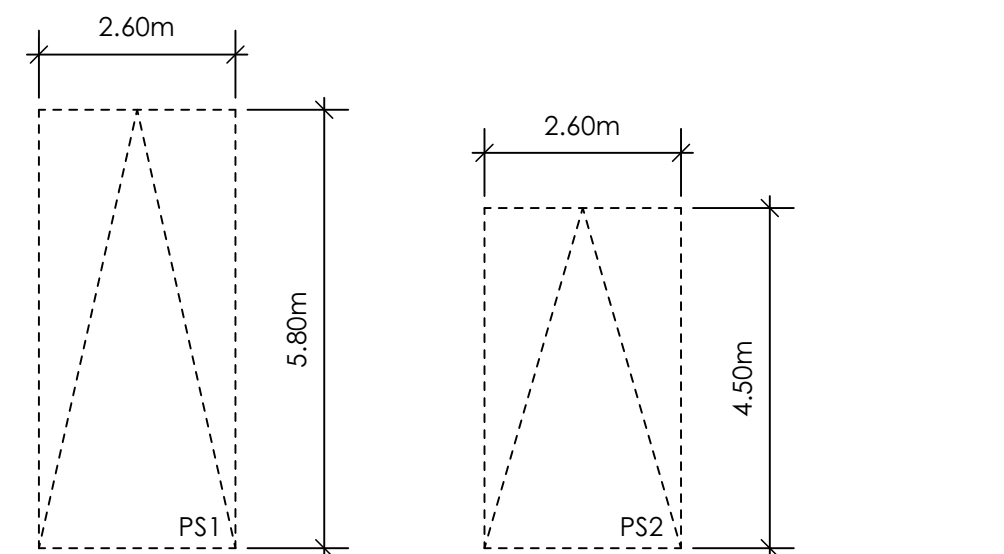
Director of Development Services



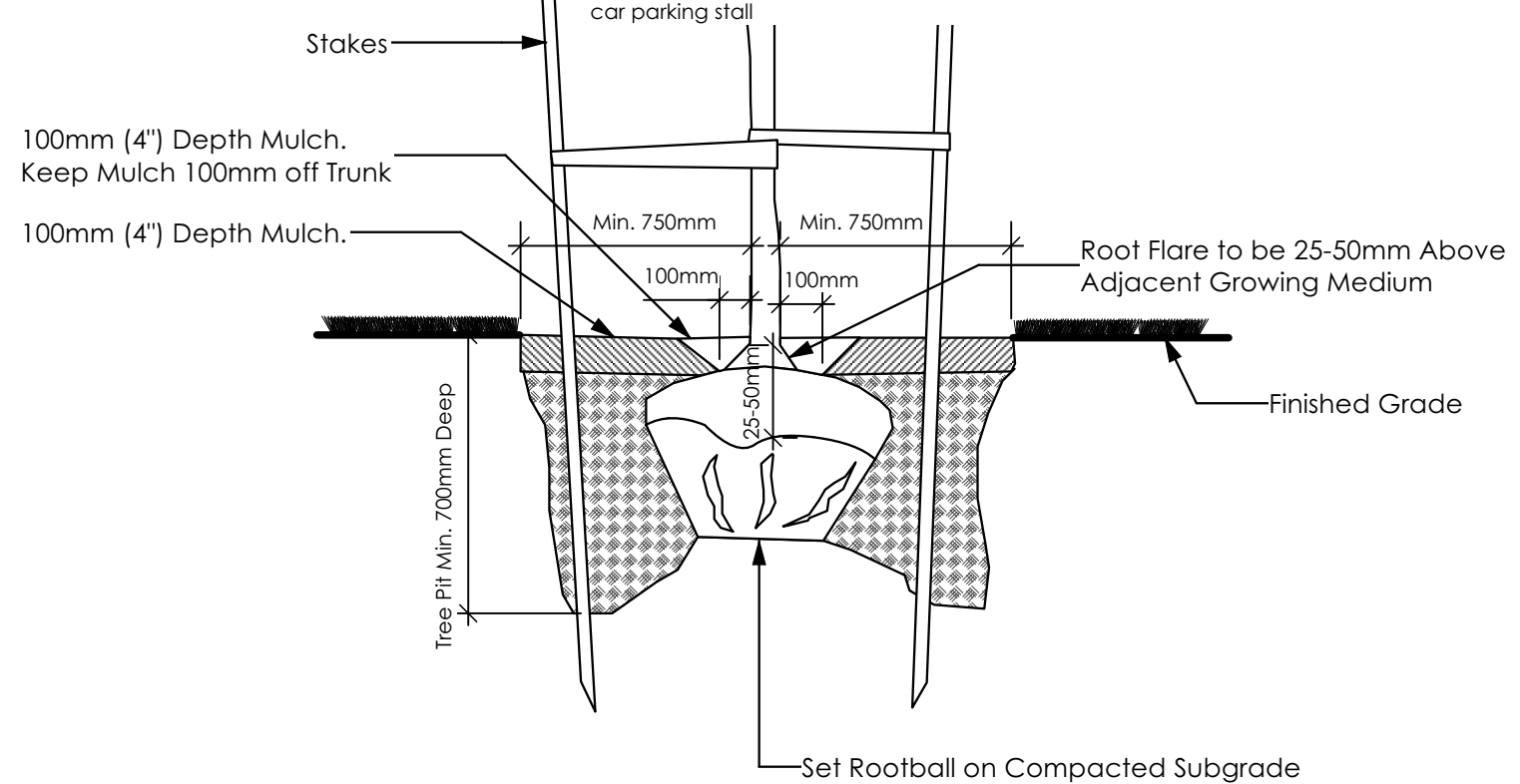
1 Site Plan
Scale: 1:100

AVERAGE NATURAL GRADE CALCULATION
64.53 m. + 64.53 m. + 67.55 m. + 67.55 m. = 264.16 m.
DIVIDED BY 4 = AVG. GRADE 66.04m.

RETAINING WALLS
"XX.Xm" = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS



2 Tree Planting Detail
Not To Scale
All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

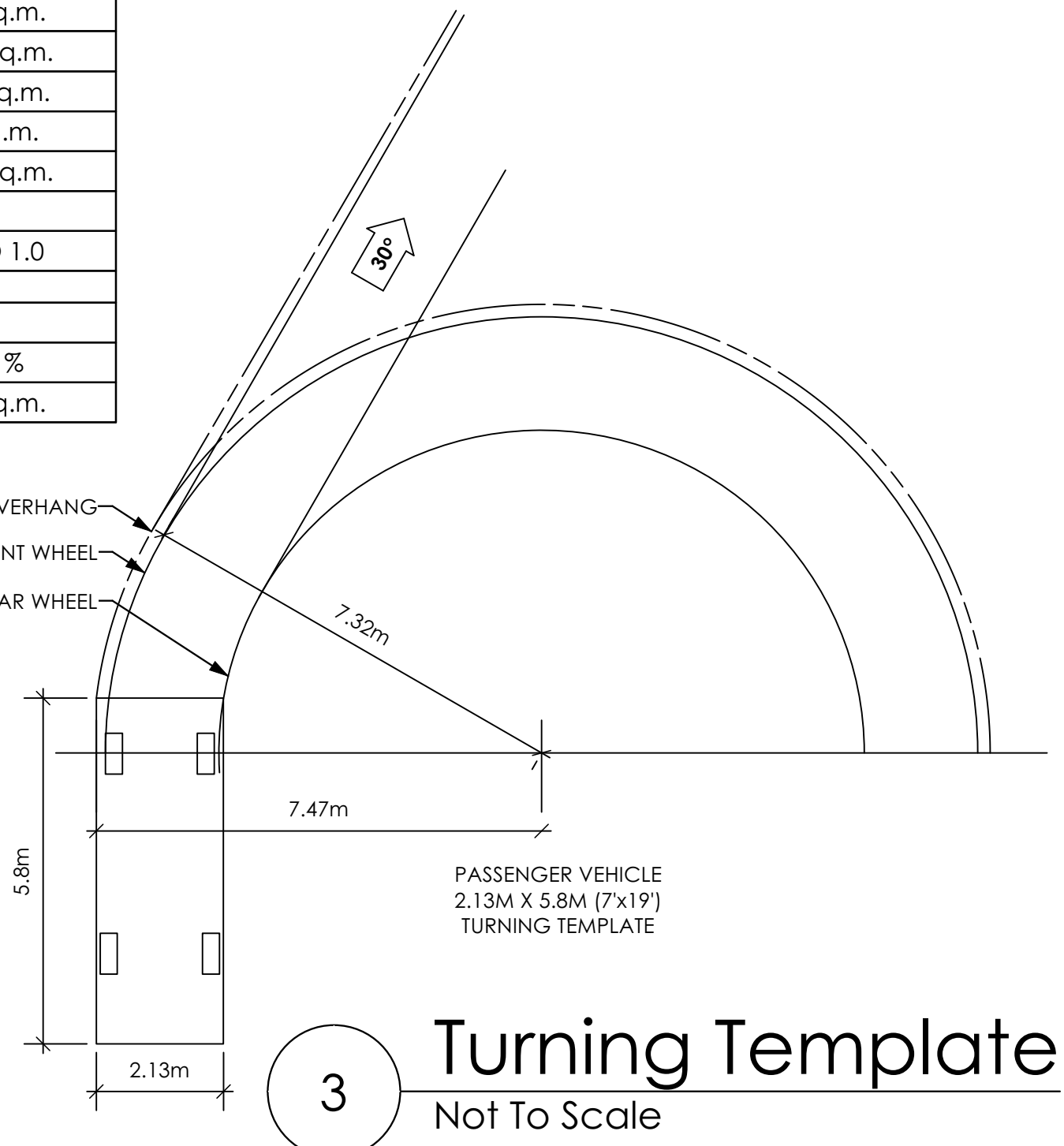
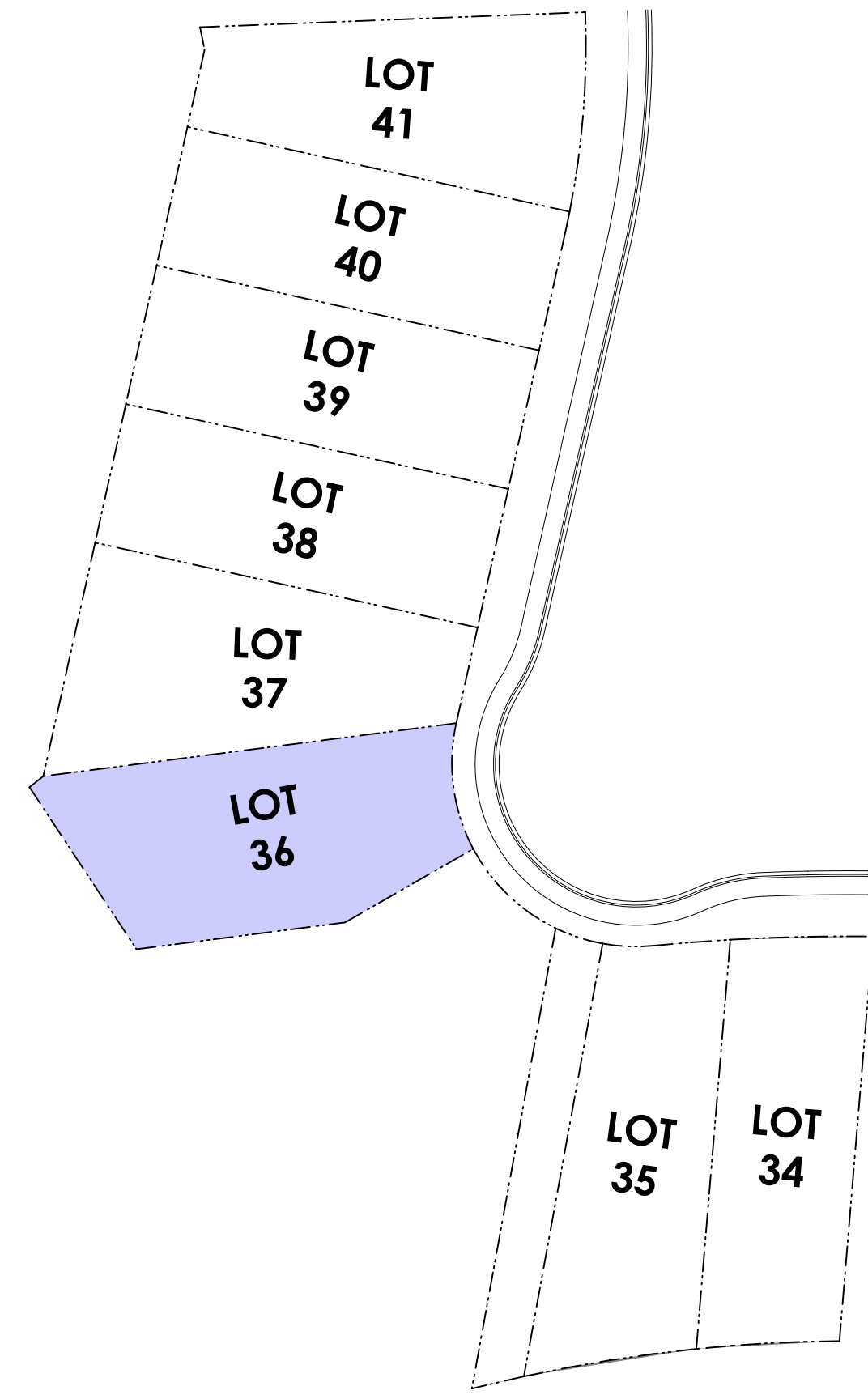
SITE DATA	RBCD5	LOT 36
ITEMS	PERMITTED	PROPOSED
LOT AREA	550 sq.m.	446.70 sq.m.
LOT COVERAGE	50.00 %	30.16 %
BUILDING HEIGHT	9.50 m.	8.01 m.
LOT WIDTH	16.50 m.	10.58 m.
SETBACKS		
- FRONT	4.50 m.	7.27 m.
- REAR	6.00 m.	6.43 m.
- SIDE	1.20 m.	1.20 m.
- SIDE	1.20 m.	3.31 m.
PROPOSED FLOOR AREA		
- UPPER		82.62 sq.m.
- MAIN		112.21 sq.m.
- LOWER		84.77 sq.m.
- GARAGE		44.36 sq.m.
SUB-TOTAL G.F.A.		323.96 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-44.36 sq.m.
BASEMENT AREA		0.00 sq.m.
GROSS FLOOR AREA		279.60 sq.m.
F.A.R.		0.63 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	22.67 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	63.38 sq.m.

THE SLEEVES TO BE INSTALLED BY THE BUILDER

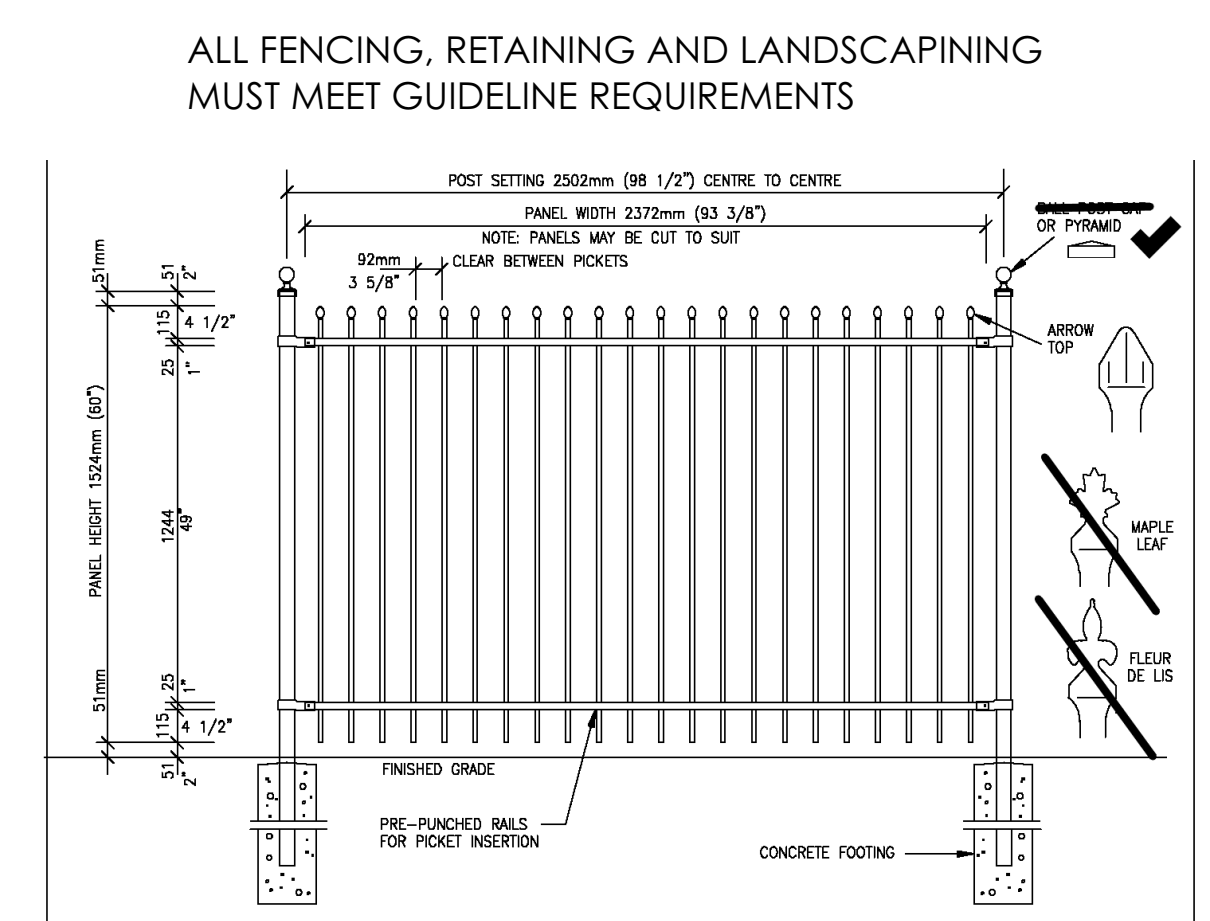
BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

5 Key Plan
1: 500



3 Turning Template
Not To Scale



4 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

Windward Traditonal

Date

Sept 14, 2023

Project Address

3445 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-36

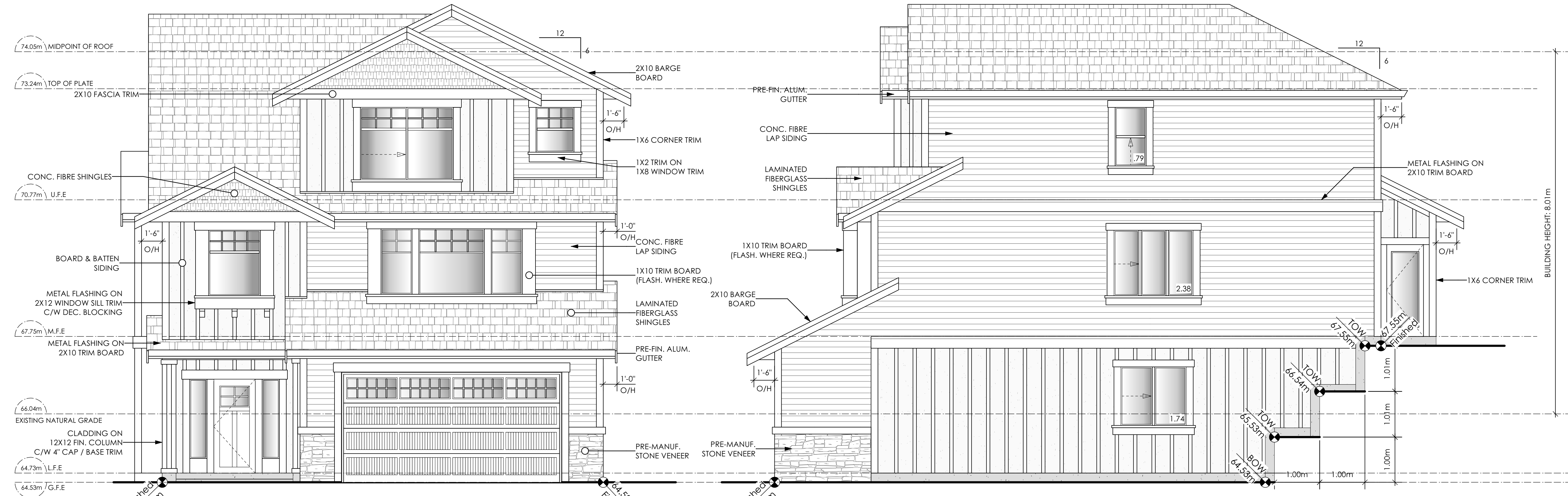
Scale

As Noted

Drawn By

MRB

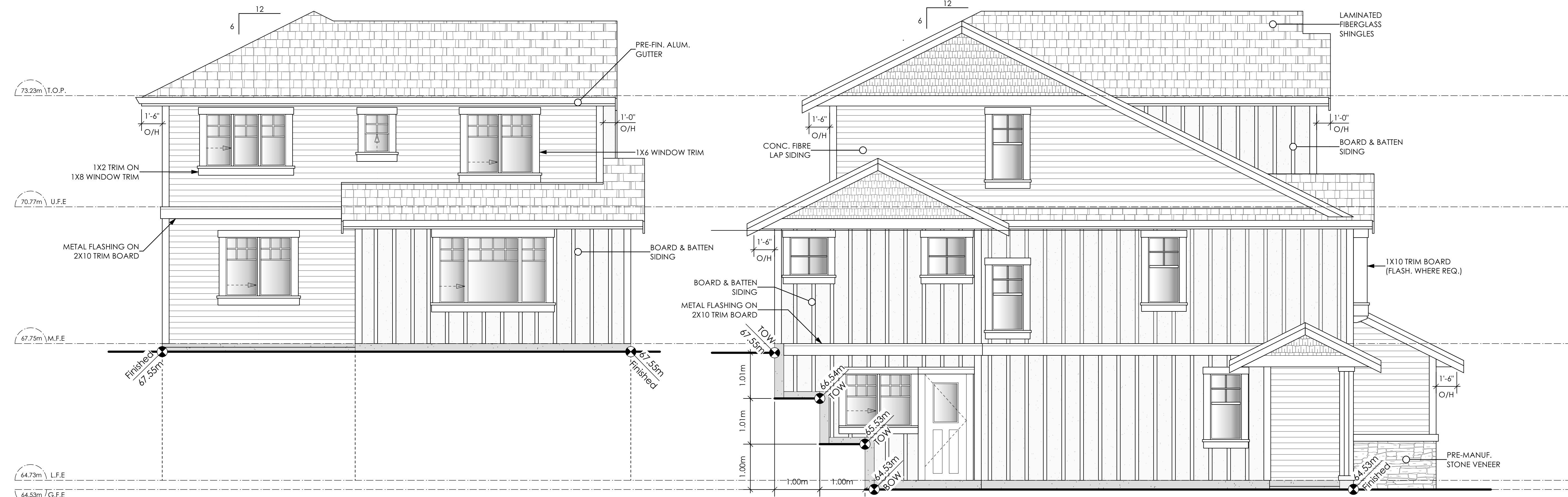
Development Permit Presentation



1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

2 Right Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

Limiting Distance	1.20	m.
Exposed Building Face	96.82	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	6.78	sq.m.
Proposed Openings	4.91	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW
ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

4 Left Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES

Windward Traditional

Date
Sept 14, 2023

Project Address
3445 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

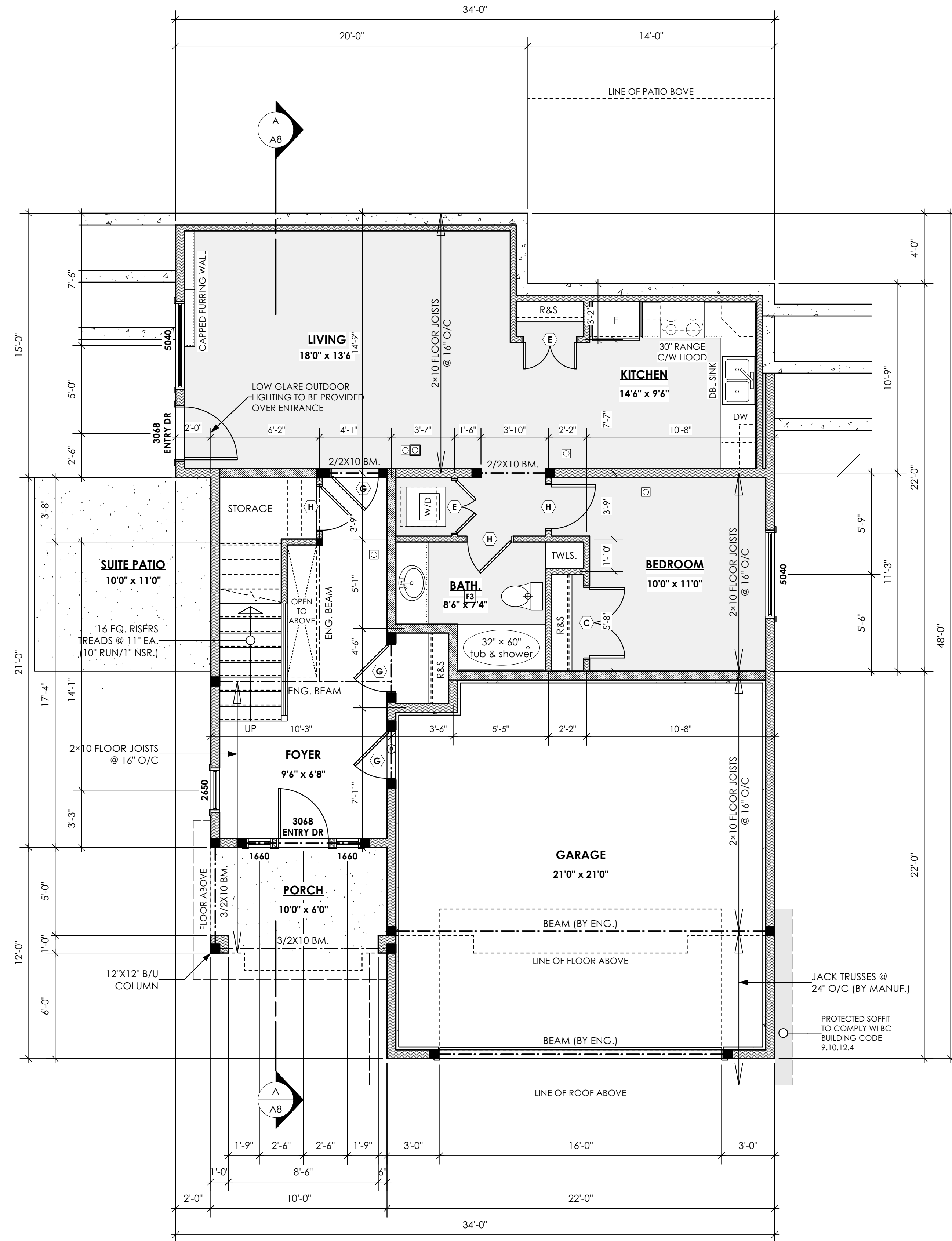
Prepared for
Verity Construction

Project #
8298-36

Scale
As Noted

Drawn By
MRB

Development Permit Presentation



1 Lower Floor Plan
Scale: 1/4" = 1'-0"
Primary: 230.19 sq.ft. (21.39 sq.m.)
Suite: 682.23 sq.ft. (63.38 sq.m.)
Total: 912.42 sq.ft. (84.77 sq.m.)
Garage: 477.58 sq.ft. (44.36 sq.m.)

Windward Traditional

Date
Sept 14, 2023

Project Address
3445 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

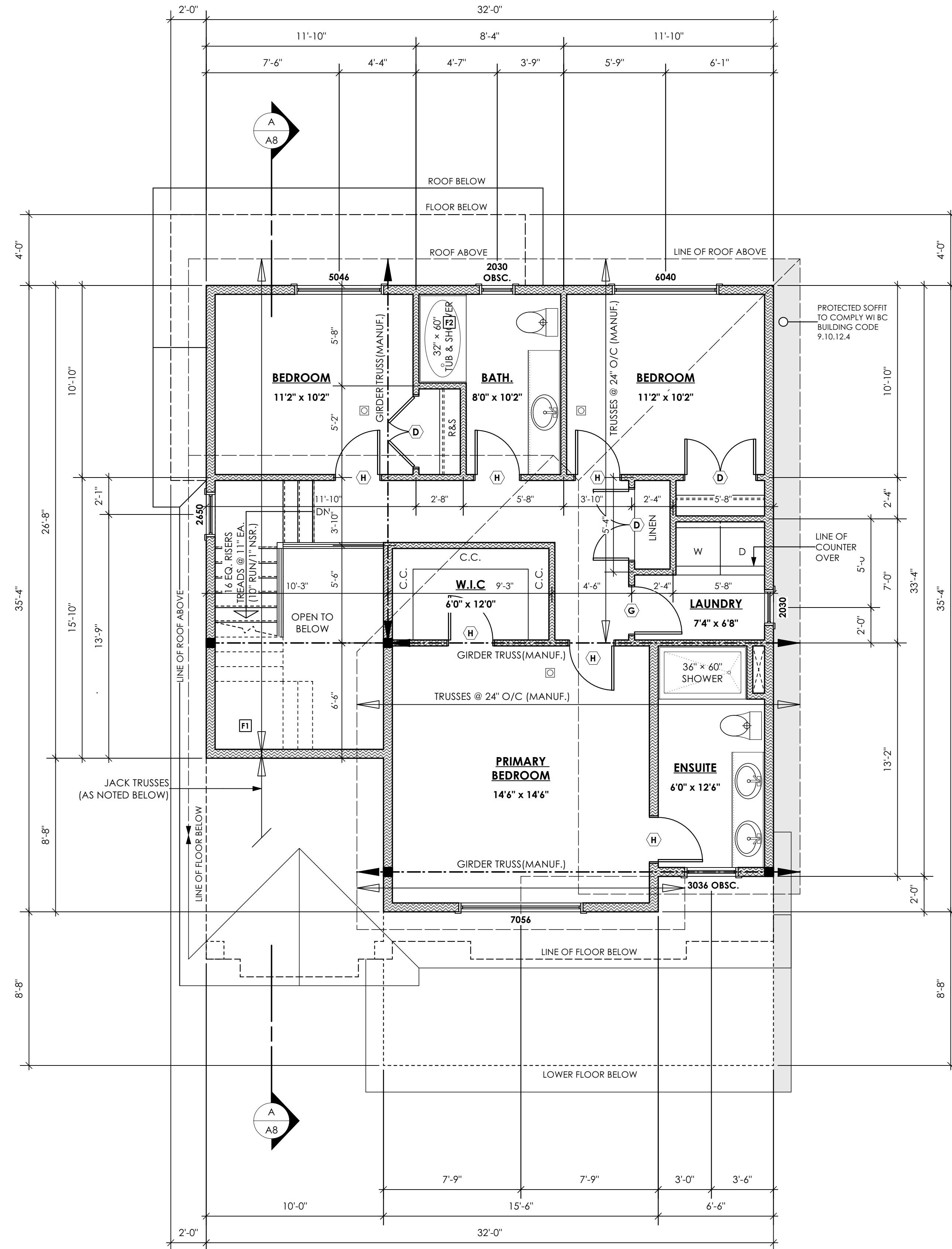
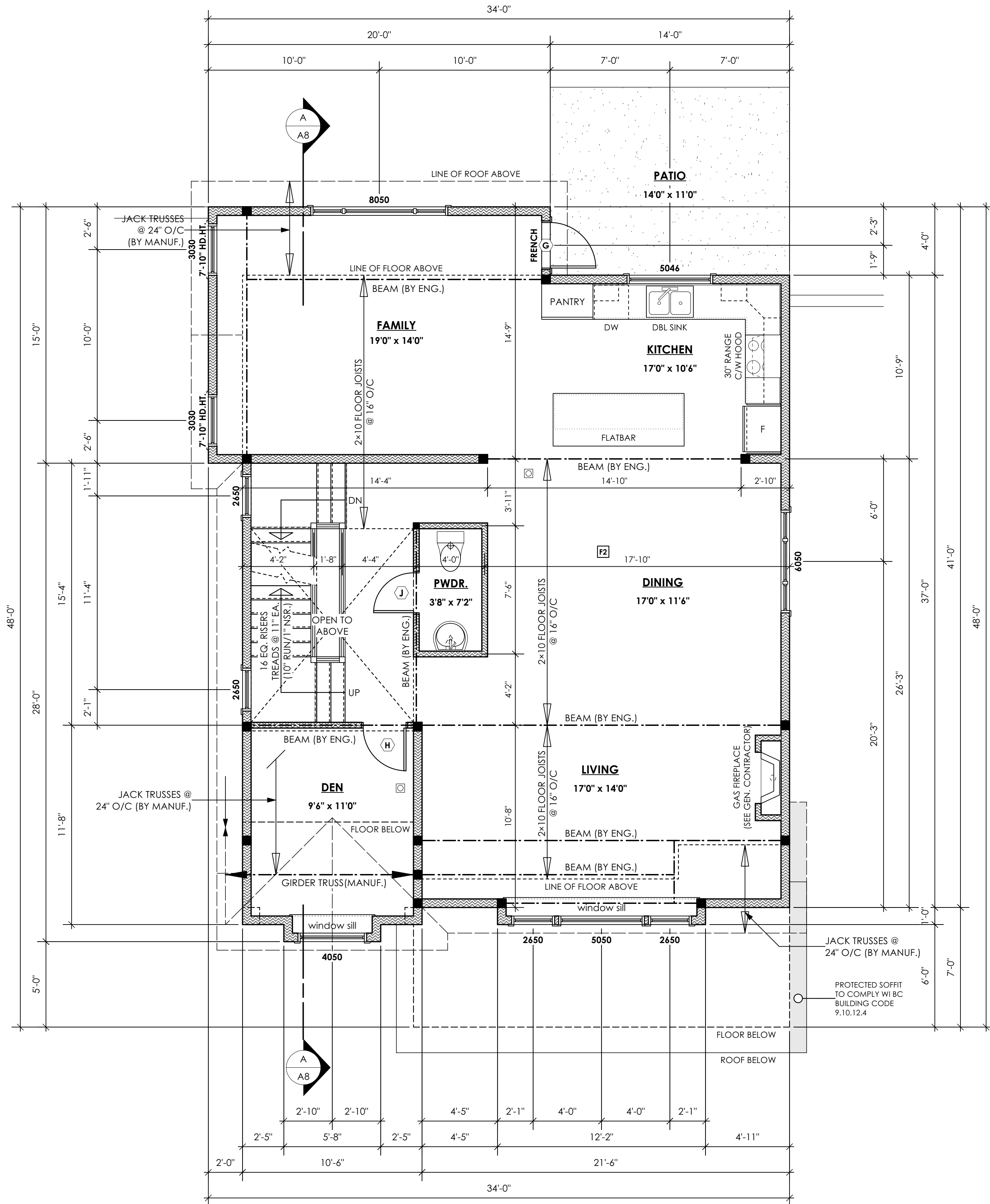
Prepared for
Verity Construction

Project #
8298-36

Scale
As Noted

Drawn By
MRB

Development Permit Presentation



Windward Traditonal

Date

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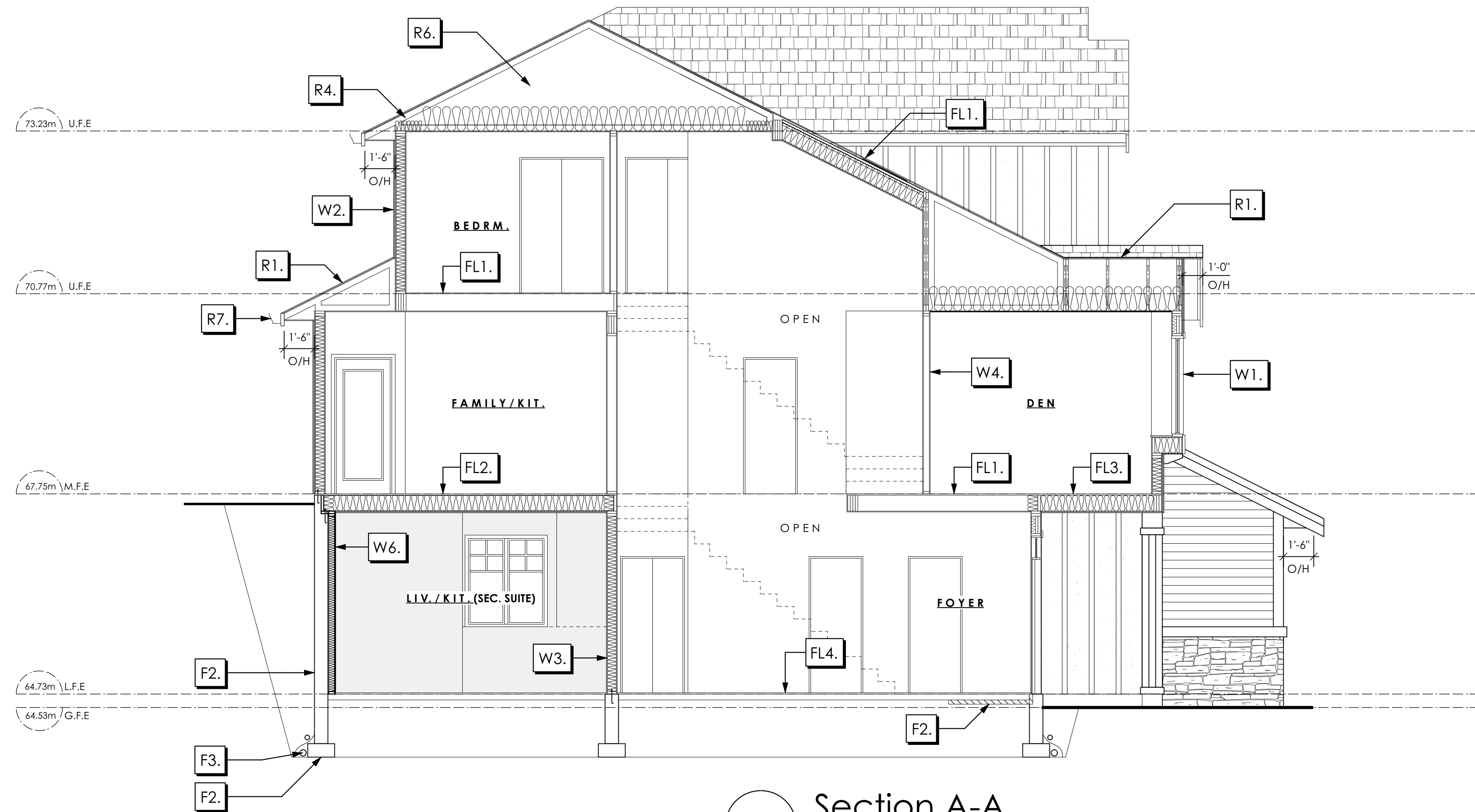
Scale

As Noted

Drawn By

MRB

Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 2012 9.23.13.3 AND SUPPLY DETAILS IF REQUIRED

Section Notes

ROOFS	FLOORS	WALLS	FOUNDATION
<p>R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD</p> <p>R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 1/2" ORIENTED STRAND BOARD VENTED SOFFIT</p> <p>R3. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD SHEATHING C/W "H" CLIPS 2x4 STRAPPING @ 16" O/C ON 2x10 ROOF JOISTS @ 16" O/C R-28 BATT INSULATION 1/2" EXTRUDED POLYSTYRENE INSULATION 6 MIL POLY'N V.B. 1/2" GYPSUM BOARD</p> <p>R4. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)</p> <p>R5. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.</p> <p>R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)</p> <p>R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)</p> <p>R8. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT</p>	<p>FL1. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD</p> <p>FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.</p> <p>FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS</p> <p>FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND</p> <p>FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 4" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)</p>	<p>W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL: WI. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 1011/S.2/A440, "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.</p> <p>W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD</p> <p>W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTIS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)</p> <p>W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)</p> <p>W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)</p> <p>W6. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION BUILDING WRAP OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)</p>	<p>F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W</p> <p>F2. 16" X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)</p> <p>F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK</p> <p>F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS</p> <p>F5. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT IN SECTION)</p>

Windward Traditonal

Date
Sept 14, 2023

Project Address
3445 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.

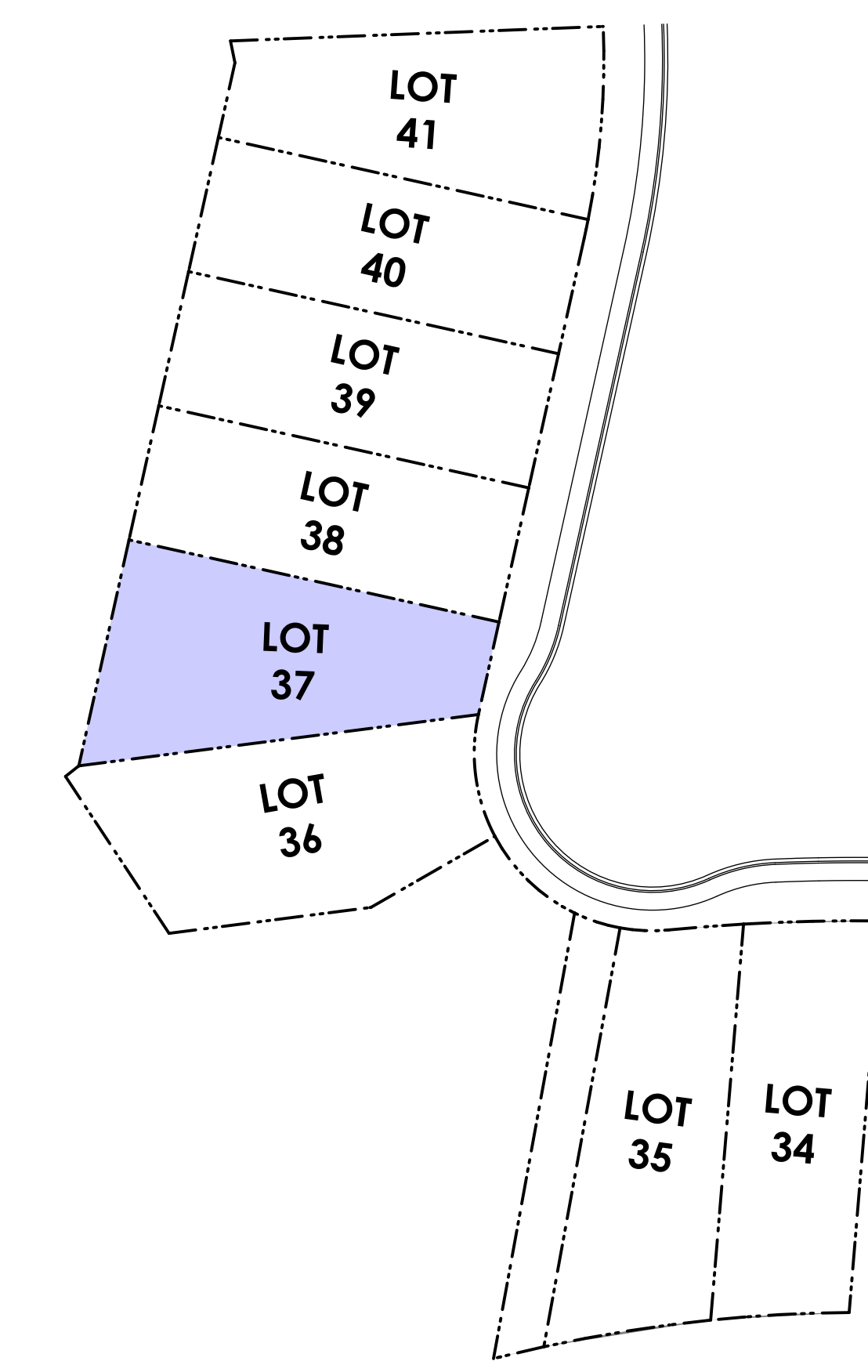
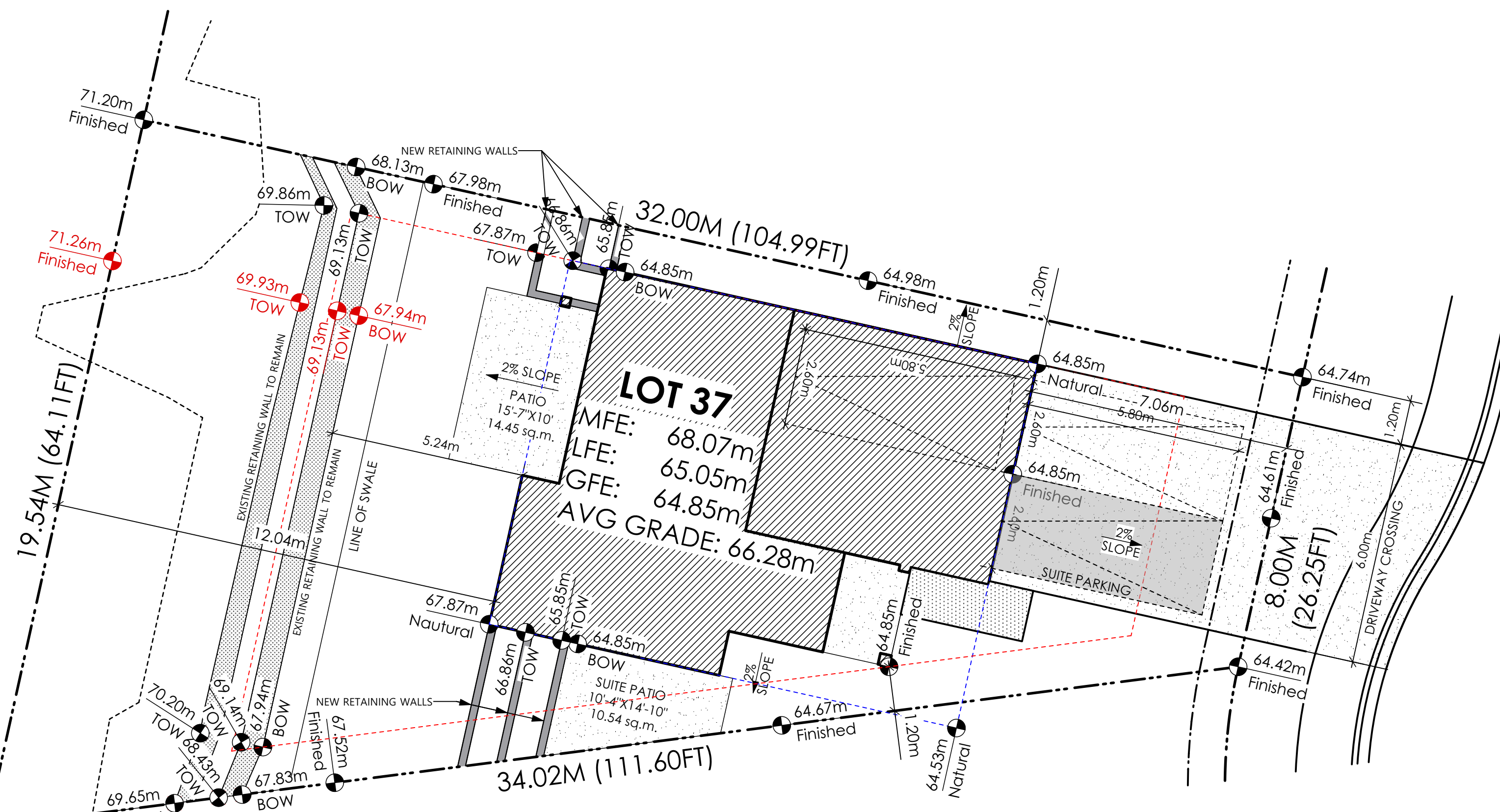
Prepared for
Verity Construction

Project #
8298-36

Scale
As Noted

Drawn By
MRB

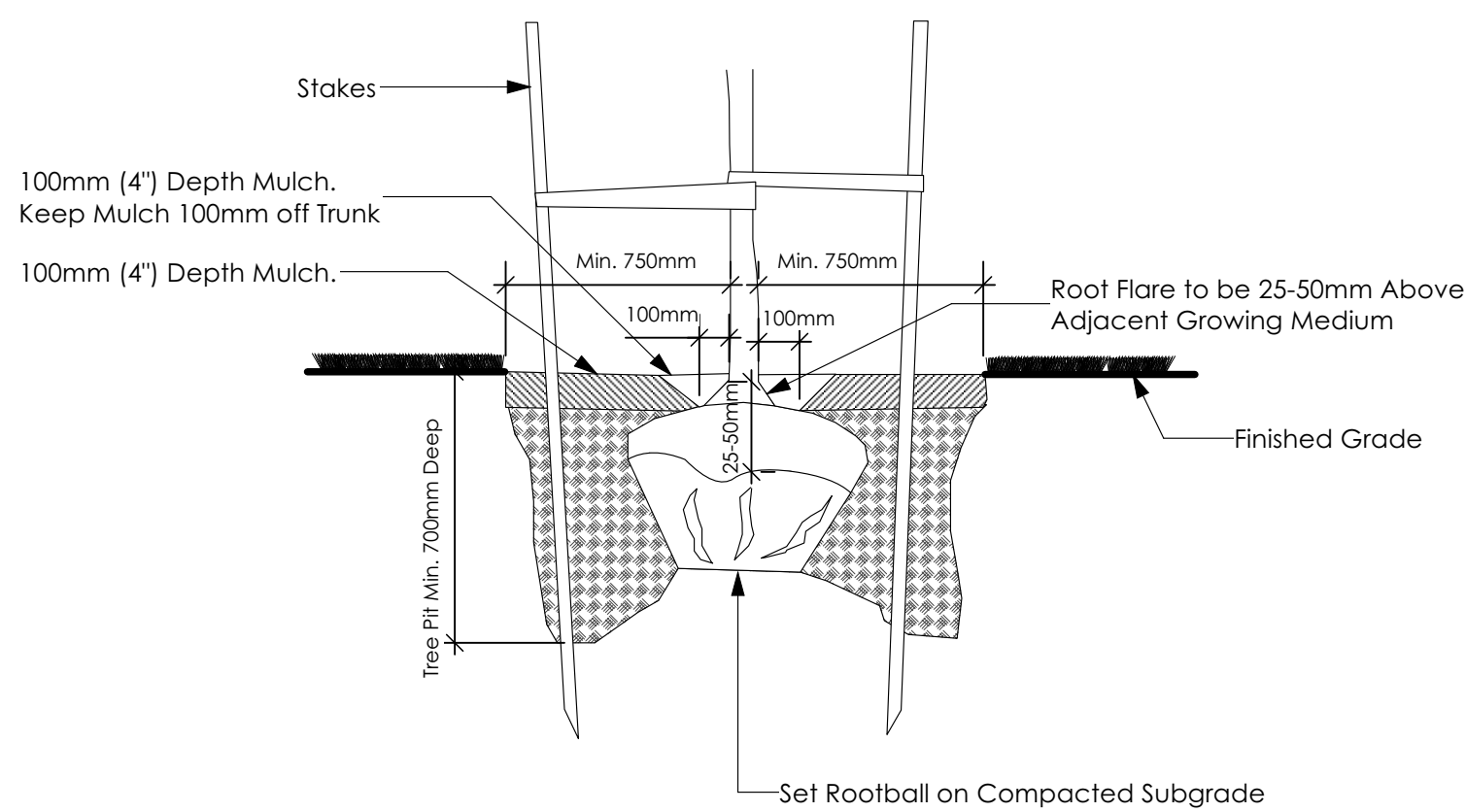
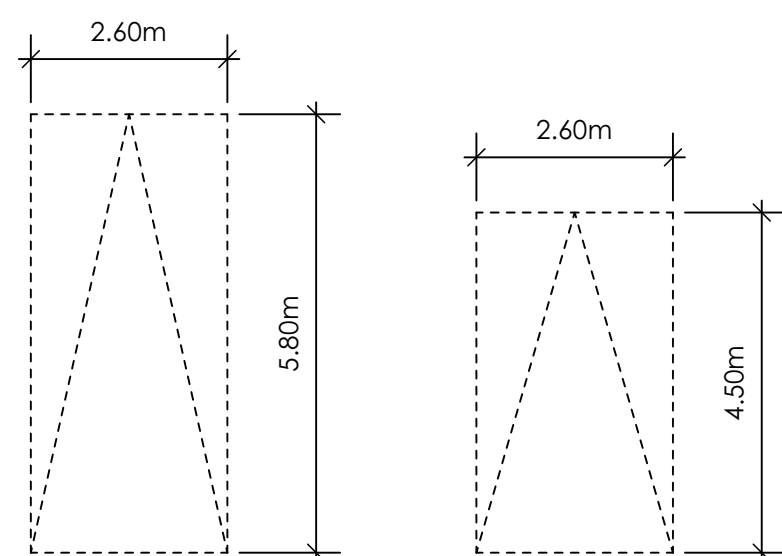
SITE DATA	RBCD5	LOT 37
ITEMS	PERMITTED	PROPOSED
LOT AREA	550 sq.m.	440.67 sq.m.
LOT COVERAGE	50.00 %	24.94 %
BUILDING HEIGHT	9.50 m.	8.26 m.
LOT WIDTH	16.50 m.	8.00 m.
SETBACKS		
- FRONT	4.50 m.	7.06 m.
- REAR	6.00 m.	12.04 m.
- SIDE	1.20 m.	1.20 m.
- SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- UPPER		83.00 sq.m.
- MAIN		109.91 sq.m.
- LOWER		62.15 sq.m.
- GARAGE		40.88 sq.m.
SUB-TOTAL G.F.A.		295.94 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-40.88 sq.m.
GROSS FLOOR AREA		255.06 sq.m.
F.A.R.		0.58 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	19.65 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	50.13 sq.m.



AVERAGE NATURAL GRADE CALCULATION
 $64.85\text{m} + 65.53\text{m} + 67.87\text{m} + 66.86\text{m} = 265.11\text{m}$
 divided by 4 = ave. grade 66.28 m.

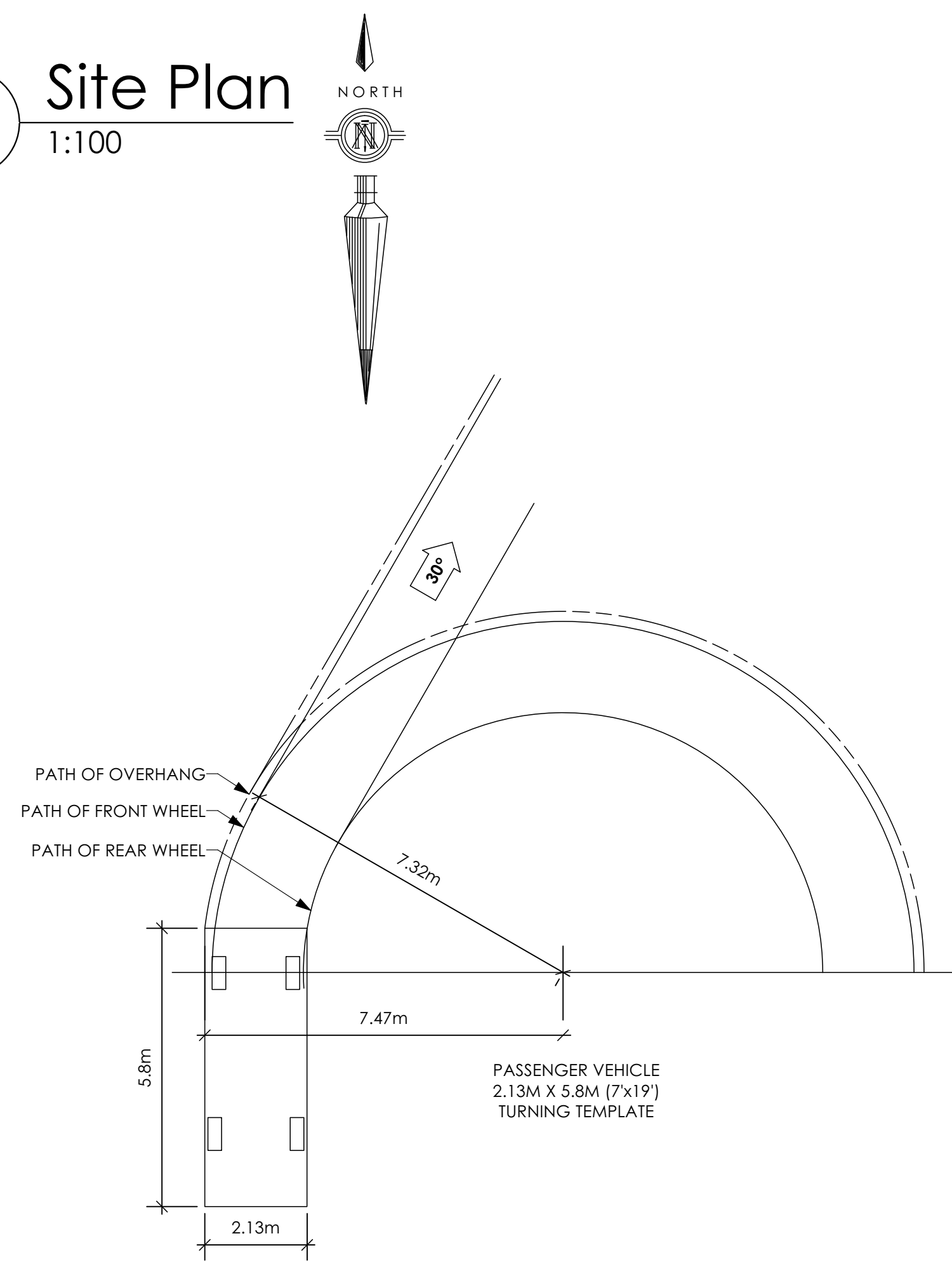
SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



2 Tree Planting Detail
 Not To Scale

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep



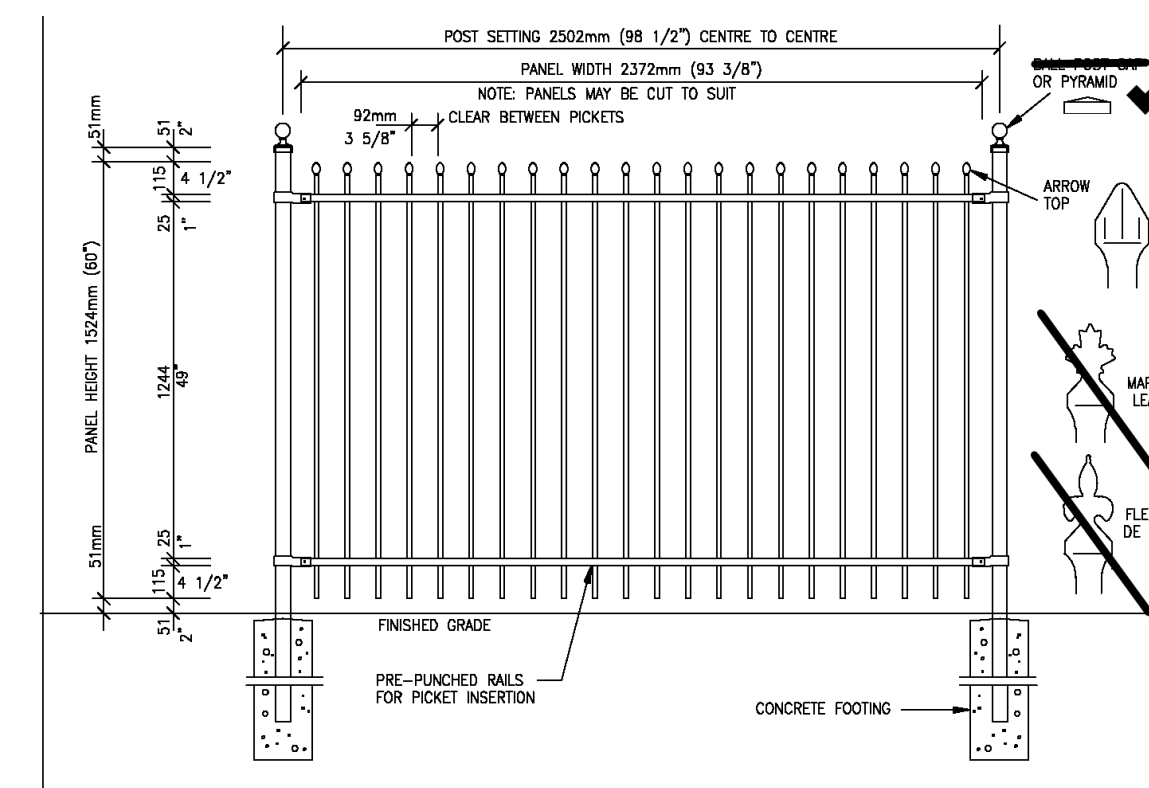
3 Turning Template
 Not To Scale

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

IF NOTICEABLE CHANGES ARE REQUIRED, VERIFY MUST SUBMIT TO SUMMA FOR RE-REVIEW PRIOR TO START OF CONSTRUCTION

THE SLEEVE IS BE INSTALLED BY THE BUILDER

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS



4 Fence Treatment
 Not To Scale

Date

Aug. 31, 2023

Project Address

3447 Trumpeter Street
 Royal Bay - Sector 7
 Colwood, B.C.

Prepared for

Verity Construction

Project #

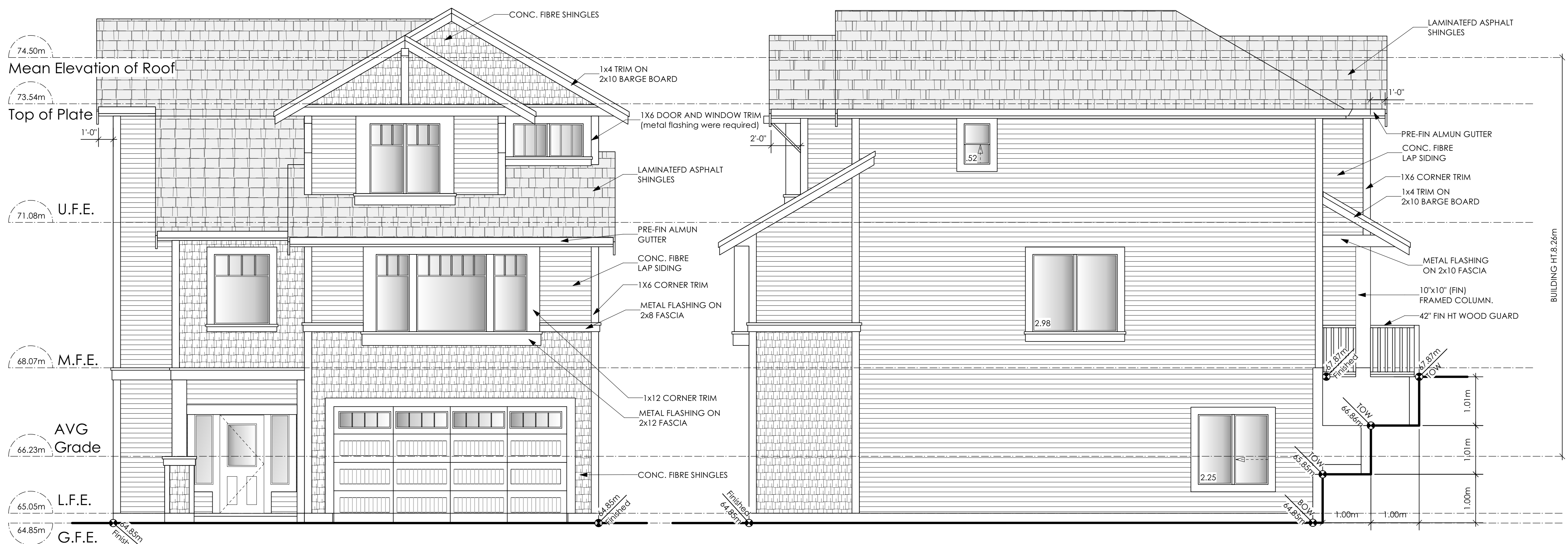
8298-37

Scale

As Noted

Drawn By

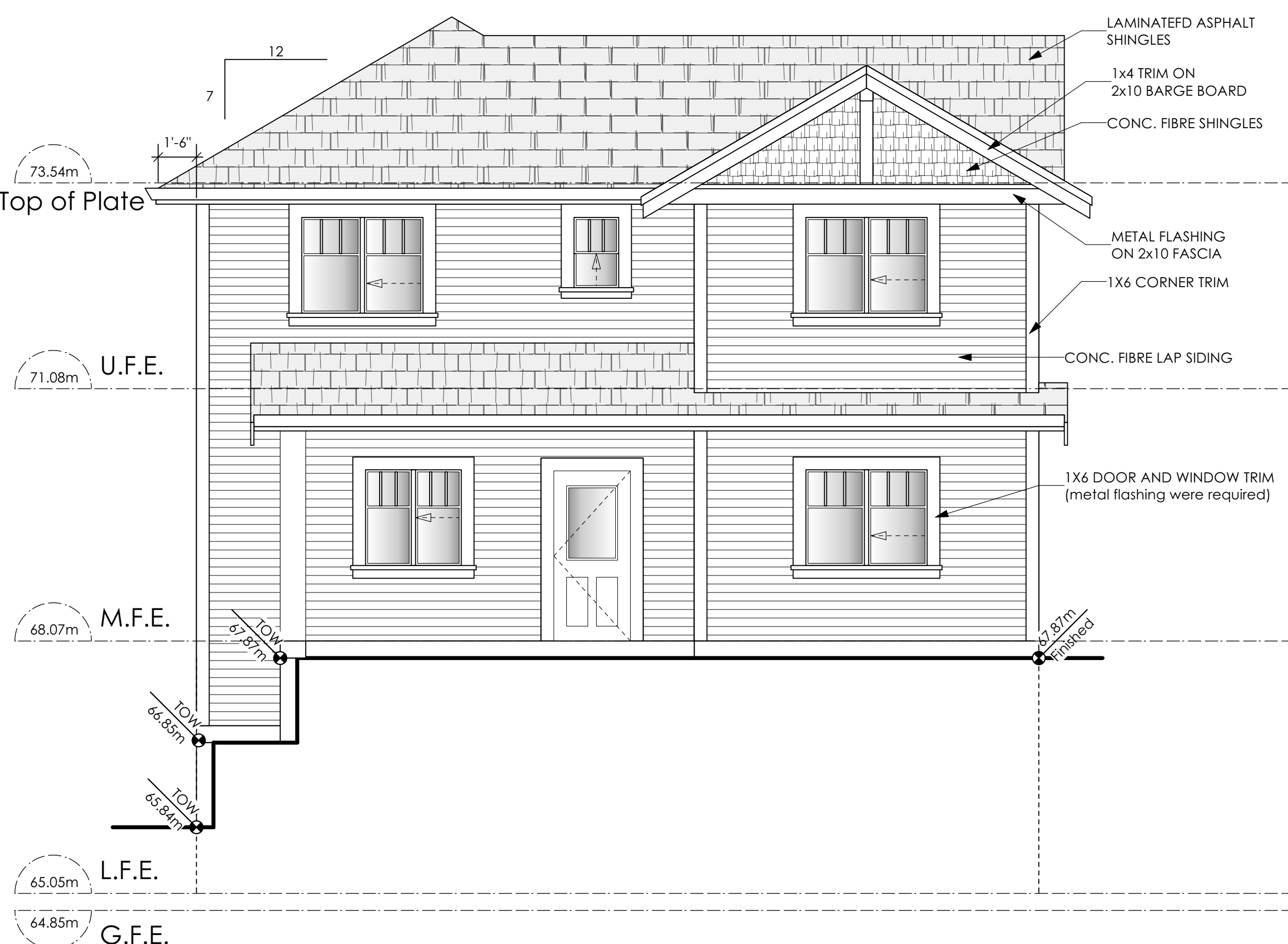
MRB



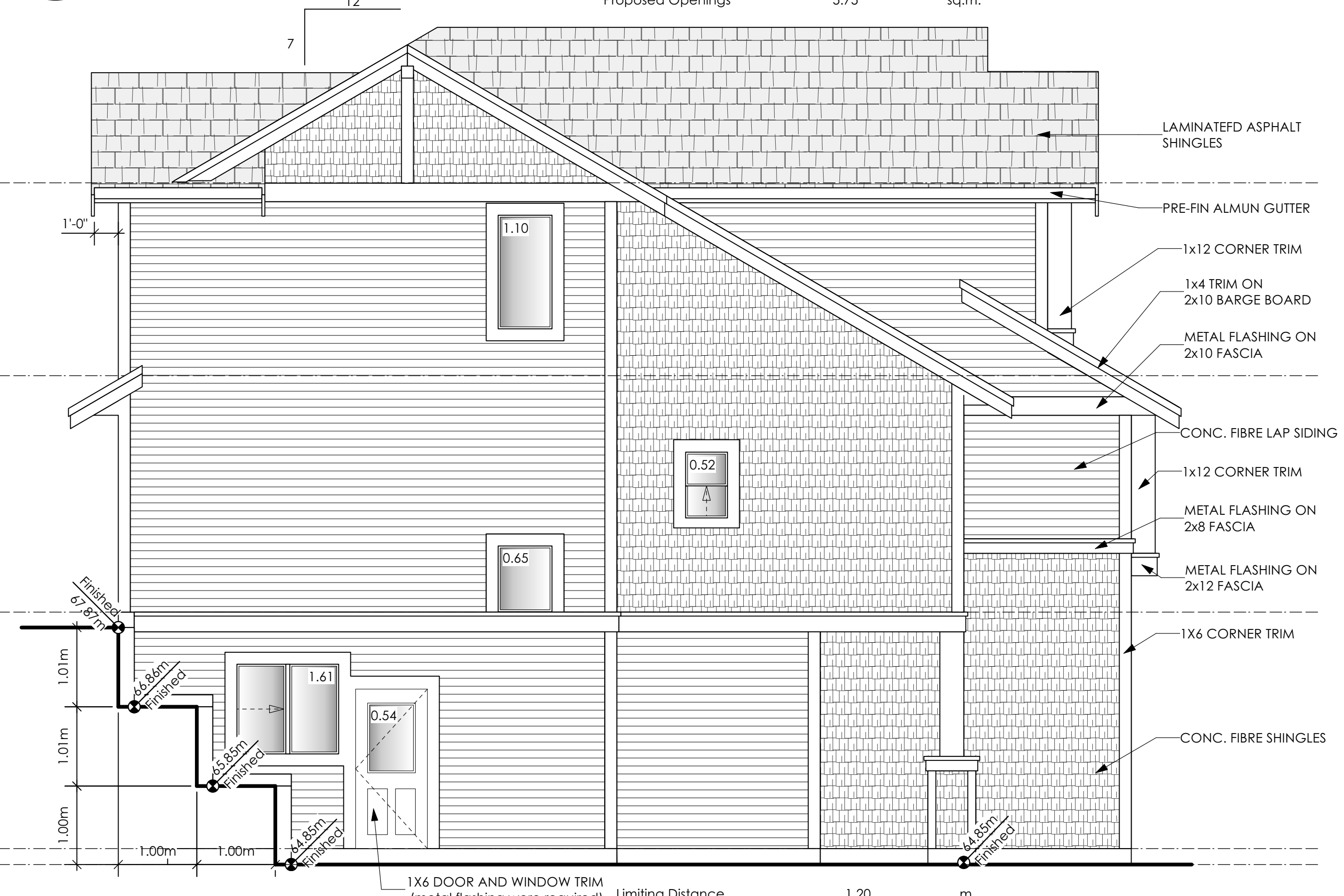
1 **Front Elevation**
 Scale: 1/4" = 1'-0"

2 **Right Side Elevation**
 Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	114.21	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.99	sq.m.
Proposed Openings	5.75	sq.m.



3 **Rear Elevation**
 Scale: 1/4" = 1'-0"



4 **Left Side Elevation**
 Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	120.55	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	8.43	sq.m.
Proposed Openings	3.90	sq.m.

GENOA (Custom) WESTCOAST

Date

Aug. 31, 2023

Project Address

3447 Trumpeter Street
 Royal Bay - Sector 7
 Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-37

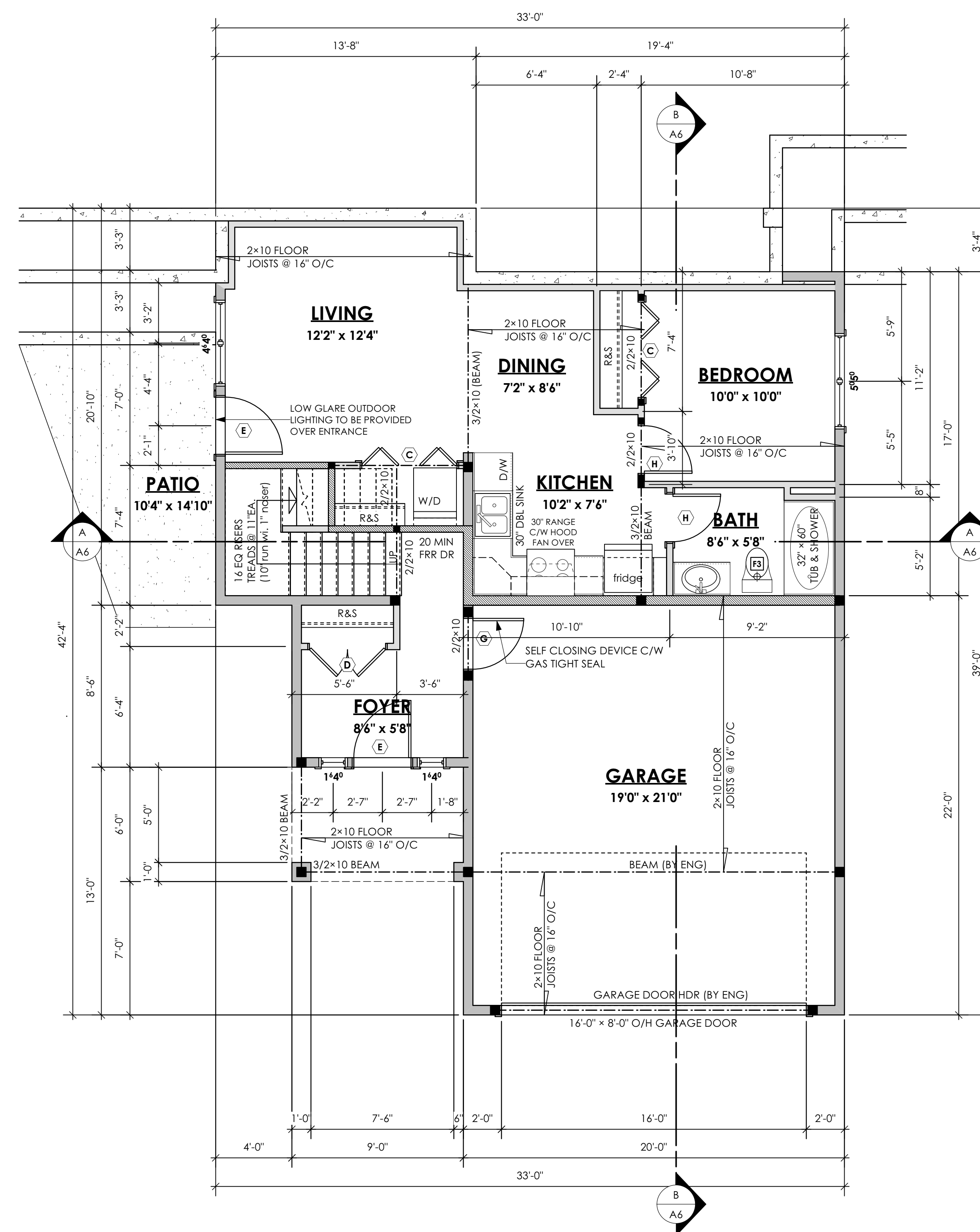
Scale

As Noted

Drawn By

MRB

Development Permit Presentation



1 Lower Floor Plan
Scale: 1/4" = 1'-0"
PRIMARY: 149.66 sq.ft. (12.02 sq.m.)
SUITE: 539.62 sq.ft. (50.13 sq.m.)
TOTAL: 689.28 sq.ft. (62.15 sq.m.)
GARAGE: 440.00 sq.ft. (40.88 sq.m.)

GENOA (Custom) WESTCOAST

Date
Aug. 31, 2023

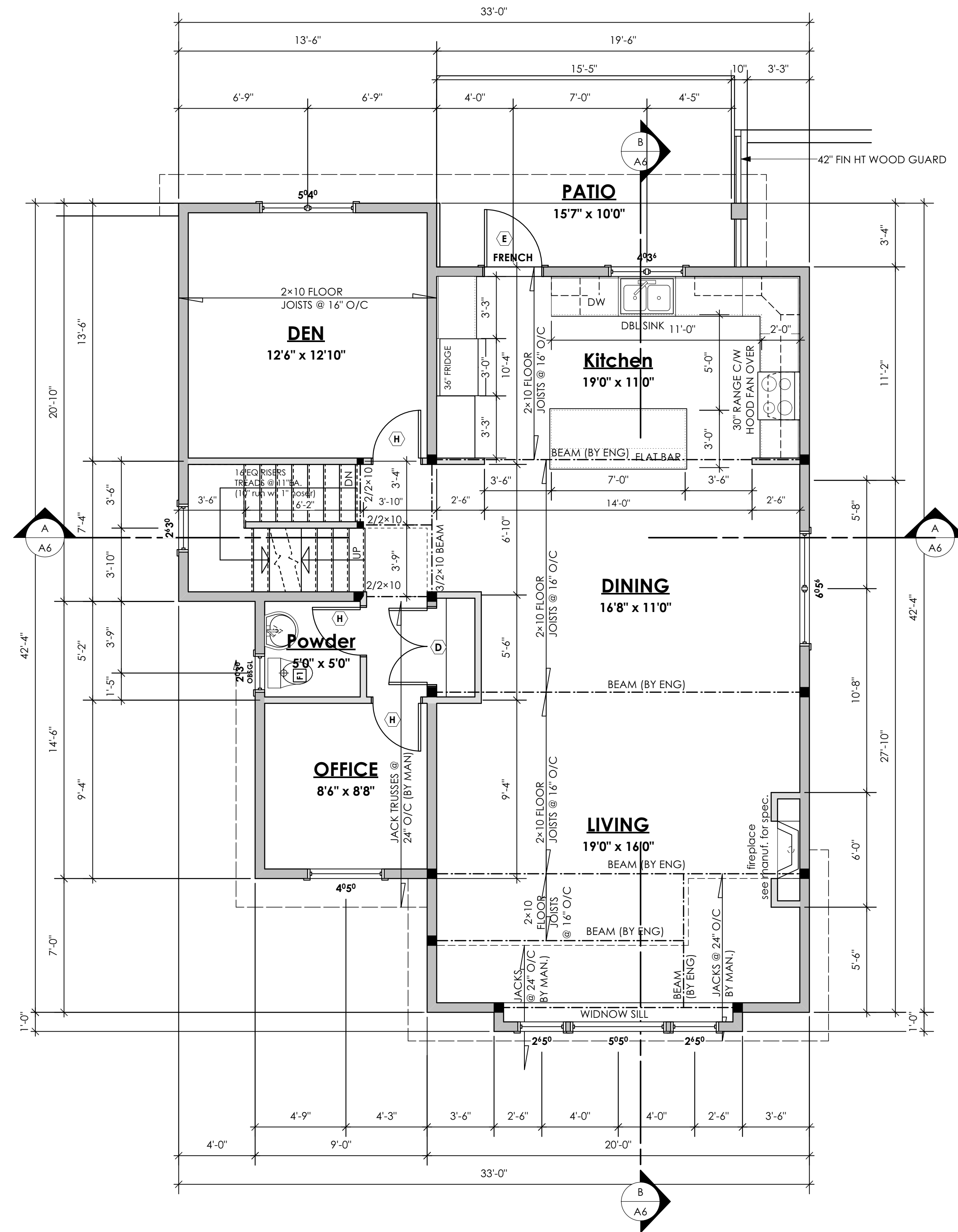
Project Address
3447 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-37

Scale
As Noted

Drawn By
MRB

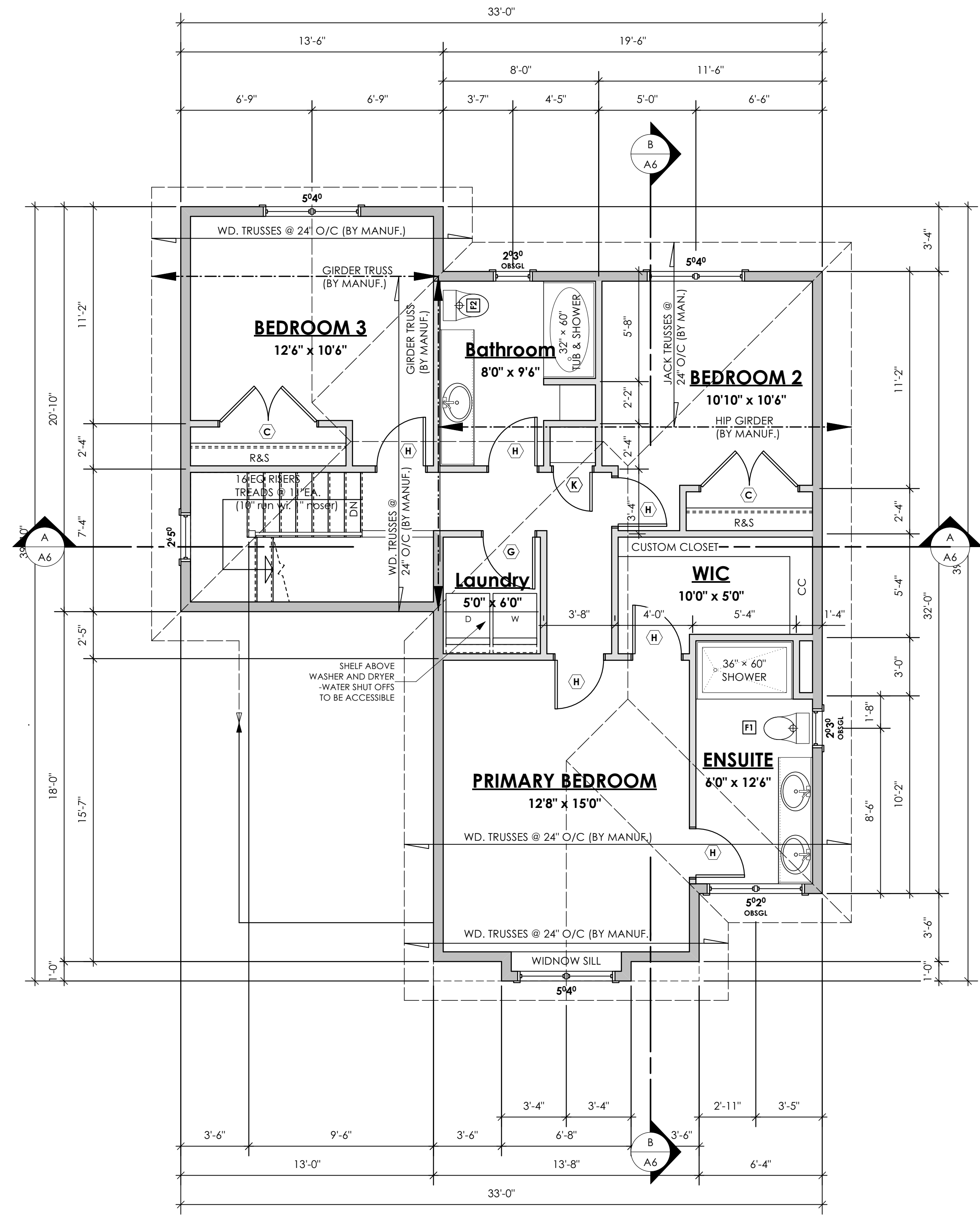
Development Permit Presentation



1 **Main Floor Plan**
Scale: 1/4" = 1'-0"
PRIMARY: 1183.00 sq.ft. (109.91 sq.m.)

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)



2 **Upper Floor Plan**
Scale: 1/4" = 1'-0"
PRIMARY: 893.39 sq.ft. (83.00 sq.m.)

GENOA (Custom) WESTCOAST

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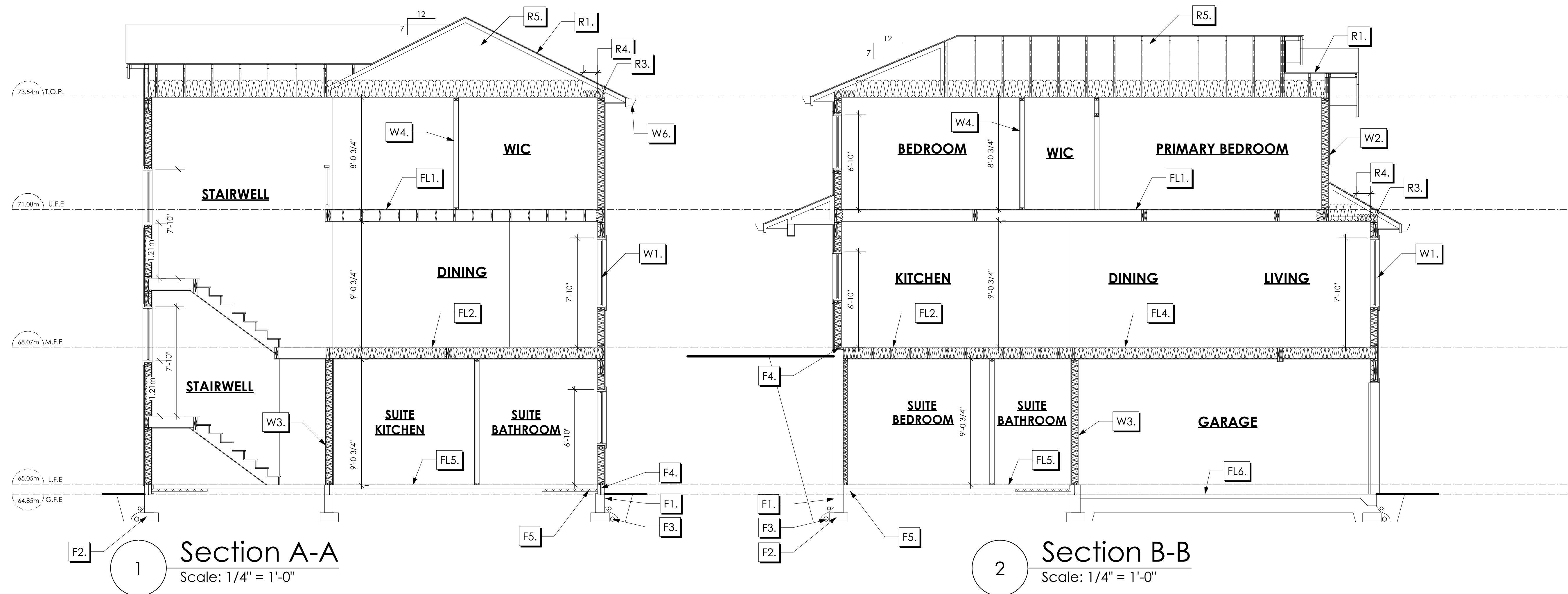
Scale

As Noted

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Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"

2 Section B-B
Scale: 1/4" = 1'-0"

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 1/2" ORIENTED STRAND BOARD VENTED SOFFIT
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)
- FL1. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL4. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE)
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)
- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL, WI. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3C 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (not in section)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION BUILDING WRAP OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)
- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT IN SECTION)

GENOA (Custom) WESTCOAST

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Colwood, B.C.

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Verity Construction

Project #

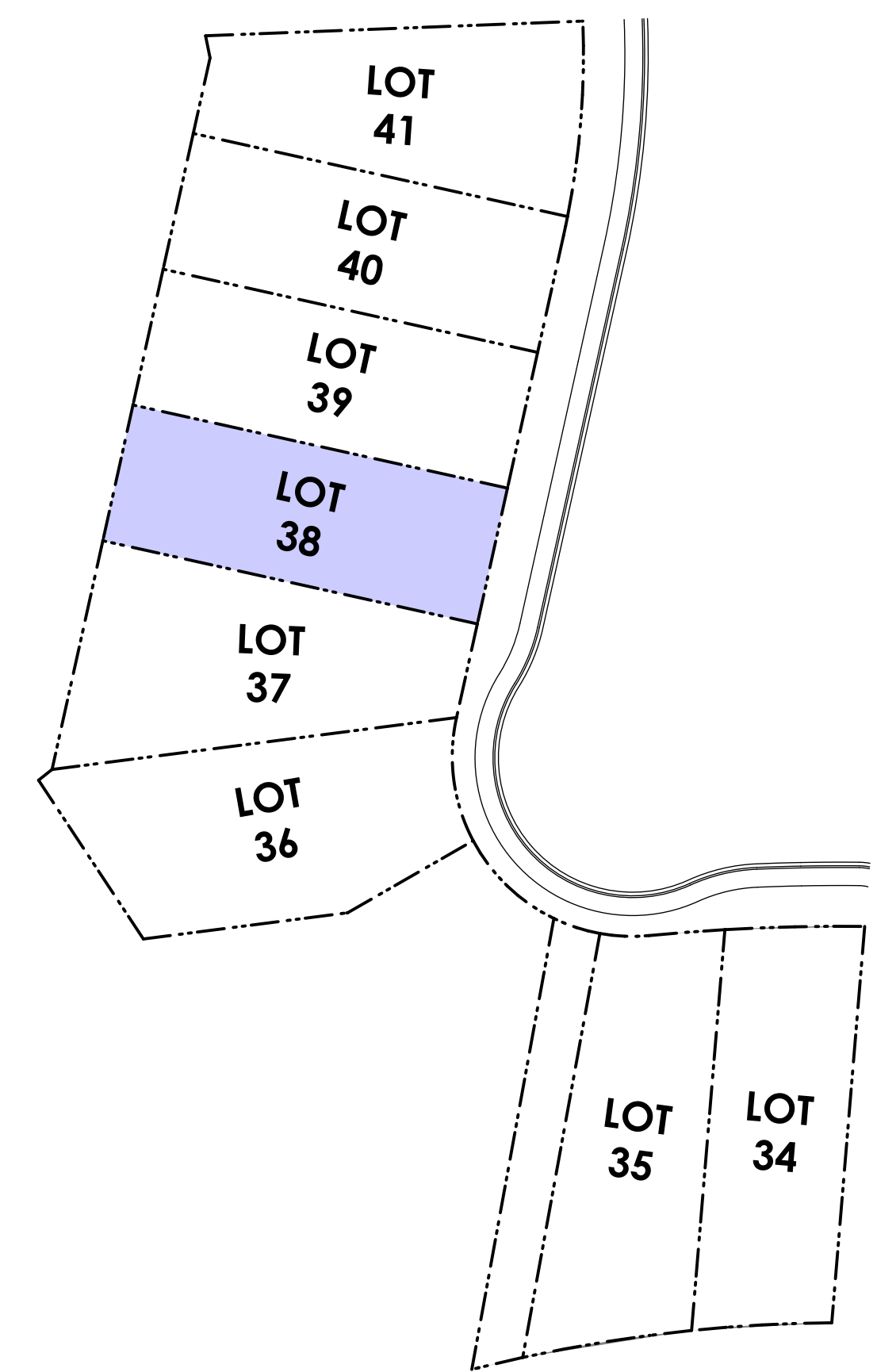
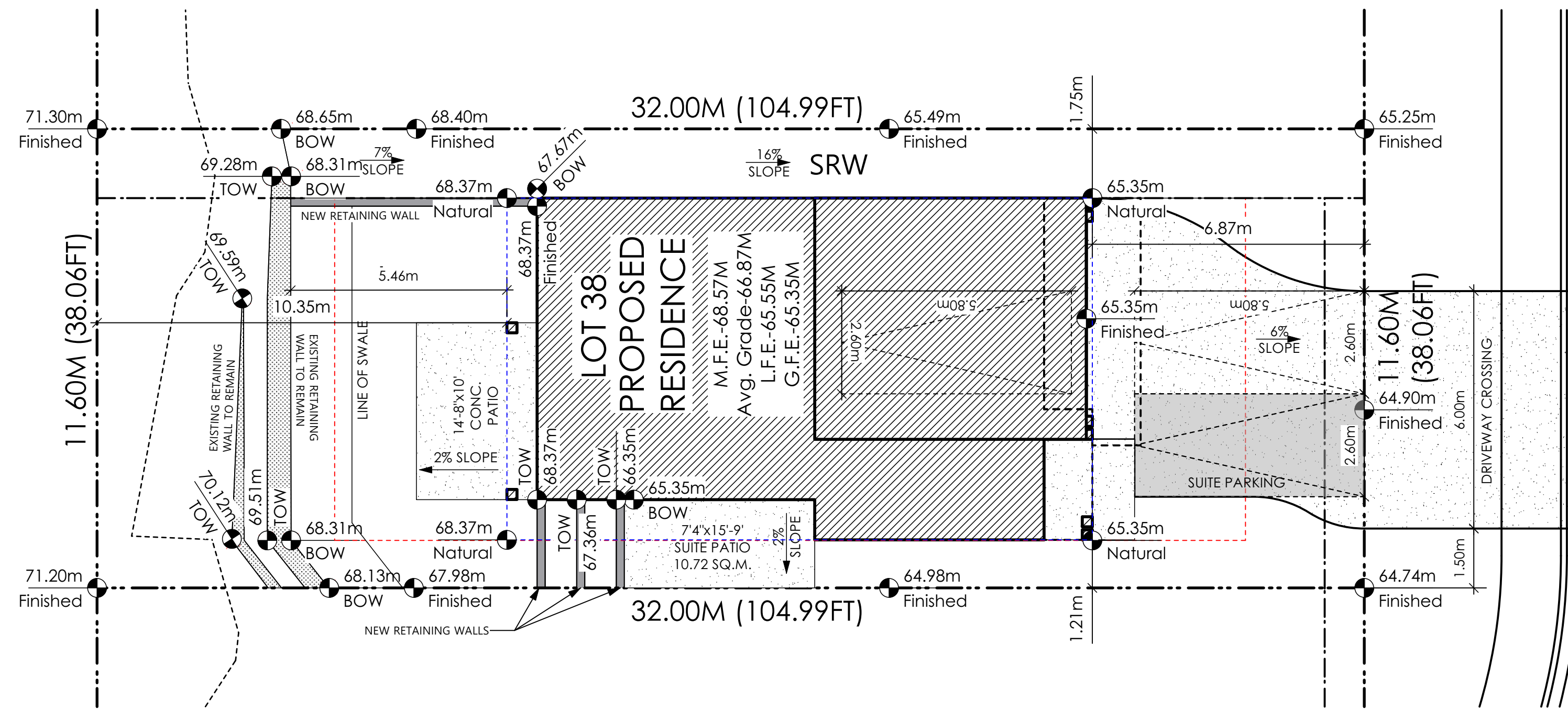
8298-37

Scale

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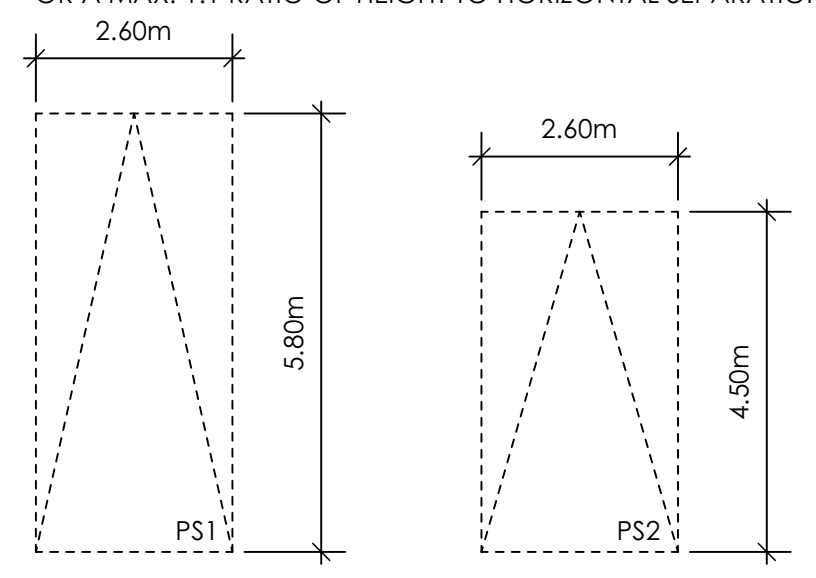


1 Site Plan
Scale: 1:100

5 Key Plan
1:500

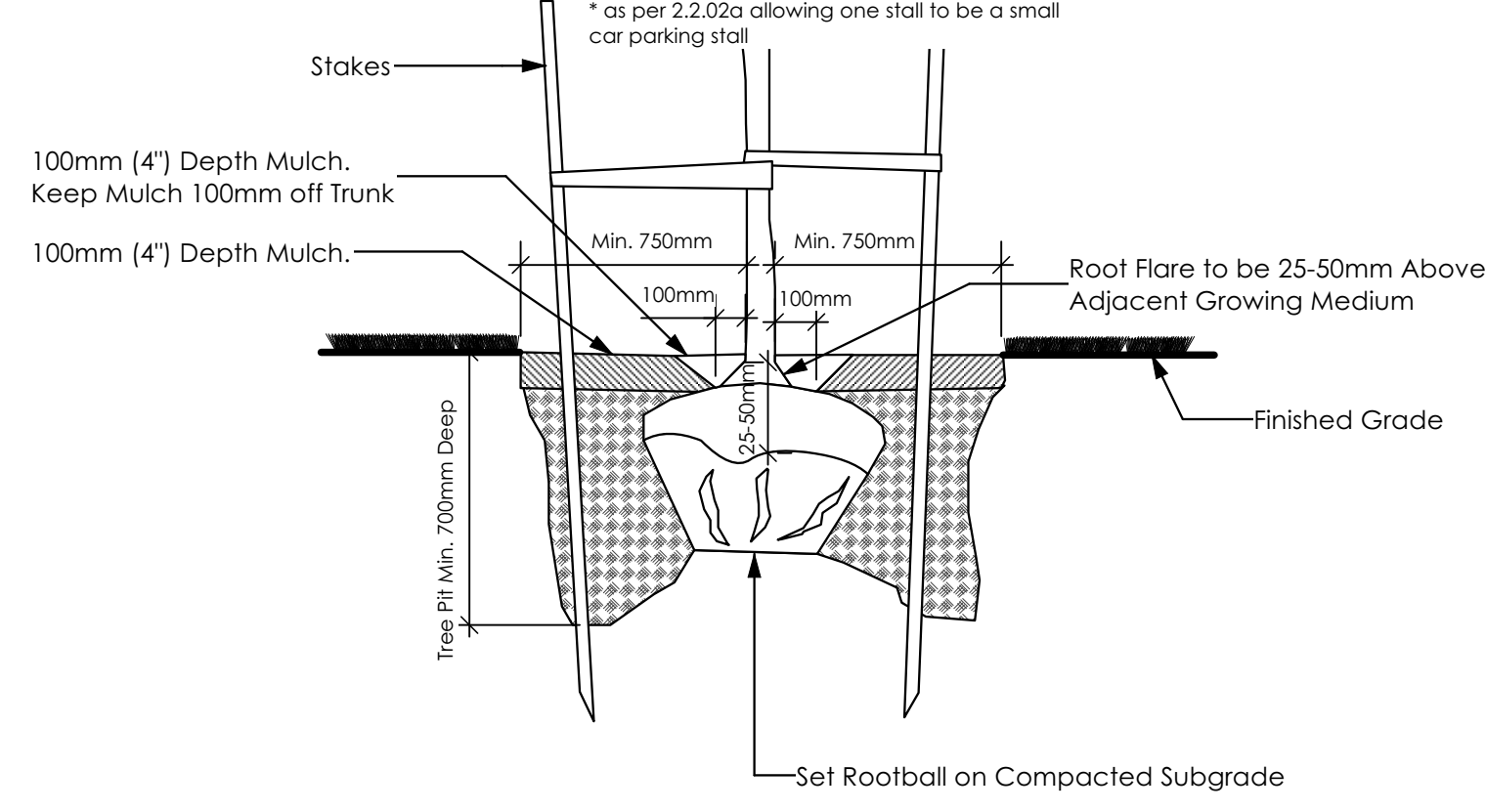
AVERAGE NATURAL GRADE CALCULATION
65.35 m. + 65.35 m. + 68.37 m. + 68.37 m. = 267.44 m.
DIVIDED BY 4 = AVG. GRADE 66.86m.

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS

SMALL CAR PARKING STALL DIMENSIONS



2 Tree Planting Detail
Not To Scale

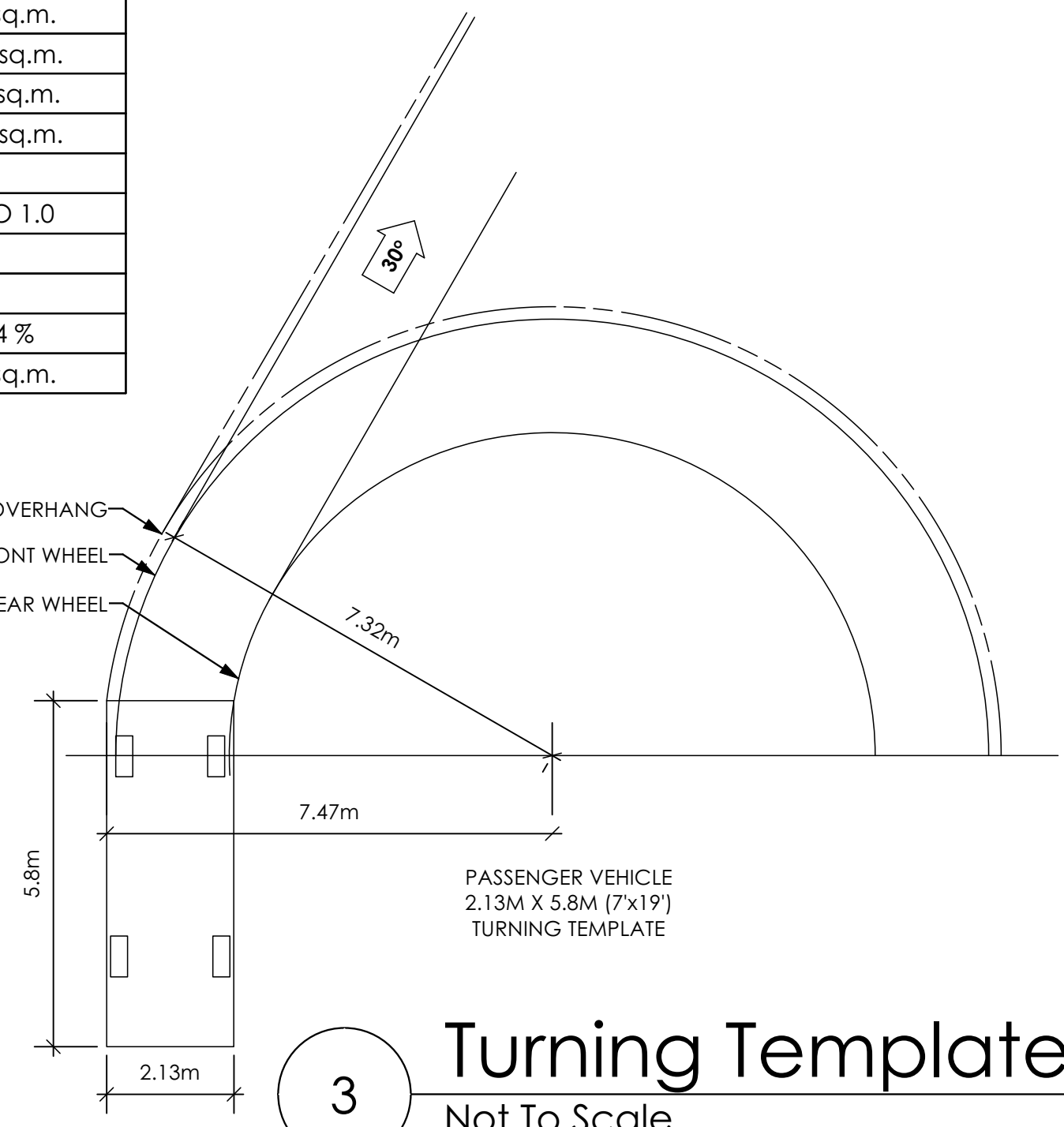
All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

SITE DATA	RBCD5	LOT 38
ITEMS	PERMITTED	PROPOSED
LOT AREA	368	371.20 sq.m.
LOT COVERAGE	50.00 %	31.43 %
BUILDING HEIGHT	9.50 m.	8.63 m.
LOT WIDTH	10.97 m.	11.60 m.
SETBACKS		
- FRONT	4.50 m.	6.87 m.
- REAR	6.00 m.	10.35 m.
- SIDE	1.20 m.	1.21 m.
- SIDE	1.20 m.	1.75 m.
PROPOSED FLOOR AREA		
- UPPER		89.72 sq.m.
- MAIN		100.36 sq.m.
- LOWER		68.13 sq.m.
- GARAGE		41.81 sq.m.
SUB-TOTAL G.F.A.		300.02 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.81 sq.m.
GROSS FLOOR AREA		258.21 sq.m.
F.A.R.		0.70 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	20.74 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	53.54 sq.m.

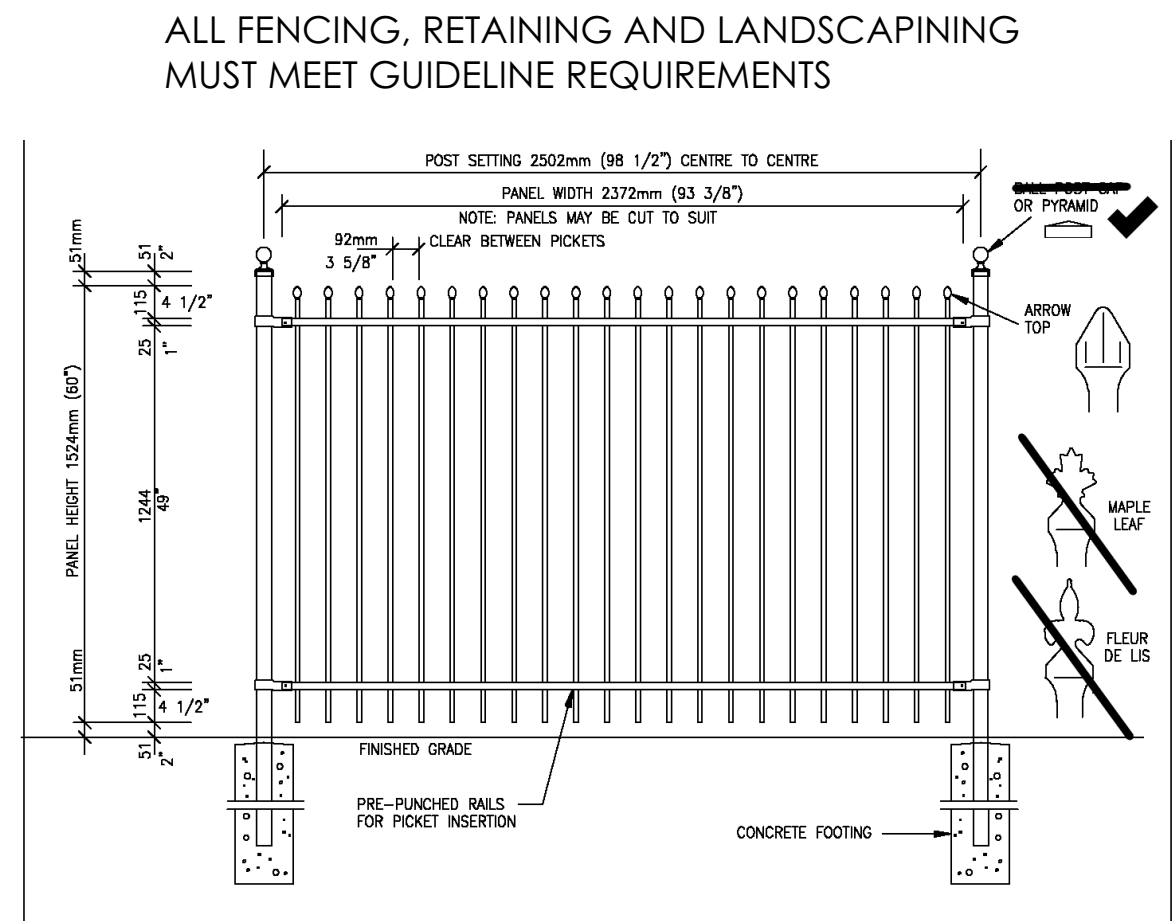
THE SLEEVES TO BE INSTALLED BY THE BUILDER

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS



3 Turning Template
Not To Scale



4 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

Leeward Westcoast
Date
Aug. 31, 2023

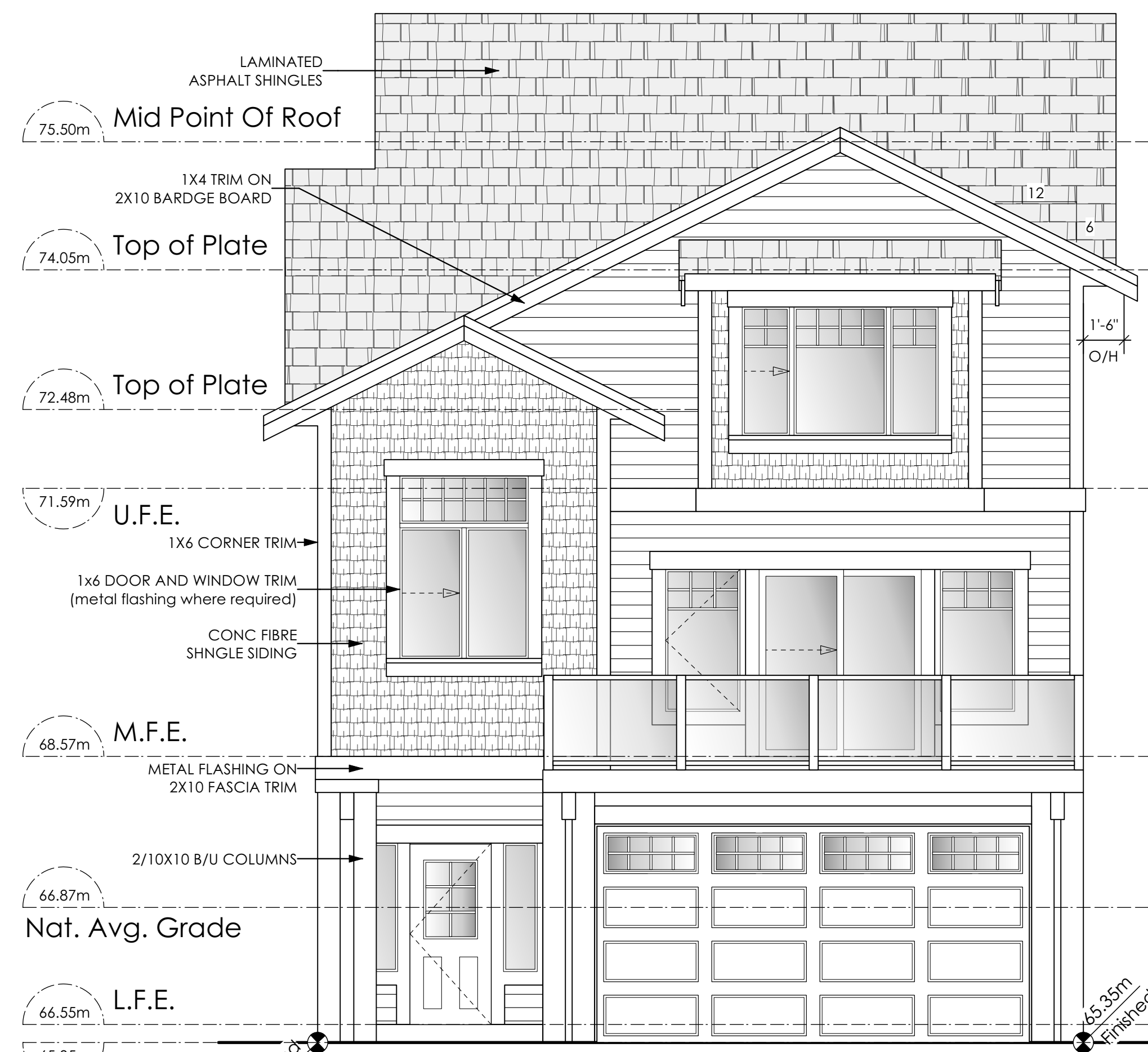
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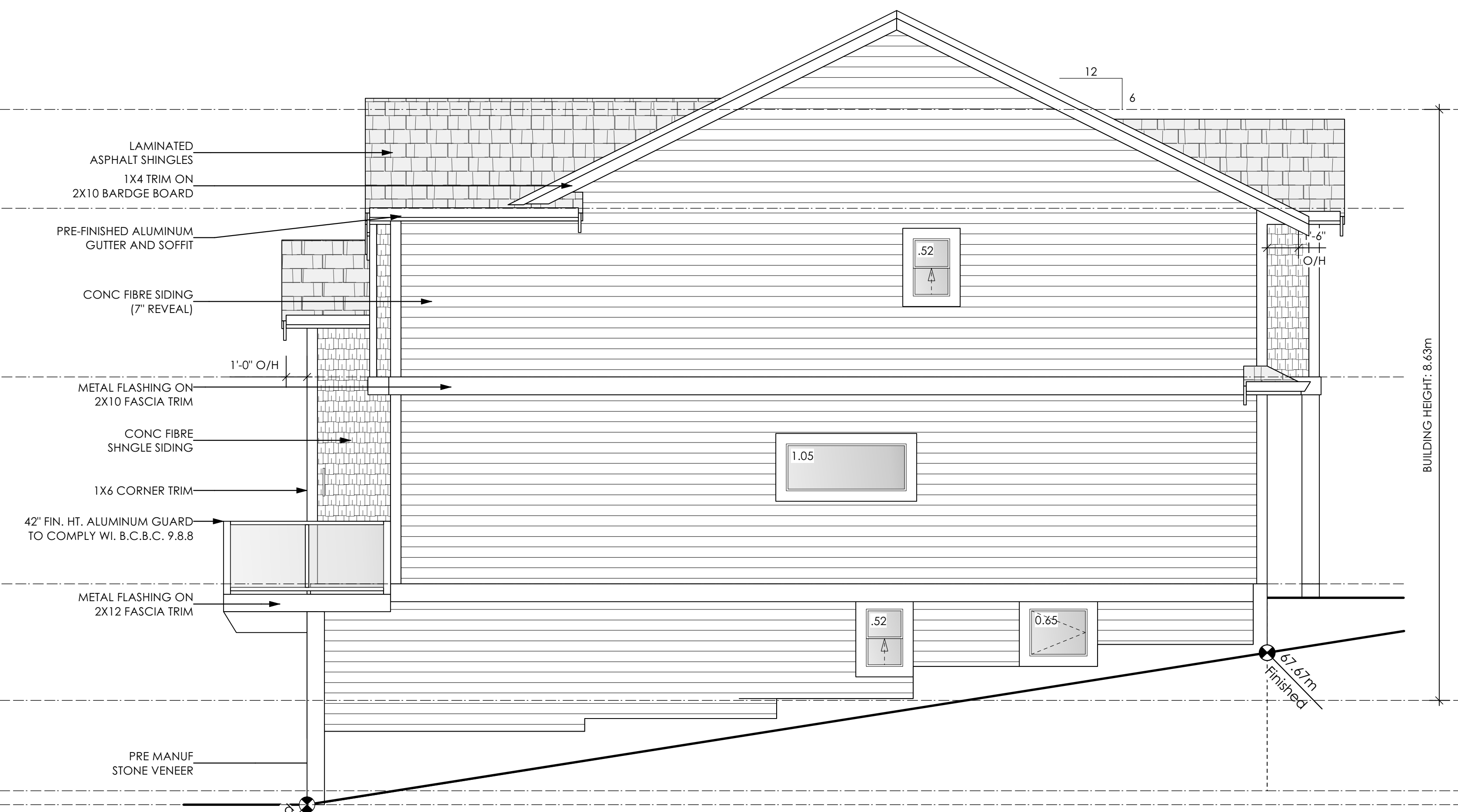
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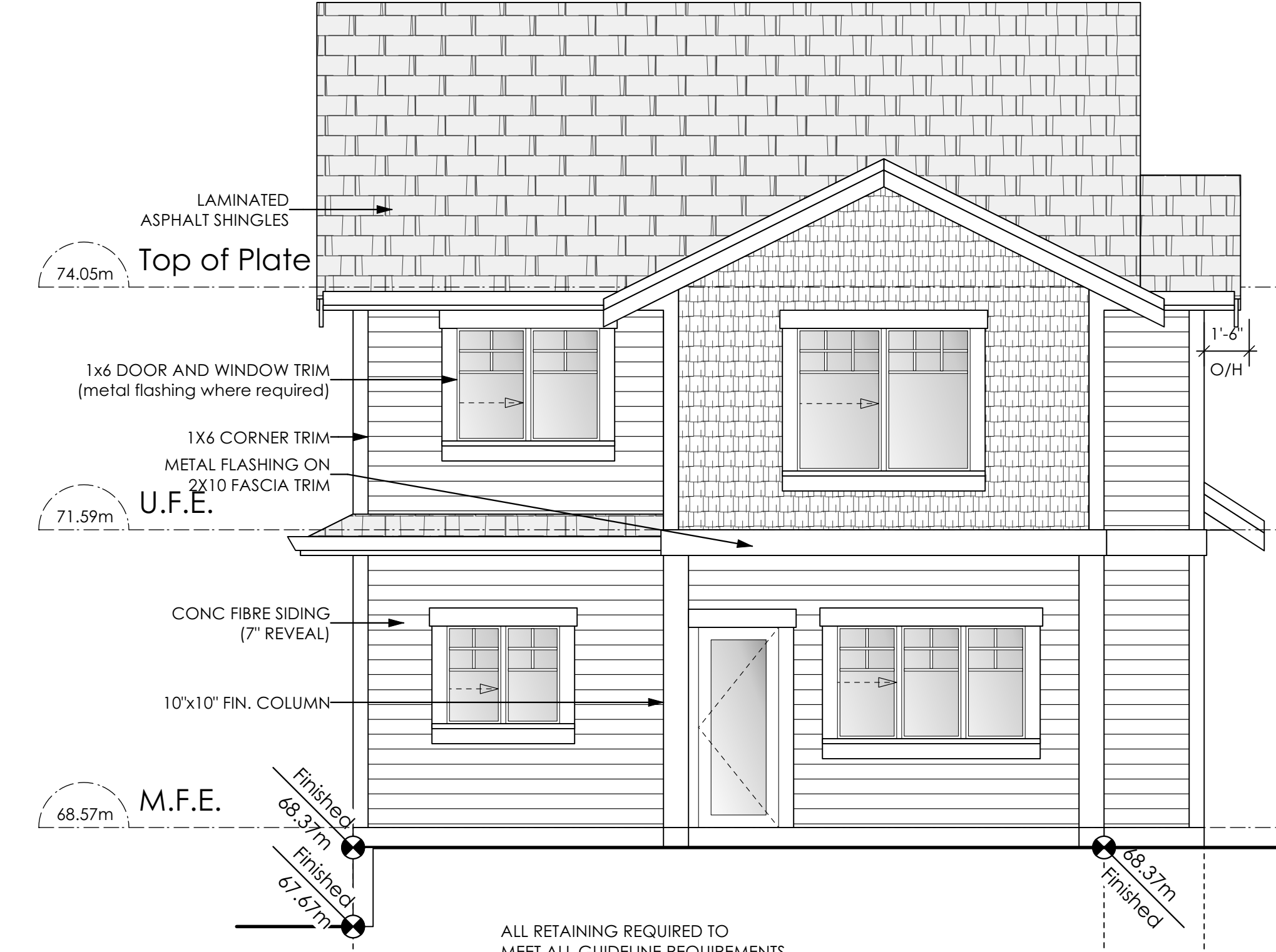
1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
VERITY IS RESPONSIBLE FOR ALL CSTS TO ENSURE THE DRIVE UNDER PROPOSED MEETS ALL BUILDING CODES / BYLAWS & CITY OF COLWOOD REQUIREMENTS



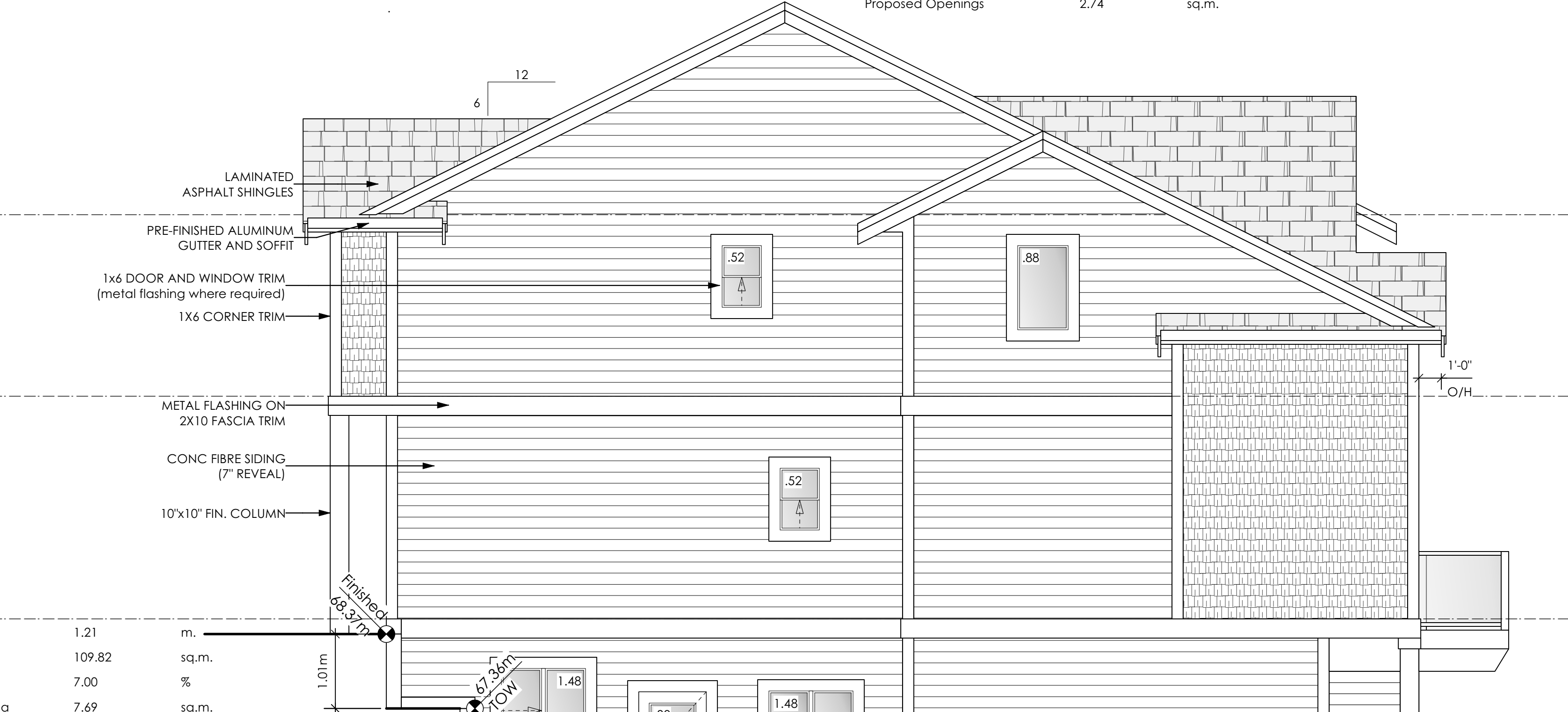
2 Right Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

Limiting Distance	1.75	m.
Exposed Building Face	105.17	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	8.30	sq.m.
Proposed Openings	2.74	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS



4 Left Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

Limiting Distance	1.21	m.
Exposed Building Face	109.82	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.69	sq.m.
Proposed Openings	5.18	sq.m.

Leeward Westcoast
Date
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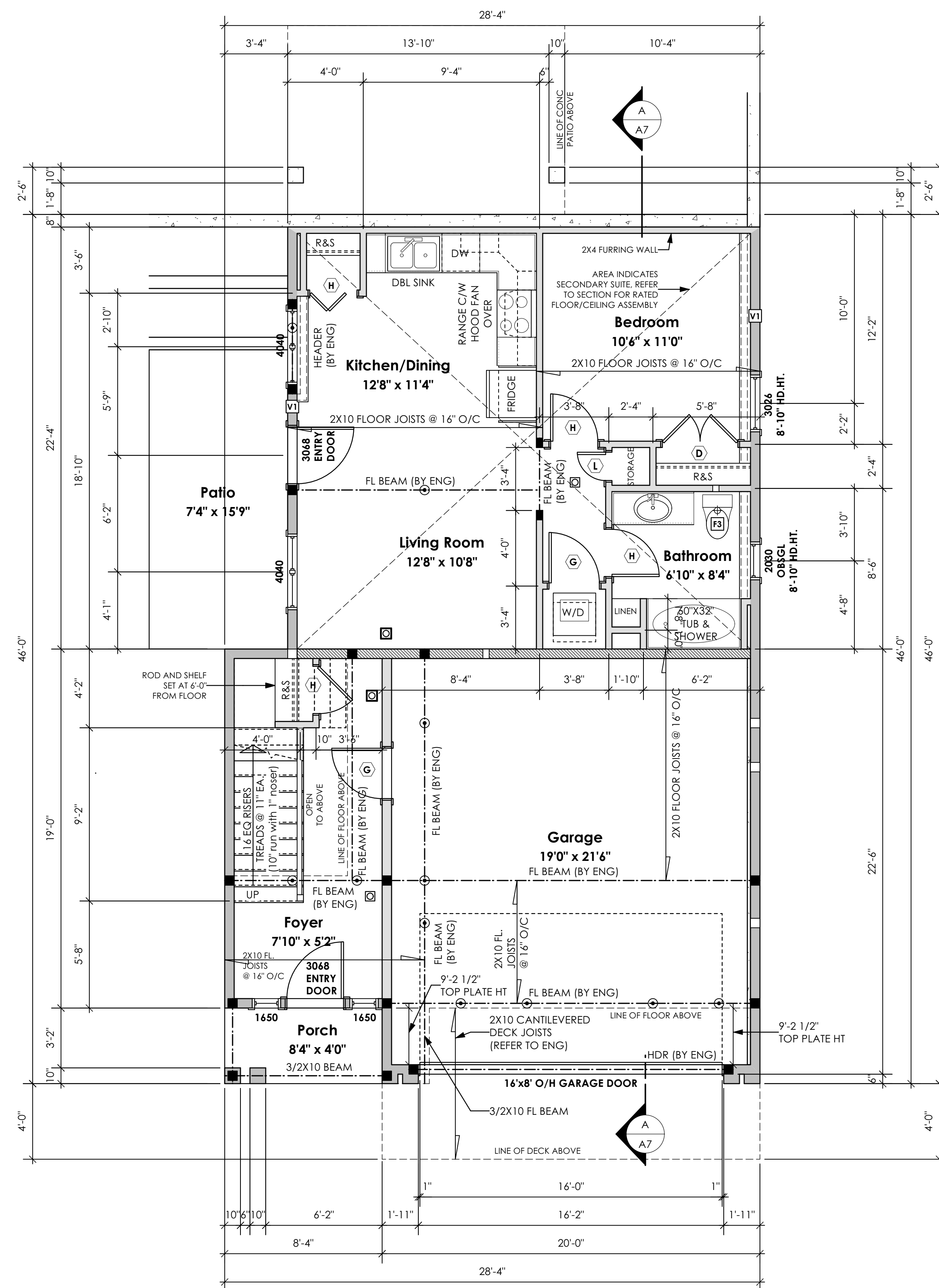
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MRB

Development Permit Presentation



1 Lower Floor Plan
Scale: 1/4" = 1'-0"
PRIMARY: 157.08 sq.ft. (14.59 sq.m.)
SUITE: 576.25 sq.ft. (53.54 sq.m.)
TOTAL: 733.33 sq.ft. (68.13 sq.m.)
GARAGE: 450.00 sq.ft. (41.81 sq.m.)

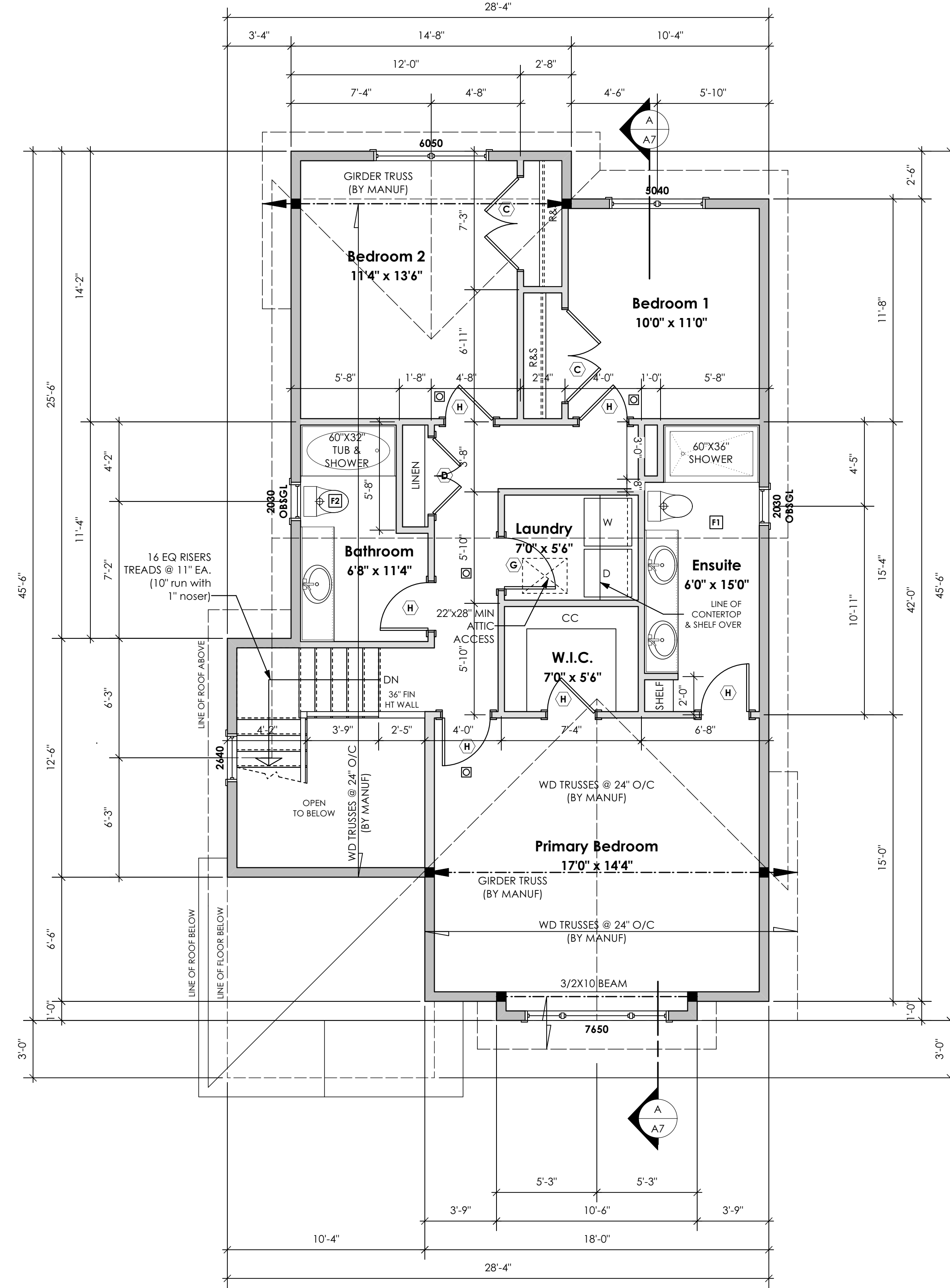
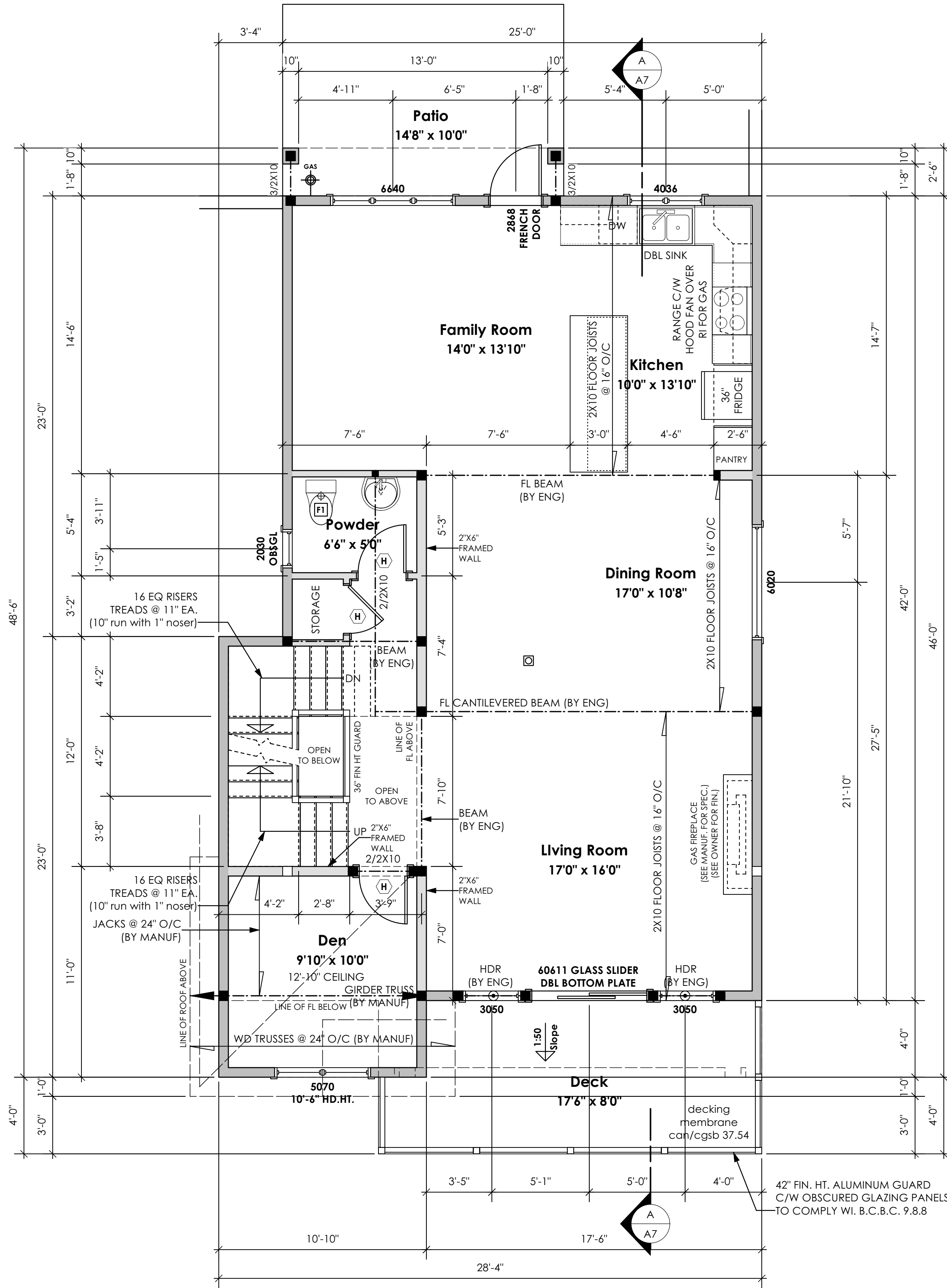
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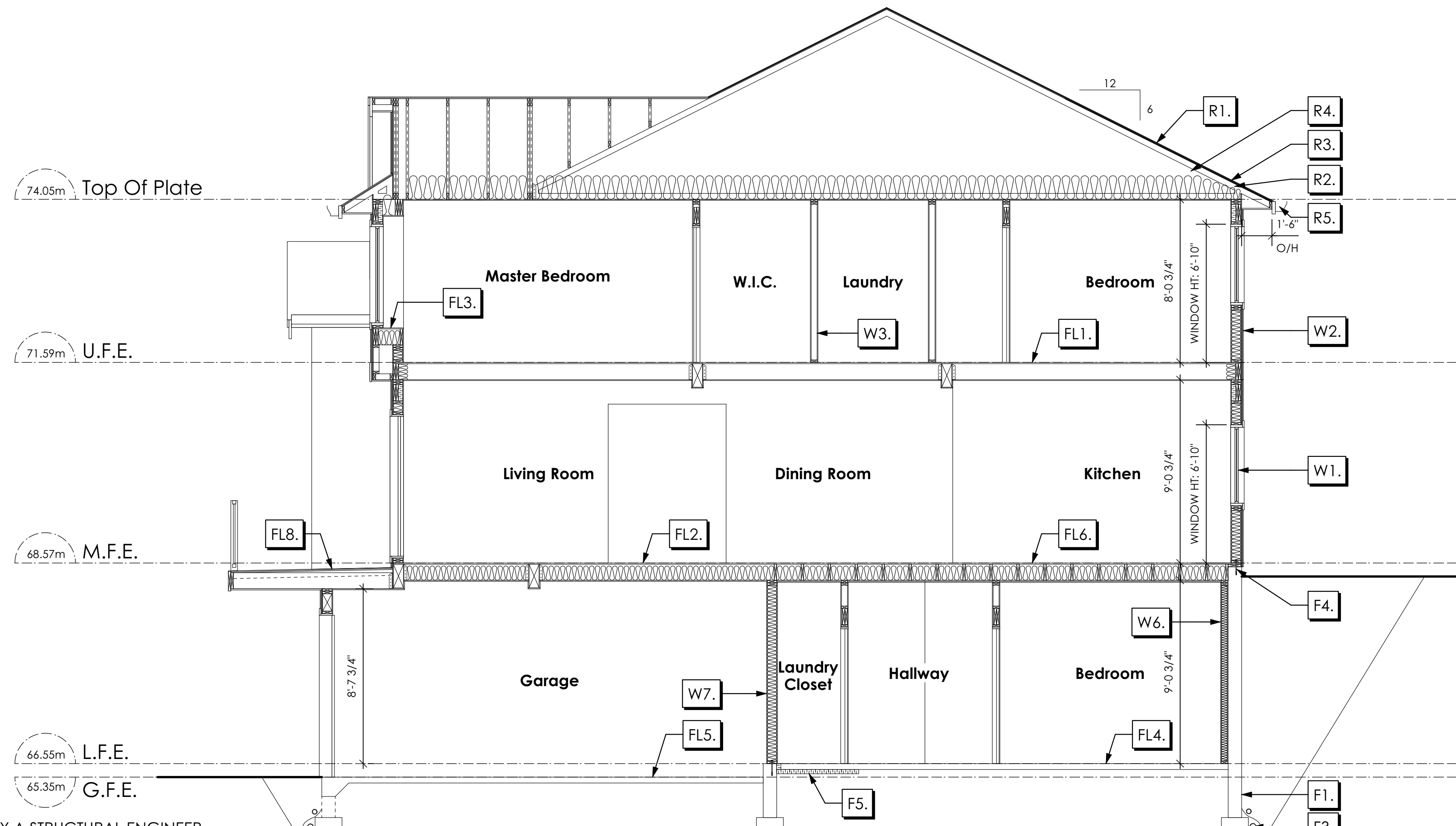
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ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN WALLS TO RESIST LATERAL LOADS.
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR BRACED WALL PANELS TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13.2 AND SUPPLY DETAILS IF REQUIRED

1 Section A-A Section Notes
Scale: 1/4" = 1'-0"

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.1)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE)
- FL3. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BAIT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"

WALLS

- FL6. F8d RATED FLOOR ASSEMBLY (BC BUILDING CODE TABLE 9.10.3.1.B) FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL7. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN.1:50 SLOPE)
- FL8. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD C/W "H" CLIPS TAPERS TO PROVIDE MIN.1:50 SLOPE ON 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.)

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2 2/2"x10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL. WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-4 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.S.2/A440, "NAFS": LANGFORD, CLASS R, DP 960, PG 20, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)

WALLS

- W4. PRE-MANUFACTURED STONE VENEER (INSTALLED TO MANUF. SPEC) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" (AS REQUIRED) (NOT SHOWN IN SECTION)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.) (NOT IN SECTION)
- W7. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c: 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C (BETWEEN PRIMARY LIVING / GARAGE & SECONDARY SUITE)

FOUNDATION WALLS

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE) (NOT IN SECTION)

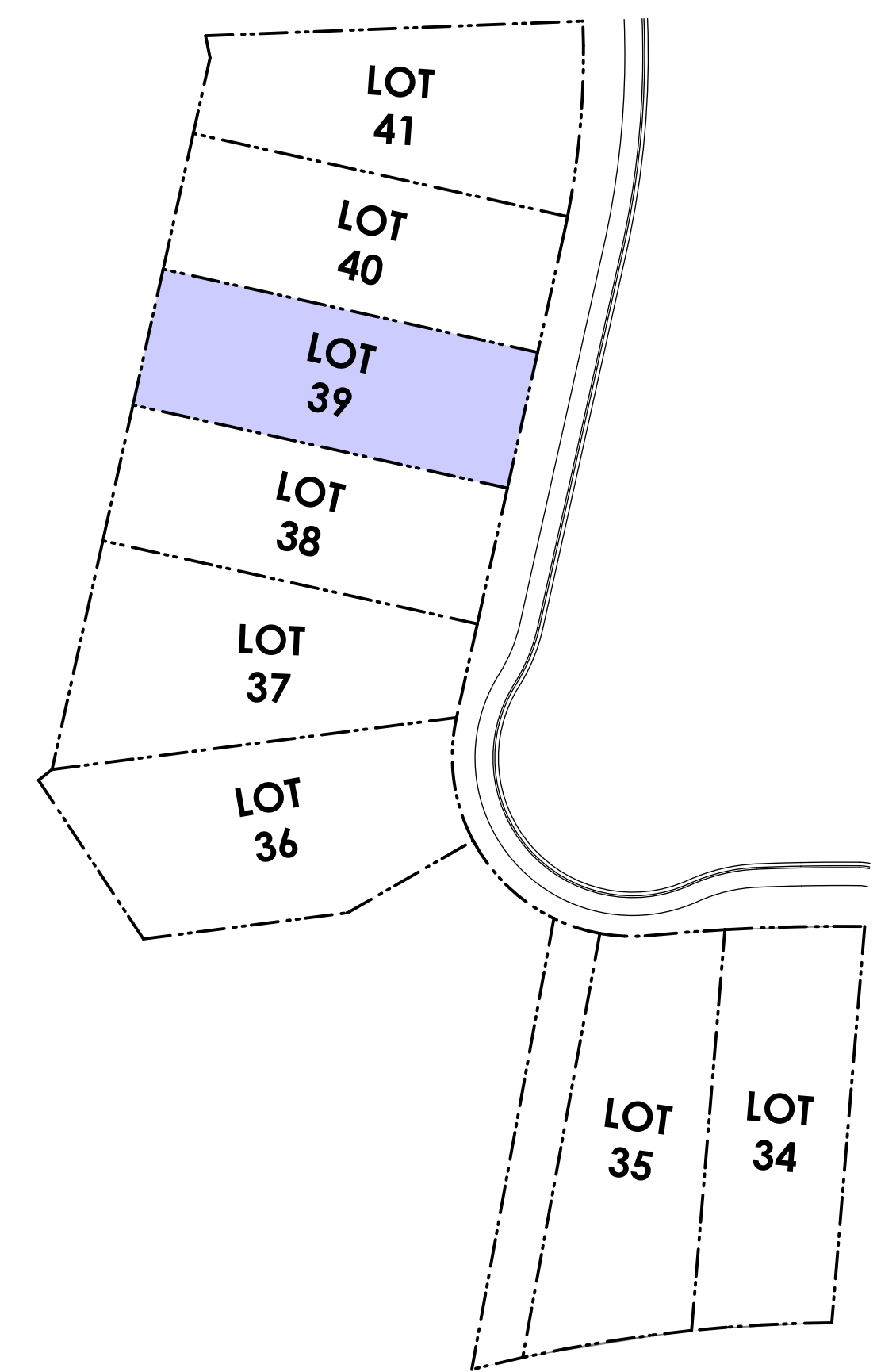
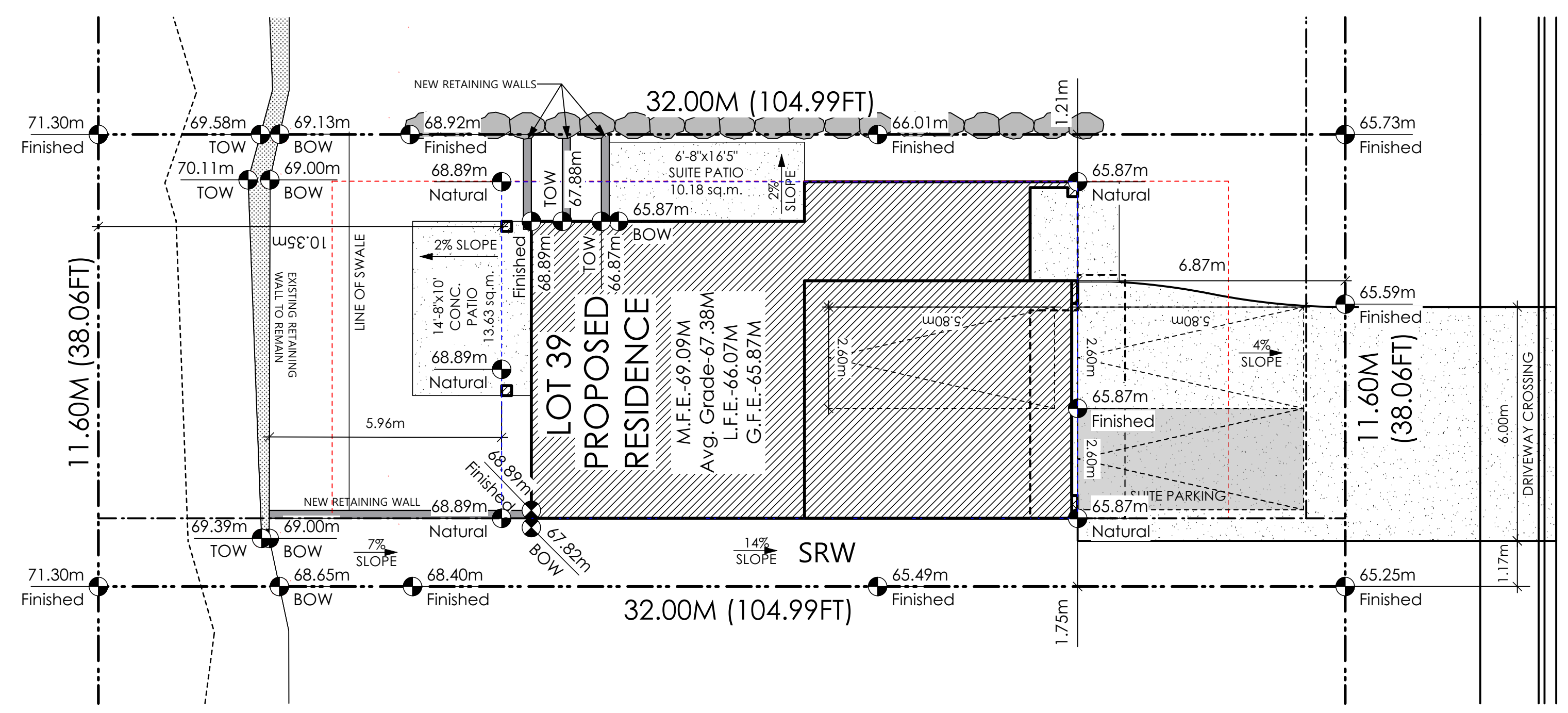
Leeward Westcoast
Date
Aug. 31, 2023

Project Address
3449 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-38

Scale
As Noted

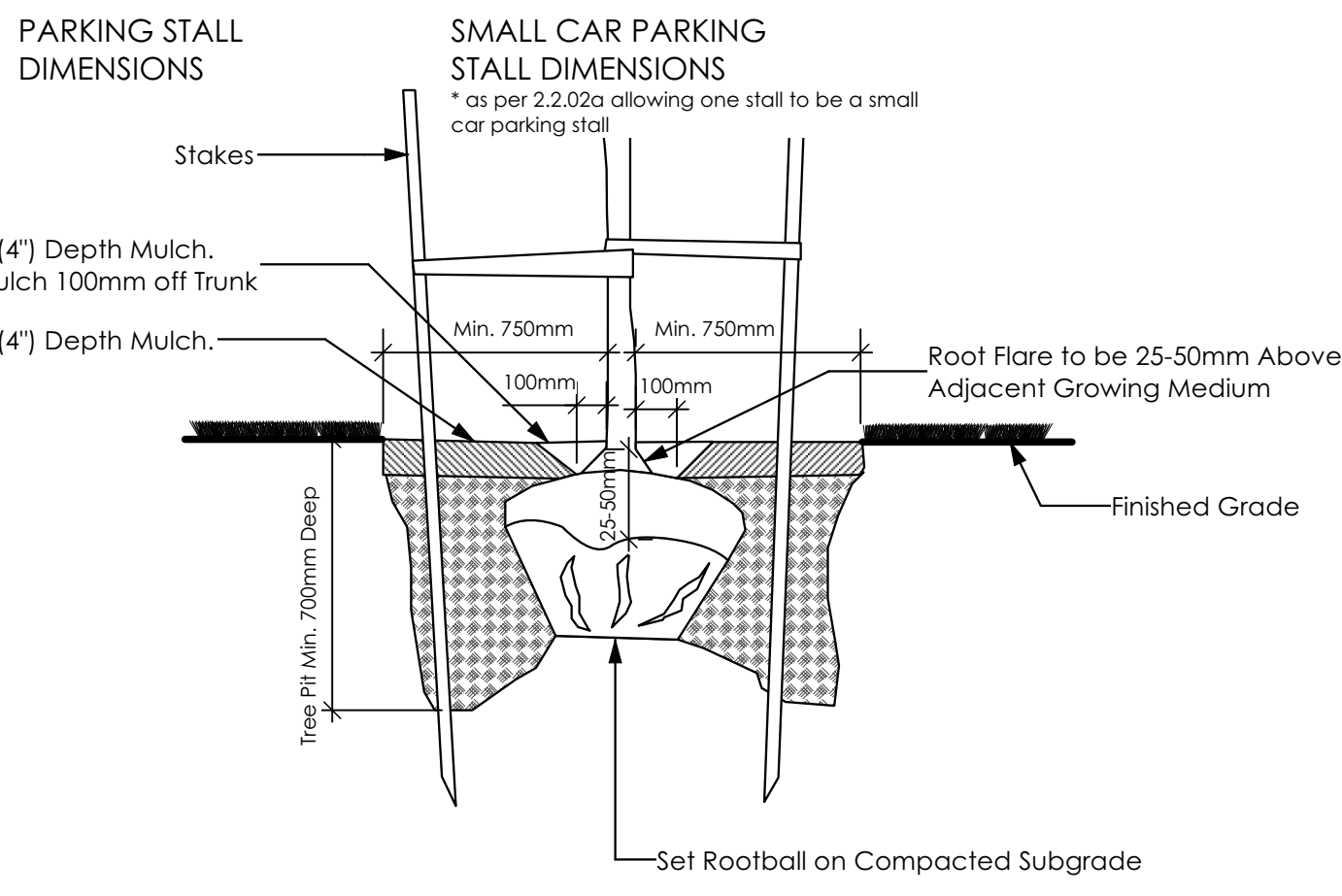
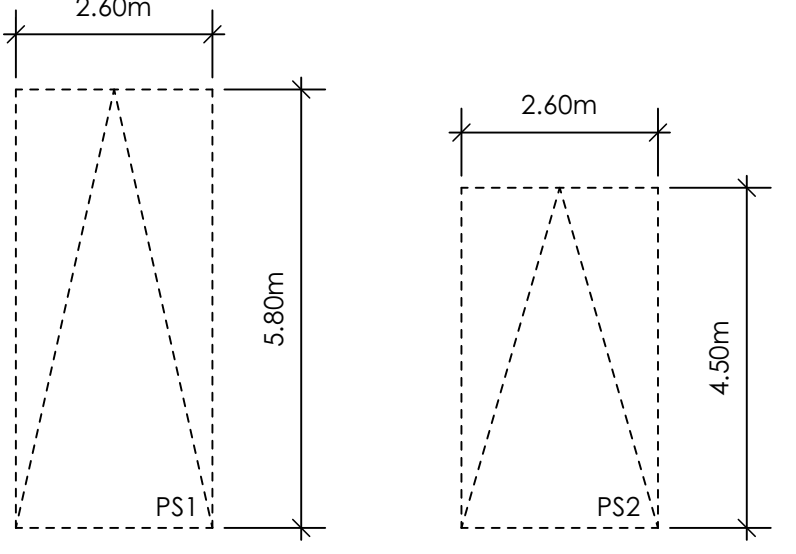
Drawn By
MRB



1 Site Plan
Scale: 1:100

AVERAGE NATURAL GRADE CALCULATION
65.87 m. + 65.87 m. + 68.89 m. + 68.89 m. = 262.52 m.
DIVIDED BY 4 = AVG. GRADE 67.38m.

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



2 Tree Planting Detail
Not To Scale
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

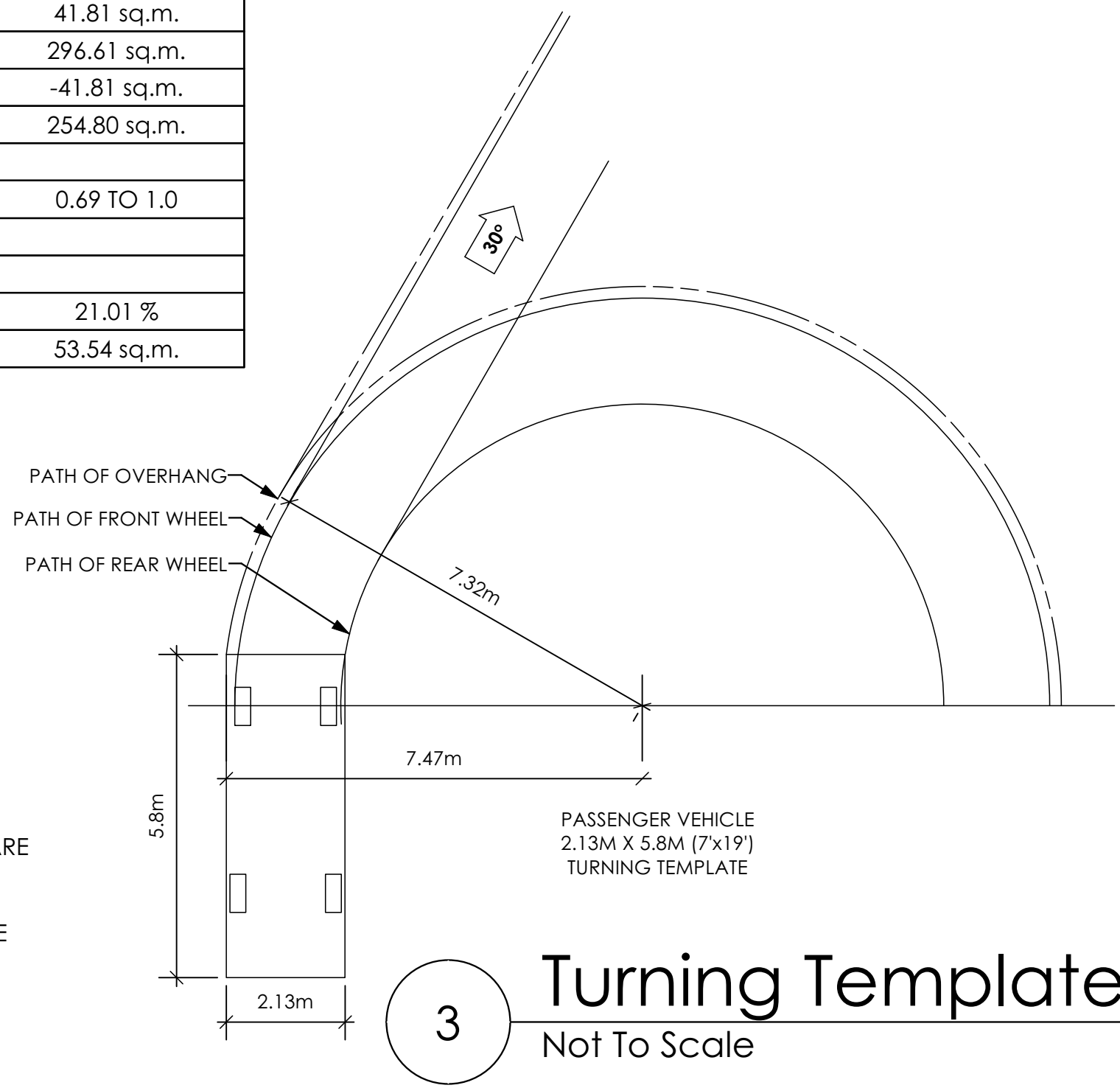
SITE DATA	RBCD5	LOT 39
ITEMS	PERMITTED	PROPOSED
LOT AREA	368	371.20 sq.m.
LOT COVERAGE	50.00 %	31.43 %
BUILDING HEIGHT	9.50 m.	8.29 m.
LOT WIDTH	10.97 m.	11.60 m.
SETBACKS		
- FRONT	4.50 m.	6.87 m.
- REAR	6.00 m.	10.35 m.
- SIDE	1.20 m.	1.21 m.
- SIDE	1.20 m.	1.75 m.
PROPOSED FLOOR AREA		
- UPPER		86.31 sq.m.
- MAIN		100.36 sq.m.
- LOWER		68.13 sq.m.
- GARAGE		41.81 sq.m.
SUB-TOTAL G.F.A.		296.61 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.81 sq.m.
GROSS FLOOR AREA		254.80 sq.m.
F.A.R.		0.69 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	21.01 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	53.54 sq.m.

THE SLEEVES TO BE INSTALLED BY THE BUILDER

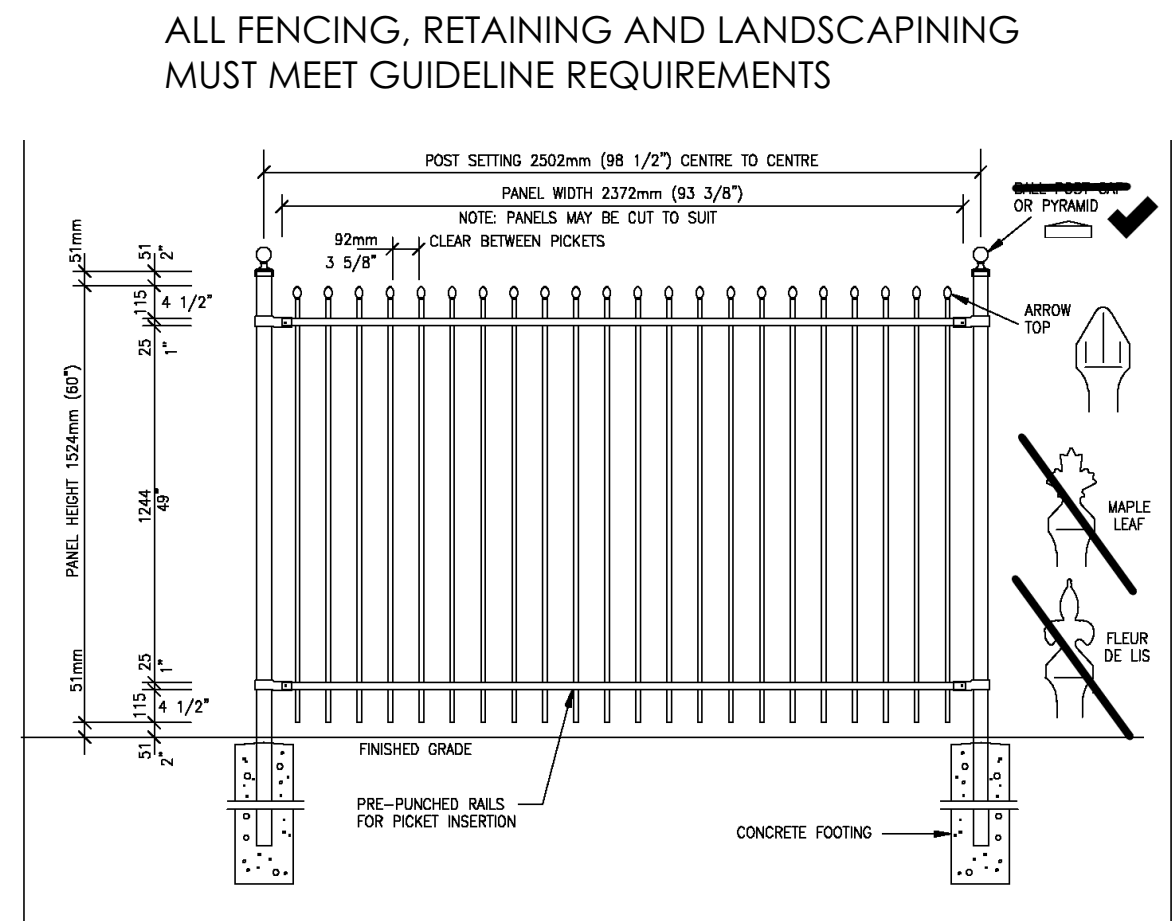
BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

5 Key Plan
1:500



3 Turning Template
Not To Scale



4 Fence Treatment
Not To Scale
(SEE LANDSCAPE PLAN FOR FENCE LOCATION)

STOP & READ
RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED
ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS
MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.
THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH
CONTRACTOR TO ENSURE A MINIMUM 2% SLOPE
SIDE YARD SWALING (BOTH SIDES) MAY BE REQUIRED

Leeward Traditional
Date
Aug. 31, 2023

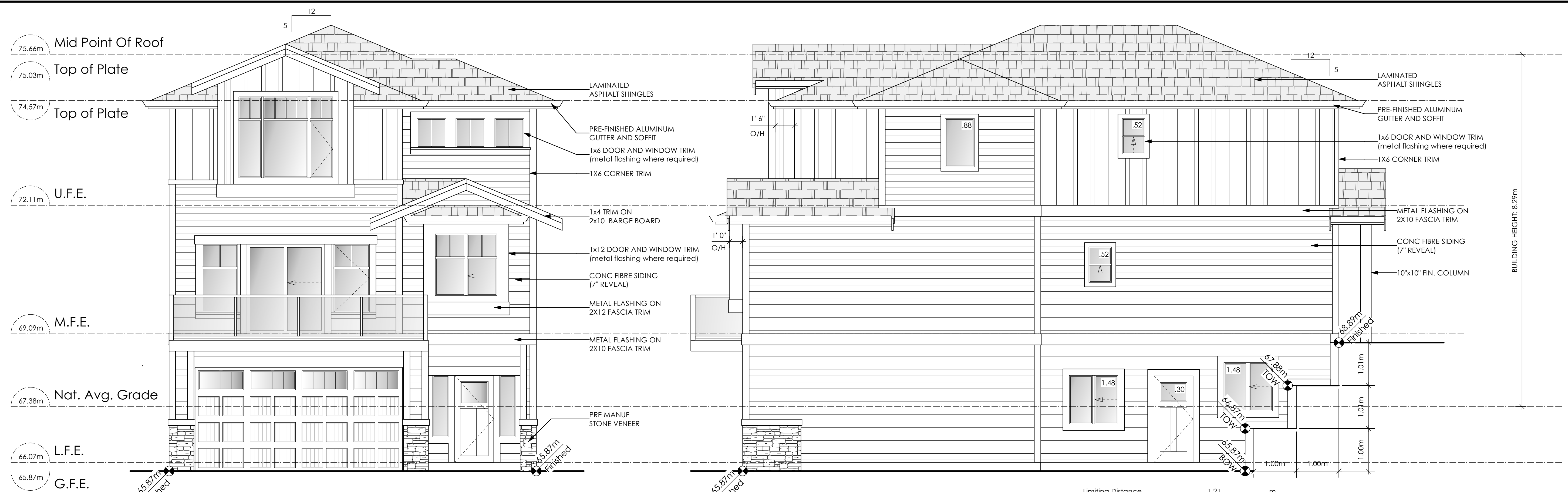
Project Address
3451 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-39

Scale
As Noted

Drawn By
MRB

Development Permit Presentation

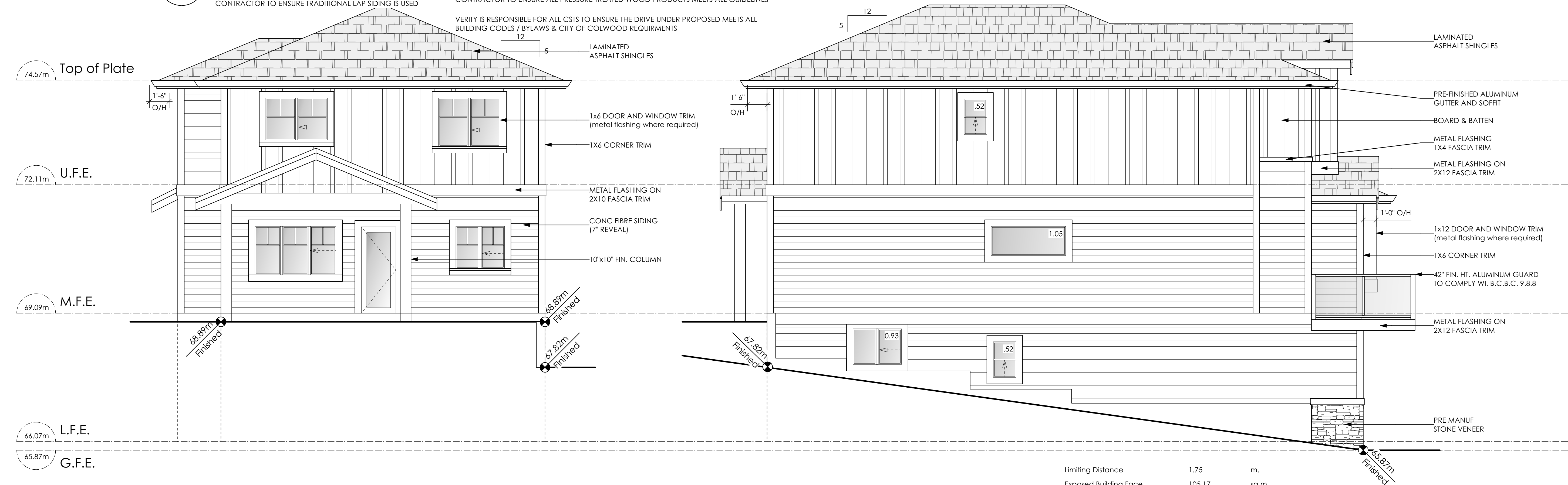


1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

2 Right Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

Limiting Distance	1.21	m.
Exposed Building Face	109.82	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.69	sq.m.
Proposed Openings	5.18	sq.m.

CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
VERITY IS RESPONSIBLE FOR ALL CSTS TO ENSURE THE DRIVE UNDER PROPOSED MEETS ALL BUILDING CODES / BYLAWS & CITY OF COLWOOD REQUIREMENTS



3 Rear Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

4 Left Side Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED

Limiting Distance	1.75	m.
Exposed Building Face	105.17	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	8.30	sq.m.
Proposed Openings	3.02	sq.m.

Leeward Traditional
Date
Aug. 31, 2023

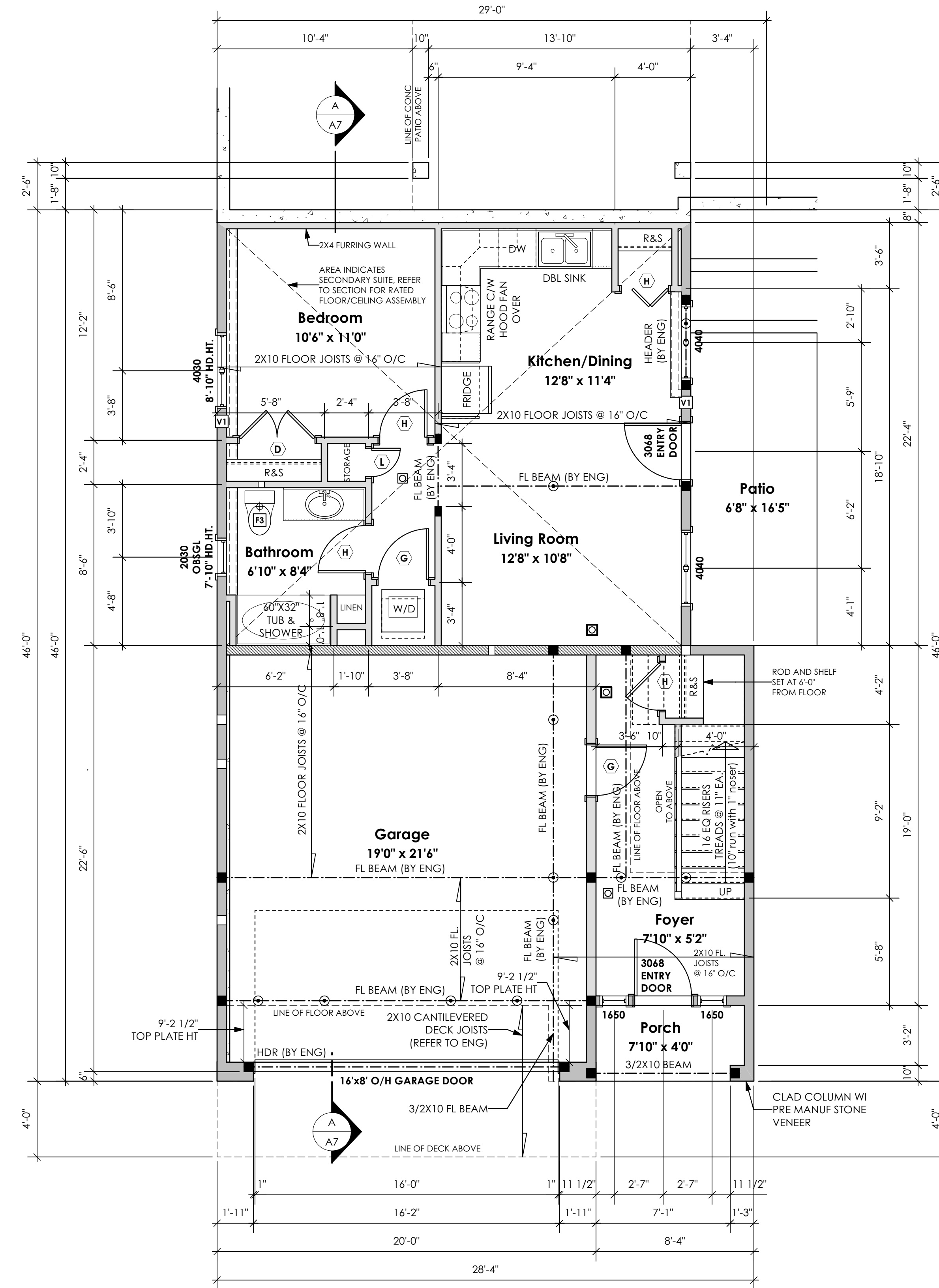
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3451 Trumpeter Street
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8298-39

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Development Permit Presentation



1 Lower Floor Plan
Scale: 1/4" = 1'-0"
PRIMARY: 157.08 sq.ft. (14.59 sq.m.)
SUITE: 576.25 sq.ft. (53.54 sq.m.)
TOTAL: 733.33 sq.ft. (68.13 sq.m.)
GARAGE: 450.00 sq.ft. (41.81 sq.m.)

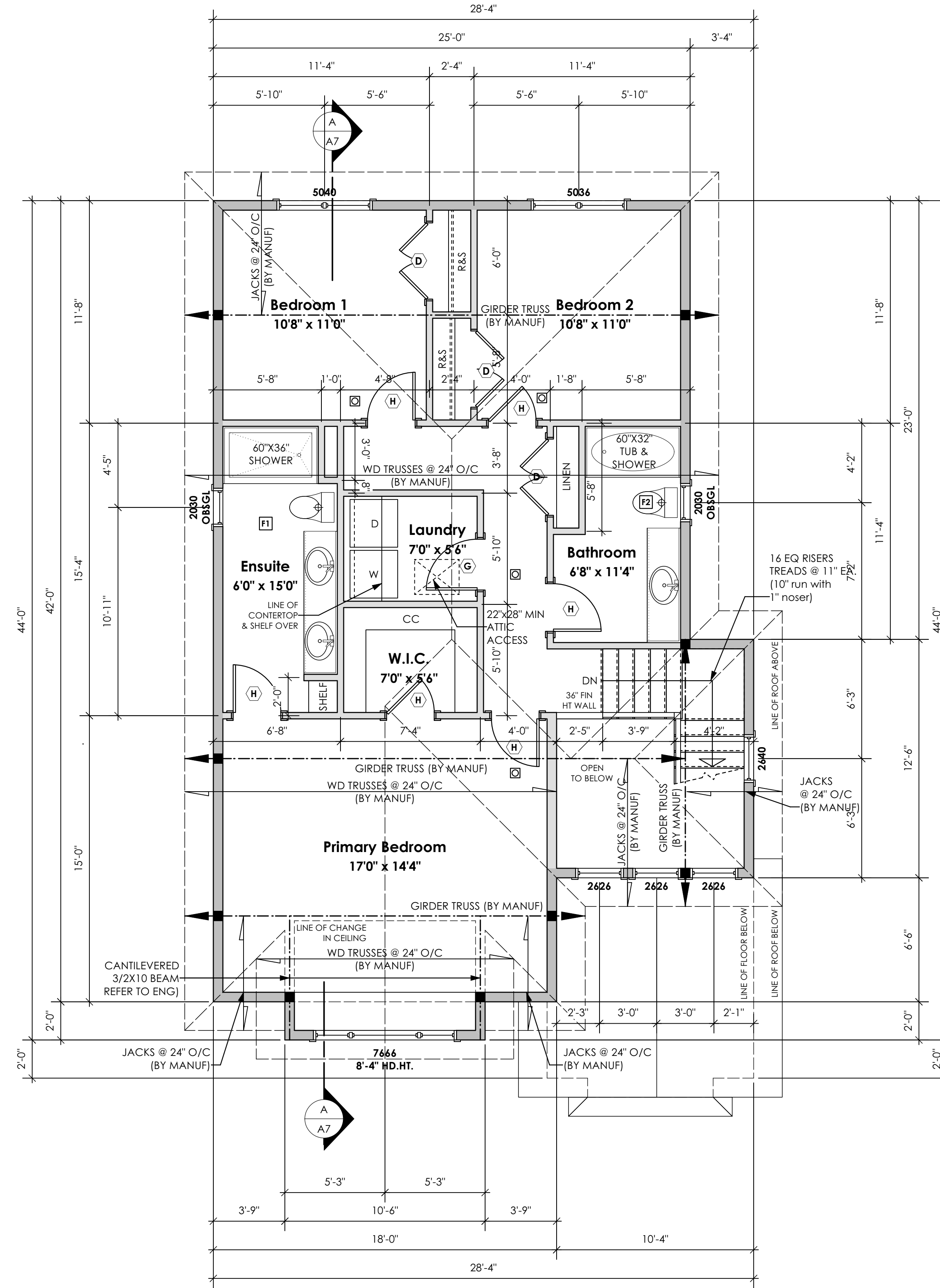
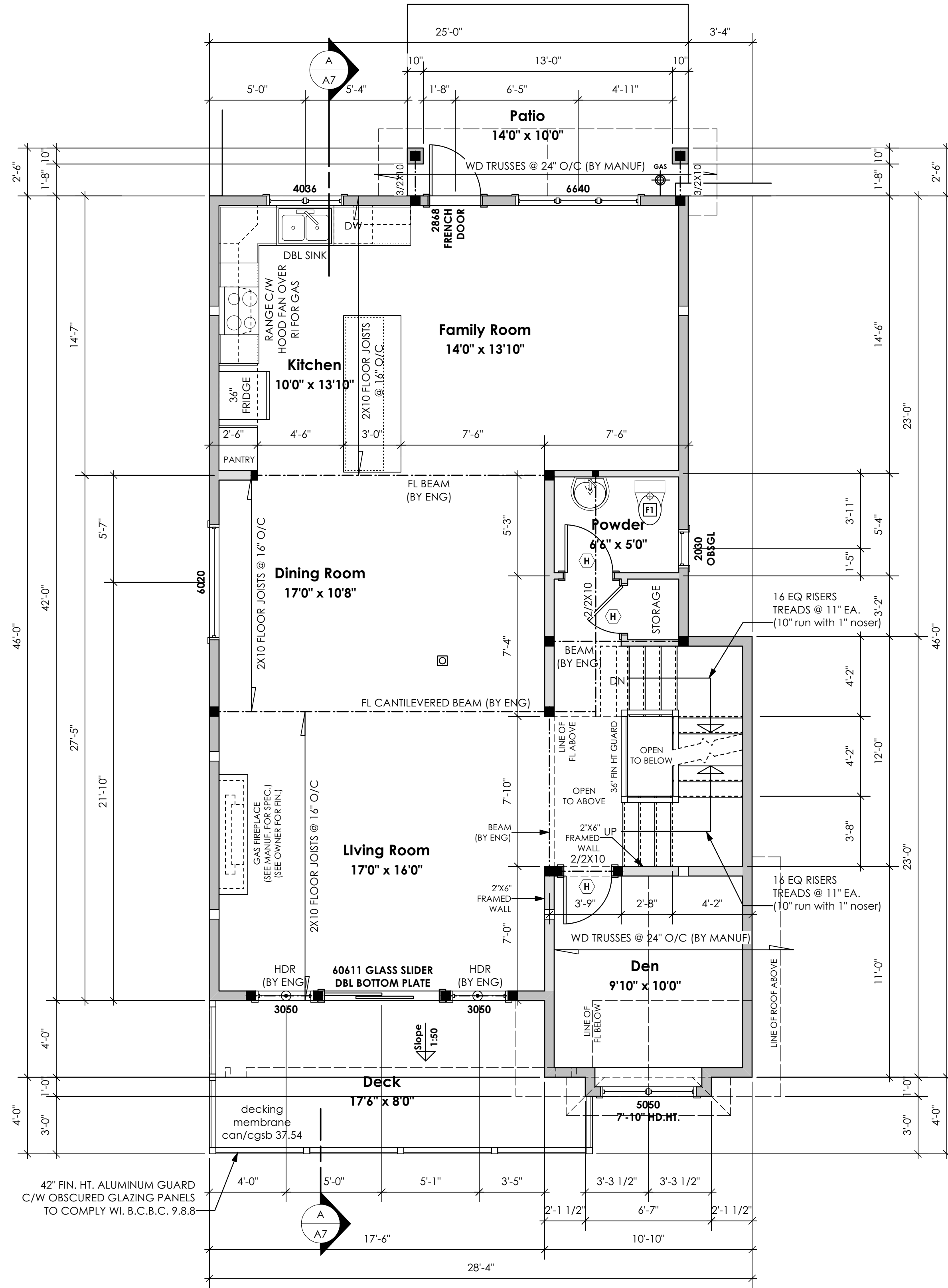
Leeward Traditional
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Leeward Traditional
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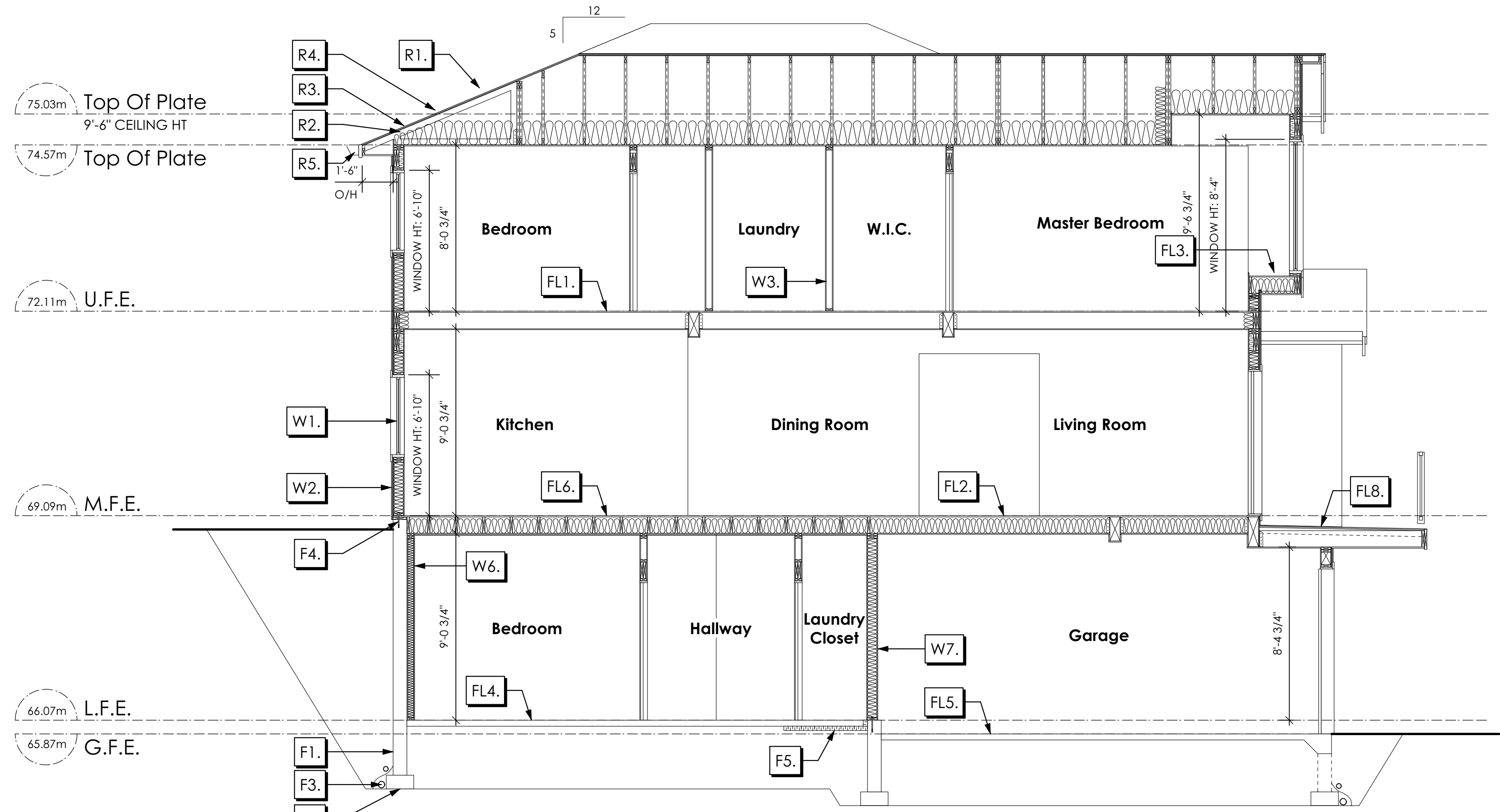
Project Address
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Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-39

Scale
As Noted

Drawn By
MRB

Development Permit Presentation



Section A-A
Scale: 1/4" = 1'-0"

Section Notes

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN WALLS TO RESIST LATERAL LOADS.

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR BRACED WALL PANELS TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 2012 9.23.1.3.2 AND SUPPLY DETAILS IF REQUIRED

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES [DESIGNED BY MANUF.] 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.1)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE)
- FL3. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL6. F&D RATED FLOOR ASSEMBLY (BC BUILDING CODE TABLE 9.10.3.1.B) FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQ. (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R. 43 S.T.C.

WALLS

- FL7. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL) (SLOPE JOISTS TO PROVIDE MIN. 1:50 SLOPE) (NOT IN SECTION)
- FL8. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD C/W "H" CLIPS TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL)

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2 1/2"x10" LINTEL OVER @ BEARING WALLS ONLY (TYPICAL WL. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-4 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 1017.5.2/A440, "NAFS": LANGFORD, CLASS R. DP 960, PG 20, WATER RESIST. 220. A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W4. PRE-MANUFACTURED STONE VENEER (INSTALLED TO MANUF. SPEC) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" (AS REQUIRED) (NOT SHOWN IN SECTION)

WALLS

- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.1.6.)
- W7. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING / GARAGE & SECONDARY SUITE)

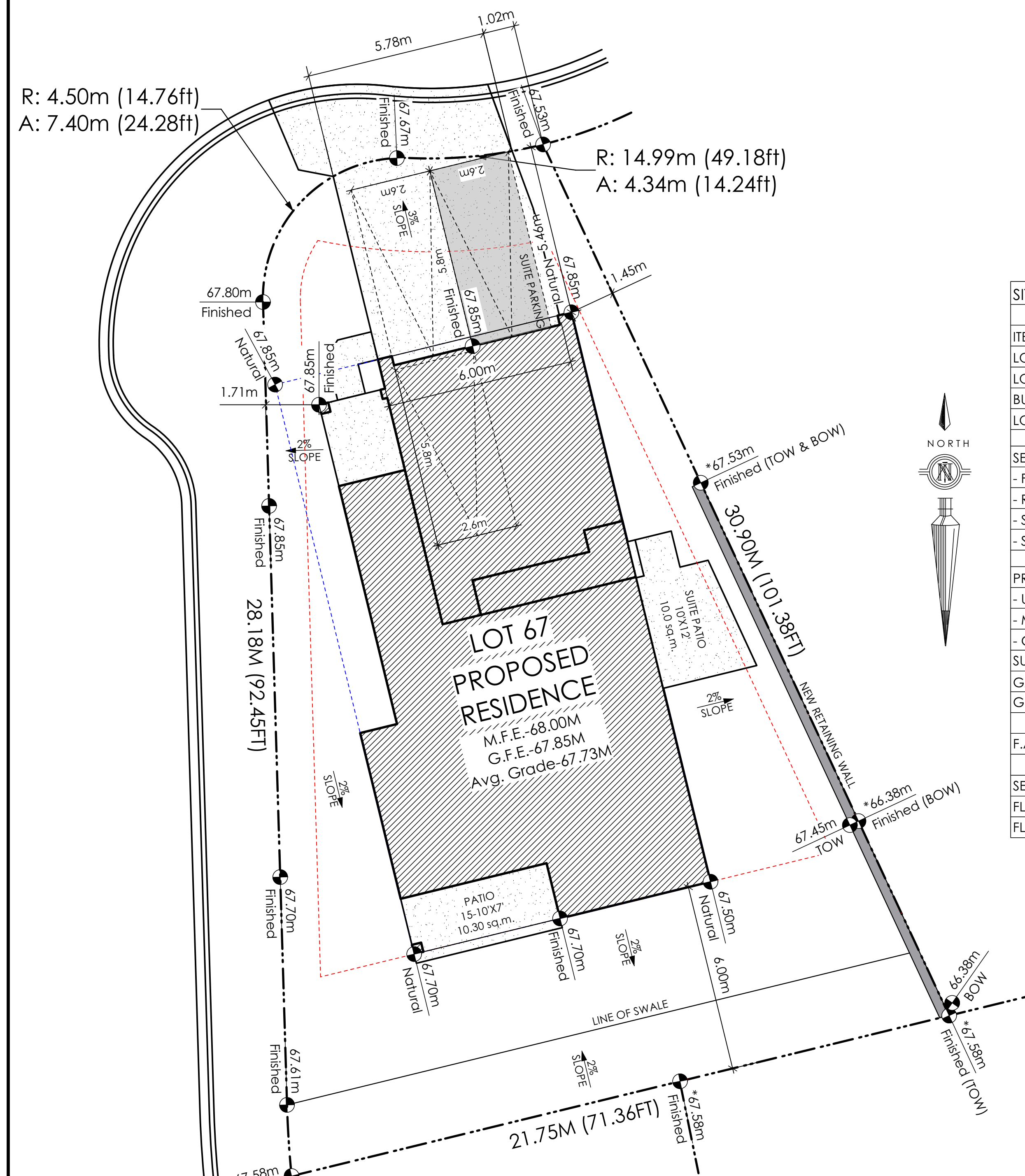
FOUNDATION WALLS

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE) (NOT IN SECTION)

Leeward Traditional
Date
Aug. 31, 2023

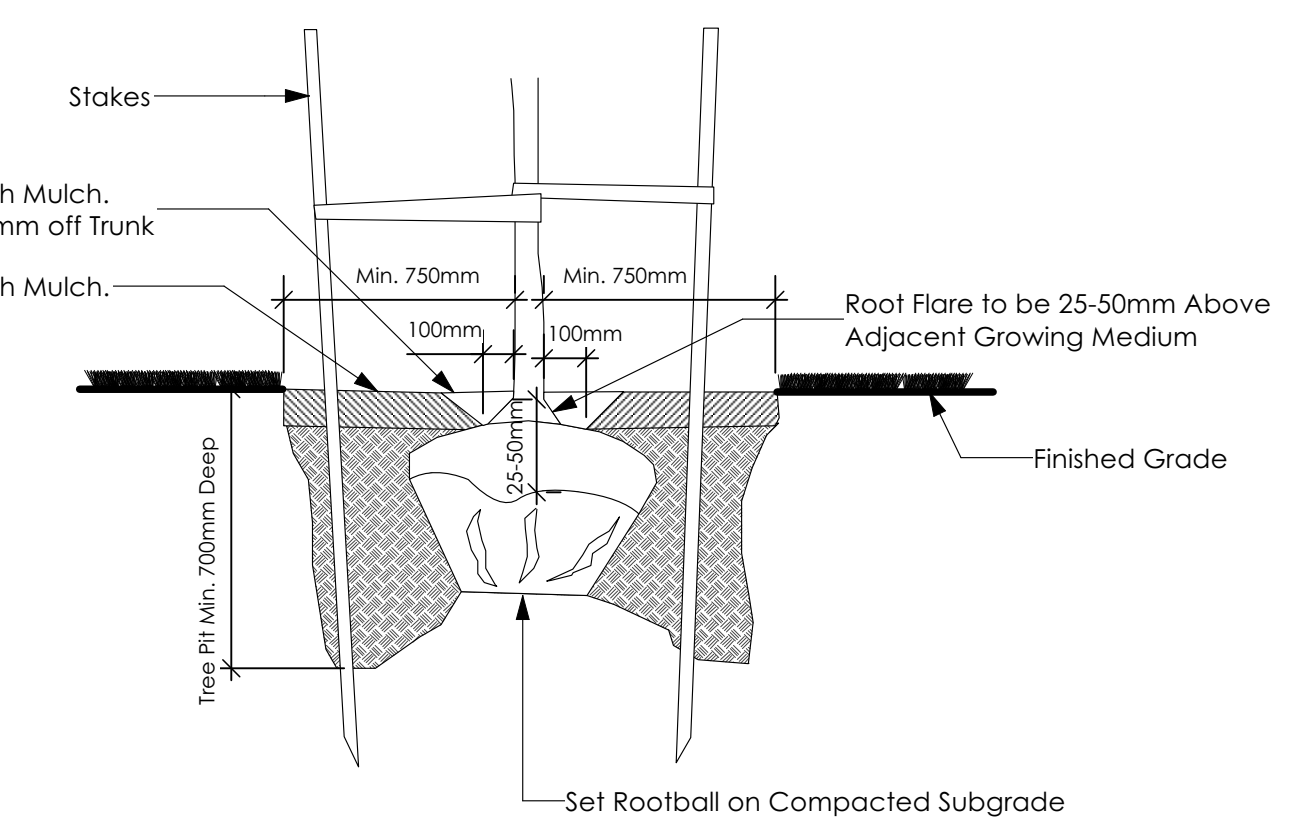
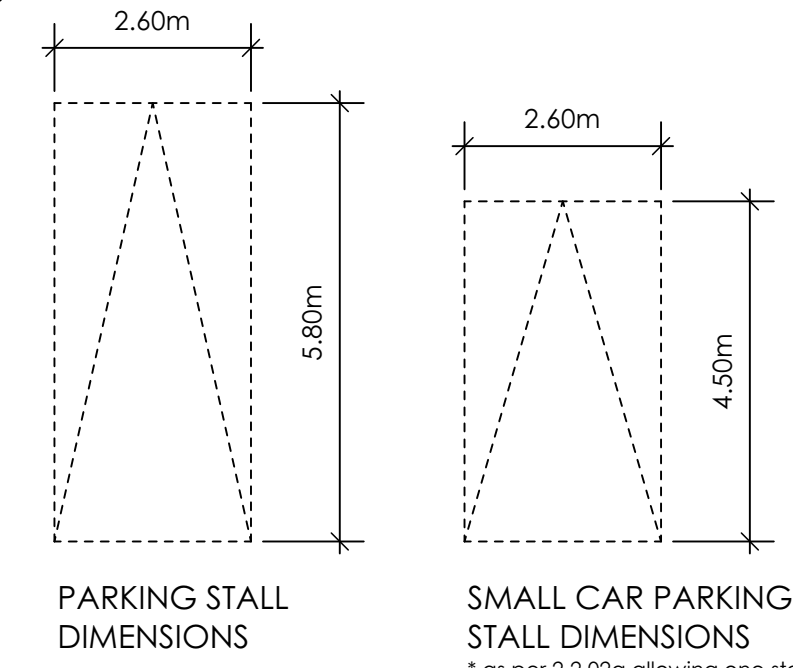
Project Address
3451 Trumpeter Street
Royal Bay - Sector 7
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-39
Scale
As Noted
Drawn By
MRB



SITE DATA	RBCD5	LOT 67
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	474.74 sq.m.
LOT COVERAGE	50.00 %	35.51 %
BUILDING HEIGHT	9.50 m.	7.29 m.
LOT WIDTH	10.97 m.	11.74 m.
SETBACKS		
- FRONT	4.50 m.	5.46 m.
- REAR	6.00 m.	6.00 m.
- SIDE	1.20 m.	1.45 m.
- SIDE	1.20 m.	1.71 m.
PROPOSED FLOOR AREA		
- UPPER		137.86 sq.m.
- MAIN		104.42 sq.m.
- GARAGE		47.53 sq.m.
SUB-TOTAL G.F.A.		289.81 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-47.53 sq.m.
GROSS FLOOR AREA		242.28 sq.m.
F.A.R.		0.51 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	27.03 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	65.48 sq.m.

1 Siteplan
Scale: 1:100



4 Tree Planting Detail
Not To Scale

*GRADE POINTS ALTERED FROM EXISTING GRADE SLIP. APPROVAL FROM GABLE CRAFT TO ALTER GRADE POINT HAS PREVIOUSLY BEEN ACQUIRED.

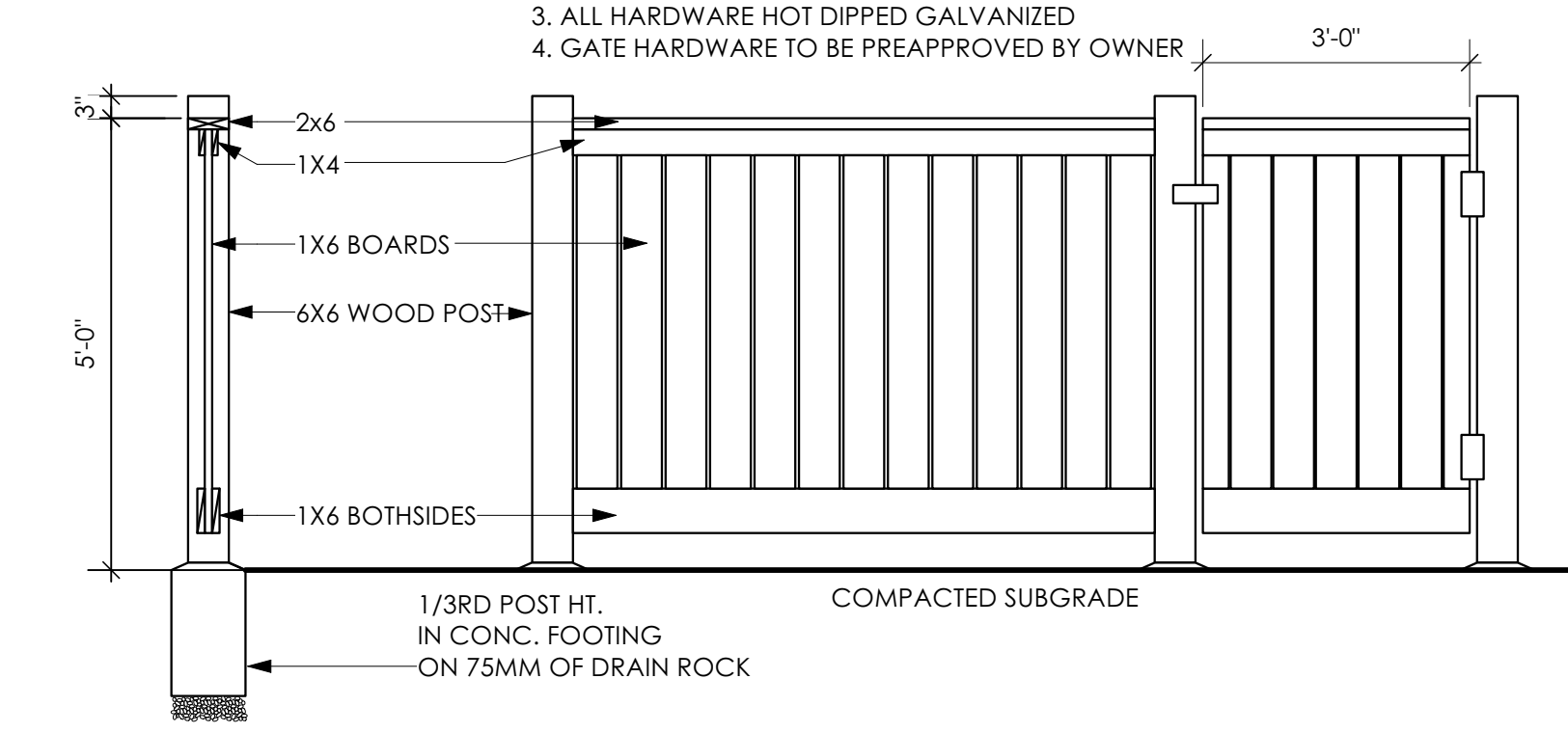
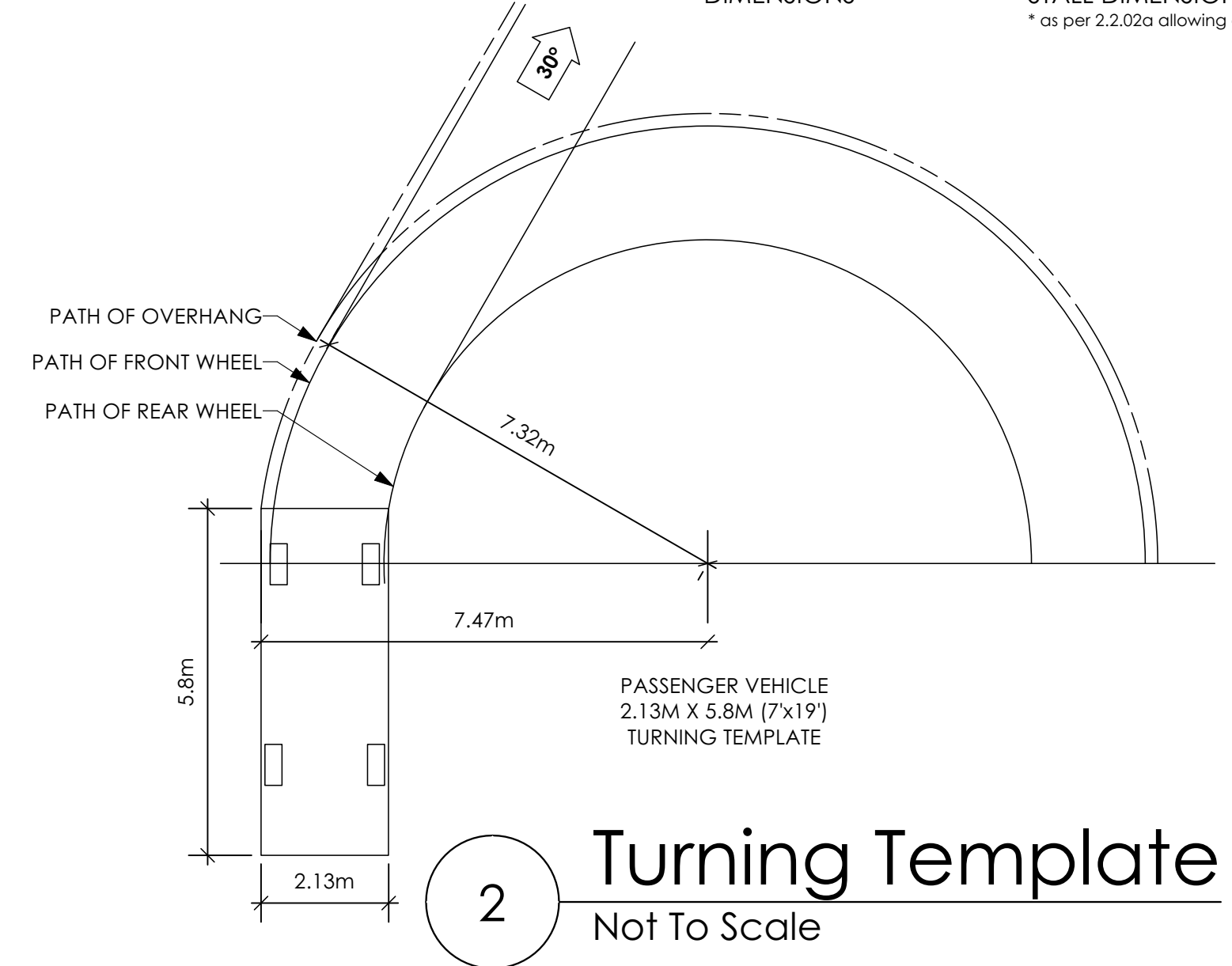
STOP & READ

- RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED
- BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.
- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS
- MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.
- THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH
- THE SLEEVES TO BE INSTALLED BY THE BUILDER
- ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION

AVERAGE NATURAL GRADE CALCULATION:
67.85M + 67.85M + 67.50M + 67.70M = 270.90M/4 = 67.73M

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



3 Typical Fence Detail
Not To Scale

THE PEARL
(MODIFIED) CRAFTSMAN

Date

Sept 14, 2023

Project Address

3462 TRUMPETER STREET
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-67

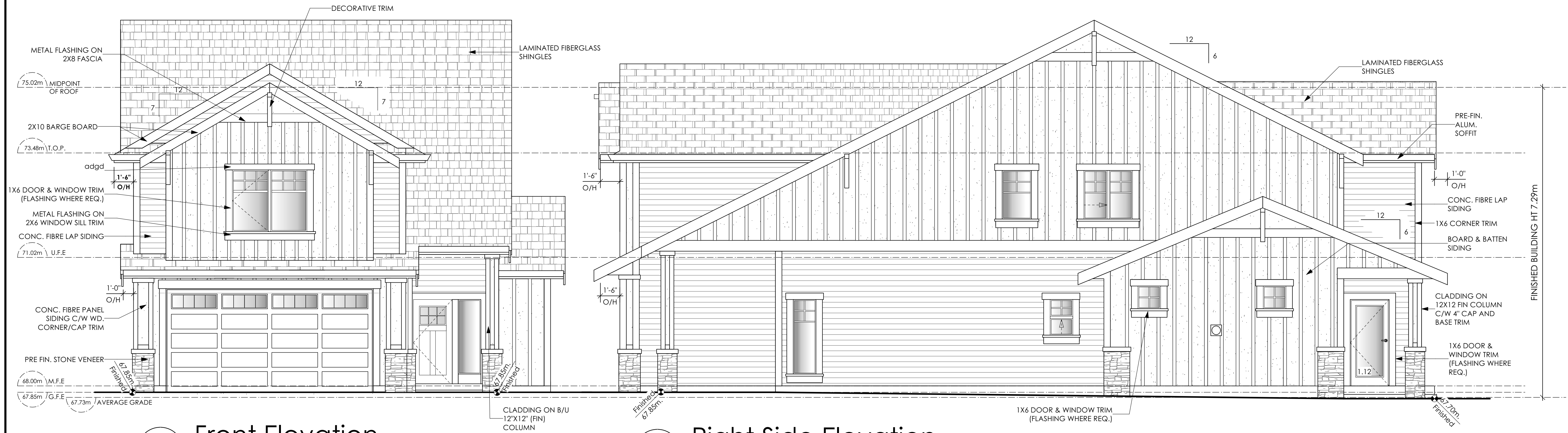
Scale

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MRB

Development Permit Presentation



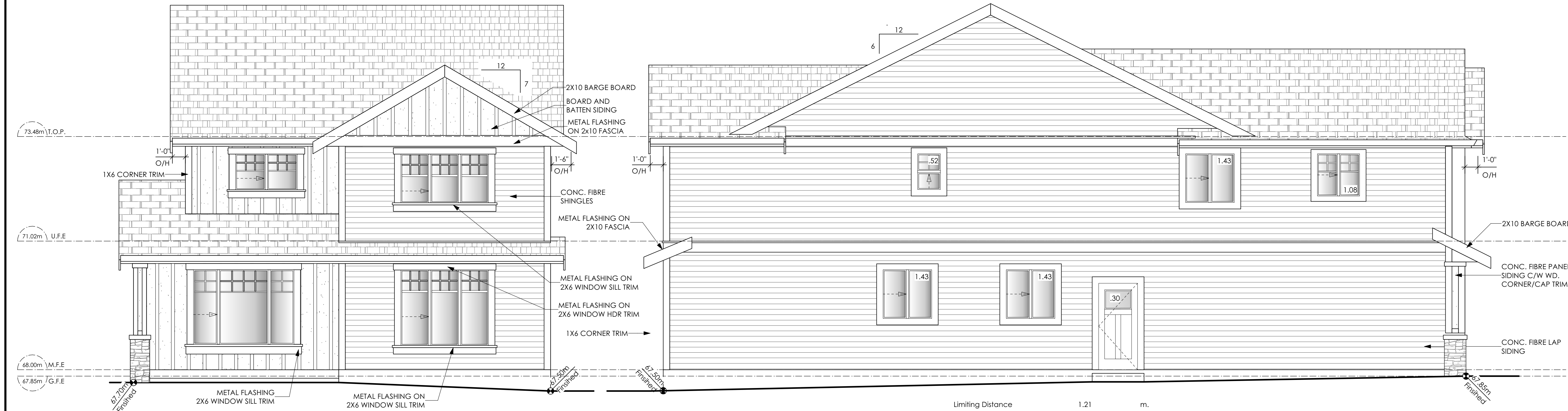
1 **Front Elevation**

Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED
 CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED
 CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
 ALL HIGH VISIBILITY PTW IS REQUIRED TO BE STAINED AS PER GUIDELINES

2 **Right Side Elevation**

Scale: 1/4" = 1'-0"



3 **Rear Elevation**

Scale: 1/4" = 1'-0"

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW

4 **Left Side Elevation**

Scale: 1/4" = 1'-0"

Limiting Distance	1.21	m.
Exposed Building Face	104.95	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.34	sq.m.
Proposed Openings	6.19	sq.m.

THE PEARL
 (MODIFIED) CRAFTSMAN

Date

Sept 14, 2023

Project Address

3462 TRUMPETER STREET
 Royal Bay - Sector 7
 Colwood, B.C.

Prepared for

Verity Construction

Project #

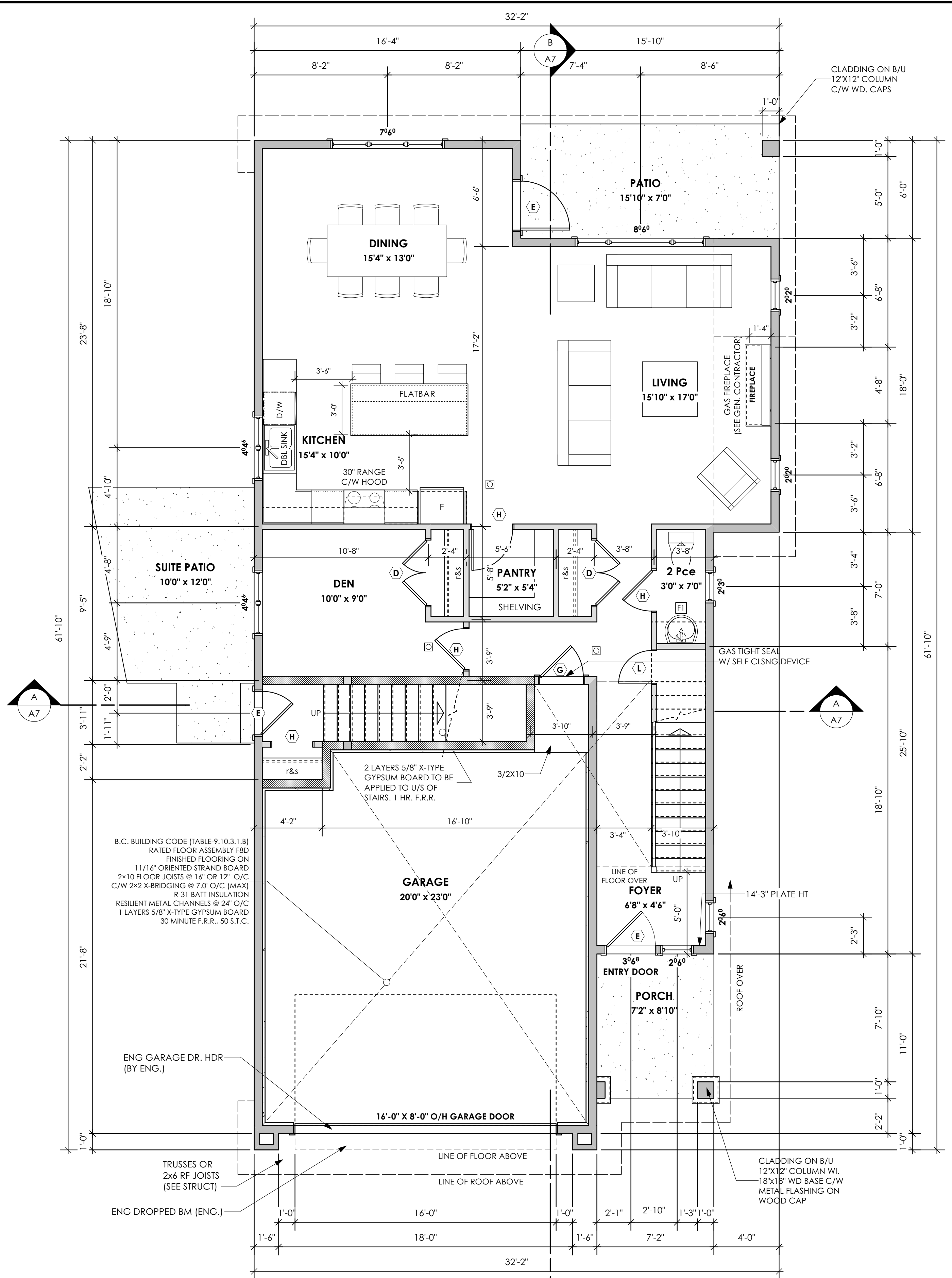
8298-67

Scale

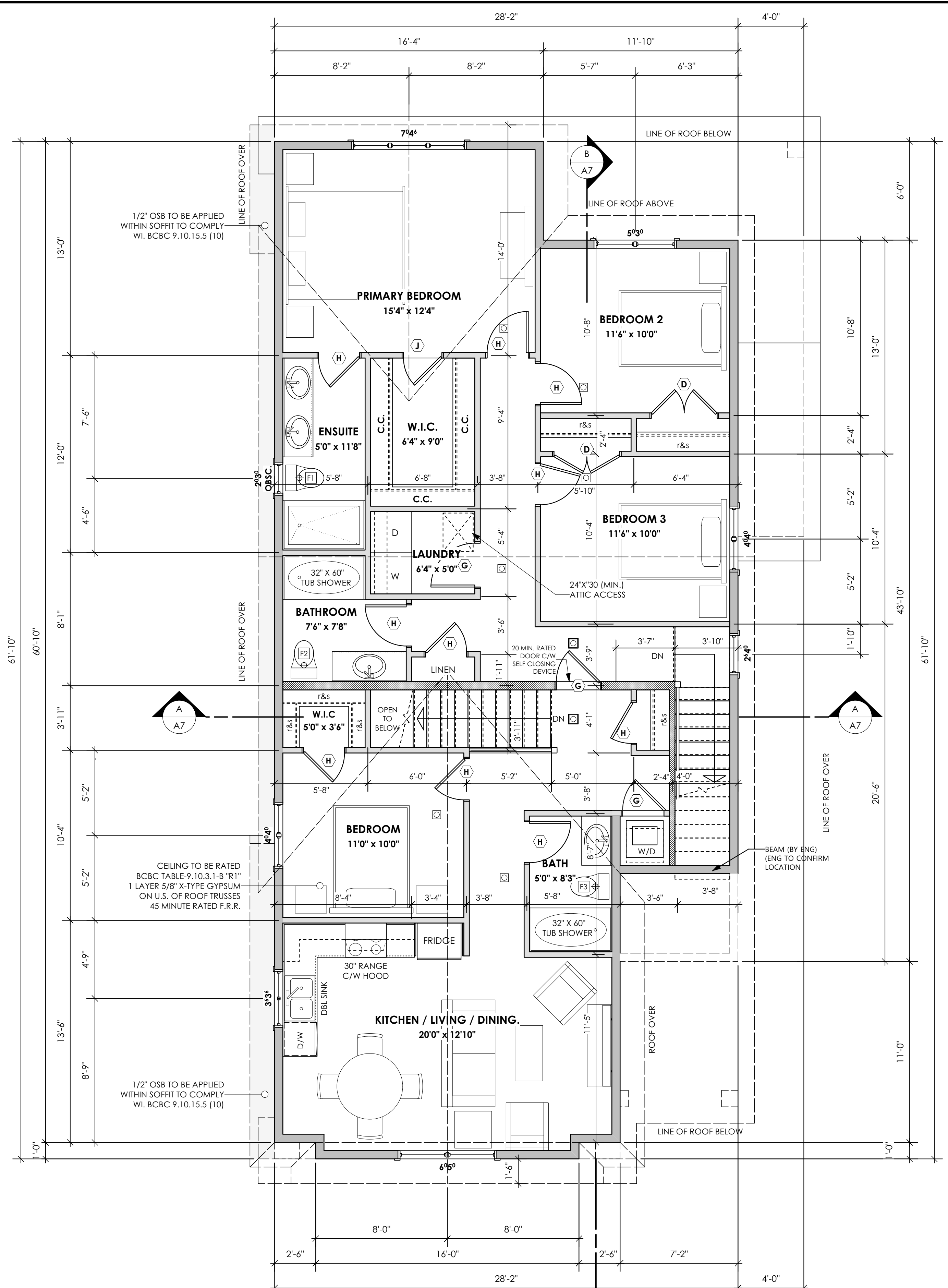
As Noted

Drawn By

MRB



1 Main Floor Plan
 Scale: 1/4" = 1'-0"
 Primary: 1055.97 sq.ft. (98.10 sq.m.)
 Suite: 68.06 sq.ft. (6.32 sq.m.)
 Total: 1124.03 sq.ft. (104.42 sq.m.)
 Garage: 511.61 sq.ft. (47.53 sq.m.)



2 Upper Floor Plan
 Scale: 1/4" = 1'-0"
 Primary: 847.11 sq.ft. (78.70 sq.m.)
 Suite: 636.81 sq.ft. (59.16 sq.m.)
 Total: 1483.92 sq.ft. (137.86 sq.m.)

THE PEARL
 (MODIFIED) CRAFTSMAN

Date

Sept 14, 2023

Project Address

3462 TRUMPETER STREET
 Royal Bay - Sector 7
 Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-67

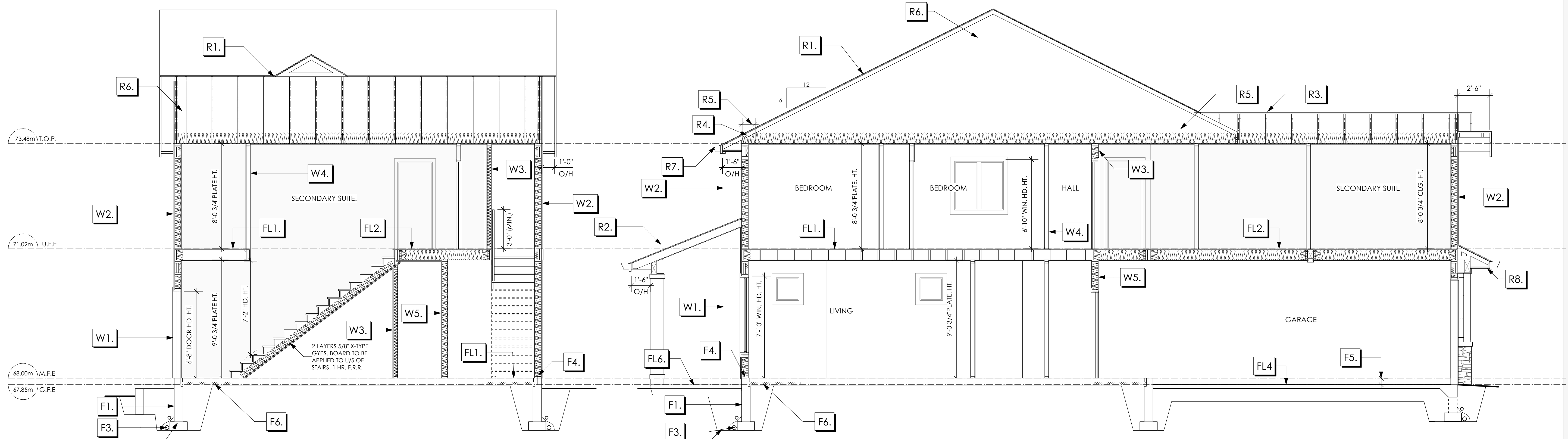
Scale

As Noted

Drawn By

MRB

Development Permit Presentation



1 Section A-A
Scale: 1/4" = 1'-0"

2 Section B-B
Scale: 1/4" = 1'-0"

Section Notes

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS 2x8 ROOF JOISTS @ 16" O/C VENTED SOFFIT
- R3. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED ROOF ASSEMBLY LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLAS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R.
- R4. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.1)
- R5. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R8. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL. W/ 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM CITY OF COLWOOD BUILDING BYLAW AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.2/A440, "NAFS": COLWOOD, CLASS R - PG30 (220) A3. RATINGS MUST BE CLEARLY LABELED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION BUILDING WRAP OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.14.)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE
- F6. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

THE PEARL
(MODIFIED) CRAFTSMAN

Date

Sept 14, 2023

Project Address

3462 TRUMPETER STREET
Royal Bay - Sector 7
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-67

Scale

As Noted

Drawn By

MRB

SITE DATA	RBCD5	LOT 68
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	469.50 sq.m.
LOT COVERAGE	50.00 %	38.36 %
BUILDING HEIGHT	9.50 m.	7.26 m.
SETBACKS		
- FRONT	3.00 m.	5.80 m.
- FRONT (GARAGE)	6.00 m.	6.24 m.
- REAR	6.00 m.	11.64 m.
- RIGHT SIDE	1.20 m.	1.50 m.
- LEFT SIDE	1.20 m.	1.29 m.
PROPOSED FLOOR AREA		
- UPPER		156.21 sq.m.
- MAIN		114.32 sq.m.
- GARAGE		47.37 sq.m.
SUB-TOTAL G.F.A.		270.53 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-47.37 sq.m.
GROSS FLOOR AREA		223.16 sq.m.
F.A.R.		
		0.48 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	34.65 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	77.32 sq.m.

AVERAGE NATURAL GRADE CALCULATION:
 $67.05M + 67.05M + 67.30M + 66.30M = 268.70M/4 = 67.18M$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

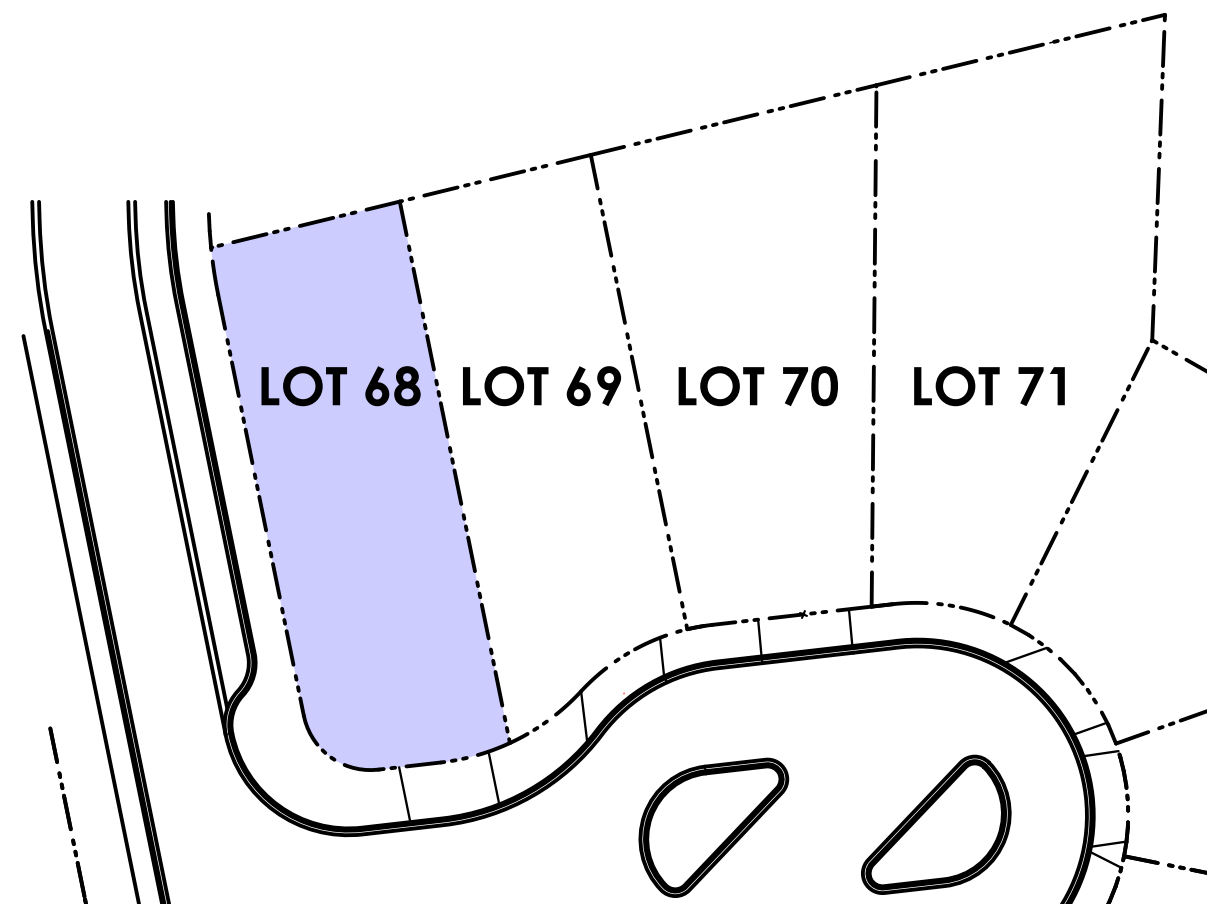
- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

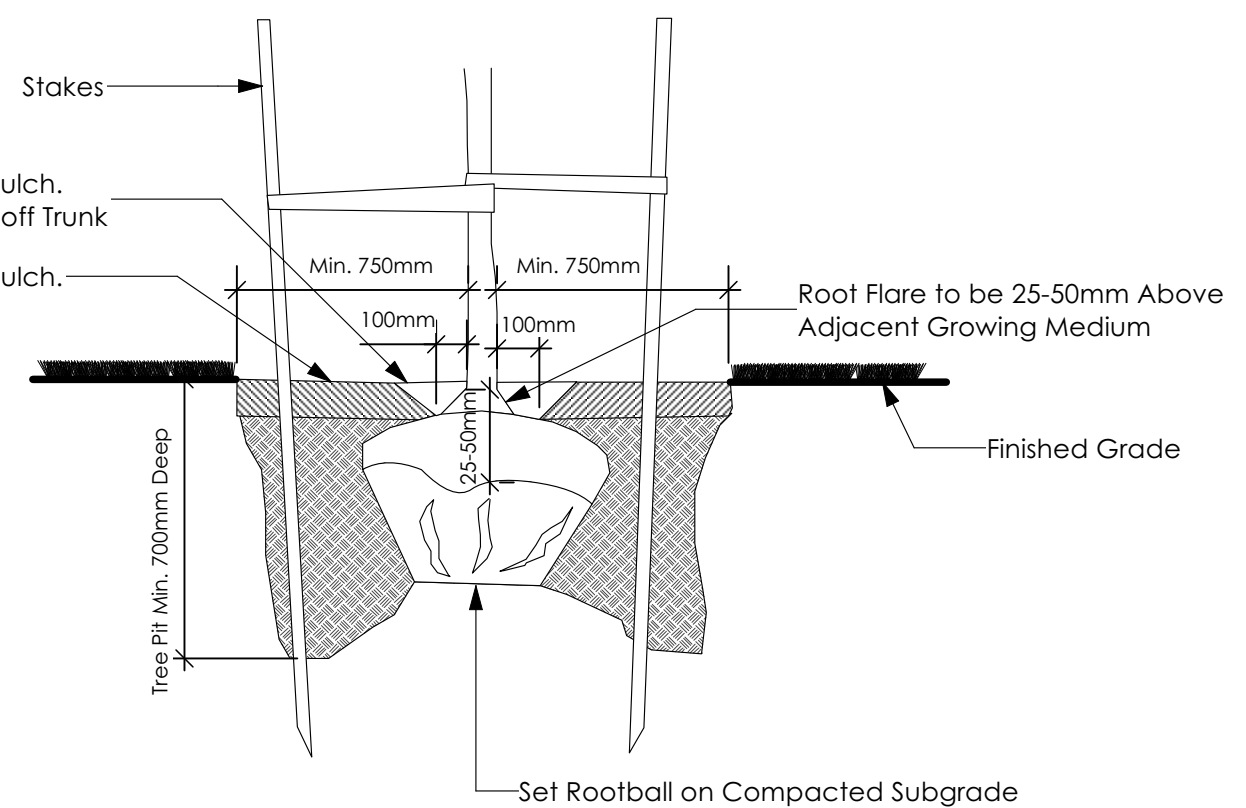
THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

THE SLEEVES TO BE INSTALLED BY THE BUILDER

ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



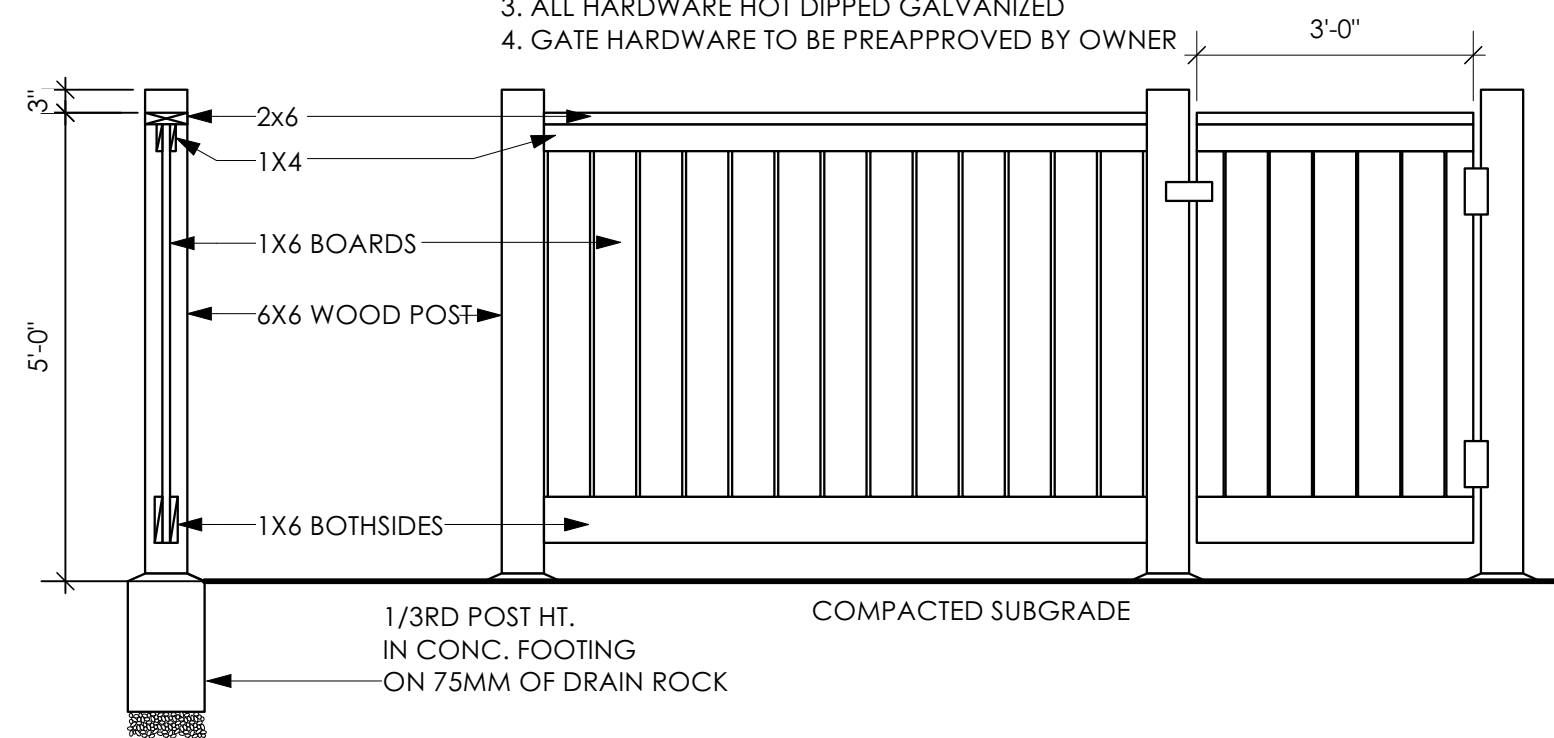
2 Key Plan
1: 500



3 Tree Planting Detail
Not To Scale

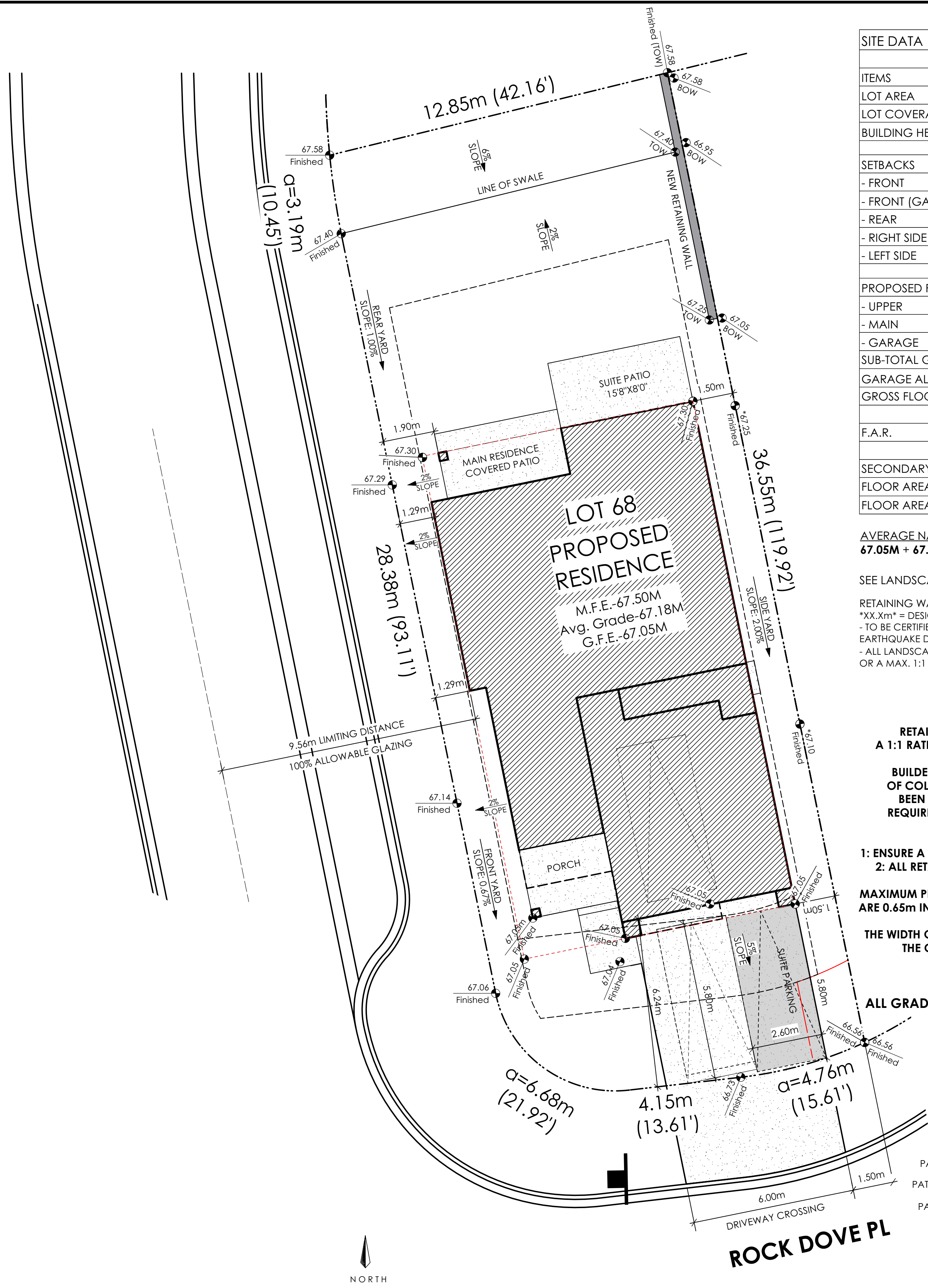
All trees and plants by the home owner to be

- TYPICAL FENCE NOTES:
1. ALL WOOD P.T., HEM FIR.
 2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
 3. ALL HARDWARE HOT DIPPED GALVANIZED
 4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



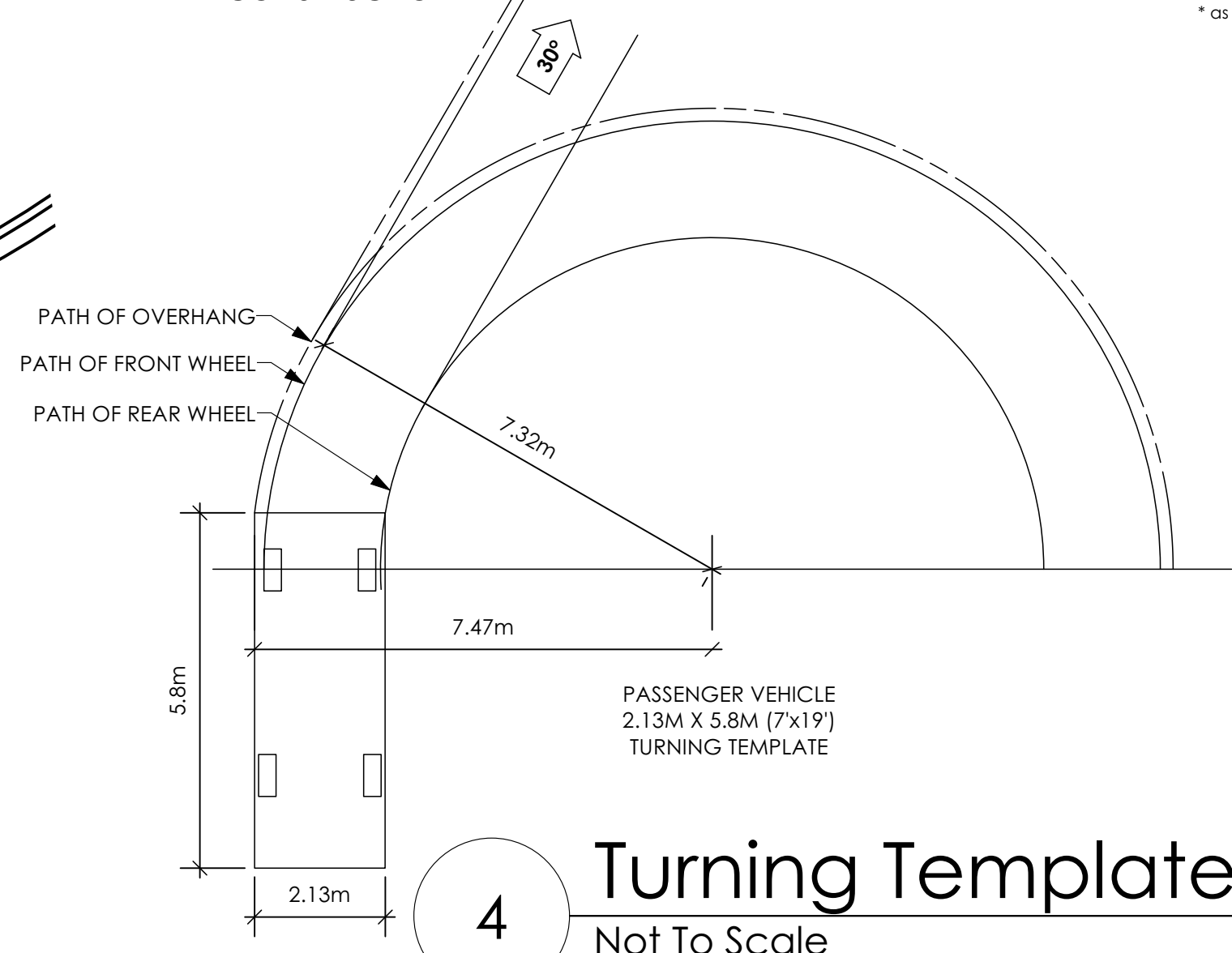
5 Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

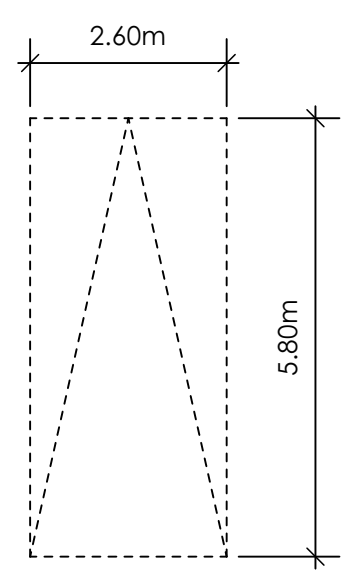


1 Site Plan
Scale: 1:100

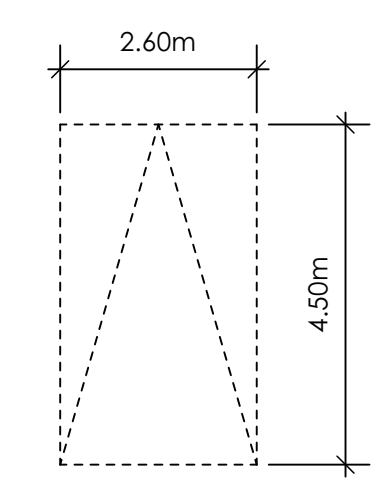
*GRADE POINTS ALTERED FROM EXISTING GRADE SLIP. APPROVAL FROM GABLE CRAFT TO ALTER GRADE POINT HAS PREVIOUSLY BEEN ACQUIRED.



4 Turning Template
Not To Scale



PARKING STALL DIMENSIONS



SMALL CAR PARKING STALL DIMENSIONS

* as per 2.2.02a allowing one stall to be a small car parking stall planted in minimum 10m² of fertile topsoil, 700mm Deep

Date
Sept 14, 2023

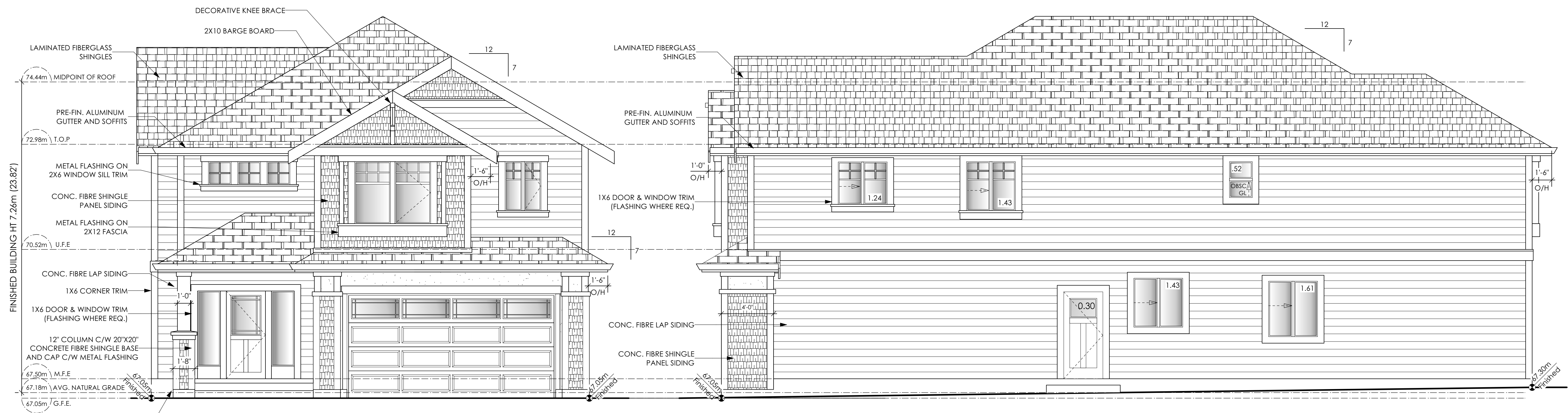
Project Address
Royal Bay Sector 7
Verity Construction
420 Rock Dove Pl
Lot 68
Langford, B.C.
Prepared for
Verity Construction

Project #
8298-68

Scale
Not to Scale

Drawn By
JTE

Royal Bay Sector 7 Phase 2, Lot 68 Development Permit Presentation

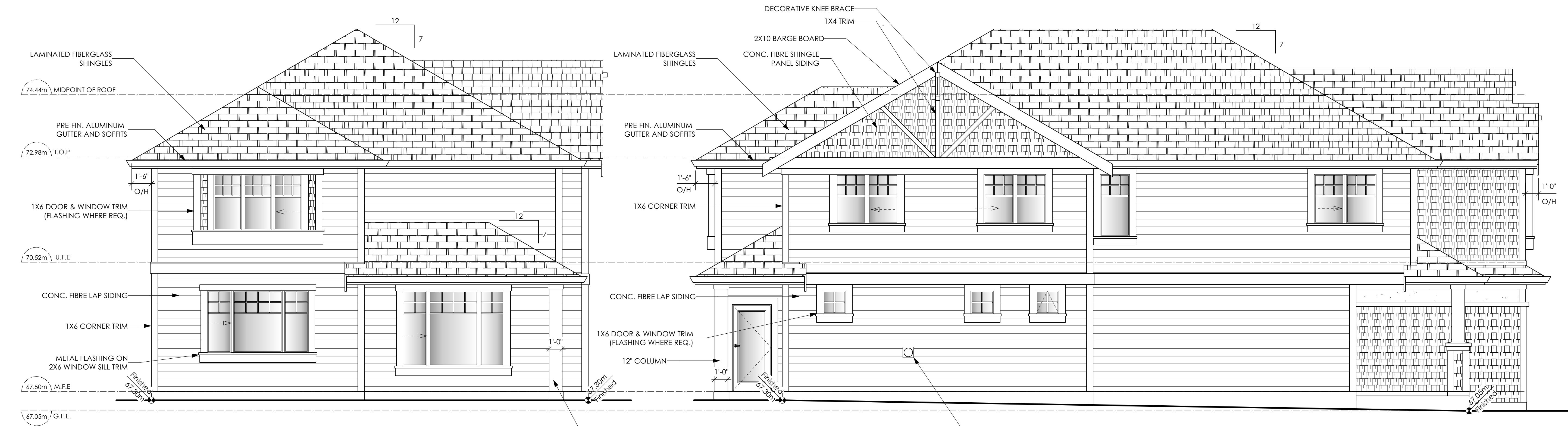


6 Front Elevation
 Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:
 ALL REQUIRED FLASHING ARE NON-GALVANISED
 ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
 TRADITIONAL LAP SIDING IS USED
 ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

7 Right Side Elevation
 Scale: 1/4" = 1'-0"

Limiting Distance	1.50	m.
Exposed Building Face	109.86	sq.m.
Allowable Openings	8.00	%
Allowable Opening Area	8.79	sq.m.
Proposed Openings	6.53	sq.m.



8 Rear Elevation
 Scale: 1/4" = 1'-0"

9 Left Side Elevation
 Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:
 ALL REQUIRED FLASHING ARE NON-GALVANISED
 ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
 TRADITIONAL LAP SIDING IS USED
 ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

Date

Sept 14, 2023

Project Address

Royal Bay Sector 7
 Verity Construction
 420 Rock Dove Pl
 Lot 68
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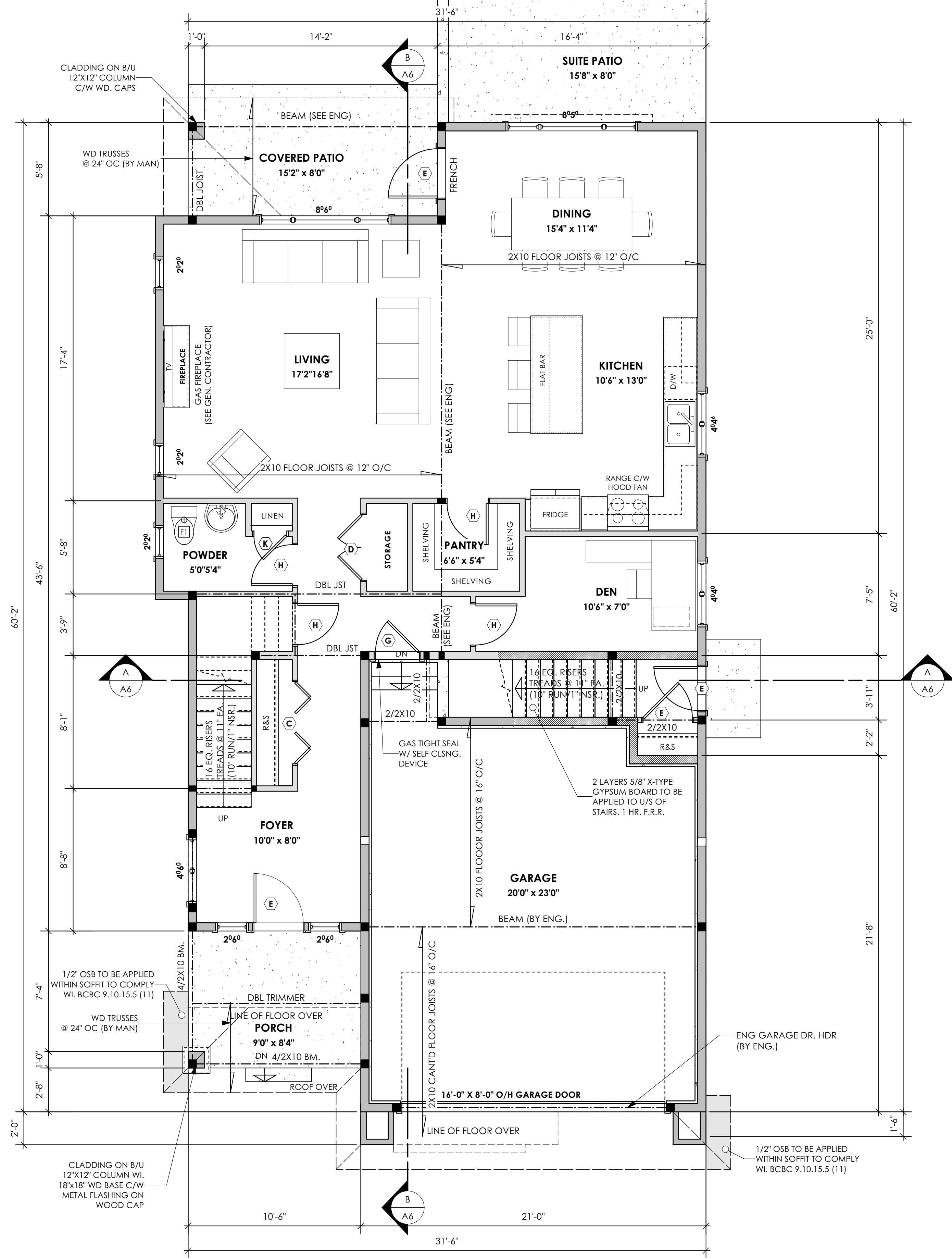
Scale

Not to Scale

Drawn By

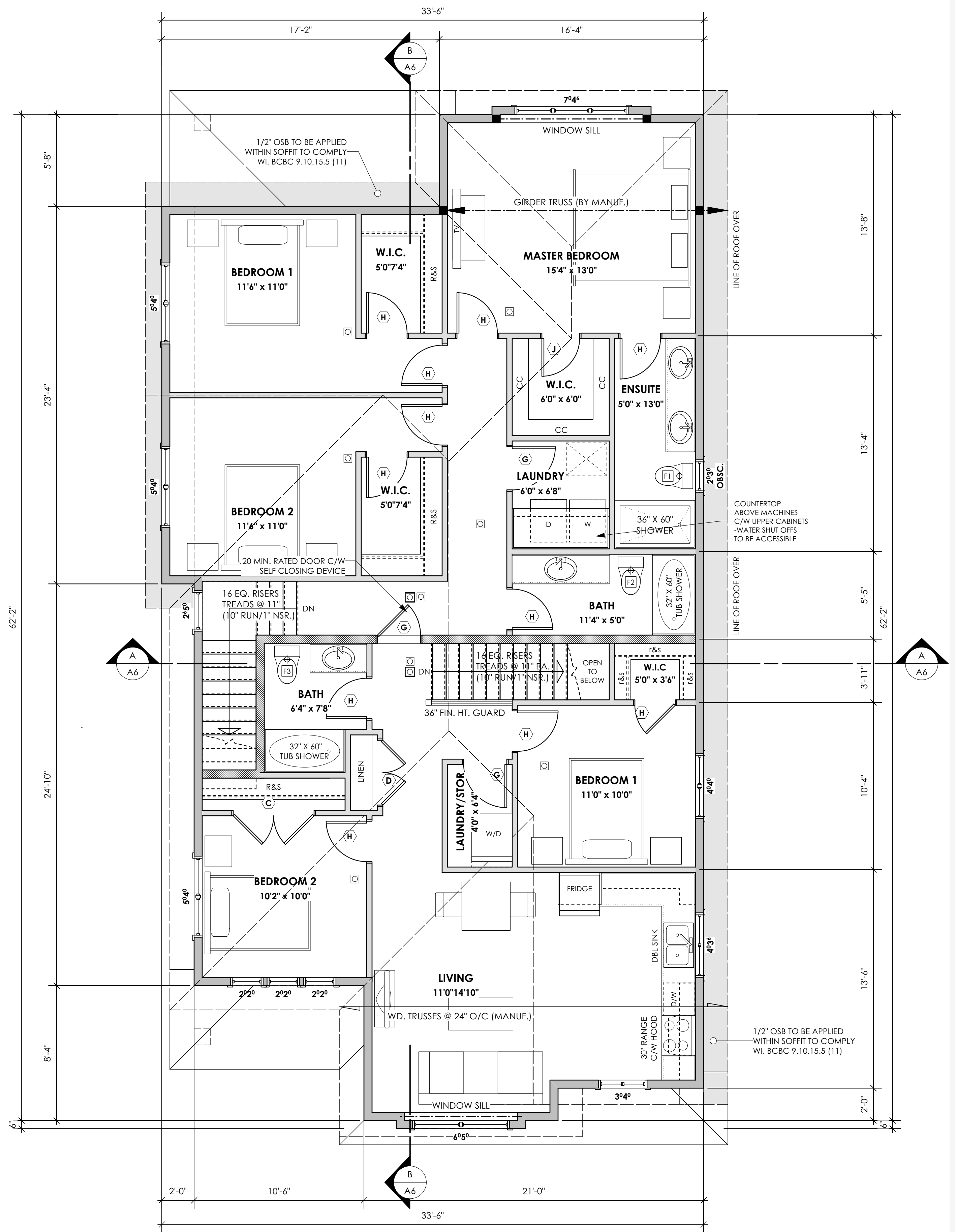
JTE

Royal Bay Sector 7 Phase 2, Lot 68 Development Permit Presentation



10 Main Floor Plan
Scale: 1/4" = 1'-0"

Primary: 1157.72 sq.ft. (107.56 sq.m.)
Suite: 72.85 sq.ft. (6.77 sq.m.)
Total: 1230.57 sq.ft. (114.32 sq.m.)
Garage: 509.90 sq.ft. (47.37 sq.m.)



11 Upper Floor Plan
Scale: 1/4" = 1'-0"

Primary: 968.65 sq.ft. (89.99 sq.m.)
Suite: 759.39 sq.ft. (70.55 sq.m.)
Total: 1728.04 sq.ft. (160.54 sq.m.)

Royal Bay Sector 7 Phase 2, Lot 68 Development Permit Presentation

Date
Sept 14, 2023

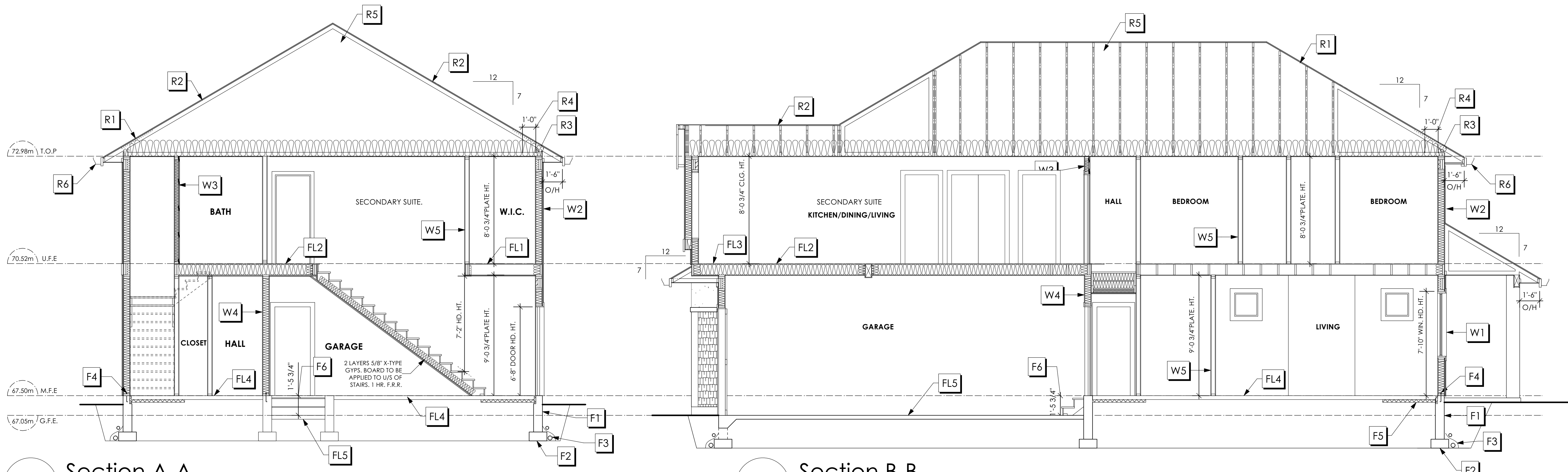
Project Address
Royal Bay Sector 7
Verity Construction
420 Rock Dove Pl
Lot 68
Langford, B.C.

Prepared for
Verity Construction

Project #
8298-68

Scale
Not to Scale

Drawn By
JTE



12 Section A-A
Scale: 1/4" = 1'-0"

13 Section B-B
Scale: 1/4" = 1'-0"

Section Notes

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"X8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL, WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3, AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/JWDMA/CSA 1011.S.2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3C 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W5. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D 30 MINUTE F.R.R., 50 S.T.C. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYER 5/8" X-TYPE GYPSUM BOARD
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- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED ROOF ASSEMBLY R1 45 MINUTE RATED F.R.R. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" X-TYPE GYPSUM BOARD
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

Royal Bay Sector 7 Phase 2, Lot 68 Development Permit Presentation

Date
Sept 14, 2023

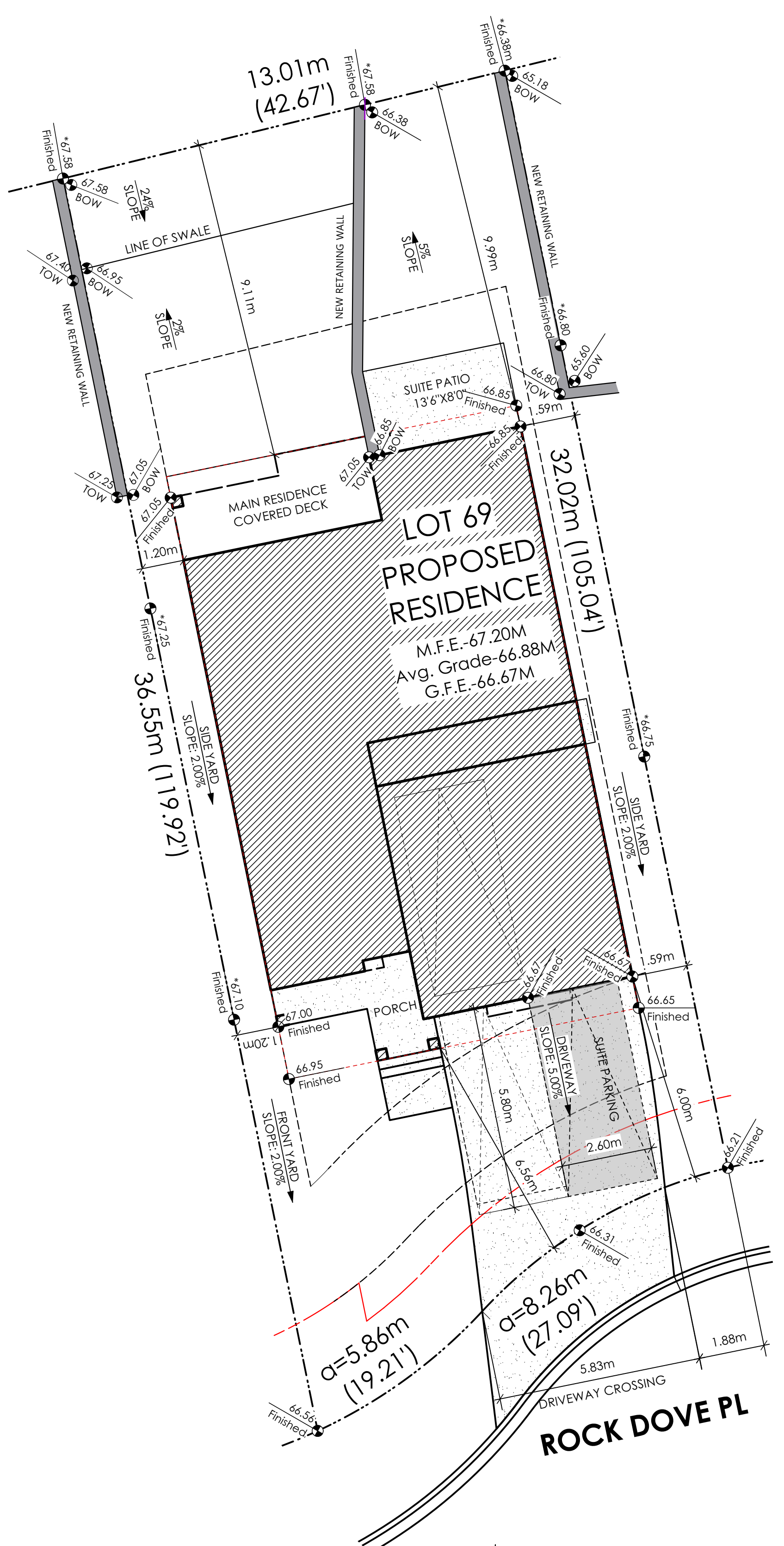
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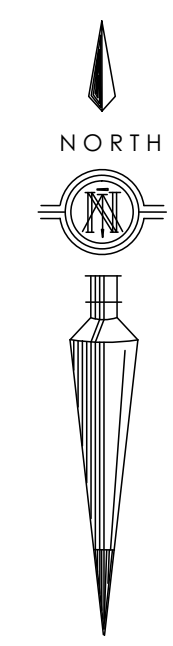
Project #
8298-68

Scale
Not to Scale

Drawn By
JTE



1 Site Plan
Scale: 1:100



*GRADE POINTS ALTERED FROM EXISTING GRADE SLIP.
APPROVAL FROM GABLE CRAFT TO ALTER
GRADE POINT HAS PREVIOUSLY BEEN ACQUIRED.

SITE DATA	RBCD5	LOT 69
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	441.10 sq.m.
LOT COVERAGE	50.00 %	39.25 %
BUILDING HEIGHT	9.50 m.	7.64 m.
SETBACKS		
- FRONT	3.00 m.	6.56 m.
- FRONT (GARAGE)	6.00 m.	6.00 m.
- REAR	6.00 m.	9.11 m.
- RIGHT SIDE	1.20 m.	1.59 m.
- LEFT SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- UPPER		144.58 sq.m.
- MAIN		104.20 sq.m.
- GARAGE		41.81 sq.m.
SUB-TOTAL G.F.A.		248.78 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-41.81 sq.m.
GROSS FLOOR AREA		206.97 sq.m.
F.A.R.		0.47 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	33.45 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	69.24 sq.m.

AVERAGE NATURAL GRADE CALCULATION:
66.95M + 66.67M + 66.85M + 67.05M = 267.52M/4 = 66.88M

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

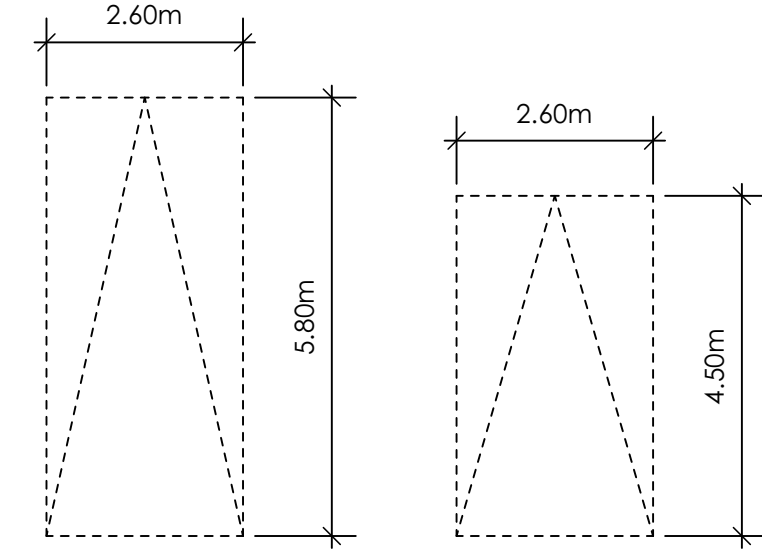
- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

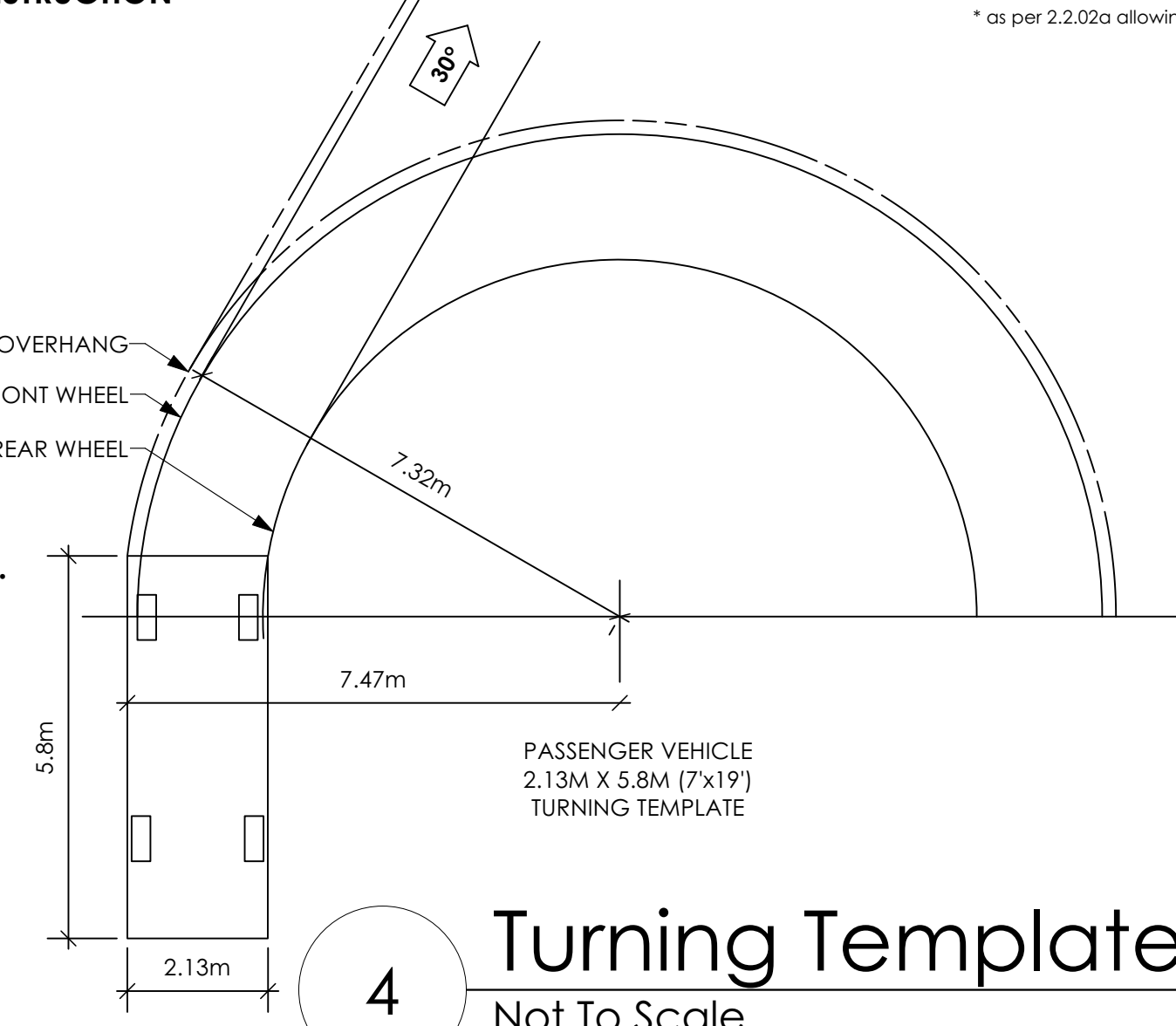
THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

THE SLEEVES TO BE INSTALLED BY THE BUILDER

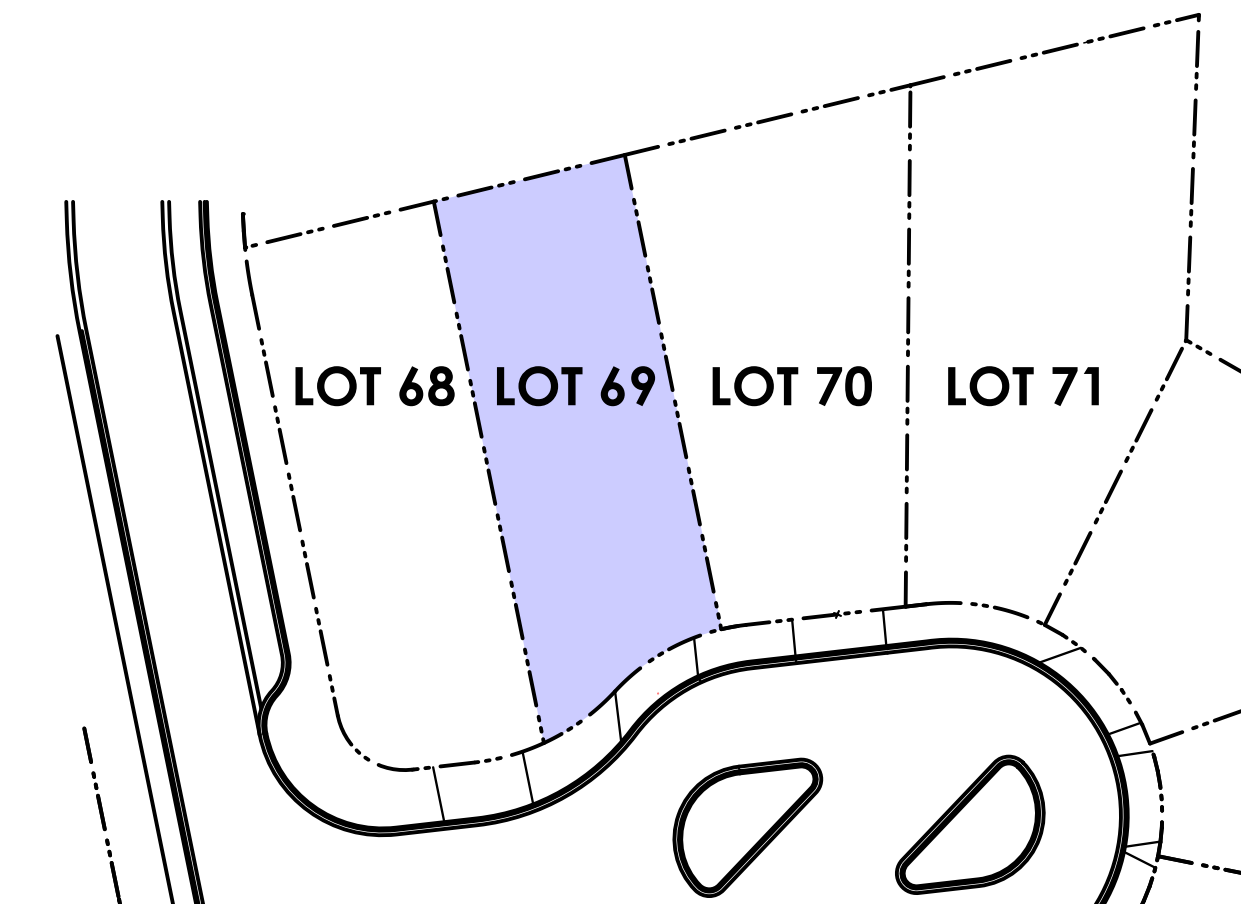
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



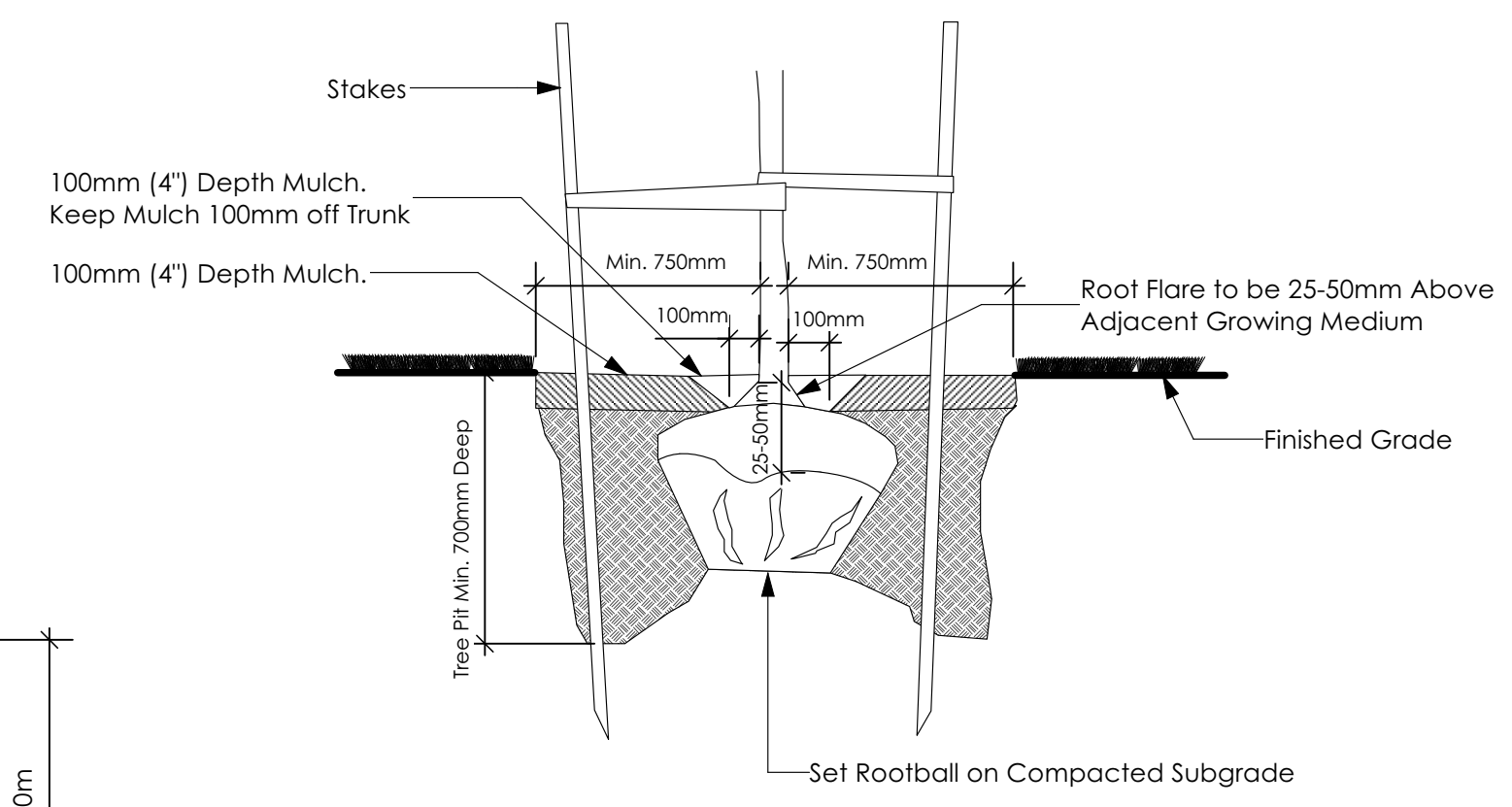
PARKING STALL DIMENSIONS
SMALL CAR PARKING STALL DIMENSIONS
* as per 2.2.02a allowing one stall to be a small car parking stall



4 Turning Template
Not To Scale



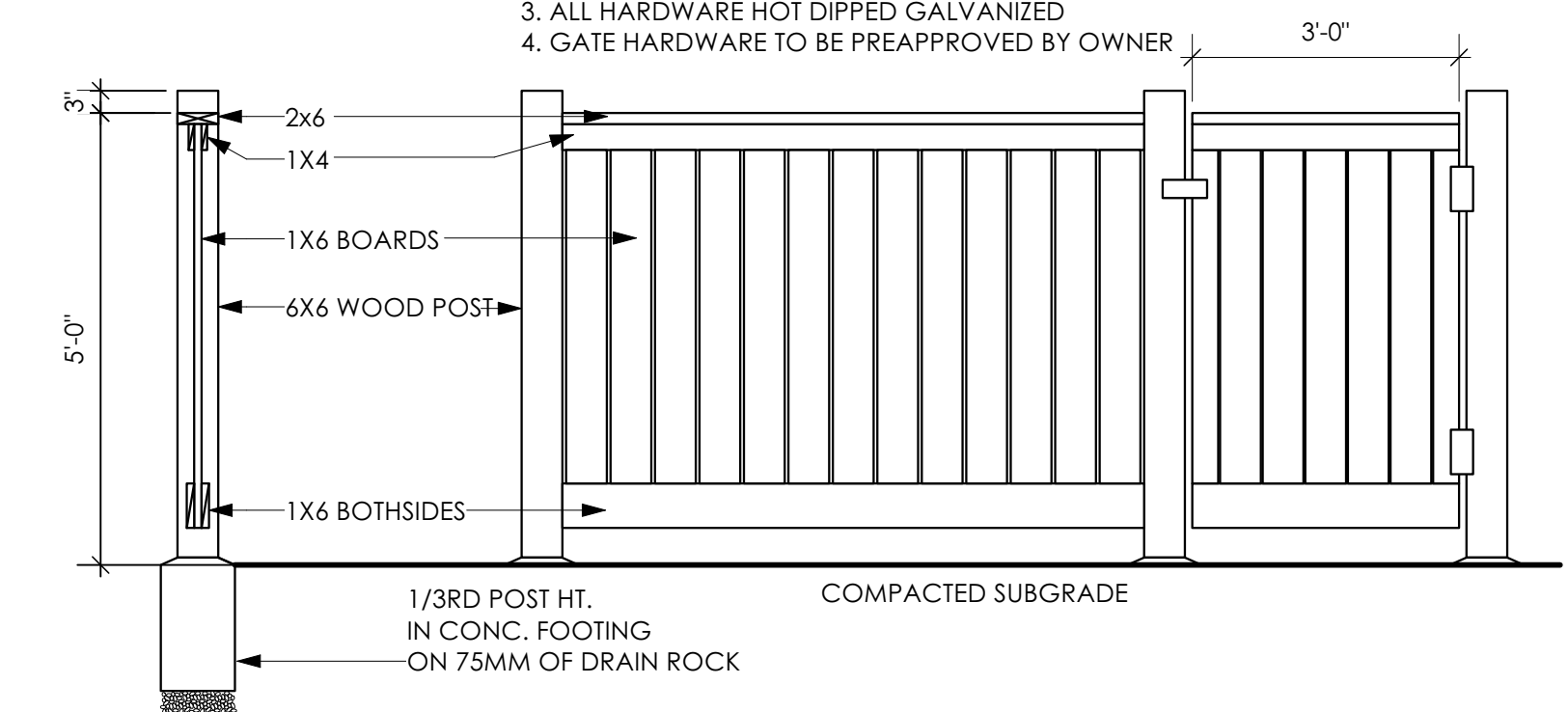
2 Key Plan
1: 500



3 Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

- TYPICAL FENCE NOTES:
- 1. ALL WOOD P.T. HEM FIR.
 - 2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
 - 3. ALL HARDWARE HOT DIPPED GALVANIZED
 - 4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



5 Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

Date

Sept 29, 2023

Project Address

Royal Bay Sector 7
Verity Construction
416 Rock Dove Pl
Lot 69
Langford, B.C.

Prepared for

Verity Construction

Project #

8298-69

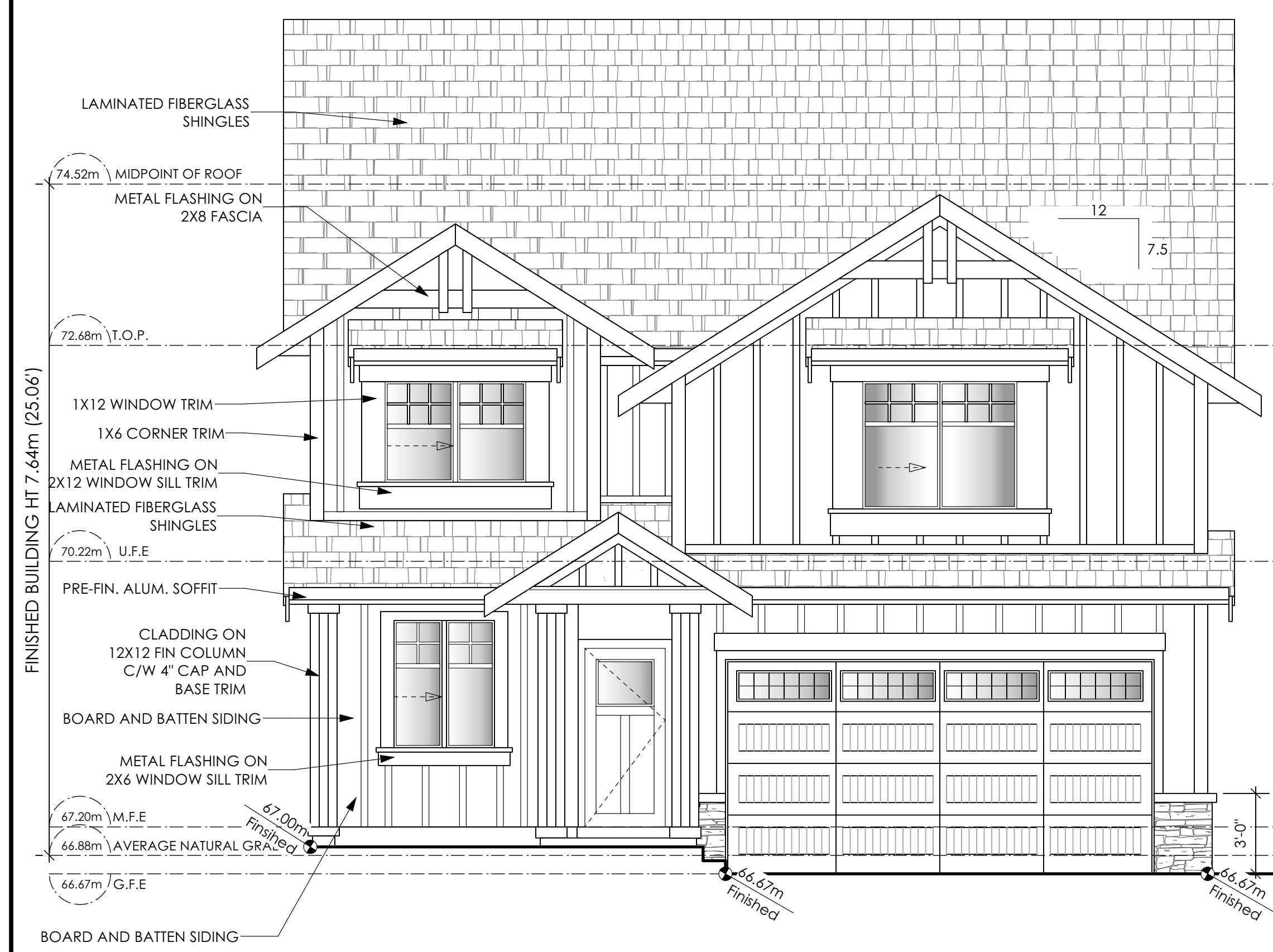
Scale

Not to Scale

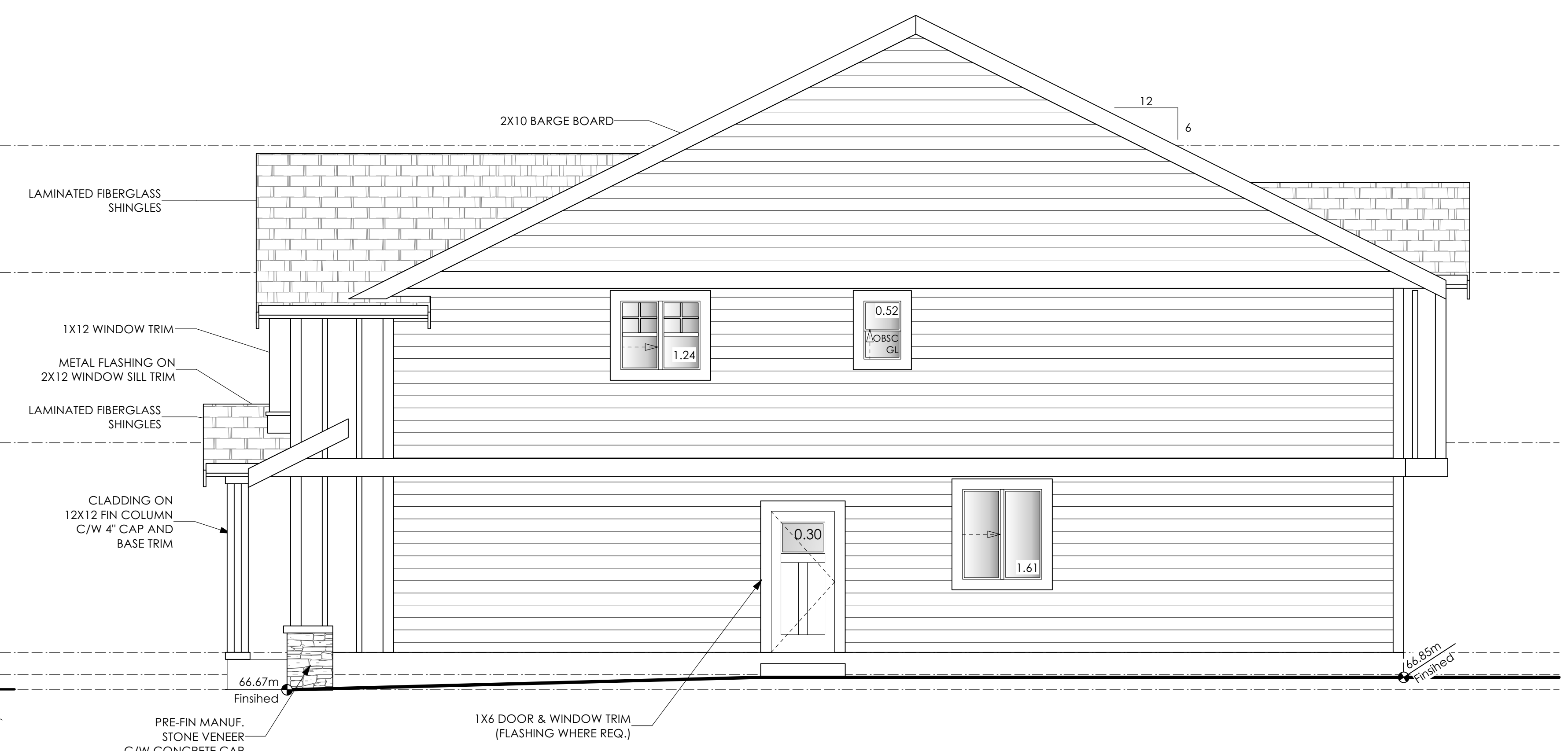
Drawn By

JTE

Royal Bay Sector 7 Phase 2, Lot 69 Development Permit Presentation

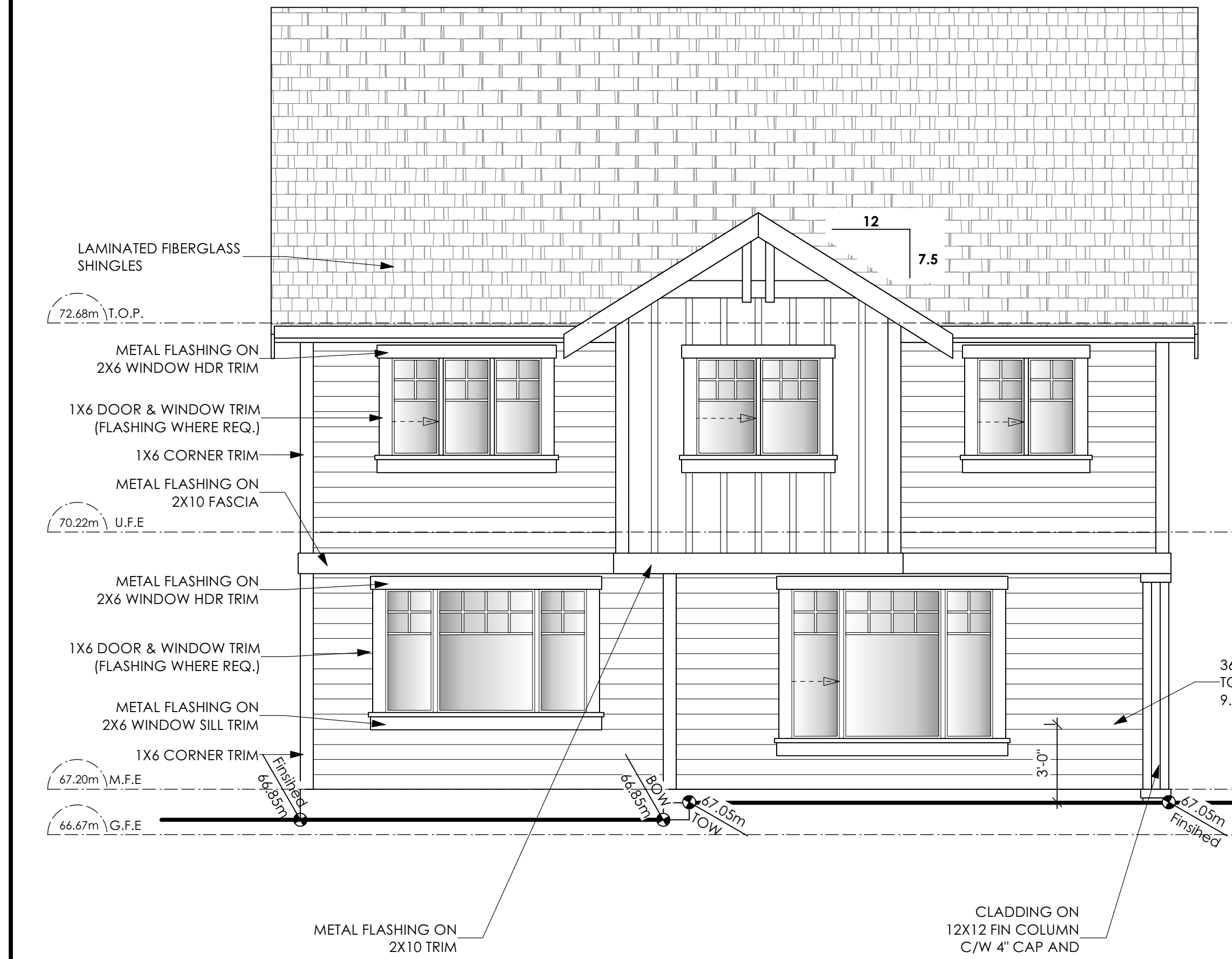


6 Front Elevation
 Scale: 1/4" = 1'-0"

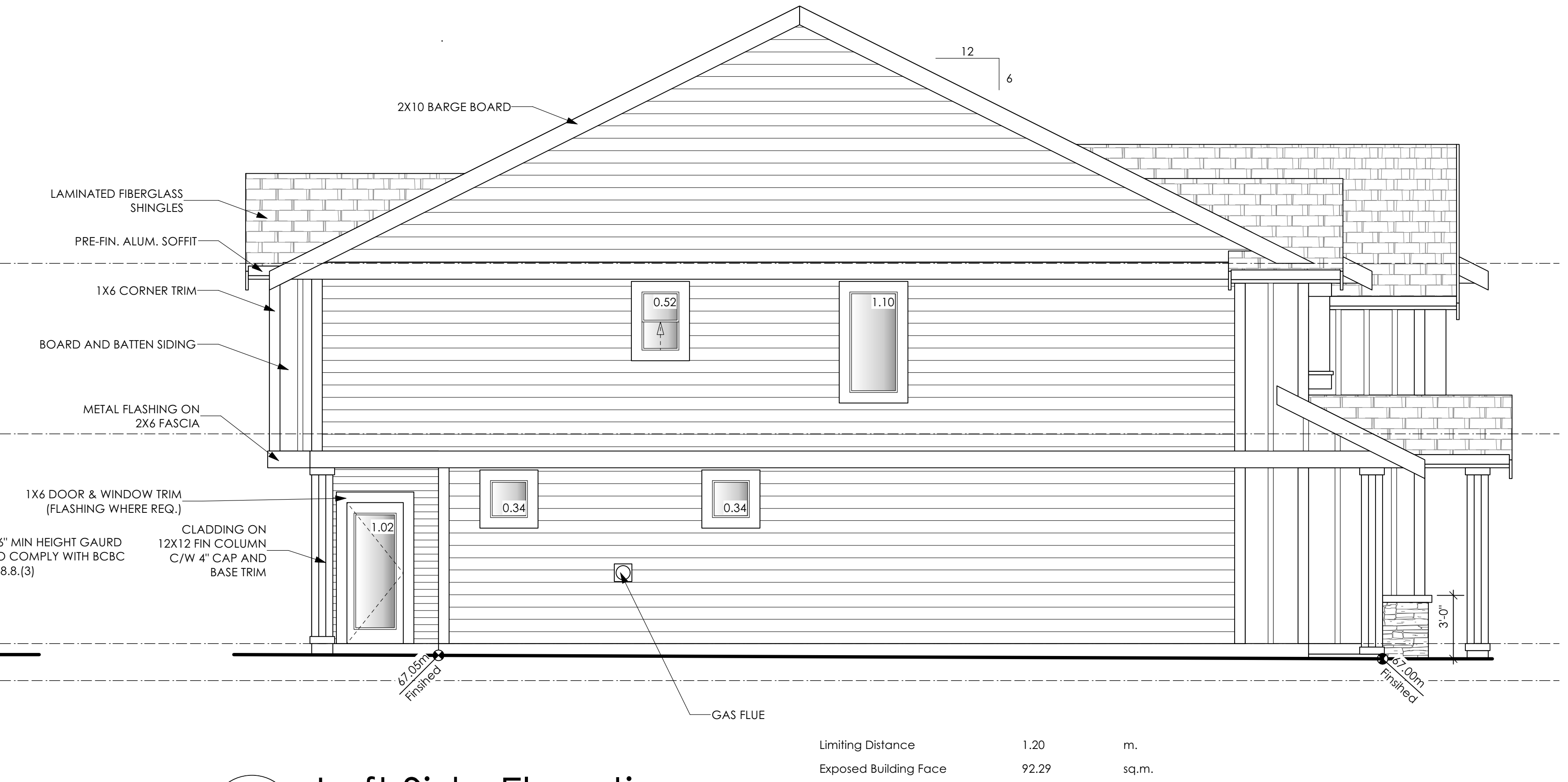


7 Right Side Elevation
 Scale: 1/4" = 1'-0"

Limiting Distance	1.59	m.
Exposed Building Face	91.44	sq.m.
Allowable Openings	8.00	%
Allowable Opening Area	7.32	sq.m.
Proposed Openings	3.67	sq.m.



8 Rear Elevation
 Scale: 1/4" = 1'-0"



9 Left Side Elevation
 Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	92.29	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.46	sq.m.
Proposed Openings	3.32	sq.m.

Date
 Sept 29, 2023

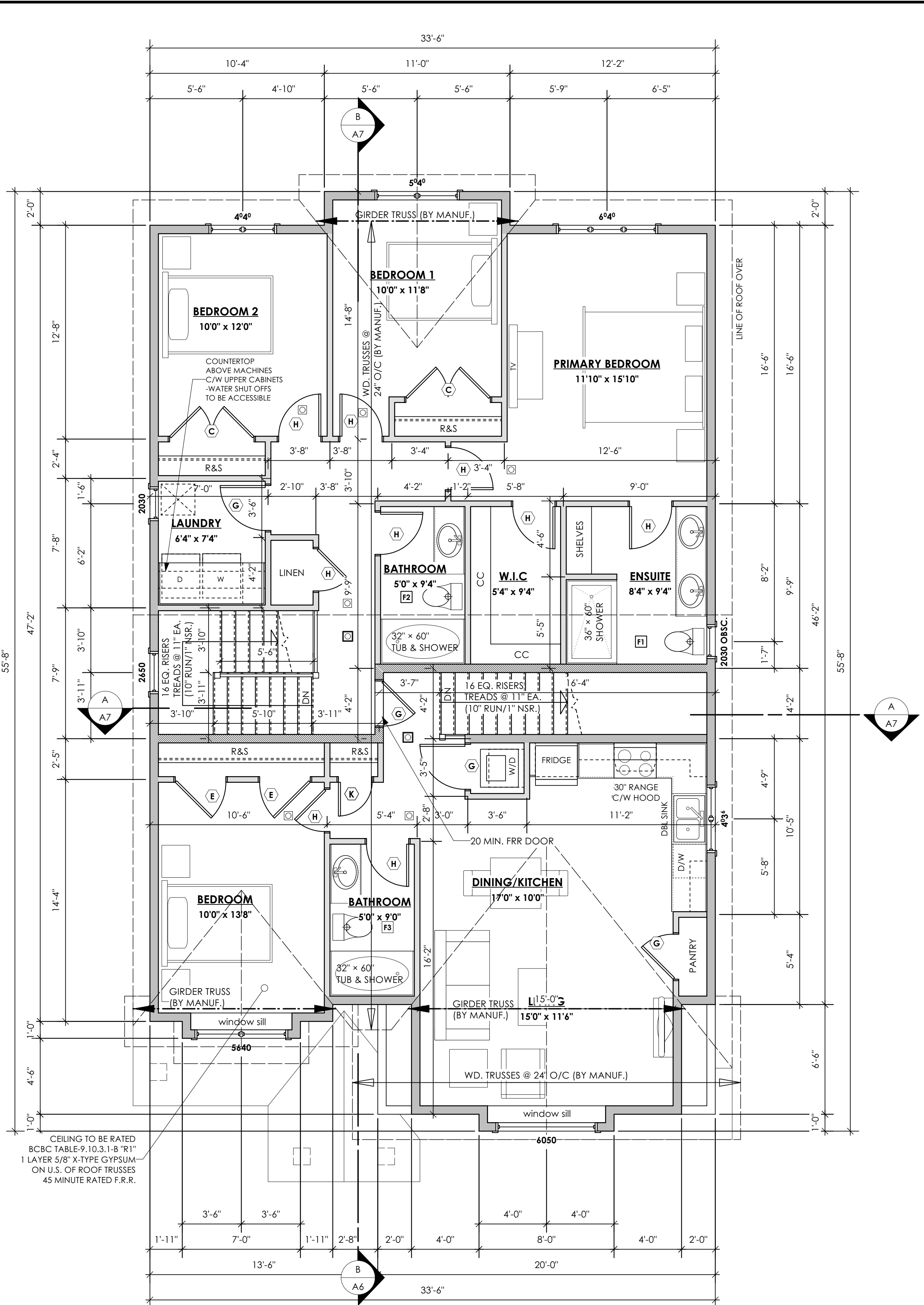
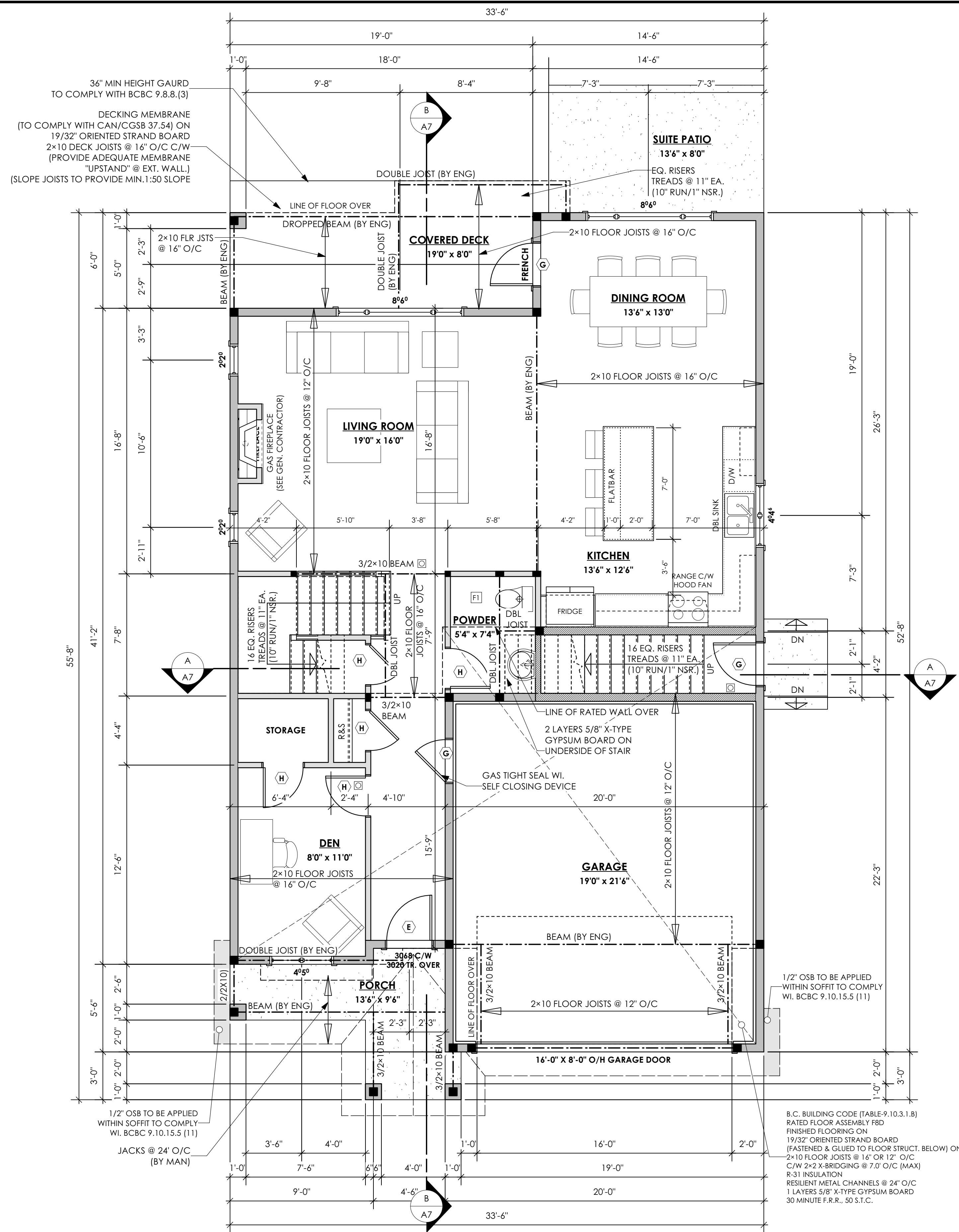
Project Address
 Royal Bay Sector 7
 Verity Construction
 416 Rock Dove Pl
 Lot 69
 Langford, B.C.
 Prepared for
 Verity Construction

Project #
 8298-69

Scale
 Not to Scale

Drawn By
 JTE

Royal Bay Sector 7 Phase 2, Lot 69 Development Permit Presentation



Royal Bay Sector 7 Phase 2, Lot 69 Development Permit Presentation

Date
Sept 29, 2023

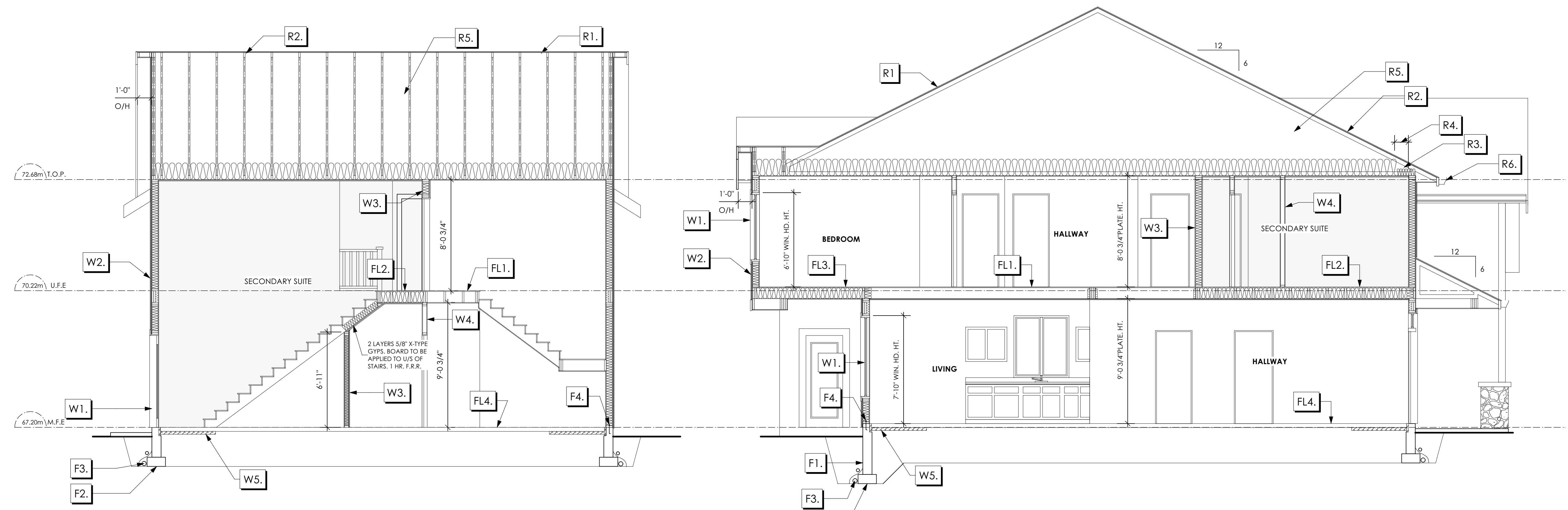
Project Address
Royal Bay Sector 7
Verity Construction
416 Rock Dove Pl
Lot 69
Langford, B.C.

Prepared for
Verity Construction

Project #
8298-69

Scale
Not to Scale

Drawn By
JTE



12 Section A-A
Scale: 1/4" = 1'-0"

13 Section B-B
Scale: 1/4" = 1'-0"

Section Notes

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED ROOF ASSEMBLY R1 LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R.
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

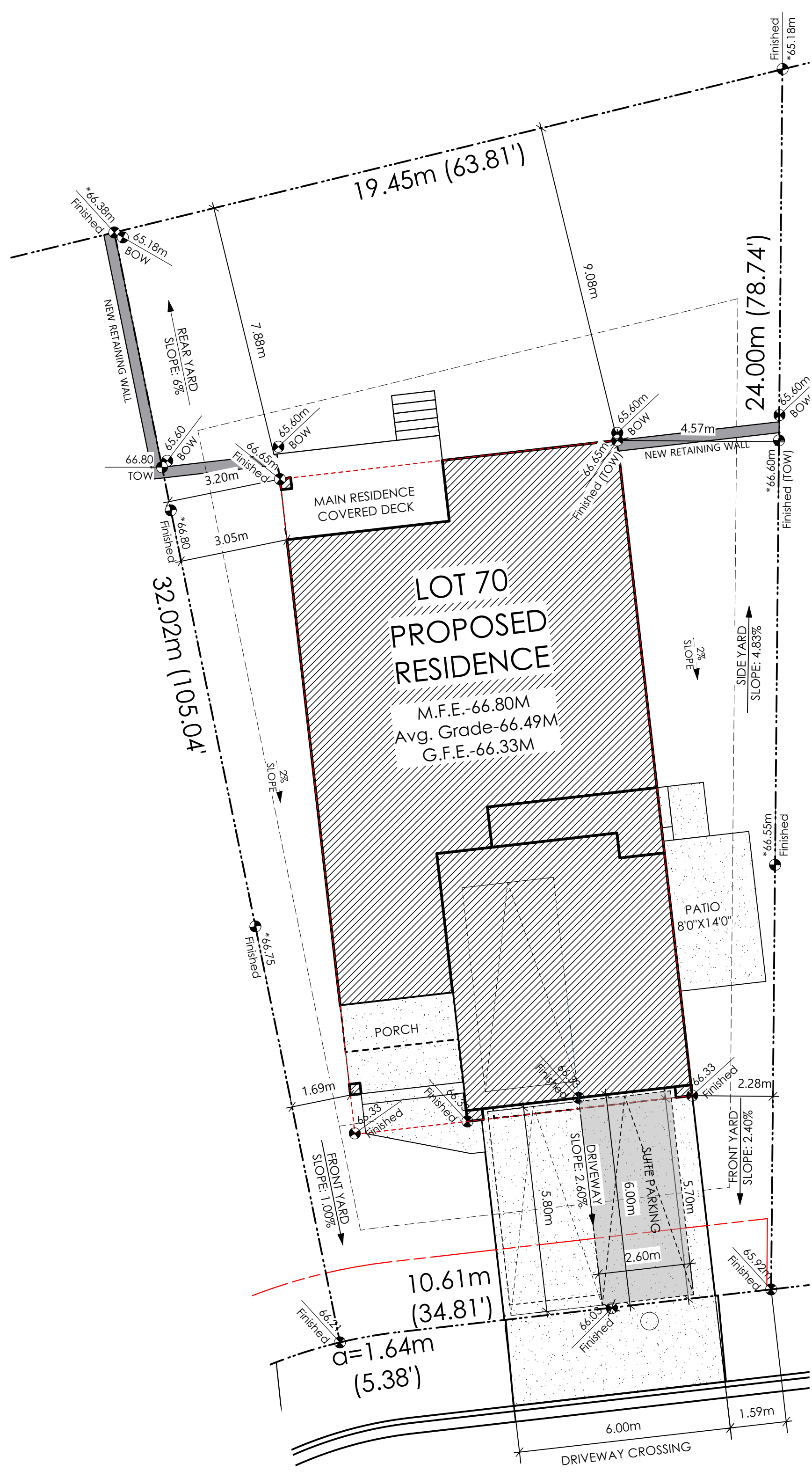
- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. FINISHED FLOORING 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT IN SECTION)
- FL6. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN.1:50 SLOPE)

WALLS

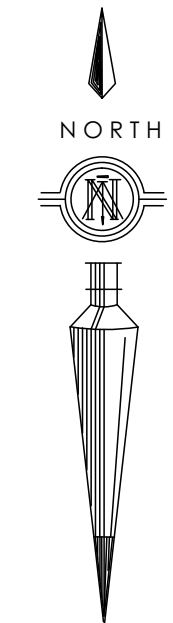
- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL WL. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.S.2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30. WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATT FRICTION FITTED AND SOUND FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE (NOT IN SECTION)



1 Site Plan
Scale: 1:100



*GRADE POINTS ALTERED FROM EXISTING GRADE SLIP.
APPROVAL FROM GABLE CRAFT TO ALTER
GRADE POINT HAS PREVIOUSLY BEEN ACQUIRED.

SITE DATA	RBCDS	LOT 70
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	520.60 sq.m.
LOT COVERAGE	50.00 %	31.91 %
BUILDING HEIGHT	9.50 m.	7.31 m.
SETBACKS		
- FRONT	3.00 m.	5.70 m.
- FRONT (GARAGE)	6.00 m.	6.00 m.
- REAR	6.00 m.	7.88 m.
- RIGHT SIDE	1.20 m.	2.28 m.
- LEFT SIDE	1.20 m.	1.69 m.
PROPOSED FLOOR AREA		
- UPPER		155.56 sq.m.
- MAIN		109.99 sq.m.
- GARAGE		47.37 sq.m.
SUB-TOTAL G.F.A.		265.55 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-47.37 sq.m.
GROSS FLOOR AREA		218.18 sq.m.
F.A.R.		0.42 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	35.15 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	76.70 sq.m.

AVERAGE NATURAL GRADE CALCULATION:
66.33M + 66.33M + 66.65M + 66.65M = 265.96M/4 = 66.49M

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
"X.Xm" = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT. OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

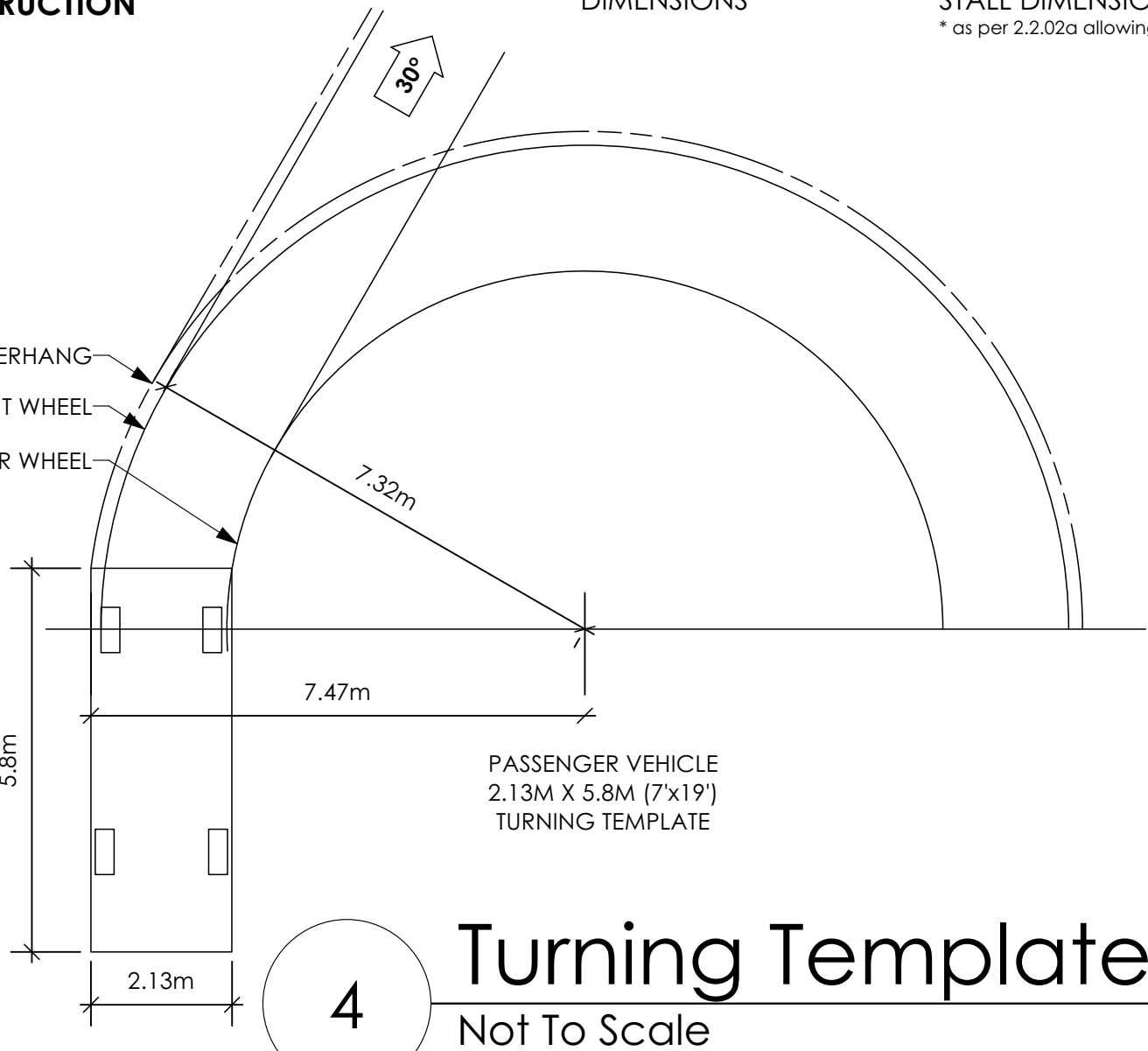
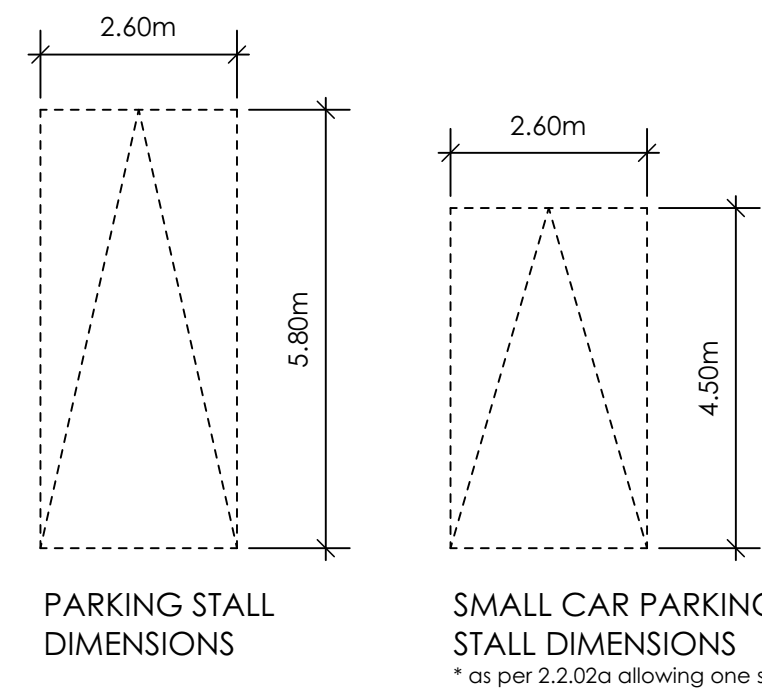
- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

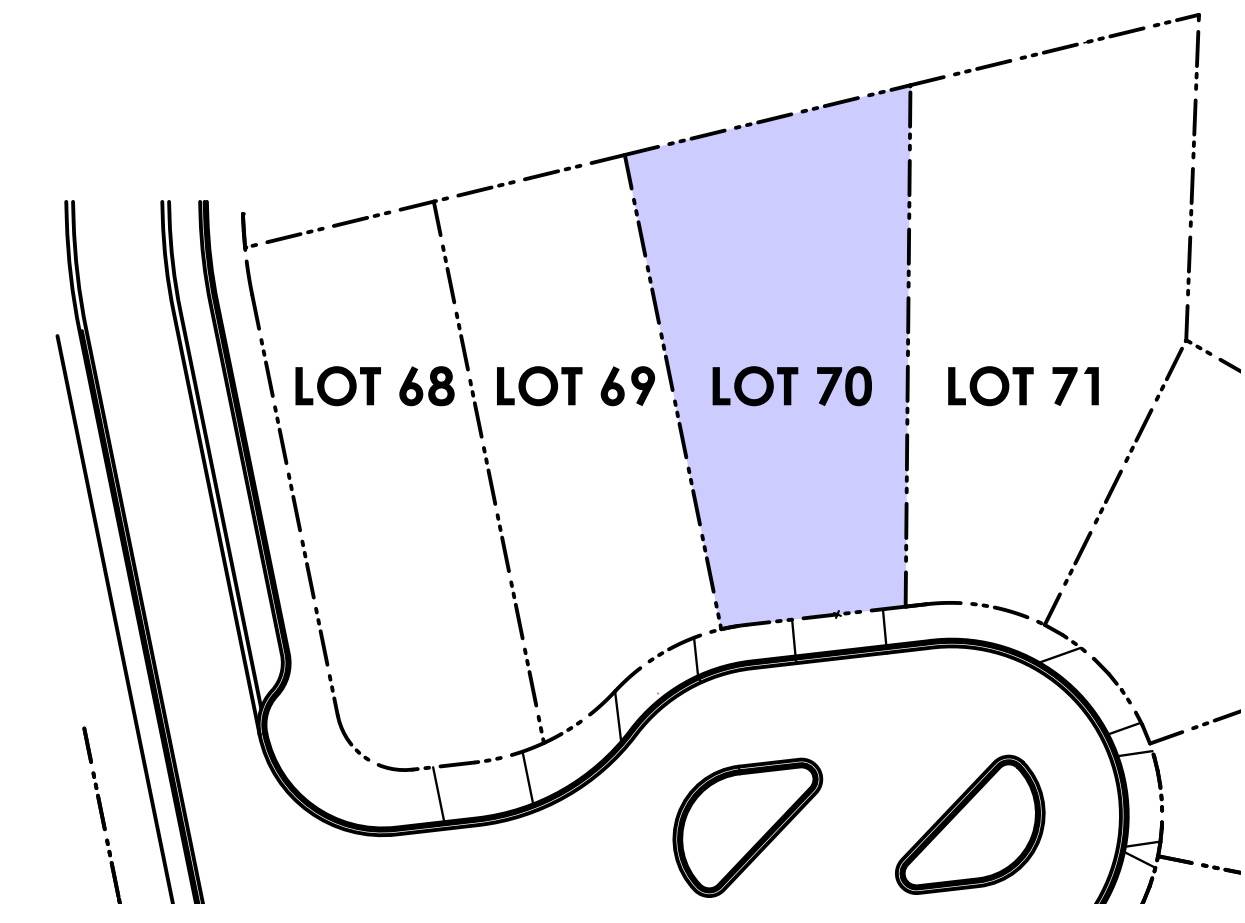
THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

THE SLEEVES TO BE INSTALLED BY THE BUILDER

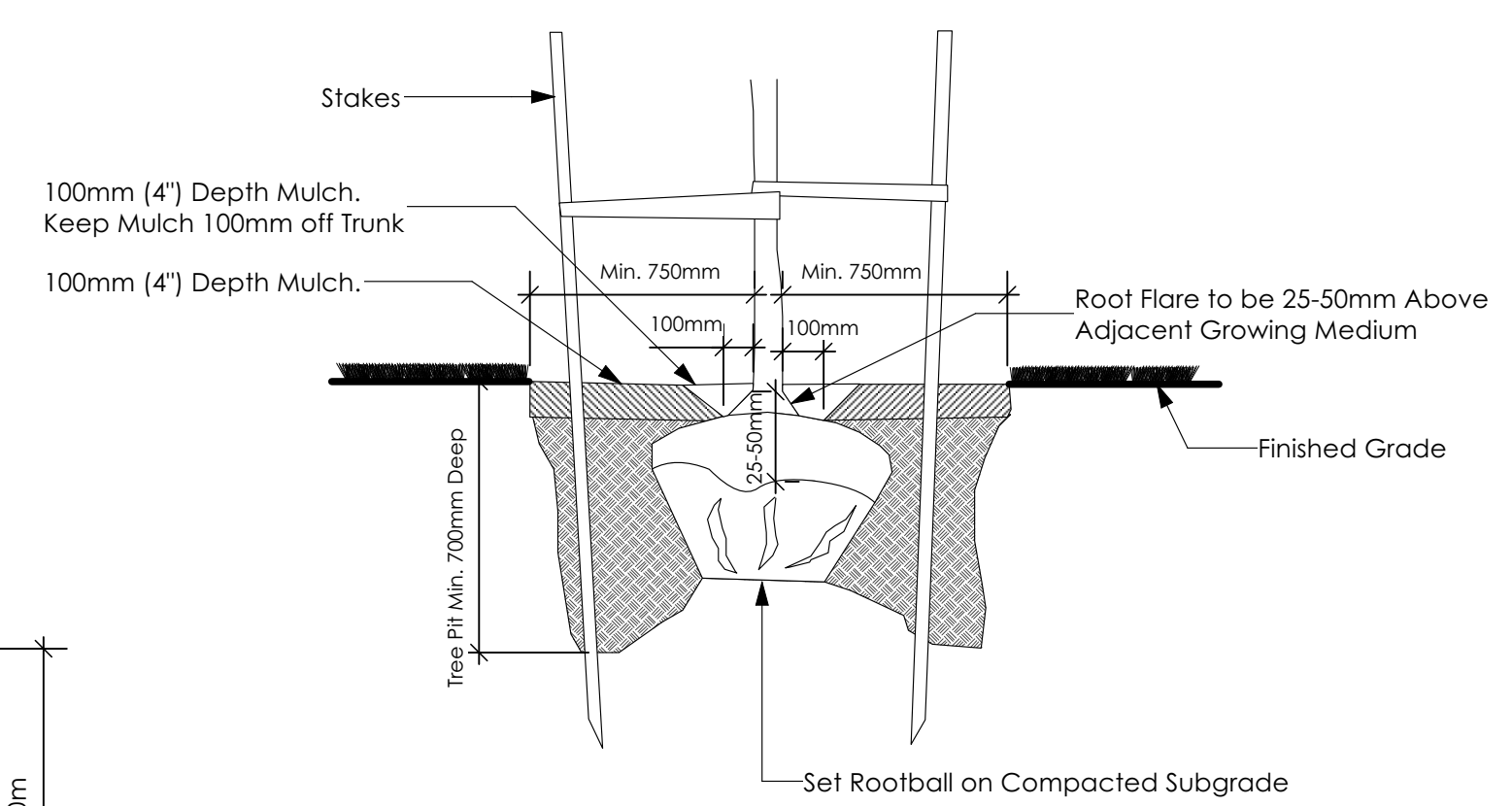
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



4 Turning Template
Not To Scale



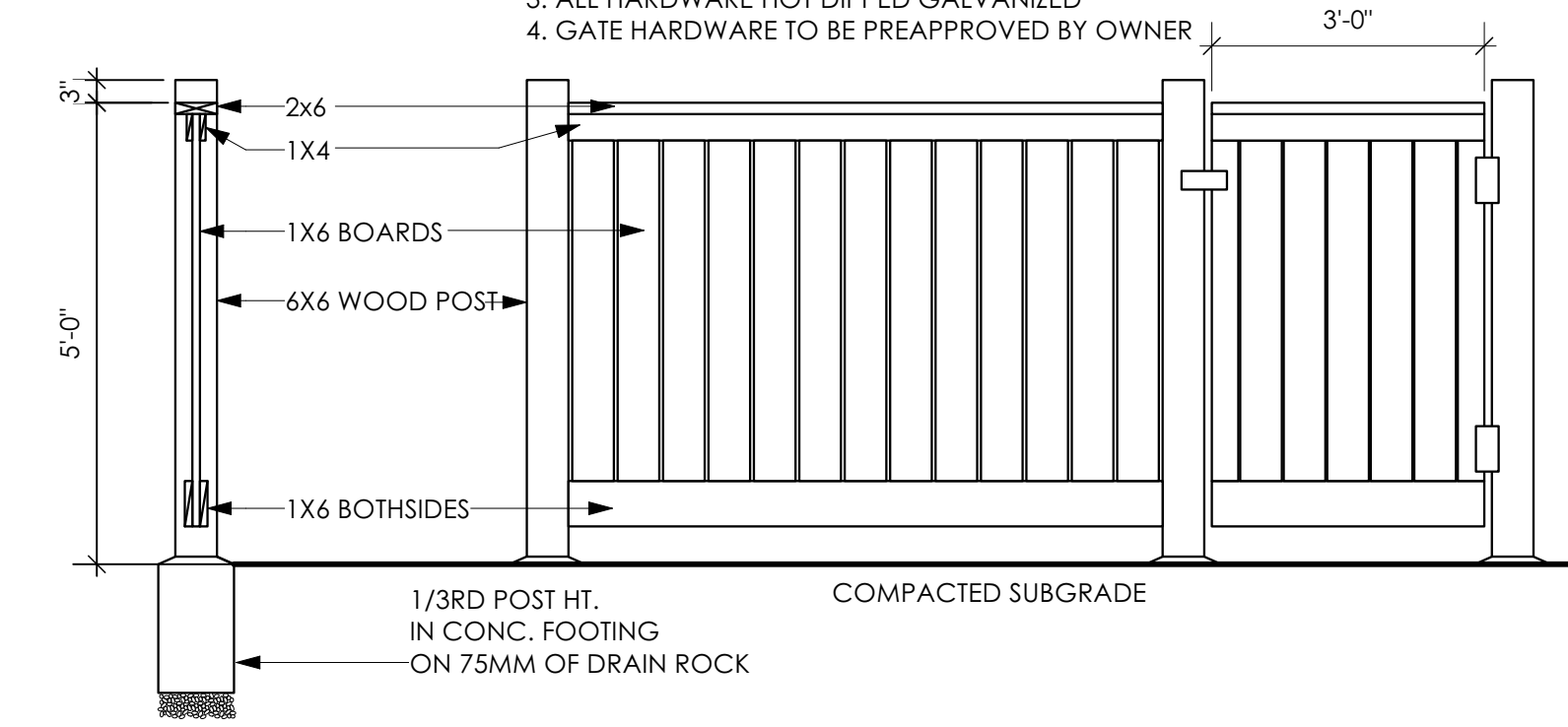
2 Key Plan
1: 500



3 Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

- TYPICAL FENCE NOTES:
- 1. ALL WOOD P.T. HEM FIR.
 - 2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
 - 3. ALL HARDWARE HOT DIPPED GALVANIZED
 - 4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



5 Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

Date

Sept 14, 2023

Project Address

Royal Bay Sector 7
Verity Construction
412 Rock Dove Pl
Lot 70
Langford, B.C.

Prepared for

Verity Construction

Project #

8298-70

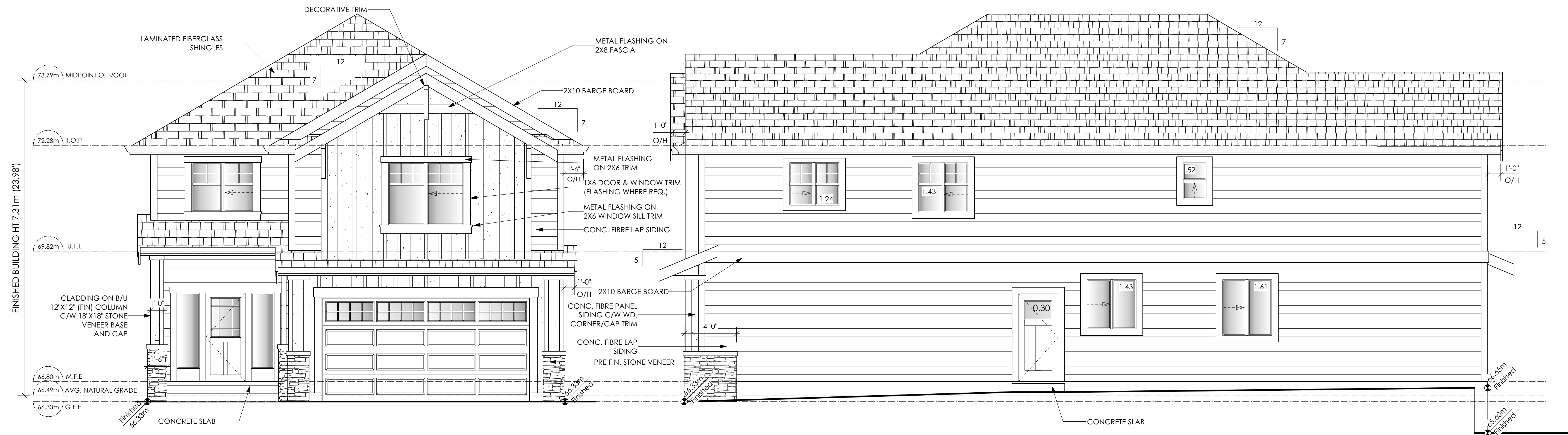
Scale

Not to Scale

Drawn By

JTE

Royal Bay Sector 7 Phase 2, Lot 70 Development Permit Presentation



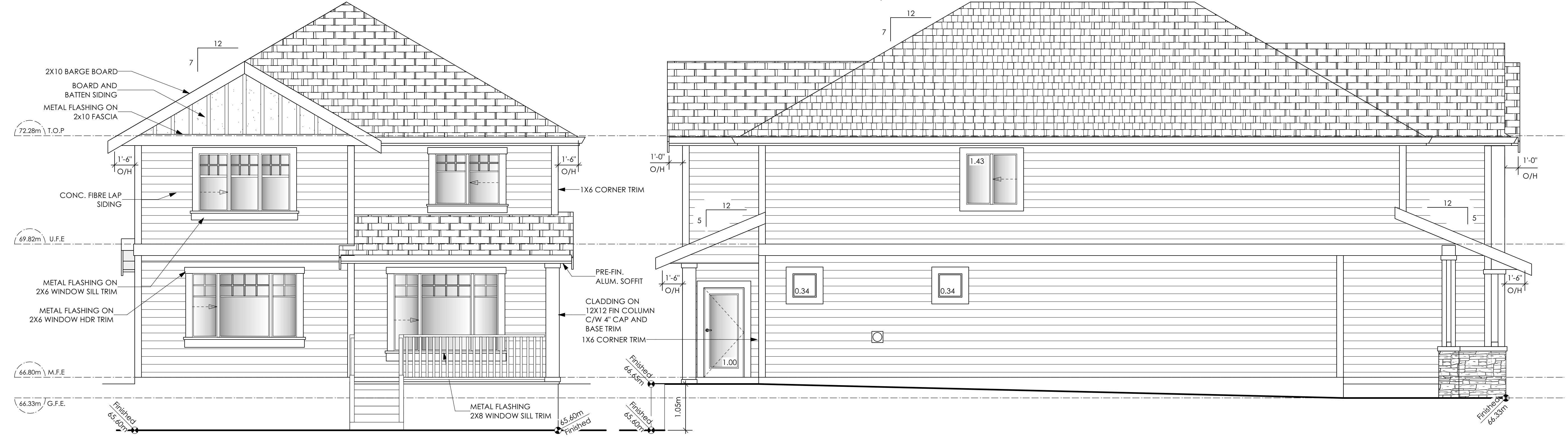
6 **Front Elevation**
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:
ALL REQUIRED FLASHING ARE NON-GALVANISED
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
TRADITIONAL LAP SIDING IS USED
ALL RETAINING REQUIRED TO
MEET ALL GUIDELINE REQUIREMENTS

Cedar, precast concrete, & PTW stairs & vertical
porch elements=ONLY if stained dark brown

7 **Right Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	106.58	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.46	sq.m.
Proposed Openings	6.53	sq.m.



8 **Rear Elevation**
Scale: 1/4" = 1'-0"

9 **Left Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.25	m.
Exposed Building Face	91.13	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.71	sq.m.
Proposed Openings	3.11	sq.m.

CONTRACTOR TO ENSURE:
ALL REQUIRED FLASHING ARE NON-GALVANISED
ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES
TRADITIONAL LAP SIDING IS USED
ALL RETAINING REQUIRED TO
MEET ALL GUIDELINE REQUIREMENTS

Date

Sept 14, 2023

Project Address

Royal Bay Sector 7
Verity Construction
412 Rock Dove Pl
Lot 70
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Prepared for
Verity Construction

Project #

8298-70

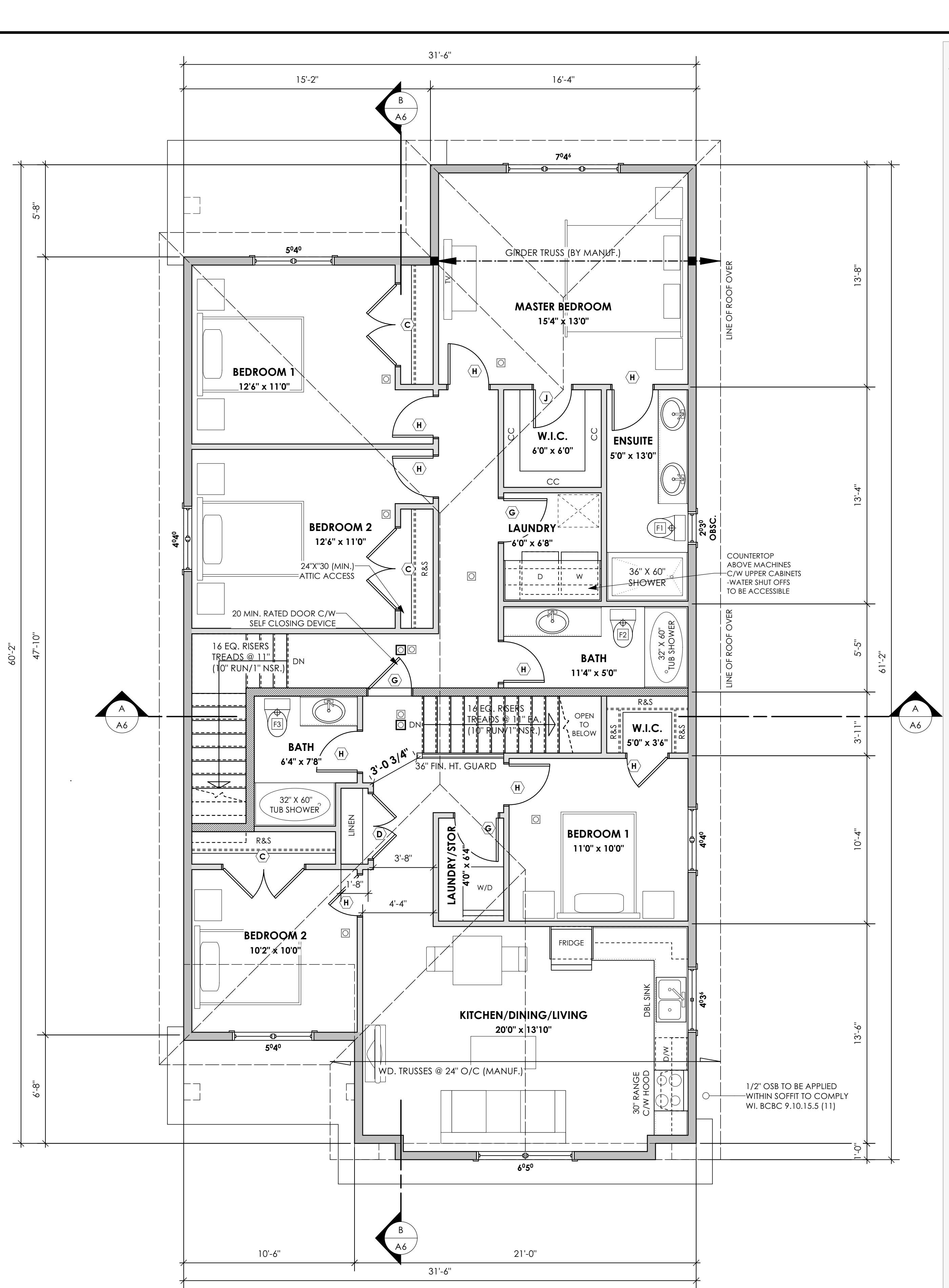
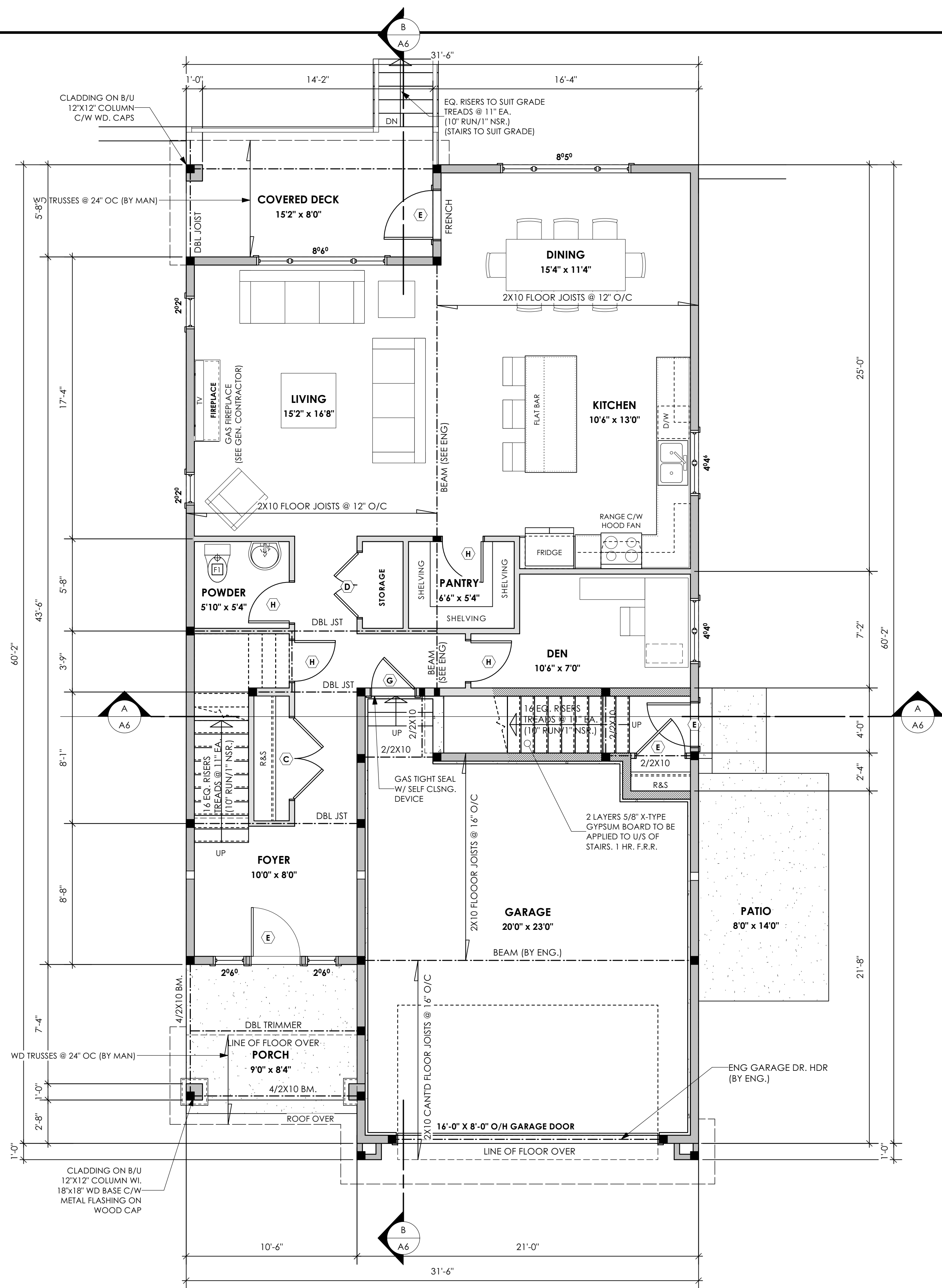
Scale

Not to Scale

Drawn By

JTE

Royal Bay Sector 7 Phase 2, Lot 70 Development Permit Presentation



Royal Bay Sector 7 Phase 2, Lot 70 Development Permit Presentation

Date
Sept 14, 2023

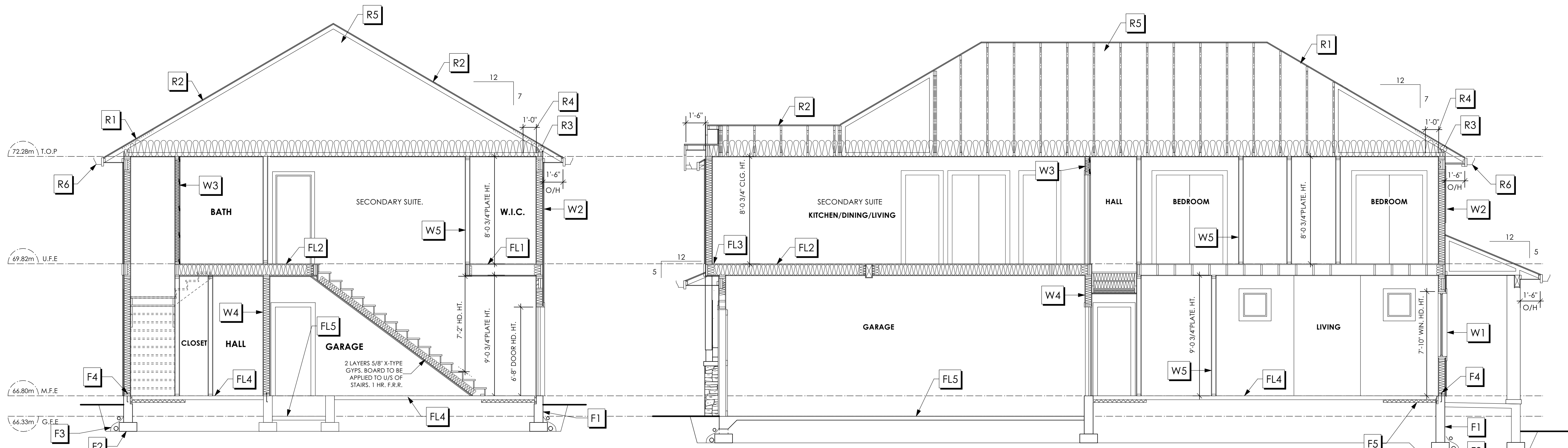
Project Address
Royal Bay Sector 7
Verity Construction
412 Rock Dove Pl
Lot 70
Langford, B.C.

Prepared for
Verity Construction

Project #
8298-70

Scale
Not to Scale

Drawn By
JTE



12 Section A-A
Scale: 1/4" = 1'-0"

13 Section B-B
Scale: 1/4" = 1'-0"

Section Notes

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16" X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X 10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL, WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTER-PROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.S.2/A440. "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLY'N V.B. 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3C 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W5. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D 30 MINUTE F.R.R., 50 S.T.C. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYER 5/8" X-TYPE GYPSUM BOARD
- FL3. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL6. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN. 1:50 SLOPE)

ROOFS

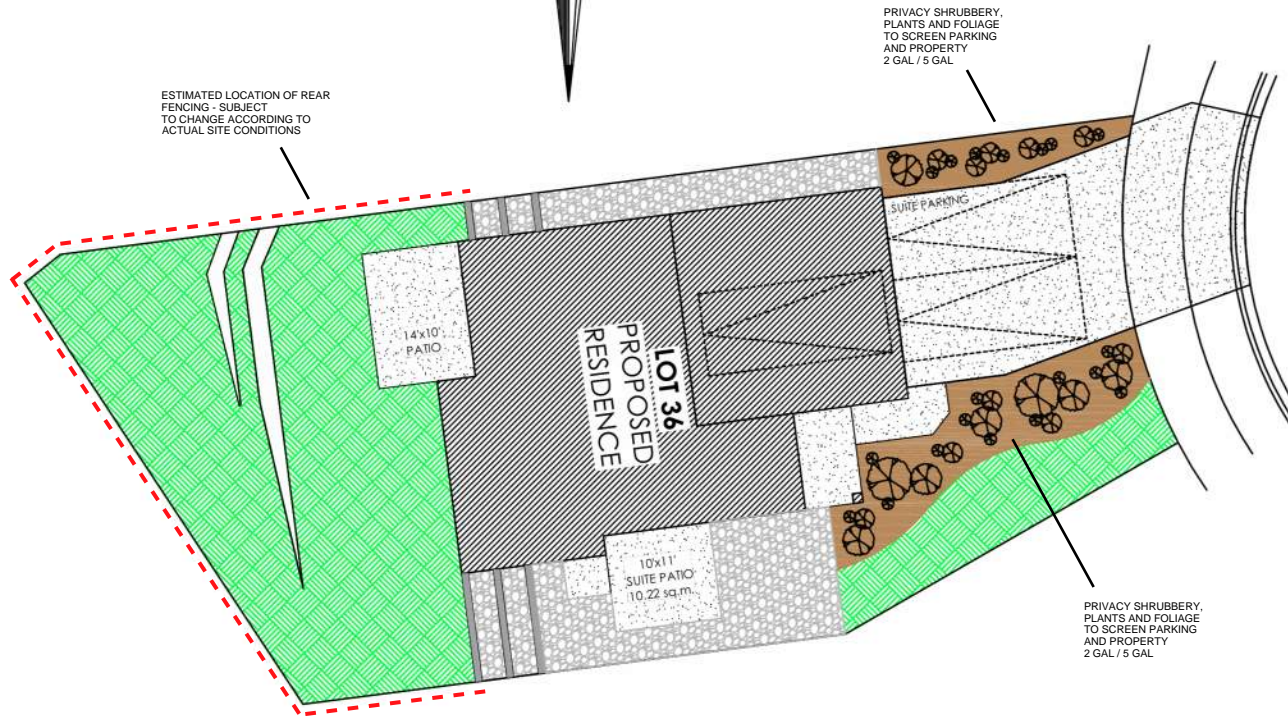
- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" TH" CUPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED ROOF ASSEMBLY R1 45 MINUTE RATED F.R.R. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" TH" CUPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS



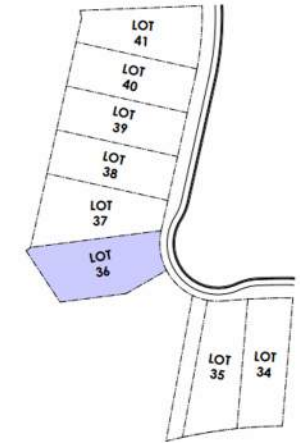
*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

ITEM	AREA (sf)	%
GARDEN BED	387	12%
GRAVEL	489	15%
CONCRETE	845	25%
SOD	1,591	48%
TOTAL	3,312	100%

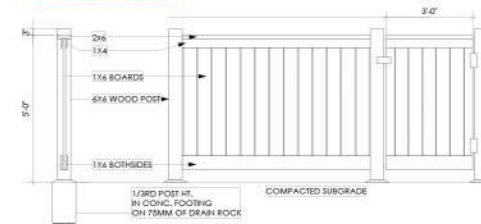
LEGEND	
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

Schedule 2

KEY PLAN NOT TO SCALE

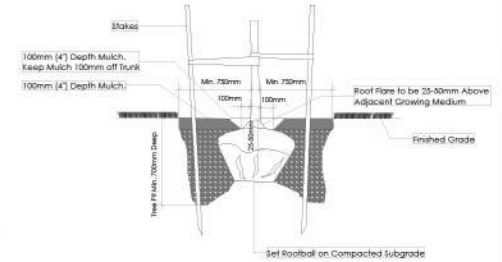


LOCATION INDICATED BY



Typical Fence Detail

Not To Scale
TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail

Not To Scale
 All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

LANDSCAPE PLAN

NOT TO SCALE

ADDITIONAL NOTES:
 PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

MM/DD/YY	ISSUED/REVISED	DATE
01	06/15/23 FOR APPROVAL	PROJECT
02	09/15/23 SITE PLAN REVISION	LANDSCAPING PLAN LOT 36, 3445 TRUMPETER ST. ROYAL BAY, SECTOR 7 CITY OF COLWOOD



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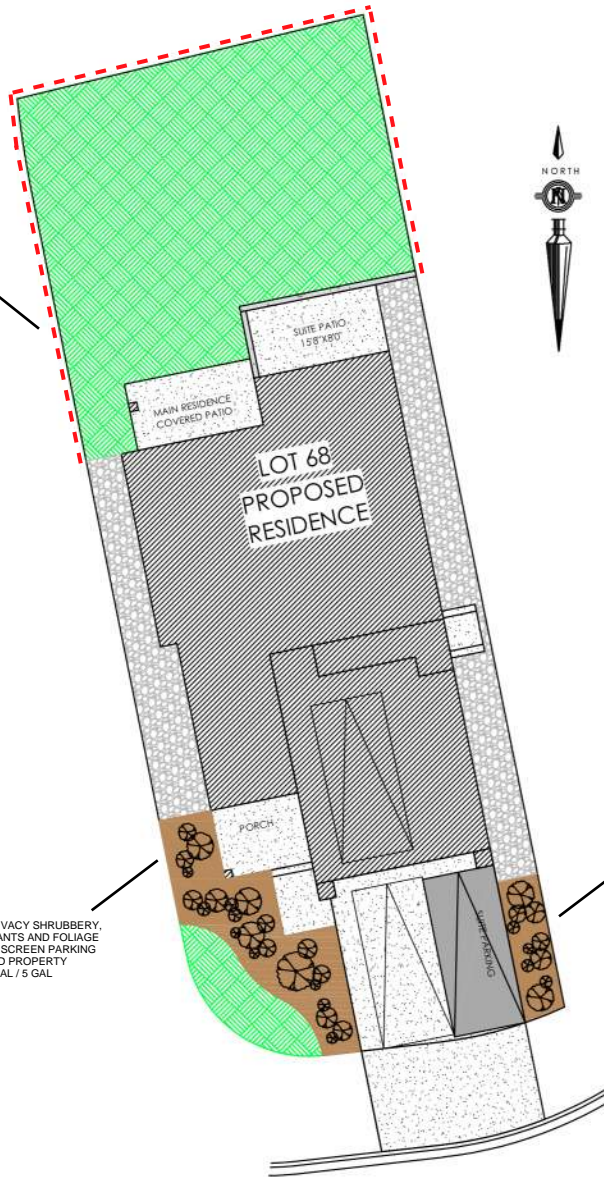
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 Victoria, B.C. V9B 0A6

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 www.verityconstruction.ca

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ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

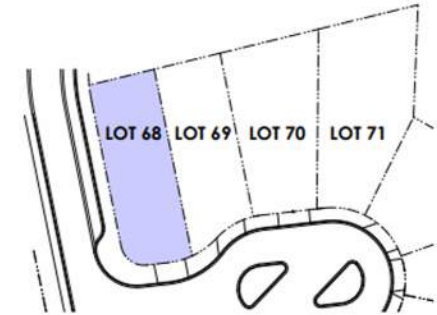


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ITEM	AREA (sf)	%
GARDEN BED	335	10%
GRAVEL	557	17%
CONCRETE	817	25%
SOD	1,582	48%
TOTAL	3,291	100%

LEGEND	
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

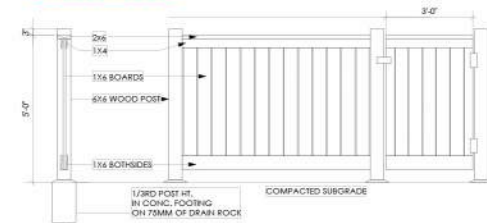
KEY PLAN
NOT TO SCALE



PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

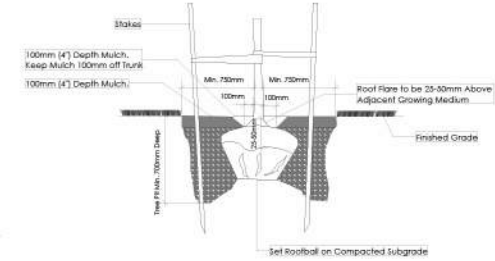
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN

NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	04/11/23	FOR APPROVAL

PROJECT

LANDSCAPING PLAN
LOT 68, 420 ROCK DOVE PL.
ROYAL BAY, SECTOR 7
CITY OF COLWOOD



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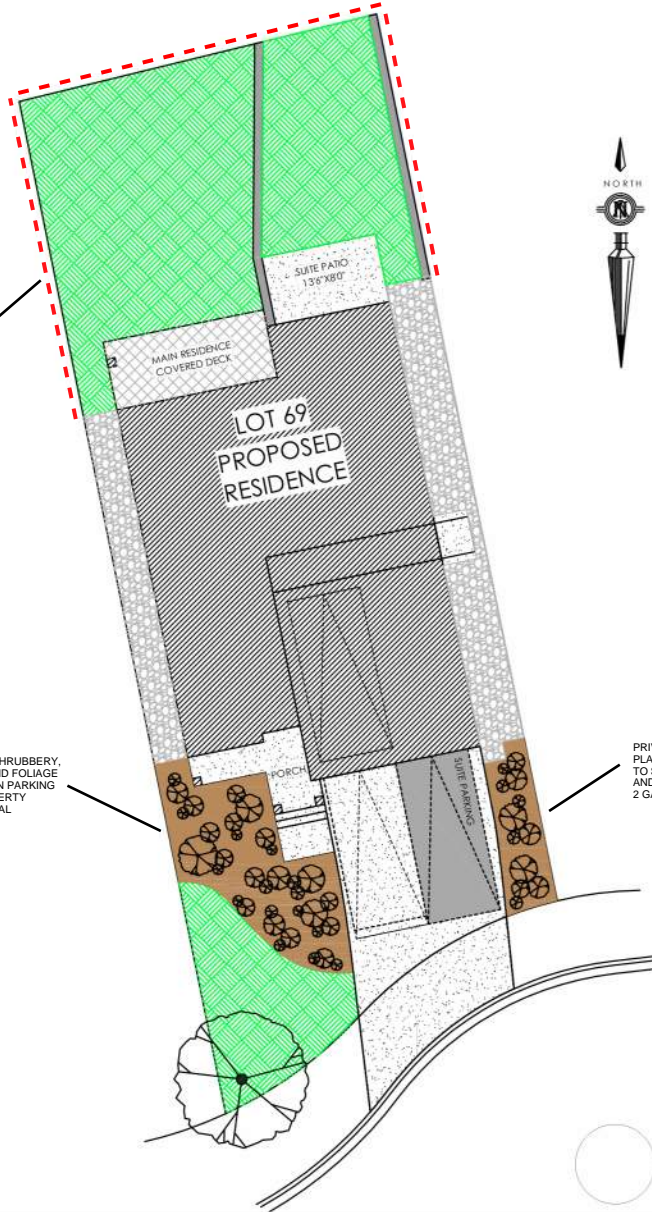
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ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

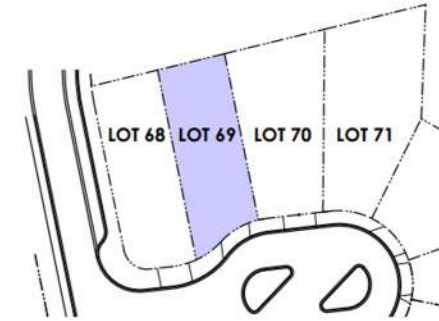
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY 2 GAL / 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY 2 GAL / 5 GAL



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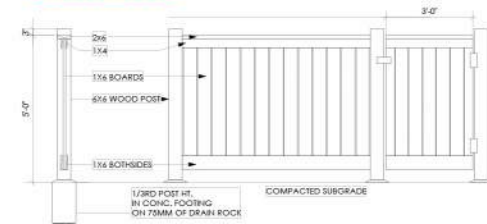
KEY PLAN NOT TO SCALE



ITEM	AREA (sf)	%
GARDEN BED	393	13%
GRAVEL	428	15%
CONCRETE	681	23%
SOD	1,460	49%
TOTAL	2,962	100%

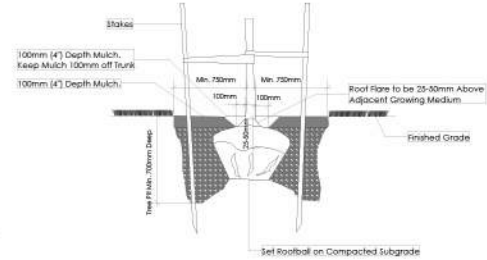
LEGEND	
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

LOCATION INDICATED BY



Typical Fence Detail

Not To Scale
*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail

Not To Scale
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LANDSCAPE PLAN

NOT TO SCALE

ADDITIONAL NOTES:
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6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

MM/DD/YY	ISSUED/REVISED	DATE
01	04/14/23	FOR APPROVAL
02	06/20/23	SITE PLAN REVISION
03	09/08/23	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN
LOT 69, 416 ROCK DOVE PL.
ROYAL BAY, SECTOR 7
CITY OF COLWOOD



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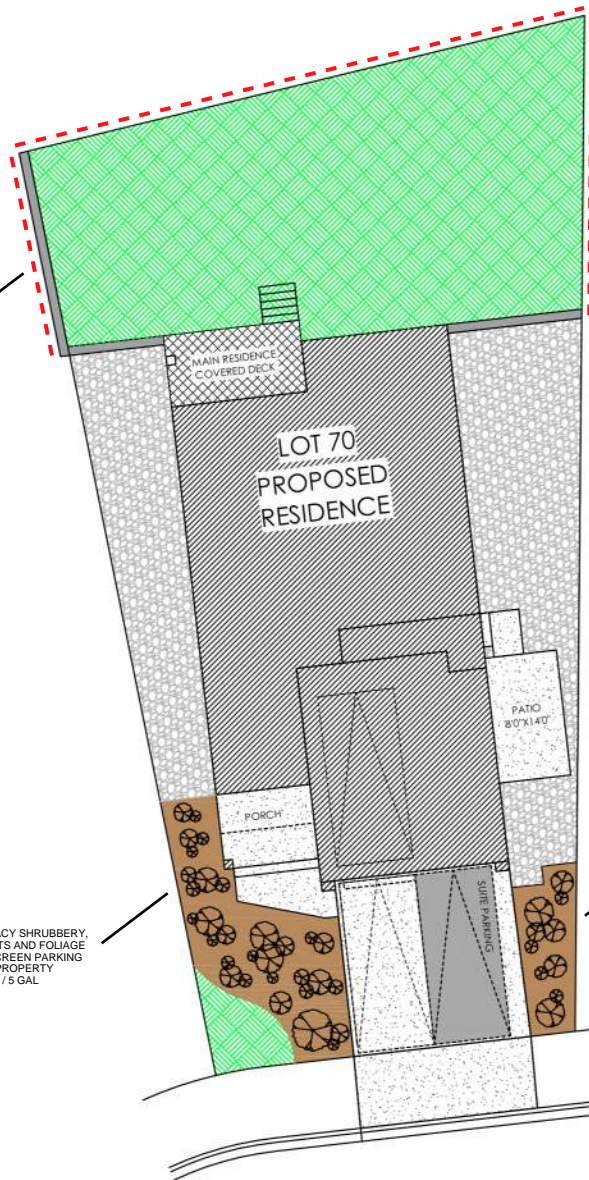
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ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS



PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL



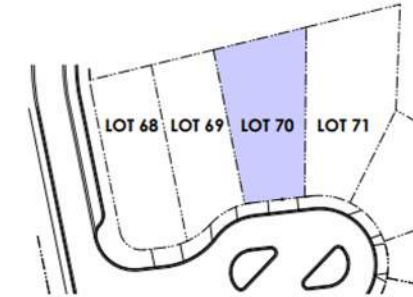
LANDSCAPE PLAN
NOT TO SCALE

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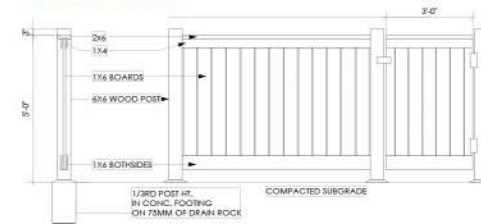
ITEM	AREA (sf)	%
GARDEN BED	399	11%
GRAVEL	980	26%
CONCRETE	659	17%
SOD	1,722	46%
TOTAL	3,760	100%

LEGEND	
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

KEY PLAN
NOT TO SCALE

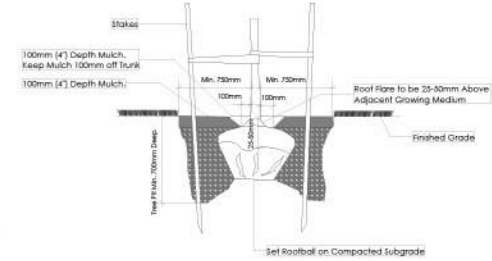


LOCATION INDICATED BY



Typical Fence Detail

Not To Scale
TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail

Not To Scale
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

MM/DD/YY	ISSUED/REVISED	DATE
01	03/17/23	FOR APPROVAL
02	06/20/23	SITE PLAN REVISION
03	09/18/23	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN
LOT 70, 412 ROCK DOVE PL.
ROYAL BAY, SECTOR 7
CITY OF COLWOOD



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