



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP000005 - Multifamily Development in Lot 1 of Area 2 Beachlands

DEVELOPMENT PERMIT DP000005

THIS PERMIT, issued **FEBRUARY 28, 2024**, is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: LORETH, CRYSTAL
SUITE 1670 CENTRAL CITY TOWER, 13450-102ND AVE

SURREY, BC,

(the "Permittee")

-
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT I, SECTION 54, ESQUIMALT LAND DISTRICT, PLAN VIP58414
LOT J, SECTION 53, ESQUIMALT LAND DISTRICT, PLAN VIP58414, & SEC 54
METCHOSIN RD

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the *"Colwood Land Use Bylaw, 1989"* (Bylaw No. 151), to ensure the Form and Character considerations for two apartment buildings, 16 townhome units and associated site improvements are consistent with the design guidelines for areas designated as "Neighbourhood" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.

5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Architectural Plans prepared by Office of Mcfarlane Biggar Architects and Designers dated February 26, 2024
 - Schedule 2 Architectural Renderings and Materials prepared by Office of Mcfarlane Biggar Architects and Designers dated February 26, 2024
 - Schedule 3 Landscape Plans prepared by Hapa Collaborative dated February 26, 2024
 - Schedule 4 Landscape Cost Estimate prepared by Hapa Collaborative dated December 18, 2023
8. This Development Permit authorizes the construction of two apartment buildings and 16 townhome units, along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

GENERAL

- 8.1. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within any Section 219 covenants registered on title of the Lands.
- 8.2. British Columbia's archaeological sites are protected under the Heritage Conservation Act and shall not be altered or damaged without the required permits from the Provincial Archaeology Branch.

FORM AND CHARACTER CONDITIONS

Building Features

- 8.3. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings and Architectural Renderings and Materials both prepared by the Office of Mcfarlane Biggar Architects and Designers (Schedules 1 and 2).
- 8.4. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.5. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.
- 8.6. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development

Permit or amendment to this Permit.

Signage

- 8.7. Any proposed signage shall be in accordance with the details provided in the Comprehensive Site Signage Plan prepared by the Office of Mcfarlane Biggar Architects and Designers (Sheet A025 in Schedule 1).
- 8.8. This Development Permit does not include any signage approvals. A separate sign permit will be required for any marketing signage.

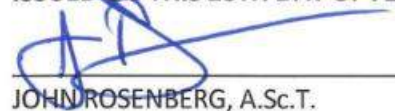
Site Lighting

- 8.9. The site lighting shall be in accordance with the lighting details included in the Site Lighting Plan prepared by the Hapa Collaborative (Sheet L6.00 in Schedule 3).

Landscaping

- 8.10. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by the Hapa Collaborative (Schedule 3).
- 8.11. Prior to the issuance of a Building Permit, the Permittee shall provide the City with a written letter of engagement from a registered landscape architect agreeing to:
 - 8.11.1. Supervise and install the landscape work in accordance with the approved Landscape Plan prepared by the Hapa Collaborative (Schedule 3); and
 - 8.11.2. Perform a final inspection and submit an inspection report to the City confirming substantial compliance with the approved landscape plan.
- 8.12. Prior to the issuance of Building Permit, the Permittee shall obtain a one-year warranty of the landscape works from the landscape contractor. This warranty shall be transferrable to subsequent owners of the property within the warranty period. The warranty must include provision for a further one-year warranty on materials.
- 8.13. Prior to the issuance of a Building Permit, the Permittee must provide to the City in the form of an irrevocable letter of credit or certified cheque, security in the amount of \$2,083,562.53 based on 110% of the Landscape Cost Estimate prepared by the Hapa Collaborative (Schedule 4), which amount, or a portion therefore, as the case may be, shall be returned, no sooner than 1 year from the date of planting, upon receipt of a signed statement of substantial completion from a registered landscape architect, to the satisfaction of the Director of Development Services.

ISSUED ON THIS 28TH DAY OF FEBRUARY 2024.



JOHN ROSENBERG, A.Sc.T.

DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES

SCHEDULE 1



DEVELOPMENT SUMMARY

LEGAL ADDRESS	PROPOSED LOT 1, PART LOT B, SECTION 54, ESQUIMALT DISTRICT, PLAN EPP101061
PHYSICAL ADDRESS	BUILDING A - 3550 SEABLUFF CRESCENT BUILDING B - 3542 SEABLUFF CRESCENT BUILDING C1 - UNITS 1-4 3501 COASTAL DRIVE BUILDING C2 - UNITS 1-6 3546 SEABLUFF CRESCENT BUILDING C3 - UNITS 7-12 3546 SEABLUFF CRESCENT
AUTHORITY	CITY OF COLWOOD OFFICIAL COMMUNITY PLAN - BYLAW 1700 LAND USE BYLAW 151 BUILDING BYLAW - 977 OFF-STREET PARKING REGULATIONS BYLAW 1909
ZONING	CD-30 (10.35)
PERMITTED USES	APARTMENTS (10.35.2.5.c.ii) ATTACHED HOUSING (10.35.2.5.c.v)
PROJECT DESCRIPTION	BUILDING A, B - 2 x 6-STORY APARTMENT BUILDINGS (PART 3 BCBC) BUILDING C1 - 1 x 3-STORY TOWN HOUSES IN LINE WITH PARKADE (PART 9 BCBC, LESS THAN 600sm) BUILDING C2 - 1 x 3-STORY TOWN HOUSES OVER PARKADE (PART 3 BCBC) BUILDING C3 - 1 x 2-STORY TOWN HOUSES OVER PARKADE (PART 9 BCBC, LESS THAN 600sm) OVER 1 LEVEL OF BASEMENT PARKING (PART 3 BCBC)
TOTAL SITE AREA	10 140sm / 109 145.00sf
TOTAL FLOOR SPACE RATIO	PERMITTED: 2.5 (10.35.5.3) PROPOSED: 1.58
TOTAL FLOOR SPACE	PERMITTED: 25 350sm / 272 862sf PROPOSED: 16 036sm / 172 611sf
SITE COVERAGE	PERMITTED: 5 070sm / 54 572sf (50%) (10.35.5.3) PROPOSED: 4 239sm / 45 626sf (42%) REFER TO SHEET A005
PARKADE COVERAGE	PERMITTED: 8 112sm / 87 316sf (80%) (10.35.5.3) PROPOSED: 8 111sm / 87 308sf (80%) REFER TO SHEET A004
HEIGHT	PERMITTED: 20m / 65.6ft (10.35.5.3) PROPOSED: BUILDING A: 19.1m / 62.6ft BUILDING B: 19.2m / 63.1ft PERMITTED: 12.5m / 41.0ft (10.35.5.3) PROPOSED: TOWNHOUSE C1: 8.37m / 27.5ft TOWNHOUSE C2-1: 9.87m / 32.4ft TOWNHOUSE C2-2: 9.90m / 32.5ft TOWNHOUSE C2-3: 9.90m / 32.5ft TOWNHOUSE C4: 6.98m / 22.9ft
SETBACKS FRONT YARD	REQUIRED: 3.0m / 10ft (10.35.5.3) PROPOSED: 4.5m and 6.0m / 15ft and 20ft
SETBACKS REAR YARD	REQUIRED: 6.0m / 20ft (REAR INCLUDES GARAGE TOWNHOUSE ACCESS) (10.35.5.3) PROPOSED: 6.0m / 20ft
SETBACKS SIDE YARD	REQUIRED: 3.0m / 10ft (10.35.5.3) PROPOSED: 3.0m / 10ft
PARKING	REFER TO SHEET A004
BICYCLES	REFER TO SHEET A004
SUITES	TOTAL: 181 1-BEDROOM: 72 2-BEDROOM: 81 3-BEDROOM: 12 TOWNHOUSES: 16

THE BEACHLANDS – AREA 2, LOT 1, BUILDING A, B, C

CITY OF COLWOOD, BC

ISSUED FOR DEVELOPMENT PERMIT REVISIONS
2024-02-26

PROJECT TEAM

CLIENT	ARCHITECTURAL/INTERIOR	STRUCTURAL	MECHANICAL	ELECTRICAL	LANDSCAPE	CIVIL
RPSP BEACH FRONT LTD PARTNERSHIP 305 - 1788 West 5th Avenue Vancouver BC 604 957 4220 Contact Georgia Desjardins georgia@seacliffgroup.com	office of mcfarlane biggar architects + designers 301 - 1825 Quebec St Vancouver, BC V5T 2Z3 604.558.6344 Contact Steve McFarlane smcfarlane@officemb.ca	GLOTMAN SIMPSON 101-19 Dallas Road Victoria, BC 250 950 4915 Contact James Macauley jmacauley@glotmansimpson.com	AME CONSULTING GROUP 721 Johnson Street Victoria, BC 250 382 5999 Contact Greg Tamopolsky gregtamopolsky@amegroup.ca	AES ENGINEERING 500-3795 Carey Road Victoria, BC 778 746 2009 Contact Gurhasanpreet Singh Gurhasanpreet.Singh@aesengr.com	HAPA COLLABORATIVE 403-375 West 5th Avenue Vancouver, BC 604 909 4150 Contact Joseph Fry jfy@hapacobo.com	ONPOINT PROJECT ENGINEERS 111-957 Langford Parkway Victoria, BC 250 478 7875 Contact Richard Rebneris rebneris@oppel.ca
CODE	ENERGY (PART 3)	ENERGY (PART 9)	ENVELOPE	GEOTECHNICAL	ACOUSTIC	ELEVATOR
MORRISON HERSHFIELD 310-4321 Still Creek Drive Burnaby, BC 604 454 0402 Contact Simon Geraghty sgeraghty@morrisonhershfield.com	MORRISON HERSHFIELD 310-4321 Still Creek Drive Burnaby, BC 604 454 0402 Contact Merriam Vahidi mvahidi@morrisonhershfield.com	BERNHARDT CONTRACTING 1535 Oak Crest Drive Victoria, BC 250 857 2432 Contact Mark Carter m.carter@bernhardtcontracting.com	MORRISON HERSHFIELD 310-4321 Still Creek Drive Burnaby, BC 604 454 0402 Contact Kelvin Chen kchen@morrisonhershfield.com	GEOPACIFIC 3351 Douglas Street Victoria, BC V8Z 3L4 250 412 8802 Contact James Carson jcarson@geopacific.ca	BAP ACOUSTICS 132-328 Wale Road Victoria, BC V9B 0J8 250 412 8802 Contact Eric de Santis eric@bapacoustics.com	KJA CONSULTANTS 750 West Pender Street - Suite 803 Vancouver, BC V6C 2T7 604 681 9294 Contact Matthew Shaw matthew.shaw@kja.com

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DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
Dec 18, 2023	D	Issued for DP Response
Jan 25, 2024	G	Issued for DP Response (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions

PARKING CALCULATIONS

RESIDENTIAL PARKING REQUIRED (A+B+C1)

COMMENTS	SUITES	BEDROOMS	STALLS REQ'D	TOTAL	BUILDING REF.
1 BED	36	1	1	36.0	A+B
1 BED + DEN	36	1	1	36.0	A+B
2 BED + DEN	11	2	1.3	14.3	A+B
2 BED MEDIUM	29	2	1.3	37.7	A+B
2 BED SMALL	41	2	1.3	53.3	A+B
3 BED	12	3	1.5	18.0	A+B
3 BED TH - TYPE A	4	3	1.5	6.0	C1
	169			201.3	

RESIDENTIAL PARKING REQUIRED (C2+C3)

COMMENTS	SUITES	BEDROOMS	STALLS REQ'D	TOTAL	BUILDING REF.
3 BED TH - TYPE B	6	4	2	12.0	C2
3 BED TH - TYPE C	6	4	2	12.0	C3
	12			24.0	

LONG-TERM BICYCLE PARKING REQUIRED (A+B+C1)

NAME	SUITES	AREA TARGET	STALLS REQ'D	TOTAL
1 BED	36	<90sqm	1	36.1
1 BED + DEN	36	<90sqm	1	36.1
2 BED + DEN	11	>90sqm	1.25	13.8
2 BED MEDIUM	29	>90sqm	1.25	36.4
2 BED SMALL	41	>90sqm	1.25	51.5
3 BED	12	>90sqm	1.25	15.1
	165			199.0

VISITOR PARKING REQUIRED (A+B+C1)

COMMENTS	SUITES	BEDROOMS	STALLS REQ'D	TOTAL	BUILDING REF.
1 BED	36	1	0.15	5.40	A+B
1 BED + DEN	36	1	0.15	5.40	A+B
2 BED + DEN	11	2	0.15	1.65	A+B
2 BED MEDIUM	29	2	0.15	4.35	A+B
2 BED SMALL	41	2	0.15	6.15	A+B
3 BED	12	3	0.15	1.80	A+B
3 BED TH - TYPE A	4	3	0.15	0.60	C1
	169			25.35	

VISITOR PARKING REQUIRED (C2+C3)

COMMENTS	SUITES	BEDROOMS	STALLS REQ'D	TOTAL	BUILDING REF.
3 BED TH - TYPE B	6	4	0.15	1.0	C2
3 BED TH - TYPE C	6	4	0.15	1.0	C3
	12			2.0	

LONG-TERM BICYCLE PARKING PROPOSED (A+B+C1)

TYPE	COUNT
Level P1	
HORIZONTAL	83
OVERSIZED	20
VERTICAL	96
	199

RESIDENTIAL PARKING PROPOSED (A+B+C1)

TYPE	COUNT
ACCESSIBLE	6
SMALL	67
STANDARD	127
VISITOR*	27
TOTAL COUNT	227

RESIDENTIAL PARKING PROPOSED (C2+C3)

TYPE	COUNT
STANDARD	24
VISITOR	2
TOTAL COUNT	26

SHORT-TERM BICYCLE PARKING PROPOSED (ALL)

TYPE	COUNT
HORIZONTAL - SHORT TERM	30
	30

*INCLUDES 1 x LOADING STALL

GRADE CALCULATIONS

BUILDING A - FINISH GRADE

GRADE - NORTH					
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED
	M	M	M	(EL1 + EL2)/2	L x AG
N1	44.95	44.95	7.88	44.95	345.22
N2	45.15	45.15	4.94	45.15	223.22
N3	44.45	44.45	5.73	44.45	254.65
AVERAGE GRADE = $\frac{823.09}{18.35}$					
NORTH AVERAGE GRADE = 44.85					

GRADE - WEST					
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED
W1	44.45	44.45	8.56	44.45	380.36
W2	45.15	43.71	6.89	44.43	306.06
W3	45.15	45.15	40.90	45.15	1846.64
W4	45.15	44.80	9.16	44.98	411.97
AVERAGE GRADE = $\frac{2945.04}{65.51}$					
WEST AVERAGE GRADE = 44.96					

GRADE - SOUTH					
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED
S1	44.80	45.15	9.31	44.98	418.58
S2	44.20	44.20	2.06	44.20	91.23
S3	45.15	45.15	7.10	45.15	320.70
AVERAGE GRADE = $\frac{830.51}{18.47}$					
SOUTH AVERAGE GRADE = 44.96					

GRADE - EAST					
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED
E1	45.15	45.15	62.91	45.15	2840.39
E2	45.15	45.15	2.60	45.15	117.39
AVERAGE GRADE = $\frac{2957.78}{65.51}$					
EAST AVERAGE GRADE = 45.150					

AVERAGE GRADE = $\frac{7556.42}{167.84}$					
BUILDING A AVERAGE FINISHED GRADE = 45.02					

BUILDING B - FINISH GRADE

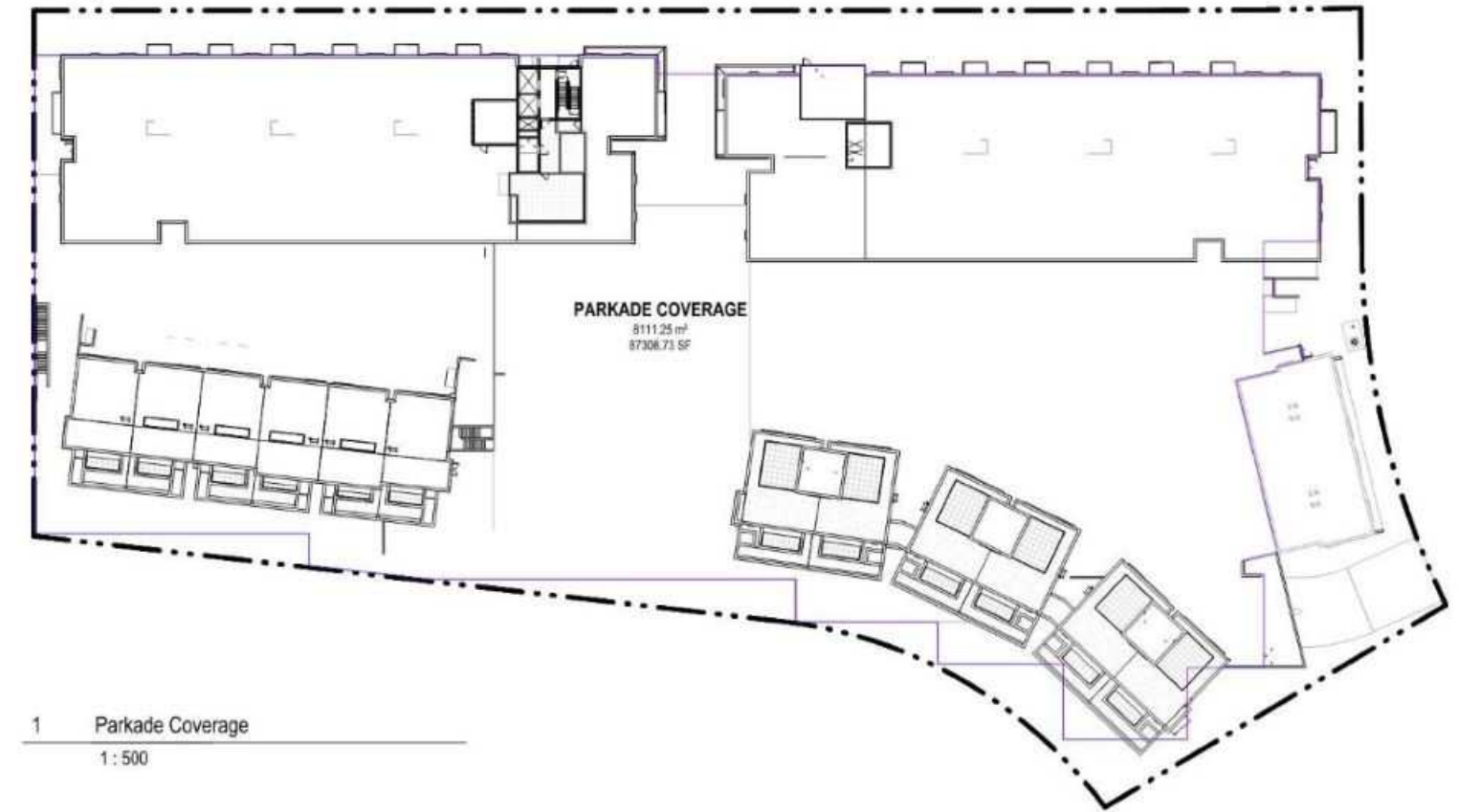
GRADE - NORTH					
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED
	M	M	M	(EL1 + EL2)/2	L x AG
N1	42.20	42.65	6.94	42.43	294.43
N2	42.65	42.65	2.39	42.65	101.90
N3	42.65	42.65	9.15	42.65	390.25
N4	44.10	43.90	0.91	44.00	40.04
AVERAGE GRADE = $\frac{826.65}{19.39}$					
NORTH AVERAGE GRADE = 42.63					

GRADE - WEST					
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED
W1	42.65	43.60	9.16	43.13	394.90
W2	44.15	44.10	40.88	44.13	1802.95
W3	43.90	44.15	7.16	44.03	315.22
W4	44.15	44.15	8.34	44.15	368.21
AVERAGE GRADE = $\frac{2881.27}{65.52}$					
WEST AVERAGE GRADE = 43.98					

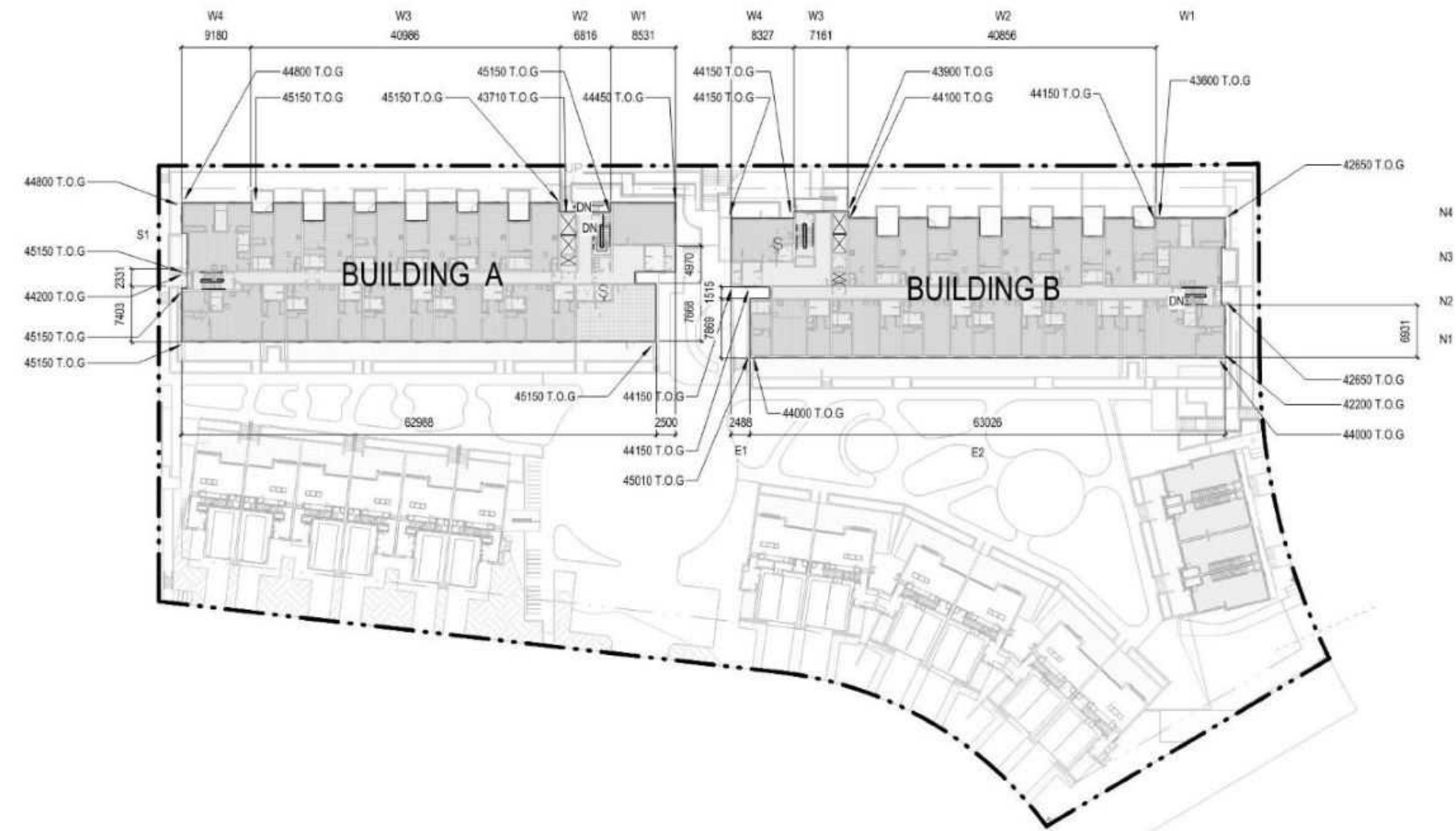
GRADE - SOUTH					
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED
S1	44.15	44.15	9.16	44.15	404.41
S2	44.15	44.15	1.49	44.15	65.78
S3	44.15	45.01	7.88	44.58	351.29
AVERAGE GRADE = $\frac{821.49}{18.53}$					
SOUTH AVERAGE GRADE = 44.333					

GRADE - EAST					
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED
E1	44.15	44.15	2.54	44.15	112.56
E2	44.00	44.00	63.15	44.00	2778.54
AVERAGE GRADE = $\frac{2895.20}{65.79}$					
EAST AVERAGE GRADE = 44.01					

AVERAGE GRADE = $\frac{7424.61}{169.23}$					
BUILDING B AVERAGE FINISHED GRADE = 43.87					



1 Parkade Coverage
1:500



2 Diagram - Buildings Grades
1:500

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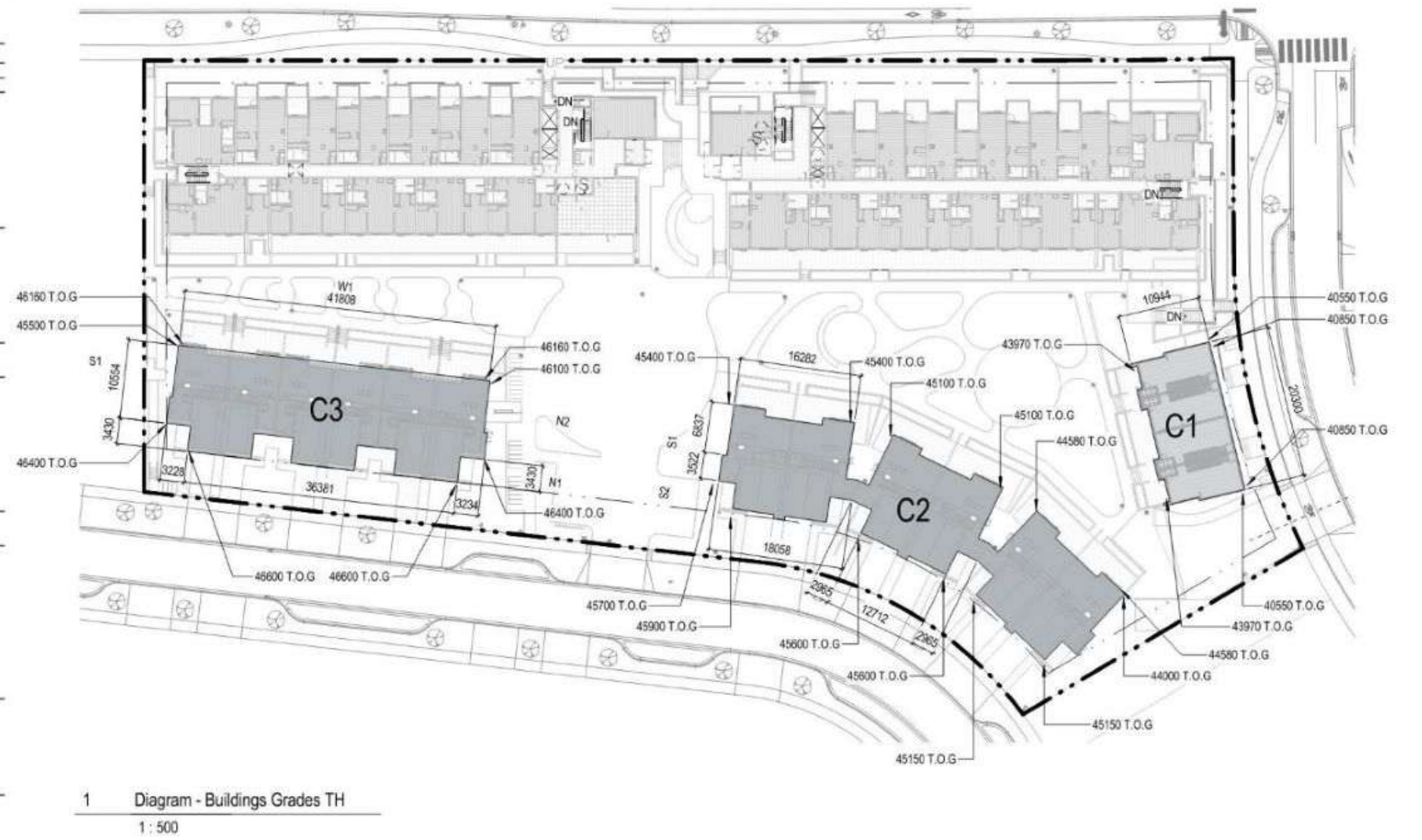
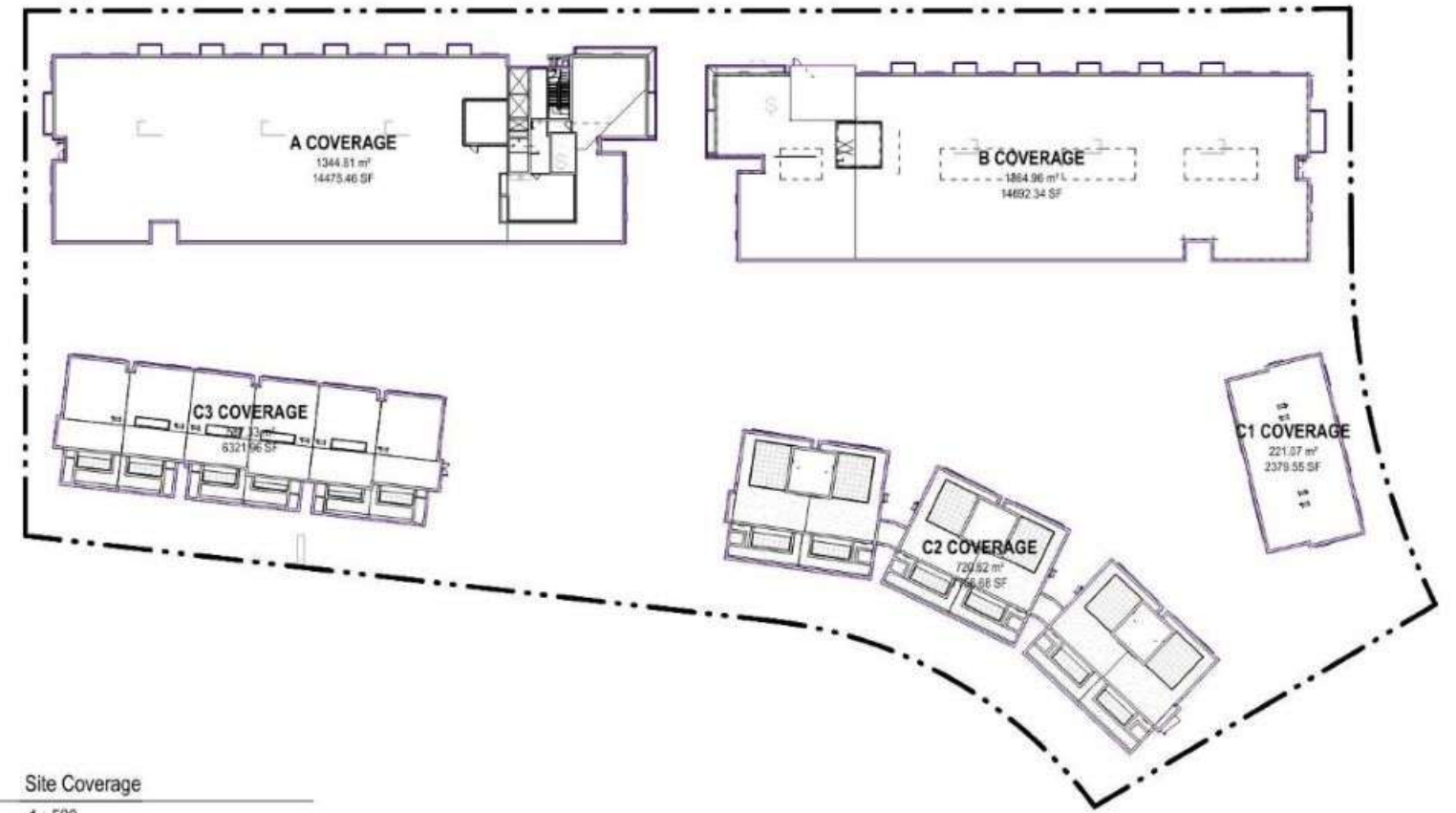
BUILDING C4 - FINISH GRADE						
GRADE - NORTH						
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED	
	M	M	M	(EL1 + EL2)/2	L x SA	L x SA
N1	46.60	46.40	3.43	46.50	159.50	
N2	46.40	46.10	10.55	46.25	488.12	
AVERAGE GRADE =				647.62		
				13.98		
NORTH AVERAGE GRADE =				46.31		
GRADE - WEST						
W1	46.16	46.16	41.83	46.16	1931.06	
AVERAGE GRADE =				1931.06		
				41.83		
WEST AVERAGE GRADE =				46.16		
GRADE - SOUTH						
S1	45.50	46.40	10.55	45.95	484.96	
S2	46.40	46.60	3.43	46.50	159.50	
AVERAGE GRADE =				644.45		
				13.98		
SOUTH AVERAGE GRADE =				46.08		
GRADE - EAST						
E1	46.40	46.40	3.23	46.40	149.78	
E2	46.60	46.60	36.38	46.60	1695.35	
E3	46.40	46.40	3.23	46.40	150.06	
AVERAGE GRADE =				1995.19		
				42.84		
EAST AVERAGE GRADE =				46.57		
AVERAGE GRADE =				5218.32		
				112.65		
BUILDING AVERAGE FINISHED GRADE =				46.33		

BUILDING C1 - FINISH GRADE						
GRADE - NORTH						
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED	
	M	M	M	(EL1 + EL2)/2	L x SA	L x SA
N1	40.85	40.85	20.30	40.85	829.26	
AVERAGE GRADE =				829.26		
				20.30		
NORTH AVERAGE GRADE =				40.85		
GRADE - WEST						
W1	40.56	43.97	10.94	42.26	462.32	
AVERAGE GRADE =				462.32		
				10.94		
WEST AVERAGE GRADE =				42.26		
GRADE - SOUTH						
S1	43.97	43.97	20.30	43.97	892.59	
AVERAGE GRADE =				892.59		
				20.30		
SOUTH AVERAGE GRADE =				43.97		
GRADE - EAST						
E1	40.56	40.95	10.95	40.55	444.02	
AVERAGE GRADE =				444.02		
				10.95		
EAST AVERAGE GRADE =				40.55		
AVERAGE GRADE =				2628.19		
				62.49		
BUILDING AVERAGE FINISHED GRADE =				42.06		

BUILDING C2-1 - FINISH GRADE						
GRADE - NORTH						
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED	
	M	M	M	(EL1 + EL2)/2	L x SA	L x SA
N1	45.15	45.00	3.44	45.08	154.88	
N2	45.00	44.00	10.55	44.50	469.39	
AVERAGE GRADE =				624.26		
				13.98		
NORTH AVERAGE GRADE =				44.64		
GRADE - WEST						
W1	44.58	44.58	16.29	44.58	726.39	
AVERAGE GRADE =				726.39		
				16.29		
WEST AVERAGE GRADE =				44.58		
GRADE - SOUTH						
S1	44.58	45.00	10.55	44.79	472.44	
S2	45.00	45.15	3.44	45.08	154.88	
AVERAGE GRADE =				627.32		
				13.98		
SOUTH AVERAGE GRADE =				44.86		
GRADE - EAST						
E1	45.00	45.00	2.36	45.00	106.66	
E2	45.15	45.15	12.75	45.15	575.75	
E3	45.00	45.00	2.36	45.00	106.25	
AVERAGE GRADE =				787.66		
				17.46		
EAST AVERAGE GRADE =				45.11		
AVERAGE GRADE =				2765.63		
				61.72		
BUILDING AVERAGE FINISHED GRADE =				44.81		

BUILDING C2-2 - FINISH GRADE						
GRADE - NORTH						
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED	
	M	M	M	(EL1 + EL2)/2	L x SA	L x SA
N1	45.60	45.40	3.44	45.50	156.34	
N2	45.40	45.10	10.55	45.25	477.30	
AVERAGE GRADE =				633.64		
				13.98		
NORTH AVERAGE GRADE =				45.31		
GRADE - WEST						
W1	45.10	45.10	16.29	45.10	734.86	
AVERAGE GRADE =				734.86		
				16.29		
WEST AVERAGE GRADE =				45.10		
GRADE - SOUTH						
S1	45.10	45.40	10.55	45.25	477.30	
S2	45.40	45.60	3.44	45.50	156.34	
AVERAGE GRADE =				633.64		
				13.98		
SOUTH AVERAGE GRADE =				45.31		
GRADE - EAST						
E1	45.40	45.40	2.36	45.40	106.60	
E2	45.60	45.60	12.75	45.60	581.49	
E3	45.40	45.40	2.36	45.40	107.19	
AVERAGE GRADE =				795.28		
				17.46		
EAST AVERAGE GRADE =				45.55		
AVERAGE GRADE =				2797.41		
				61.72		
BUILDING AVERAGE FINISHED GRADE =				45.32		

BUILDING C2-3 - FINISH GRADE						
GRADE - NORTH						
LOCATION	EL1	EL2	L	AVG. GRADE	WEIGHTED	
	M	M	M	(EL1 + EL2)/2	L x SA	L x SA
N1	45.90	45.70	3.44	45.80	157.37	
N2	45.70	45.40	10.55	45.55	480.46	
AVERAGE GRADE =				637.83		
				13.98		
NORTH AVERAGE GRADE =				45.61		
GRADE - WEST						
W1	45.40	45.40	16.29	45.40	739.75	
AVERAGE GRADE =				739.75		
				16.29		
WEST AVERAGE GRADE =				45.40		
GRADE - SOUTH						
S1	45.40	45.70	10.55	45.55	480.46	
S2	45.70	45.90	3.44	45.80	157.37	
AVERAGE GRADE =				637.83		
				13.98		
SOUTH AVERAGE GRADE =				45.61		
GRADE - EAST						
E1	45.70	45.70	2.36	45.70	107.30	
E2	45.90	45.90	12.75	45.90	585.32	
E3	45.70	45.70	2.36	45.70	107.90	
AVERAGE GRADE =				800.52		
				17.46		
EAST AVERAGE GRADE =				45.85		
AVERAGE GRADE =				2815.93		
				61.72		
BUILDING AVERAGE FINISHED GRADE =				45.62		



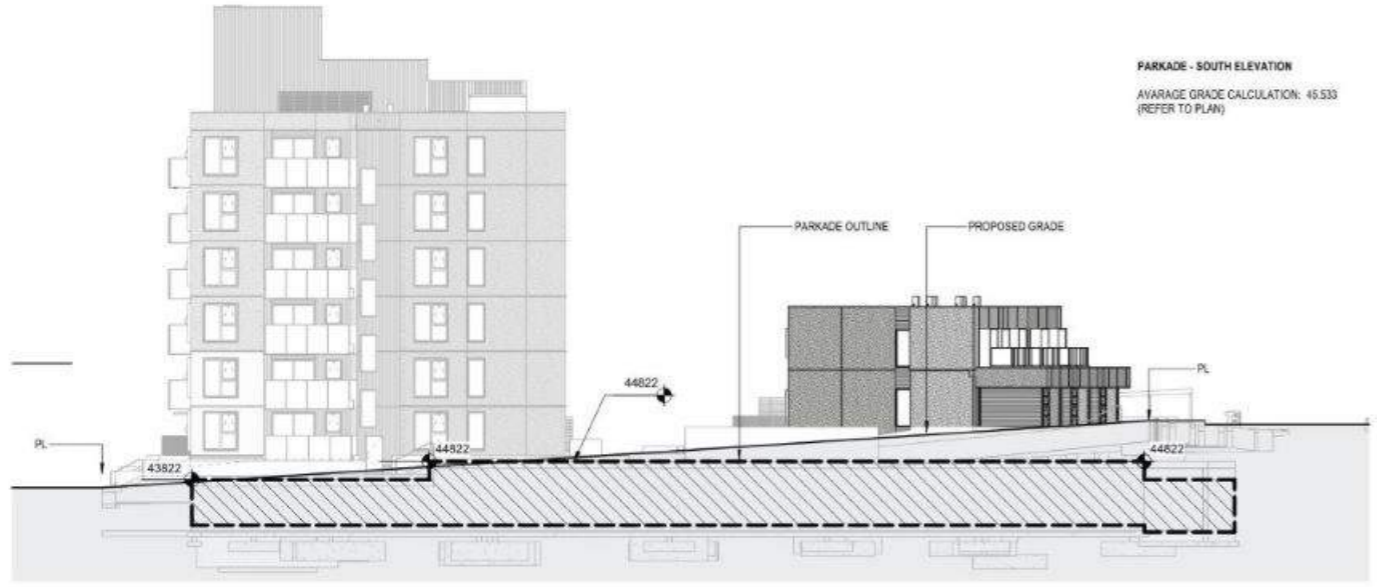
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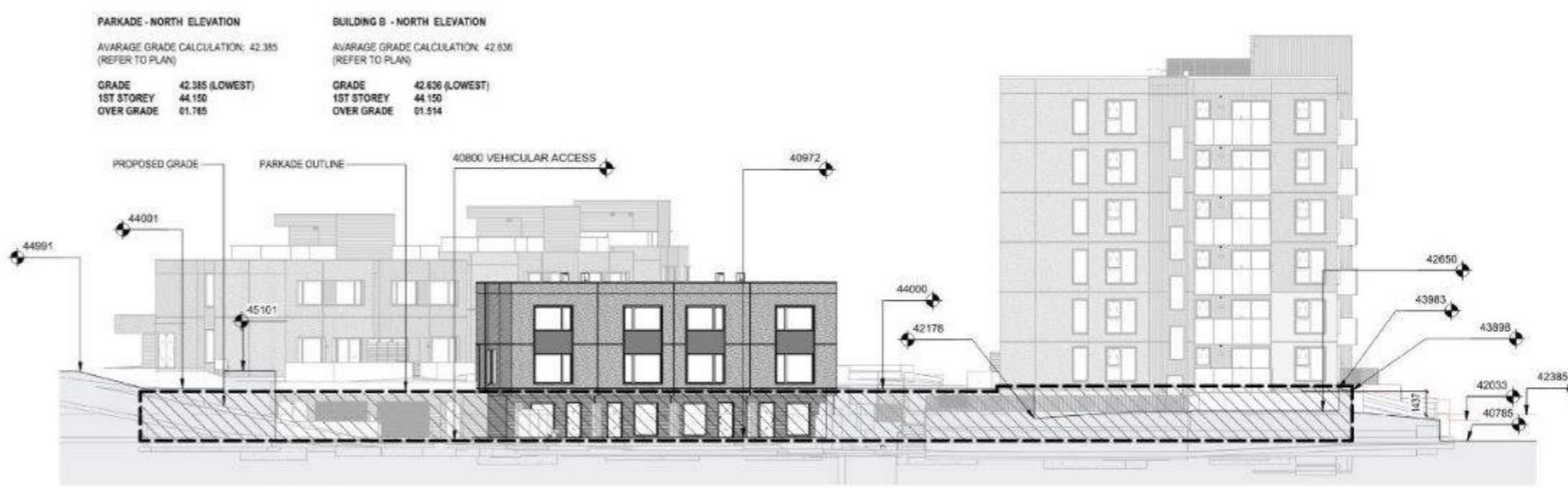
1 Elevation - West - Code Diagram
1:200



5 Elevation - East - Code Diagram
1:200



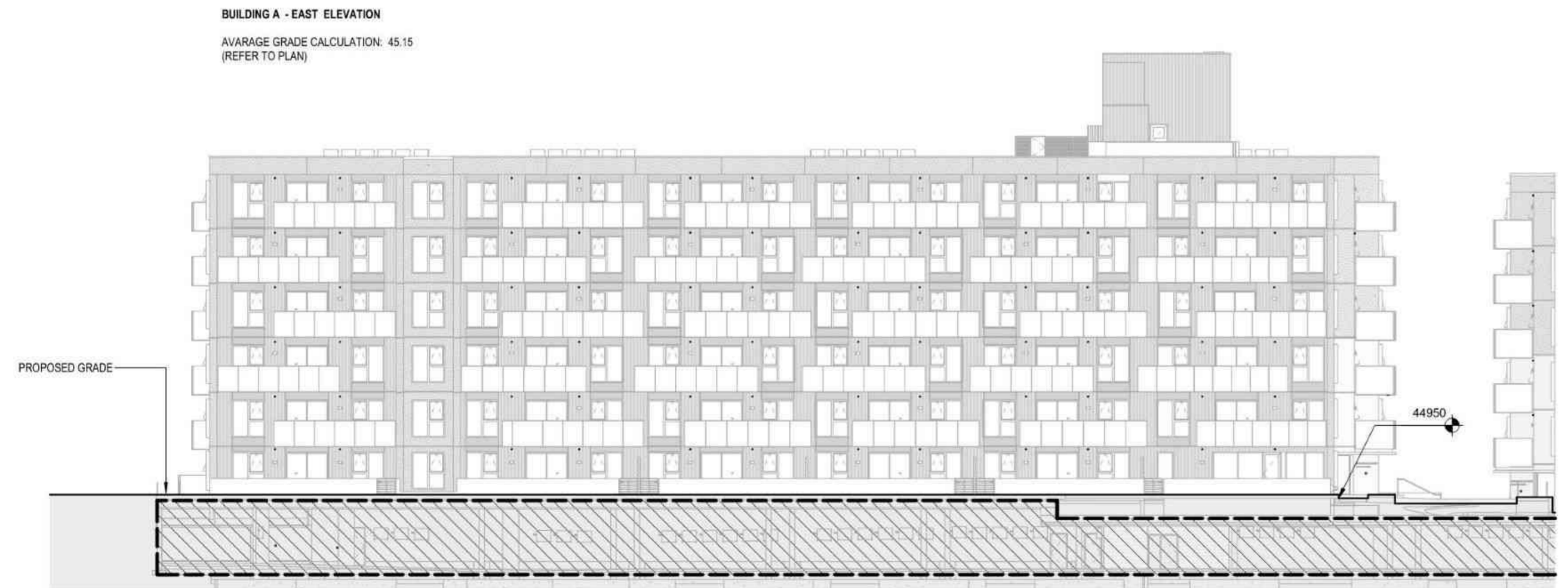
3 Elevation - South - Code Diagram
1:200



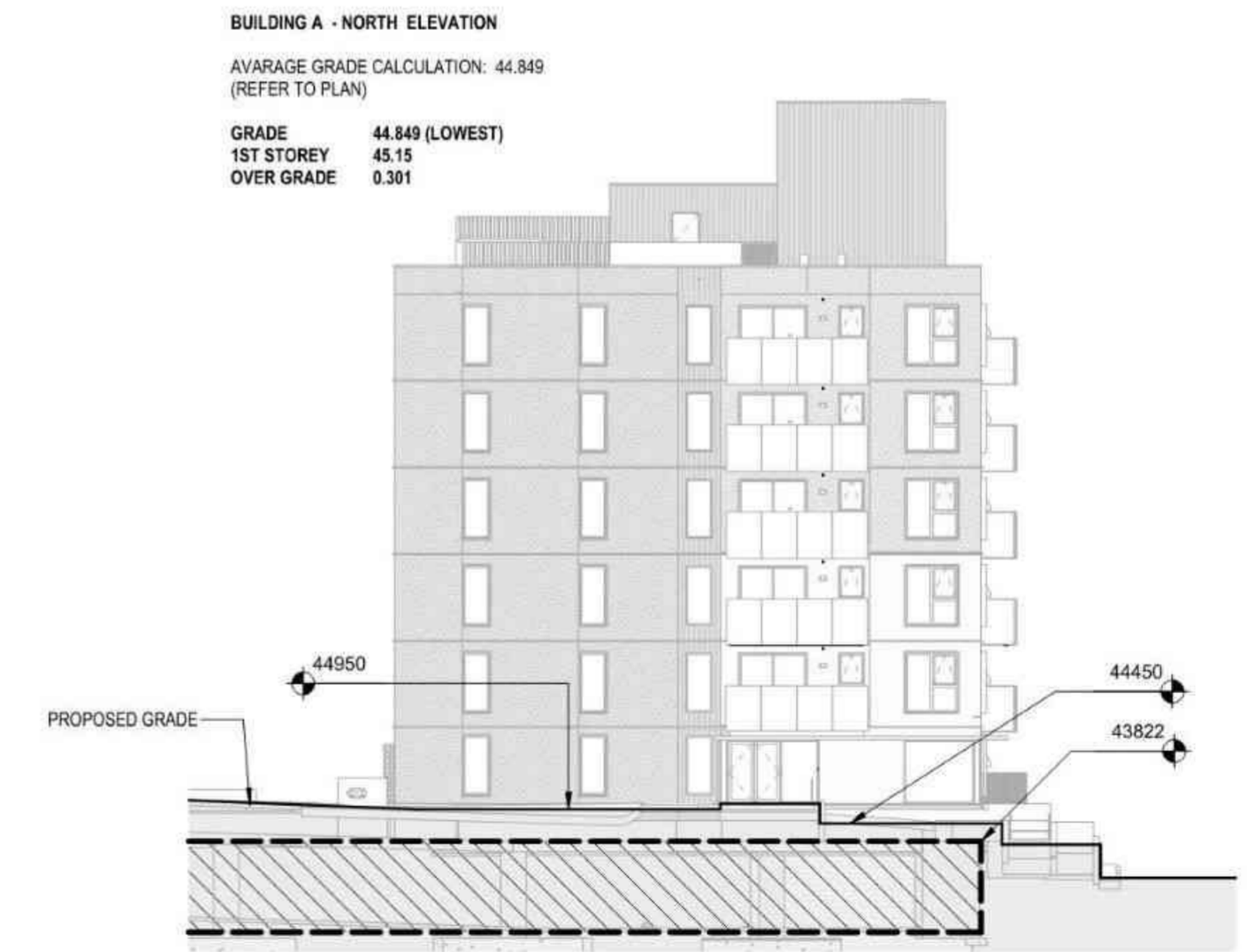
4 Elevation - North - Code Diagram
1:200

2/26/2024 3:38:25 PM

DATE	REV	DESCRIPTION
SEP 14, 2023	A	Issued for DP
DEC 18, 2023	D	Issued for DP Response
JAN 25, 2024	G	Issued for DP Response (Rev 1)
FEB 26, 2024	I	Issued for DP Revisions



2 Elevation - 2A East - Code Diagram
 1 : 200



1 Elevation - 2A North - Code Diagram
 1 : 200

2/26/2024 3:38:31 PM

DATE	REV	DESCRIPTION
Dec 2, 2023	C	Issued for CD 40%
Jan 25, 2024	G	Issued for DP Responses (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions



THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C

THE BEACHLANDS
 CITY OF COLWOOD
 2022-039
 [NOT FOR CONSTRUCTION]

CODE DIAGRAMS - GRADE

1 : 200

A008



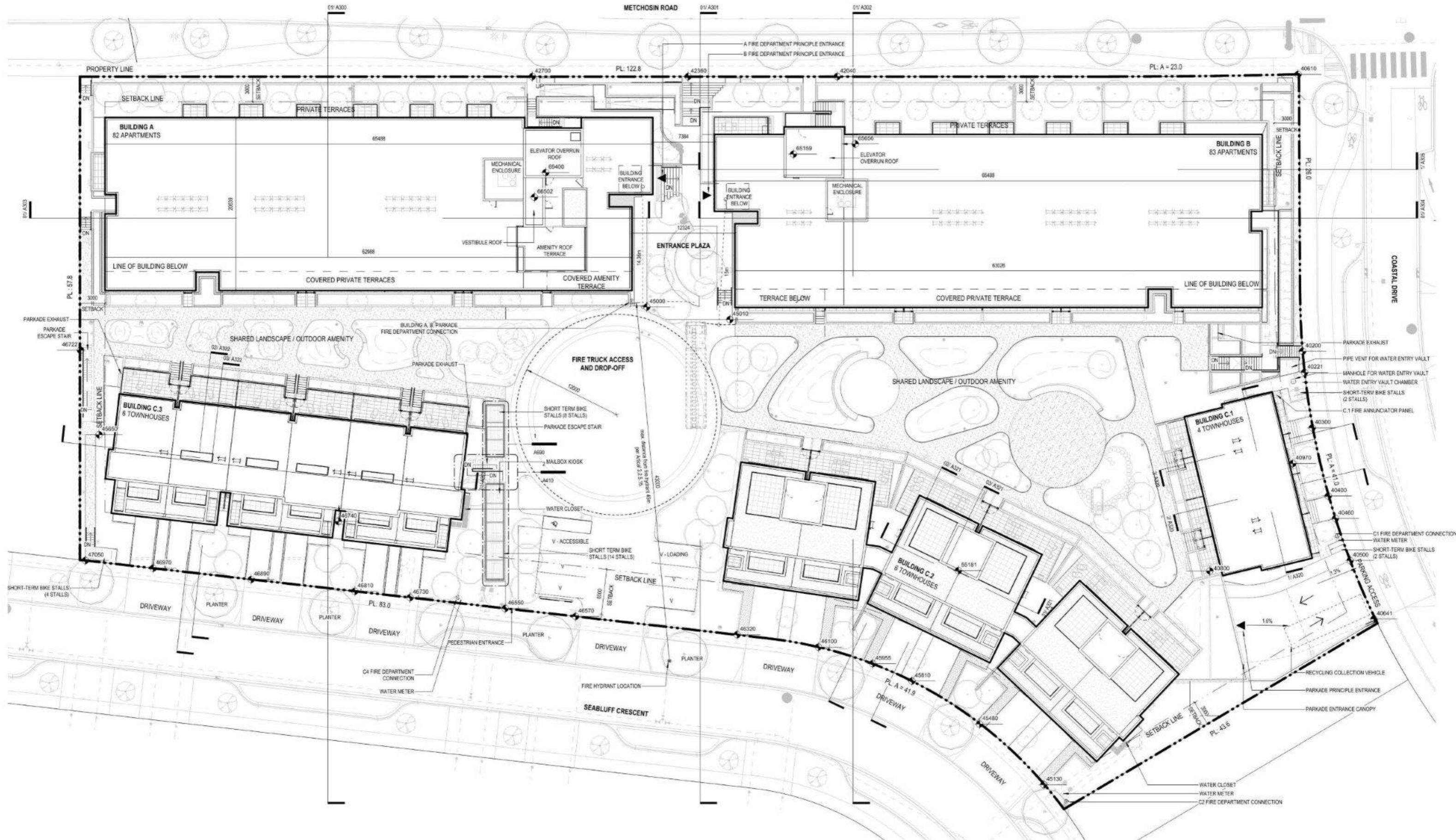
01 Context Plan - Masterplan
1 : 2000

NOTE: 1m CONTOUR LINES INDICATED

2/29/2024 3:38:46 PM

DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
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2/26/2024 3:38:55 PM

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THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
THE BEACHLANDS
CITY OF COLWOOD
2022-039
[NOT FOR CONSTRUCTION]



SITE PLAN
1:200

A021

SIGNAGE TYPE 1: (MAIN ENTRANCE)

- BLACK PAINTED STEEL SIGNAGE WITH INDIVIDUAL LETTERING ON ARCHITECTURAL CONCRETE WALL.
- HEIGHT REFER TO ELEVATION.

SIGNAGE TYPE 2: (METCHOSIN ENTRANCE)

- BLACK PAINTED STEEL SIGNAGE WITH INDIVIDUAL LETTERING ON ARCHITECTURAL CONCRETE PLANTER WALL.
- HEIGHT REFER TO ELEVATION.

SIGNAGE TYPE 3: (PARKING ENTRANCE)

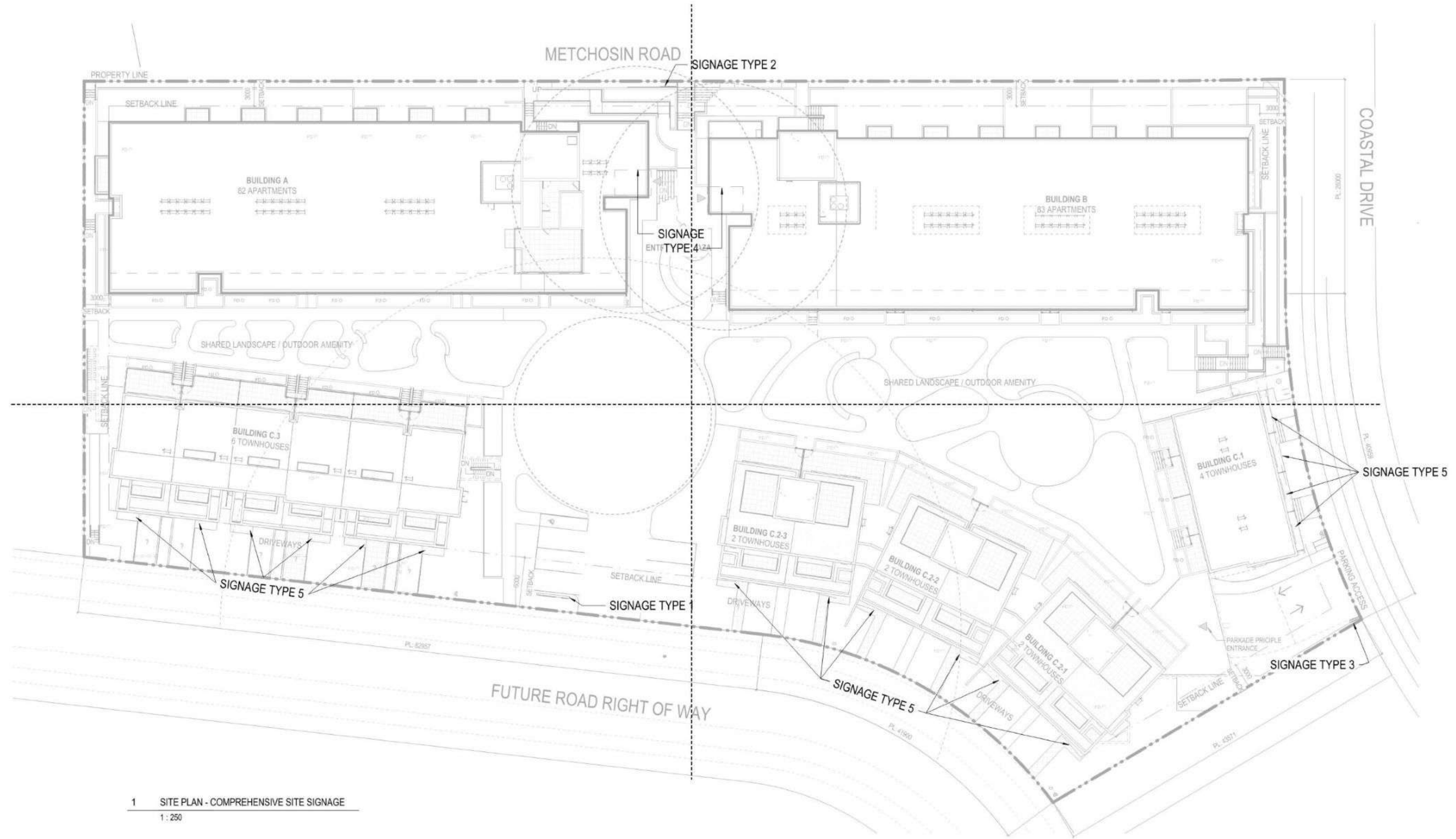
- BLACK PAINTED STEEL SIGNAGE WITH INDIVIDUAL LETTERING ON ARCHITECTURAL CONCRETE WALL.
- SIGNAGE APPLIED TO BOTH SIDES OF THE WALL.
- HEIGHT REFER TO ELEVATION.

SIGNAGE TYPE 4: (BUILDING A & 2B ENTRANCE)

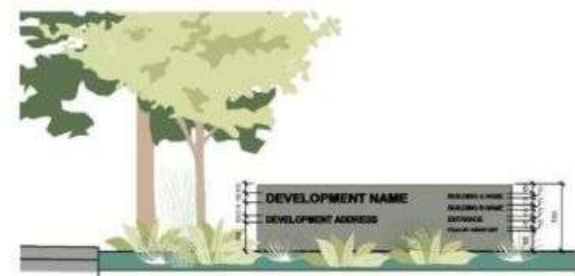
- WHITE PAINTED STEEL SIGNAGE WITH INDIVIDUAL LETTERING MOUNTED FLUSH TO THE WALL.
- HEIGHT REFER TO ELEVATION.

SIGNAGE TYPE 5: (TOWN HOME ENTRANCES)

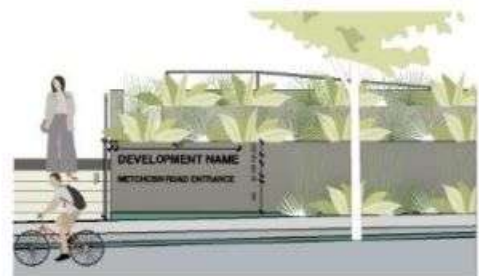
- WHITE PAINTED STEEL SIGNAGE WITH INDIVIDUAL LETTERING MOUNTED FLUSH TO THE WALL.
- HEIGHT REFER TO ELEVATION.



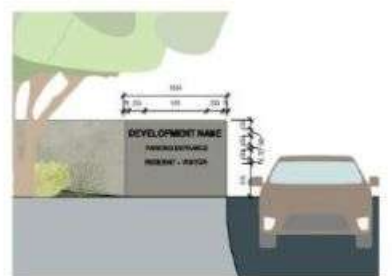
1 SITE PLAN - COMPREHENSIVE SITE SIGNAGE
1 : 250



2 Elevation - SIGNAGE TYPE 1
1 : 75



3 Elevation - SIGNAGE TYPE 2
1 : 75



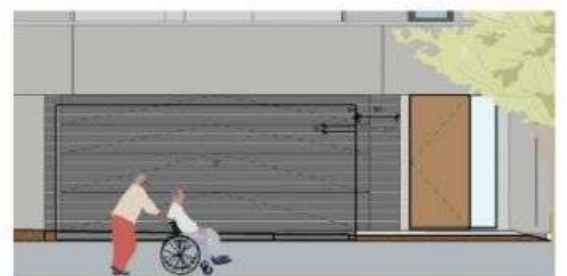
4 Elevation - SIGNAGE TYPE 3
1 : 75



5 Elevation - SIGNAGE TYPE 4 (A)
1 : 75



6 Elevation - SIGNAGE TYPE 4 (B)
1 : 75



7 Elevation - SIGNAGE TYPE 5
1 : 75

2/28/2024 3:39:37 PM

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GROSS FLOOR AREA

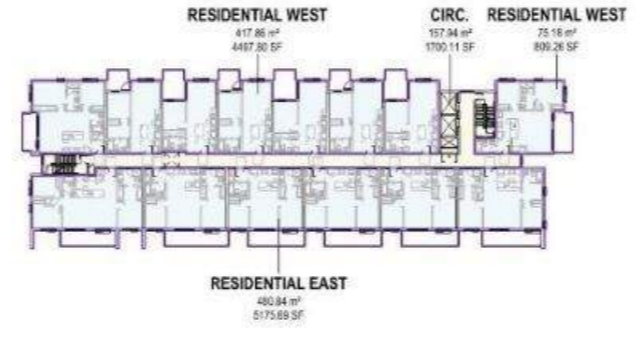
FSR Area Type	Area SF
A	
T.O. L1 Conc Topping A	
COMMON - AMENITY	1419 SF
COMMON - CIRCULATION	2021 SF
RESIDENTIAL	8770 SF
	12210 SF
T.O. L2 Conc Topping A	
COMMON - CIRCULATION	1700 SF
RESIDENTIAL	10483 SF
	12183 SF
T.O. L3 Conc Topping A	
COMMON - CIRCULATION	1700 SF
RESIDENTIAL	10478 SF
	12178 SF
T.O. L4 Conc Topping A	
COMMON - CIRCULATION	1700 SF
RESIDENTIAL	10483 SF
	12183 SF
T.O. L5 Conc Topping A	
COMMON - CIRCULATION	1700 SF
RESIDENTIAL	10478 SF
	12178 SF
T.O. L6 Conc Topping A	
COMMON - CIRCULATION	1700 SF
RESIDENTIAL	10483 SF
	12183 SF
F.F. Roof Level A	
COMMON - CIRCULATION	618 SF
	618 SF
ABC	
Level P1	
PARKADE	88110 SF
	88110 SF
B	
T.O. L1 Conc Topping B	
COMMON - AMENITY	525 SF
COMMON - CIRCULATION	2187 SF
RESIDENTIAL	9664 SF
	12376 SF
T.O. L2 Conc Topping B	
COMMON - CIRCULATION	1812 SF
RESIDENTIAL	10537 SF
	12349 SF
T.O. L3 Conc Topping B	
COMMON - CIRCULATION	1820 SF
RESIDENTIAL	10529 SF
	12349 SF
T.O. L4 Conc Topping B	
COMMON - CIRCULATION	1820 SF
RESIDENTIAL	10529 SF
	12349 SF
T.O. L5 Conc Topping B	
COMMON - CIRCULATION	1820 SF
RESIDENTIAL	10529 SF
	12349 SF
T.O. L6 Conc Topping B	
COMMON - CIRCULATION	1820 SF
RESIDENTIAL	10529 SF
	12349 SF
F.F. Roof Level B	
RESIDENTIAL	196 SF
	196 SF
TOTAL	236158 SF



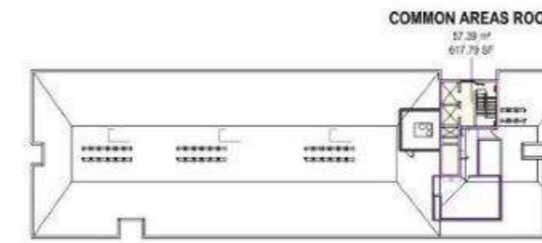
15 PARKADE LEVEL
1 : 750



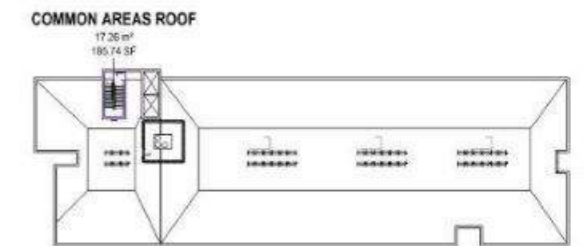
1 A Level 1_FAR
1 : 500



4 A Level 4_FAR
1 : 500



13 2A Level Roof
1 : 500



14 2B Level Roof
1 : 500



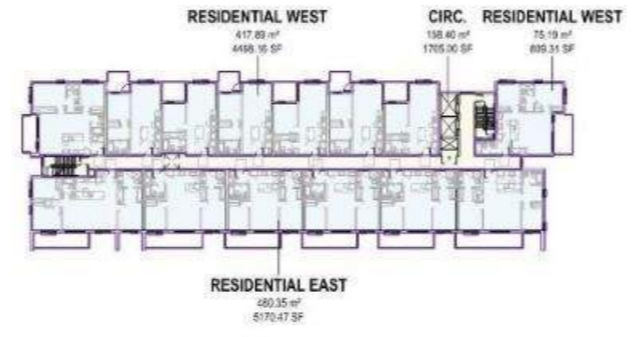
7 B Level 1_FAR
1 : 500



10 B Level 4_FAR
1 : 500



2 A Level 2_FAR
1 : 500



5 A Level 5_FAR
1 : 500



8 B Level 2_FAR
1 : 500

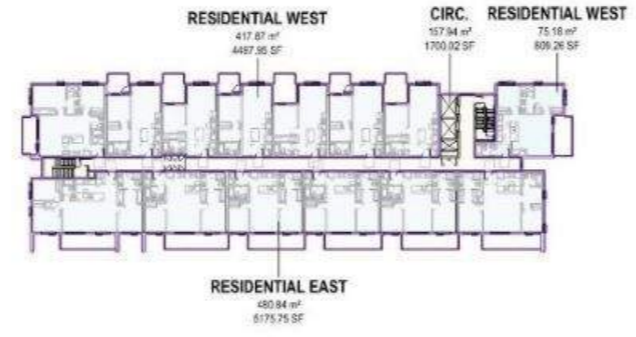


11 B Level 5_FAR
1 : 500

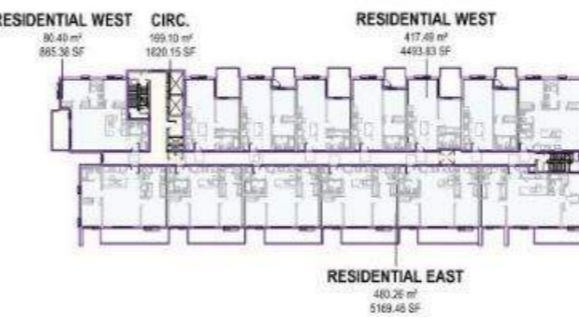
FSR Area Type	Area SF	FSR Area Type	Area SF
A		B	
T.O. L1 Conc Topping A		T.O. L1 Conc Topping B	
OUTDOOR	2453 SF	OUTDOOR	2408 SF
	2453 SF		2408 SF
T.O. L2 Conc Topping A		T.O. L2 Conc Topping B	
OUTDOOR	1696 SF	OUTDOOR	1426 SF
	1696 SF		1426 SF
T.O. L3 Conc Topping A		T.O. L3 Conc Topping B	
OUTDOOR	1549 SF	OUTDOOR	1714 SF
	1549 SF		1714 SF
T.O. L4 Conc Topping A		T.O. L4 Conc Topping B	
OUTDOOR	1696 SF	OUTDOOR	1496 SF
	1696 SF		1496 SF
T.O. L5 Conc Topping A		T.O. L5 Conc Topping B	
OUTDOOR	1548 SF	OUTDOOR	1714 SF
	1548 SF		1714 SF
T.O. L6 Conc Topping A		T.O. L6 Conc Topping B	
OUTDOOR	1695 SF	OUTDOOR	1496 SF
	1695 SF		1496 SF
F.F. Roof Level A		TOTAL	21428 SF
OUTDOOR	625 SF		
	625 SF		



3 A Level 3_FAR
1 : 500



6 A Level 6_FAR
1 : 500



9 B Level 3_FAR
1 : 500



12 B Level 6_FAR
1 : 500

NOTES:

- AREA LISTED IN THIS SCHEDULE REPRESENTS THE GROSS FLOOR AREA.
- AREAS ARE MEASURED TO THE EXTERIOR SURFACE OF WALLS AND THE CENTRE OF DEMISING WALLS BETWEEN RESIDENTIAL AND COMMON AREAS.
- BALCONIES AND THE ROOF OVERRUN AND LOBBY ARE EXCLUDED, BALCONIES REPRESENTED IN A DIFFERENT SCHEDULE.
- ROOF SUNDECKS ARE EXCLUDED.
- "GROSS FLOOR AREA" AS PER CITY OF COLWOOD LANDUSE BYLAW MEANS THE SUM OF THE FLOOR AREAS OF EVERY STOREY IN EVERY BUILDING ON A LOT MEASURED TO THE OUTSIDE FACE OF THE EXTERIOR WALLS, EXCLUDING ACCESSORY BUILDINGS AND STRUCTURES, CANOPIES, SUNDECKS, AND EXTERIOR STAIRS, AND THE FIRST 90 M2 OF AN ATTACHED CARPORT OR GARAGE.

AREAS LEGEND

- COMMON
- COMMON - AMENITY
- COMMON - CIRCULATION
- OUTDOOR
- PARKADE
- RESIDENTIAL

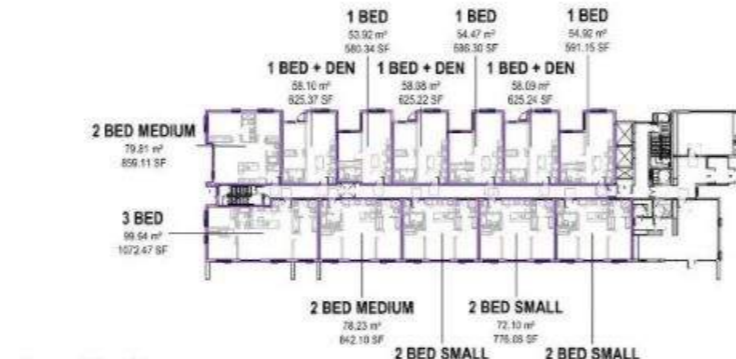
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DATE	REV	DESCRIPTION
SEP 14, 2023	A	Issued for DP
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JAN 25, 2024	G	Issued for DP Response (Rev 1)
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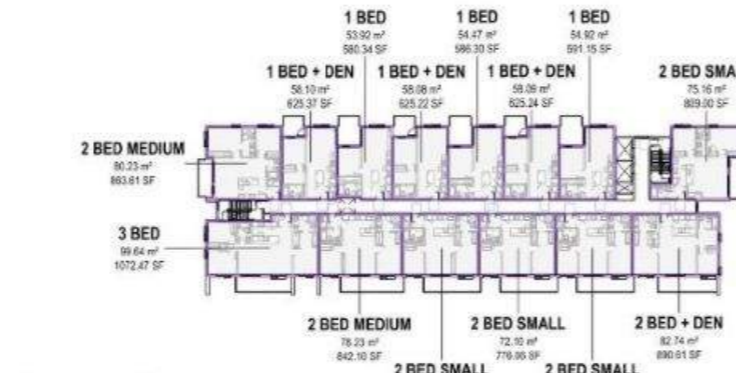


LEASABLE AREA SCHEDULE

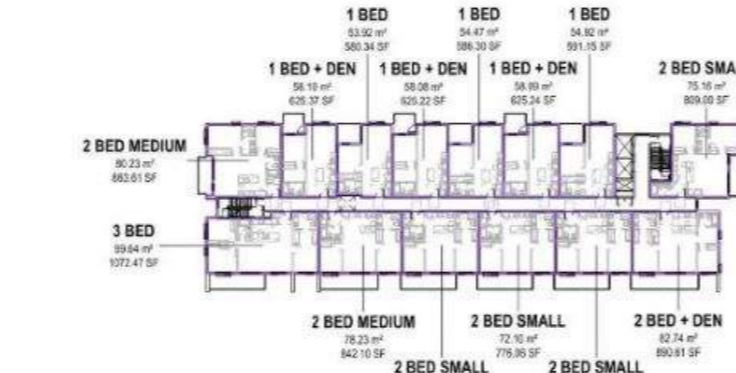
NAME	AREA	NAME	AREA
A			
T.O. L1 Conc Topping A			
1 BED	54 m ²	1 BED	55 m ²
1 BED	54 m ²	1 BED	55 m ²
1 BED	55 m ²	1 BED	54 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
2 BED MEDIUM	80 m ²	2 BED MEDIUM	80 m ²
2 BED MEDIUM	78 m ²	2 BED MEDIUM	80 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	76 m ²
2 BED SMALL	72 m ²	2 BED SMALL	72 m ²
2 BED SMALL	72 m ²	2 BED SMALL	72 m ²
3 BED	100 m ²	3 BED	99 m ²
	812 m ²		854 m ²
T.O. L2 Conc Topping A			
1 BED	54 m ²	1 BED	55 m ²
1 BED	54 m ²	1 BED	55 m ²
1 BED	55 m ²	1 BED	54 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
2 BED + DEN	83 m ²	2 BED + DEN	83 m ²
2 BED MEDIUM	80 m ²	2 BED MEDIUM	80 m ²
2 BED MEDIUM	78 m ²	2 BED MEDIUM	80 m ²
2 BED SMALL	75 m ²	2 BED MEDIUM	78 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
3 BED	100 m ²	3 BED	99 m ²
	970 m ²		975 m ²
T.O. L3 Conc Topping A			
1 BED	54 m ²	1 BED	55 m ²
1 BED	54 m ²	1 BED	55 m ²
1 BED	55 m ²	1 BED	54 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
2 BED + DEN	83 m ²	2 BED + DEN	83 m ²
2 BED MEDIUM	80 m ²	2 BED MEDIUM	80 m ²
2 BED MEDIUM	78 m ²	2 BED MEDIUM	80 m ²
2 BED SMALL	75 m ²	2 BED MEDIUM	78 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
3 BED	100 m ²	3 BED	99 m ²
	970 m ²		975 m ²
T.O. L4 Conc Topping A			
1 BED	54 m ²	1 BED	55 m ²
1 BED	54 m ²	1 BED	55 m ²
1 BED	55 m ²	1 BED	54 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
2 BED + DEN	83 m ²	2 BED + DEN	83 m ²
2 BED MEDIUM	80 m ²	2 BED MEDIUM	80 m ²
2 BED MEDIUM	78 m ²	2 BED MEDIUM	80 m ²
2 BED SMALL	75 m ²	2 BED MEDIUM	78 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
3 BED	100 m ²	3 BED	99 m ²
	970 m ²		975 m ²
T.O. L5 Conc Topping A			
1 BED	54 m ²	1 BED	55 m ²
1 BED	54 m ²	1 BED	55 m ²
1 BED	55 m ²	1 BED	54 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
2 BED + DEN	83 m ²	2 BED + DEN	83 m ²
2 BED MEDIUM	80 m ²	2 BED MEDIUM	80 m ²
2 BED MEDIUM	78 m ²	2 BED MEDIUM	80 m ²
2 BED SMALL	75 m ²	2 BED MEDIUM	78 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
3 BED	100 m ²	3 BED	99 m ²
	970 m ²		975 m ²
T.O. L6 Conc Topping A			
1 BED	54 m ²	1 BED	55 m ²
1 BED	54 m ²	1 BED	55 m ²
1 BED	55 m ²	1 BED	54 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
1 BED + DEN	56 m ²	1 BED + DEN	56 m ²
2 BED + DEN	83 m ²	2 BED + DEN	83 m ²
2 BED MEDIUM	80 m ²	2 BED MEDIUM	80 m ²
2 BED MEDIUM	78 m ²	2 BED MEDIUM	80 m ²
2 BED SMALL	75 m ²	2 BED MEDIUM	78 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
2 BED SMALL	72 m ²	2 BED MEDIUM	81 m ²
3 BED	100 m ²	3 BED	99 m ²
	5661 m ²		5768 m ²
		Grand total:	11429 m ²



1 A Level 1
1:500



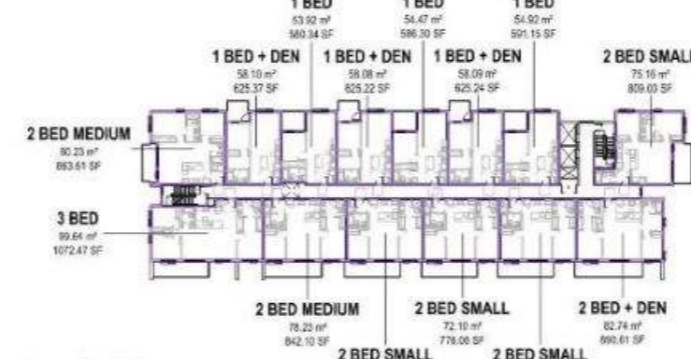
2 A Level 2
1:500



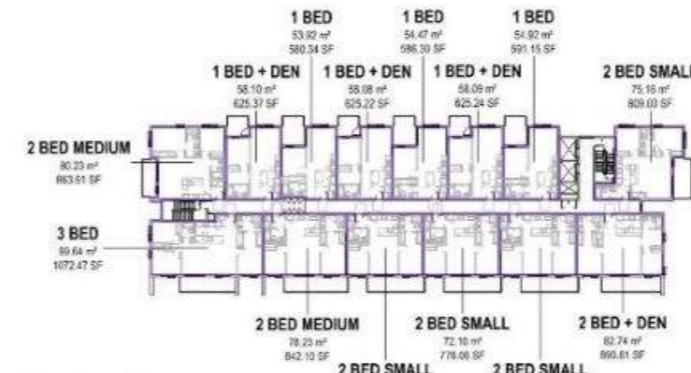
3 A Level 3
1:500



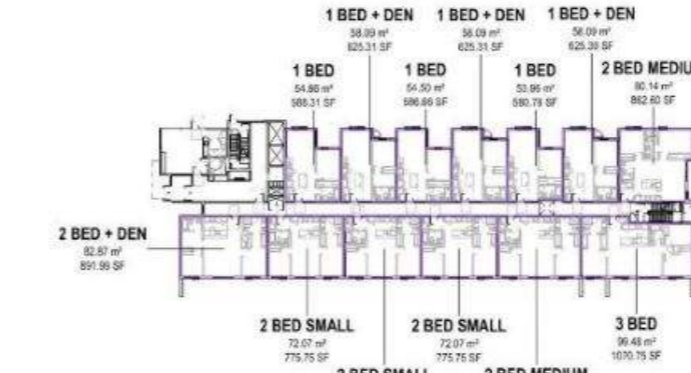
4 A Level 4
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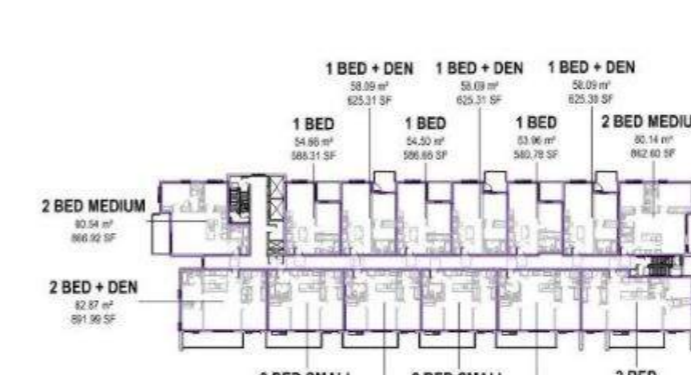
5 A Level 5
1:500



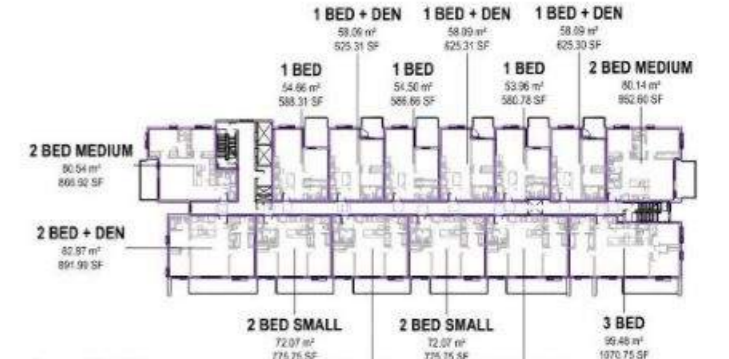
6 A Level 6
1:500



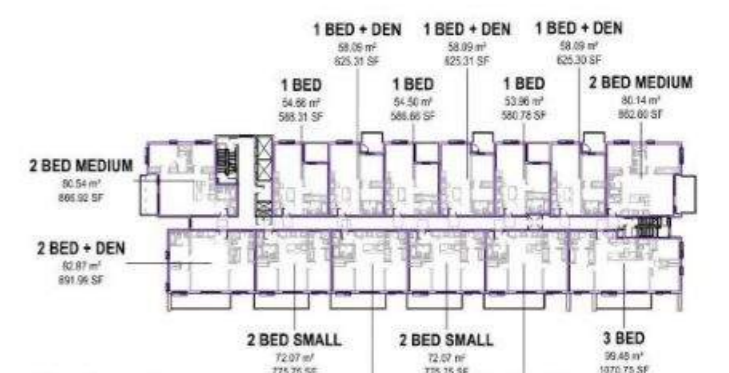
7 B Level 1
1:500



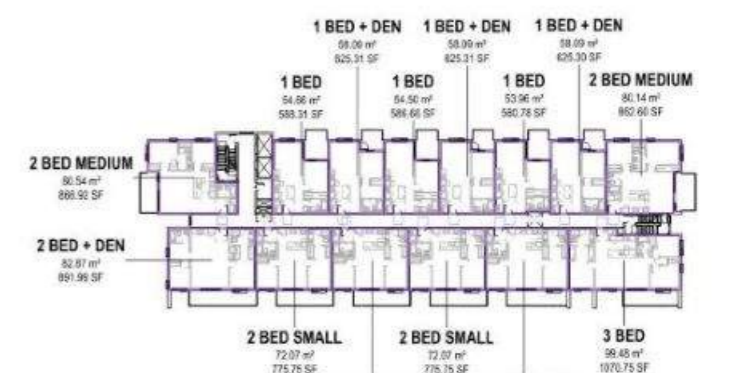
8 B Level 2
1:500



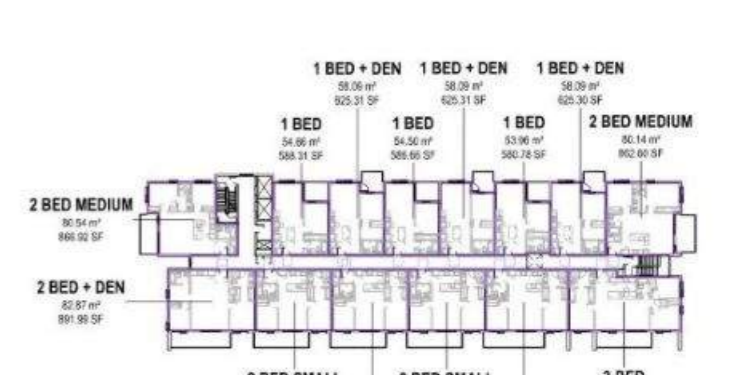
9 B Level 3
1:500



10 B Level 4
1:500



11 B Level 5
1:500



12 B Level 6
1:500

NOTES:
1. AREA LISTED IN THIS SCHEDULE REPRESENTS THE LEASABLE FLOOR AREA AS DEFINED BY THE CITY OF COLWOOD LAND USE BYLAW.
2. AREAS ARE MEASURED TO THE EXTERIOR SURFACE OF EXTERIOR WALLS AND THE CENTRE OF DEMISING WALLS BETWEEN JOINT PARTITIONS.
3. UNDERGROUND PARKING IS EXCLUDED.

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JAN 25, 2024	G	Issued for DP Response (Rev 1)
FEB 26, 2024	I	Issued for DP Revisions

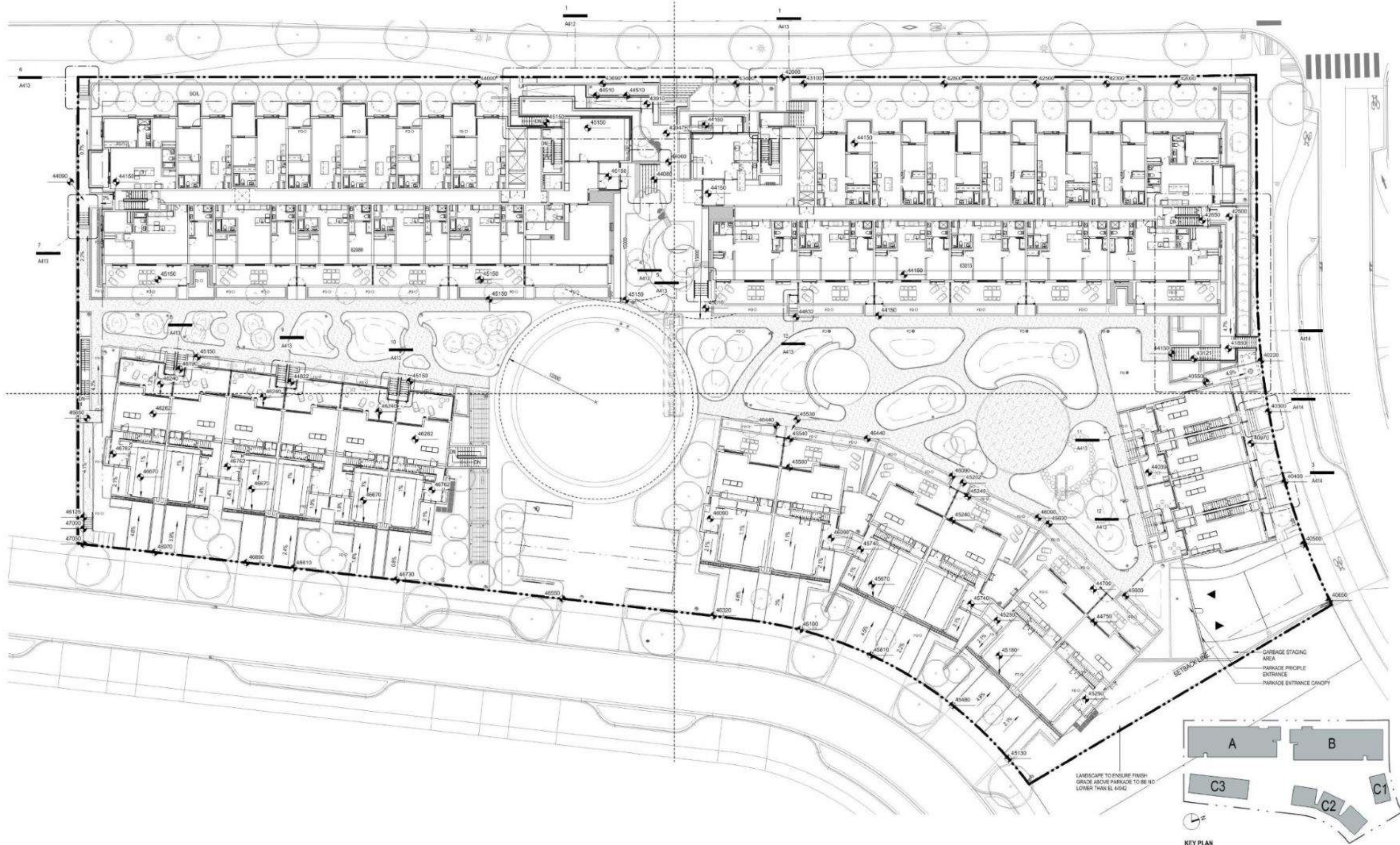


THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
THE BEACHLANDS
CITY OF COLWOOD
2022-039
[NOT FOR CONSTRUCTION]

A B SCHEDULES LEASABLE FLOOR AREA

1:500

A061



20240226 2:41:40 PM

DATE	REV	DESCRIPTION
SEP 14, 2022	A	Issued for DP
DEC 16, 2022	D	Issued for DP Response
JAN 25, 2024	G	Issued for DP Response (Rev 1)
FEB 21, 2024	I	Issued for DP Revisions



THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C

THE BEACHLANDS
CITY OF COLWOOD
2022-039

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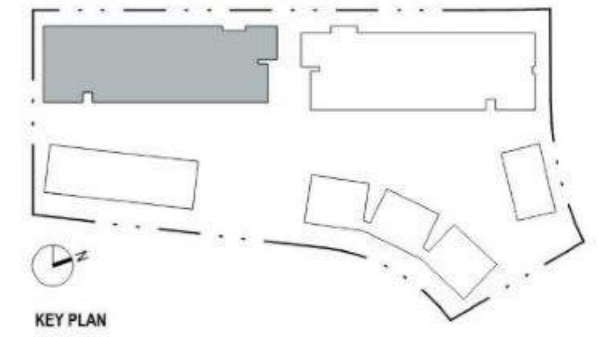
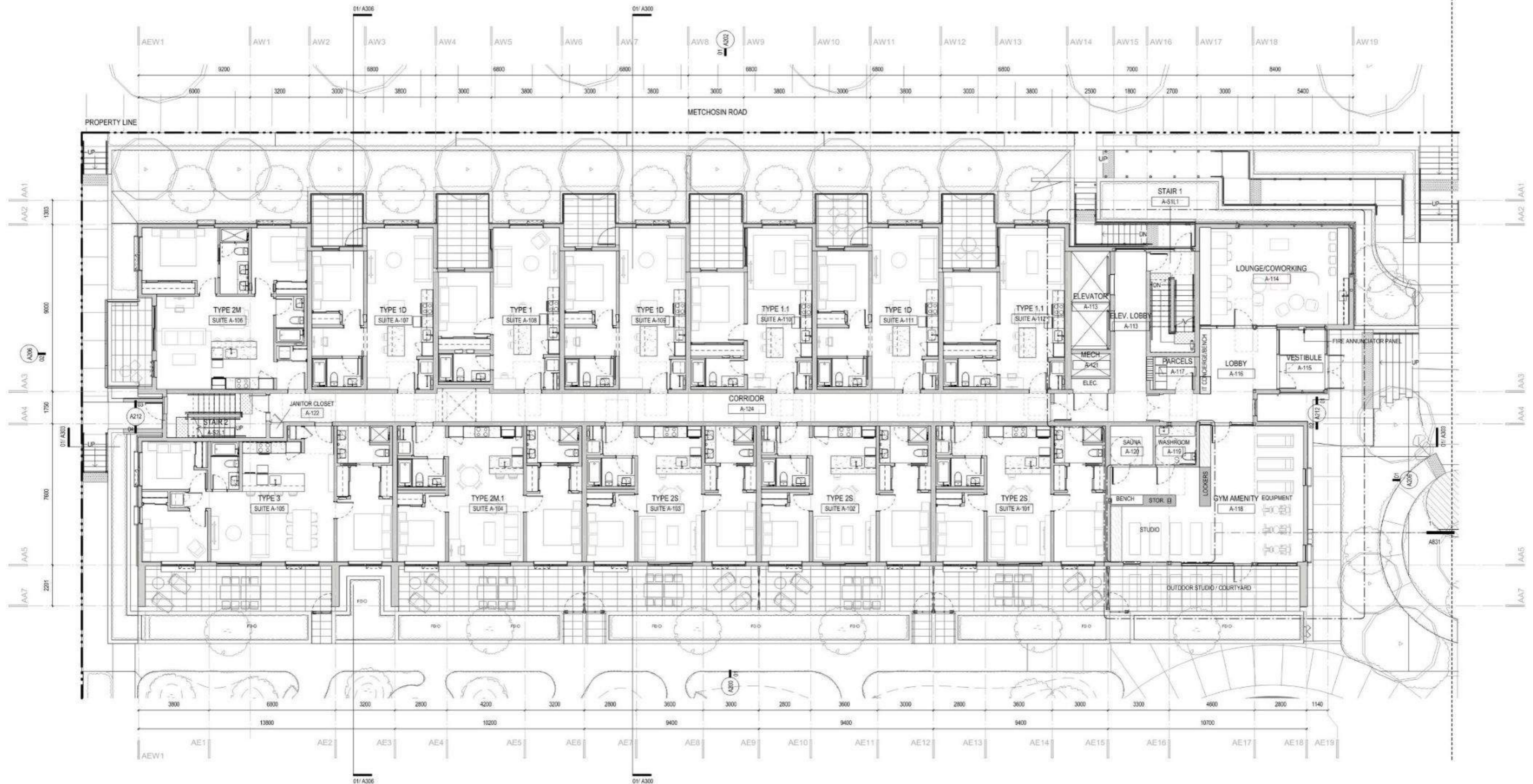


OVERALL FLOOR PLAN - LEVEL 1

1:200

KEY PLAN

A101



KEY PLAN

2/26/2024 3:41:55 PM

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Jan 19, 2024	F	Issued for Coordination
Jan 25, 2024	G	Issued for DP Response (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions



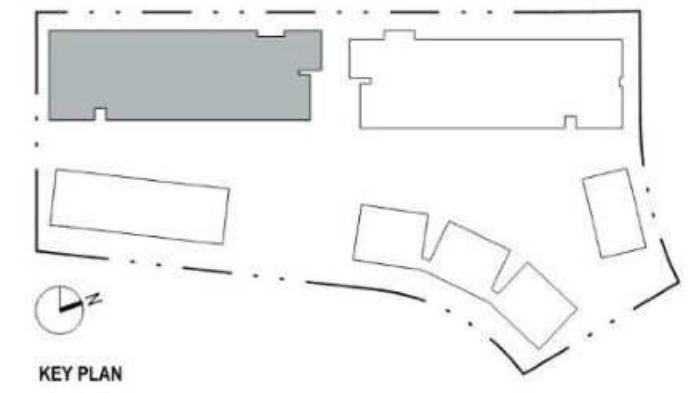
THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
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BUILDING A PLAN - LEVEL 1

1:100

A105



KEY PLAN

2/29/2024 3:42:02 PM

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Dec 18, 2023	D	Issued for DP Response
Jan 25, 2024	G	Issued for DP Response (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions



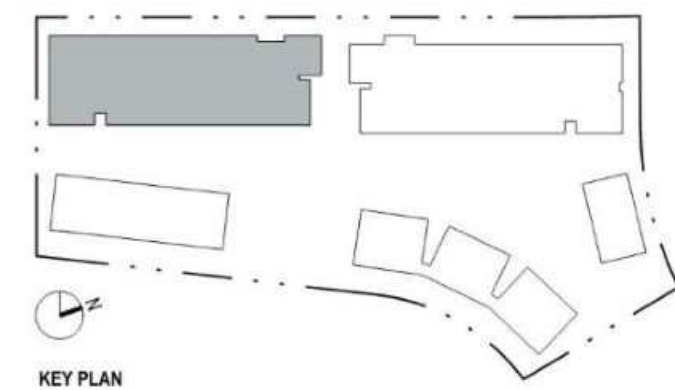
THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
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BUILDING A PLAN - LEVEL 2

1 : 100

A106



2/29/2024 3:42:09 PM

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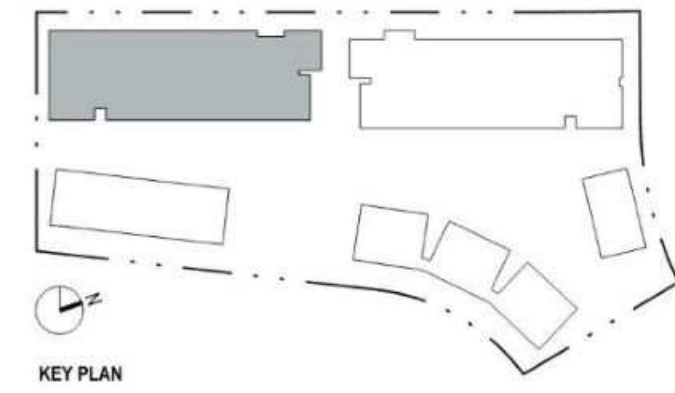
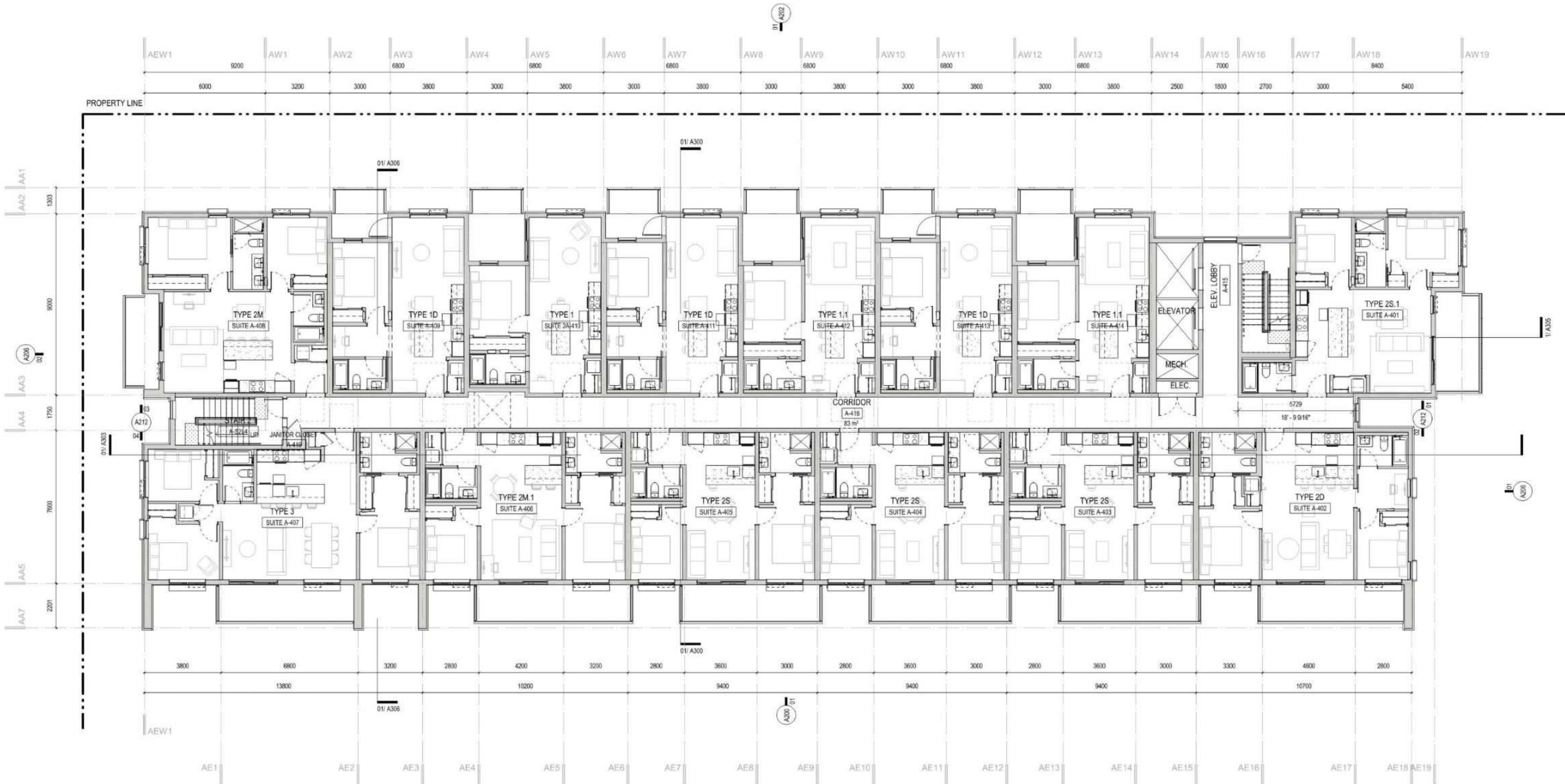
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BUILDING A PLAN - LEVEL 3

1 : 100

A107



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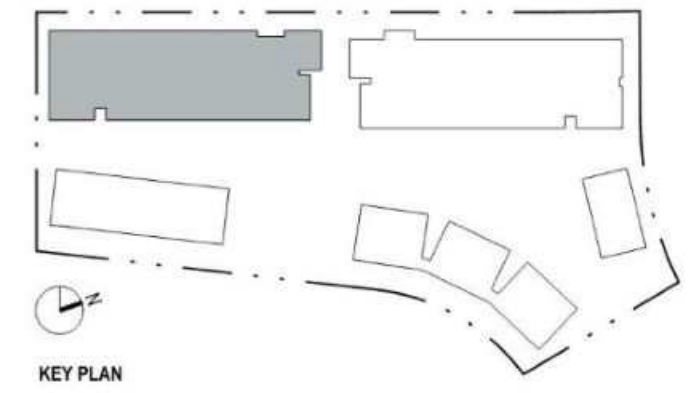
THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
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BUILDING A PLAN - LEVEL 4

1:100

A108



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Jan 25, 2024	G	Issued for DP Response (Rev 1)
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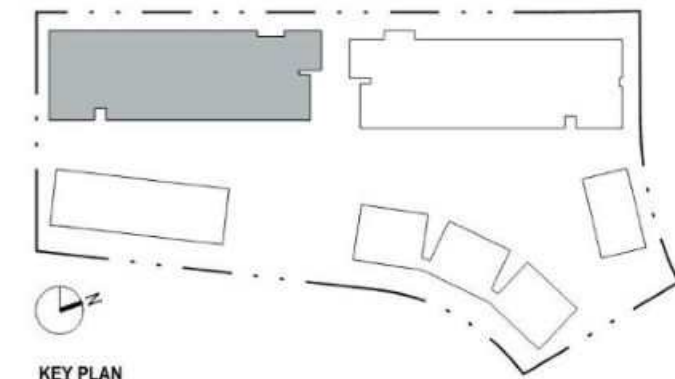
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BUILDING A PLAN - LEVEL 5

1:100

A109



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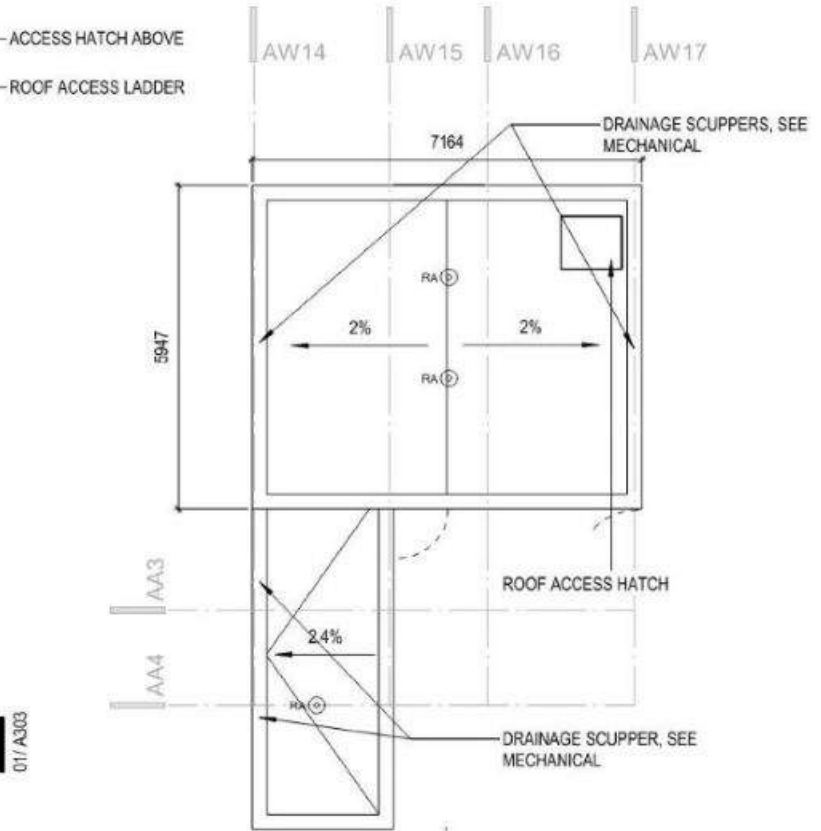
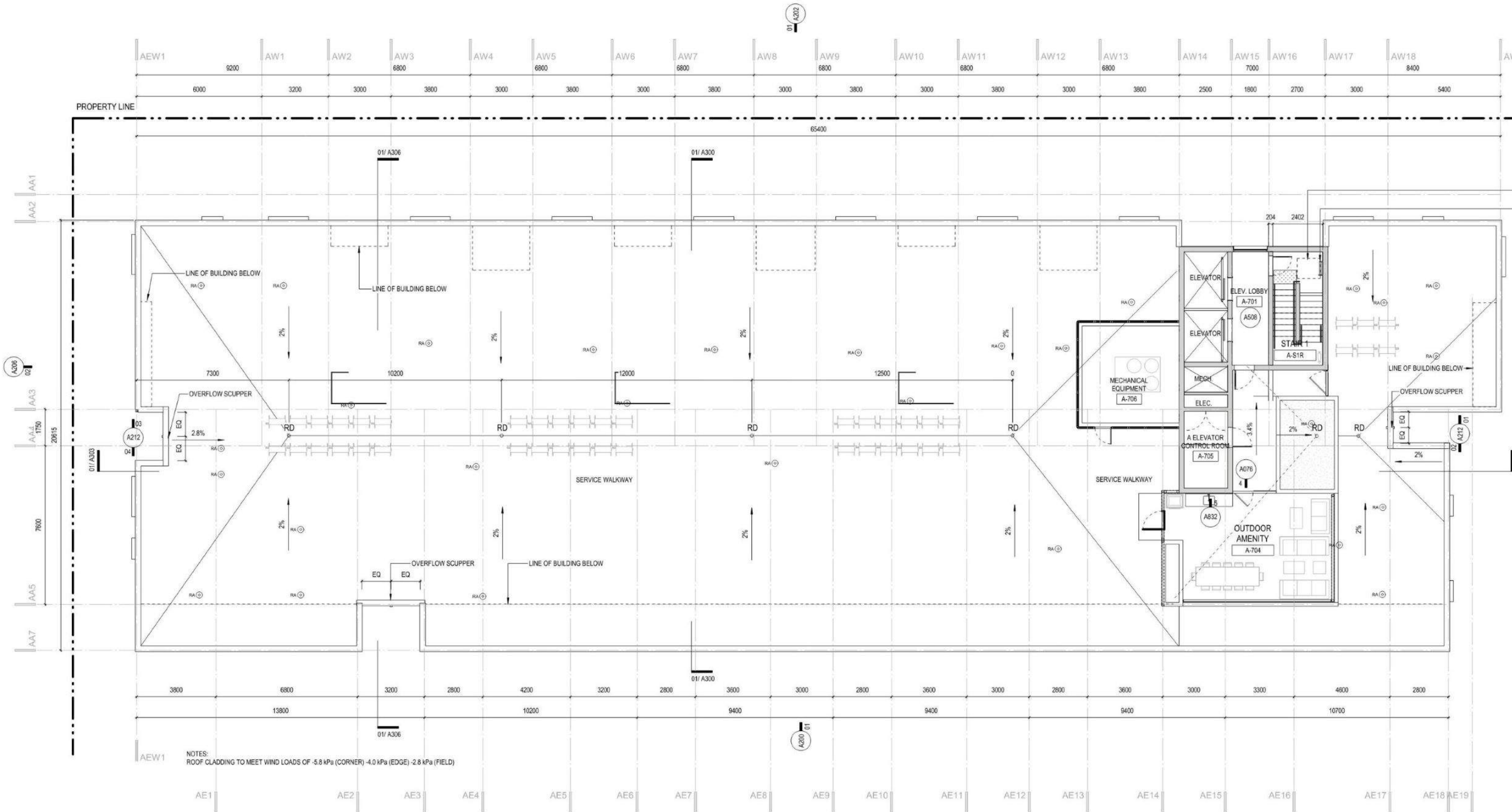
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BUILDING A PLAN - LEVEL 6

1 : 100

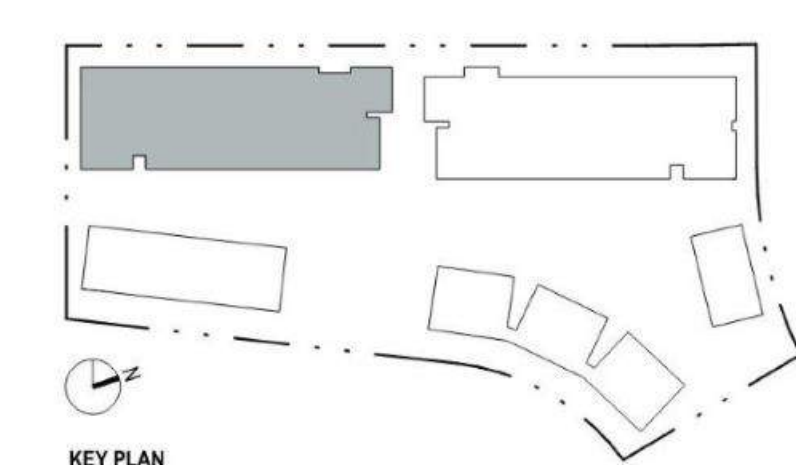
A110



NOTES:
 ROOF CLADDING TO MEET WIND LOADS OF -6.1 kPa
 (CORNER) -4.2 kPa (EDGE) -2.9 kPa (FIELD)

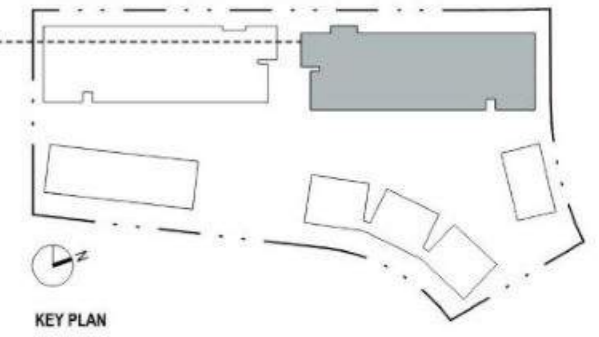
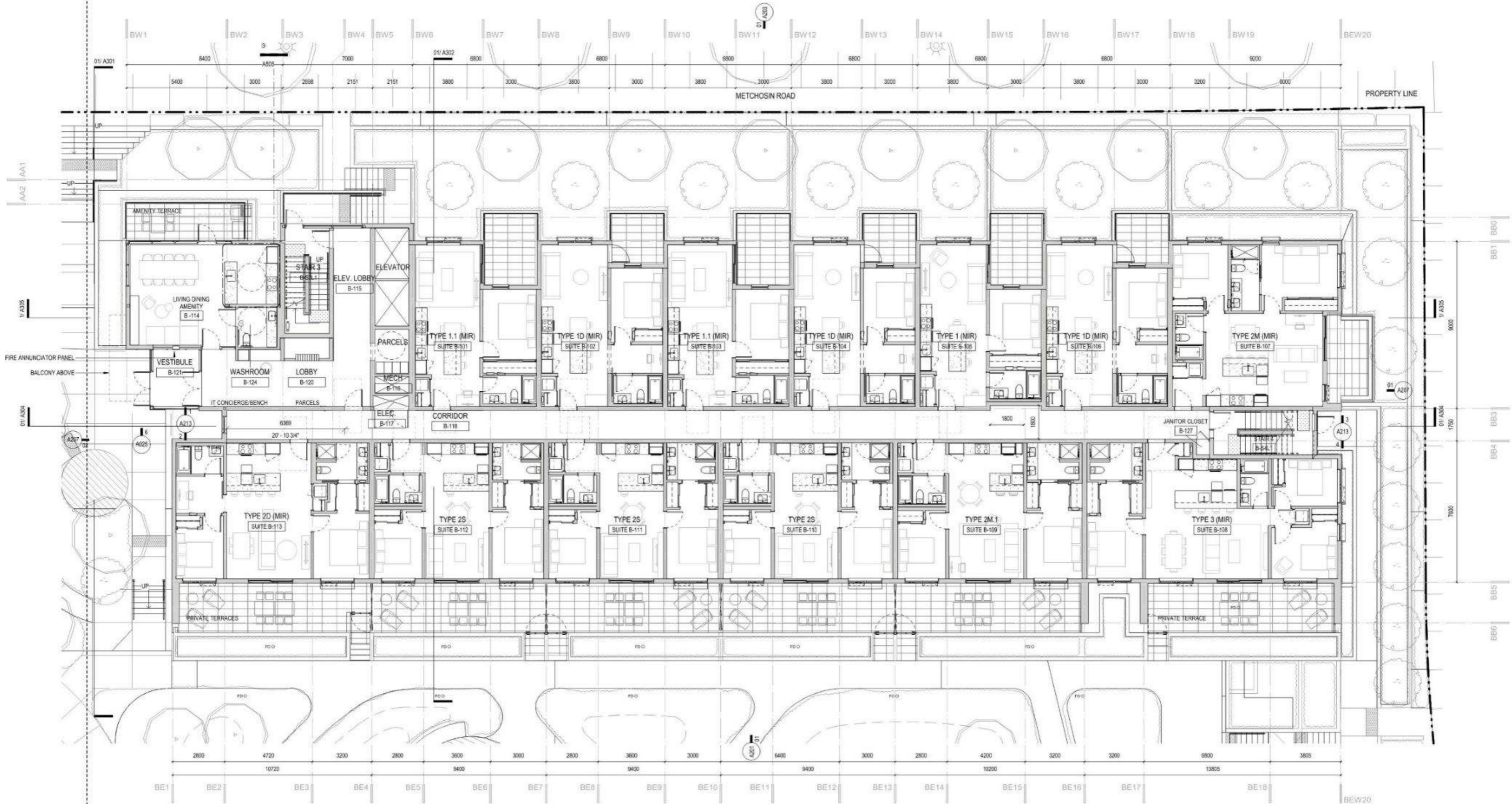
02 A Roof Plan Elevator Overrun
 1:100

NOTES:
 ROOF CLADDING TO MEET WIND LOADS OF -5.8 kPa (CORNER) -4.0 kPa (EDGE) -2.8 kPa (FIELD)



2/26/2024 3:42:34 PM

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KEY PLAN

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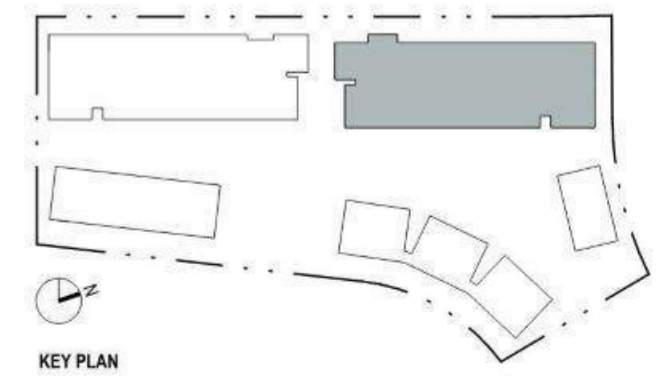
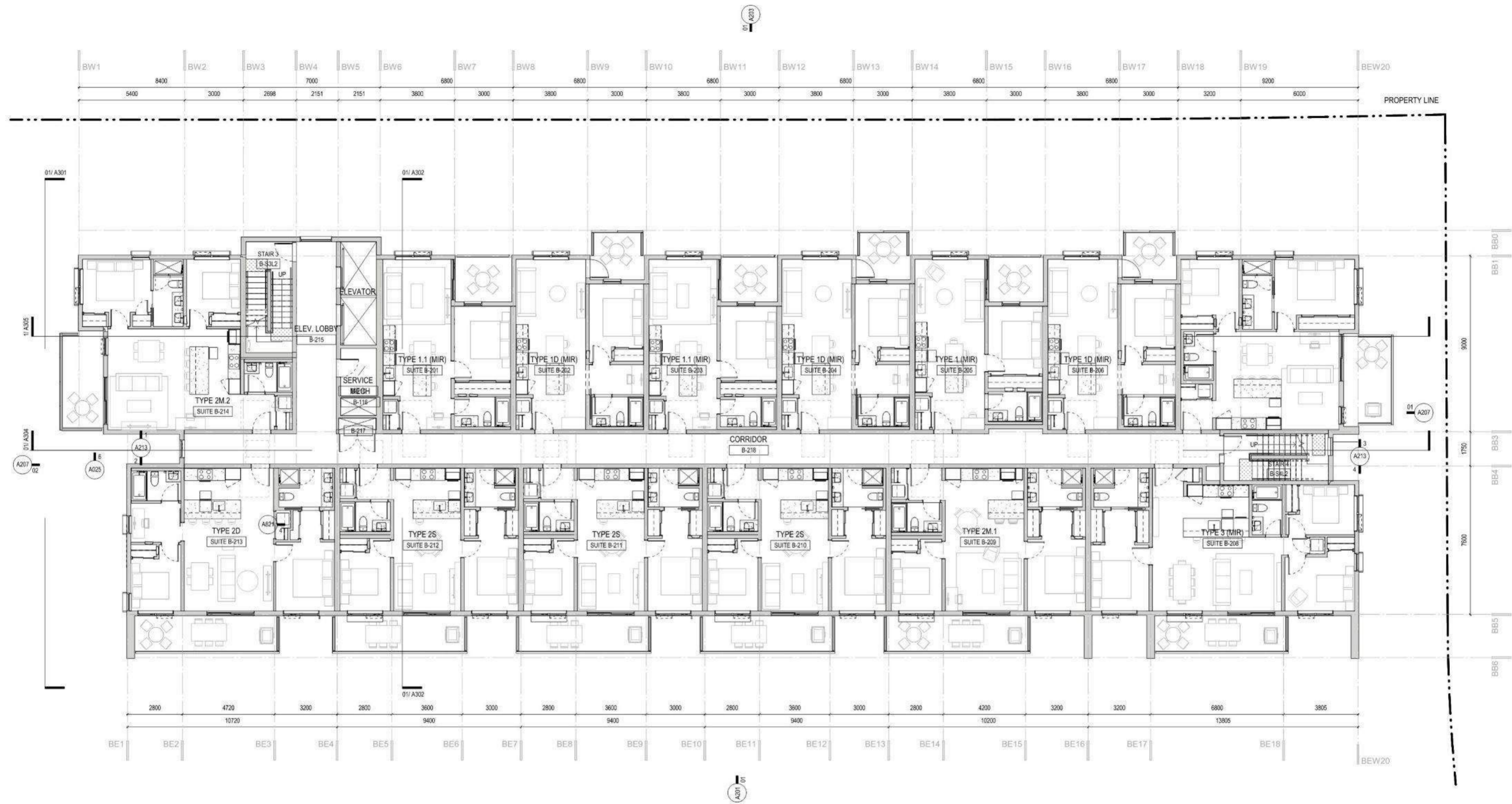
THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
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BUILDING B PLAN - LEVEL 1

1:100

A112



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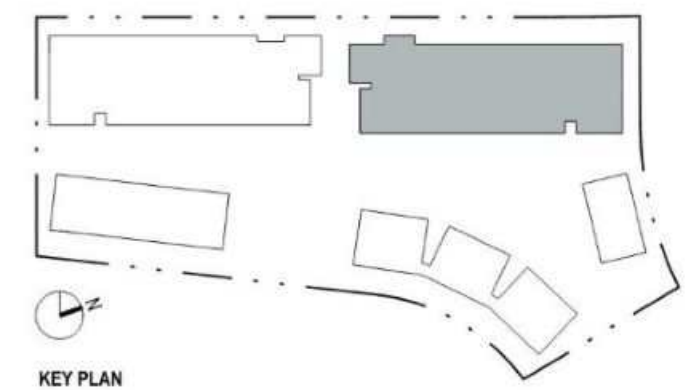
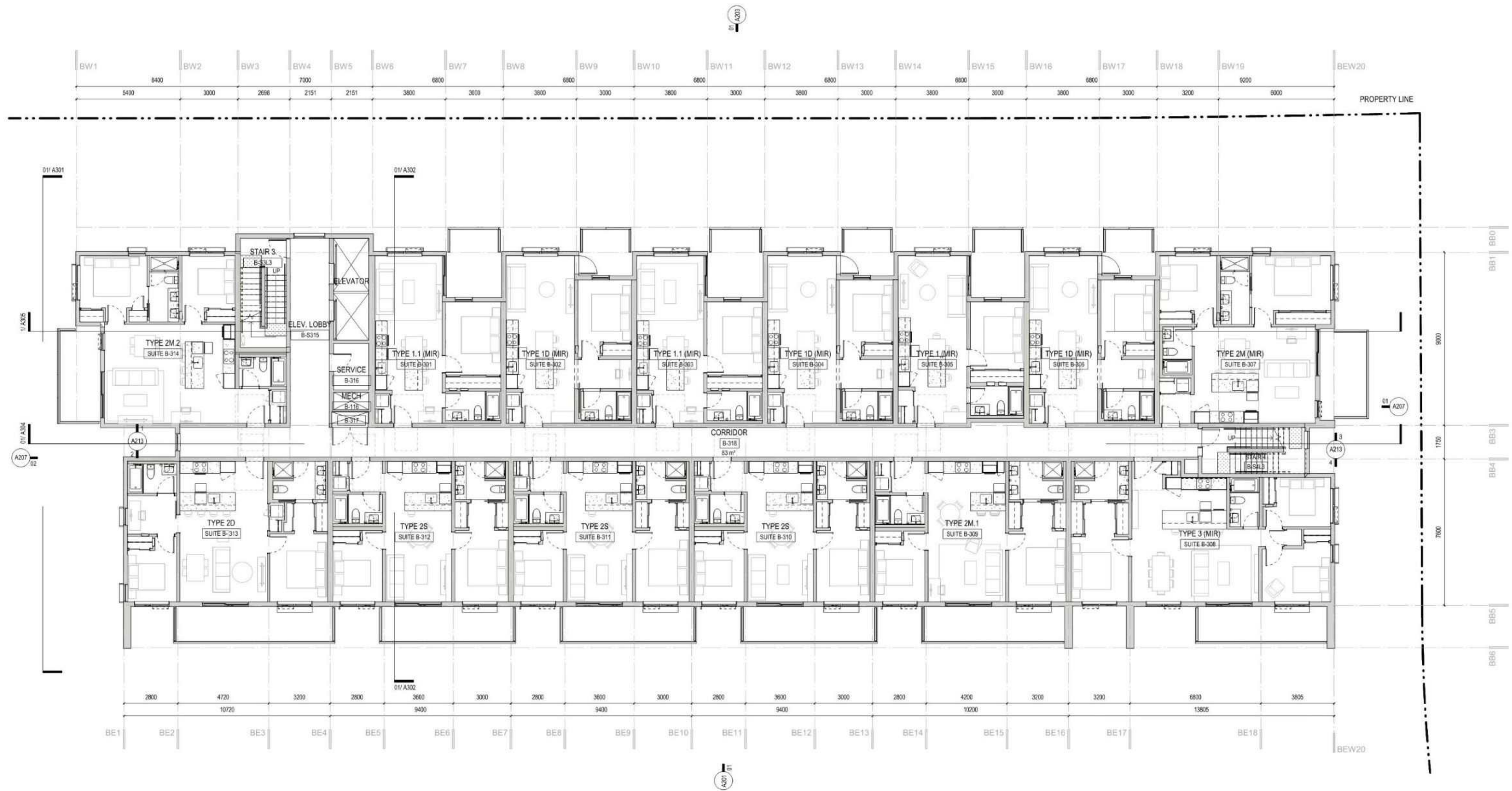
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BUILDING B PLAN - LEVEL 2

1 : 100

A113



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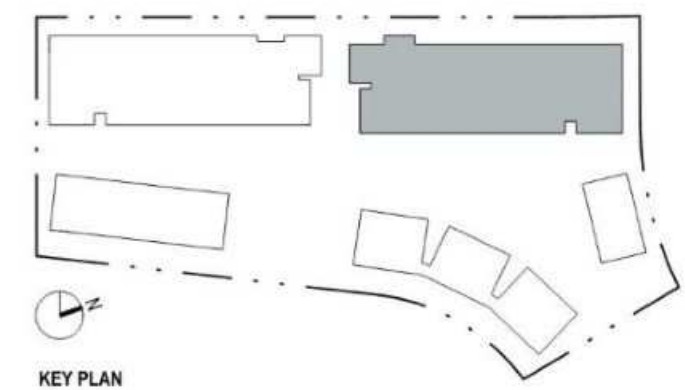
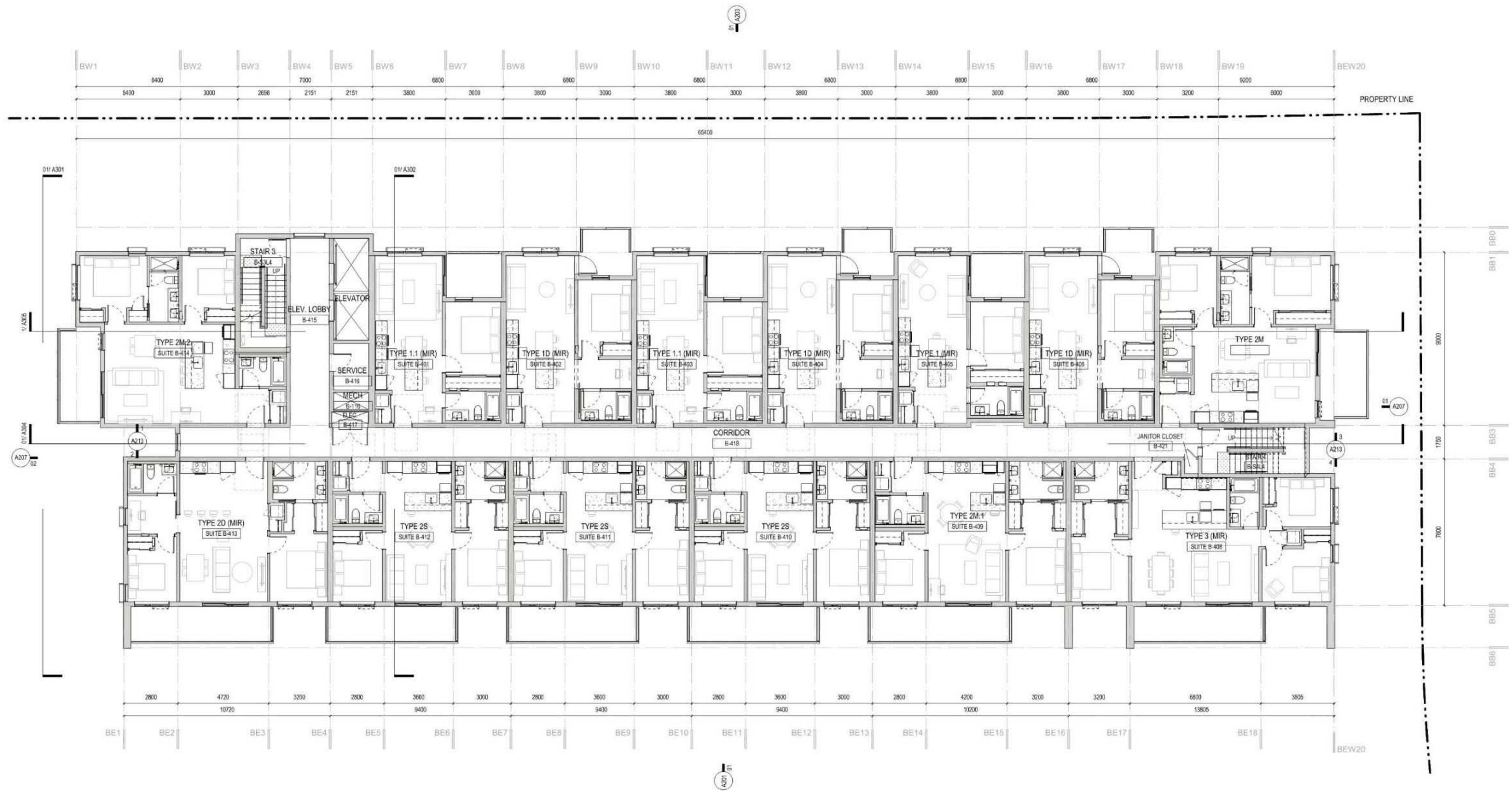
THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
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BUILDING B PLAN - LEVEL 3

1 : 100

A114

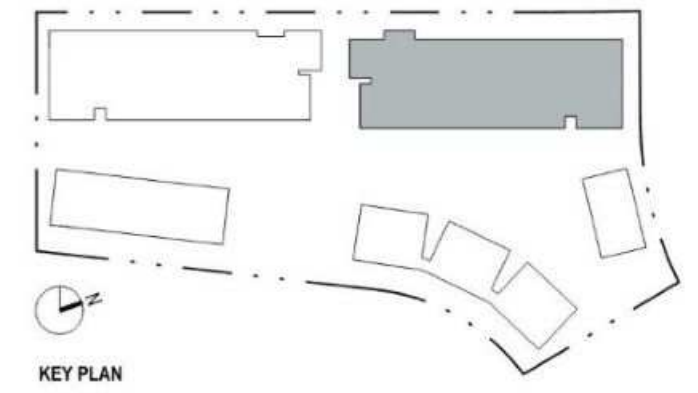
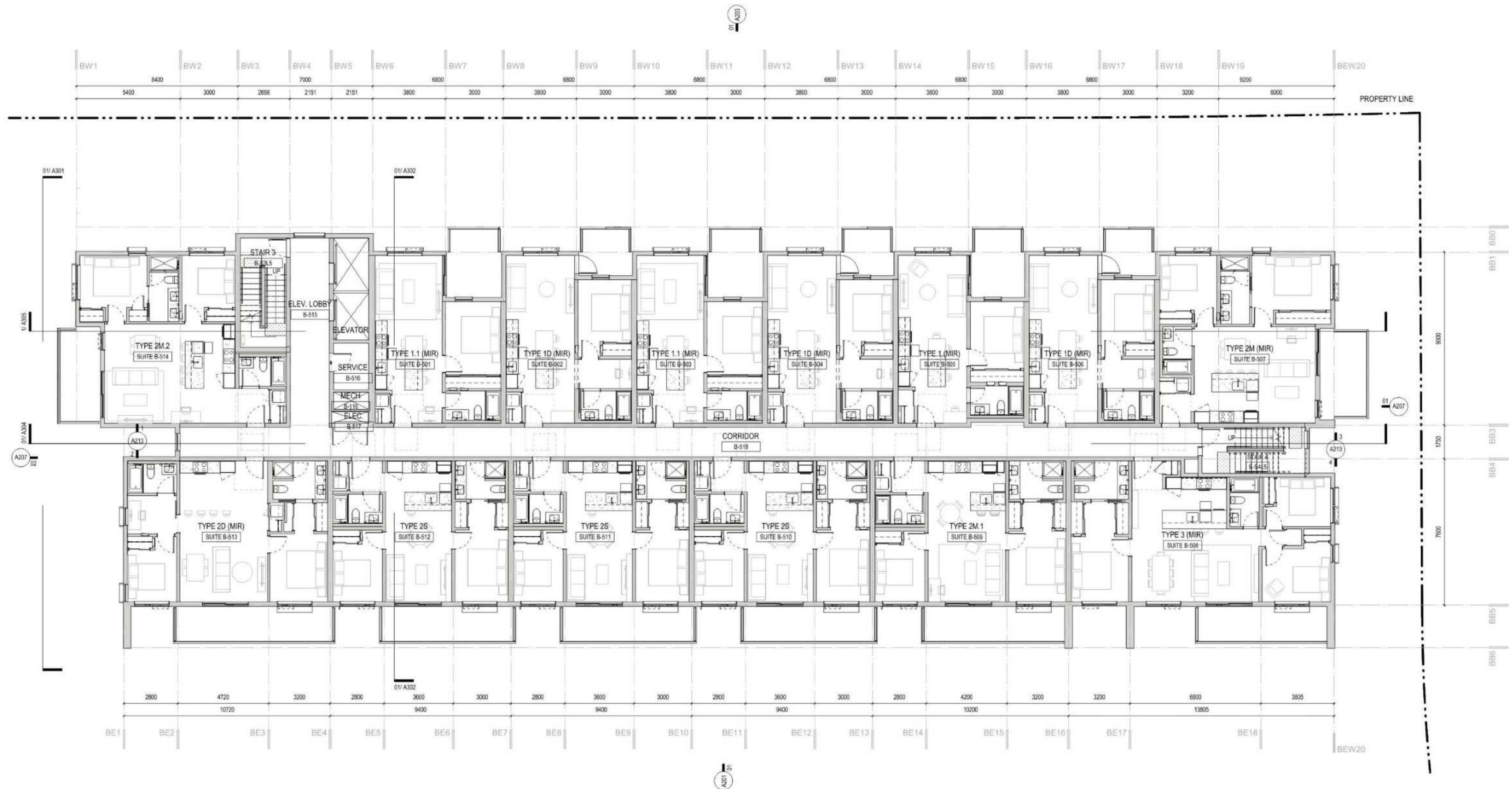


KEY PLAN

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Feb 26, 2024	I	Issued for DP Revisions



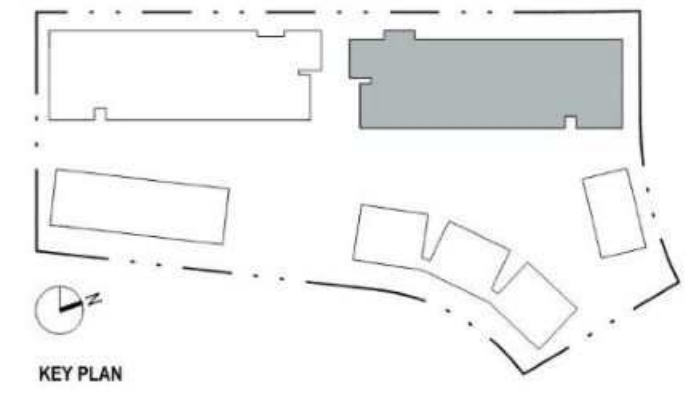
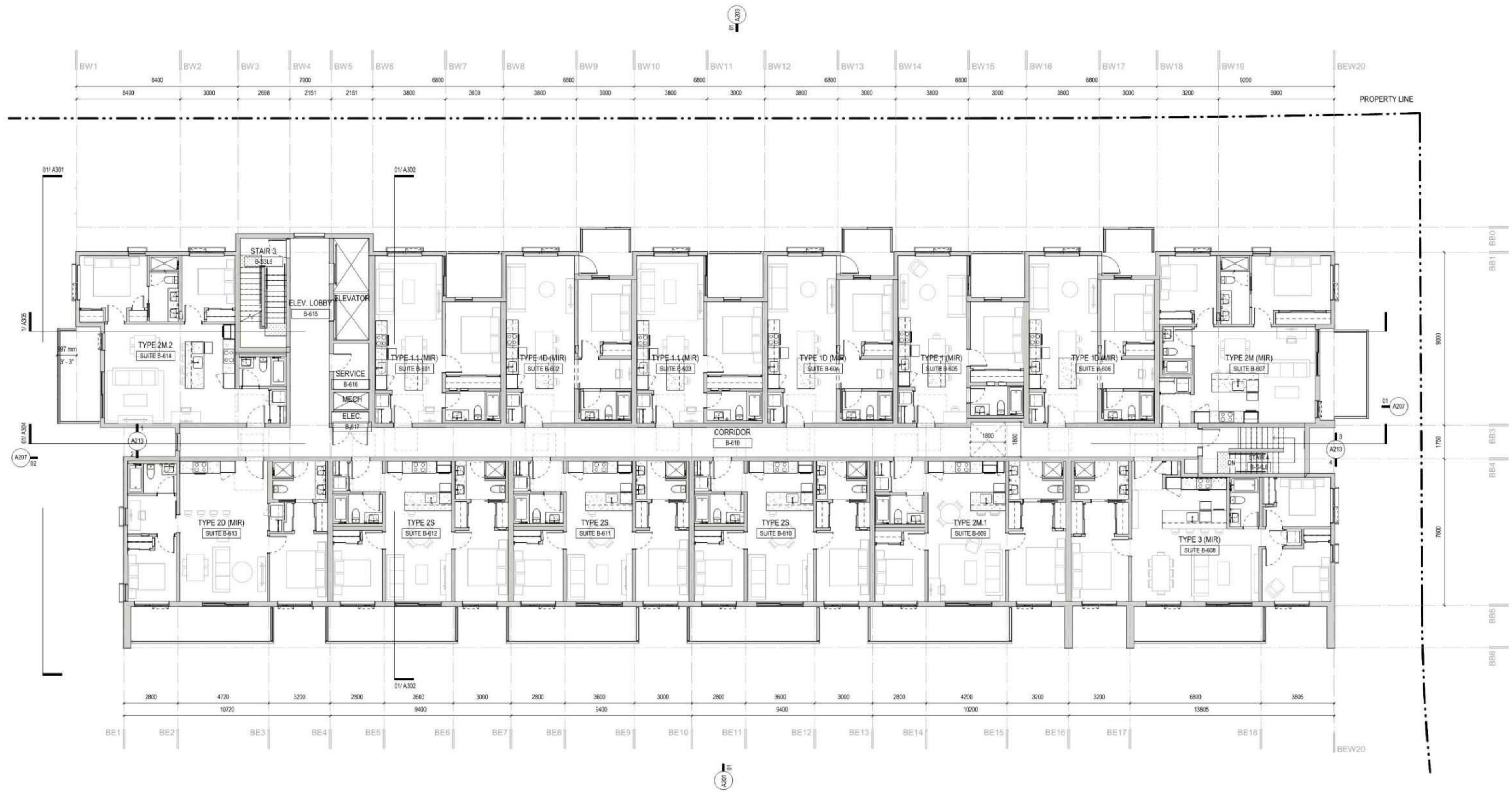


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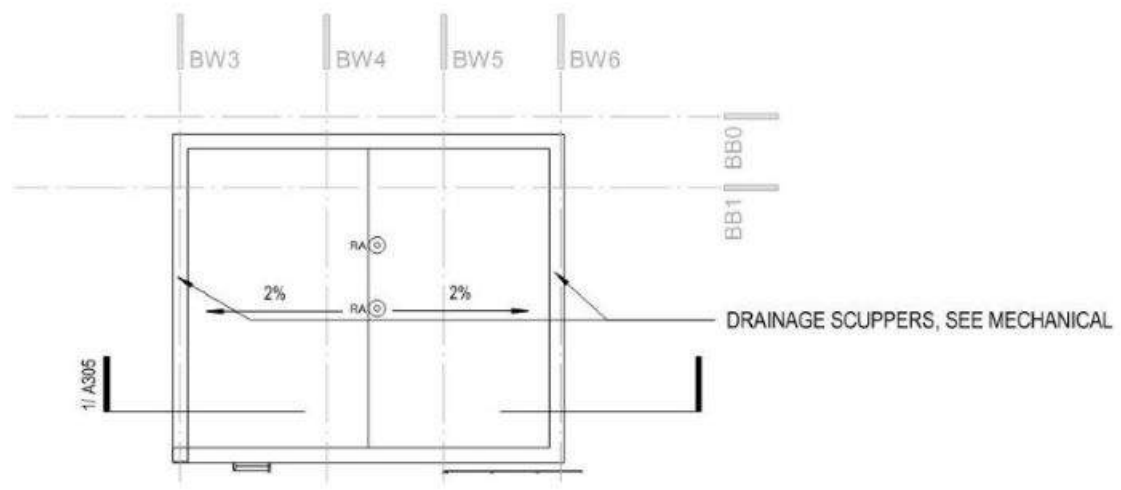
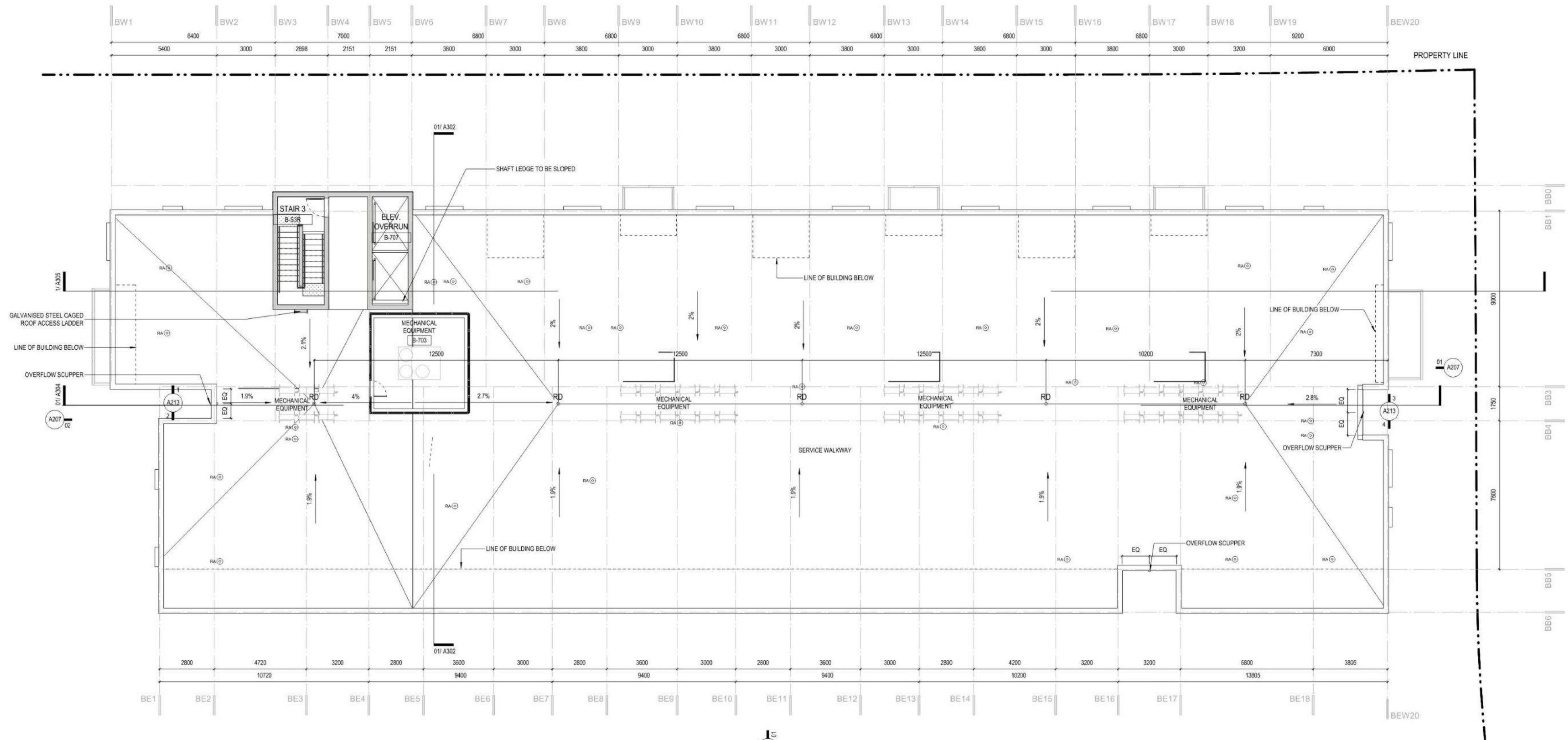
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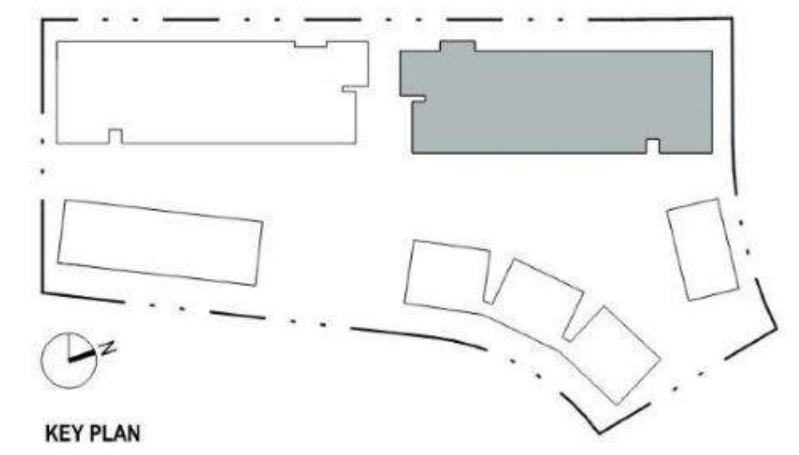
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01 A303



02 B Roof Plan Elevator Overrun
1:100

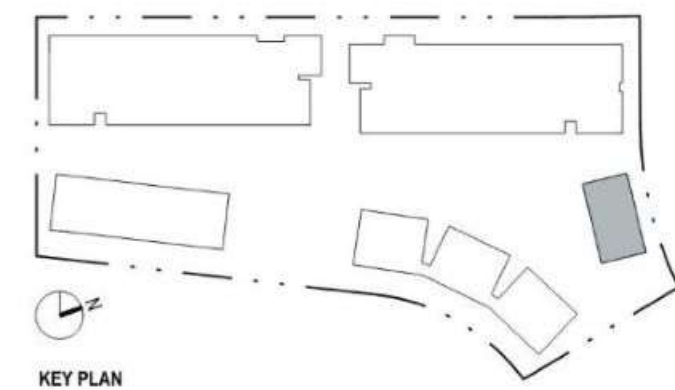
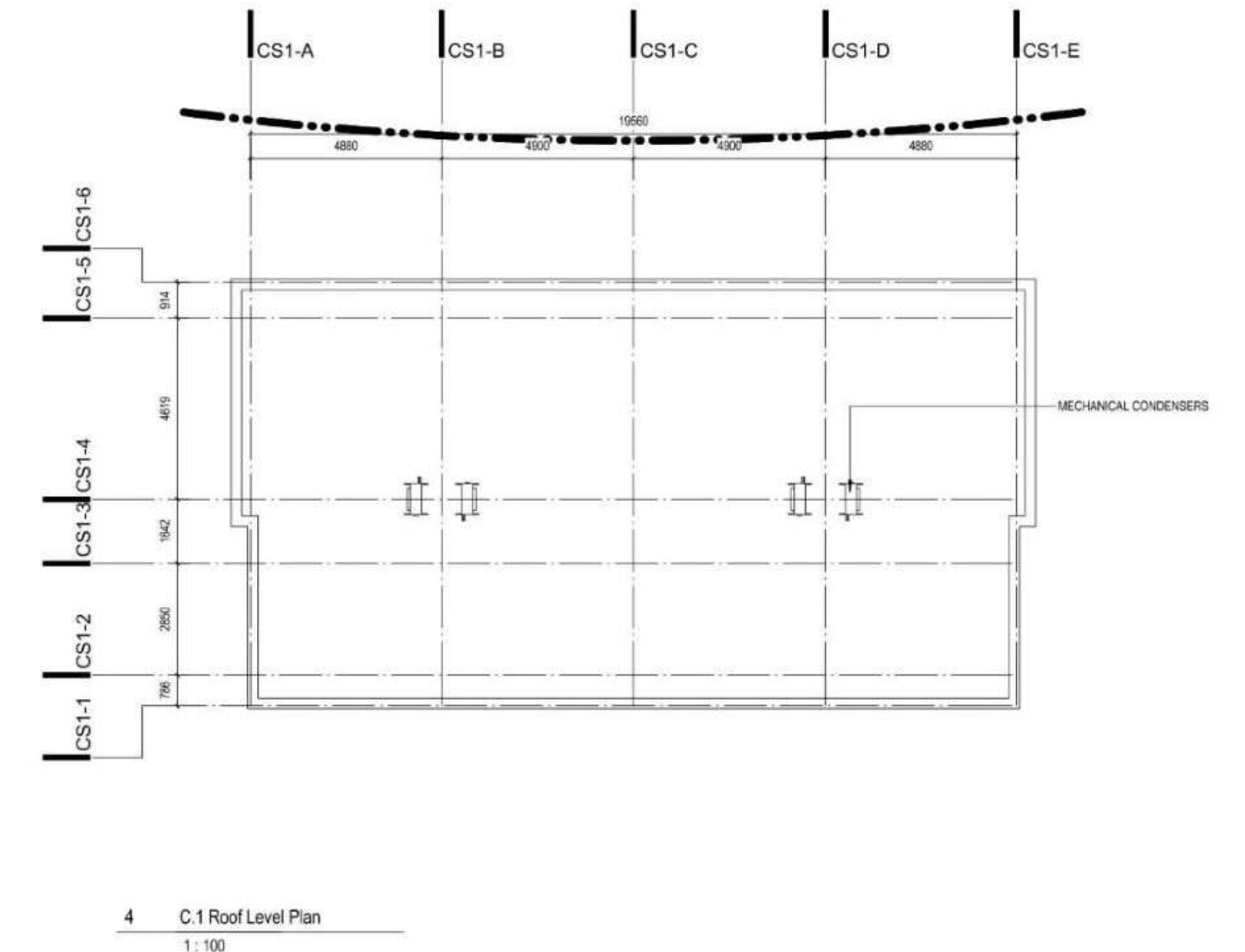
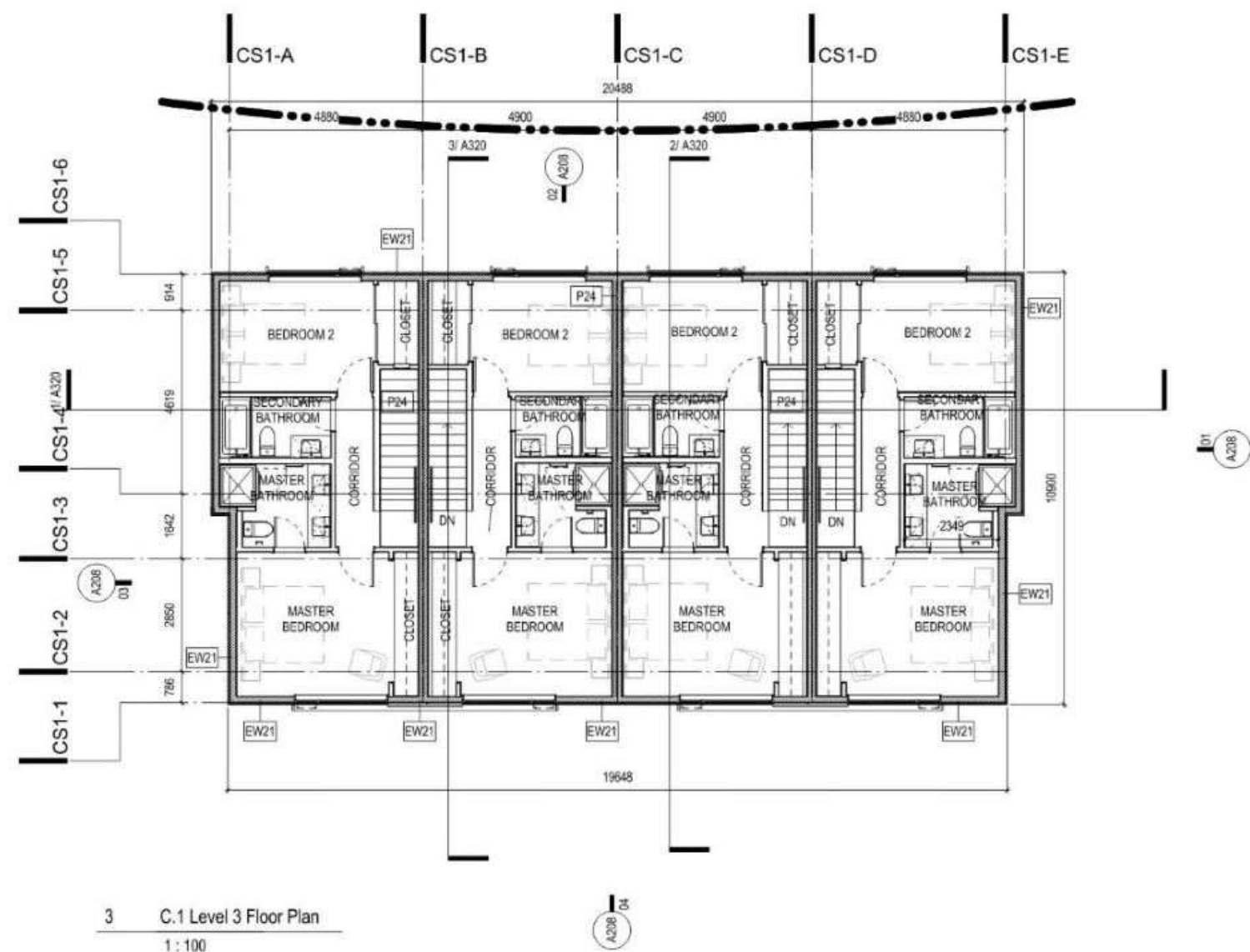
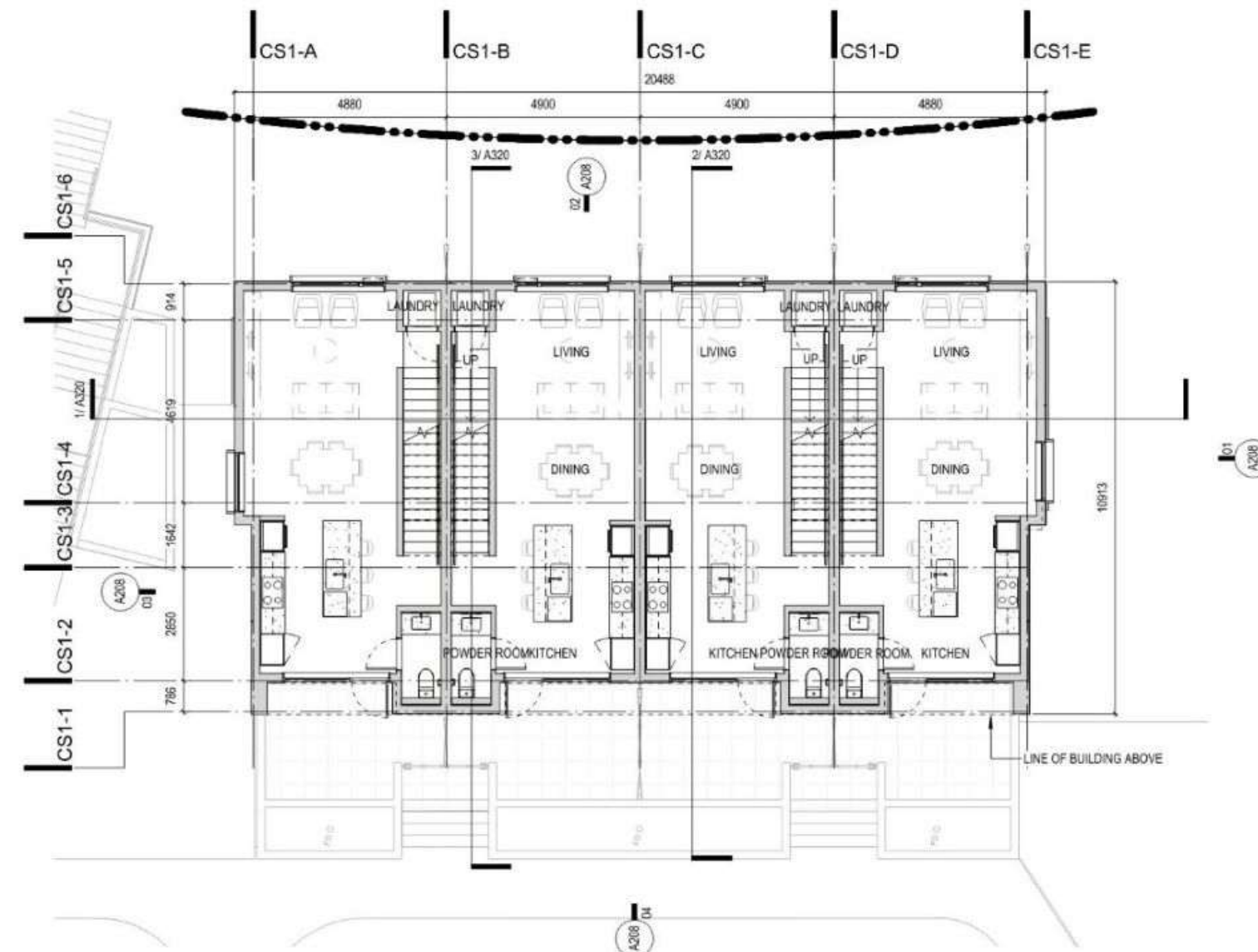
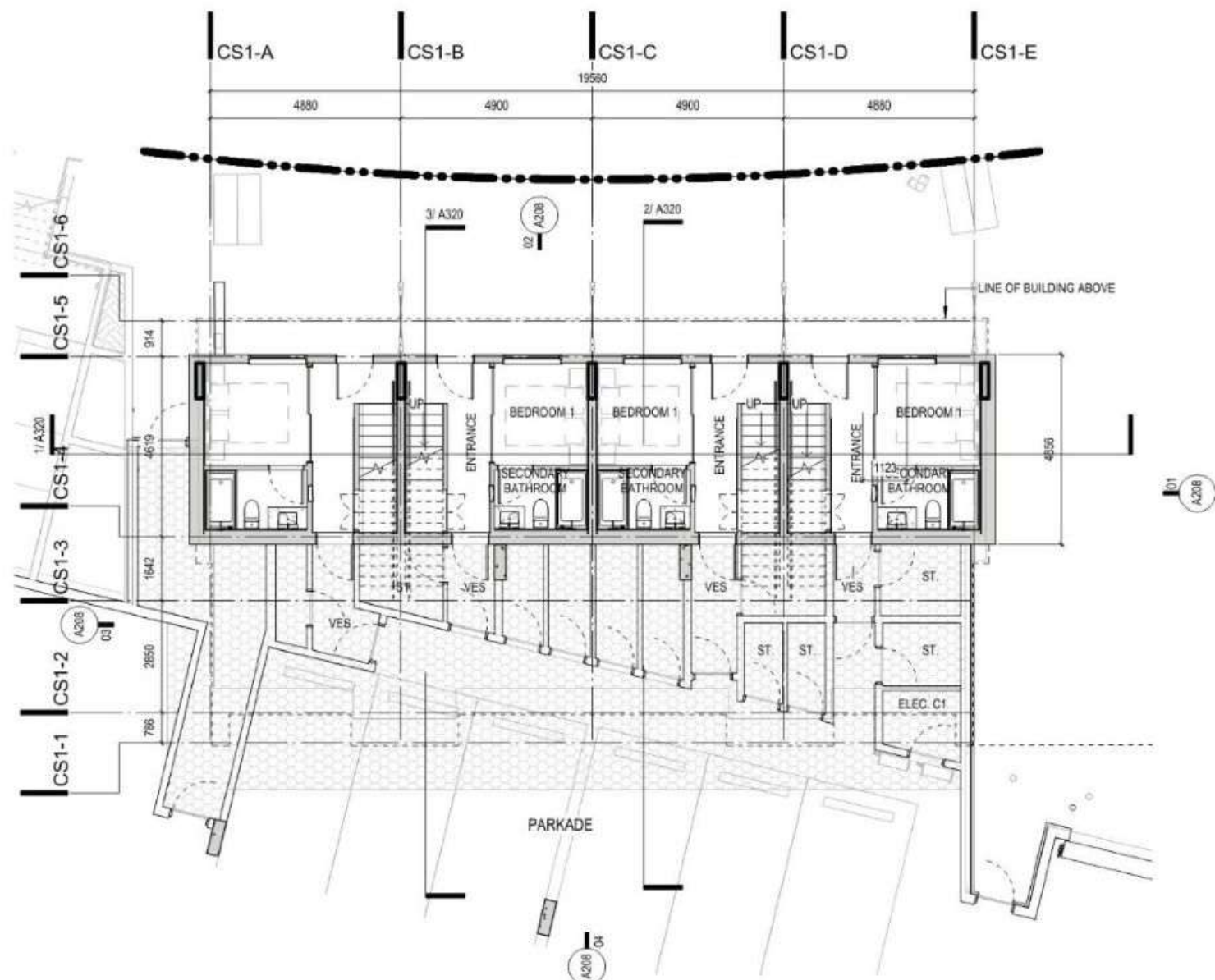


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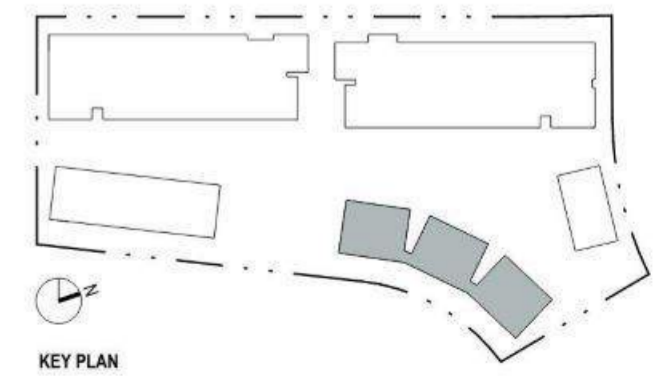
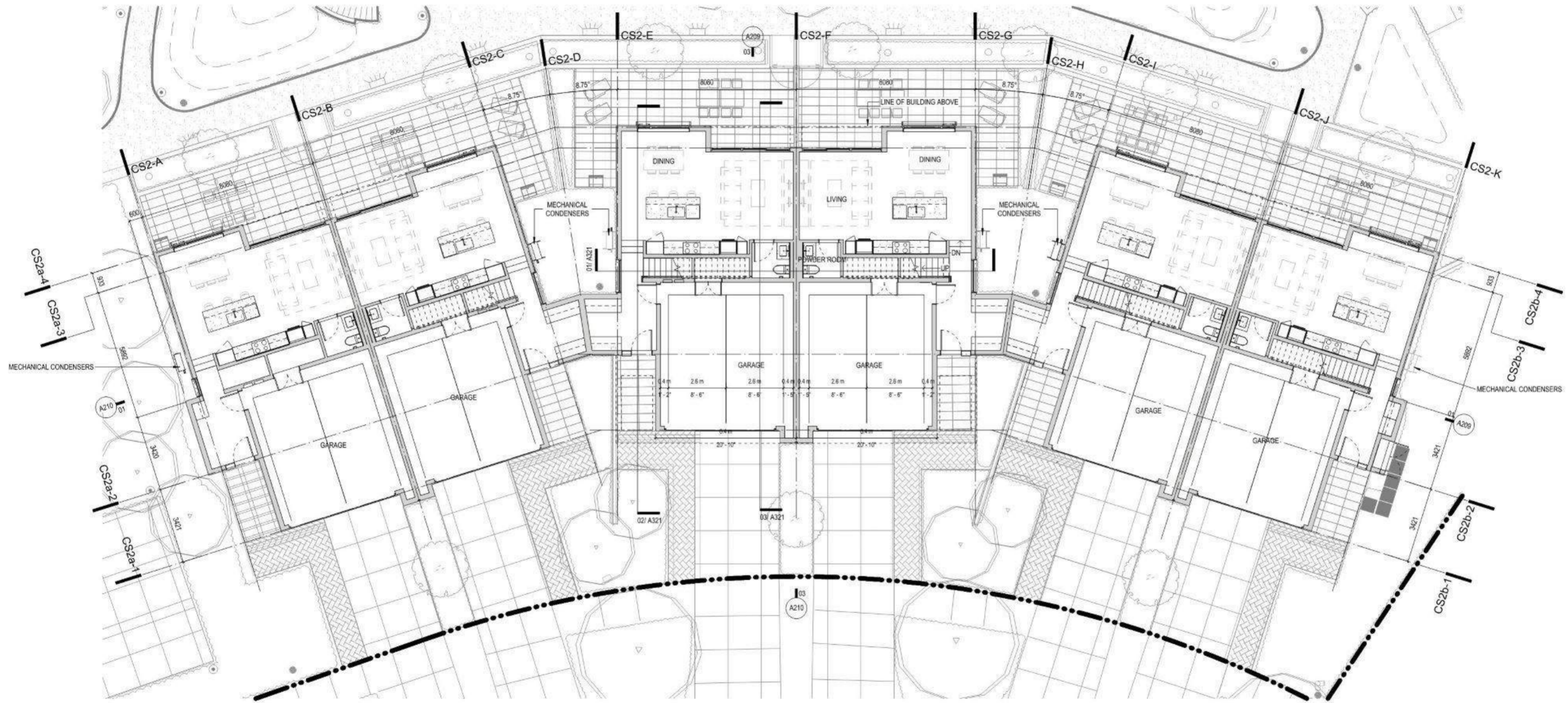
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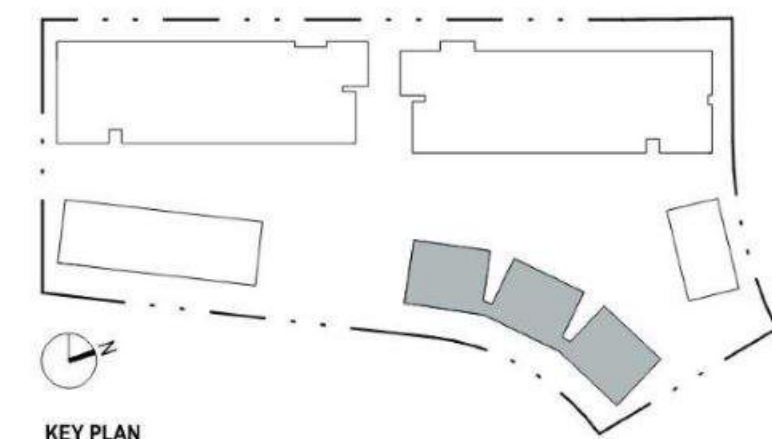
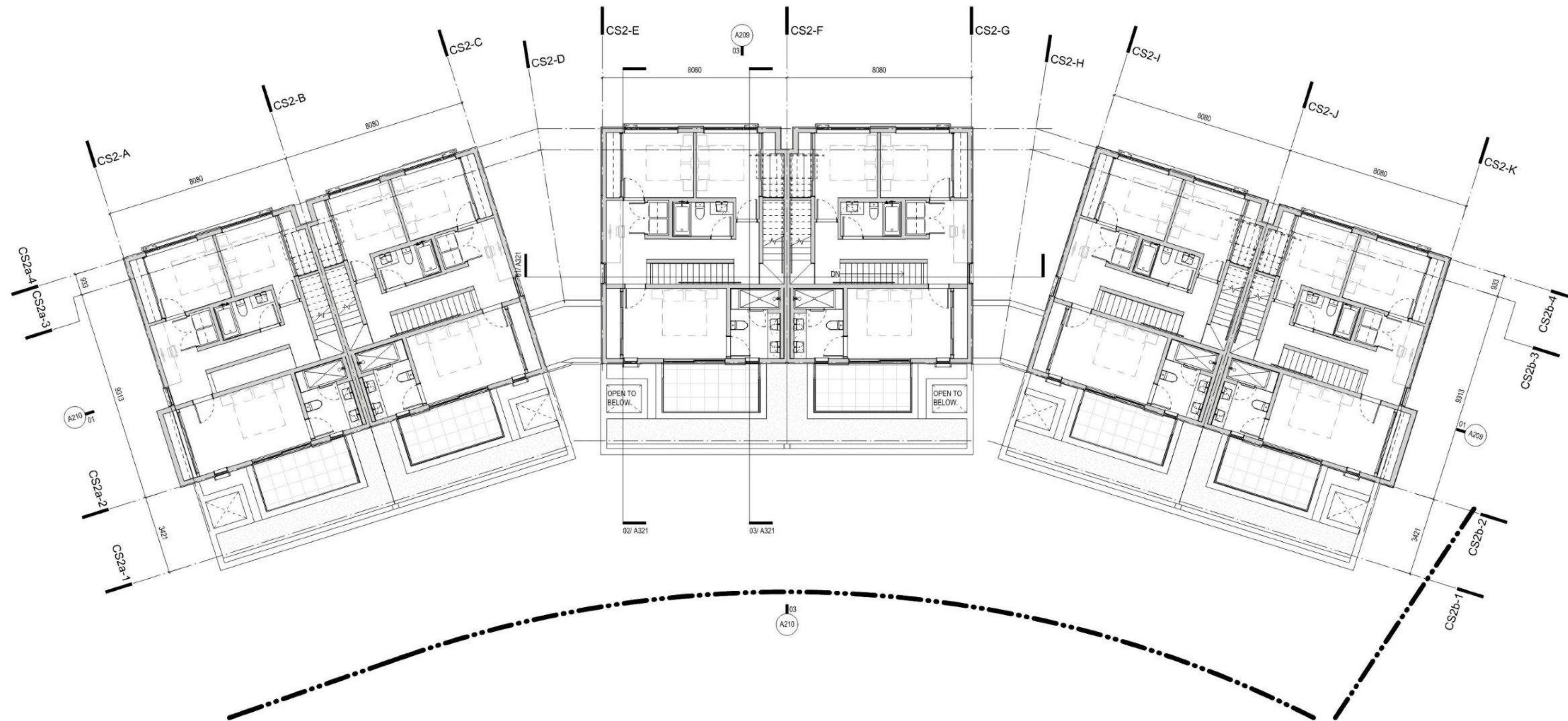


KEY PLAN

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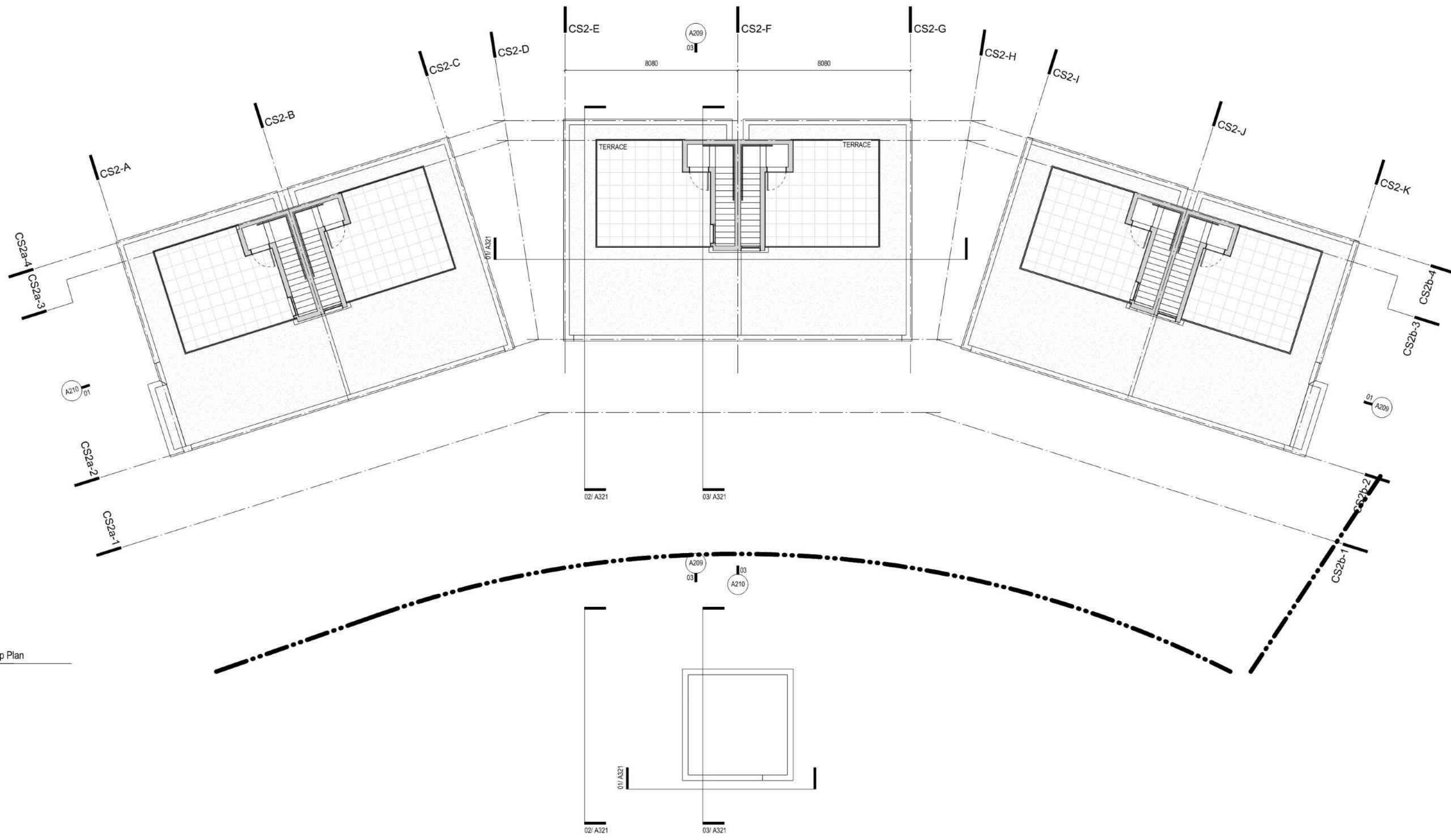




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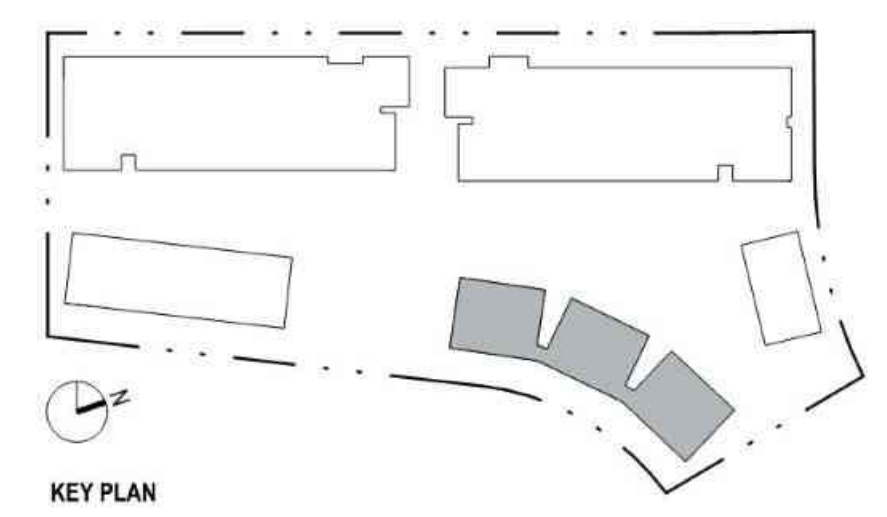
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2 C.2 Rooftop Plan
1 : 100

1 C.2 Typical Roof Plan
1 : 100

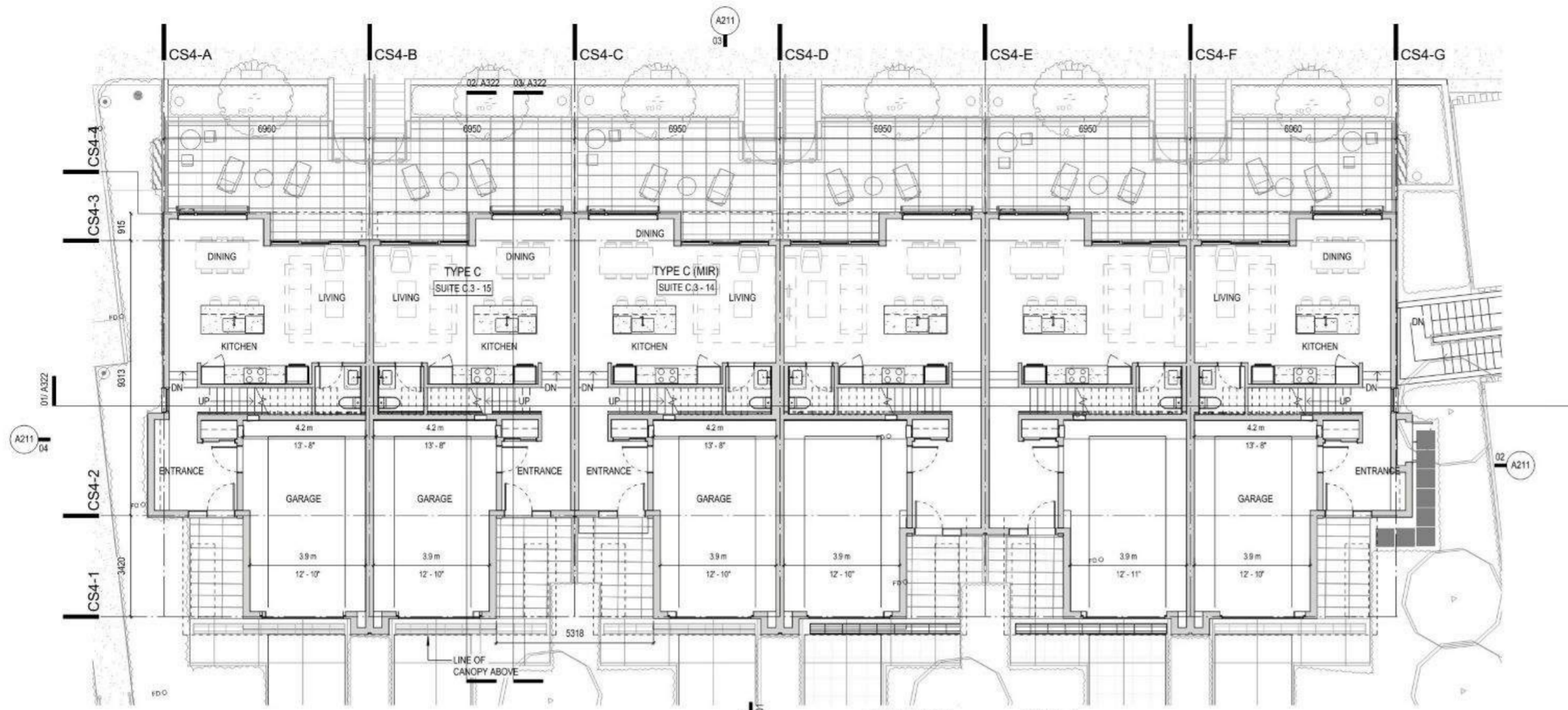


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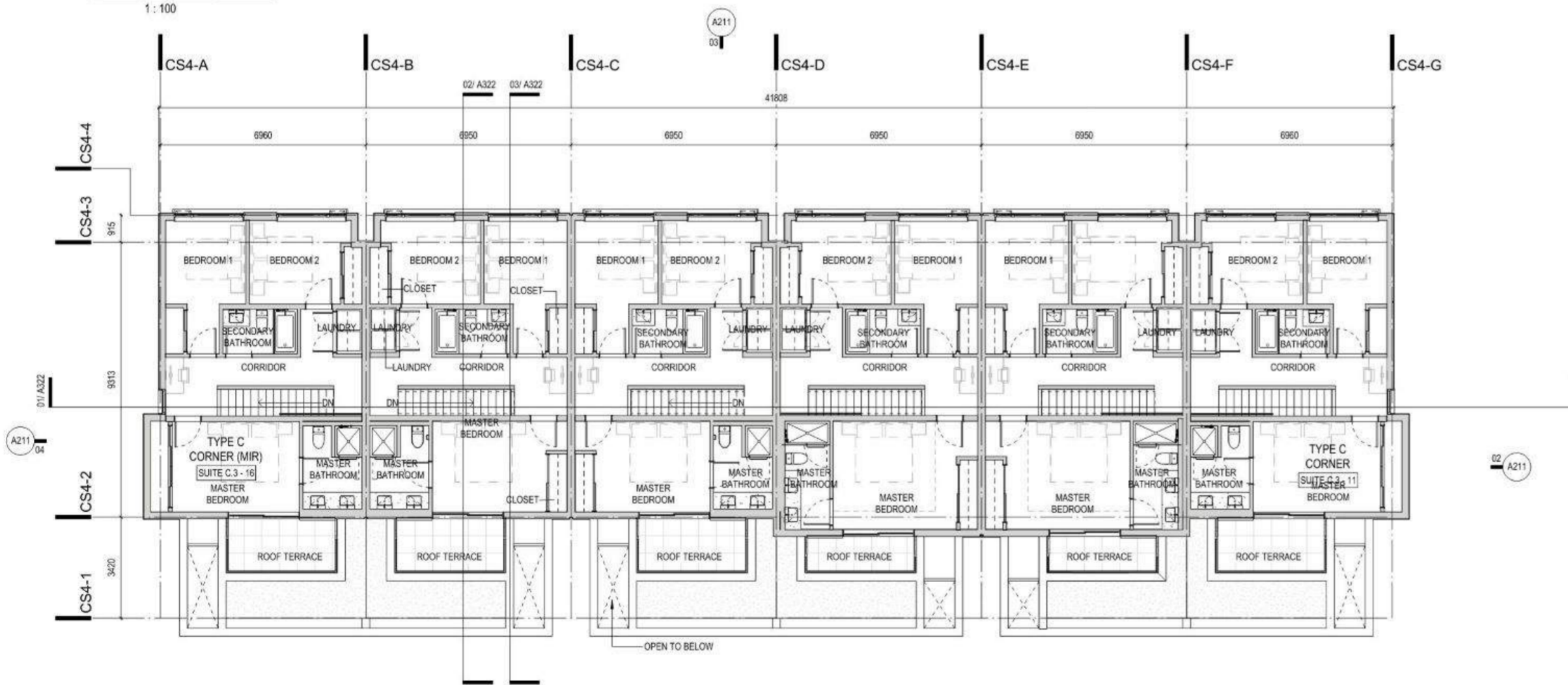
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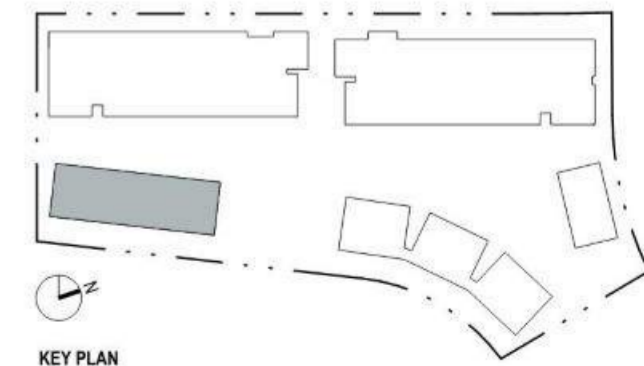




1 C.3 Level 1 Floor Plan
1:100



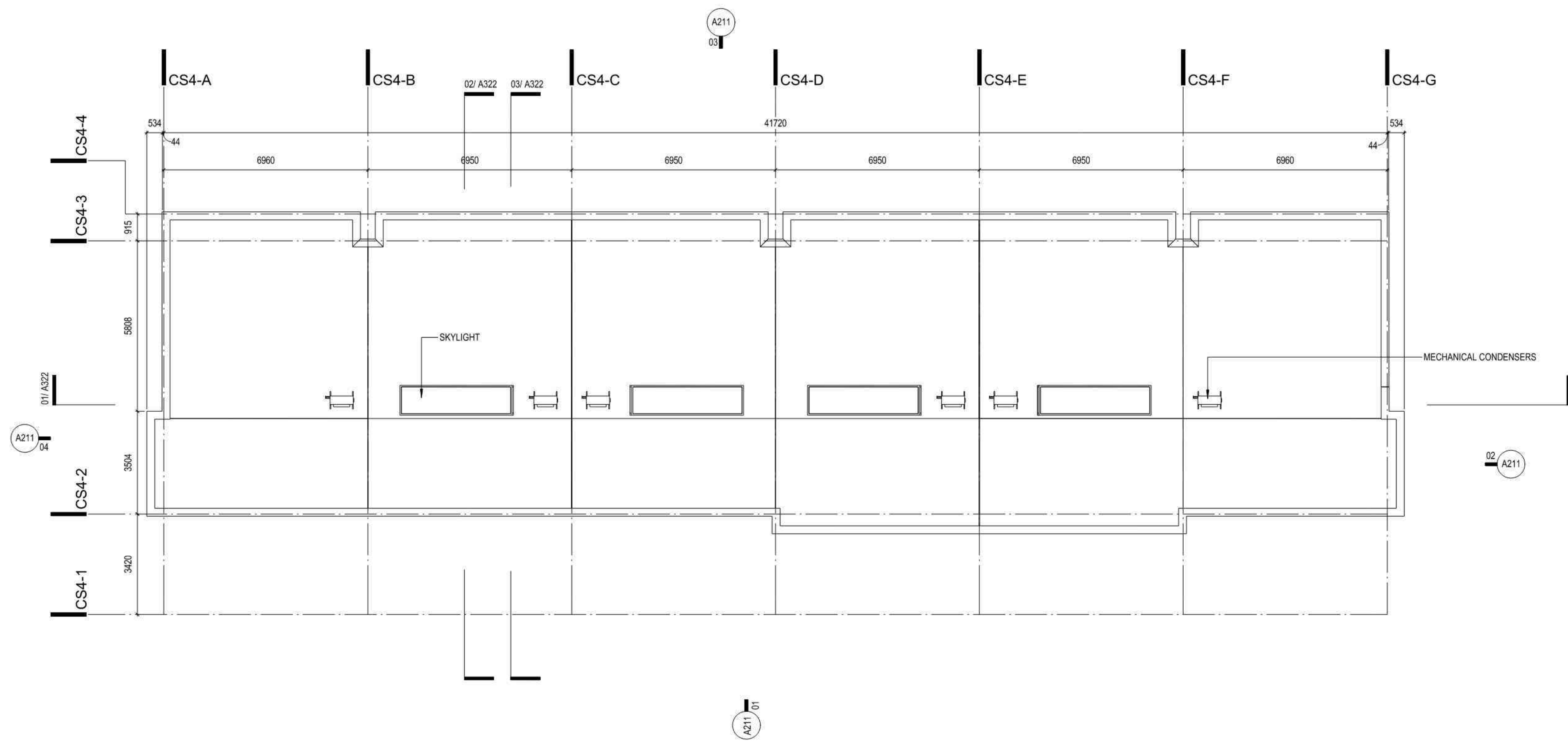
2 C.3 Level 2 Floor Plan
1:100



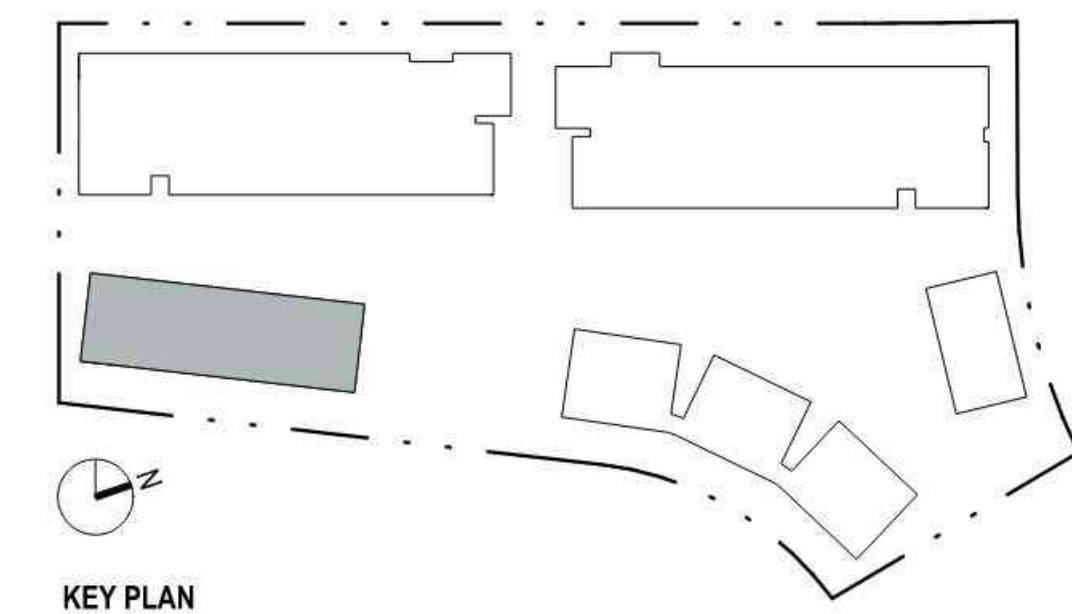
KEY PLAN

2/26/2024 3:43:47 PM

DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
Dec 18, 2023	D	Issued for DP Response
Jan 25, 2024	G	Issued for DP Response (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions



01 C.3 Roof Level Plan
1:100

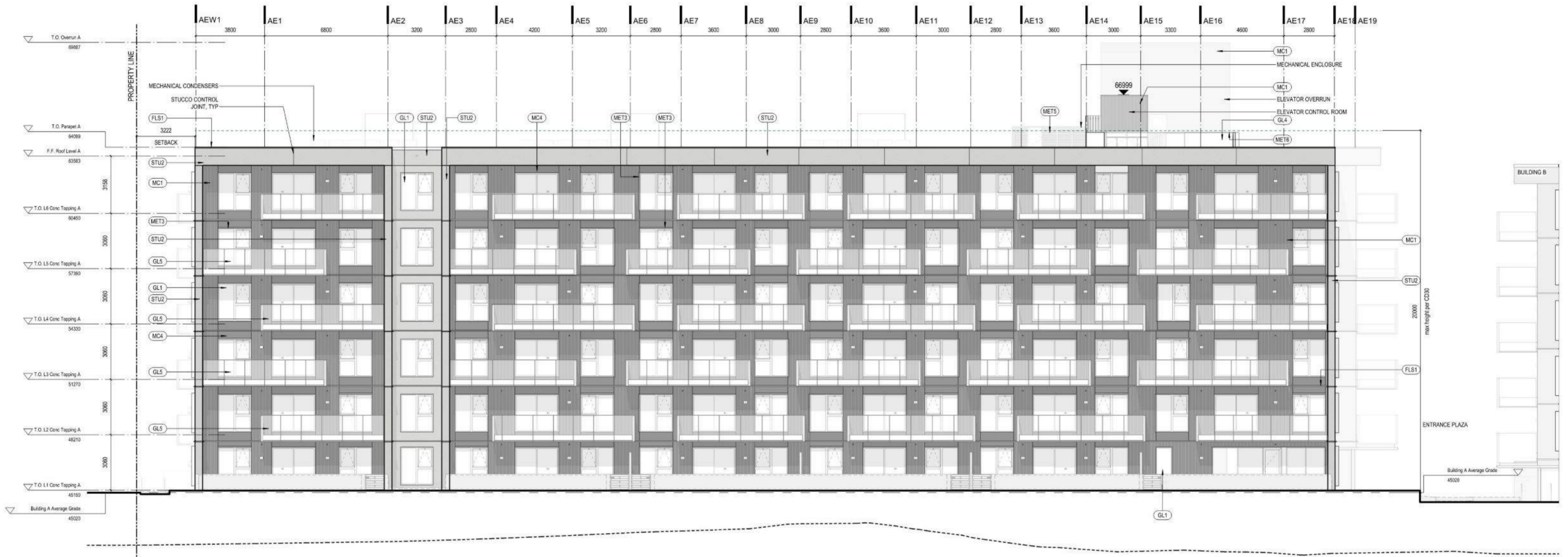


KEY PLAN

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Dec 18, 2023	D	Issued for DP Response
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01 Elevation - A East
1 : 100

MATERIALS LEGEND

- AT1 ACOUSTIC TILE TYPE 1
- AT2 ACOUSTIC TILE TYPE 2
- CP1 CARPET TILE
- CON1 ARCHITECTURAL CONCRETE
- FLS1 FLASHING (PREFINISHED)
- GB1 GLASS-MATT TYPE X' MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD
- GB2 GLASS-MATT TYPE X' GYPSUM BOARD (GLASS MAT)
- GB3 MOLD-TOUGH TYPE X' GYPSUM BOARD
- GB4 GLASS-MATT GYPSUM TILE BACKERBOARD
- GB5 GYPSUM BOARD
- GL1 DOUBLE GLAZED WINDOWS AND SLIDING DOORS
- GL2 DOUBLE GLAZED SWING DOORS
- GL3 DOUBLE GLAZED STOREFRONT
- GL4 GLASS GUARDRAIL
- GL5 GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT
- GL6 WIRED GLASS DOORS
- GL7 INDOOR SINGLE GLAZED STOREFRONT
- GL8 INDOOR SHOWER DOOR GLAZING
- GL9 ELEVATOR CAB GLAZING (BLACK/SMOKED)

- LAC1 LAQUER FINISH
- MEL1 MELAMINE LAMINATE - COLOR 1
- MEL2 RESILIENT MELAMINE LAMINATE - COLOR 2
- MEL3 RESILIENT MELAMINE LAMINATE - COLOR 3
- MC1 PROFILED METAL CLADDING
- MC2 METAL WALL PANEL - BALCONY
- MC3 METAL SOFFIT PANEL
- MC4 METAL WALL PANEL
- MET1 METAL PICKET (POWDERCOATED)
- MET2 METAL CANOPY (POWDERCOATED)
- MET3 METAL WINDOW SURROUND (POWDERCOATED)
- MET5 ALUMINUM LOUVERS (POWDERCOATED)
- MET6 ALUMINUM CHANNELS (POWDERCOATED)
- PT1 PAINTED COLOR 1 (WHITE)
- PT2 PAINTED COLOR 2 (LIGHT GREY)
- PT3 PAINTED COLOR 3 (MID GREY)
- PT4 PAINTED COLOR 4 (GREEN)
- PT5 PAINTED COLOR 5 (BLUE)
- RF1 RUBBER FLOORING
- RF2 RESILIENT FLOOR INTERLOCKING TILE

- SS1 STAINLESS STEEL (BRUSHED)
- ST1 STONE SLAB
- STU1 STUCCO - LIGHT GREY AGGREGATE
- STU2 STUCCO - DARK GREY AGGREGATE
- STU3 STUCCO SMOOTH - LIGHT
- STU4 STUCCO SMOOTH - DARK GREY
- TL1 FLOOR TILE LARGE FORMAT
- TL2 FLOOR AND WALL TILE LARGE FORMAT
- TL3 WALL TILE LARGE FORMAT
- TL4 WALL TILE SMALL FORMAT
- WD1 WOOD DOOR - WHITE OAK
- WD2 WOOD FLOORING
- WM1 WALKOFF MAT
- WV1 WOOD VENEER

CON1



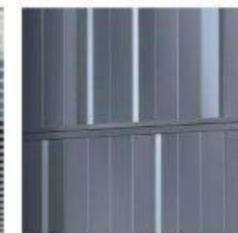
GL1, GL2, GL3



GL5



MC1



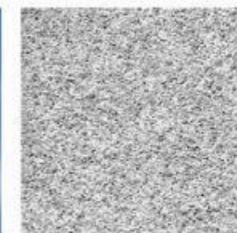
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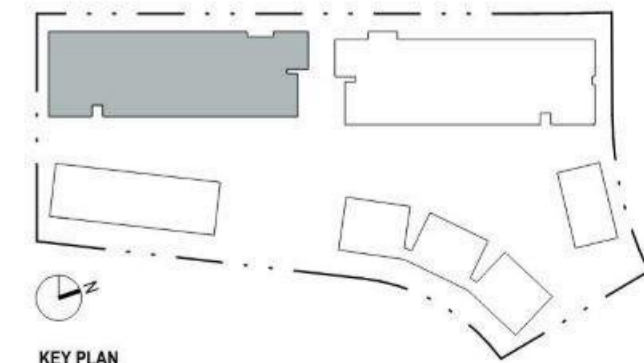
MET3



STU1

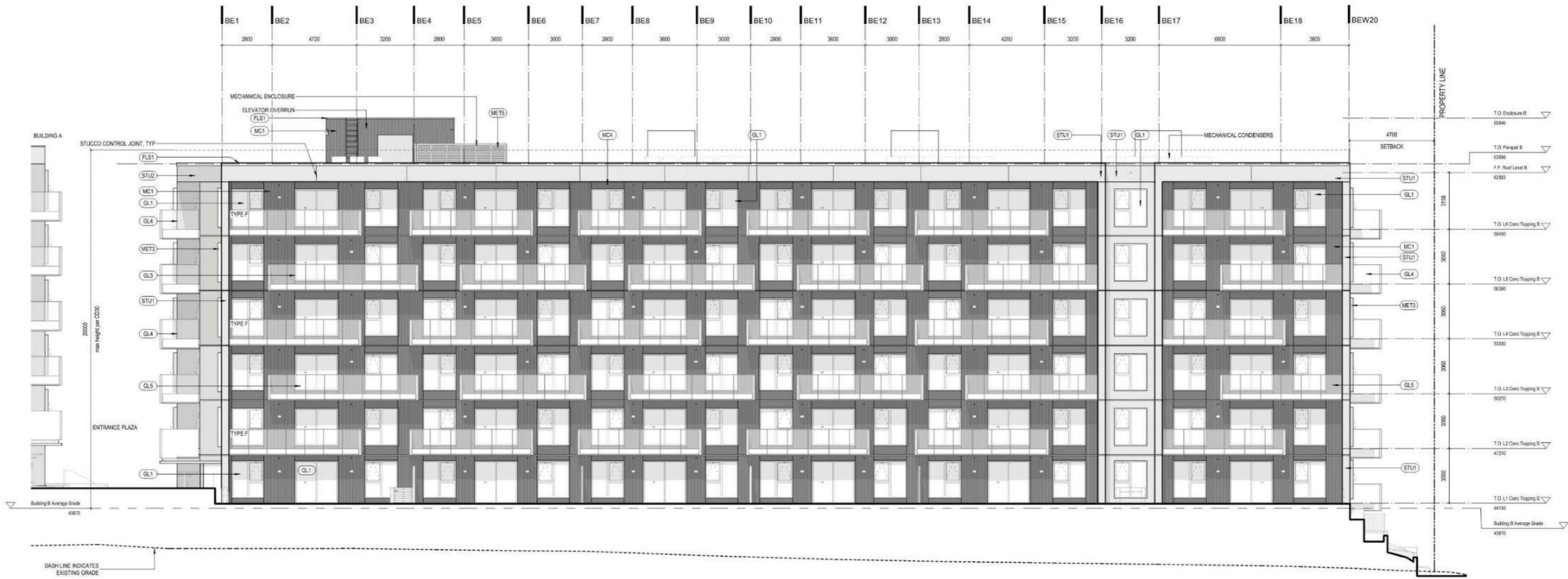


STU2



KEY PLAN

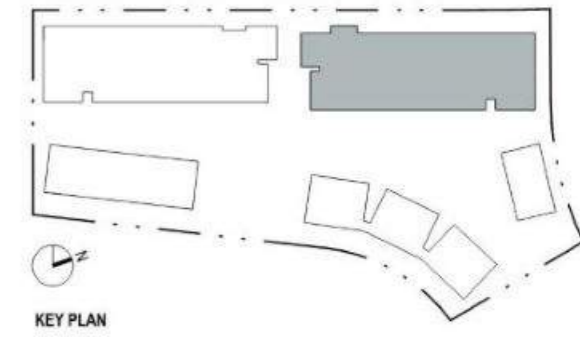
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01 Elevation - B East
1:100

MATERIALS LEGEND

AT1	ACOUSTIC TILE TYPE 1	LAC1	LACQUER FINISH	SS1	STAINLESS STEEL (BRUSHED)
AT2	ACOUSTIC TILE TYPE 2	MEL1	MELAMINE LAMINATE - COLOR 1	ST1	STONE SLAB
CPT1	CARPET TILE	MEL2	RESILIENT MELAMINE LAMINATE - COLOR 2	STU1	STUCCO - LIGHT GREY AGGREGATE
CON1	ARCHITECTURAL CONCRETE	MEL3	RESILIENT MELAMINE LAMINATE - COLOR 3	STU2	STUCCO - DARK GREY AGGREGATE
FLS1	FLASHING (PREFINISHED)	MC1	PROFILED METAL CLADDING	STU3	STUCCO SMOOTH - LIGHT
GB1	GLASS-MATT TYPE 'X' MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD	MC2	METAL WALL PANEL - BALCONY	STU4	STUCCO SMOOTH - DARK GREY
GB2	GLASS-MATT TYPE 'X' GYPSUM BOARD (GLASS MAT)	MC3	METAL SOFFIT PANEL	TL1	FLOOR TILE LARGE FORMAT
GB3	MOLD-TOUGH TYPE 'X' GYPSUM BOARD	MC4	METAL WALL PANEL	TL2	FLOOR AND WALL TILE LARGE FORMAT
GB4	GLASS-MATT GYPSUM TILE BACKERBOARD	MET1	METAL PICKET (POWDERCOATED)	TL3	WALL TILE LARGE FORMAT
GB5	GYPSUM BOARD	MET2	METAL CANOPY (POWDERCOATED)	TL4	WALL TILE SMALL FORMAT
GL1	DOUBLE GLAZED WINDOWS AND SLIDING DOORS	MET3	METAL WINDOW SURROUND (POWDERCOATED)	WD1	WOOD DOOR - WHITE OAK
GL2	DOUBLE GLAZED SWING DOORS	MET5	ALUMINUM LOUVERS (POWDERCOATED)	WD2	WOOD FLOORING
GL3	DOUBLE GLAZED STOREFRONT	MET6	ALUMINUM CHANNELS (POWDERCOATED)	WM1	WALKOFF MAT
GL4	GLASS GUARDRAIL	PT1	PAINTED COLOR 1 (WHITE)	WF1	WOOD VENEER
GL5	GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT	PT2	PAINTED COLOR 2 (LIGHT GREY)		
GL6	WIRED GLASS DOORS	PT3	PAINTED COLOR 3 (MID GREY)		
GL7	INDOOR SINGLE GLAZED STOREFRONT	PT4	PAINTED COLOR 4 (GREEN)		
GL8	INDOOR SHOWER DOOR GLAZING	PT5	PAINTED COLOR 5 (BLUE)		
GL9	ELEVATOR CAB GLAZING (BLACK/SMOKED)	RF1	RESILIENT FLOOR INTERLOCKING TILE		



2/26/2024 3:45:24 PM

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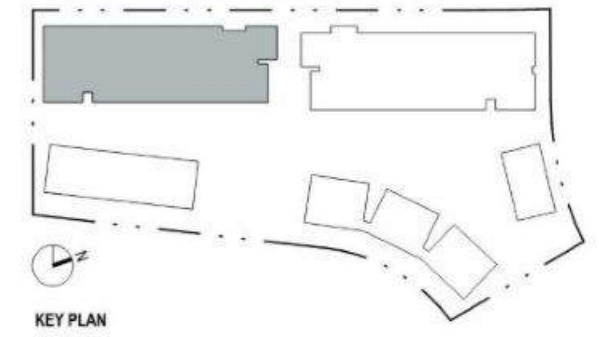




01 Elevation - A West
1:100

MATERIALS LEGEND

AT1	ACOUSTIC TILE TYPE 1	LAC1	LACQUER FINISH	SS1	STAINLESS STEEL (BRUSHED)
AT2	ACOUSTIC TILE TYPE 2	MEL1	MELAMINE LAMINATE - COLOR 1	ST1	STONE SLAB
CPT1	CARPET TILE	MEL2	RESILIENT MELAMINE LAMINATE - COLOR 2	STU1	STUCCO - LIGHT GREY AGGREGATE
CON1	ARCHITECTURAL CONCRETE	MEL3	RESILIENT MELAMINE LAMINATE - COLOR 3	STU2	STUCCO - DARK GREY AGGREGATE
FLS1	FLASHING (PREFINISHED)	MC1	PROFILED METAL CLADDING	STU3	STUCCO SMOOTH - LIGHT
GB1	GLASS-MATT TYPE 'X' MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD	MC2	METAL WALL PANEL - BALCONY	STU4	STUCCO SMOOTH - DARK GREY
GB2	GLASS-MATT TYPE 'X' GYPSUM BOARD (GLASS MAT)	MC3	METAL SOFFIT PANEL	TL1	FLOOR TILE LARGE FORMAT
GB3	MOLD-TOUGH TYPE 'X' GYPSUM BOARD	MC4	METAL WALL PANEL	TL2	FLOOR AND WALL TILE LARGE FORMAT
GB4	GLASS-MATT GYPSUM TILE BACKERSBOARD	MET1	METAL PICKET (POWDERCOATED)	TL3	WALL TILE LARGE FORMAT
GB5	GYPSUM BOARD	MET2	METAL CANOPY (POWDERCOATED)	TL4	WALL TILE SMALL FORMAT
GL1	DOUBLE GLAZED WINDOWS AND SLIDING DOORS	MET3	METAL WINDOW SURROUND (POWDERCOATED)	WD1	WOOD DOOR - WHITE OAK
GL2	DOUBLE GLAZED SWING DOORS	MET5	ALUMINUM LOUVERS (POWDERCOATED)	WD2	WOOD FLOORING
GL3	DOUBLE GLAZED STOREFRONT	MET6	ALUMINUM CHANNELS (POWDERCOATED)	WM1	WALKOFF MAT
GL4	GLASS GUARDRAIL	PT1	PAINTED COLOR 1 (WHITE)	WW1	WOOD VENEER
GL5	GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT	PT2	PAINTED COLOR 2 (LIGHT GREY)		
GL6	WIRED GLASS DOORS	PT3	PAINTED COLOR 3 (MID GREY)		
GL7	INDOOR SINGLE GLAZED STOREFRONT	PT4	PAINTED COLOR 4 (GREEN)		
GL8	INDOOR SHOWER DOOR GLAZING	PT5	PAINTED COLOR 5 (BLUE)		
GL9	ELEVATOR CAB GLAZING (BLACK/SMOKED)	RF1	RUBBER FLOORING		
		RF1	RESILIENT FLOOR INTERLOCKING TILE		

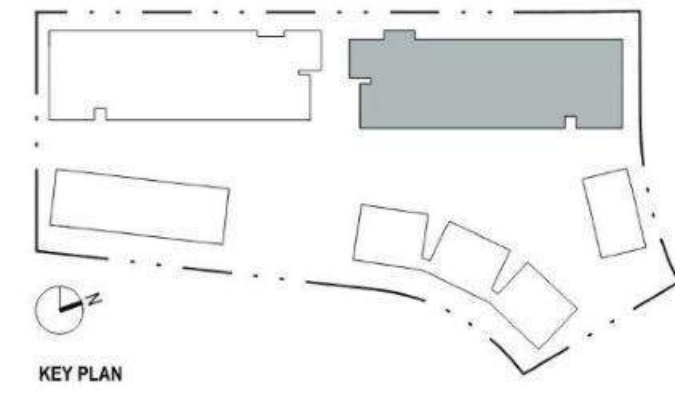




01 Elevation - B West
1:100

MATERIALS LEGEND

- | | | | | | |
|------|--|------|---------------------------------------|------|----------------------------------|
| AT1 | ACOUSTIC TILE TYPE 1 | LAC1 | LACQUER FINISH | SS1 | STAINLESS STEEL (BRUSHED) |
| AT2 | ACOUSTIC TILE TYPE 2 | MEL1 | MELAMINE LAMINATE - COLOR 1 | ST1 | STONE SLAB |
| CP1 | CARPET TILE | MEL2 | RESILIENT MELAMINE LAMINATE - COLOR 2 | STU1 | STUCCO - LIGHT GREY AGGREGATE |
| CON1 | ARCHITECTURAL CONCRETE | MEL3 | RESILIENT MELAMINE LAMINATE - COLOR 3 | STU2 | STUCCO - DARK GREY AGGREGATE |
| FLS1 | FLASHING (PREFINISHED) | MC1 | PROFILED METAL CLADDING | STU3 | STUCCO SMOOTH - LIGHT |
| GB1 | GLASS-MATT TYPE 'X' MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD | MC2 | METAL WALL PANEL - BALCONY | STU4 | STUCCO SMOOTH - DARK GREY |
| GB2 | GLASS-MATT TYPE 'X' GYPSUM BOARD (GLASS MAT) | MC3 | METAL SOFFIT PANEL | TL1 | FLOOR TILE LARGE FORMAT |
| GB3 | MOLD-TOUGH TYPE 'X' GYPSUM BOARD | MC4 | METAL WALL PANEL | TL2 | FLOOR AND WALL TILE LARGE FORMAT |
| GB4 | GLASS-MATT GYPSUM TILE BACKERBOARD | MET1 | METAL POKET (POWDERCOATED) | TL3 | WALL TILE LARGE FORMAT |
| GB5 | GYPSUM BOARD | MET2 | METAL CANOPY (POWDERCOATED) | TL4 | WALL TILE SMALL FORMAT |
| GL1 | DOUBLE GLAZED WINDOWS AND SLIDING DOORS | MET3 | METAL WINDOW SURROUND (POWDERCOATED) | WD1 | WOOD DOOR - WHITE OAK |
| GL2 | DOUBLE GLAZED SWING DOORS | MET5 | ALUMINUM LOUVERS (POWDERCOATED) | WD2 | WOOD FLOORING |
| GL3 | DOUBLE GLAZED STOREFRONT | MET6 | ALUMINUM CHANNELS (POWDERCOATED) | WM1 | WALKOFF MAT |
| GL4 | GLASS GUARDRAIL | PT1 | PAINTED COLOR 1 (WHITE) | WV1 | WOOD VENEER |
| GL5 | GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT | PT2 | PAINTED COLOR 2 (LIGHT GREY) | | |
| GL6 | WIRED GLASS DOORS | PT3 | PAINTED COLOR 3 (MID GREY) | | |
| GL7 | INDOOR SINGLE GLAZED STOREFRONT | PT4 | PAINTED COLOR 4 (GREEN) | | |
| GL8 | INDOOR SHOWER DOOR GLAZING | PT5 | PAINTED COLOR 5 (BLUE) | | |
| GL9 | ELEVATOR CAB GLAZING (BLACK/SMOKED) | RF1 | RUBBER FLOORING | | |
| | | RF1 | RESILIENT FLOOR INTERLOCKING TILE | | |



2/29/2024 3:48:06 PM

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THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
THE BEACHLANDS
CITY OF COLWOOD
2022-039
[NOT FOR CONSTRUCTION]

ELEVATION - B WEST
As indicated

A203



RENDERED ELEVATION - METCHOSIN ROAD

2/26/2024 3:48:06 PM

DATE	REV	DESCRIPTION
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RENDERED ELEVATION - C.1 STREET



RENDERED ELEVATION - C.2 STREET



RENDERED ELEVATION - C.3 STREET



RENDERED ELEVATION - C.1 COURTYARD



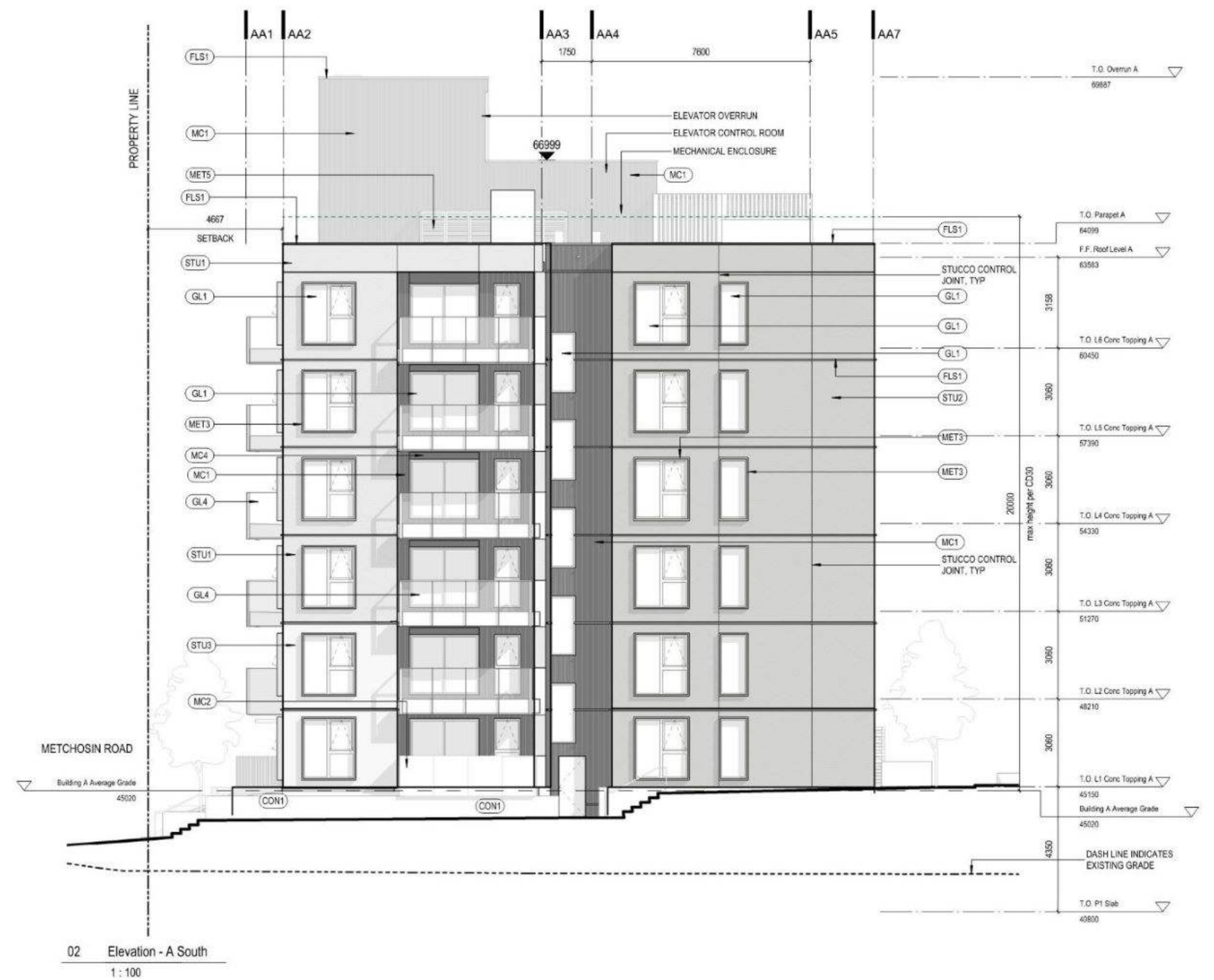
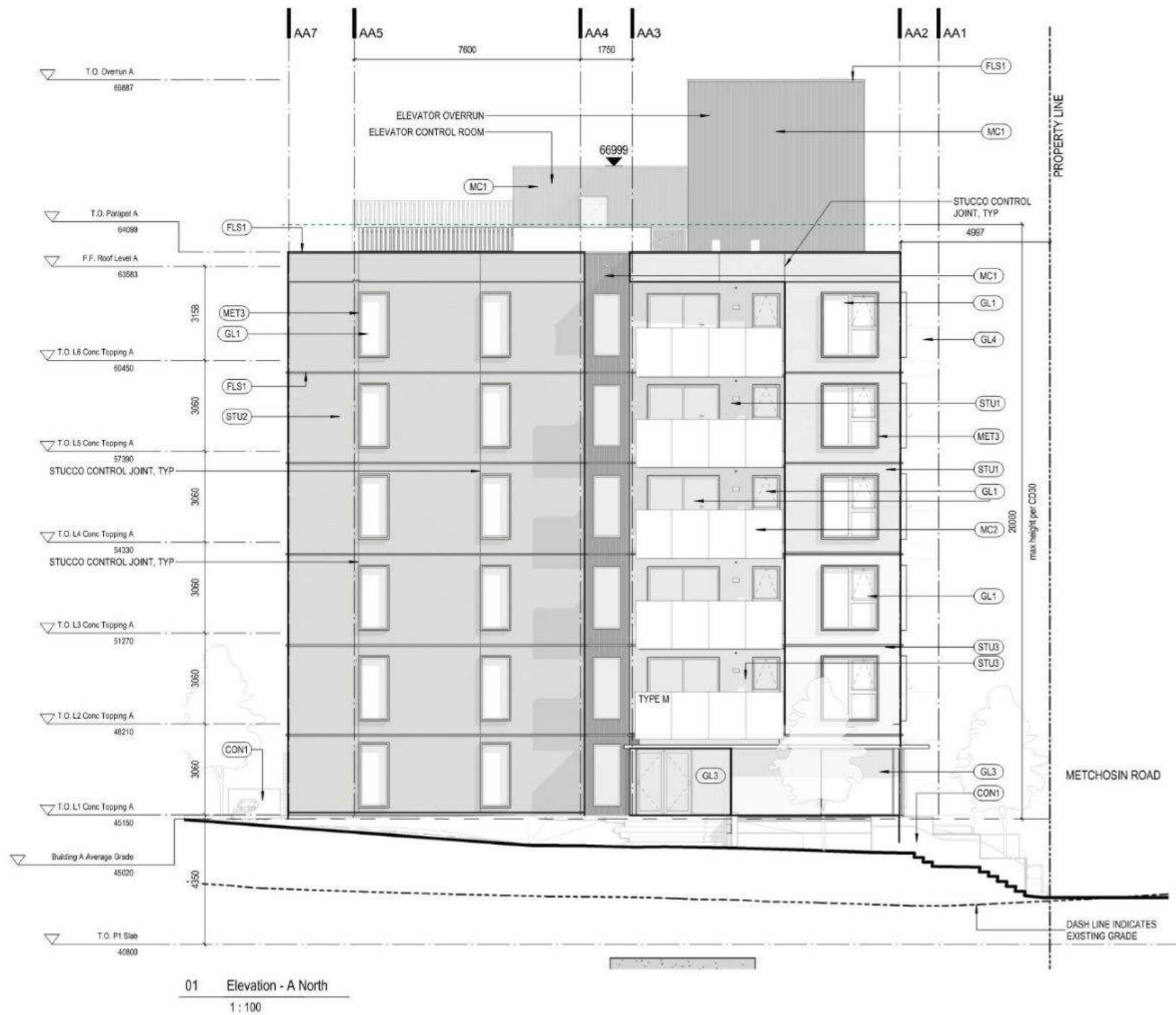
RENDERED ELEVATION - C.2 COURTYARD



RENDERED ELEVATION - C.3 COURTYARD

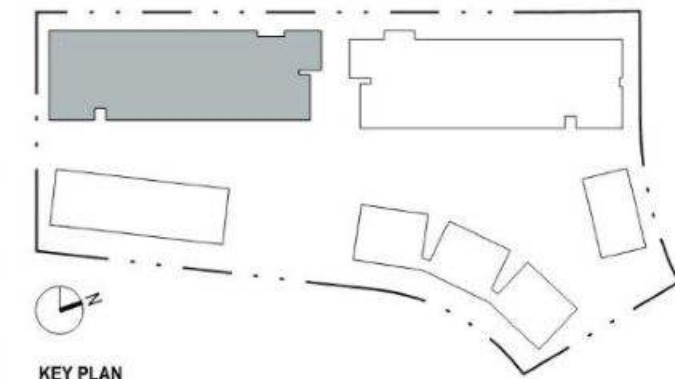
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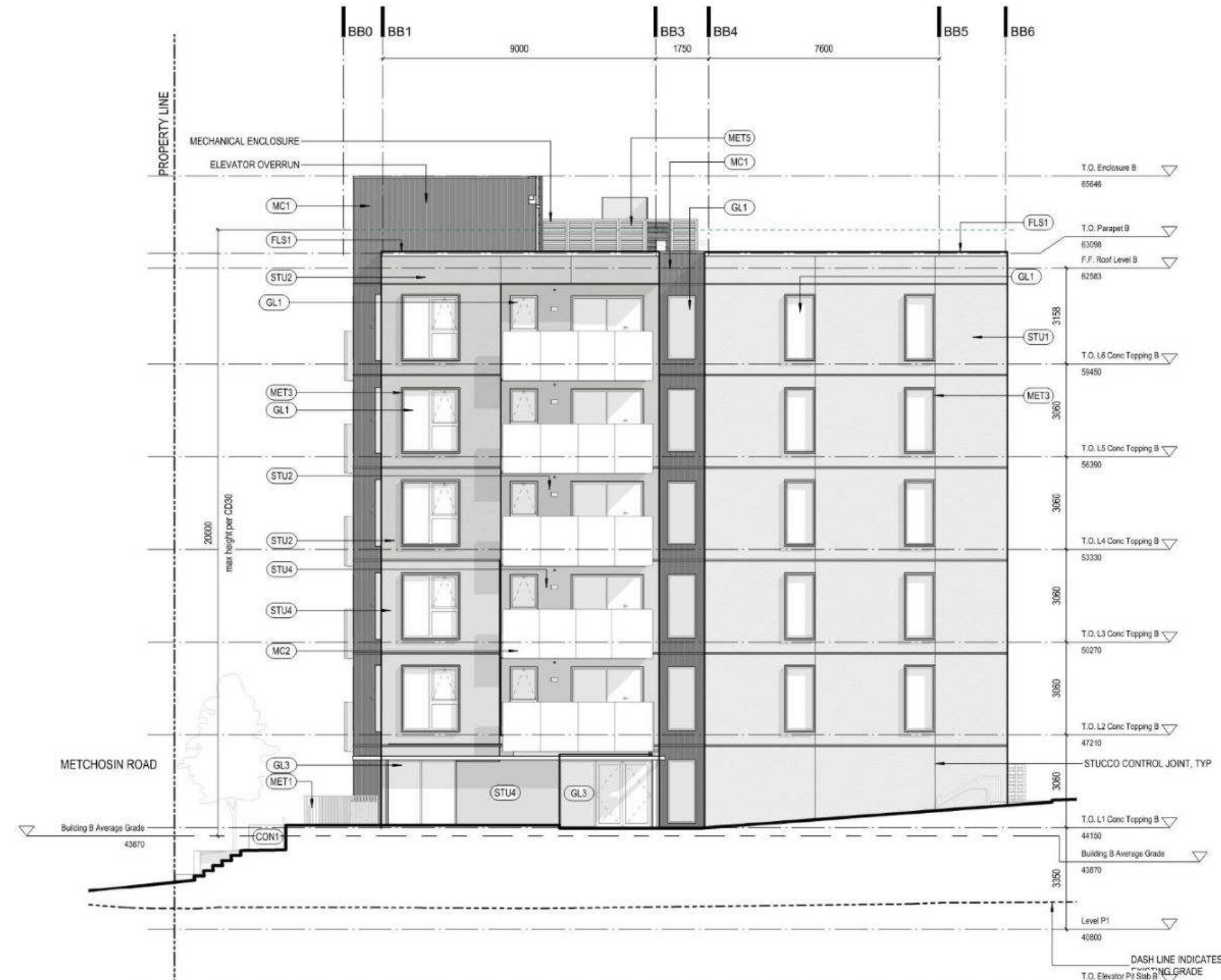
MATERIALS LEGEND

AT1	ACOUSTIC TILE TYPE 1	LAC1	LACQUER FINISH	SS1	STAINLESS STEEL (BRUSHED)
AT2	ACOUSTIC TILE TYPE 2	MEL1	MELAMINE LAMINATE - COLOR 1	ST1	STONE SLAB
OP1	CARPET TILE	MEL2	RESILIENT MELAMINE LAMINATE - COLOR 2	STU1	STUCCO - LIGHT GREY AGGREGATE
CON1	ARCHITECTURAL CONCRETE	MEL3	RESILIENT MELAMINE LAMINATE - COLOR 3	STU2	STUCCO - DARK GREY AGGREGATE
FLS1	FLASHING (PREFINISHED)	MC1	PROFILED METAL CLADDING	STU3	STUCCO SMOOTH - LIGHT
GB1	GLASS-MATT TYPE 'X' MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD	MC2	METAL WALL PANEL - BALCONY	STU4	STUCCO SMOOTH - DARK GREY
GB2	GLASS-MATT TYPE 'X' GYPSUM BOARD (GLASS MAT)	MC3	METAL SOFFIT PANEL	TL1	FLOOR TILE LARGE FORMAT
GB3	MOLD-TOUGH TYPE 'X' GYPSUM BOARD	MC4	METAL WALL PANEL	TL2	FLOOR AND WALL TILE LARGE FORMAT
GB4	GLASS-MATT GYPSUM TILE BACKERBOARD	MET1	METAL POCKET (POWDERCOATED)	TL3	WALL TILE LARGE FORMAT
GB5	GYPSUM BOARD	MET2	METAL CANOPY (POWDERCOATED)	TL4	WALL TILE SMALL FORMAT
GL1	DOUBLE GLAZED WINDOWS AND SLIDING DOORS	MET3	METAL WINDOW SURROUND (POWDERCOATED)	WD1	WOOD DOOR - WHITE OAK
GL2	DOUBLE GLAZED SWING DOORS	MET5	ALUMINUM LOUVERS (POWDERCOATED)	WD2	WOOD FLOORING
GL3	DOUBLE GLAZED STOREFRONT	MET6	ALUMINUM CHANNELS (POWDERCOATED)	WM1	WALKOFF MAT
GL4	GLASS GUARDRAIL	PT1	PAINTED COLOR 1 (WHITE)	WW1	WOOD VENEER
GL5	GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT	PT2	PAINTED COLOR 2 (LIGHT GREY)		
GL6	WIRED GLASS DOORS	PT3	PAINTED COLOR 3 (MID GREY)		
GL7	INDOOR SINGLE GLAZED STOREFRONT	PT4	PAINTED COLOR 4 (GREEN)		
GL8	INDOOR SHOWER DOOR GLAZING	PT5	PAINTED COLOR 5 (BLUE)		
GL9	ELEVATOR CAB GLAZING (BLACK/SMOKED)	RB1	RUBBER FLOORING		
		RF1	RESILIENT FLOOR INTERLOCKING TILE		



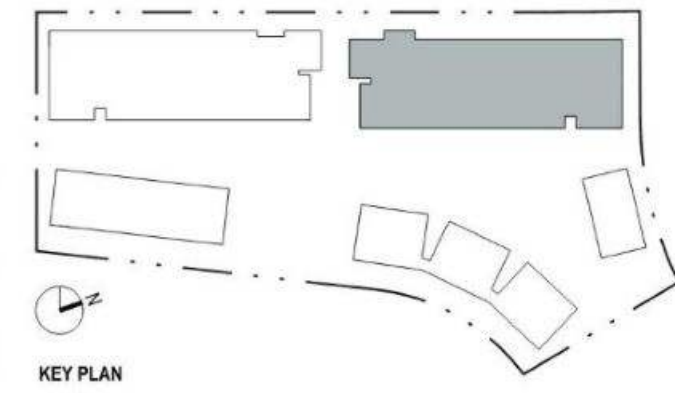
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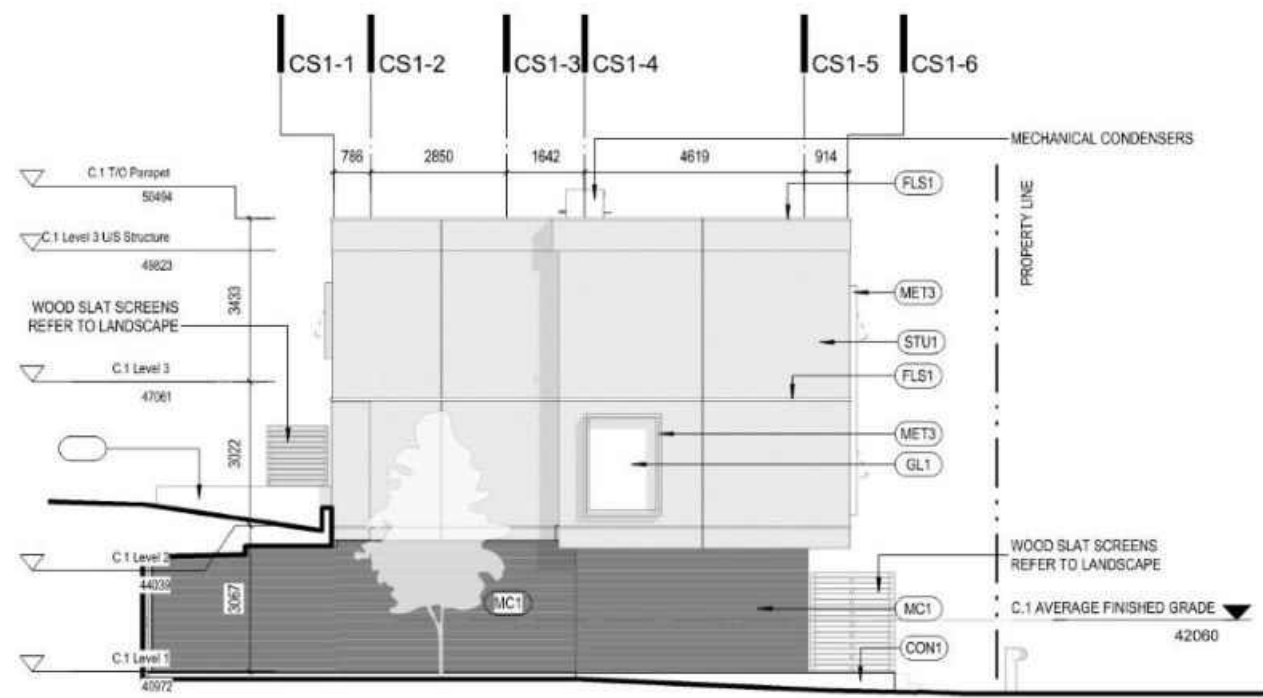
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MATERIALS LEGEND

AT1	ACOUSTIC TILE TYPE 1	LAC1	LACQUER FINISH	SS1	STAINLESS STEEL (BRUSHED)
AT2	ACOUSTIC TILE TYPE 2	MEL1	MELAMINE LAMINATE - COLOR 1	ST1	STONE SLAB
OPT1	CARPET TILE	MEL2	RESILIENT MELAMINE LAMINATE - COLOR 2	STU1	STUCCO - LIGHT GREY AGGREGATE
CON1	ARCHITECTURAL CONCRETE	MEL3	RESILIENT MELAMINE LAMINATE - COLOR 3	STU2	STUCCO - DARK GREY AGGREGATE
FLS1	FLASHING (PREFINISHED)	MC1	PROFILED METAL CLADDING	STU3	STUCCO SMOOTH - LIGHT
GB1	GLASS-MATT TYPE 'X' MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD	MC2	METAL WALL PANEL - BALCONY	STU4	STUCCO SMOOTH - DARK GREY
GB2	GLASS-MATT TYPE 'X' GYPSUM BOARD (GLASS MAT)	MC3	METAL SOFFIT PANEL	TL1	FLOOR TILE LARGE FORMAT
GB3	MOLD-TOUGH TYPE 'X' GYPSUM BOARD	MC4	METAL WALL PANEL	TL2	FLOOR AND WALL TILE LARGE FORMAT
GB4	GLASS-MATT GYPSUM TILE BACKERBOARD	MET1	METAL POKET (POWDERCOATED)	TL3	WALL TILE LARGE FORMAT
GB5	GYPSUM BOARD	MET2	METAL CANOPY (POWDERCOATED)	TL4	WALL TILE SMALL FORMAT
GL1	DOUBLE GLAZED WINDOWS AND SLIDING DOORS	MET3	METAL WINDOW SURROUND (POWDERCOATED)	WD1	WOOD DOOR - WHITE OAK
GL2	DOUBLE GLAZED SWING DOORS	MET5	ALUMINUM LOUVERS (POWDERCOATED)	WD2	WOOD FLOORING
GL3	DOUBLE GLAZED STOREFRONT	MET6	ALUMINUM CHANNELS (POWDERCOATED)	WM1	WALKOFF MAT
GL4	GLASS GUARDRAIL	PT1	PAINTED COLOR 1 (WHITE)		WOOD VENEER
GL5	GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT	PT2	PAINTED COLOR 2 (LIGHT GREY)		
GL6	WIRED GLASS DOORS	PT3	PAINTED COLOR 3 (MID GREY)		
GL7	INDOOR SINGLE GLAZED STOREFRONT	PT4	PAINTED COLOR 4 (GREEN)		
GL8	INDOOR SHOWER DOOR GLAZING	PT5	PAINTED COLOR 5 (BLUE)		
GL9	ELEVATOR CAB GLAZING (BLACK/SMOKED)	RB1	RUBBER FLOORING		
		RF1	RESILIENT FLOOR INTERLOCKING TILE		

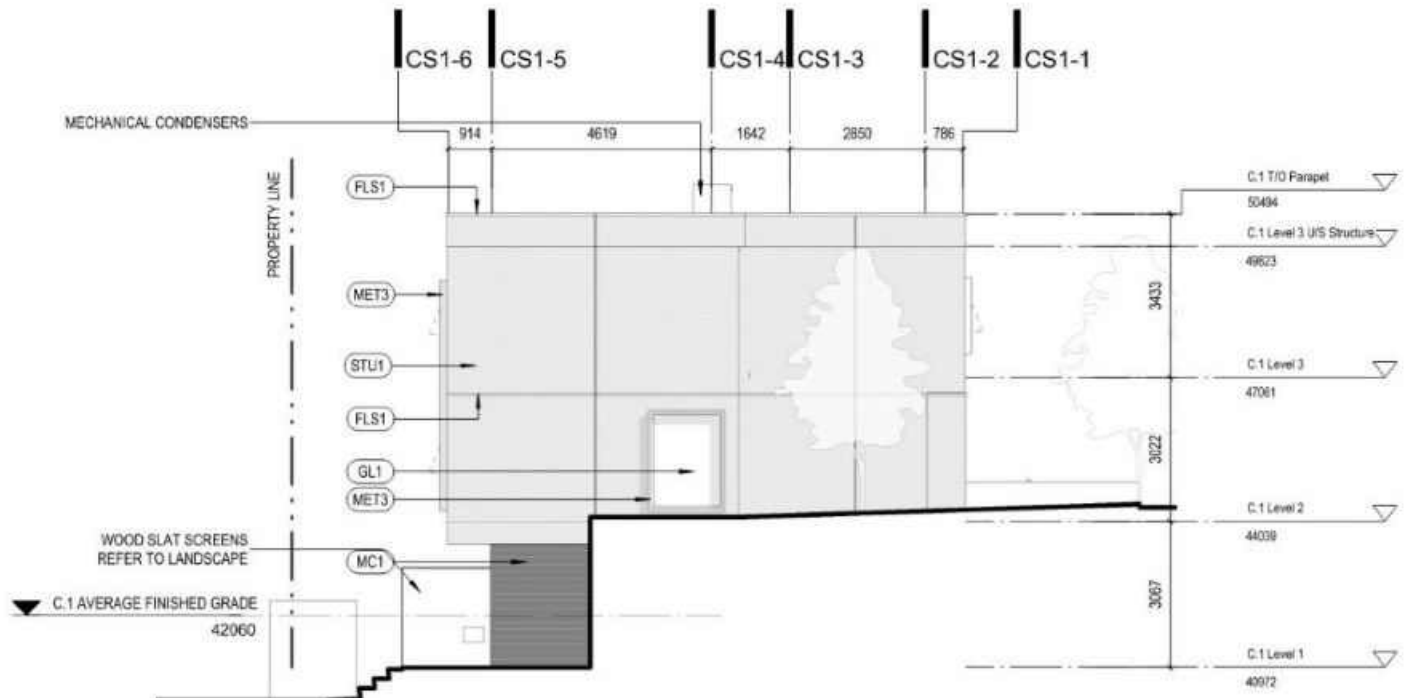




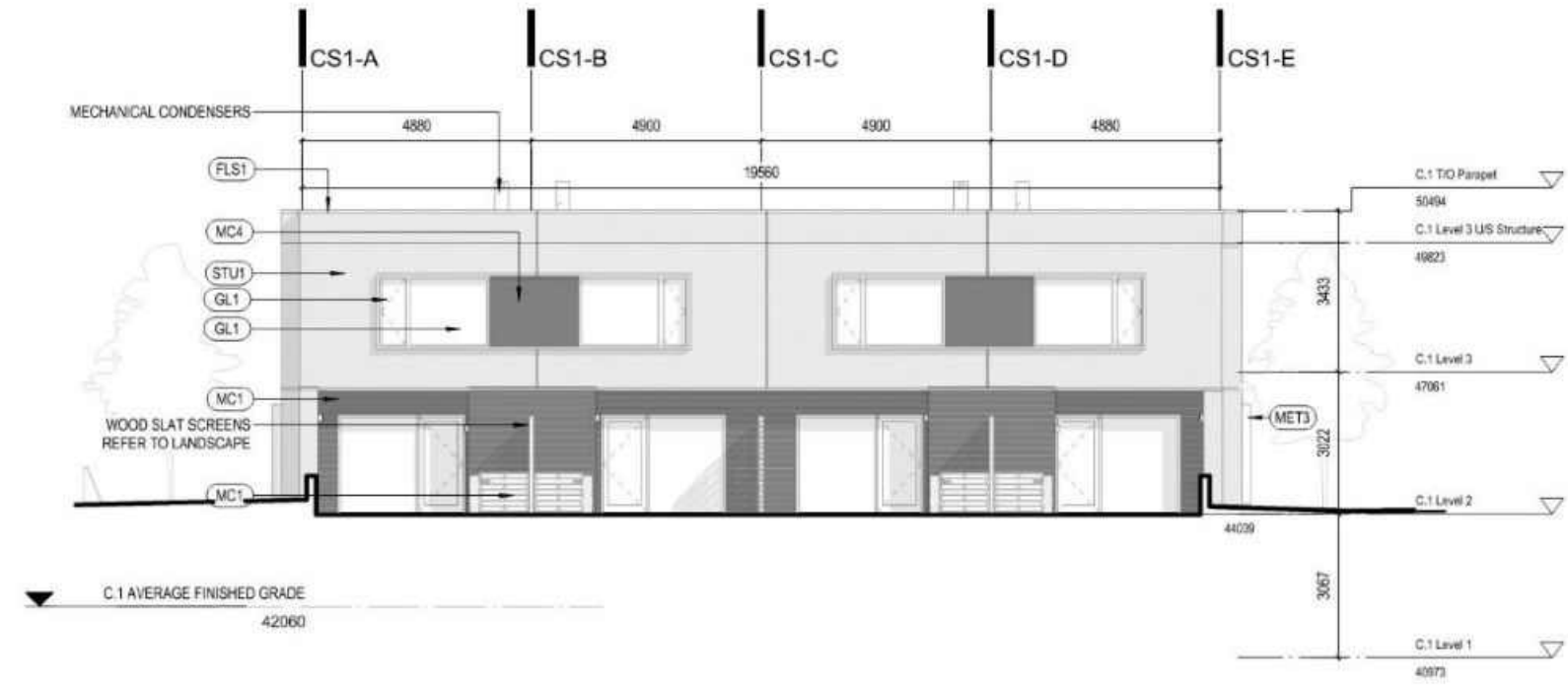
01 Elevation - C.1 East
1:100



02 Elevation - C.1 North
1:100



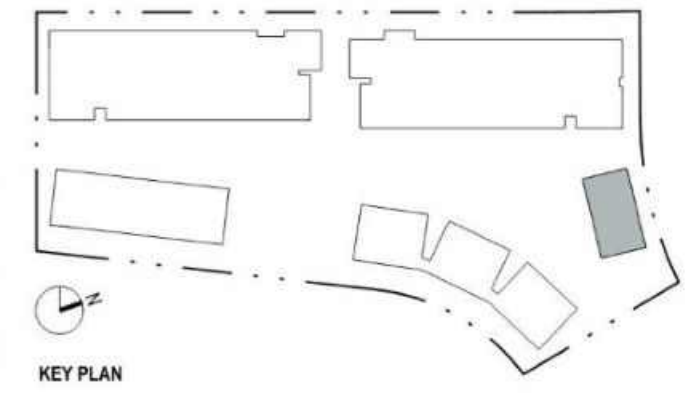
03 Elevation - C.1 West
1:100



04 Elevation - C.1 South
1:100

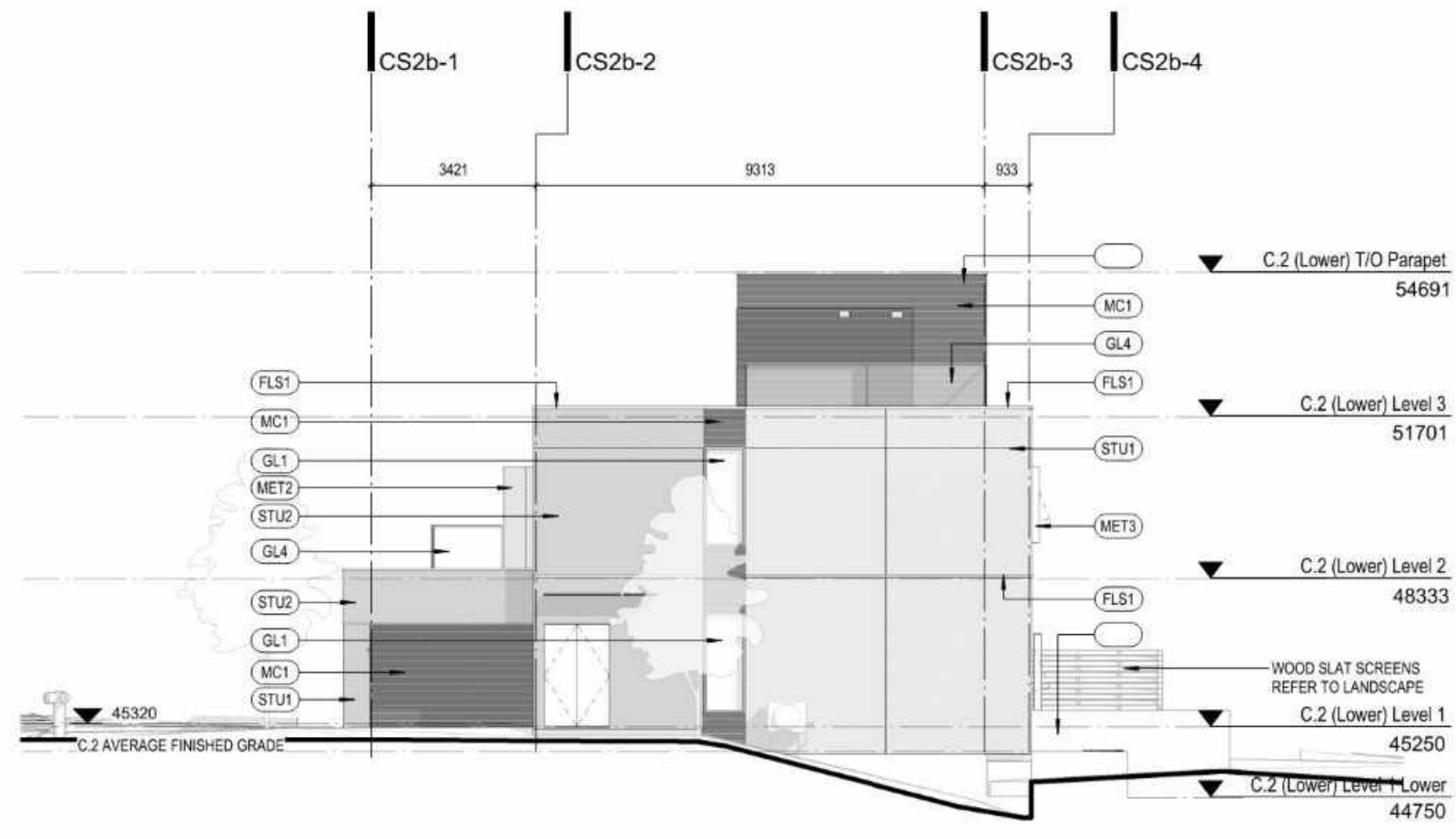
MATERIALS LEGEND

- | | | |
|--|--|--------------------------------------|
| AT1 ACOUSTIC TILE TYPE 1 | LAC1 LACQUER FINISH | SS1 STAINLESS STEEL (BRUSHED) |
| AT2 ACOUSTIC TILE TYPE 2 | MEL1 MELAMINE LAMINATE - COLOR 1 | ST1 STONE SLAB |
| CP1 CARPET TILE | MEL2 RESILIENT MELAMINE LAMINATE - COLOR 2 | STU1 STUCCO - LIGHT GREY AGGREGATE |
| CON1 ARCHITECTURAL CONCRETE | MEL3 RESILIENT MELAMINE LAMINATE - COLOR 3 | STU2 STUCCO - DARK GREY AGGREGATE |
| FLS1 FLASHING (PREFINISHED) | MC1 PROFILED METAL CLADDING | STU3 STUCCO SMOOTH - LIGHT |
| GB1 GLASS-MATT TYPE X MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD | MC2 METAL WALL PANEL - BALCONY | STU4 STUCCO SMOOTH - DARK GREY |
| GB2 GLASS-MATT TYPE X GYPSUM BOARD (GLASS MAT) | MC3 METAL SOFFIT PANEL | TL1 FLOOR TILE LARGE FORMAT |
| GB3 MOLD-TOUGH TYPE X GYPSUM BOARD | MC4 METAL WALL PANEL | TL2 FLOOR AND WALL TILE LARGE FORMAT |
| GB4 GLASS-MATT GYPSUM TILE BACKERBOARD | MET1 METAL POKET (POWDERCOATED) | TL3 WALL TILE LARGE FORMAT |
| GB5 GYPSUM BOARD | MET2 METAL CANOPY (POWDERCOATED) | TL4 WALL TILE SMALL FORMAT |
| GL1 DOUBLE GLAZED WINDOWS AND SLIDING DOORS | MET3 METAL WINDOW SURROUND (POWDERCOATED) | WD1 WOOD DOOR - WHITE OAK |
| GL2 DOUBLE GLAZED SWING DOORS | MET5 ALUMINUM LOUVERS (POWDERCOATED) | WD2 WOOD FLOORING |
| GL3 DOUBLE GLAZED STOREFRONT | MET6 ALUMINUM CHANNELS (POWDERCOATED) | WM1 WALKOFF MAT |
| GL4 GLASS GUARDRAIL | PT1 PAINTED COLOR 1 (WHITE) | WW1 WOOD VENEER |
| GL5 GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT | PT2 PAINTED COLOR 2 (LIGHT GREY) | |
| GL6 WIRED GLASS DOORS | PT3 PAINTED COLOR 3 (MID GREY) | |
| GL7 INDOOR SINGLE GLAZED STOREFRONT | PT4 PAINTED COLOR 4 (GREEN) | |
| GL8 INDOOR SHOWER DOOR GLAZING | PT5 PAINTED COLOR 5 (BLUE) | |
| GL9 ELEVATOR CAB GLAZING (BLACK/SMOKED) | RB1 RUBBER FLOORING | |
| | RF1 RESILIENT FLOOR INTERLOCKING TILE | |

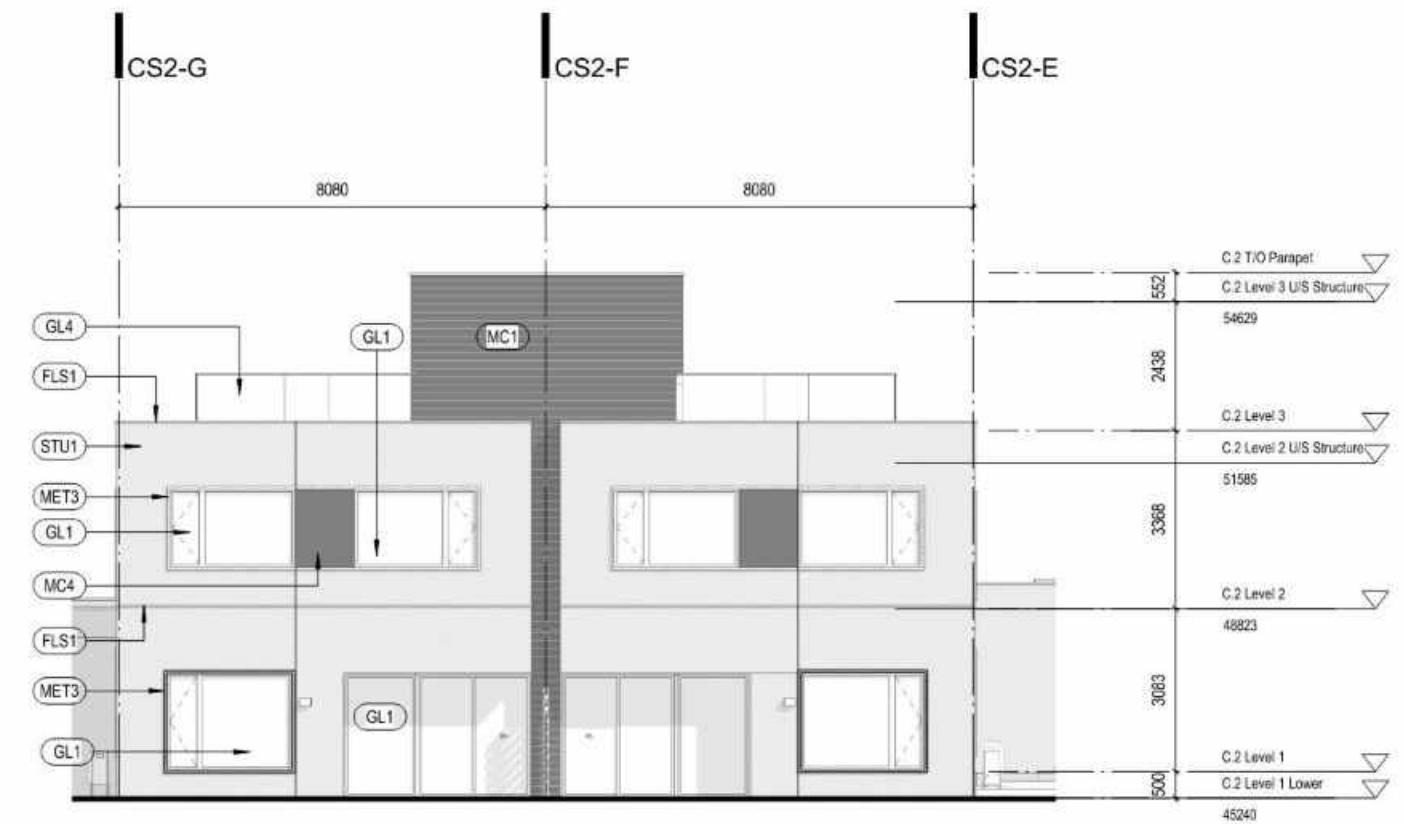


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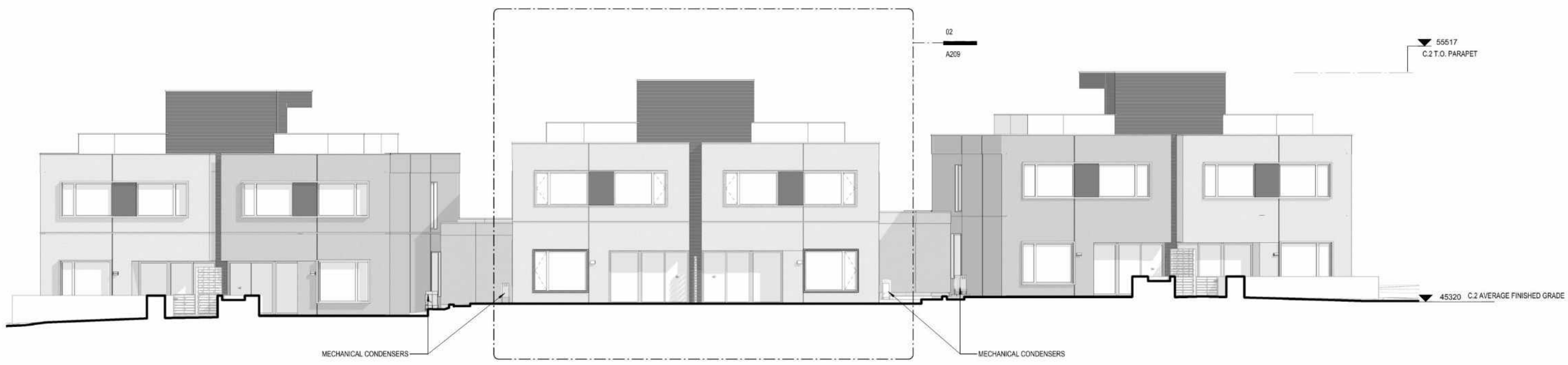
DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
Dec 18, 2023	D	Issued for DP Response
Jan 25, 2024	G	Issued for DP Response (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions



01 Elevation - C.2 North
1:100



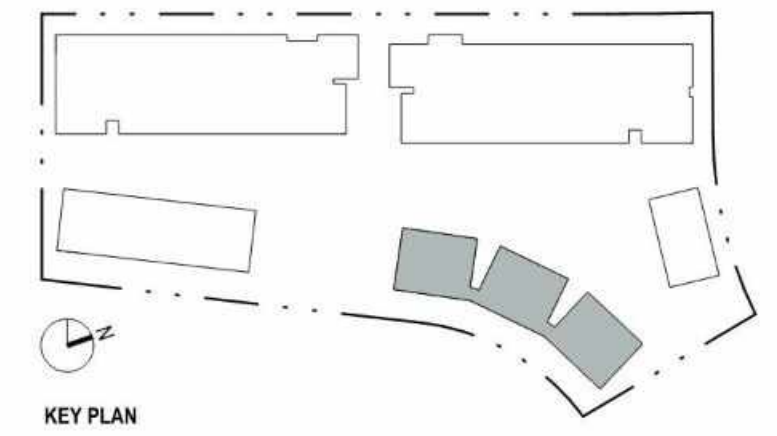
02 Elevation - C.2 West
1:100



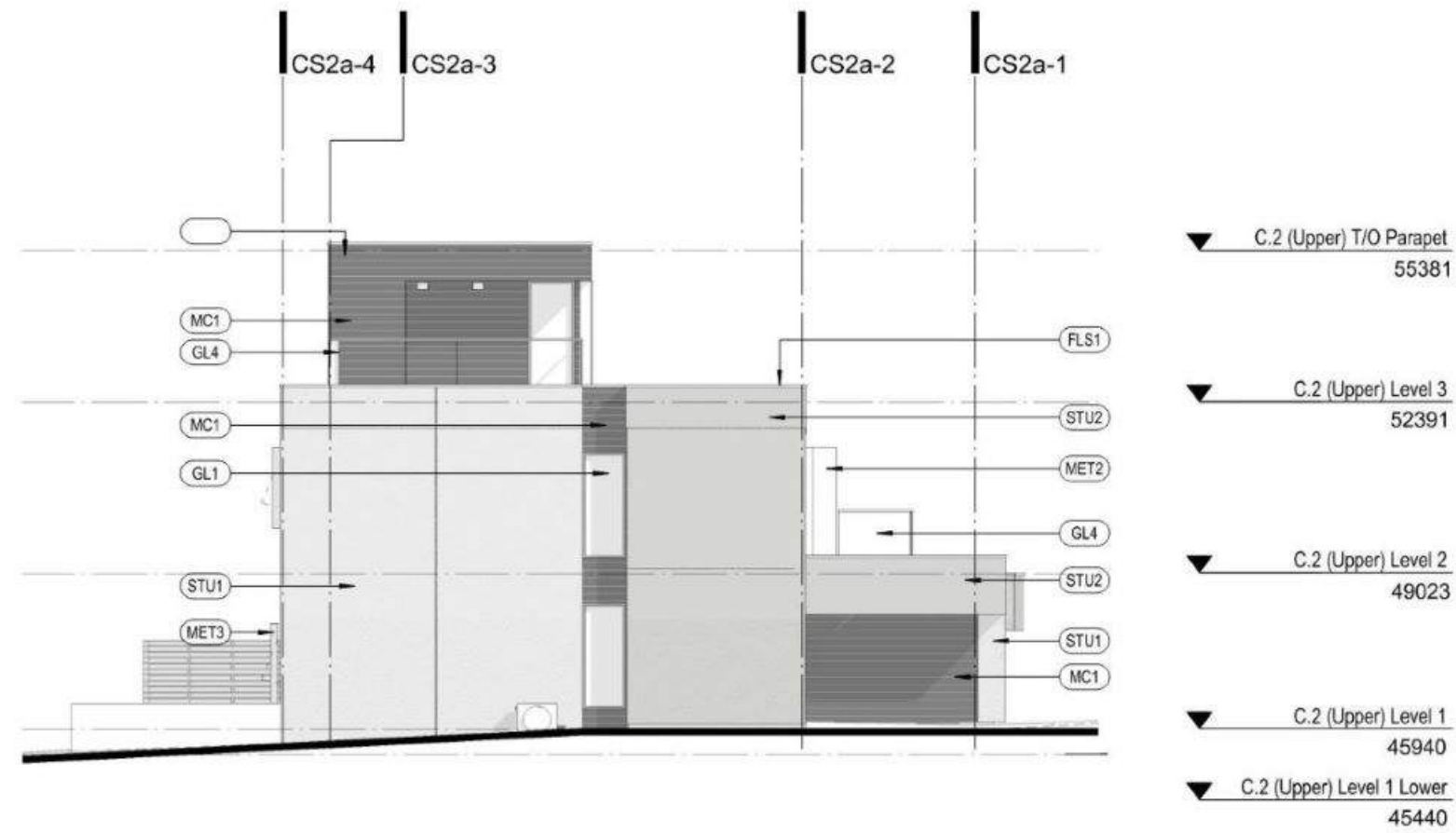
03 Elevation - C.2 West Overall
1:100

MATERIALS LEGEND

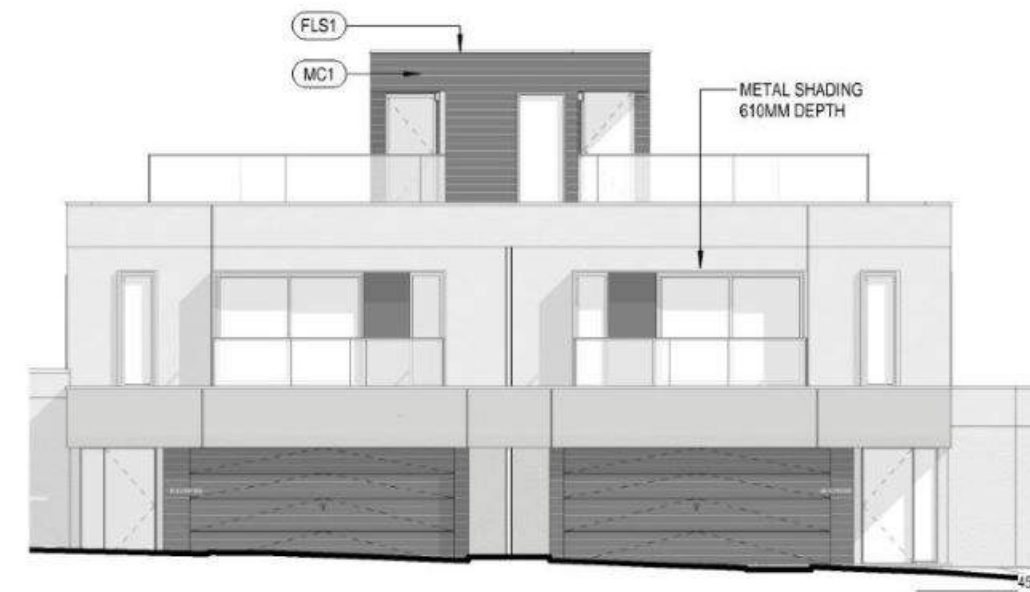
AT1 ACOUSTIC TILE TYPE 1	LAC1 LACQUER FINISH	SS1 STAINLESS STEEL (BRUSHED)
AT2 ACOUSTIC TILE TYPE 2	MEL1 MELAMINE LAMINATE - COLOR 1	ST1 STONE SLAB
CP1 CARPET TILE	MEL2 RESILIENT MELAMINE LAMINATE - COLOR 2	STU1 STUCCO - LIGHT GREY AGGREGATE
CON1 ARCHITECTURAL CONCRETE	MEL3 RESILIENT MELAMINE LAMINATE - COLOR 3	STU2 STUCCO - DARK GREY AGGREGATE
FLS1 FLASHING (PREFINISHED)	MC1 PROFILED METAL CLADDING	STU3 STUCCO SMOOTH - LIGHT
GB1 GLASS-MATT TYPE X MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD	MC2 METAL WALL PANEL - BALCONY	STU4 STUCCO SMOOTH - DARK GREY
GB2 GLASS-MATT TYPE X GYPSUM BOARD (GLASS MAT)	MC3 METAL SOFFIT PANEL	TL1 FLOOR TILE LARGE FORMAT
GB3 MOLD-TOUGH TYPE X GYPSUM BOARD	MC4 METAL WALL PANEL	TL2 FLOOR AND WALL TILE LARGE FORMAT
GB4 GLASS-MATT GYPSUM TILE BACKERBOARD	MET1 METAL PICKET (POWDERCOATED)	TL3 WALL TILE LARGE FORMAT
GB5 GYPSUM BOARD	MET2 METAL CANOPY (POWDERCOATED)	TL4 WALL TILE SMALL FORMAT
GL1 DOUBLE GLAZED WINDOWS AND SLIDING DOORS	MET3 METAL WINDOW SURROUND (POWDERCOATED)	WD1 WOOD DOOR - WHITE OAK
GL2 DOUBLE GLAZED SWING DOORS	MET5 ALUMINUM LOUVERS (POWDERCOATED)	WF1 WOOD FLOORING
GL3 DOUBLE GLAZED STOREFRONT	MET6 ALUMINUM CHANNELS (POWDERCOATED)	WM1 WALKOFF MAT
GL4 GLASS GUARDRAIL	PT1 PAINTED COLOR 1 (WHITE)	WV1 WOOD VENEER
GL5 GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT	PT2 PAINTED COLOR 2 (LIGHT GREY)	
GL6 WIRED GLASS DOORS	PT3 PAINTED COLOR 3 (MID GREY)	
GL7 INDOOR SINGLE GLAZED STOREFRONT	PT4 PAINTED COLOR 4 (GREEN)	
GL8 INDOOR SHOWER DOOR GLAZING	PT5 PAINTED COLOR 5 (BLUE)	
GL9 ELEVATOR CAB GLAZING (BLACK/SMOKED)	RF1 RESILIENT FLOOR INTERLOCKING TILE	



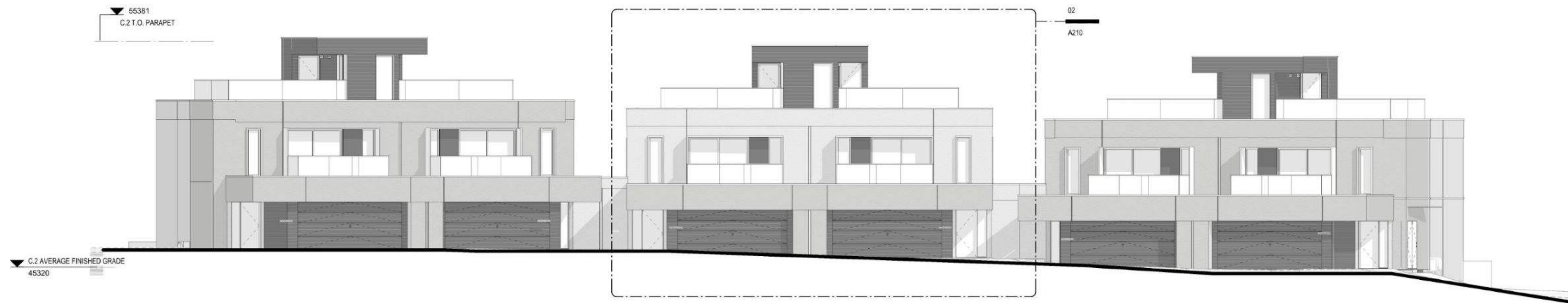
DATE	REV	DESCRIPTION
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Jan 25, 2024	G	Issued for DP Response (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions



01 Elevation - C.2 South
1:100



02 Elevation - C.2 East
1:100



03 Elevation - C.2 East Overall
1:100

MATERIALS LEGEND

- AT1 ACOUSTIC TILE TYPE 1
- AT2 ACOUSTIC TILE TYPE 2
- CP1 CARPET TILE
- CON1 ARCHITECTURAL CONCRETE
- FL51 FLASHING (PREFINISHED)
- GB1 GLASS-MATT TYPE X MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD
- GB2 GLASS-MATT TYPE X GYPSUM BOARD (GLASS MAT)
- GB3 MOLD-TOUGH TYPE X GYPSUM BOARD
- GB4 GLASS-MATT GYPSUM TILE BACKERBOARD
- GB5 GYPSUM BOARD
- GL1 DOUBLE GLAZED WINDOWS AND SLIDING DOORS
- GL2 DOUBLE GLAZED SWING DOORS
- GL3 DOUBLE GLAZED STOREFRONT
- GL4 GLASS GUARDRAIL
- GL5 GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT
- GL6 WIRED GLASS DOORS
- GL7 INDOOR SINGLE GLAZED STOREFRONT
- GL8 INDOOR SHOWER DOOR GLAZING
- GL9 ELEVATOR CAB GLAZING (BLACK/SMOKED)

- LAC1 LAQUER FINISH
- MEL1 MELAMINE LAMINATE - COLOR 1
- MEL2 RESILIENT MELAMINE LAMINATE - COLOR 2
- MEL3 RESILIENT MELAMINE LAMINATE - COLOR 3
- MC1 PROFILED METAL CLADDING
- MC2 METAL WALL PANEL - BALCONY
- MC3 METAL SOFFIT PANEL
- MC4 METAL WALL PANEL
- MET1 METAL PICKET (POWDERCOATED)
- MET2 METAL CANOPY (POWDERCOATED)
- MET3 METAL WINDOW SURROUND (POWDERCOATED)
- MET5 ALUMINUM LOUVERS (POWDERCOATED)
- MET6 ALUMINUM CHANNELS (POWDERCOATED)
- PT1 PAINTED COLOR 1 (WHITE)
- PT2 PAINTED COLOR 2 (LIGHT GREY)
- PT3 PAINTED COLOR 3 (MID GREY)
- PT4 PAINTED COLOR 4 (GREEN)
- PT5 PAINTED COLOR 5 (BLUE)
- RB1 RUBBER FLOORING
- RF1 RESILIENT FLOOR INTERLOCKING TILE

- SS1 STAINLESS STEEL (BRUSHED)
- ST1 STONE SLAB
- STU1 STUCCO - LIGHT GREY AGGREGATE
- STU2 STUCCO - DARK GREY AGGREGATE
- STU3 STUCCO SMOOTH - LIGHT
- STU4 STUCCO SMOOTH - DARK GREY
- TL1 FLOOR TILE LARGE FORMAT
- TL2 FLOOR AND WALL TILE LARGE FORMAT
- TL3 WALL TILE LARGE FORMAT
- TL4 WALL TILE SMALL FORMAT
- WD1 WOOD DOOR - WHITE OAK
- WD2 WOOD FLOORING
- WM1 WALKOFF MAT
- WV1 WOOD VENEER

CON1



GL1, GL2, GL3



GL5



MC1



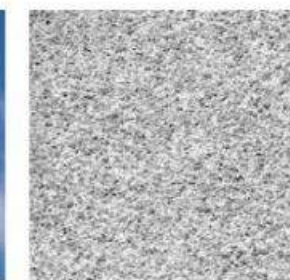
MC4



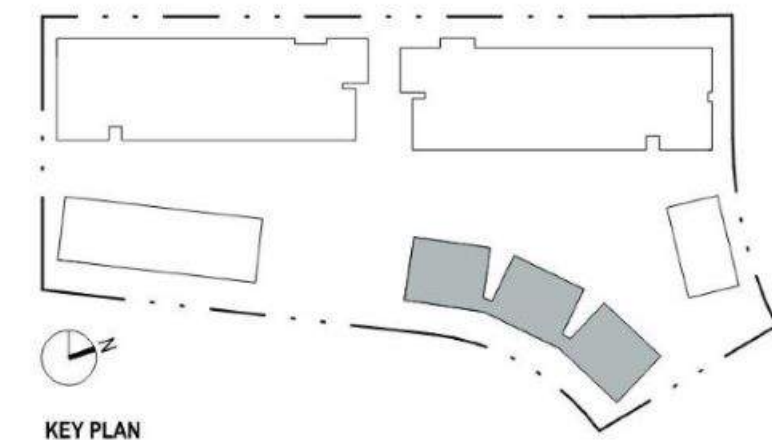
MET3



STU1



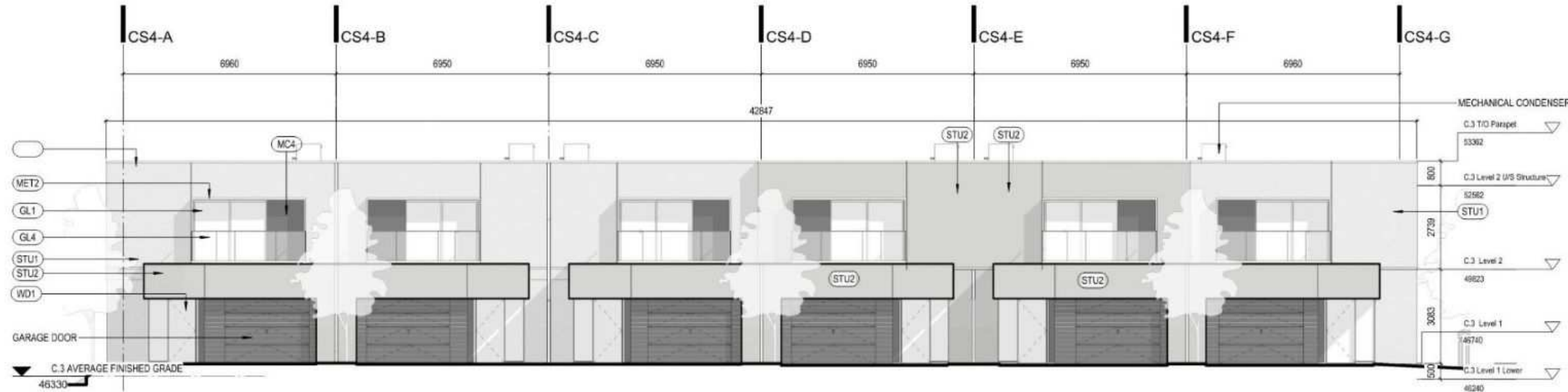
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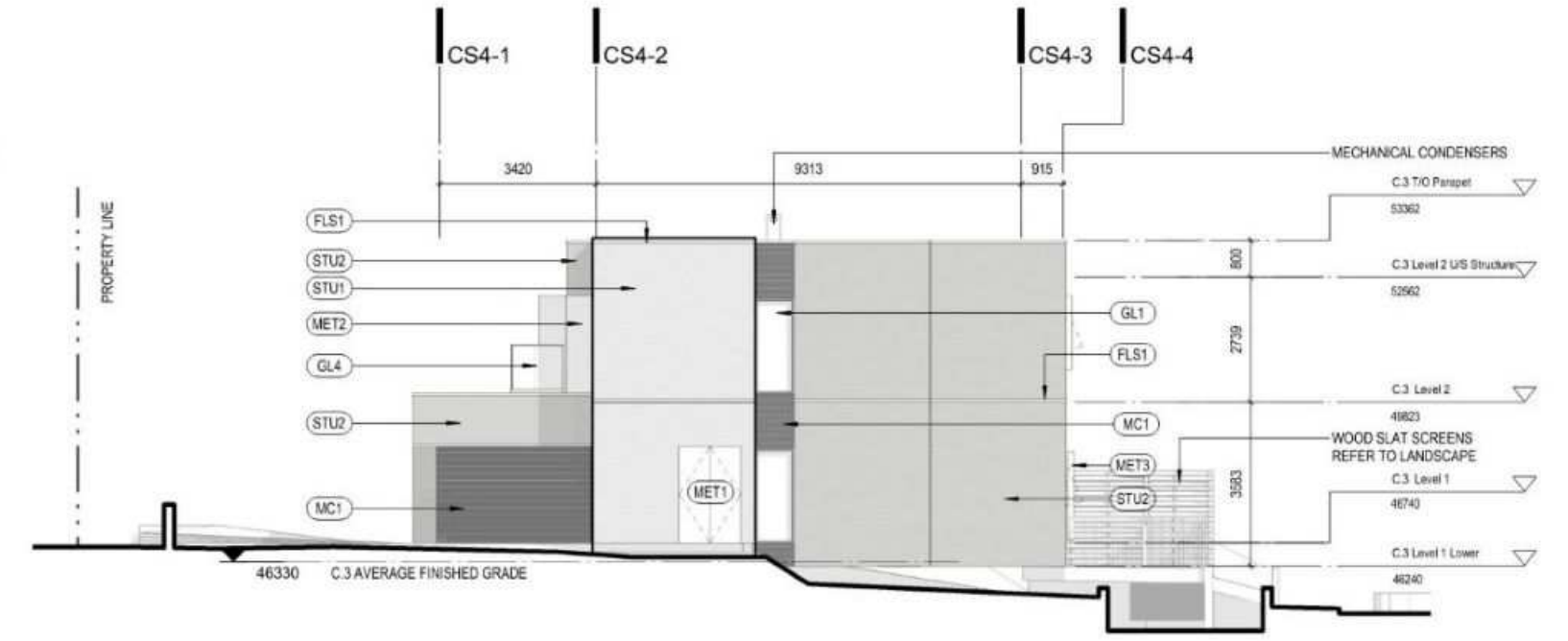
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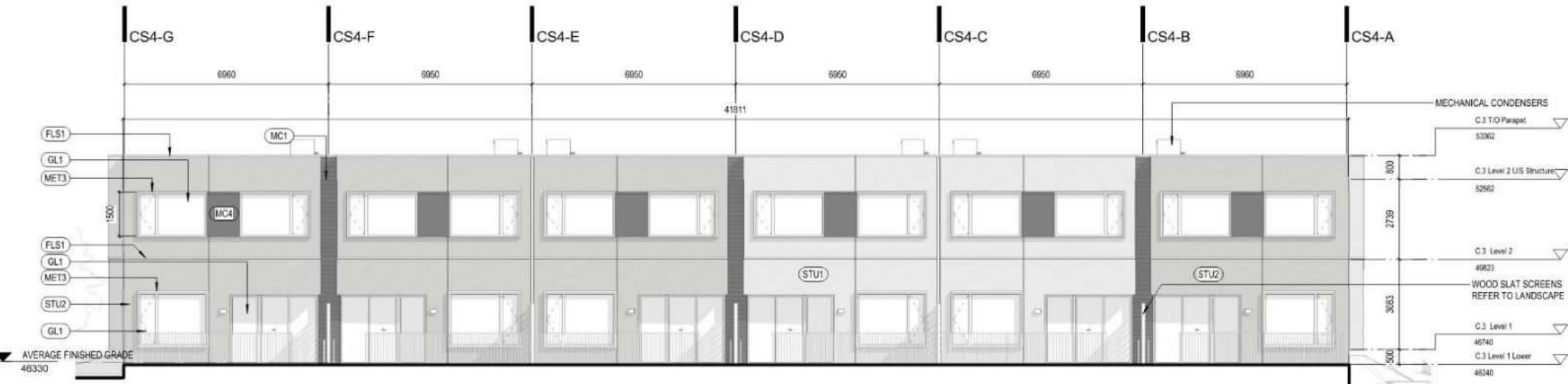
DATE	REV	DESCRIPTION
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Feb 26, 2024	I	Issued for DP Revisions



01 Elevation - C.4 East
1:100



02 Elevation - C.4 North
1:100



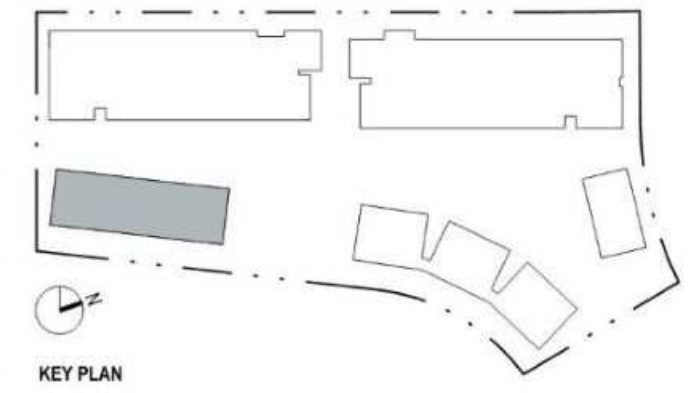
03 Elevation - C.4 West
1:100



04 Elevation - C.4 South
1:100

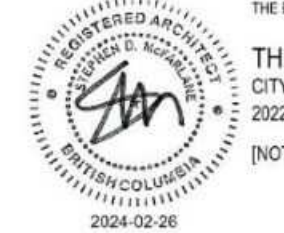
MATERIALS LEGEND

AT1 ACOUSTIC TILE TYPE 1	LAC1 LACQUER FINISH	SS1 STAINLESS STEEL (BRUSHED)
AT2 ACOUSTIC TILE TYPE 2	MEL1 MELAMINE LAMINATE - COLOR 1	ST1 STONE SLAB
CP1 CARPET TILE	MEL2 RESILIENT MELAMINE LAMINATE - COLOR 2	STU1 STUCCO - LIGHT GREY AGGREGATE
CON1 ARCHITECTURAL CONCRETE	MEL3 RESILIENT MELAMINE LAMINATE - COLOR 3	STU2 STUCCO - DARK GREY AGGREGATE
FLS1 FLASHING (PREFINISHED)	MC1 PROFILED METAL CLADDING	STU3 STUCCO SMOOTH - LIGHT
GB1 GLASS-MATT TYPE X' MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD	MC2 METAL WALL PANEL - BALCONY	STU4 STUCCO SMOOTH - DARK GREY
GB2 GLASS-MATT TYPE X' GYPSUM BOARD (GLASS MAT)	MC3 METAL SOFFIT PANEL	TL1 FLOOR TILE LARGE FORMAT
GB3 MOLD-TOUGH TYPE X' GYPSUM BOARD	MC4 METAL WALL PANEL	TL2 FLOOR AND WALL TILE LARGE FORMAT
GB4 GLASS-MATT GYPSUM TILE BACKERBOARD	MET1 METAL POKET (POWDERCOATED)	TL3 WALL TILE LARGE FORMAT
GB5 GYPSUM BOARD	MET2 METAL CANOPY (POWDERCOATED)	TL4 WALL TILE SMALL FORMAT
GL1 DOUBLE GLAZED WINDOWS AND SLIDING DOORS	MET3 METAL WINDOW SURROUND (POWDERCOATED)	WD1 WOOD DOOR - WHITE OAK
GL2 DOUBLE GLAZED SWING DOORS	MET5 ALUMINUM LOUVERS (POWDERCOATED)	WF1 WOOD FLOORING
GL3 DOUBLE GLAZED STOREFRONT	MET6 ALUMINUM CHANNELS (POWDERCOATED)	WM1 WALKOFF MAT
GL4 GLASS GUARDRAIL	PT1 PAINTED COLOR 1 (WHITE)	WV1 WOOD VENEER
GL5 GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT	PT2 PAINTED COLOR 2 (LIGHT GREY)	
GL6 WIRED GLASS DOORS	PT3 PAINTED COLOR 3 (MID GREY)	
GL7 INDOOR SINGLE GLAZED STOREFRONT	PT4 PAINTED COLOR 4 (GREEN)	
GL8 INDOOR SHOWER DOOR GLAZING	PT5 PAINTED COLOR 5 (BLUE)	
GL9 ELEVATOR CAB GLAZING (BLACK/SMOKED)	RB1 RUBBER FLOORING	
	RF1 RESILIENT FLOOR INTERLOCKING TILE	



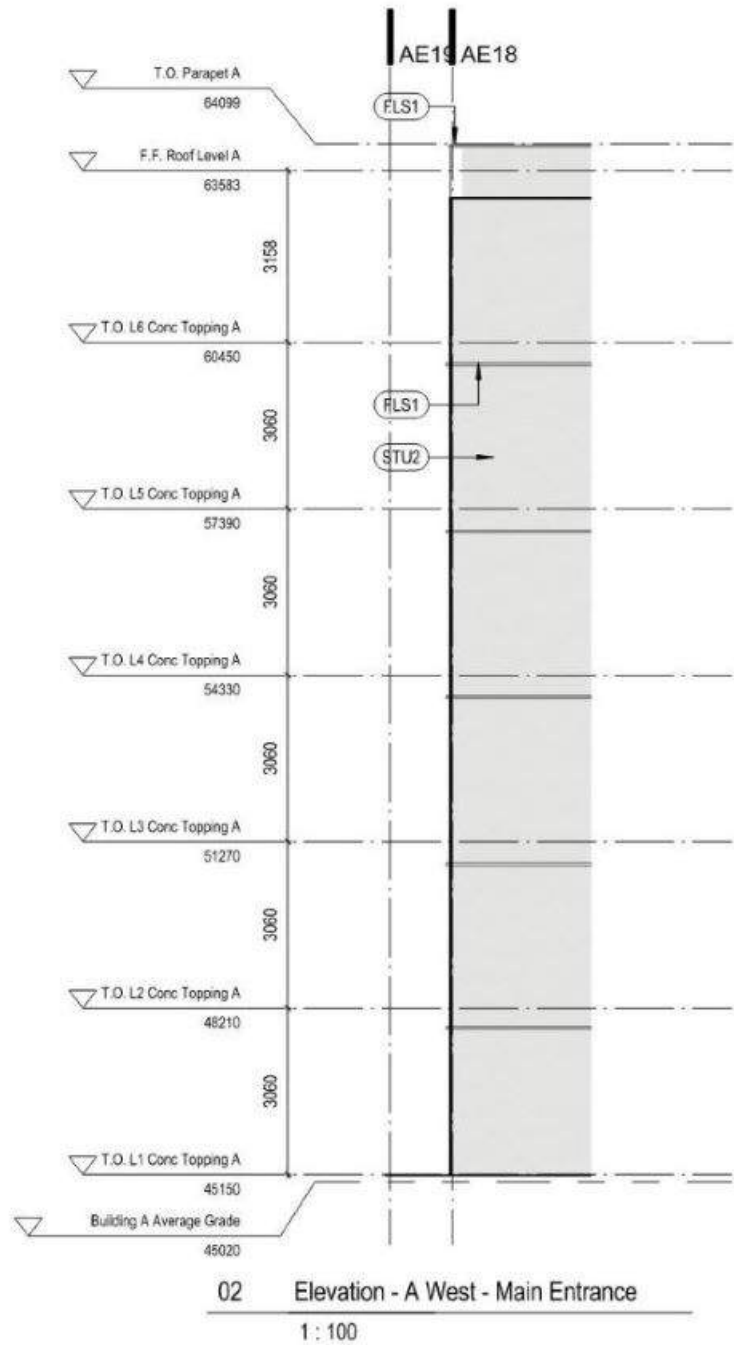
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DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
Dec 18, 2023	D	Issued for DP Response
Jan 25, 2024	G	Issued for DP Response (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions





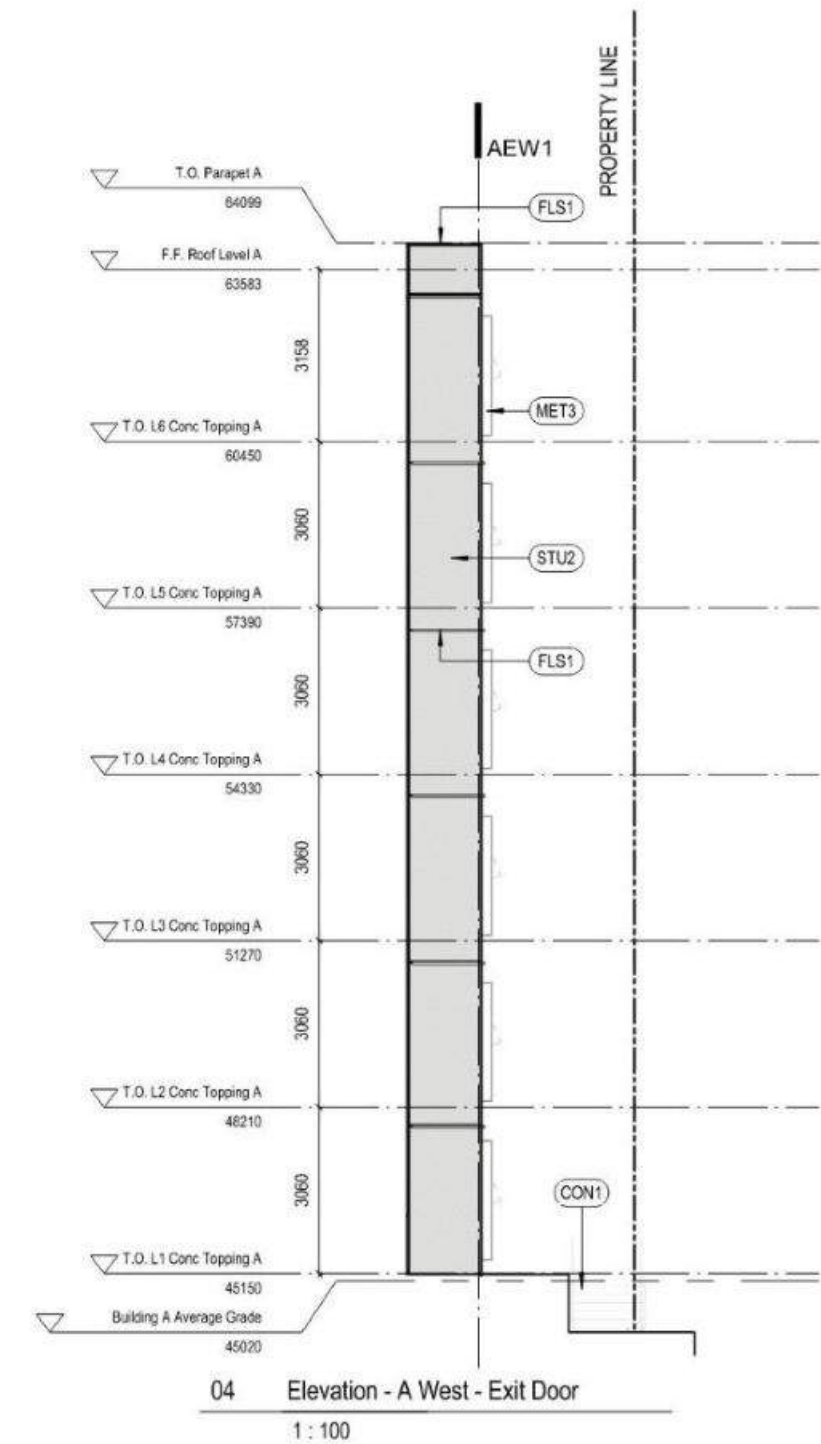
01 Elevation - A East - Main Entrance
1:100



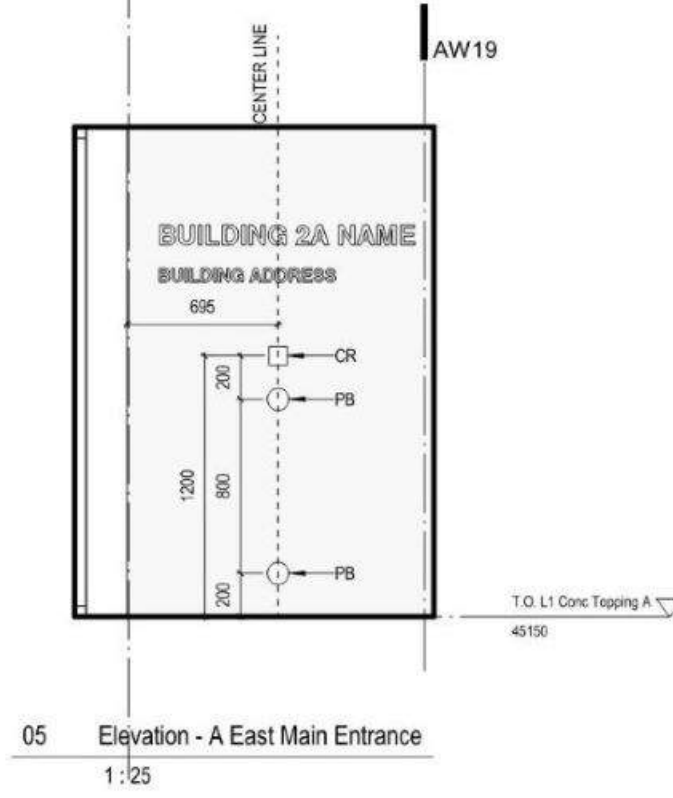
02 Elevation - A West - Main Entrance
1:100



03 Elevation - A East - Exit door
1:100



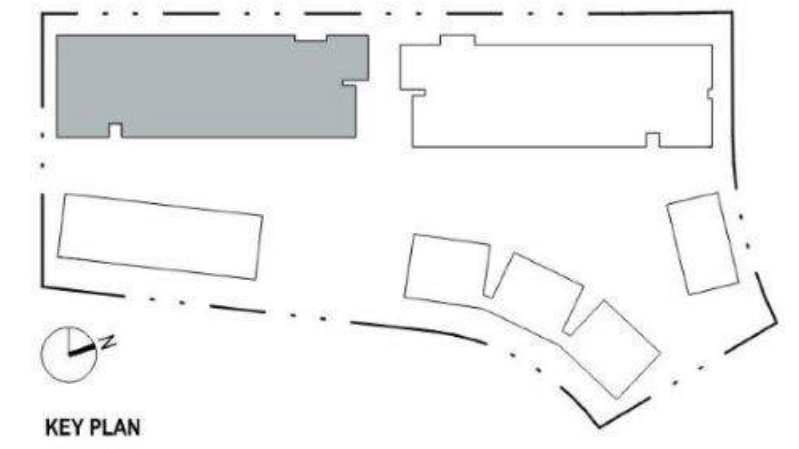
04 Elevation - A West - Exit Door
1:100



05 Elevation - A East Main Entrance
1:25

MATERIALS LEGEND

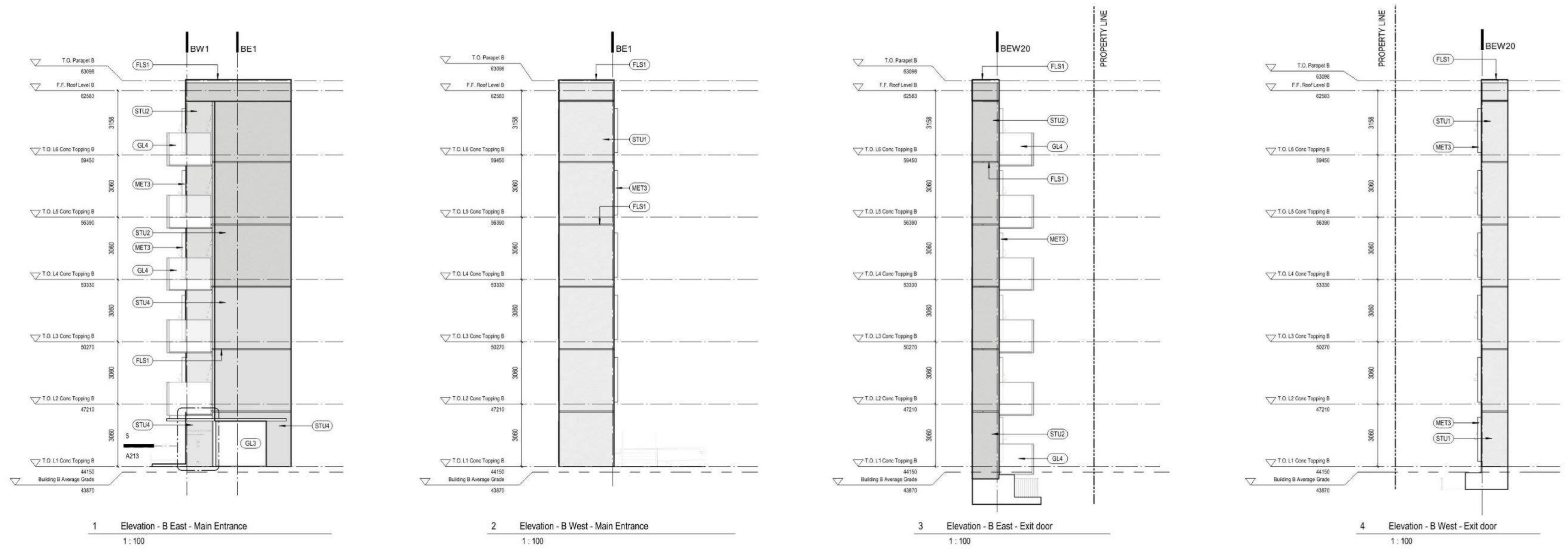
AT1	ACOUSTIC TILE TYPE 1	LAC1	LACQUER FINISH	SS1	STAINLESS STEEL (BRUSHED)
AT2	ACOUSTIC TILE TYPE 2	MEL1	MELAMINE LAMINATE - COLOR 1	ST1	STONE SLAB
CPT1	CARPET TILE	MEL2	MELAMINE LAMINATE - COLOR 2	STU1	STUCCO - LIGHT GREY AGGREGATE
CON1	ARCHITECTURAL CONCRETE	MEL3	RESILIENT MELAMINE LAMINATE - COLOR 3	STU2	STUCCO - DARK GREY AGGREGATE
FLS1	FLASHING (PREFINISHED)	MC1	PROFILED METAL CLADDING	STU3	STUCCO SMOOTH - LIGHT
GB1	GLASS-MATT TYPE X MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD	MC2	METAL WALL PANEL - BALCONY	STU4	STUCCO SMOOTH - DARK GREY
GB2	GLASS-MATT TYPE X GYPSUM BOARD (GLASS MAT)	MC3	METAL SOFFIT PANEL	TL1	FLOOR TILE LARGE FORMAT
GB3	MOLD-TOUGH TYPE X GYPSUM BOARD	MC4	METAL WALL PANEL	TL2	FLOOR AND WALL TILE LARGE FORMAT
GB4	GLASS-MATT GYPSUM TILE BACKERBOARD	MET1	METAL PICKET (POWDERCOATED)	TL3	WALL TILE LARGE FORMAT
GB5	GYPSUM BOARD	MET2	METAL CANOPY (POWDERCOATED)	TL4	WALL TILE SMALL FORMAT
GL1	DOUBLE GLAZED WINDOWS AND SLIDING DOORS	MET3	METAL WINDOW SURROUND (POWDERCOATED)	WD1	WOOD DOOR - WHITE OAK
GL2	DOUBLE GLAZED SWING DOORS	MET5	ALUMINUM LOUVERS (POWDERCOATED)	WD2	WOOD FLOORING
GL3	DOUBLE GLAZED STOREFRONT	MET6	ALUMINUM CHANNELS (POWDERCOATED)	WM1	WALKOFF MAT
GL4	GLASS GUARDRAIL	PT1	PAINTED COLOR 1 (WHITE)	WM1	WOOD VENEER
GL5	GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT	PT2	PAINTED COLOR 2 (LIGHT GREY)		
GL6	WIRED GLASS DOORS	PT3	PAINTED COLOR 3 (MID GREY)		
GL7	INDOOR SINGLE GLAZED STOREFRONT	PT4	PAINTED COLOR 4 (GREEN)		
GL8	INDOOR SHOWER DOOR GLAZING	PT5	PAINTED COLOR 5 (BLUE)		
GL9	ELEVATOR CAB GLAZING (BLACK/SMOKED)	RB1	RUBBER FLOORING		
		RF1	RESILIENT FLOOR INTERLOCKING TILE		



2/26/2024 3:57:38 PM

DATE	REV	DESCRIPTION
Feb 26, 2024	1	Issued for DP Revisions



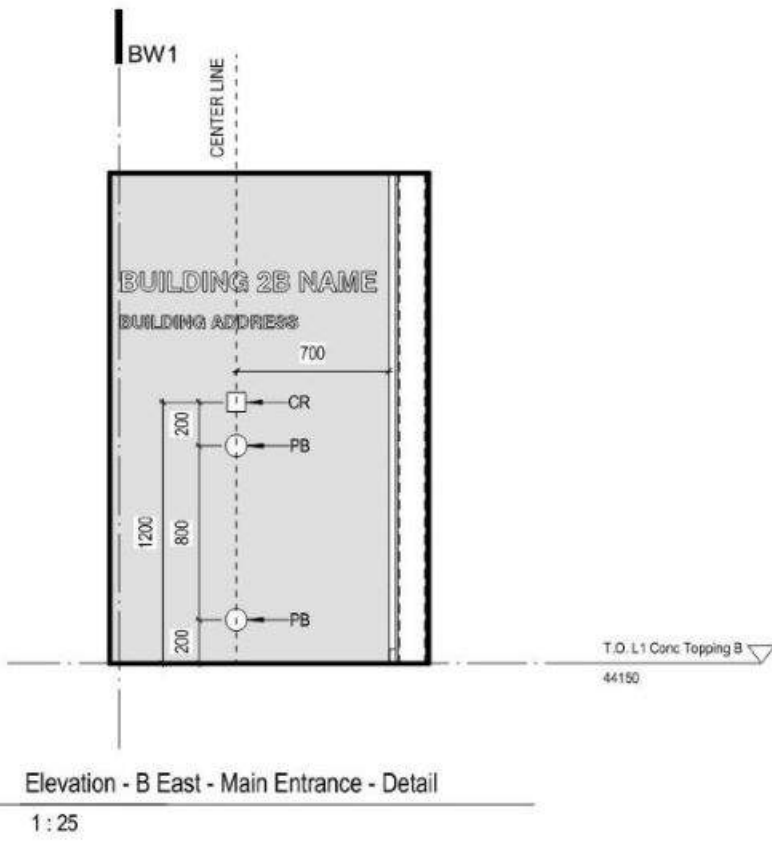


1 Elevation - B East - Main Entrance
1 : 100

2 Elevation - B West - Main Entrance
1 : 100

3 Elevation - B East - Exit door
1 : 100

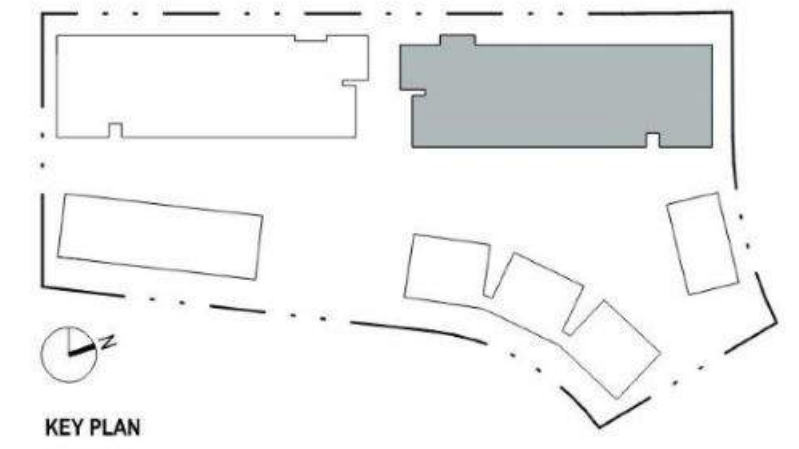
4 Elevation - B West - Exit door
1 : 100



5 Elevation - B East - Main Entrance - Detail
1 : 25

MATERIALS LEGEND

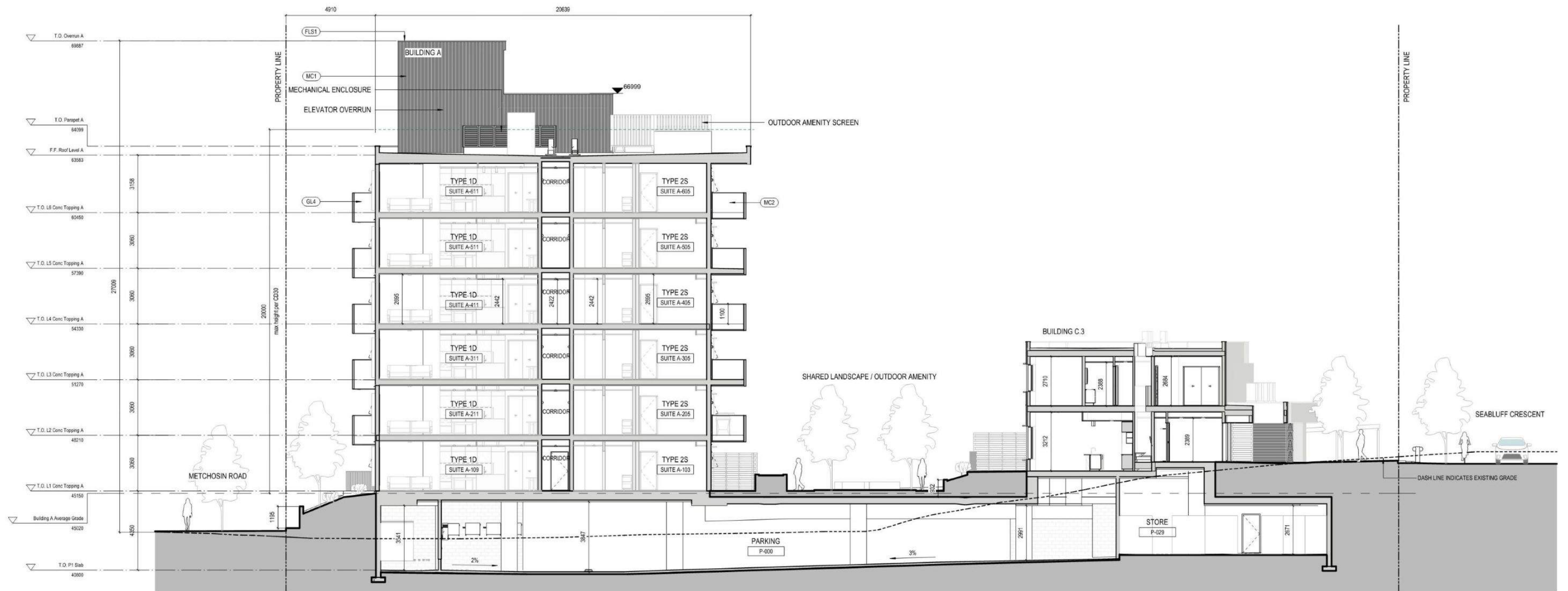
AT1	ACOUSTIC TILE TYPE 1	LAC1	LACQUER FINISH	SS1	STAINLESS STEEL (BRUSHED)
AT2	ACOUSTIC TILE TYPE 2	MEL1	MELAMINE LAMINATE - COLOR 1	ST1	STONE SLAB
CPT1	CARPET TILE	MEL2	MELAMINE LAMINATE - COLOR 2	STU1	STUCCO - LIGHT GREY AGGREGATE
CON1	ARCHITECTURAL CONCRETE	MEL3	MELAMINE LAMINATE - COLOR 3	STU2	STUCCO - DARK GREY AGGREGATE
FLS1	FLASHING (PREFINISHED)	MC1	PROFILED METAL CLADDING	STU3	STUCCO SMOOTH - LIGHT
GB1	GLASS-MATT TYPE X MOLD-TOUGH VERY HIGH-IMPACT GYPSUM BOARD	MC2	METAL WALL PANEL - BALCONY	STU4	STUCCO SMOOTH - DARK GREY
GB2	GLASS-MATT TYPE X GYPSUM BOARD (GLASS MAT)	MC3	METAL SOFFIT PANEL	TL1	FLOOR TILE LARGE FORMAT
GB3	MOLD-TOUGH TYPE X GYPSUM BOARD	MC4	METAL WALL PANEL	TL2	FLOOR AND WALL TILE LARGE FORMAT
GB4	GLASS-MATT GYPSUM TILE BACKERBOARD	MET1	METAL PICKET (POWDERCOATED)	TL3	WALL TILE LARGE FORMAT
GB5	GYPSUM BOARD	MET2	METAL CANOPY (POWDERCOATED)	TL4	WALL TILE SMALL FORMAT
GL1	DOUBLE GLAZED WINDOWS AND SLIDING DOORS	MET3	METAL WINDOW SURROUND (POWDERCOATED)	WD1	WOOD DOOR - WHITE OAK
GL2	DOUBLE GLAZED SWING DOORS	MET5	ALUMINUM LOUVERS (POWDERCOATED)	WD2	WOOD FLOORING
GL3	DOUBLE GLAZED STOREFRONT	MET6	ALUMINUM CHANNELS (POWDERCOATED)	WM1	WALKOFF MAT
GL4	GLASS GUARDRAIL	PT1	PAINTED COLOR 1 (WHITE)	WV1	WOOD VENEER
GL5	GLASS GUARDRAIL WITH FRITS OF VARYING HEIGHT	PT2	PAINTED COLOR 2 (LIGHT GREY)		
GL6	WIRED GLASS DOORS	PT3	PAINTED COLOR 3 (MID GREY)		
GL7	INDOOR SINGLE GLAZED STOREFRONT	PT4	PAINTED COLOR 4 (GREEN)		
GL8	INDOOR SHOWER DOOR GLAZING	PT5	PAINTED COLOR 5 (BLUE)		
GL9	ELEVATOR CAB GLAZING (BLACK/SMOKED)	RF1	RESILIENT FLOOR INTERLOCKING TILE		



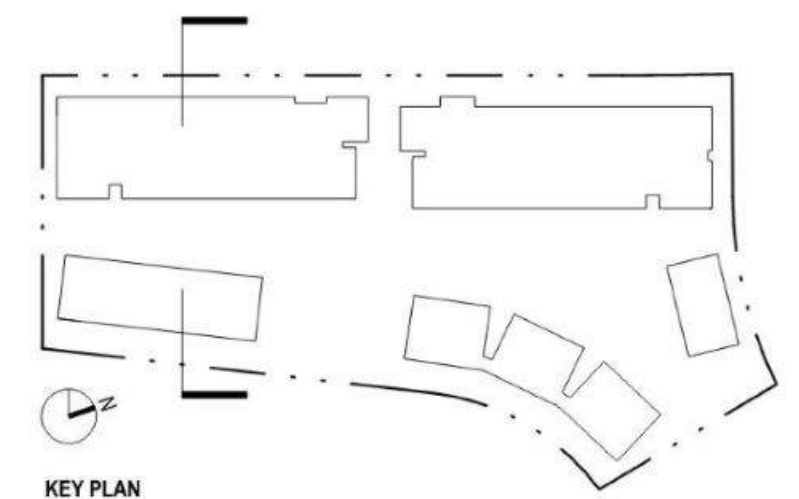
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DATE	REV	DESCRIPTION
Feb 26, 2024	1	Issued for DP Revisions





01 Section - Metchosin - Building A
1 : 100

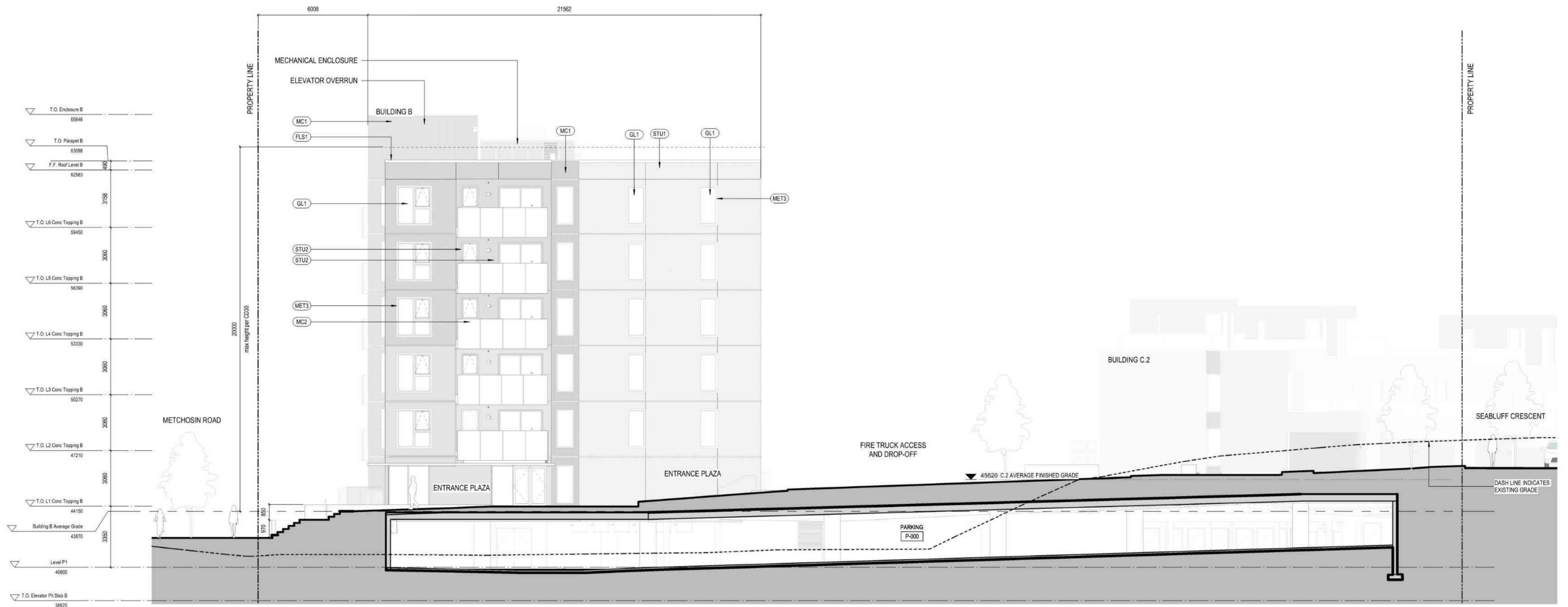


KEY PLAN

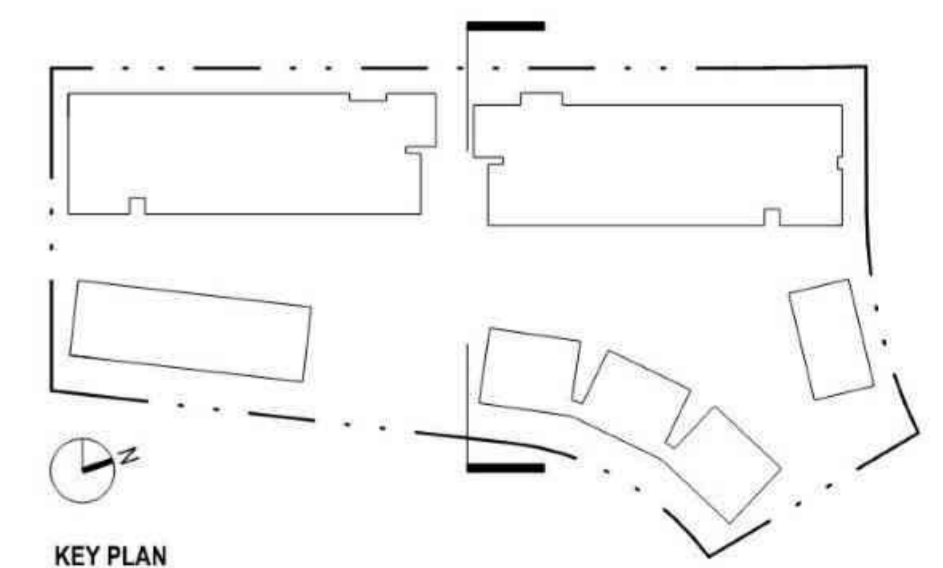
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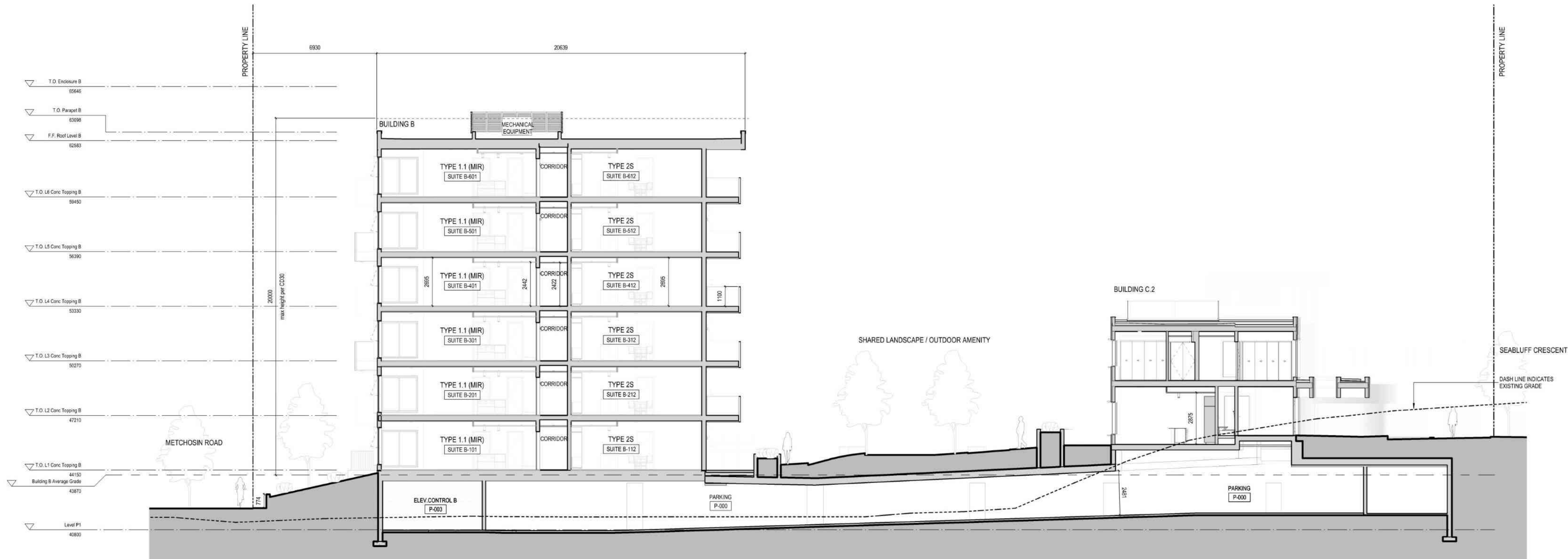
01 Section - Metchosin - Building A+B Entrance Plaza
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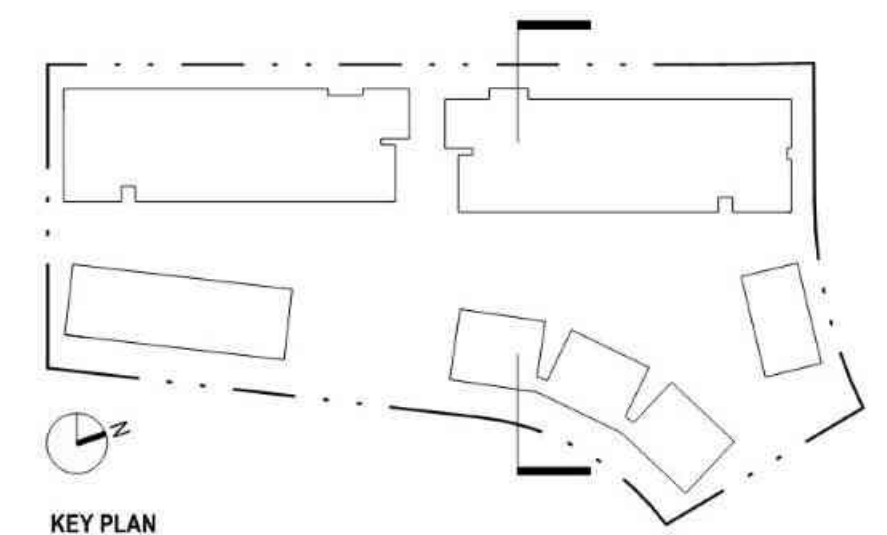
KEY PLAN

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DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
Dec 18, 2023	D	Issued for DP Response
Jan 25, 2024	G	Issued for DP Response (Rev 1)
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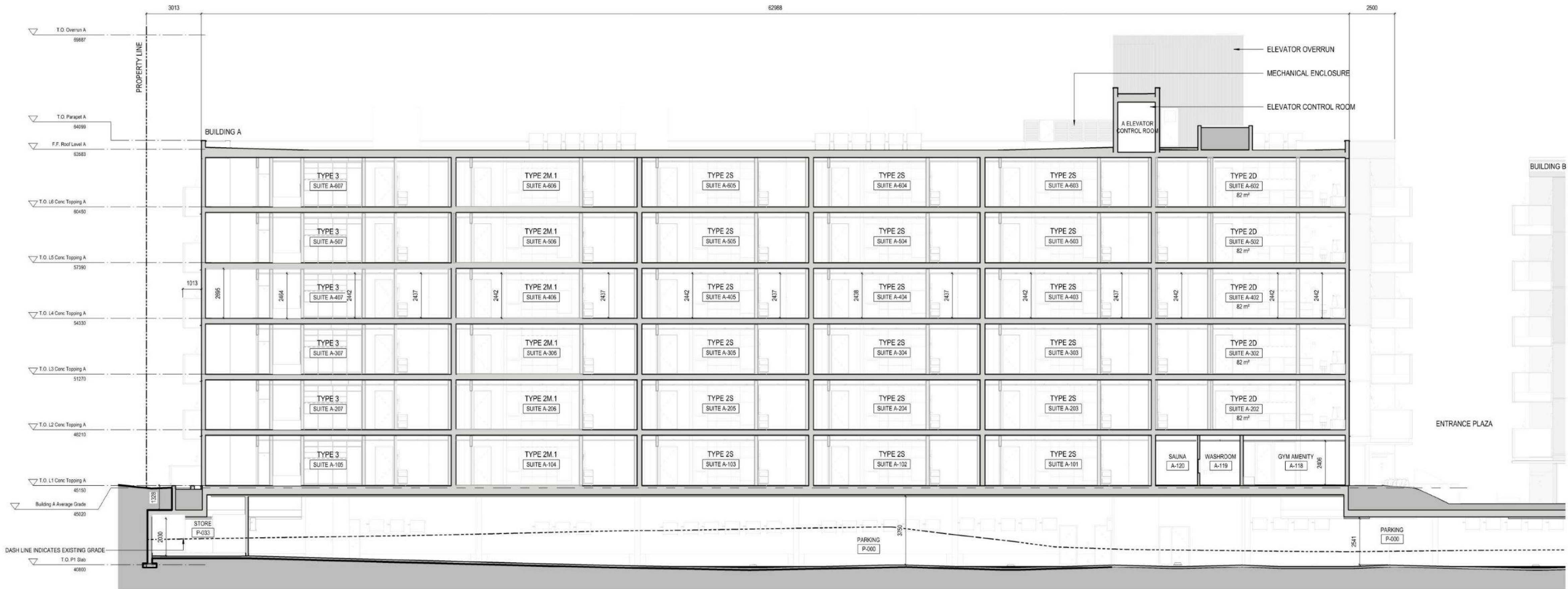


01 Section - Metchosin - Building B
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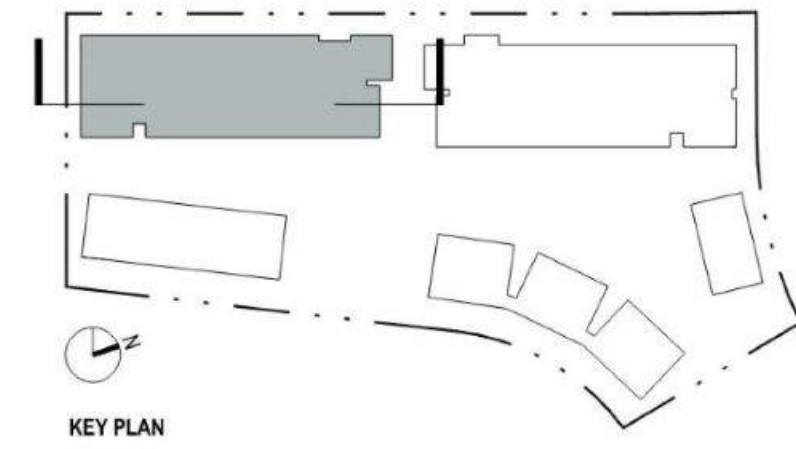


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DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
Dec 18, 2023	D	Issued for DP Response
Jan 25, 2024	G	Issued for DP Response (Rev 1)
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01 Section - Building A Long
1:100

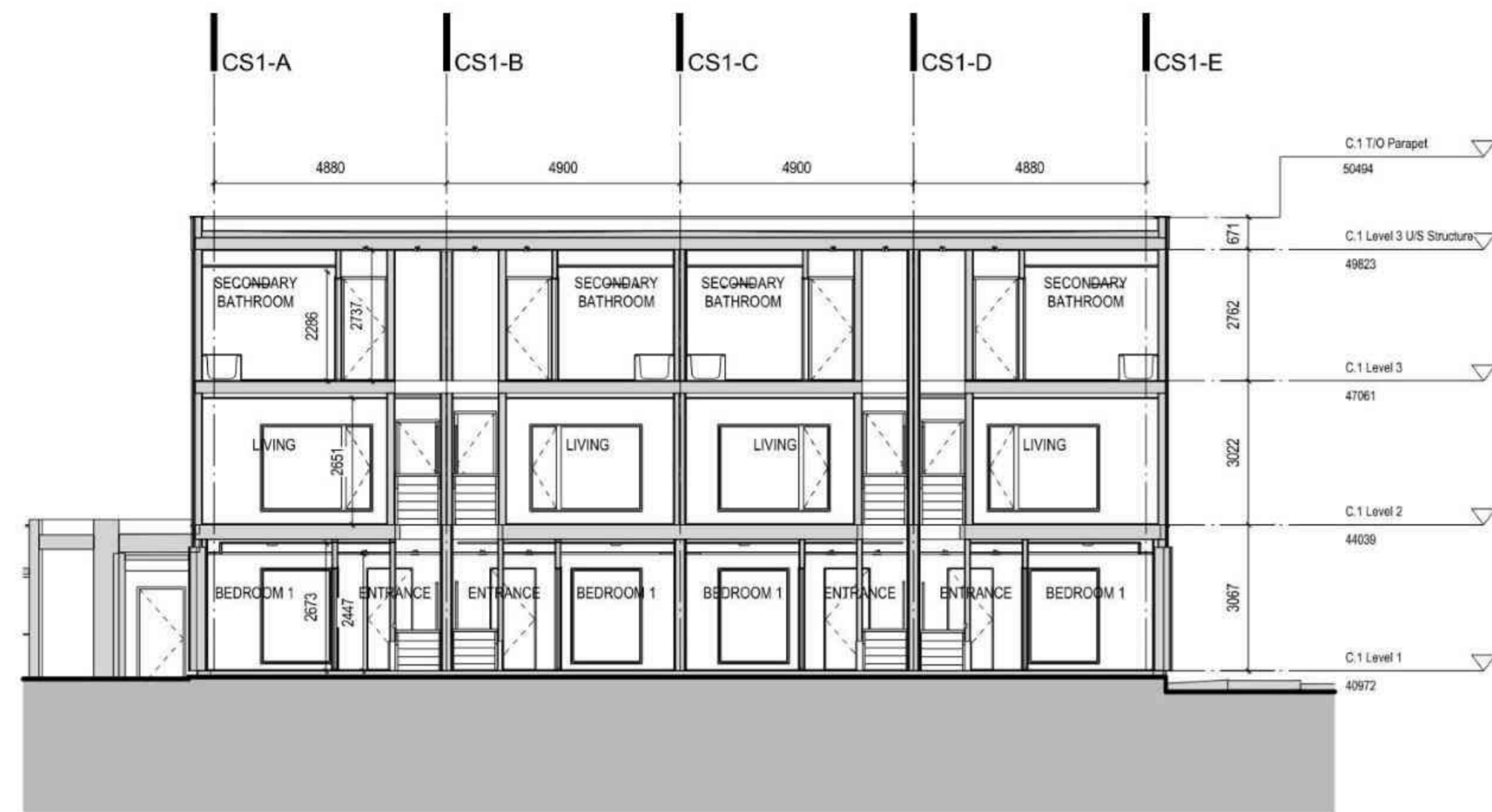


KEY PLAN

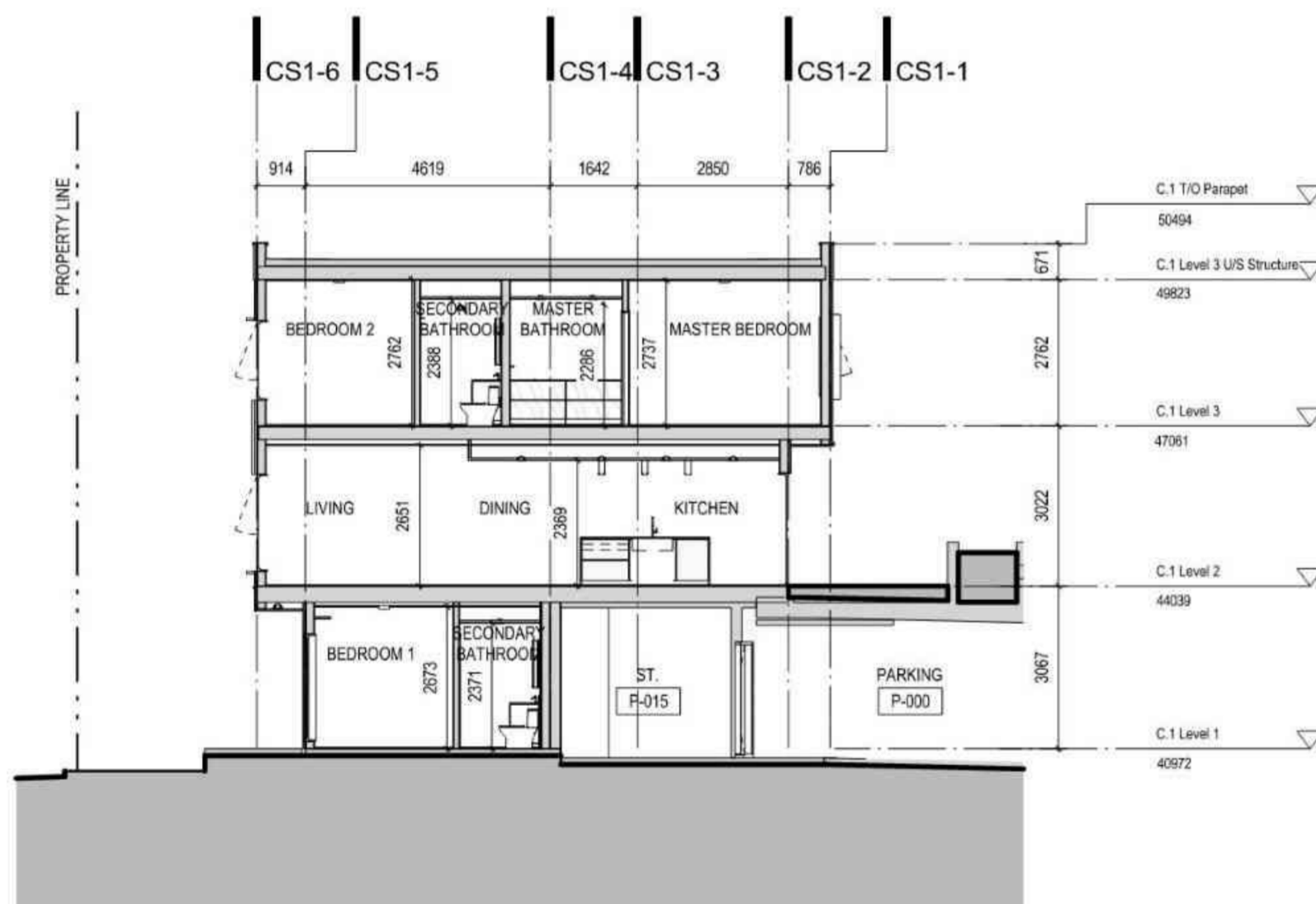
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DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
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Jan 25, 2024	G	Issued for DP Response (Rev 1)
Feb 26, 2024	I	Issued for DP Revisions





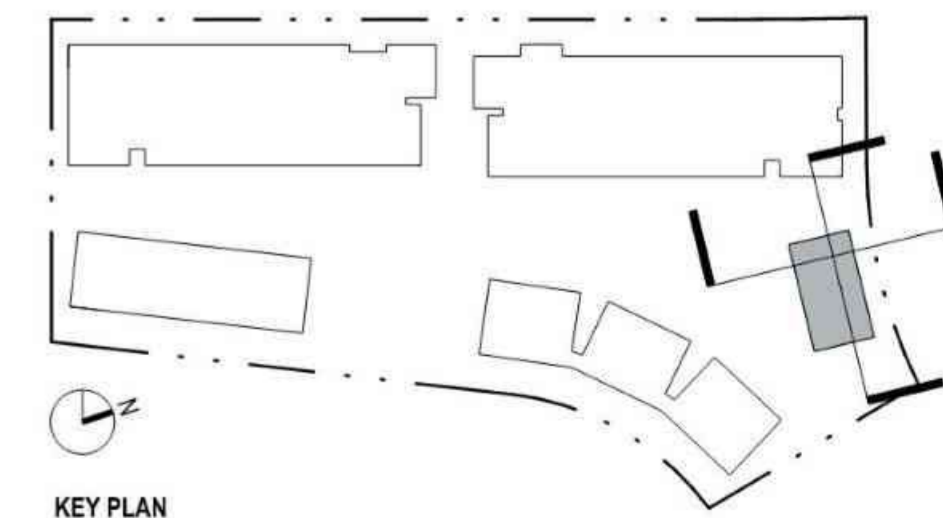
1 Building Section - C.1 EW
1:100



2 Building Section - C.1 NS Entry
1:100

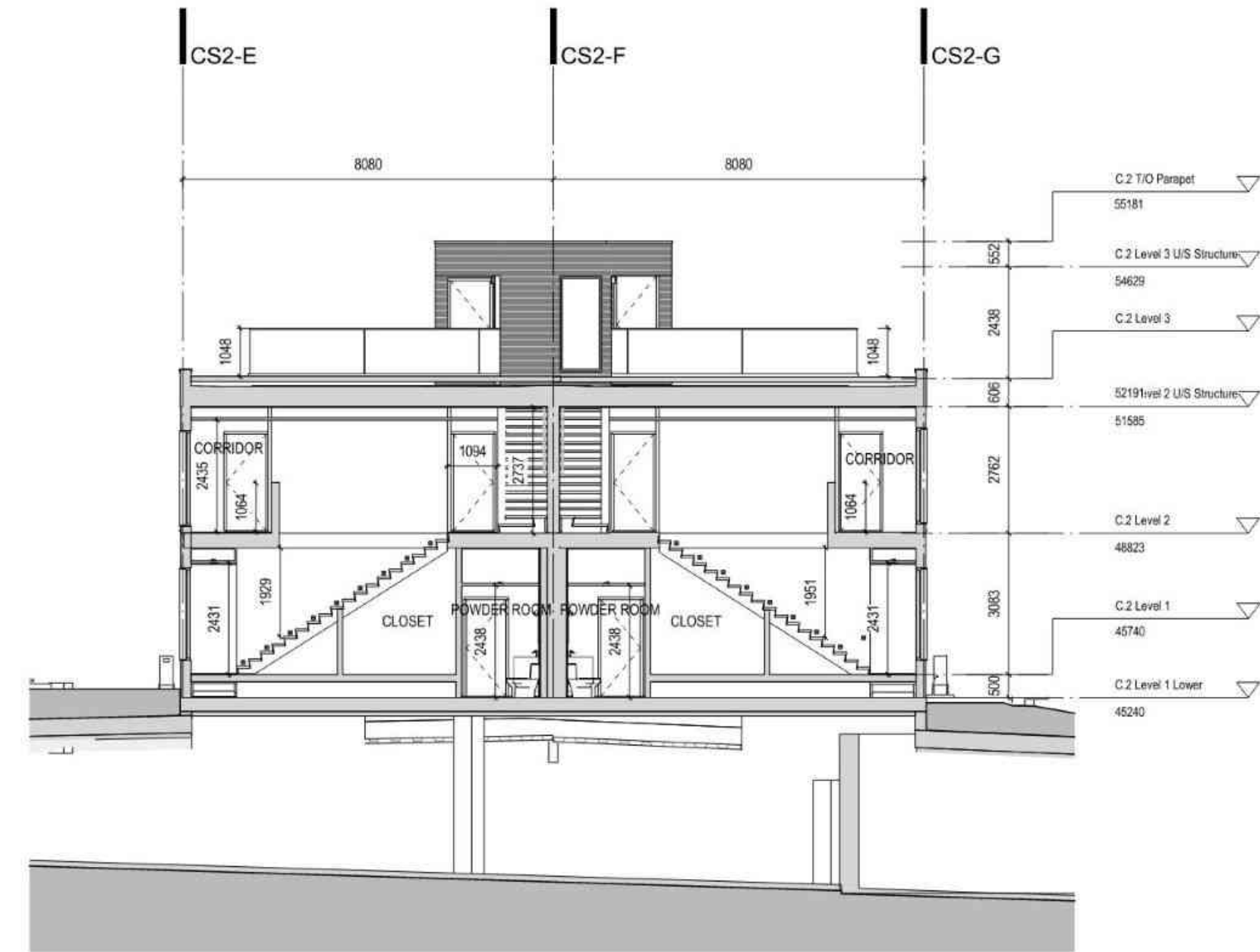


3 Building Section - C.1 NS Stairs
1:100

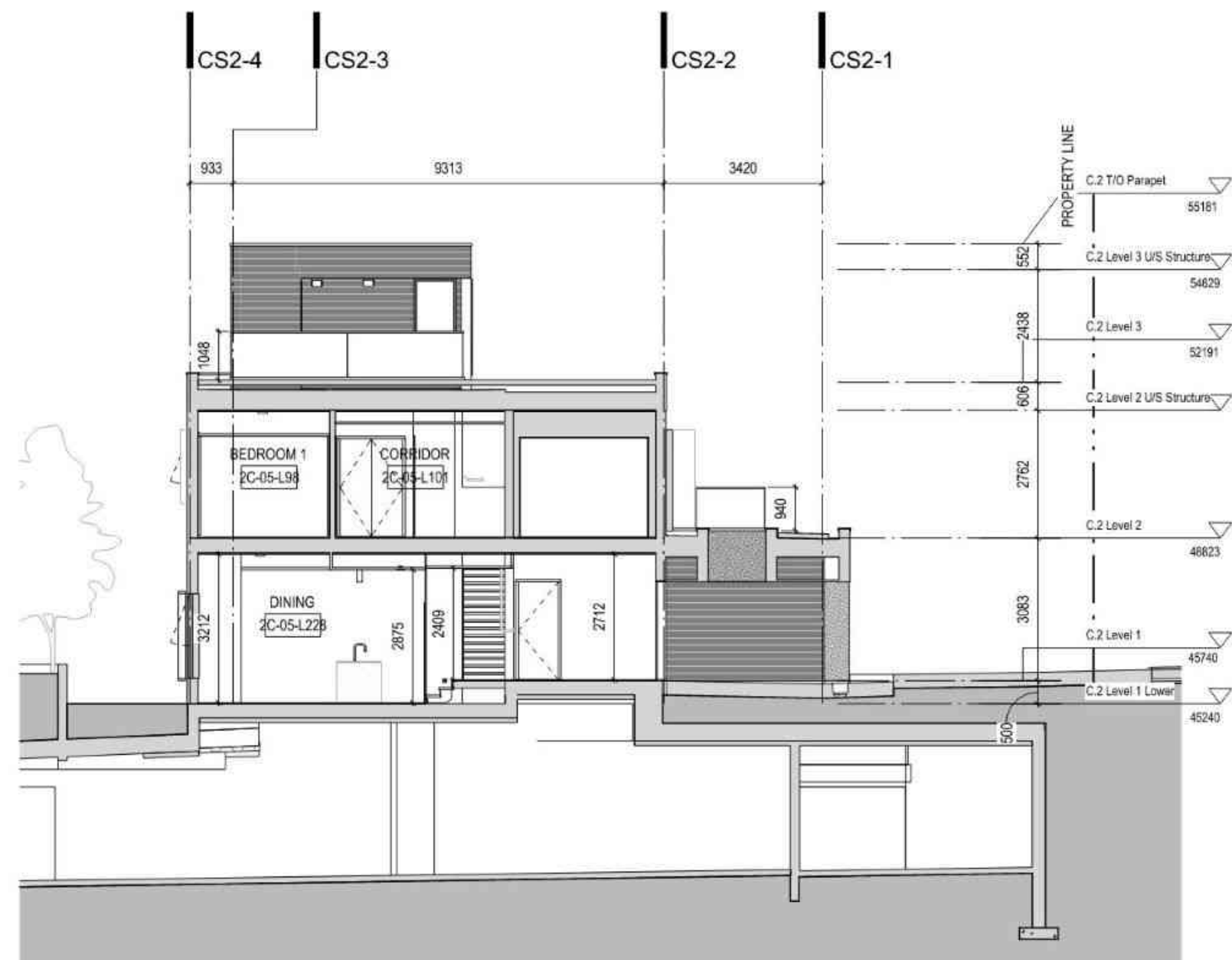


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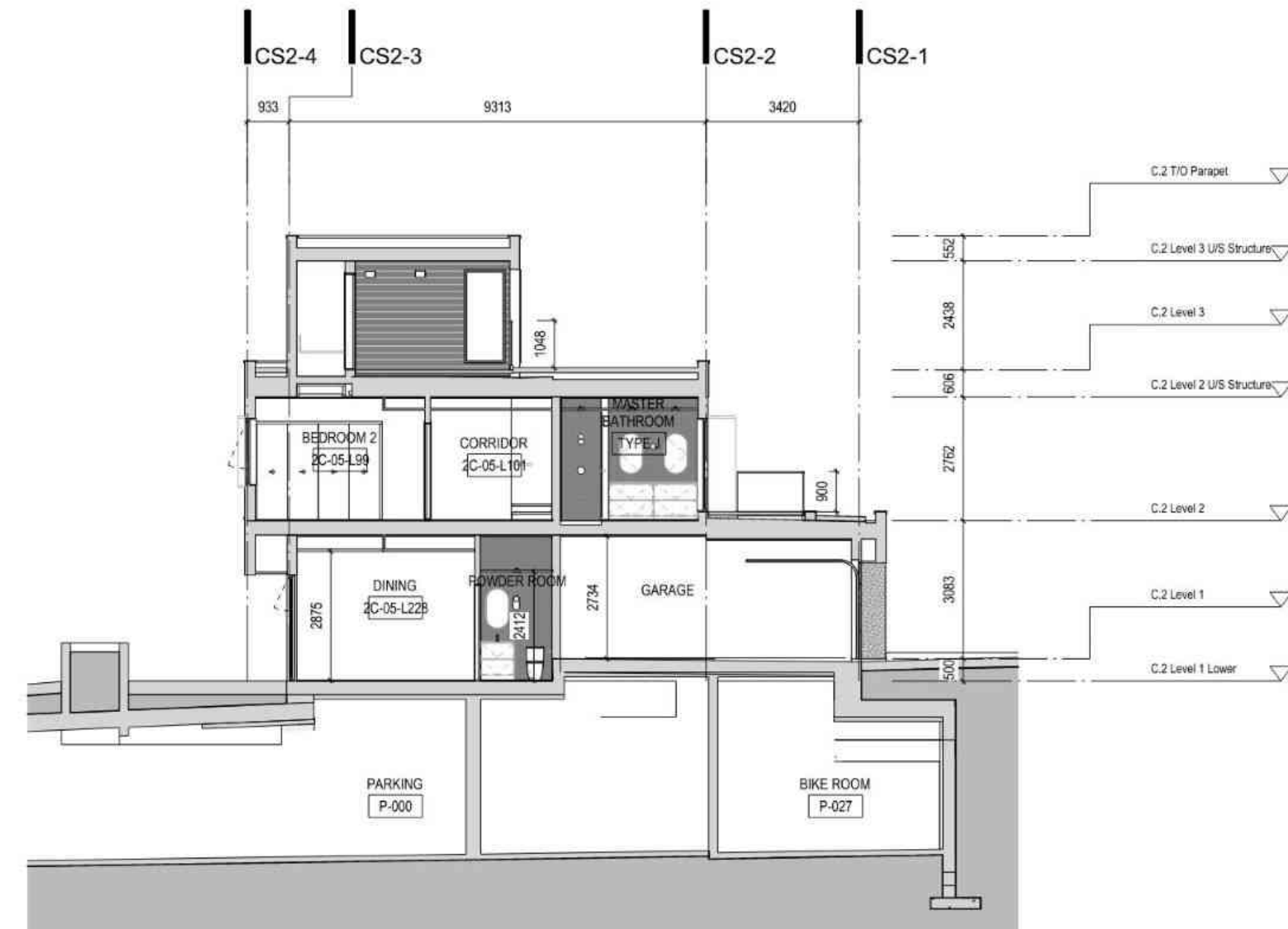
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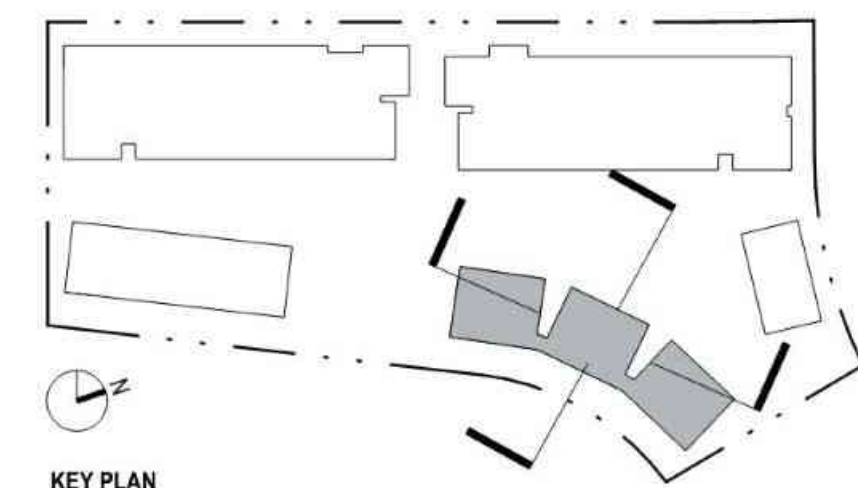
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02 Building Section - C.2 EW Entry
1:100



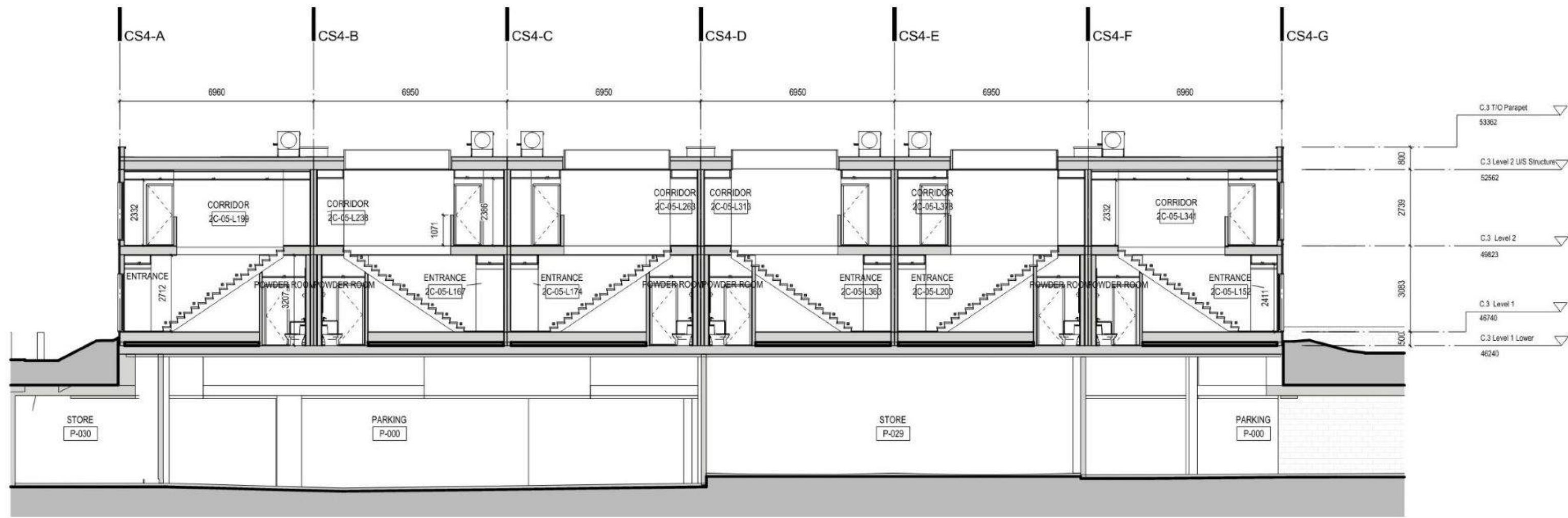
03 Building Section - C.2 EW Garage
1:100



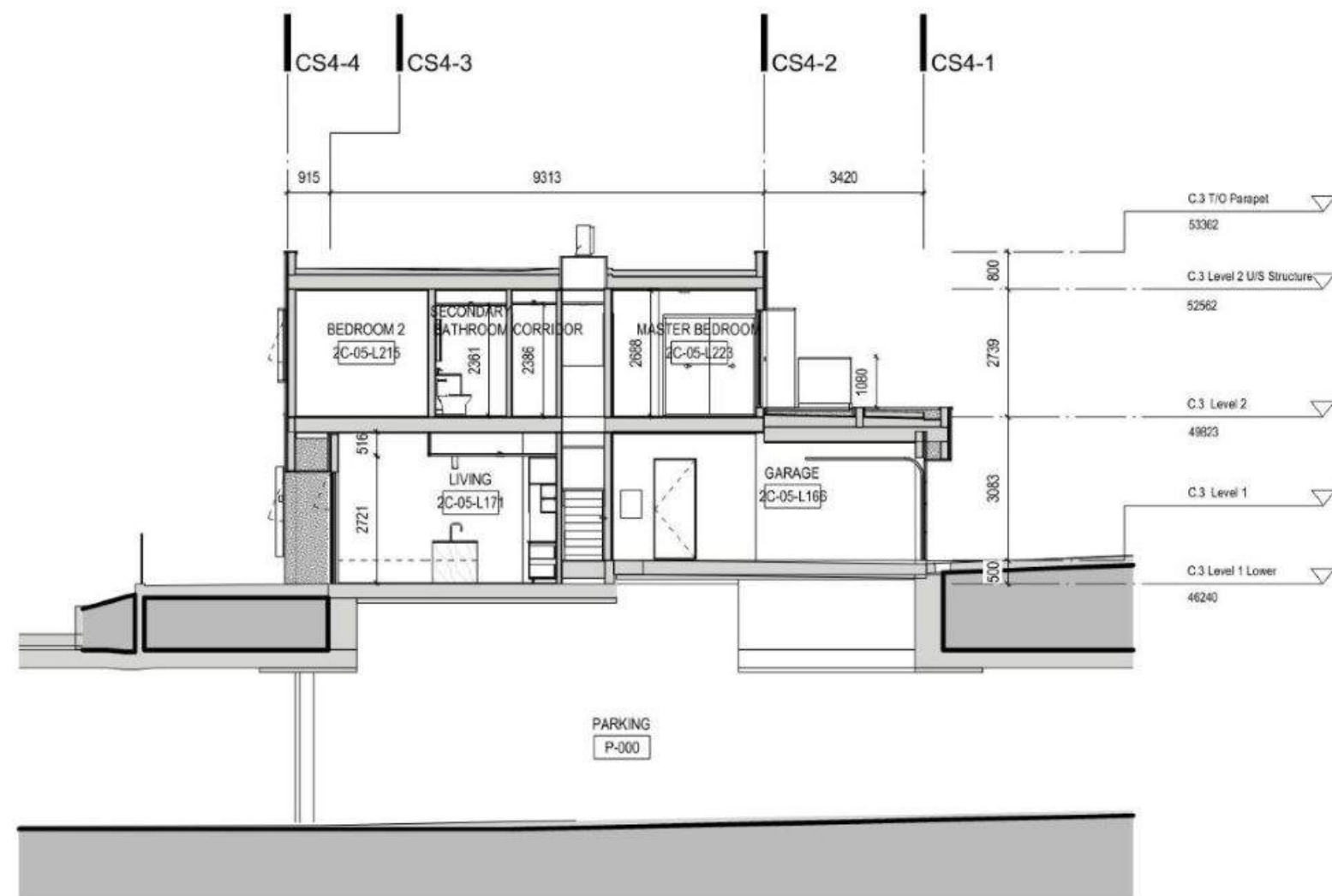
KEY PLAN
SECTIONS - C.2
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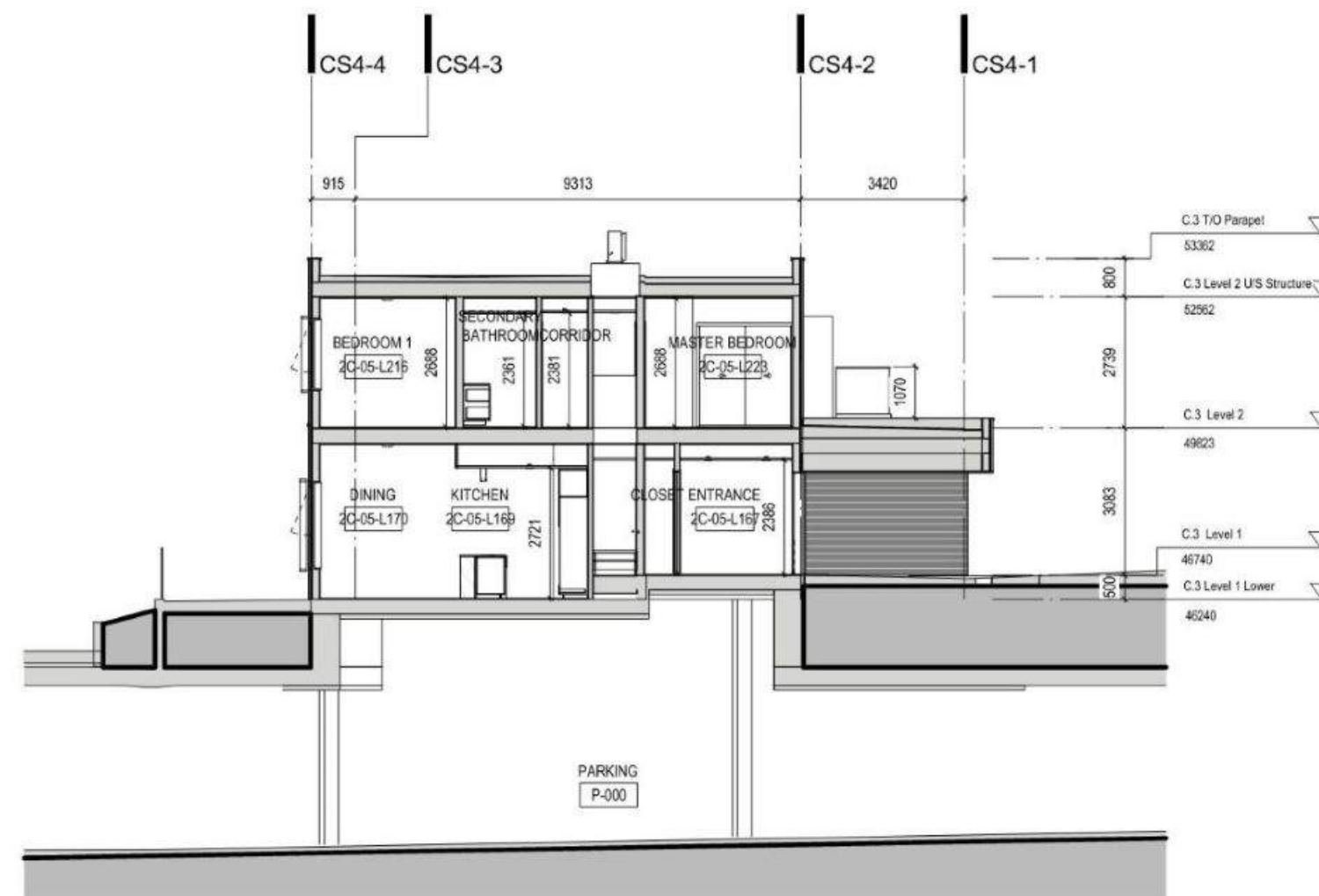
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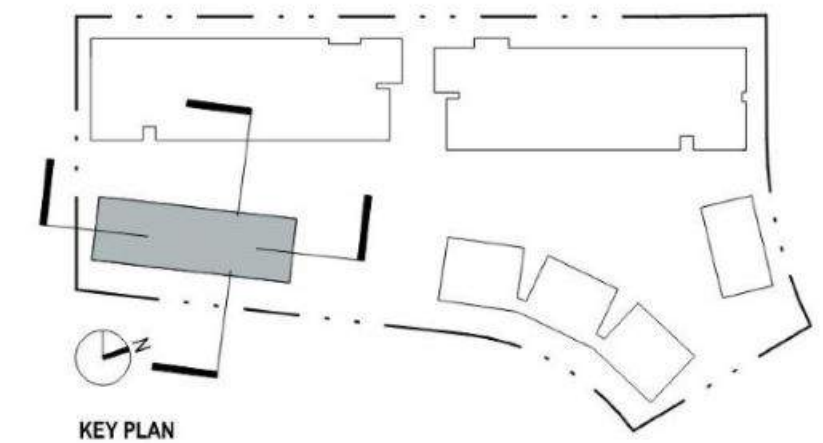
01 Building Section - C.3 NS
1:100



02 Building Section - C.3 EW Garage
1:100



03 Building Section - C.3 EW Entry
1:100



2/26/2024 3:59:03 PM



01 - AERIAL - NORTH-EAST PERSPECTIVE



02 - METCHOSIN PEDESTRIAN ARRIVAL - WEST PERSPECTIVE



03 - BALCONY CLOSE UP - NORTH WEST PERSPECTIVE



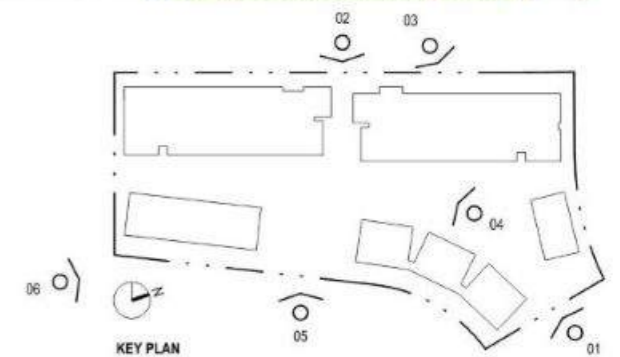
04 - COURTYARD - NORTH-EAST PERSPECTIVE



05 - MOTOR COURT ARRIVAL - EAST PERSPECTIVE



06 - TOWNHOUSE INTERFACE - SOUTH PERSPECTIVE



2/26/2024 3:59:09 PM

omb office of mcFarlane biggar
architects + designers
461-1122 Quebec Street Vancouver, B.C. Canada V6C 2G9
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FEB 26, 2024	I	Issued for DP Revisions



THE BEACHLANDS - AREA 2, LOT 1, BUILDING A, B, C
THE BEACHLANDS
CITY OF COLWOOD
2022-039
[NOT FOR CONSTRUCTION]



PERSPECTIVES
1:200

A900



01 - VIEW FROM NORTH-WEST - AT COASTAL DRIVE INTERSECTION



02 - VIEW FROM WEST - METCHOSIN ROAD



03 - VIEW FROM SOUTH-WEST - METCHOSIN ROAD



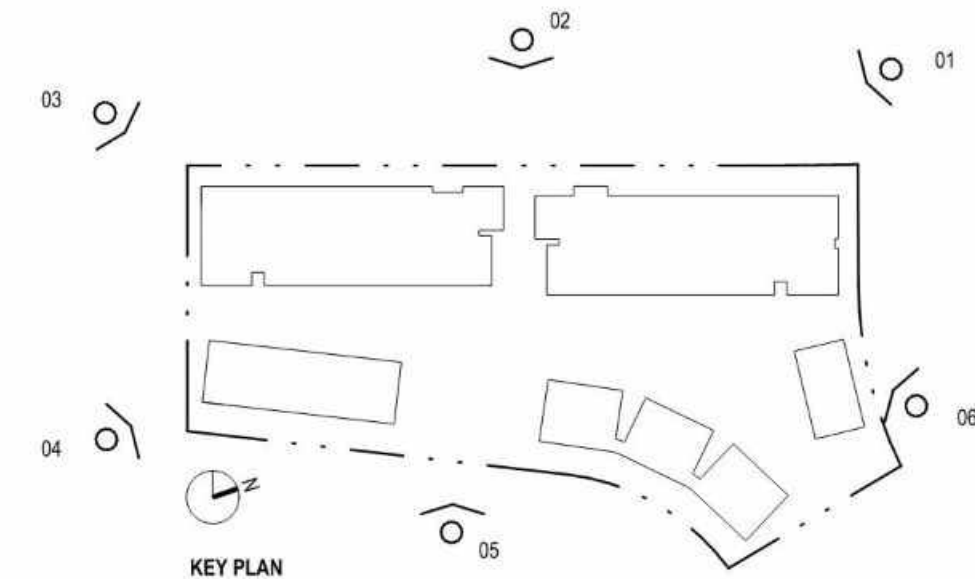
04 - VIEW FROM NORTH-EAST - SEABLUFF CRESCENT



05 - VIEW FROM EAST - SEABLUFF CRESCENT



06 - VIEW FROM SOUTH-EAST - SEABLUFF CRESCENT



KEY PLAN

2/28/2024 3:59:15 PM

DATE	REV	DESCRIPTION
Sep 14, 2023	A	Issued for DP
Dec 18, 2023	D	Issued for DP Response
Feb 26, 2024	I	Issued for DP Revisions



SCHEDULE 2

THE BEACHLANDS 2ABC

THE BEACHLANDS, AREA 2, LOT 1, BUILDINGS A,B,C DP REVISIONS



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02 APPENDIX B | ARCHITECTURAL RENDERS AND MATERIALS

02

PERSPECTIVES AERIAL



02

PERSPECTIVES ROAD B - TOWNHOUSES



02

PERSPECTIVES COURTYARD



STU1
STUCCO
WARM GREY

MC1
METAL
DARK GREY

STU2 STUCCO
DARK GREY

GL1/2
CLEAR GLAZING

MET3
6" DEEP WINDOW
SURROUNDS

CON1
ARCHITECTURAL
CONCRETE

STU2
STUCCO
DARK GREY

MC1
METAL
DARK GREY

MET3
6" DEEP WINDOW
SURROUNDS

STU1
STUCCO
WARM GREY

MC1
METAL
DARK GREY

GL4
GUARDRAIL
WITH FRIT

MC3
METAL SOFFIT
PANELS

GL1/2
CLEAR
GLAZING

LANDSCAPE
PLANTING

LANDSCAPE
PATHWAYS

LANDSCAPE
PLAY
STRUCTURES

02

PERSPECTIVES MOTOR COURT - ENTRANCE



02

PERSPECTIVES METCHOSIN ROAD ENTRANCE



02

PERSPECTIVES METCHOSIN ROAD BALCONIES (BUILDING B)



02

PERSPECTIVES MATERIAL BOARD



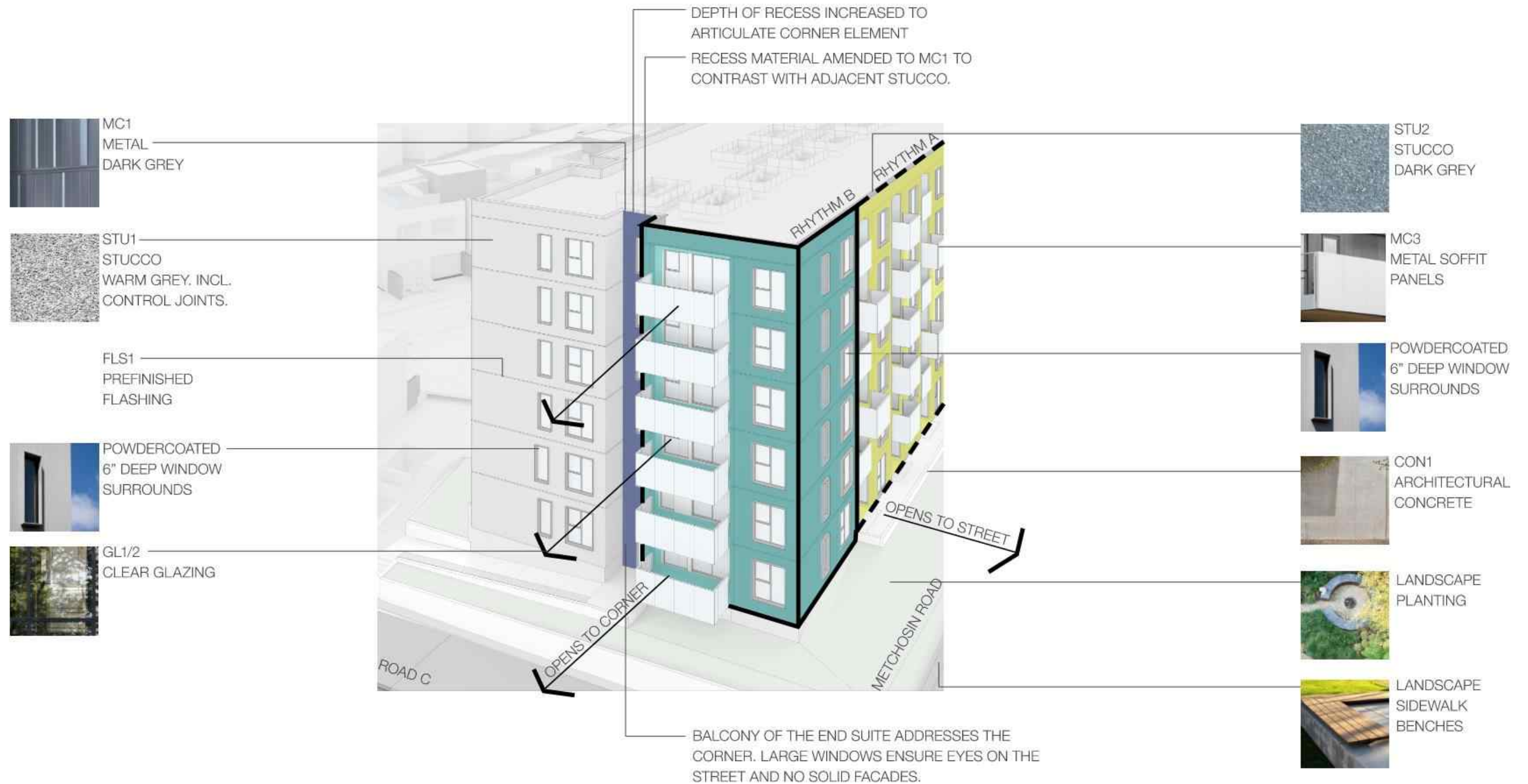
02

RENDERED ELEVATIONS METCHOSIN ROAD ELEVATION



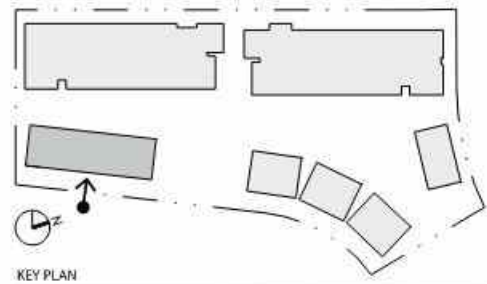
METCHOSIN ROAD ELEVATION

02 RENDERED ELEVATIONS BUILDING B CORNER



METCHOSIN ROAD AND ROAD C INTERSECTION

02 RENDERED ELEVATIONS STREET ELEVATIONS



METAL PANELS
(MC5) - COLOUR
VARIES PER SUITE

STU1
STUCCO
WARM GREY

SHADOWLINE
COLOUR 2

FLS1
FLASHING
COLOUR 2

GL1/2
CLEAR GLAZING

STU2
STUCCO
DARK GREY

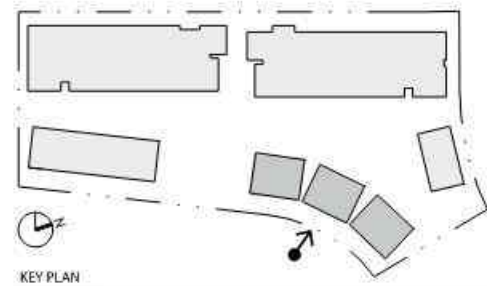
POWDERCOATED
2' DEEP WINDOW
SURROUNDS

MC1
METAL
DARK GREY

WD1
WOODEN
FRONT DOOR -
TOWNHOUSES

C3 - EAST ELEVATION

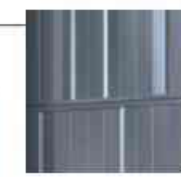
02 RENDERED ELEVATIONS STREET ELEVATIONS



METAL PANELS
(MC5) - COLOUR
VARIES PER SUITE



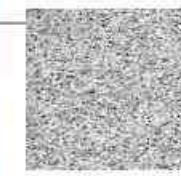
STU2
STUCCO
DARK GREY



MC1
METAL
DARK GREY

SHADOWLINE
COLOUR 2

FLS1
FLASHING
COLOUR 2



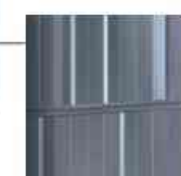
STU1
STUCCO
WARM GREY



GL1/2
CLEAR GLAZING



POWDERCOATED
2' DEEP WINDOW
SURROUNDS

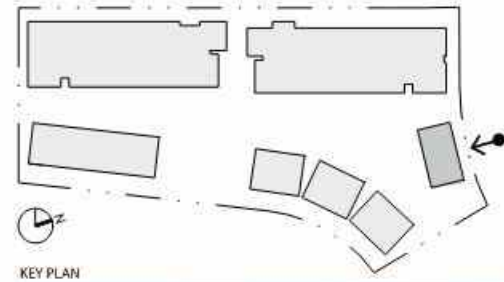


MC1
METAL
DARK GREY

C2 EAST ELEVATION

02

RENDERED ELEVATIONS STREET ELEVATIONS

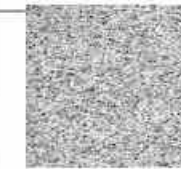


KEY PLAN



SHADOWLINE
COLOUR 2

FLS1
FLASHING
COLOUR 2



STU1
STUCCO
WARM GREY



GL1/2
CLEAR GLAZING



POWDERCOATED
1' DEEP WINDOW
SURROUNDS



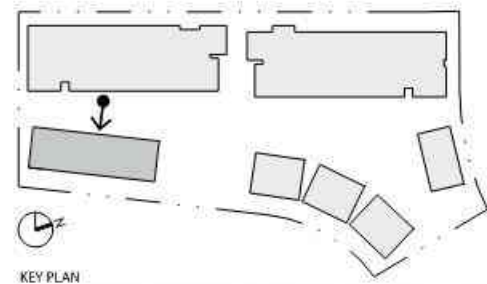
MC1
METAL
DARK GREY



CON1
ARCHITECTURAL
CONCRETE

C1 NORTH ELEVATION

02 RENDERED ELEVATIONS COURTYARD ELEVATIONS

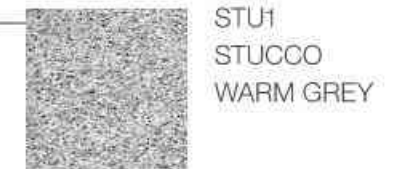


METAL PANELS
(MC5) - COLOUR
VARIES PER SUITE



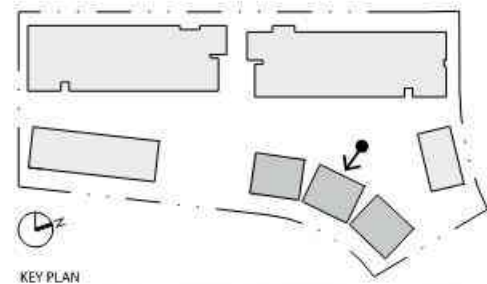
SHADOWLINE
COLOUR 2

FLS1
FLASHING
COLOUR 2



C3 - COURTYARD ELEVATION

02 RENDERED ELEVATIONS COURTYARD ELEVATIONS

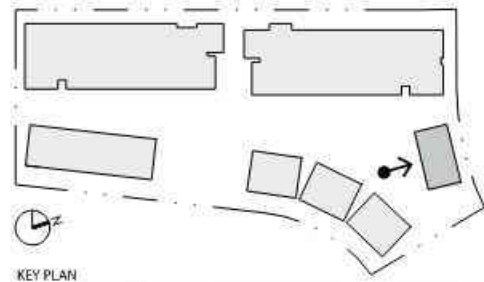


METAL PANELS
(MC5) - COLOUR
VARIES PER SUITE

-  MC1
METAL
DARK GREY
-  METAL LANDSCAPE
SCREENS
-  STU2
STUCCO
DARK GREY
-  FLS1
FLASHING
COLOUR 2
-  GL1/2
CLEAR GLAZING
-  STU1
STUCCO
WARM GREY
-  POWDERCOATED
6" DEEP WINDOW
SURROUNDS
-  CON1
ARCHITECTURAL
CONCRETE

C2 - COURTYARD ELEVATION

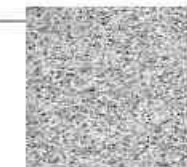
02 RENDERED ELEVATIONS COURTYARD ELEVATIONS



METAL LANDSCAPE SCREENS

SHADOWLINE COLOUR 2

FLS1 FLASHING COLOUR 2



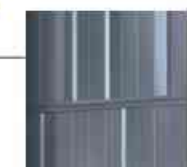
STU1 STUCCO WARM GREY



GL1/2 CLEAR GLAZING



POWDERCOATED 1" DEEP WINDOW SURROUNDS

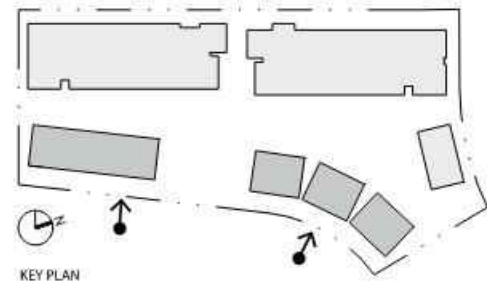


MC1 METAL DARK GREY

C1 - COURTYARD ELEVATION

02

ADDITIONAL MATERIALS TOWNHOUSE GARAGE DOOR PRECEDENT



RECESSED FORM



FLUSH GARAGE DOORS



02

ADDITIONAL MATERIALS SMOOTH + TEXTURED STUCCO



SMOOTH STUCCO APPLICATION



SMOOTH + TEXTURED CONTRAST



The Beachlands - Area 2, Lot 1, Building A, B, C Landscape Drawings

LOT 1, SECTION 54, ESQUIMALT DISTRICT, PLAN VIP58414

Issued for Development Permit - February 26, 2024

- L0.00 Cover Page
- L0.01 General Notes

- L1.00 Illustrated Site Plan
 - L1.01 Material, Layout, and Grading Plan Building A
 - L1.02 Material, Layout, and Grading Plan Building B
 - L1.03 Material, Layout, and Grading Plan Townhouse South Building C.3
 - L1.04 Material, Layout, and Grading Plan Townhouse North Building C.1 & C.2
 - L1.05 Material, Layout, and Grading Plan Central Drive Court

- L4.00 Planting Schedule
 - L4.01 Planting Plan Building A
 - L4.02 Planting Plan Building B
 - L4.03 Planting Plan Townhouse South Building C.3
 - L4.04 Planting Plan Townhouse North Building C.1 & C.2
 - L4.05 Planting Plan Central Drive Court
 - L4.06 Soil Plan

- L5.00 Site Irrigation Plan

- L6.00 Site Lighting Plan

- L7.00 Landscape Sections
 - L7.01 Landscape Sections
 - L7.02 Landscape Sections
 - L7.03 Landscape Sections
 - L7.04 Landscape Sections
 - L7.05 Landscape Sections

- L8.10 Details - Paving
- L8.20 Details - Stairs and Handrails
- L8.21 Details - Walls and Stairs
- L8.30 Details - Site Furnishings
- L8.31 Details - Site Furnishings
- L8.40 Details - Planting
- L8.41 Details - Planting
- L8.50 Details - Lighting

No.	Description	Date
5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23

No. Description Date



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**The Beachlands
2ABC**

Cover Sheet

Date	Mar. 03/23	Drawing Number
Project No.	2230	L0.00
Scale		
Drawn/Checked	KW JF	



GENERAL NOTES

- EXISTING SURVEY INFORMATION IS BASED ON THE FOLLOWING DRAWING: PART I PLAN VIP58414 ;
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST MAKE CAREFUL EXAMINATION OF EXISTING SITE SURFACE CONDITIONS AND TOPOGRAPHY AND ADVISE LANDSCAPE ARCHITECT OF ANY UNSATISFACTORY SITE SURFACE CONDITIONS AND TOPOGRAPHY. NO ALLOWANCES WILL BE MADE LATER FOR ANY EXPENSES INCURRED THROUGH FAILURE TO NOTE UNSATISFACTORY SITE SURFACE CONDITIONS AND TOPOGRAPHY;
- DO NOT SCALE DRAWINGS. USE DIMENSIONAL INFO AS NOTED IN DRAWINGS. CONTACT THE LANDSCAPE ARCHITECT IF THERE IS ANY AMBIGUITY, LACK OF INFORMATION, OR INCONSISTENCY;
- THE CONTRACTOR WILL CLEAN AND REINSTATE ALL AREAS DAMAGED OR AFFECTED BY WORKS OUTSIDE THE LIMIT OF WORK TO THE CONDITIONS THAT EXISTED PRIOR TO CONSTRUCTION OR BETTER AND TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT;
- THE CONTRACTOR SHALL VERIFY DIMENSIONS SHOWN ON DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO CONSTRUCTION;
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE LIMIT OF WORK LINE;
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES AND TAKING THE NECESSARY PRECAUTIONS PRIOR TO AND DURING CONSTRUCTION. REFER TO CIVIL;
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF EXCESS FILL OFF-SITE;
- ARCHITECTURAL AND CIVIL DESIGN SHOWN FOR INFORMATION ONLY;
- REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR DISCIPLINE SPECIFIC REMOVALS.

MATERIALS PLAN NOTES

- REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS;
- REFER TO CITY OF COLWOOD STANDARDS FOR WORK ON TYPICAL SIDEWALKS;
- BOULDER PLACEMENT: COORDINATE REVIEW, SELECTION, AND PLACEMENT WITH LANDSCAPE ARCHITECT.

LAYOUT PLAN NOTES

- ALL DIMENSIONS ARE NOMINAL; DIMENSIONS ARE BASED ON STATIONING POINTS PROVIDED BY CIVIL;
- REFER TO GRADING PLAN FOR HORIZONTAL CONTROL OF PAVING/LANDSCAPE AREAS;
- ALL SITE FURNISHING LOCATIONS TO BE CONFIRMED WITH LANDSCAPE ARCHITECT ON SITE PRIOR IN INSTALLATION;
- CONFIRM SAWCUT PATTERN ONSITE WITH LANDSCAPE ARCHITECT;
- REFER TO CIVIL DRAWINGS FOR ROADWAY AND CURB ALIGNMENTS AND DETAILS.

GRADING PLAN NOTES

- ALL ELEVATIONS ARE NOMINAL AND ARE BASED ON SURVEY AND ELEVATIONS PROVIDED BY ARCH. AND CIVIL. CONTRACTOR TO VERIFY ALL MEASUREMENTS;
- ALL PROPOSED ELEVATIONS ARE TO TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE;
- REFER TO SOIL DEPTH DETAILS FOR SOIL DEPTH AND VOIDING;
- PAVING IS GRADED TO A TYPICAL DIMENSION ABOVE STRUCTURAL SLABS, REFER TO ARCHITECT FOR TYPICAL ELEVATION OF SLAB;
- MAX 2% CROSS-SLOPE FOR ALL WALKS AND PAVING AREAS;
- ALL UTILITY COVERS INSIDE LANDSCAPE AREA TO BE ADJUSTED TO FINAL GRADE;
- CONDUCT GRADING START UP MEETING WITH LANDSCAPE ARCHITECT IN FIELD TO CONFIRM GRADING DESIGN.

PLANTING PLAN NOTES

- ALL PLANT MATERIAL TO CNLA STANDARDS. REFER TO THE CANADIAN NATIONAL LANDSCAPE STANDARD, LATEST EDITION;
- AREA OF SEARCH FOR PLANT MATERIAL: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON;
- REFER TO SPECIFICATION FOR GENERAL CONDITIONS, MATERIALS AND INSTALLATION REQUIREMENTS;
- ALL ONSITE PLANTED AREAS TO HAVE AUTOMATIC IRRIGATION, REFER TO IRRIGATION DRAWINGS.
- CONFIRM TREE PLANTING LOCATIONS AND PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE;
- NO SUBSTITUTIONS OF ANY PLANT MATERIAL WILL BE APPROVED WITHOUT SUBMITTAL REVIEW AND APPROVAL BY THE CLIENT/LANDSCAPE ARCHITECT;
- CONFIRM WITH LANDSCAPE ARCHITECT THE PRE-PURCHASE OF ANY PLANT MATERIALS OR REQUIREMENTS FOR CONTRACT GROWING DUE TO PLANT AVAILABILITY;
- ALL TREE SOIL VOLUMES TO MEET CITY OF COLWOOD STANDARDS;
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT OF OFF-SITE SODDED LAWN, AS PER PLANS;
- REFER TO MECHANICAL / CIVIL FOR DRAINS AND OFFSITE GRADING.
- FOR STREET TREES: FINAL LOCATION, QUANTITY, AND TREE SPECIES TO THE SATISFACTION OF THE CITY OF COLWOOD PARKS SERVICES. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 8cm CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. ROOT BARRIERS SHALL BE 8 FT. LONG AND 18" DEEP. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. CITY OF COLWOOD TO INSPECT AND APPROVE AFTER THE TREE PLANTING COMPLETION.

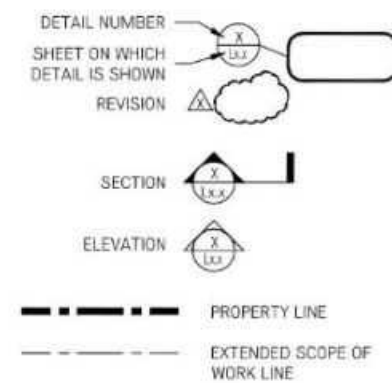
SECTION AND ELEVATION NOTES

- SECTIONS/ELEVATIONS ARE SCHEMATIC AND FOR REFERENCE ONLY; REFER TO PLANS AND DETAILS.

LANDSCAPE ARCHITECTURE ABBREVIATIONS

AD	AREA DRAIN
B	BOLLARD
BC	BOTTOM OF CURB ELEVATION
BCH	BOTTOM OF CHANNEL
BG	BUILDING GRADE
BS	BOTTOM OF STEP/ STAIR ELEVATION
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CIP	CAST IN PLACE
CIV	CIVIL
CJ	CONTROL JOINT
CL	CENTRE LINE
CONC	CONCRETE
CoS	CITY OF SURREY
DEG (°)	DEGREE
DET	DETAIL
DIA (Ø)	DIAMETER
DIM	DIMENSION
DWG	DRAWING
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
ENG	ENGINEER/ ENGINEERING
EQ	EQUAL
EX	EXISTING
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FIN	FINISH
GAV	GALVANIZED
HP	HIGH POINT
HPS	HIGH POINT SWALE
HT	HEIGHT
INT	INTERPOLATED
JT	JOINT
LPS	LOW POINT SWALE
LOW	LIMIT OF WORK
MAX	MAXIMUM
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OAE	OR APPROVED EQUAL
OC	ON CENTRE
OD	OUTSIDE DIAMETER
PA	PLANTING AREA
PD	PLANTER DRAIN
PSI	POUNDS PER SQUARE INCH**STANDARD UNIT ABBREVIATION - REQ.?
QTY	QUANTITY
R	RISER
RAD	RADIUS**RAD IS STANDARD SHORTFORM OF RADIAN - MIGHT BE CONFUSING*
REQ	REQUIRED
ROW	RIGHT OF WAY
SB	SETBACK
SIM	SIMILAR
SPEC	SPECIFICATIONS
SQ	SQUARES
SS	STAINLESS STEEL
STA PT	STATION POINT
STD	STANDARD
TC	TOP OF CURB ELEVATION
TEMP	TEMPORARY
THK	THICK
TMP	TREE MANAGEMENT PLAN
TOS	TOP OF SLAB
TS	TOP OF STEP/ STAIR ELEVATION
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
W/	WITH
W/O	WITHOUT
WP	WATERPROOFING

GENERAL LEGEND



GRADING LEGEND

±00.00	PROPOSED ELEVATION	±FE	FINISH FLOOR ELEVATION	±TC	TOP OF CURB
±TW	TOP OF WALL	±TB	TOP OF BENCH	±BC	BOTTOM OF CURB
±BW	BOTTOM OF WALL	±TS	TOP OF STAIRS	±(00.00)	EXISTING SPOT ELEVATION AS PER SURVEY
±TG	TOP OF FINISHED GRADE	±BS	BOTTOM OF STAIRS	← 0.0 %	DIRECTION OF SLOPE
—	PERFORATED DRAIN PIPE	↘ (0.0/2.0)			ELEVATION AS PER CIVIL

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2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23

No.	Description	Date
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**The Beachlands
2ABC**

General Notes

Date	Mar, 03/23	Drawing Number
Project No.	2230	
Scale	NA	L0.01
Drawn/Checked	KW JF	





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COMMONS RD

METCHOSIN RD

ROAD B / FUTURE ROAD RIGHT OF WAY

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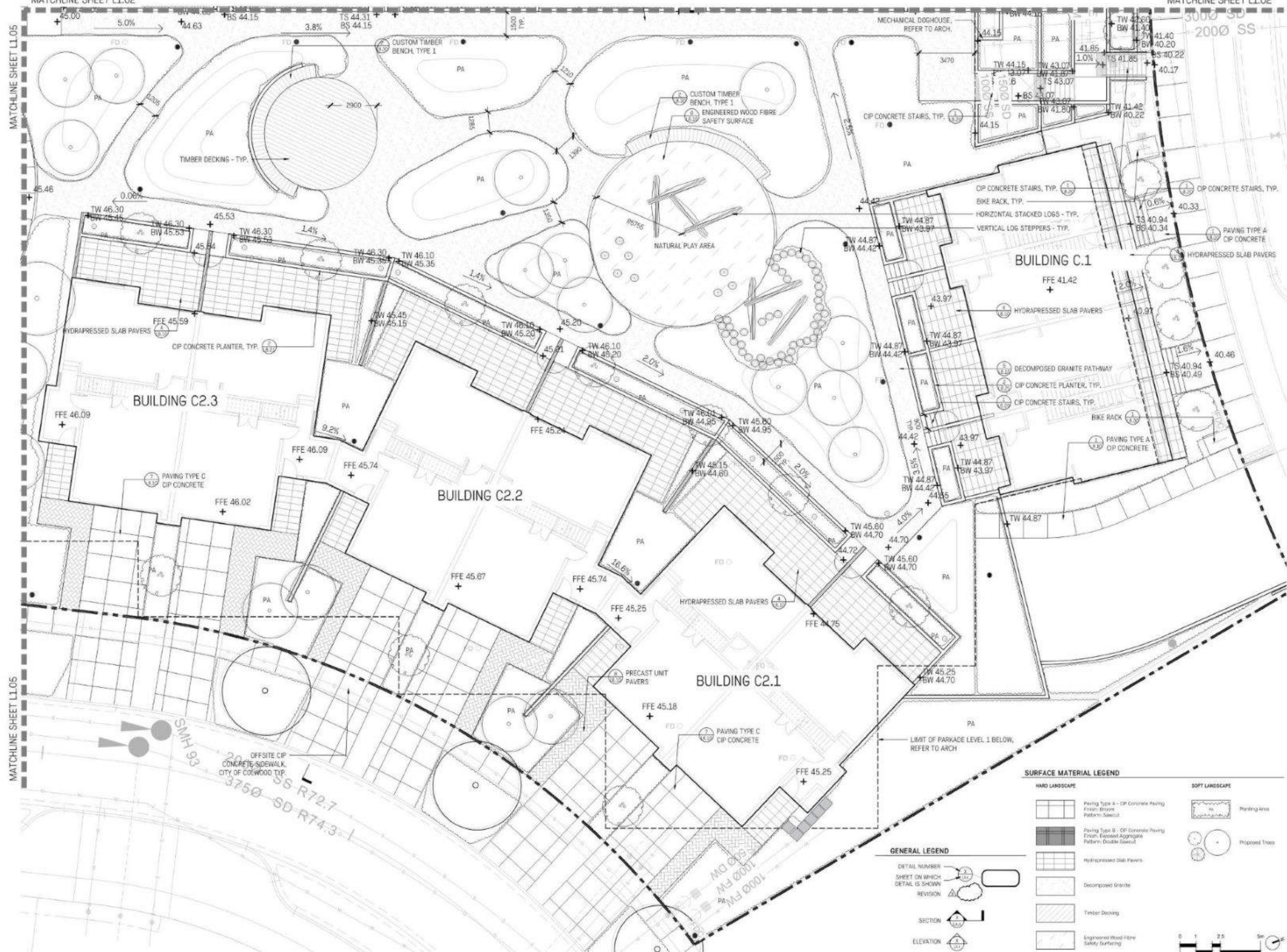
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**The Beachlands
2ABC**

Illustrated Site Plan

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	1:200	L1.00
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Materia, Layout, and Grading Plan Townhouse North Building C.1 & C.2

Date: Mar. 03/23 Drawing Number:
Project No.: 2230
Scale: 1:100
L1.04
Drawn/Checked: KW | JF

SURFACE MATERIAL LEGEND

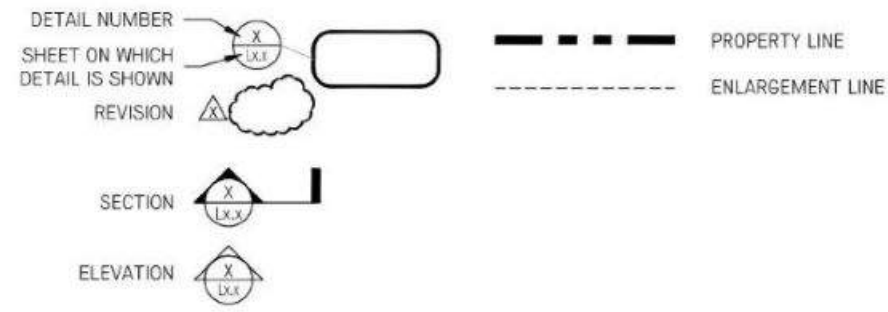
HARD LANDSCAPE	SOFT LANDSCAPE
Paving Type A - CIP Concrete Paving Finish: Broom Pattern: Sawcut	Planting Area
Paving Type B - CIP Concrete Paving Finish: Exposed Aggregate Pattern: Double Sawcut	Proposed Trees
Hydrapressed Slab Pavers	
Decomposed Granite	
Timber Decking	
Engineered Wood Fibre Safety Surfacing	

GENERAL LEGEND

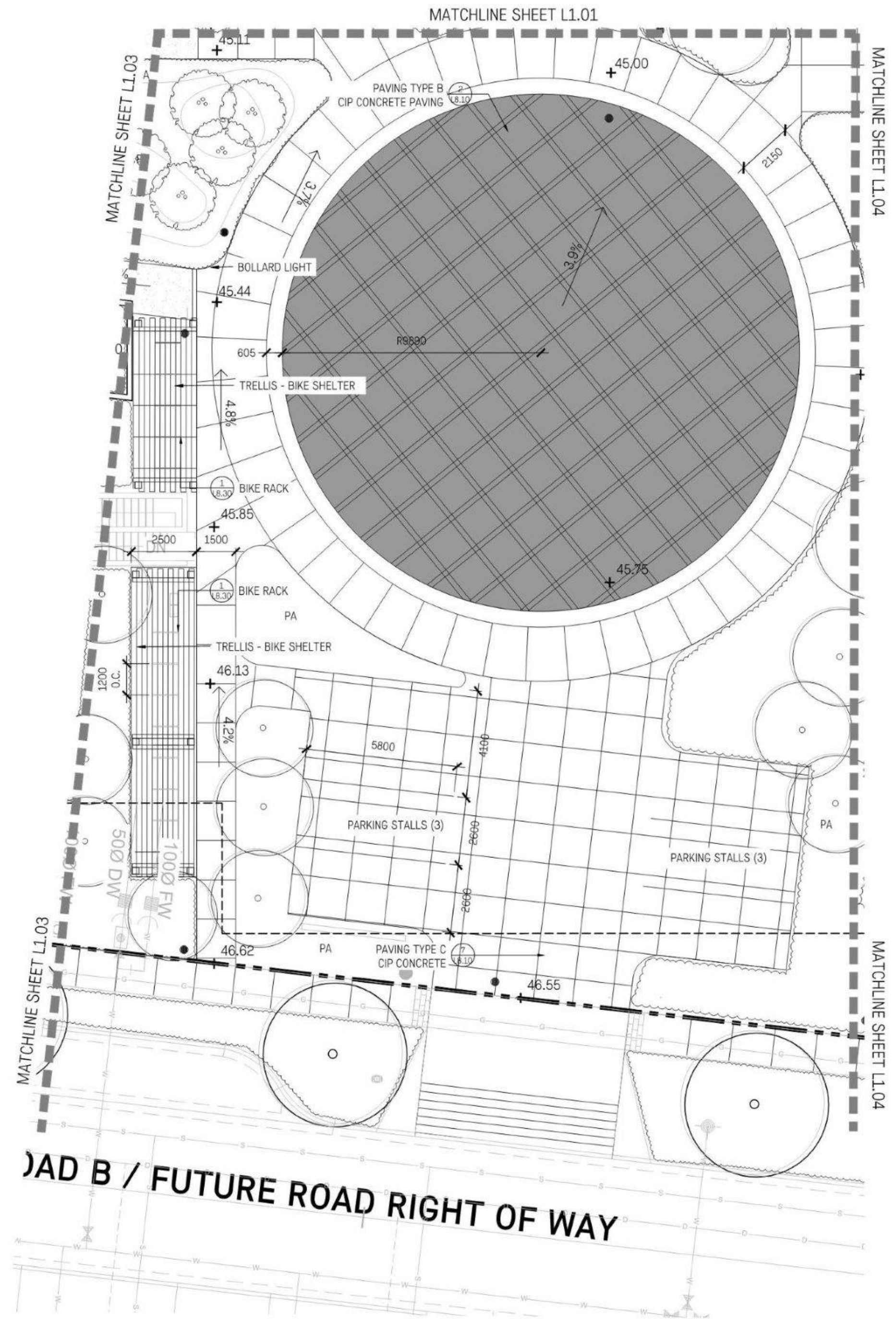
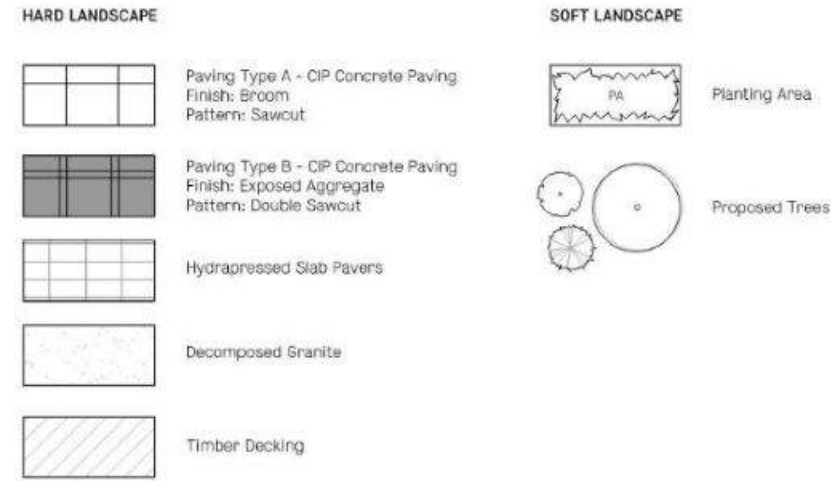
DETAIL NUMBER	
SHEET ON WHICH DETAIL IS SHOWN	
REVISION	
SECTION	
ELEVATION	

0 1 2.5 5m

GENERAL LEGEND



SURFACE MATERIAL LEGEND



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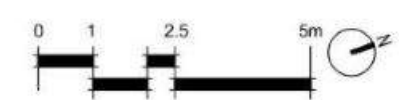


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Material, Layout, and Grading Plan
 Central Drive Court

Date	Mar. 03/23	Drawing Number
Project No.	2230	L1.05
Scale	1:100	
Drawn/Checked	KW JF	



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	REMARKS
TREES							
	AG	39	Acer griseum / Paperbark Maple	5cm cal.	As Shown	B&B, Nursery Grown, Uniform, Dense Tree	
	CE	37	Cornus nuttallii x 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	5cm cal.	As Shown	B&B, Uniform Branching, Dense Tree	
	FP	12	Frangula purshiana / Cascara Buckthorn	1.5m ht	As Shown	B&B, Shrub Form/Multi-Stemmed, 3 Branch min.	
	MP	24	Malus fusca / Western Crabapple	5cm cal.	As Shown	B&B, Nursery Grown, Well Branched, Dense Tree	
	PC	4	Pinus contorta / Shore Pine	2.4m ht	As Shown	B&B, Dense Tree, Good Branching within 0.6m of Ground	Asymmetrical form
SHRUBS							
	Cb	24	Ceanothus x 'Blue Sapphire' / Blue Sapphire Wild Lilac	1.0m ht.	As Shown	Full	
	Th	262	Taxus x media 'Hicksii' / Hicks Anglo-Japanese Yew	1.2m ht.	As Shown	Full	
BORDER PLANTING							
		104	Aster x frikartii 'Monch' / Monch Frikart's Aster	#1 Pot, 450mm, Full	35% @ 0.45m oc		
		104	Echinacea purpurea 'Alba' / White Coneflower	#1 Pot, 450mm, Full	35% @ 0.45m oc		
		51	Lavandula angustifolia / English Lavender	#1 Pot, 600mm, Full	30% @ 0.6m oc		
AMENITY SPACE							
		223	Achillea millefolium / Common Yarrow	#1 Pot, 600mm	10% @ 0.6m oc		
		324	Clarkia amoena / Farewell to Spring	#1 Pot, 500mm	10% @ 0.5m oc		
		338	Danthonia californica / California Oatgrass	#1 Pot, 600mm, Full	15% @ 0.6m oc		
		338	Deschampsia californica / California Hair Grass	#1 Pot, 600mm, Full	15% @ 0.6m oc		
		79	Elymus glaucus / Blue Wildrye	#1 Pot, 1000mm, Full	10% @ 1m oc		
		338	Festuca roemerii / Roemer's Fescue	#1 Pot, 600mm, Full	15% @ 0.6m oc		
		338	Koeleria macrantha / Prairie Junegrass	#1 Pot, 600mm, Full	15% @ 0.6m oc		
		224	Perideridia gairdneri / Gardner's Yampah	#1 Pot, 600mm	10% @ 0.6m oc		
ROAD FRONTAGE							
		116	Cornus sericea 'Kelsey' / Kelsey's Dwarf Red Twig Dogwood	#1 Pot, 900mm	15% @ 0.9m oc		
		260	Gaultheria shallon / Salal	#1 Pot, 600mm, Full	15% @ 0.6m oc		
		260	Hakonechloa macra / Japanese Forest Grass	#1 Pot, 600mm, Full	15% @ 0.6m oc		
		155	Polystichum munitum / Western Sword Fern	#1 Pot, 900mm, Full	20% @ 0.9m oc		
		116	Ribes sanguineum / Red Flowering Currant	#1 Pot, 900mm, Full	15% @ 0.9m oc		
		155	Symphoricarpos albus / Common White Snowberry	#1 Pot, 900mm, Full	20% @ 0.9m oc		
RESIDENTIAL FRONTAGE							
		374	Arctostaphylos uva-ursi / Kinnikinnick	#1 Pot, 500mm	10% @ 0.5m oc		
		68	Carpinus betulus 'Fastigiata' / Upright European Hornbeam	#1 Pot, 1200mm, Full	10% @ 1.2m oc		
		113	Cholsya ternata / Mexican Orange	#1 Pot, 900mm, Full	10% @ 0.9m oc		
		68	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	#1 Pot, 1200mm, Full	10% @ 1.2m oc		
		68	Cornus sericea 'SMNCSBD' / Arctic Fire® Yellow Dogwood	#1 Pot, 1200mm, Full	10% @ 1.2m oc		
		91	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass	#1 Pot, 1000mm, Full	10% @ 1m oc		
		91	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	#1 Pot, 1000mm, Full	10% @ 1m oc		
		49	Ribes sanguineum / Red Flowering Currant	#1 Pot, 1000mm, Full	5% @ 1m oc		
		111	Rosa pisocarpa / Clustered Wild Rose	#1 Pot, 900mm, Full	10% @ 0.9m oc		
		111	Sarcococca ruscifolia / Fragrant Sweetbox	#1 Pot, 900mm, Full	10% @ 0.9m oc		
		111	Skimmia japonica / Skimmia	#1 Pot, 900mm, Full	10% @ 0.9m oc		
		49	Symphoricarpos albus / Common White Snowberry	#1 Pot, 1000mm, Full	5% @ 1m oc		
OFFSITE LAWN							
		851.2	Turf Sod / Drought Tolerant Fescue Blend	Roll			
SOUTH RESIDENTIAL FRONTAGE							
		99	Calamagrostis x acutiflora / Feather Reed Grass	#1 Pot, 1000mm, Full	1m oc		
		122	Cholsya ternata / Mexican Orange	#1 Pot, 900mm, Full	0.9m oc		
		275	Echinacea purpurea 'Alba' / White Coneflower	#1 Pot, 600mm, Full	0.6m oc		
		99	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	#1 Pot, 1000mm	1m oc		
		122	Pennisetum alopecuroides 'Rubrum' / Purple Fountain Grass	#1 Pot, 900mm, Full	0.9m oc		
ROOF AMENITY							
		20	Lavandula angustifolia / English Lavender	#1 Pot, 450mm, Full	30% @ 0.45m oc		
		7	Miscanthus sinensis 'Graziella' / Graziella Eulalia Grass	#1 Pot, 1000mm, Full	50% @ 1m oc		
		8	Sarcococca hookeriana / Sweetbox	#1 Pot, 600mm, Full	20% @ 0.6m oc		
RESIDENTIAL PLANTERS							
		304	Blechnum spicant / Deer Fern	#1 Pot, 450mm, Full	25% @ 0.45m oc		
		304	Epimedium x youngianum / Barrenwort	#1 Pot, 450mm, Full	25% @ 0.45m oc		
		304	Rubus calycioides / Creeping Bramble	#1 Pot, 450mm, Full	25% @ 0.45m oc		
		304	Sarcococca hookeriana / Sweetbox	#1 Pot, 450mm, Full	25% @ 0.45m oc		

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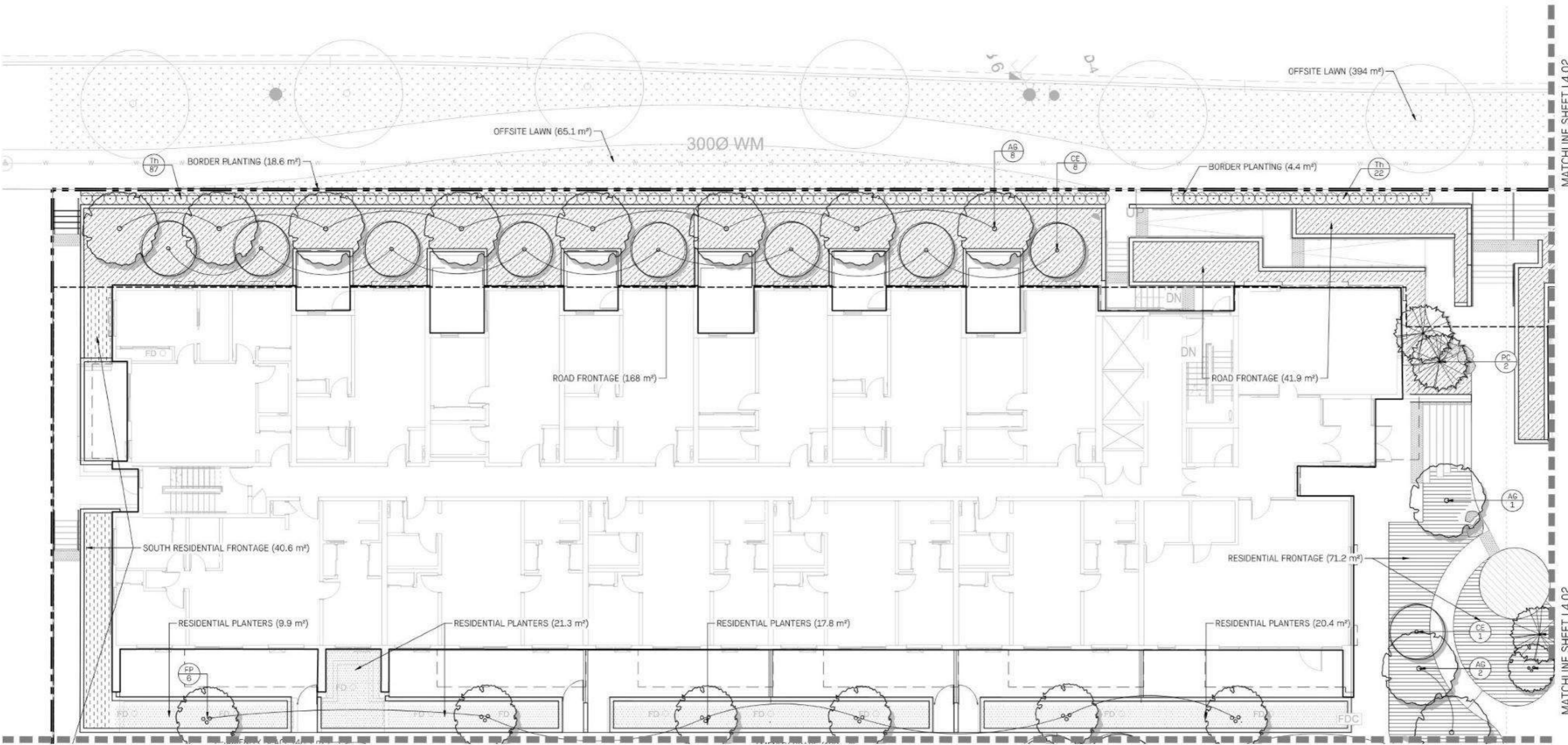


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The Beachlands 2ABC

Plant Schedule

Date	Mar. 03/23	Drawing Number
Project No.	2230	L4.00
Scale	NA	
Drawn/Checked	KW JF	



MATCHLINE SHEET L4.02

MATCHLINE SHEET L4.02

MATCHLINE SHEET L4.03

MATCHLINE SHEET L4.03

No.	Description	Date
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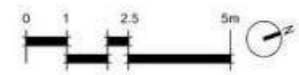


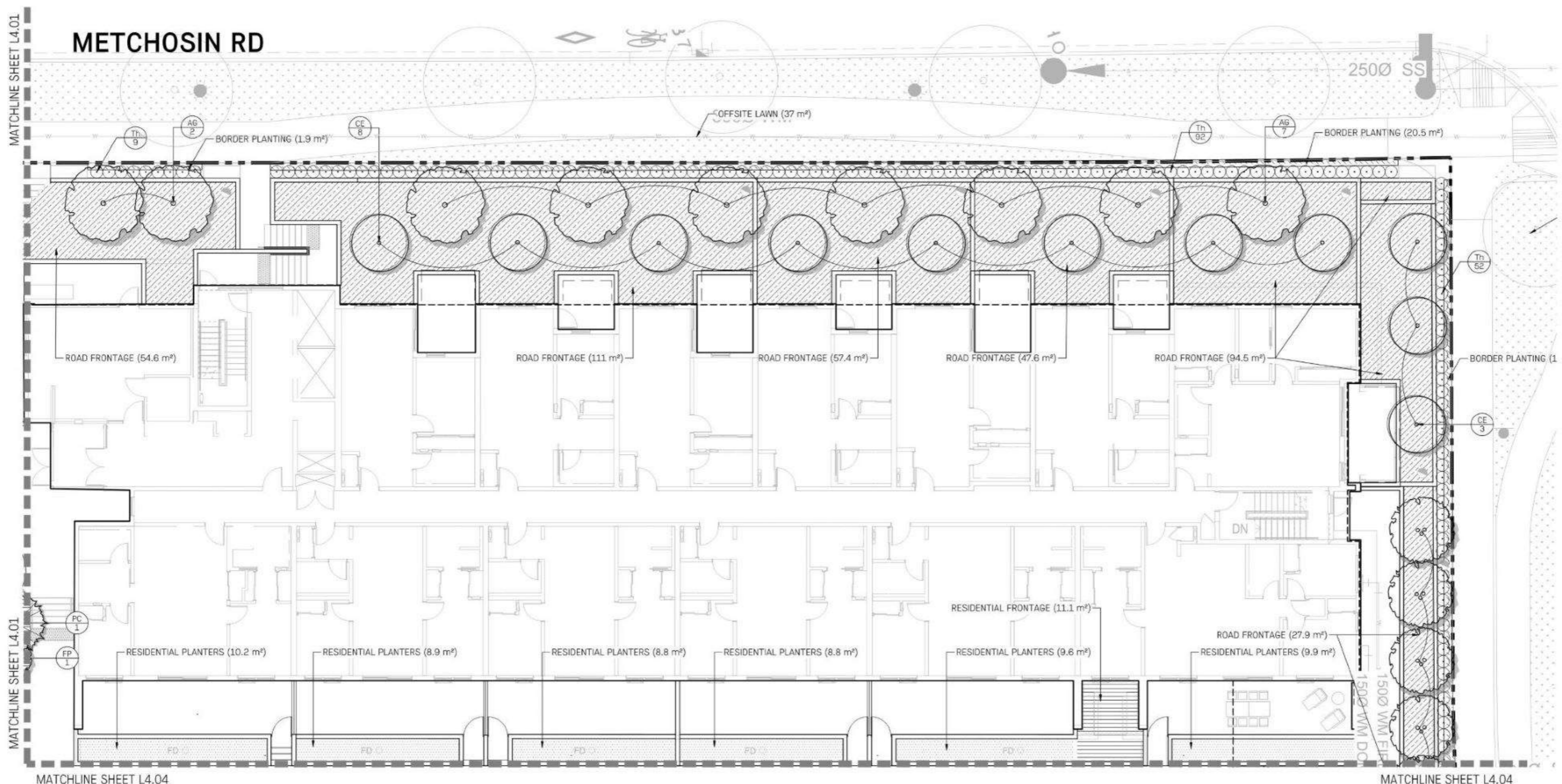
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Planting Plan Building A

Date	Mar. 03/23	Drawing Number
Project No.	2230	L4.01
Scale	1:100	
Drawn/Checked	KW JF	





No.	Description	Date
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Planting Plan Building B

Date	Mar, 03/23	Drawing Number
Project No.	2230	L4.02
Scale	1:100	
Drawn/Checked	KW JF	



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**The Beachlands
2ABC**

**Planting Plan
Townhouse South
Building C.3**

Date	Mar, 03/23	Drawing Number
Project No.	2230	L4.03
Scale	1:100	
Drawn/Checked	KW JF	



MATCHLINE SHEET L4.05

MATCHLINE SHEET L4.05

MATCHLINE SHEET L4.02
3000 SD
2000 SS

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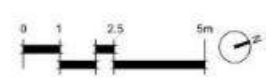


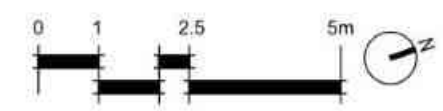
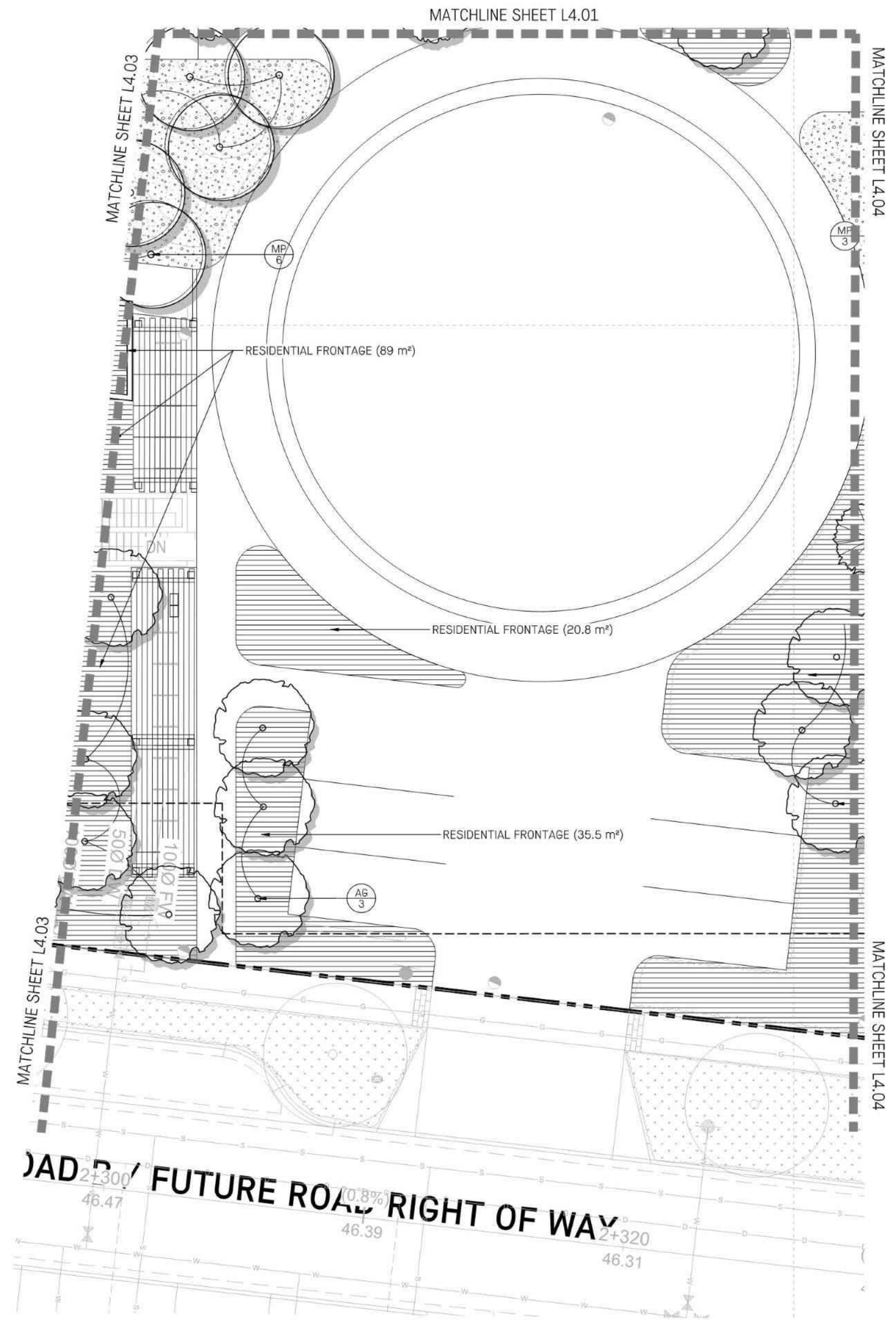
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Planting Plan Townhouse North Building C.1 & Building C.2

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Project No.	2230		
Scale	1:100		
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**Planting Plan
 Central Drive Court**

Date	Mar. 03/23	Drawing Number
Project No.	2230	L4.05
Scale	1:100	
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LEGEND

SOIL DEPTHS ON SLAB		SOIL DEPTHS ON GRADE	
	750mm		600mm - 900 MIN
	600mm		

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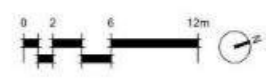


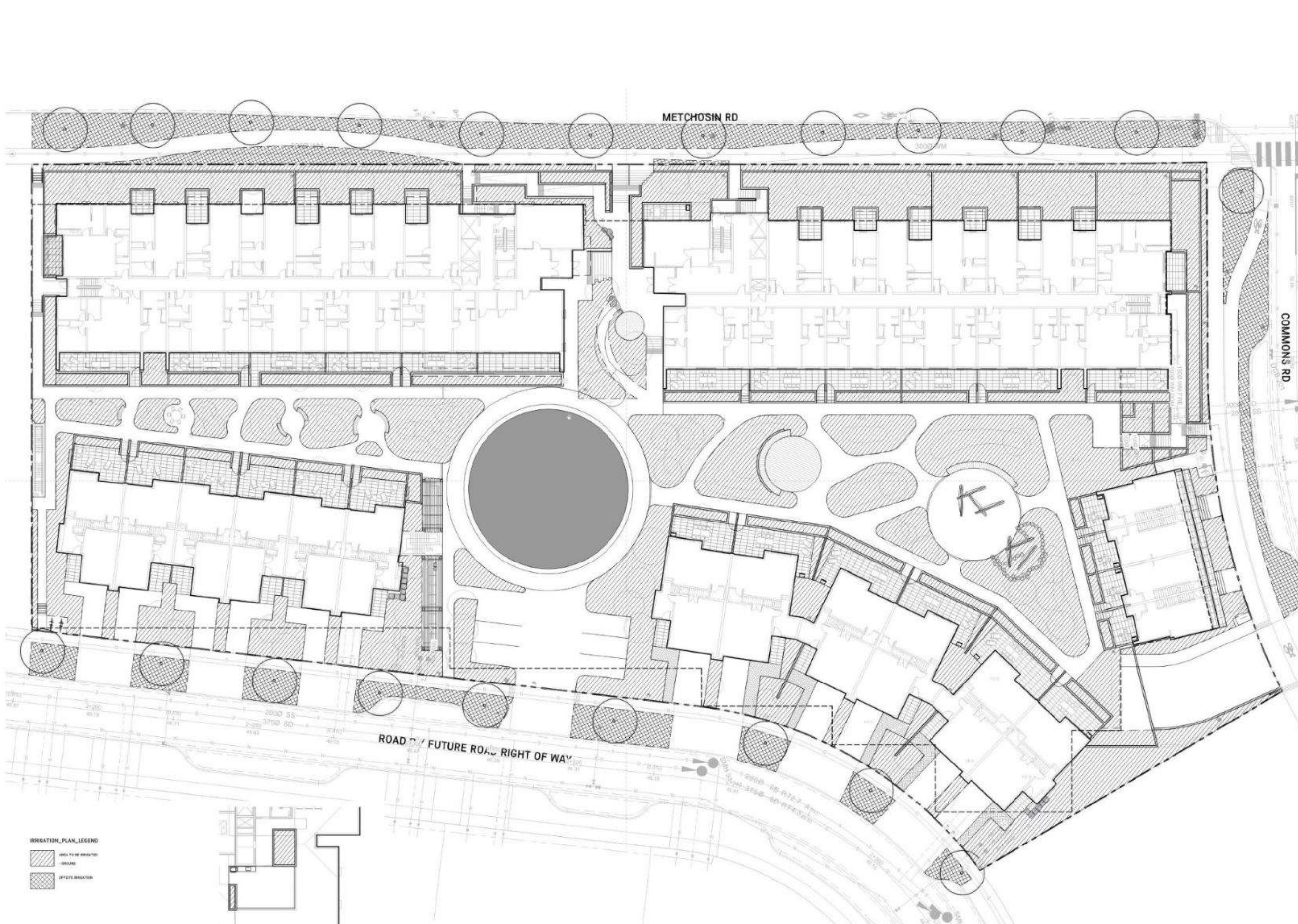
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Soil Plan

Date	Mar. 03/23	Drawing Number	
Project No.	2230		
Scale	1:200		L4.06
Drawn/Checked	KW JF		





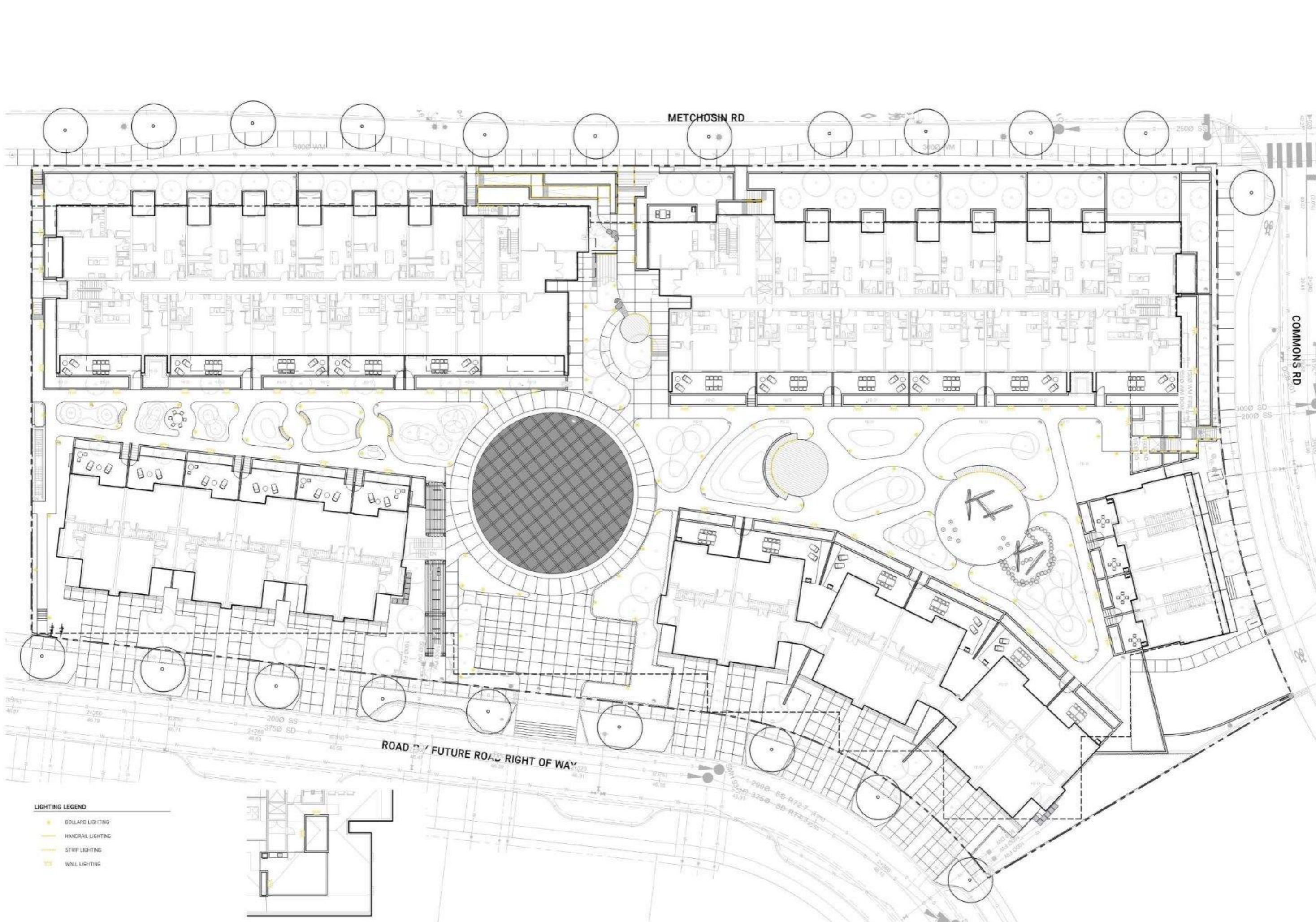
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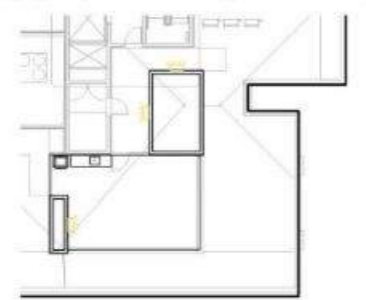
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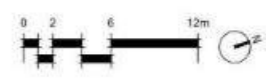
Site Irrigation Plan



- LIGHTING LEGEND**
- BOLLARD LIGHTING
 - HANDRAIL LIGHTING
 - STRIP LIGHTING
 - WALL LIGHTING



LEVEL 2 AMENITY DECK
1:200



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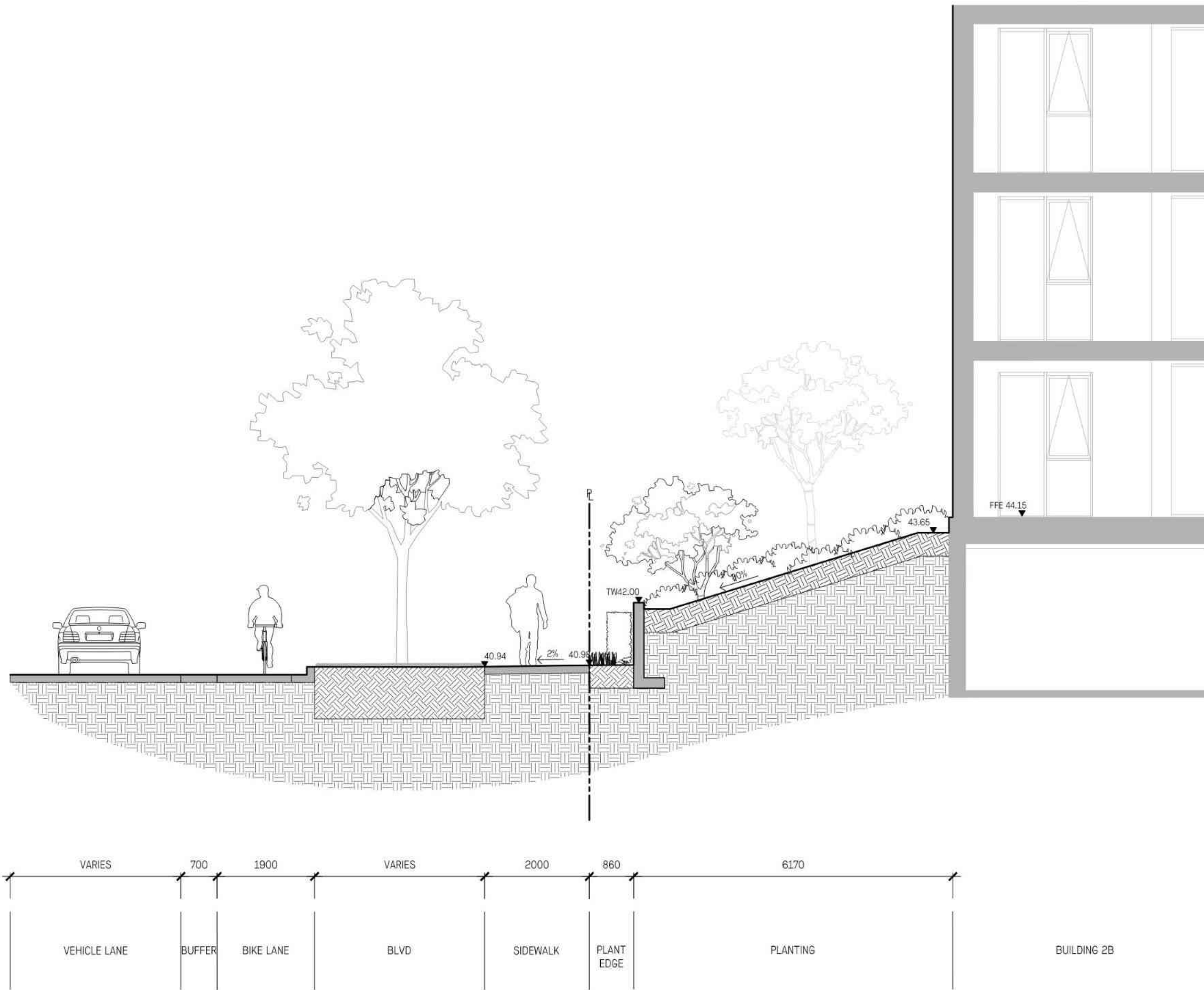


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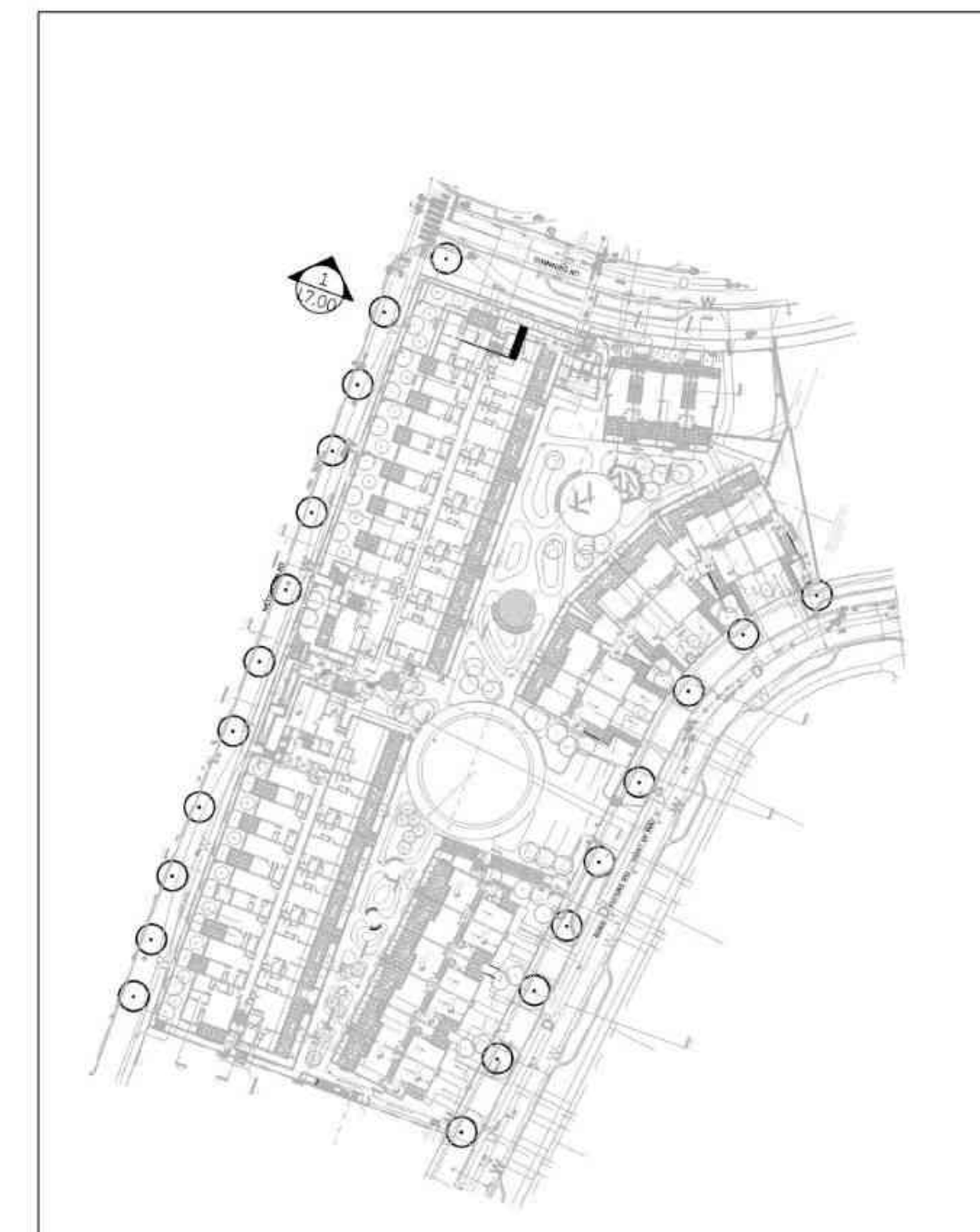
The Beachlands 2ABC

Site Lighting Plan

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	1:200	L6.00
Drawn/checked	KW JF	



1 METCHOSIN RD AT BLDG 2B
1:50



2 KEY PLAN
1:1000

No.	Description	Date
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1	Issued for DP	13/09/23

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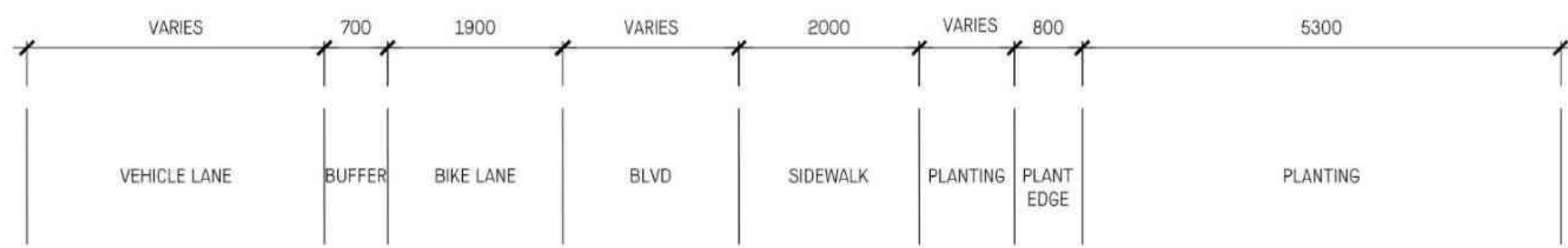
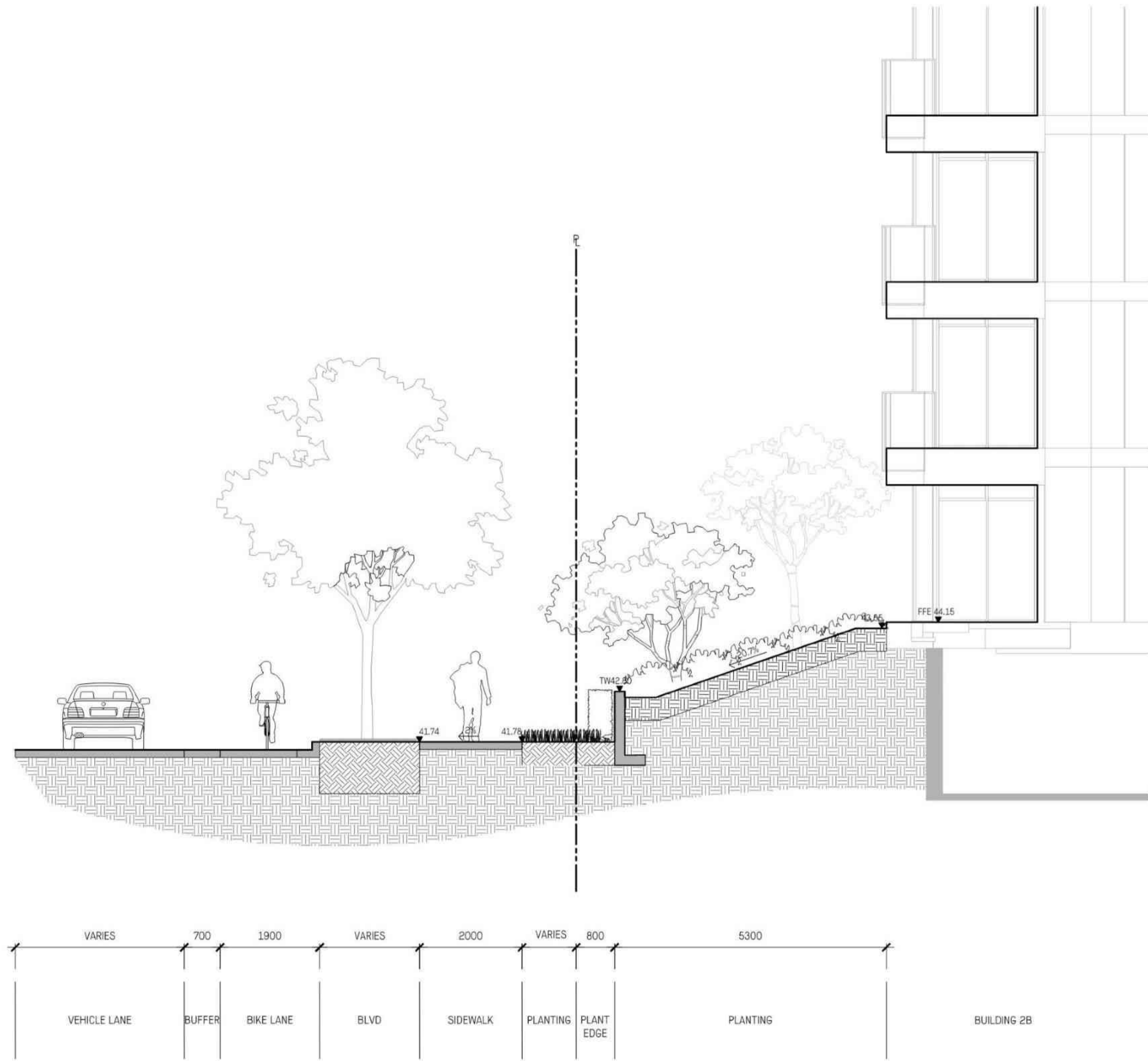
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**The Beachlands
2ABC**

Landscape Sections

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	AS SHOWN	L7.00
Drawn/Checked	KW JF	





1 METCHOSIN RD AT BLDG 2B
L7.01 1:50



2 KEY PLAN
L7.01 1:1000

No.	Description	Date
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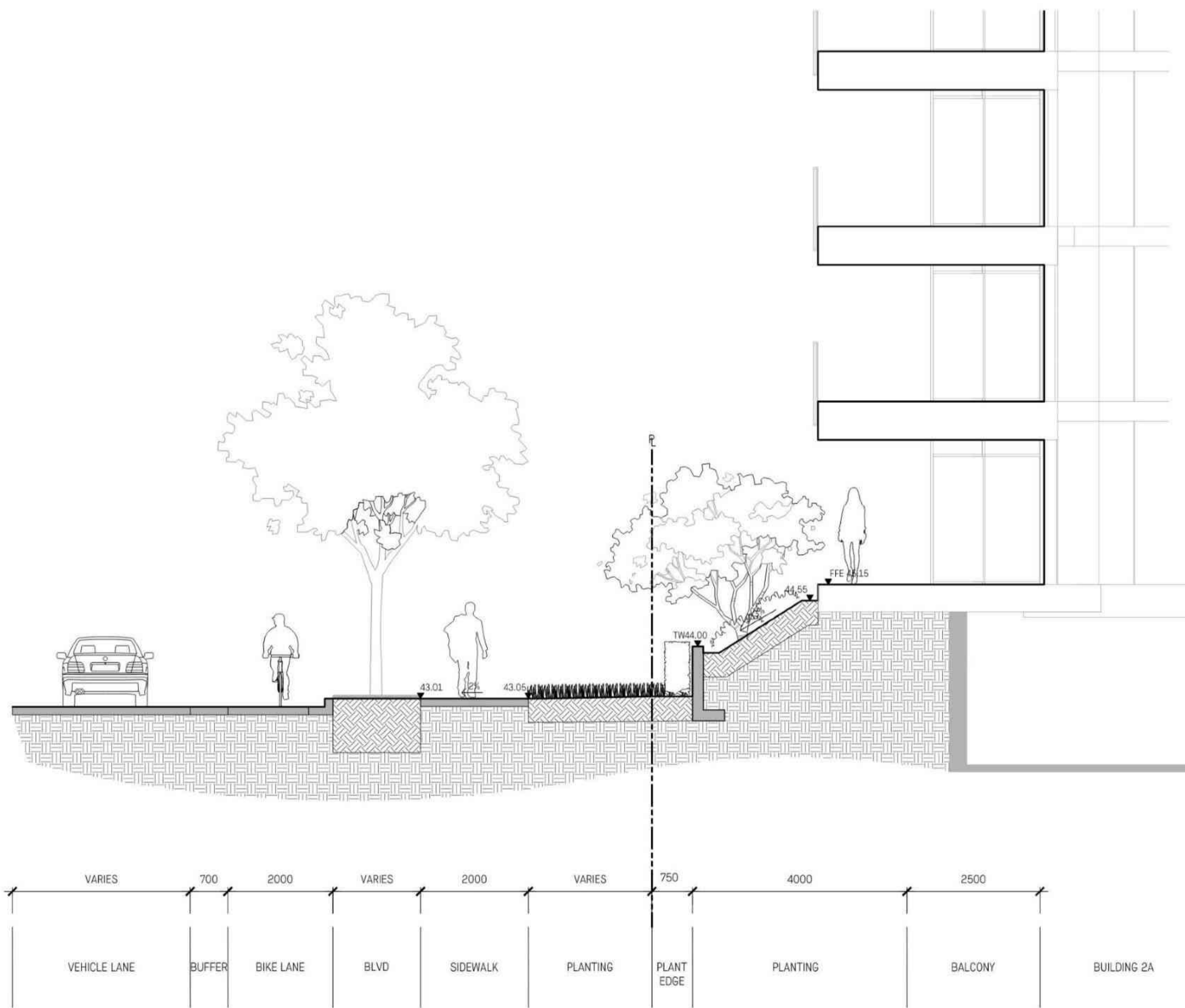


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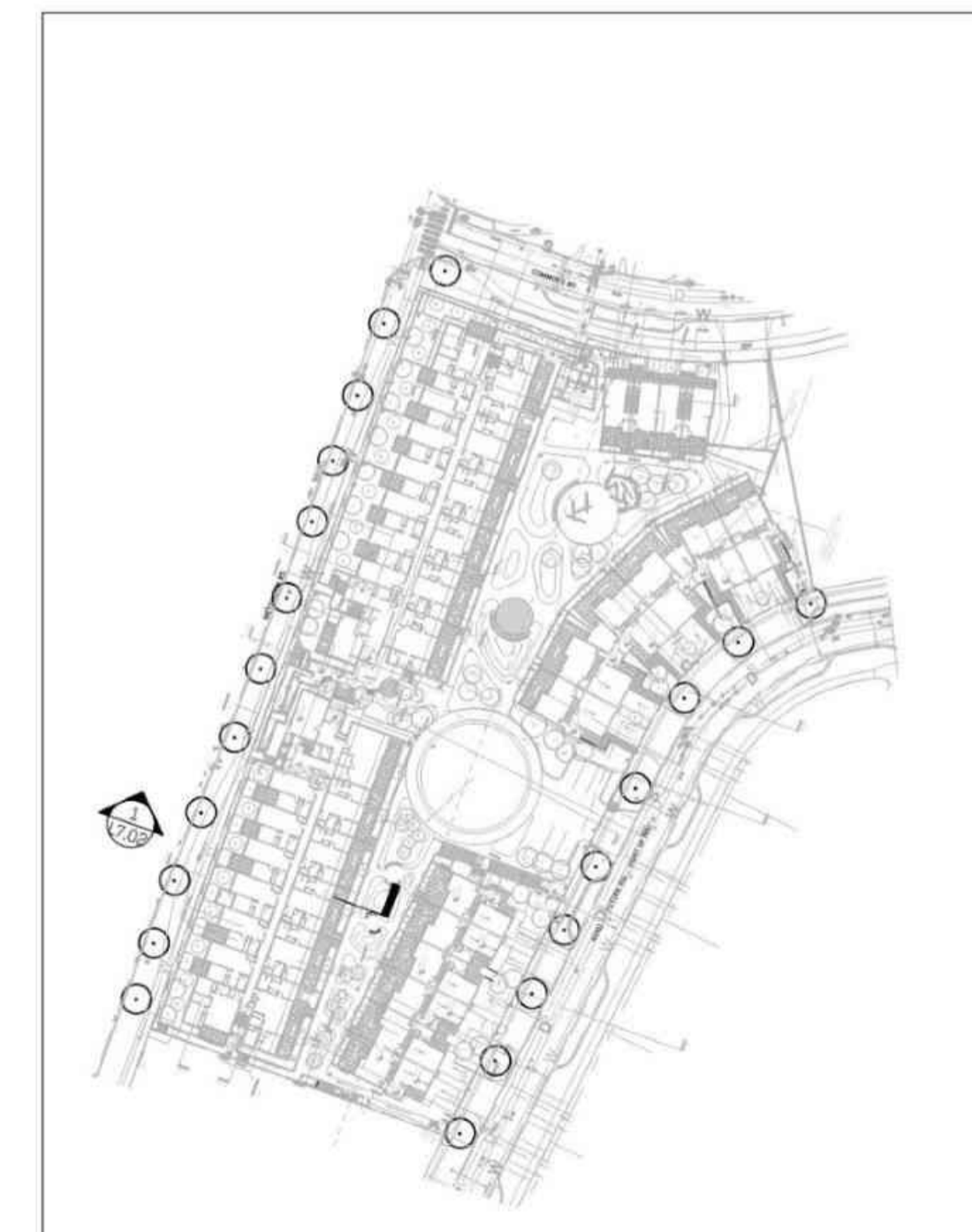
**The Beachlands
2ABC**

Landscape Sections

Date	Mar. 03/23	Drawing Number
Project No.	2230	L7.01
Scale	AS SHOWN	
Drawn/Checked	KW JF	



1 METCHOSIN RD AT BLDG 2A
1:50



2 KEY PLAN
1:1000

No.	Description	Date
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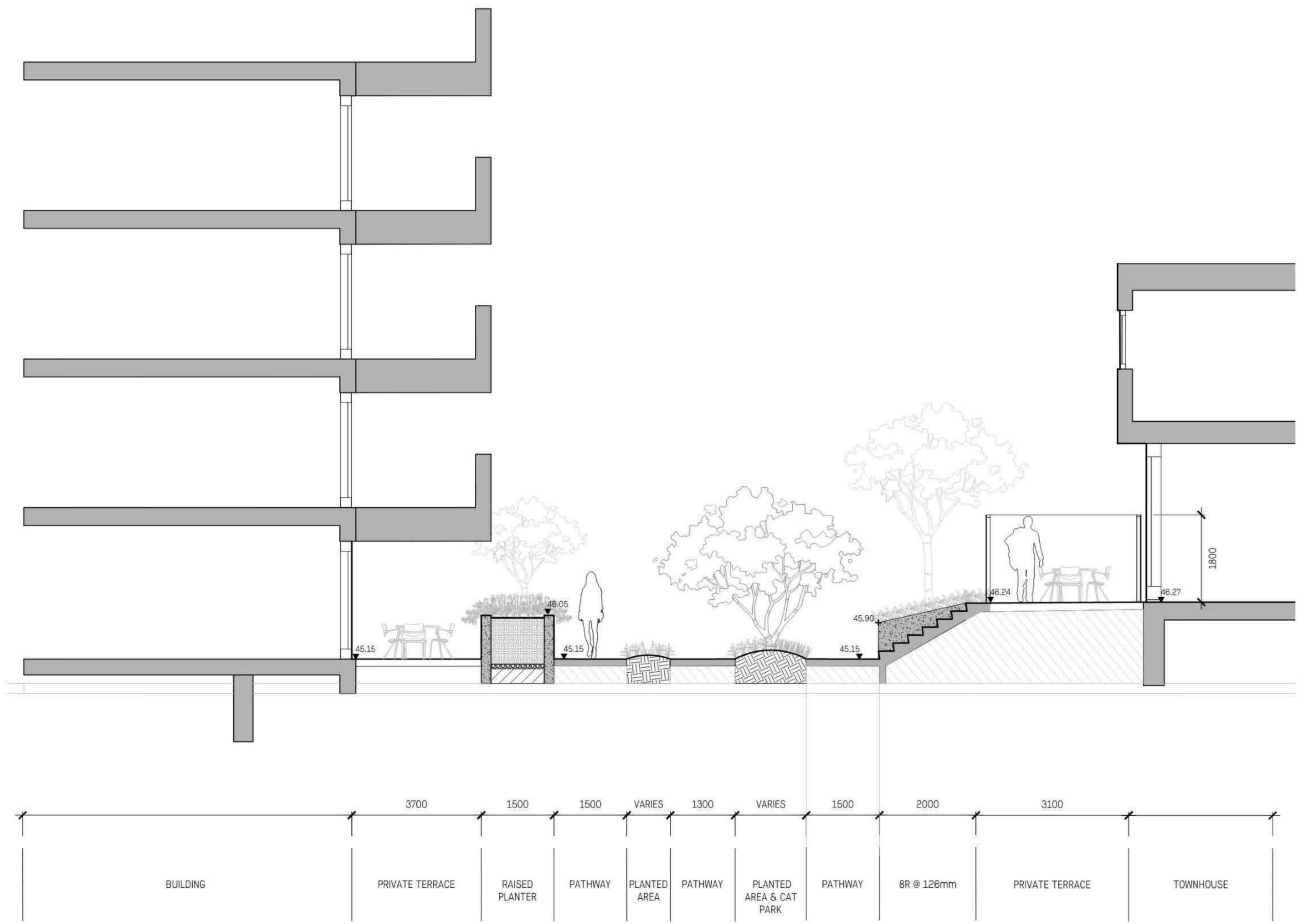
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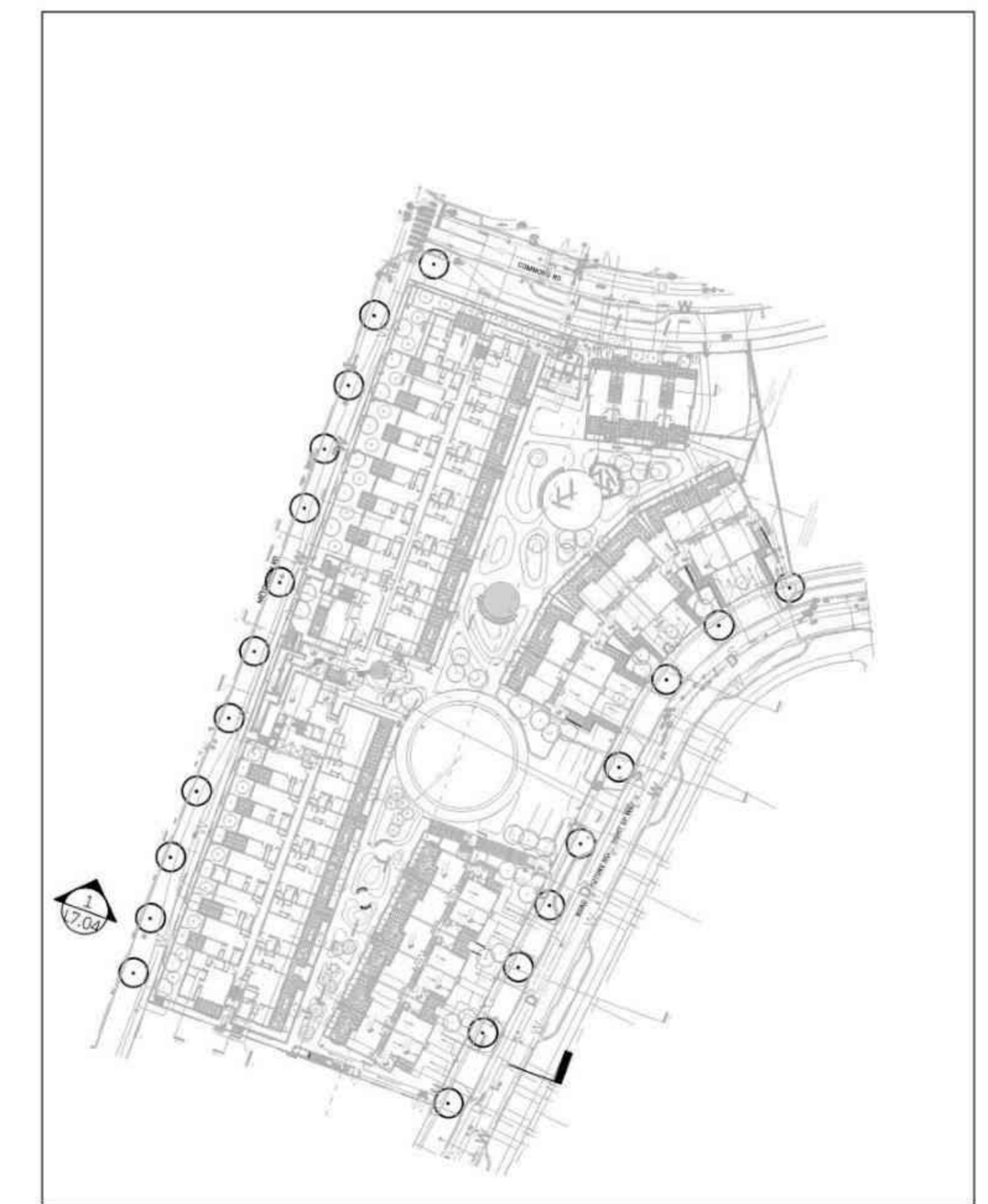
Landscape Sections

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	AS SHOWN	L7.02
Drawn/Checked	KW JF	





1 COURTYARD BETWEEN BLDG A AND TOWNHOUSE
L7.04 1:50



2 KEY PLAN
L7.04 1:1000

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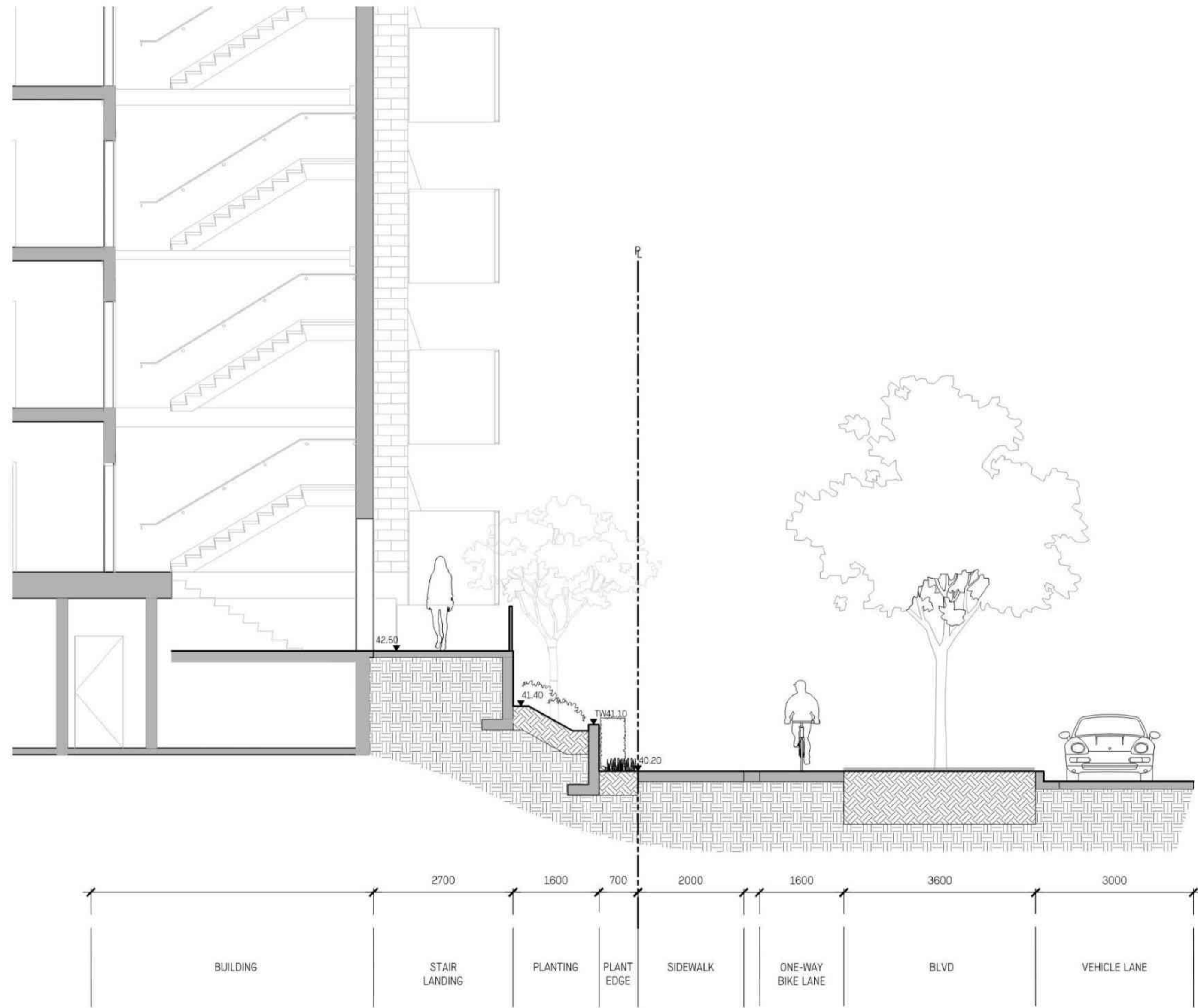


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**The Beachlands
2ABC**

Landscape Sections

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	AS SHOWN	L7.04
Drawn/Checked	KW JF	



1 COMMON RD AT BLDG B
L7.05 1:50



2 KEY PLAN
L7.05 1:1000

No.	Description	Date
5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23

No. Description Date



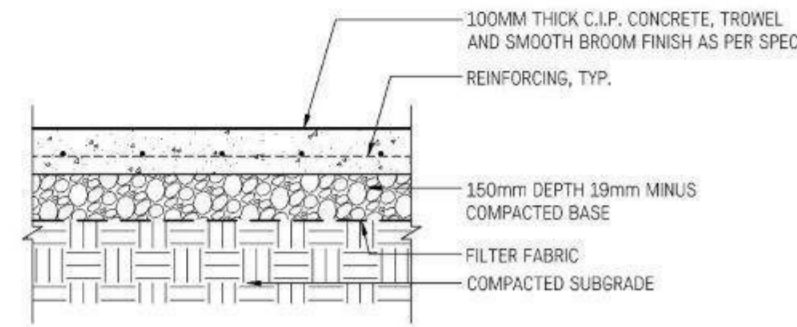
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The Beachlands 2ABC

Landscape Sections

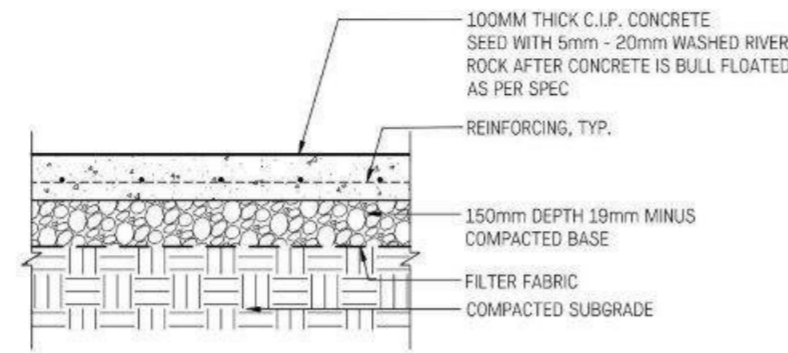
Date	Mar. 03/23	Drawing Number	
Project No.	2230		
Scale	AS SHOWN		L7.05
Drawn/Checked	KW JF		

- NOTES:
1. REFER TO SPECIFICATION FOR GENERAL CONDITIONS;
 2. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH;
 3. CUT JOINTS BEFORE RANDOM CRACKING OCCURS.

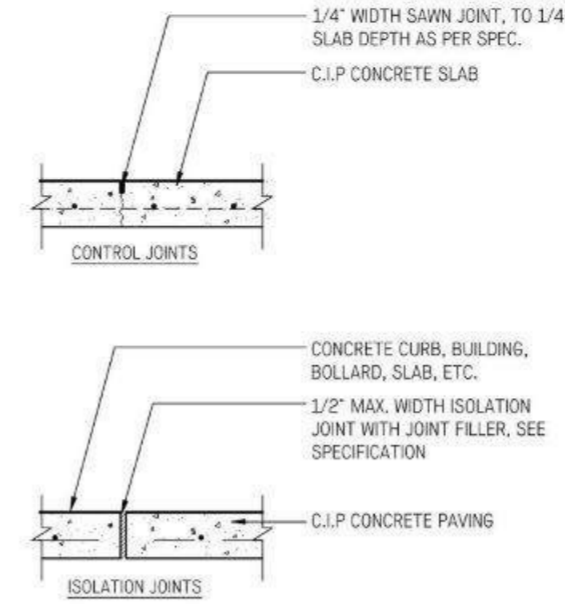


1 PAVING TYPE A - CIP CONCRETE c/w BROOM FINISH
L8.10 1:10

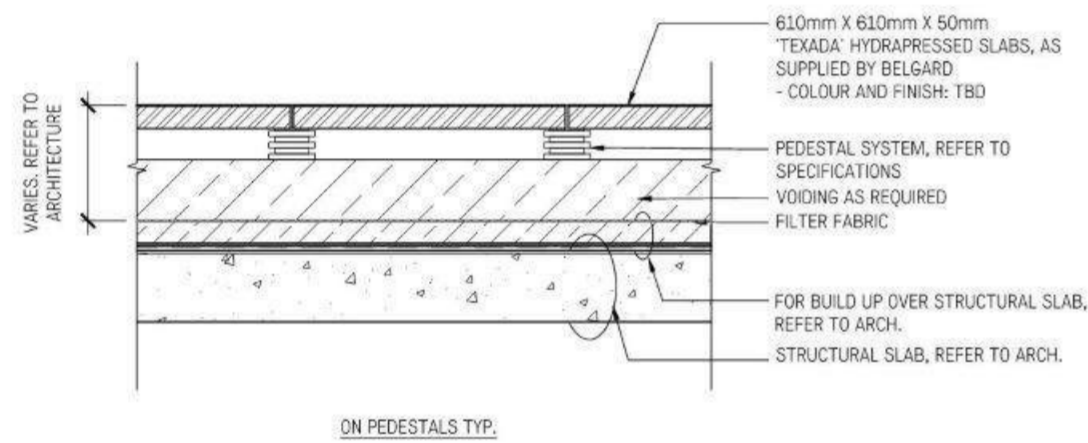
- NOTES:
1. REFER TO SPECIFICATION FOR GENERAL CONDITIONS;
 2. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH;
 3. CUT JOINTS BEFORE RANDOM CRACKING OCCURS.



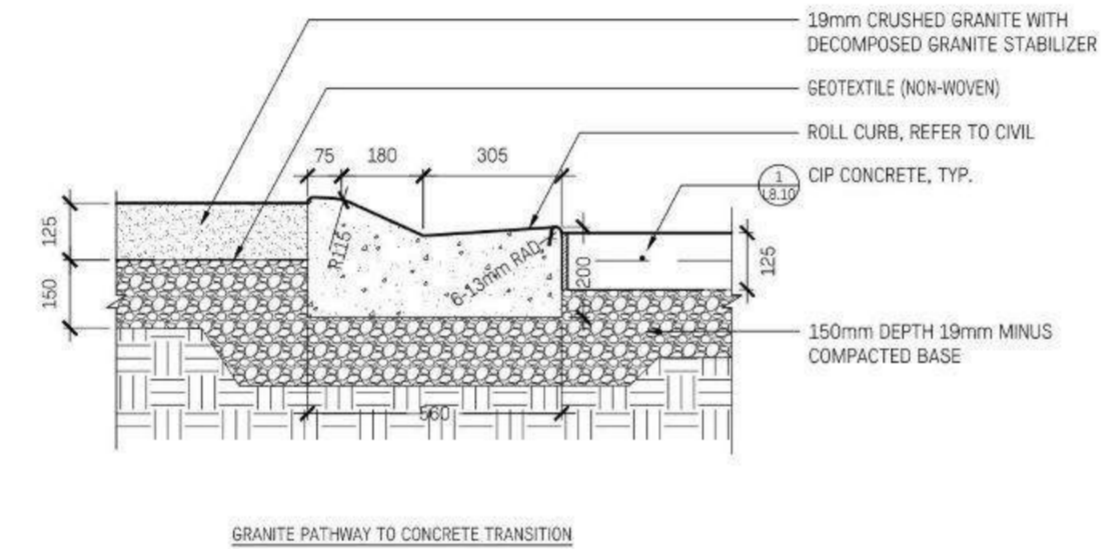
2 PAVING TYPE B - CIP CONCRETE c/w EXPOSED AGGREGATE
L8.10 1:10



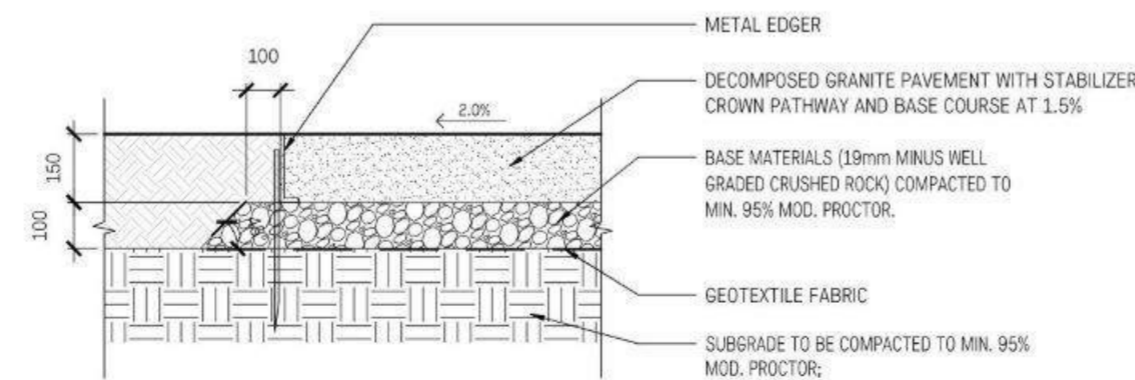
3 CIP CONCRETE PAVING JOINTS
L8.10 1:10



4 HYDRAPRESSED SLAB PAVERS
L8.10 1:10

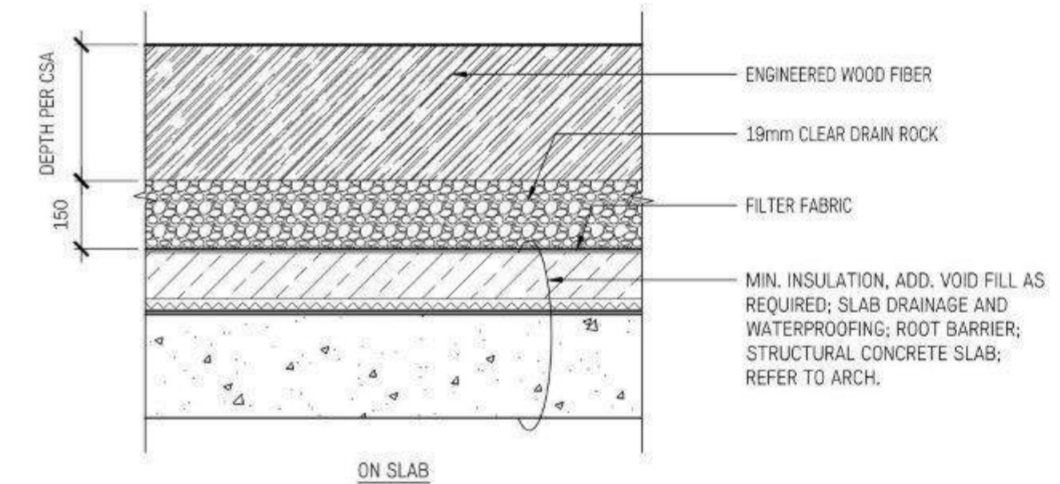


- NOTES:
1. INSTALL CRUSHER FINES IN 6" TRENCH. FINES TO BE COMPACTED UNTIL MATERIAL IS FIRMLY LOCKED TOGETHER.
 2. MATERIALS SHALL BE A MIN. 6" DEEP AFTER COMPACTION.
 3. CROSS SLOPES SHALL BE 1.5% WITH NO DEPRESSIONS TO COLLECT WATER.



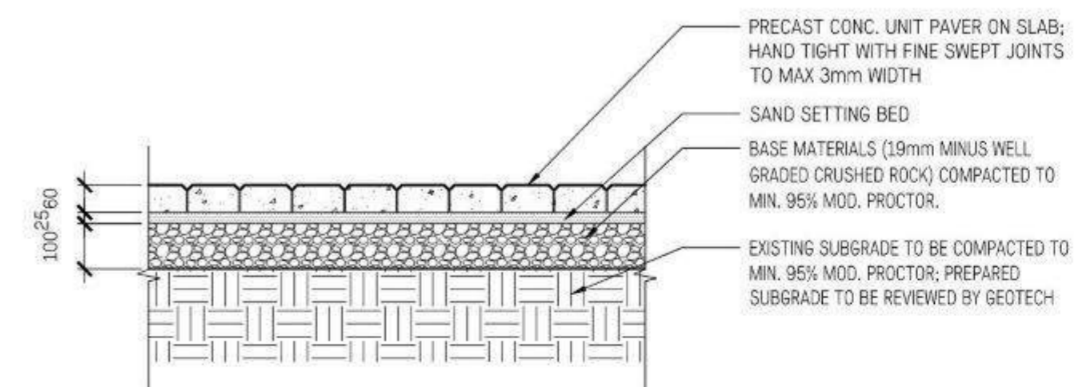
5 DECOMPOSED GRANITE PATHWAY
L8.10 1:10

- NOTES:
1. INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

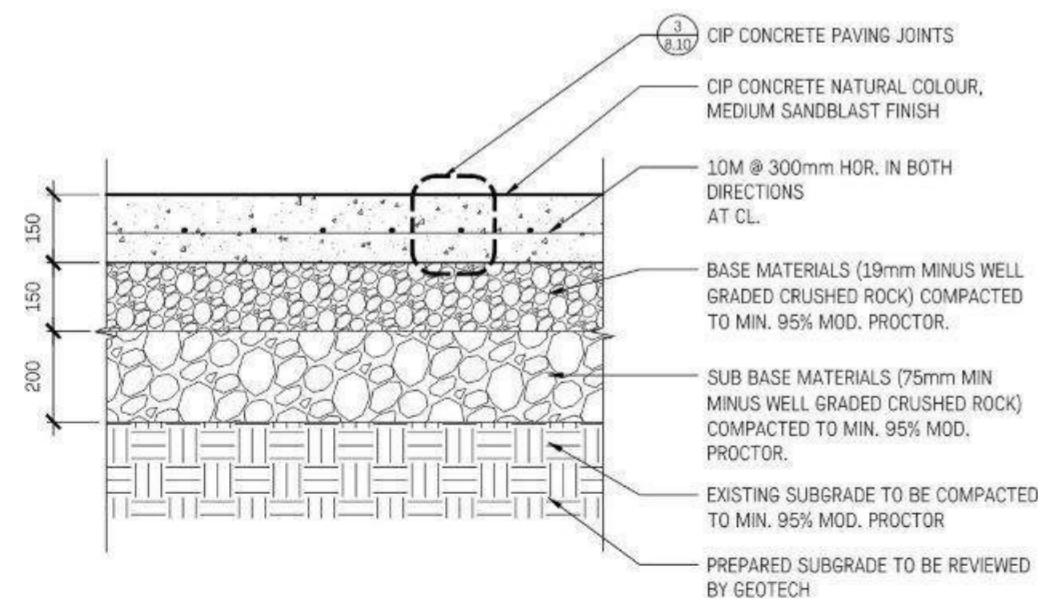


6 ENGINEERED WOOD FIBRE SAFETY SURFACING
L8.10 1:10

- NOTES:
1. DO NOT CUT PAVERS TO MEET DIMENSIONS ON PLAN. CONFIRM WITH LANDSCAPE ARCHITECT IN FIELD.



8 PRECAST UNIT PAVERS
L8.10 1:10



7 PAVING TYPE C - CIP CONCRETE (VEHICULAR)
L8.10 1:10

5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23

No.	Description	Date
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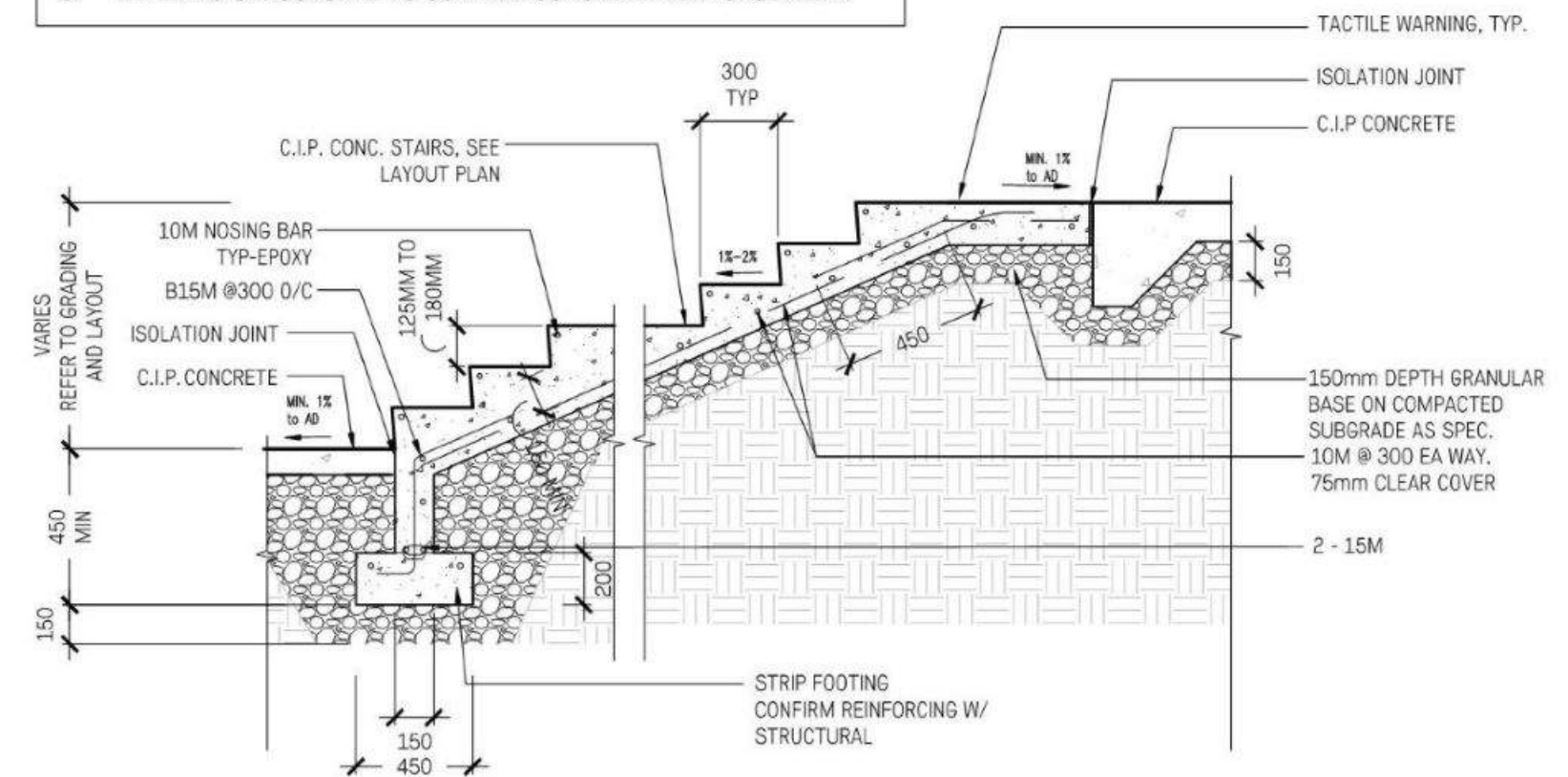
The Beachlands 2ABC

Landscape Details

Paving

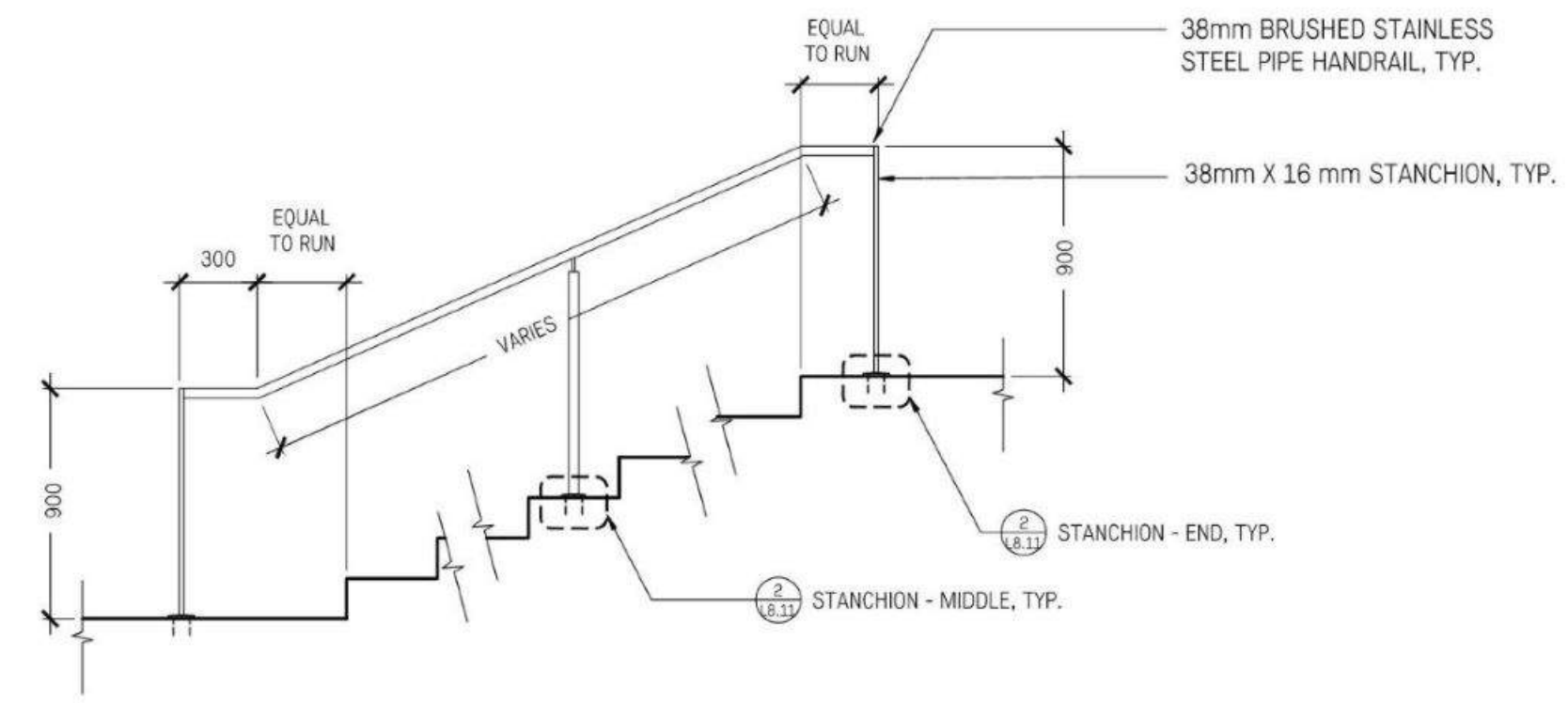
Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	As indicated	L8.10
Drawn/checked	KW JF	

NOTES:
 1. REFER TO GRADING PLAN FOR TOP/BOTTOM OF STAIR ELEVATIONS;
 2. REFER TO SPECIFICATIONS FOR CONCRETE FINISHES;
 3. REFER TO STRUCTURAL TO CONFIRM CONCRETE REINFORCEMENT.

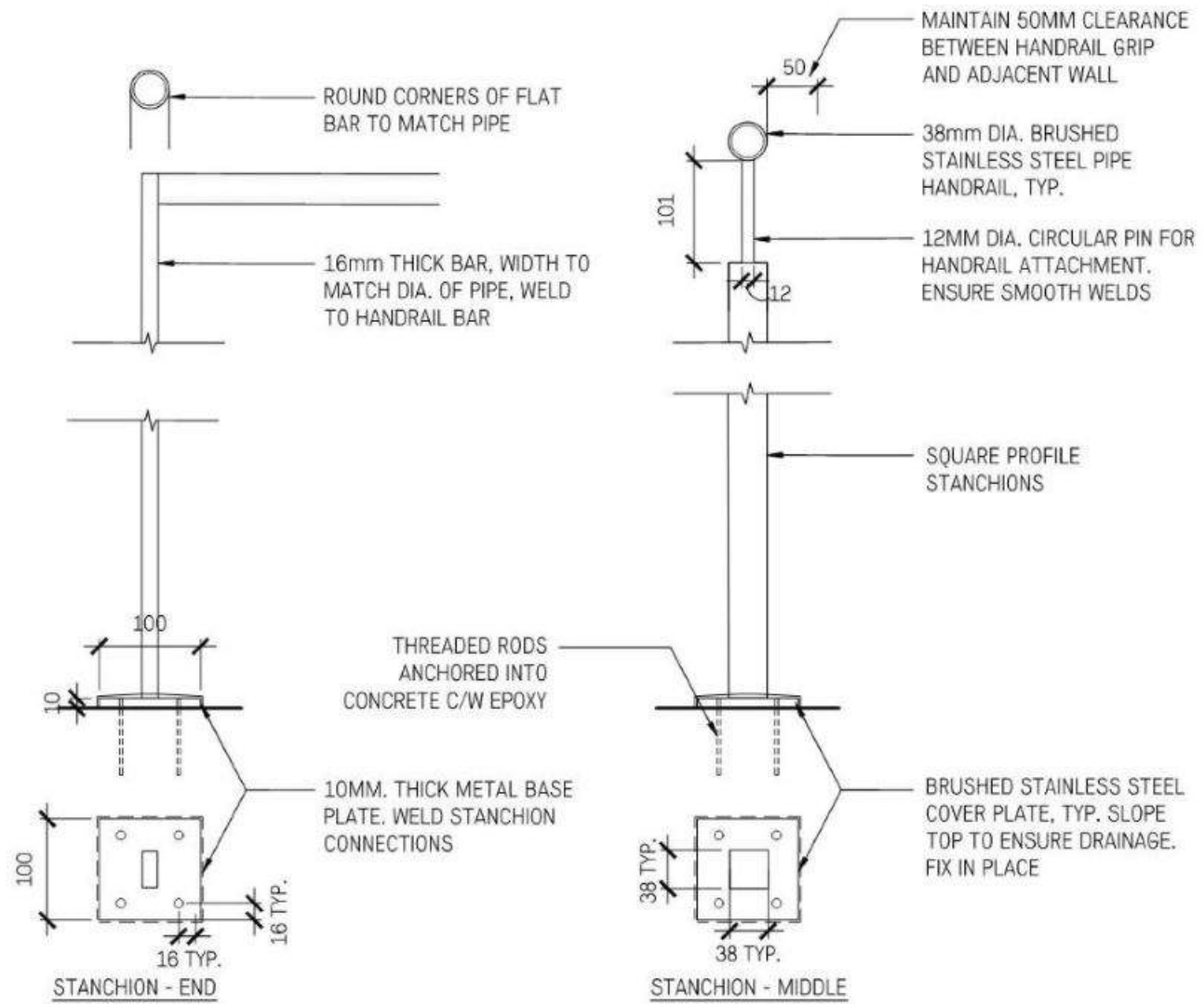


1 CIP CONCRETE STAIRS
 L8.20 1:20

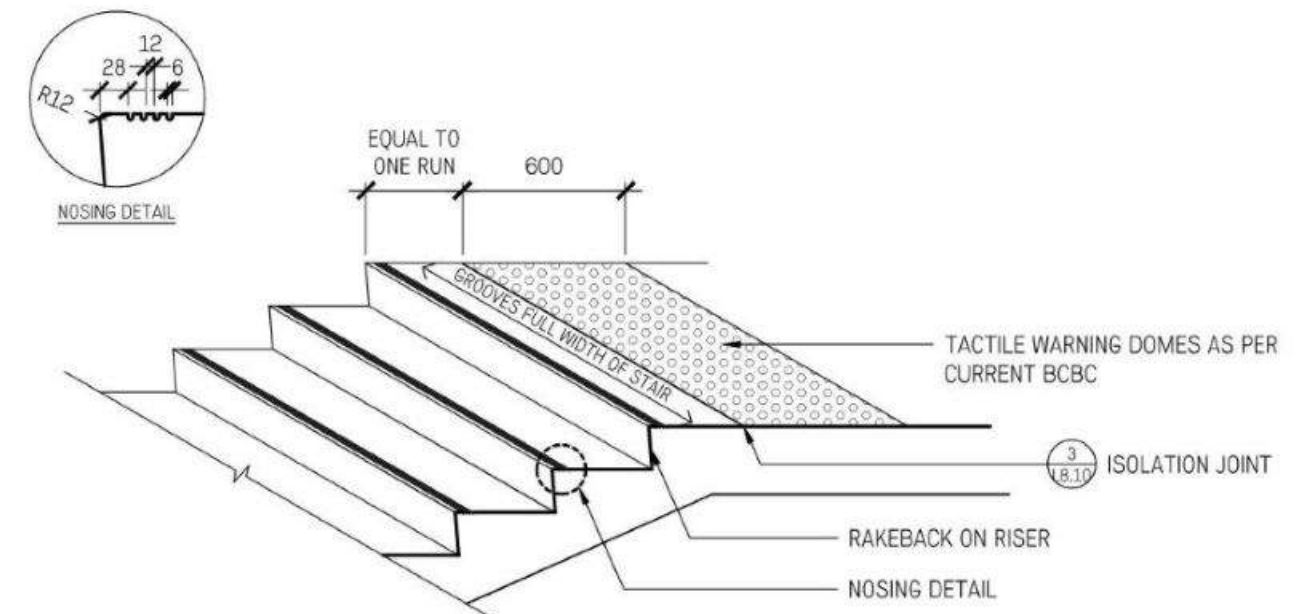
NOTES:
 1. REFER TO GRADING AND LAYOUT PLAN FOR TOP/BOTTOM OF STAIR ELEVATIONS AND HANDRAIL LENGTHS;
 2. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF HANDRAILS & STANCHIONS;
 3. STAINLESS STEEL
 4. GRIND ALL CUT/WELDED SURFACES TO SMOOTH UNIFORM FINISH. BLEND ALL SEAMS;
 5. PROVIDE SHOP DRAWINGS STAMPED BY STRUCTURAL ENGINEER.



2 HANDRAIL
 L8.20 1:20



3 HANDRAIL MOUNT
 L8.20 1:5



4 CAST-IN-PLACE STEPS FINISH & TACTILE WARNING
 L8.20 1:20

5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23

No.	Description	Date
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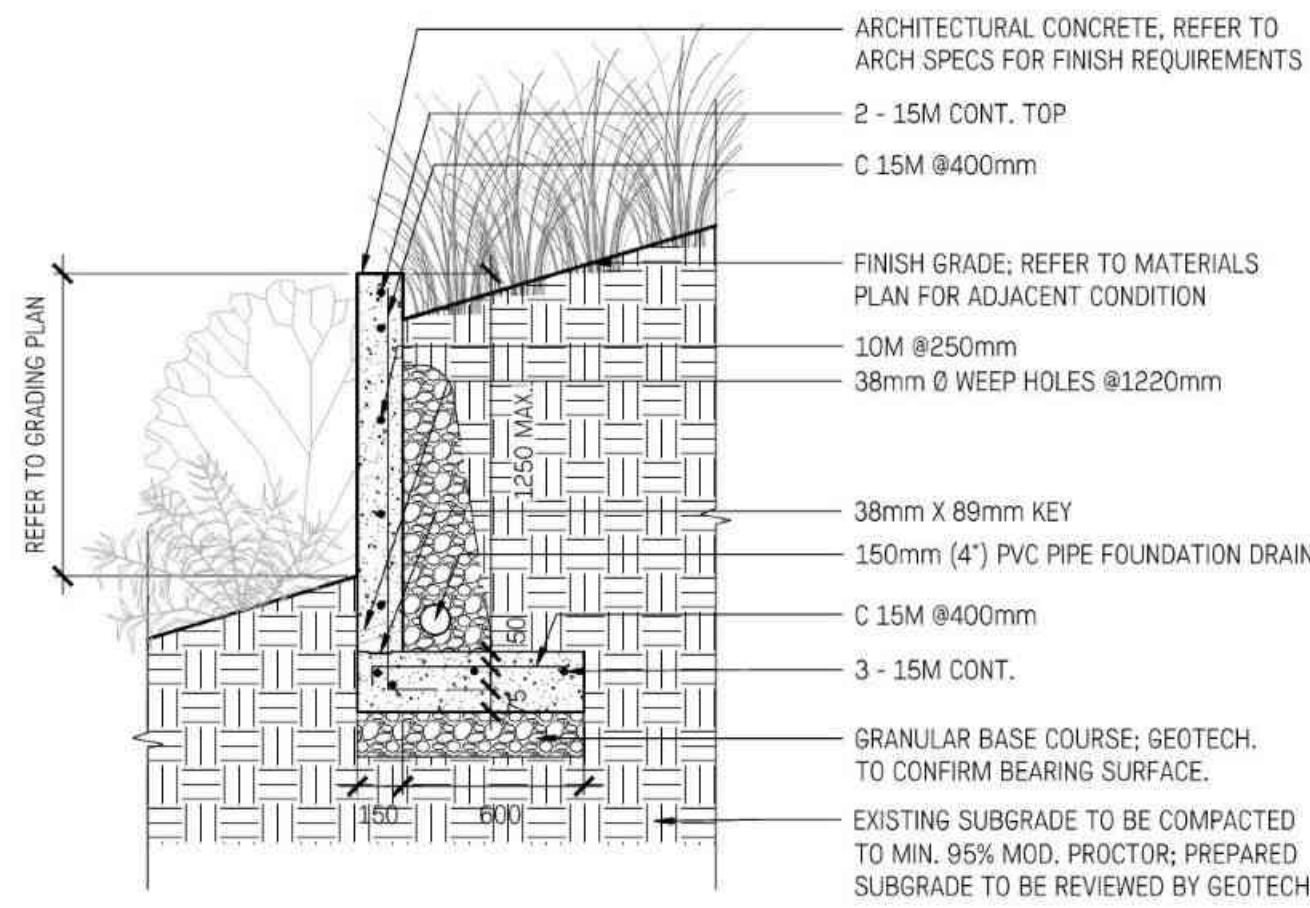
The Beachlands 2ABC

Landscape Details

Walls and Stairs

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	As indicated	L8.20
Drawn/Checked	KW JF	

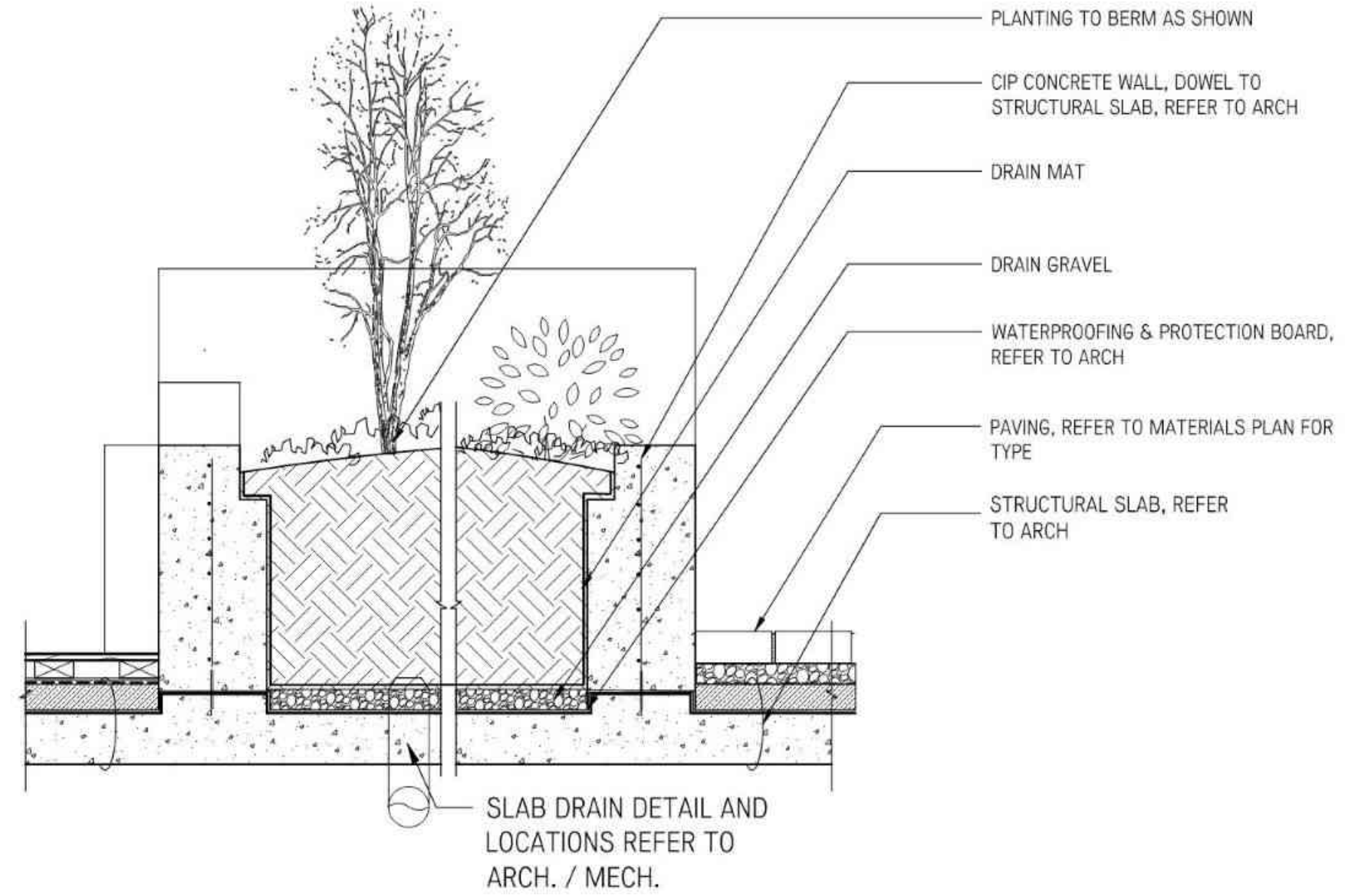
- NOTES:
1. GEOTECH TO CONFIRM STABILITY OF SLOPE;
 2. CONFIRM WALL HEIGHT WITH GRADING PLAN;
 3. F'C MIN 25 MPA @28 DAYS;
 4. DO NOT BACKFILL UNTIL CONCRETE HAS REACHED 28 DAY STRENGTH.



SECTION

1 LANDSCAPE RETAINING WALL
L8.21 1:20

- NOTES:
- REFER TO ARCHITECTURE FOR WALL DETAILS
 - REFER TO STRUCTURAL FOR GENERAL NOTES ON FOOTING DEPTHS AND REINFORCEMENT.



2 CIP CONCRETE PLANTER, TYP.
L8.21 1:20

5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23

No.	Description	Date
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The Beachlands
2ABC

Landscape Details

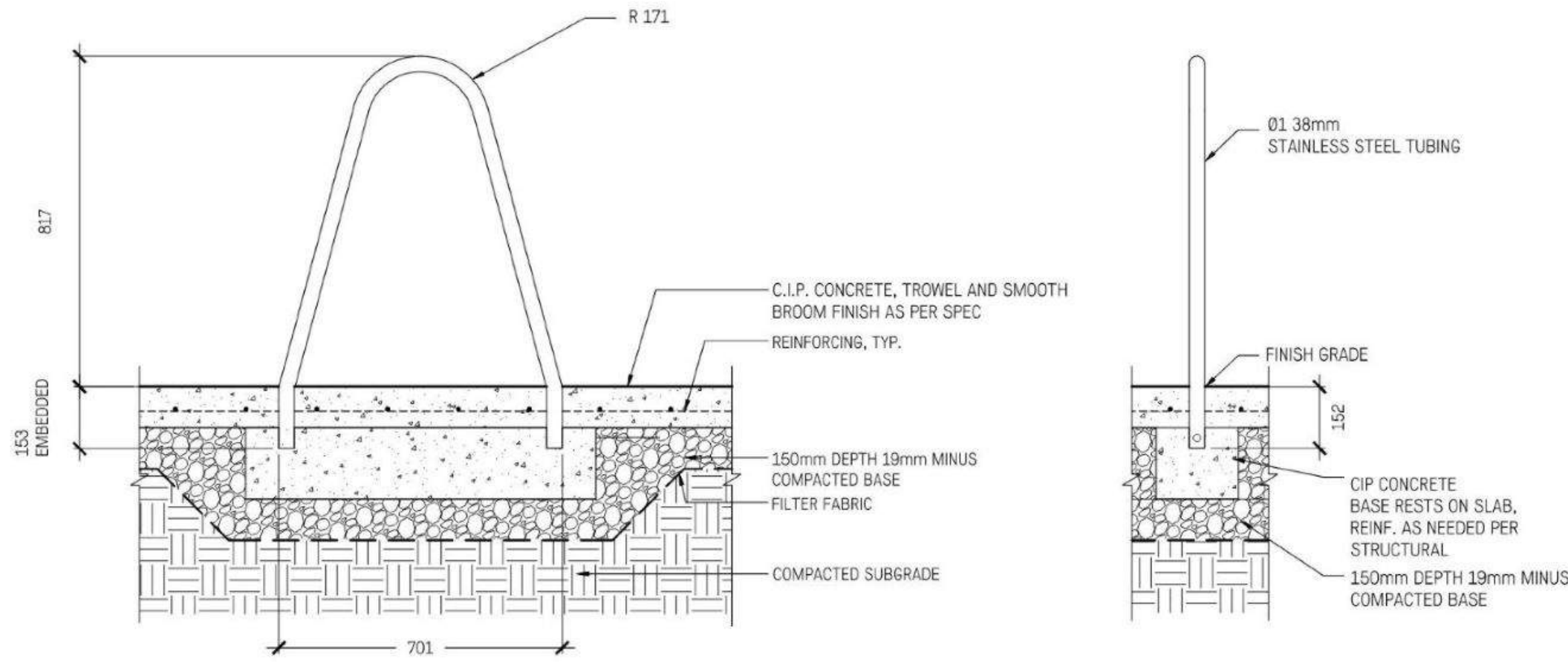
Walls and Stairs

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	As indicated	L8.21
Drawn/Checked	KW JF	

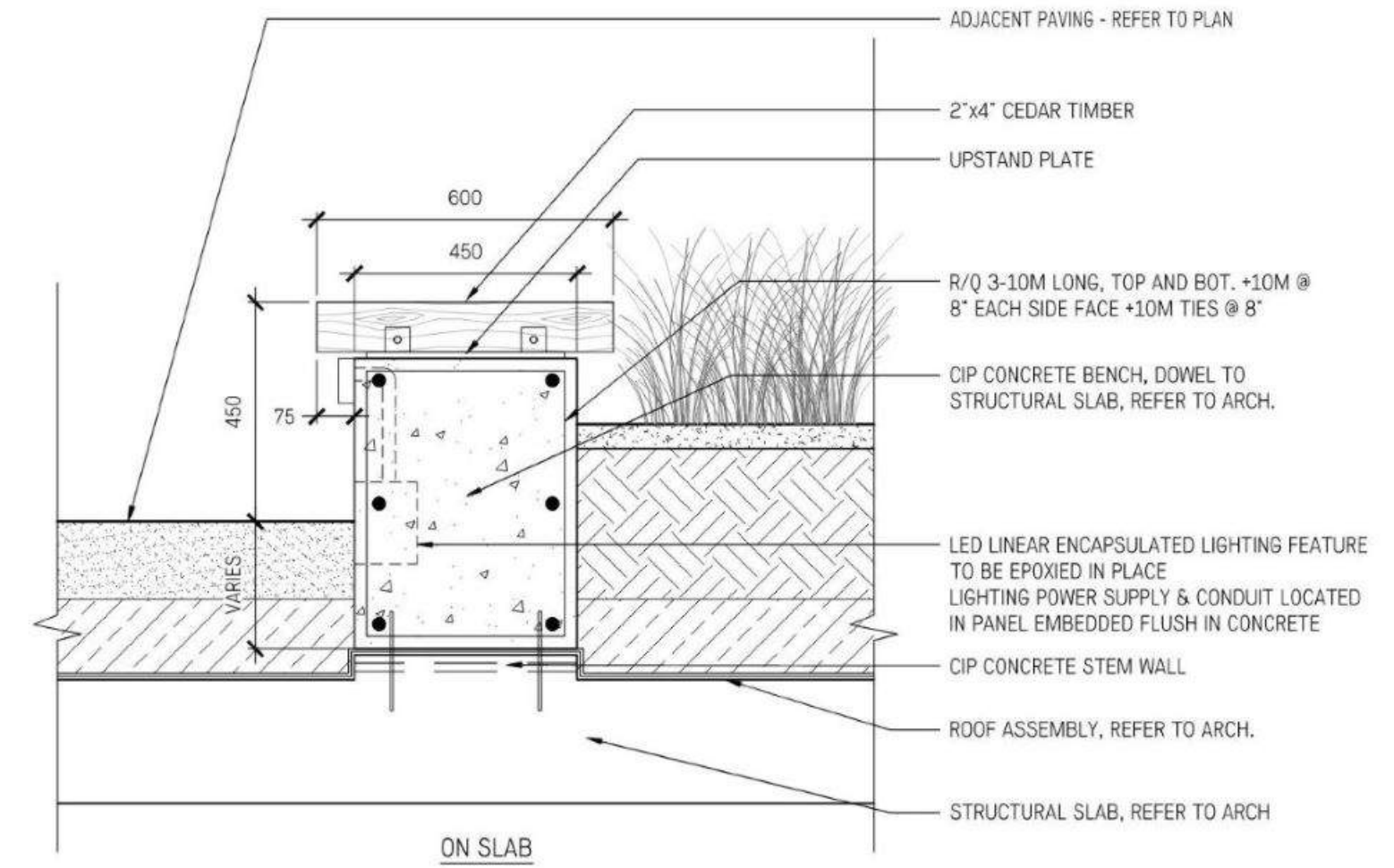


NOTES:

1. INSTALL PER MANUFACTURER'S INSTRUCTION
2. BOLA RACK IN STAINLESS STEEL BY LANDSCAPE FORMS



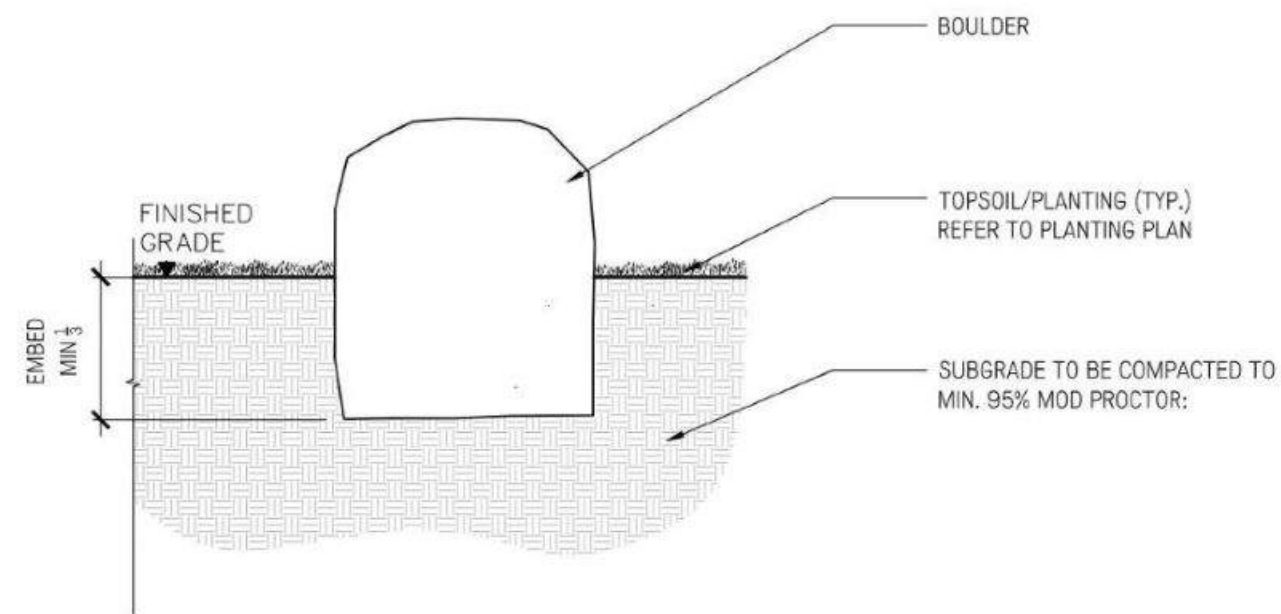
1 BIKE RACK
L8.30 1:10



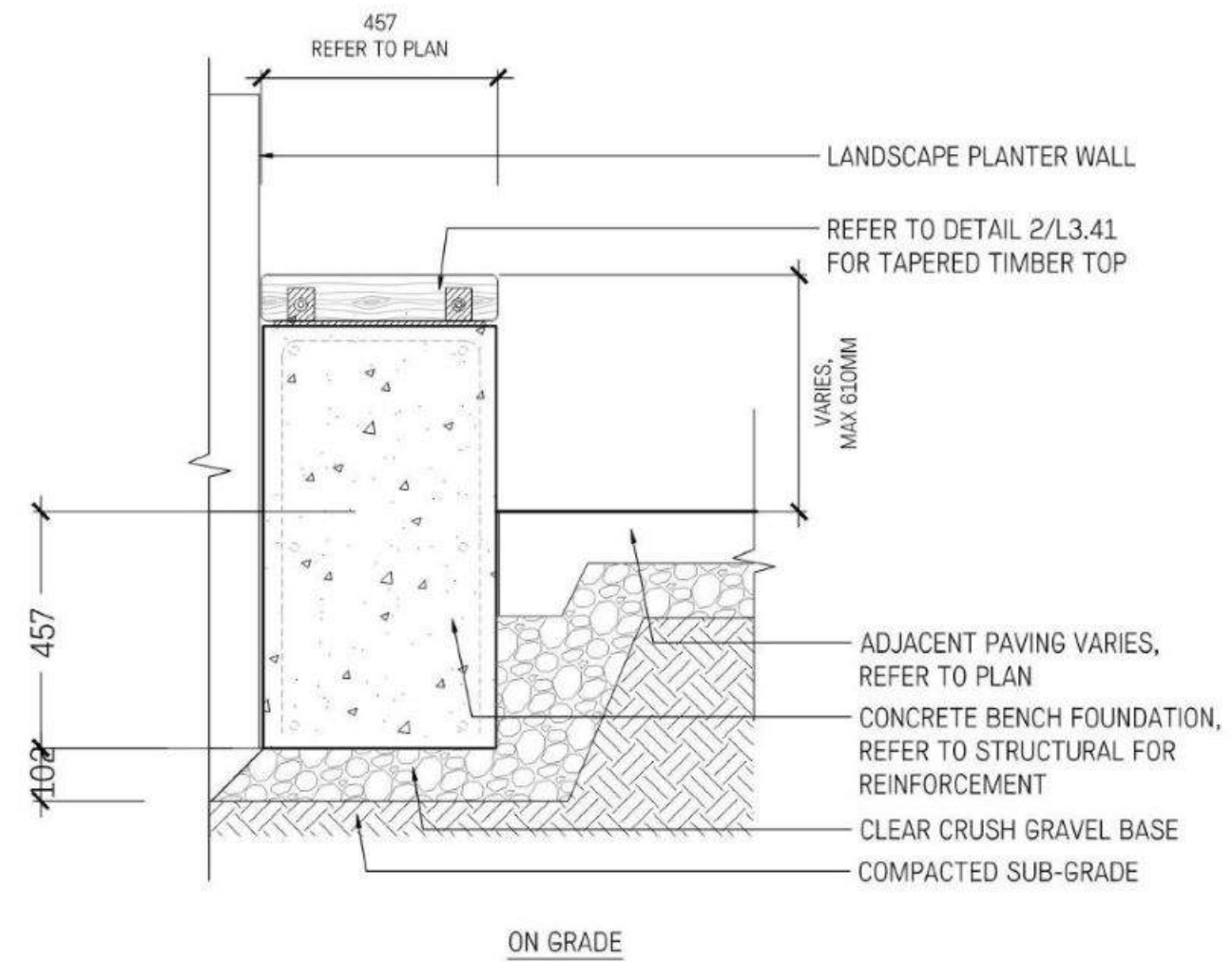
2 CUSTOM TIMBER BENCH
L8.30 1:10

NOTES:

1. BOULDER TO BE BURIED A MINIMUM OF 1/3 OF TOTAL HEIGHT.



3 LANDSCAPE BOULDER
L8.30 1:20



4 CUSTOM TIMBER BENCH, TYPE 2
L8.30 1:10

No.	Description	Date
5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23



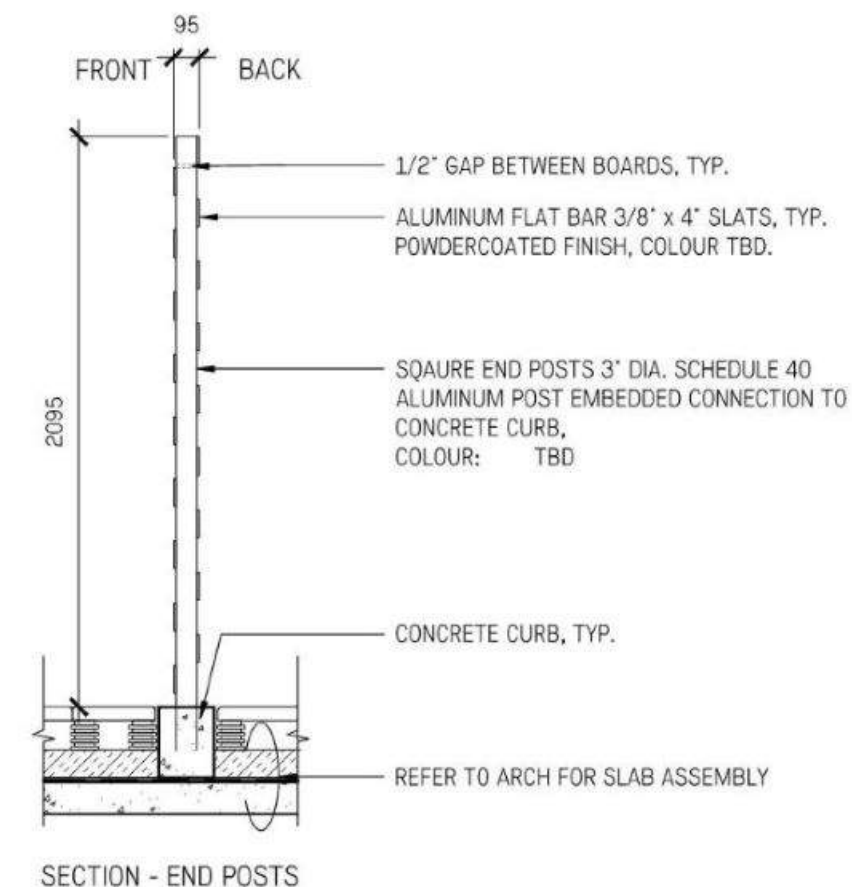
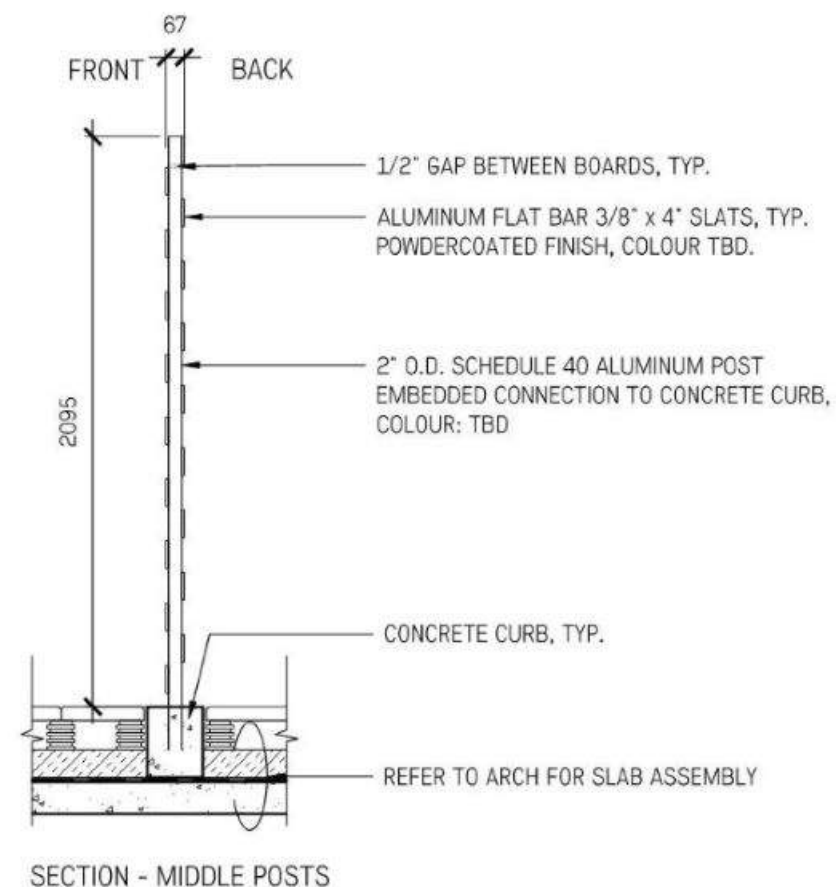
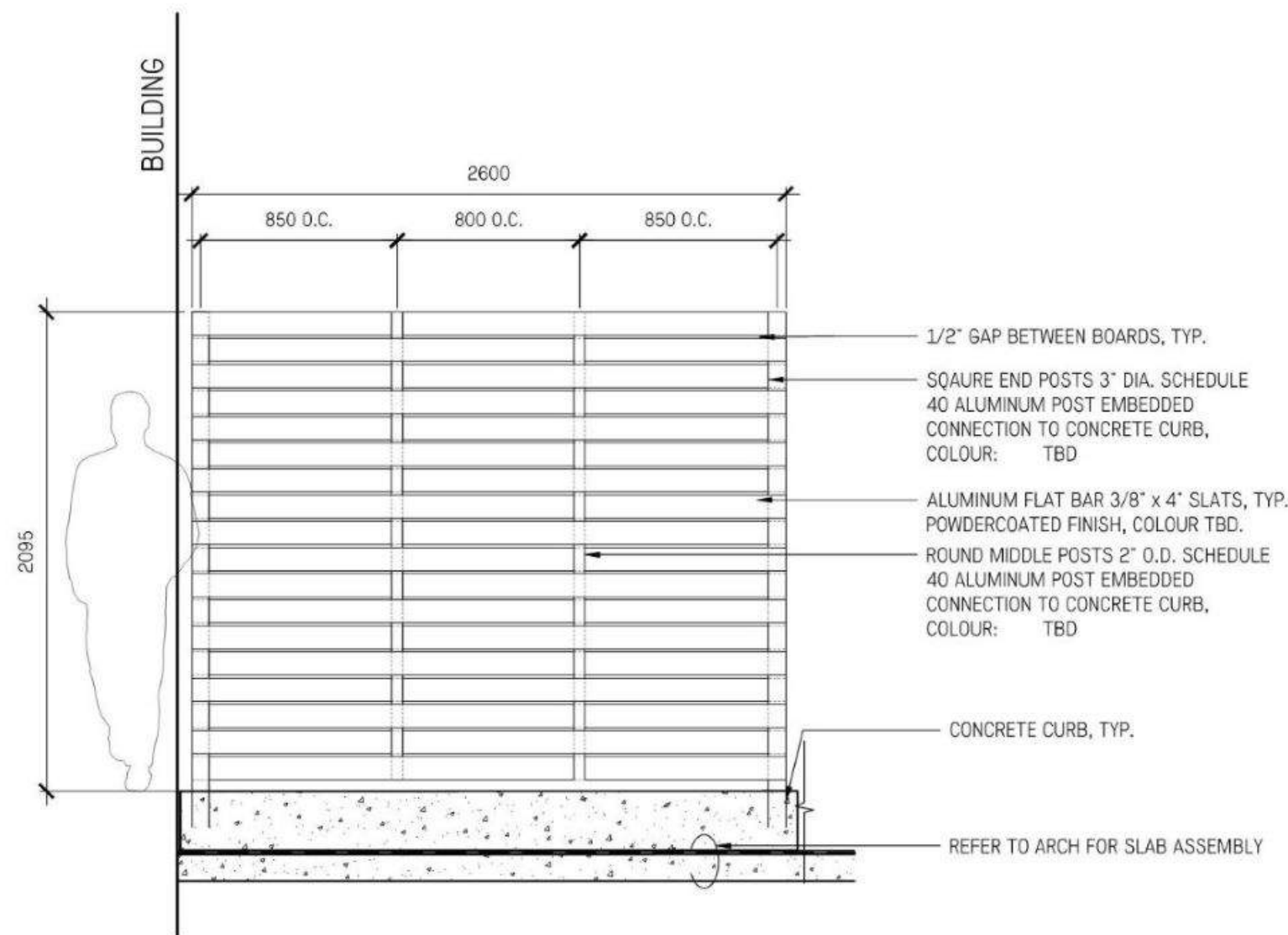
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The Beachlands 2ABC

Landscape Details

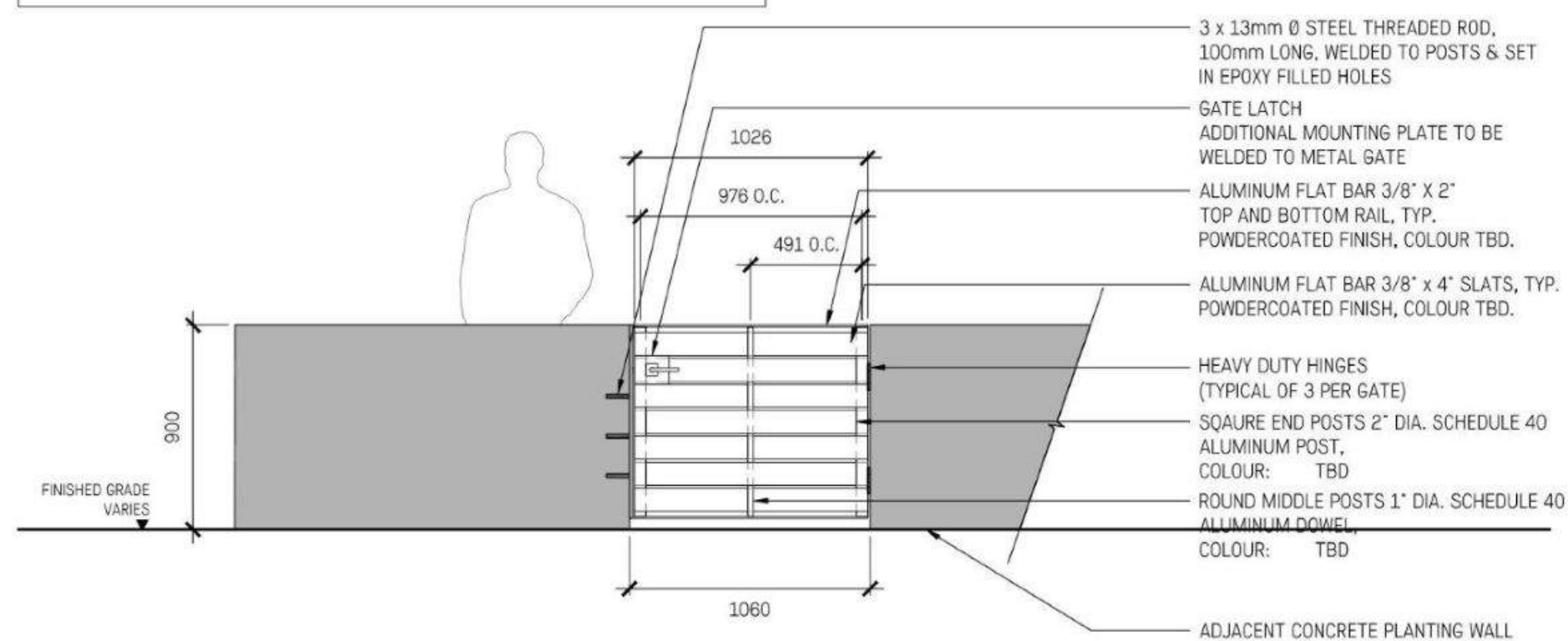
Site Furnishings

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	As indicated	L8.30
Drawn/Checked	KW JF	

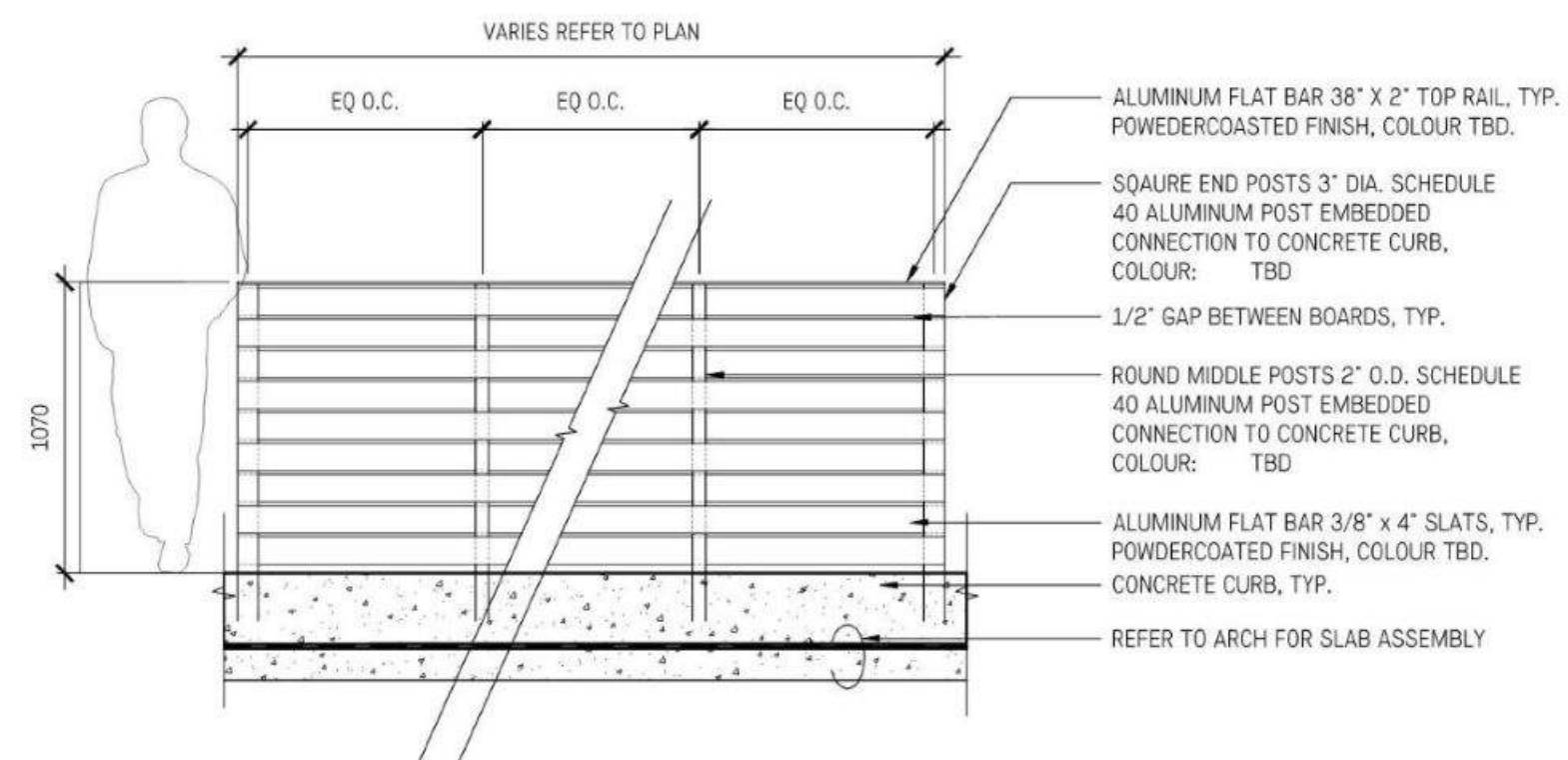


1 HORIZONTAL METAL SLAT PRIVACY SCREEN
1:20

- NOTES:
1. FIELD CONFIRM ALL GATE DIMENSIONS BEFORE FABRICATION;
 2. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FABRICATION;
 3. METAL POST AND BRACKETS TO BE PAINTED GALVANIZED STEEL, COLOUR TBD;
 4. REFER TO GRADING PLAN FOR TOP/BOTTOM OF WALL ELEVATIONS.



2 GATE DETAIL
1:20



3 HORIZONTAL METAL SLAT GUARDRAIL
1:20

No.	Description	Date
5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23

No.	Description	Date
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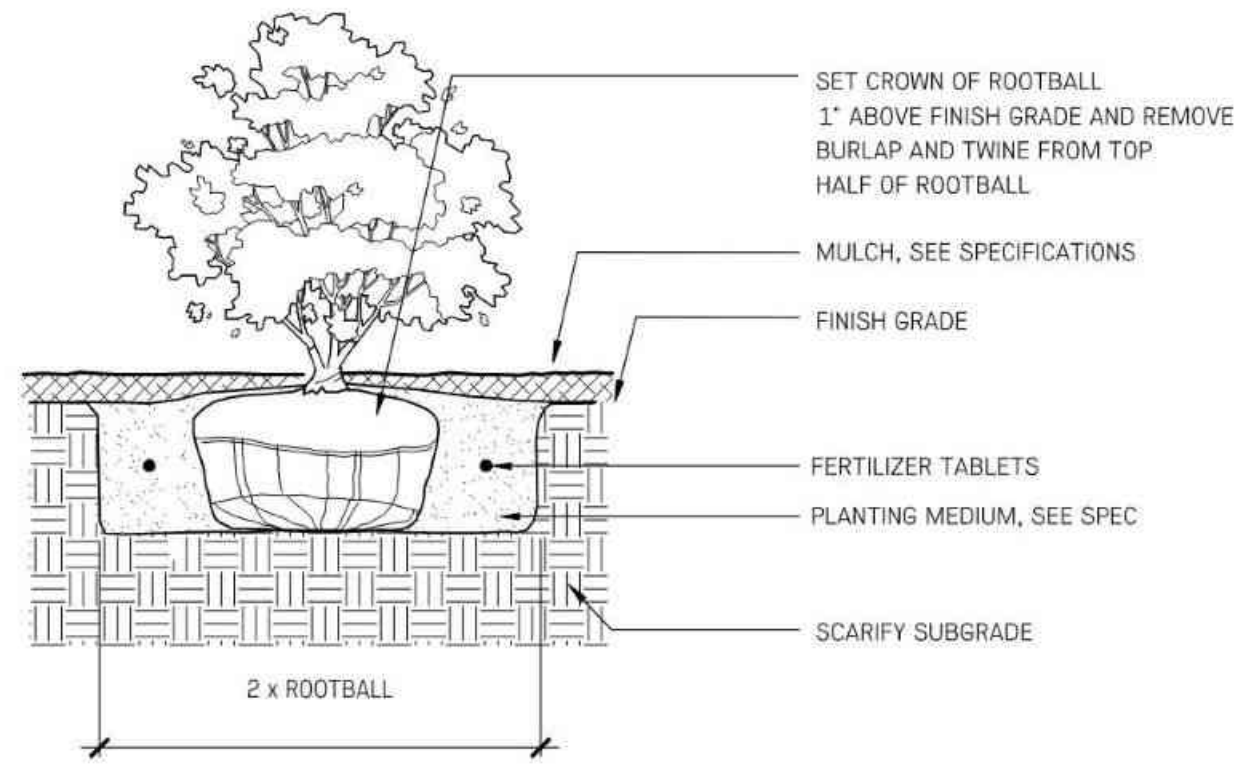
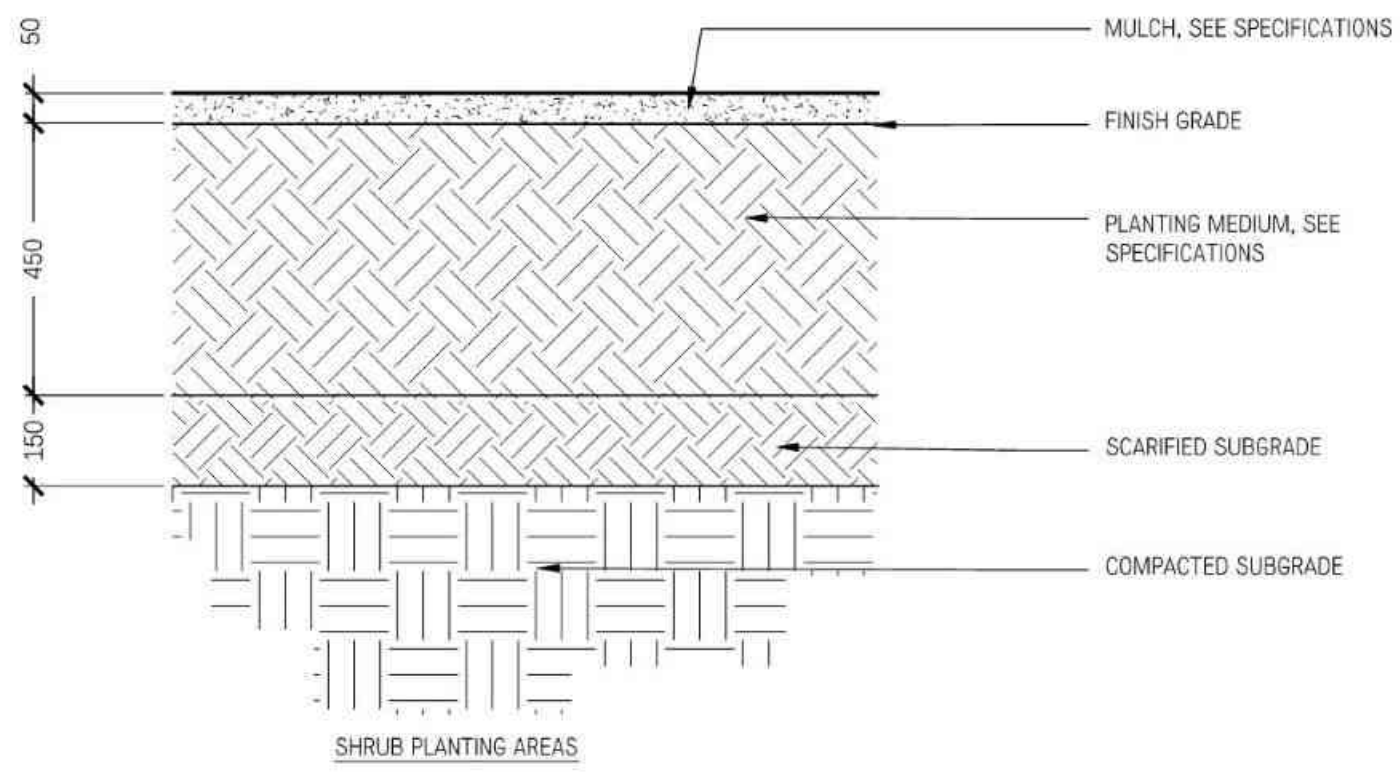
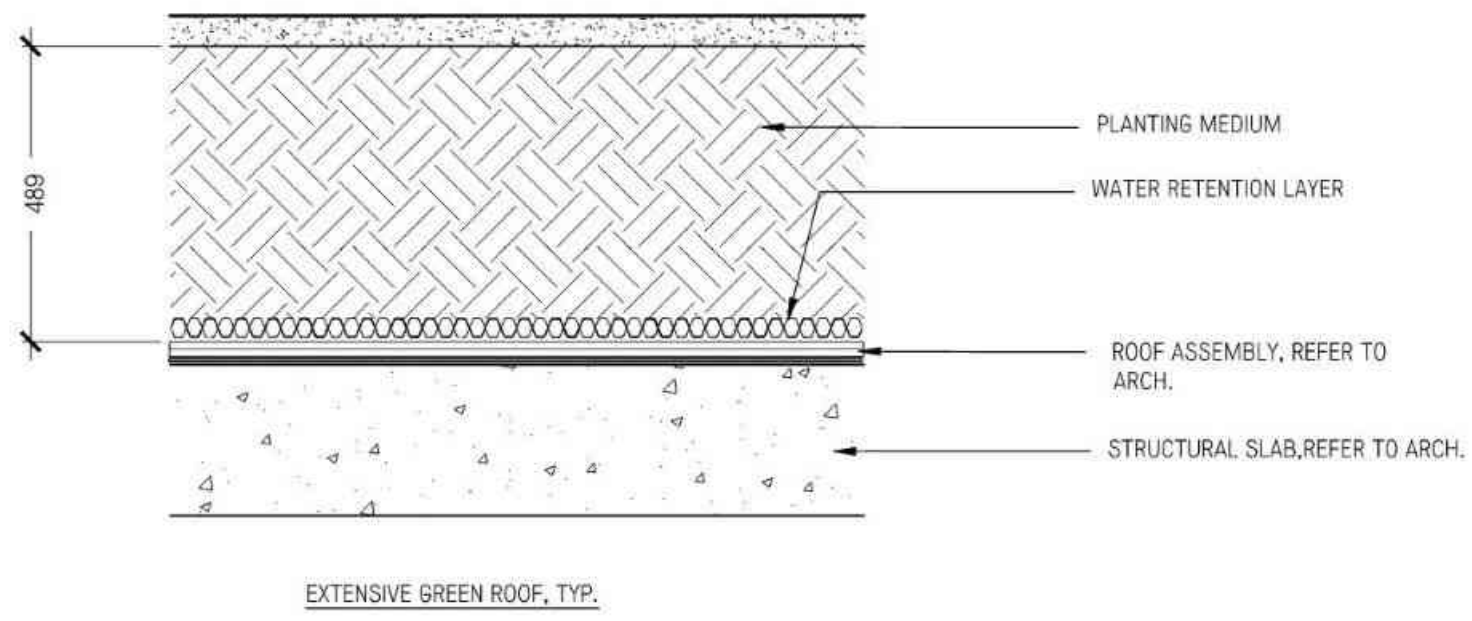
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The Beachlands
2ABC

Landscape Details

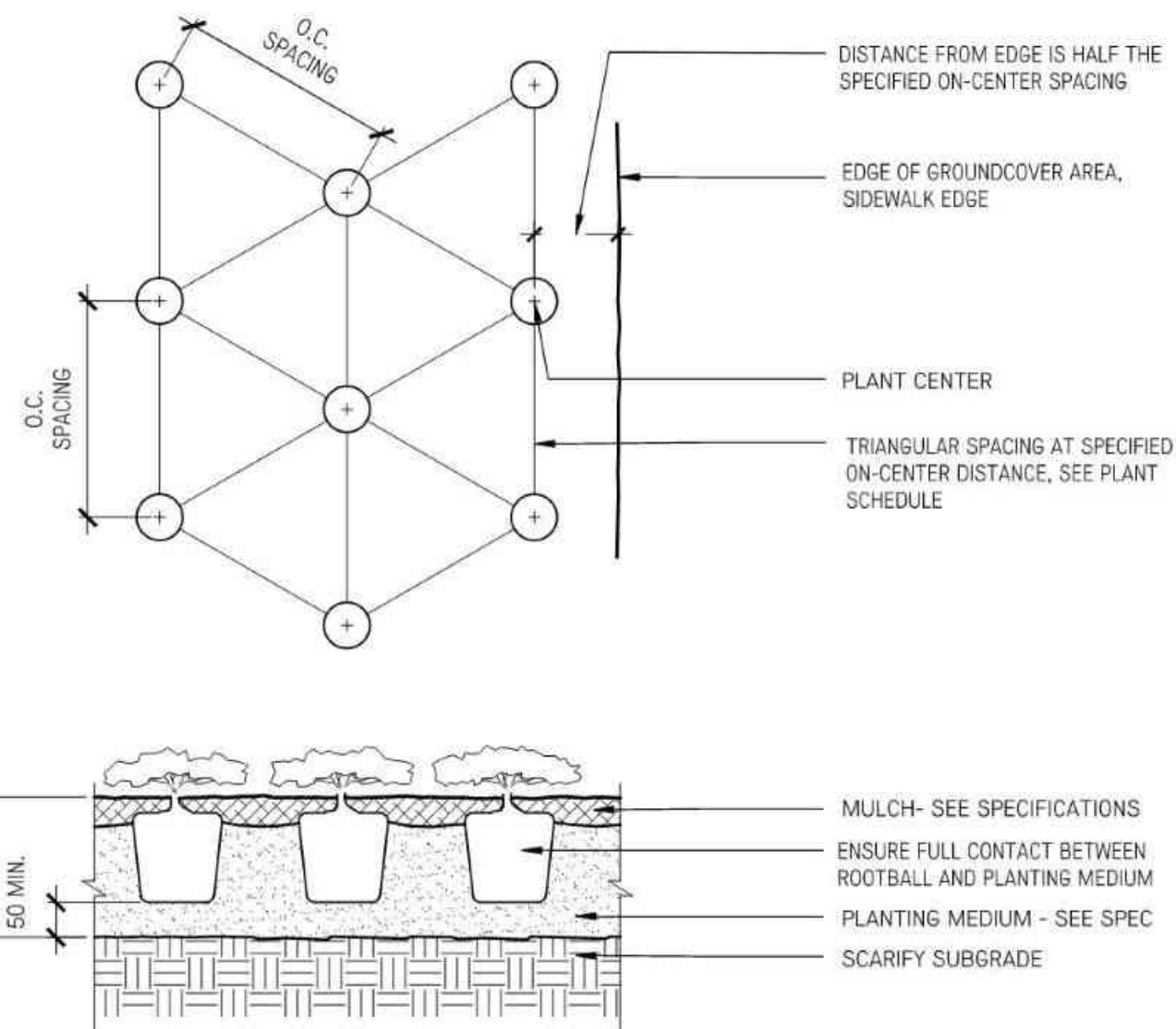
Site Furnishings

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	As indicated	L8.31
Drawn/Checked	KW JF	



1 SOIL PROFILES
L8.40 NTS

2 SHRUB PLANTING
L8.40 NTS



3 GROUND COVER PLANTING
L8.40 NTS

No.	Description	Date
5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
2	Issued for 25% CD	27/10/23
1	Issued for DP	13/09/23

No. Description Date



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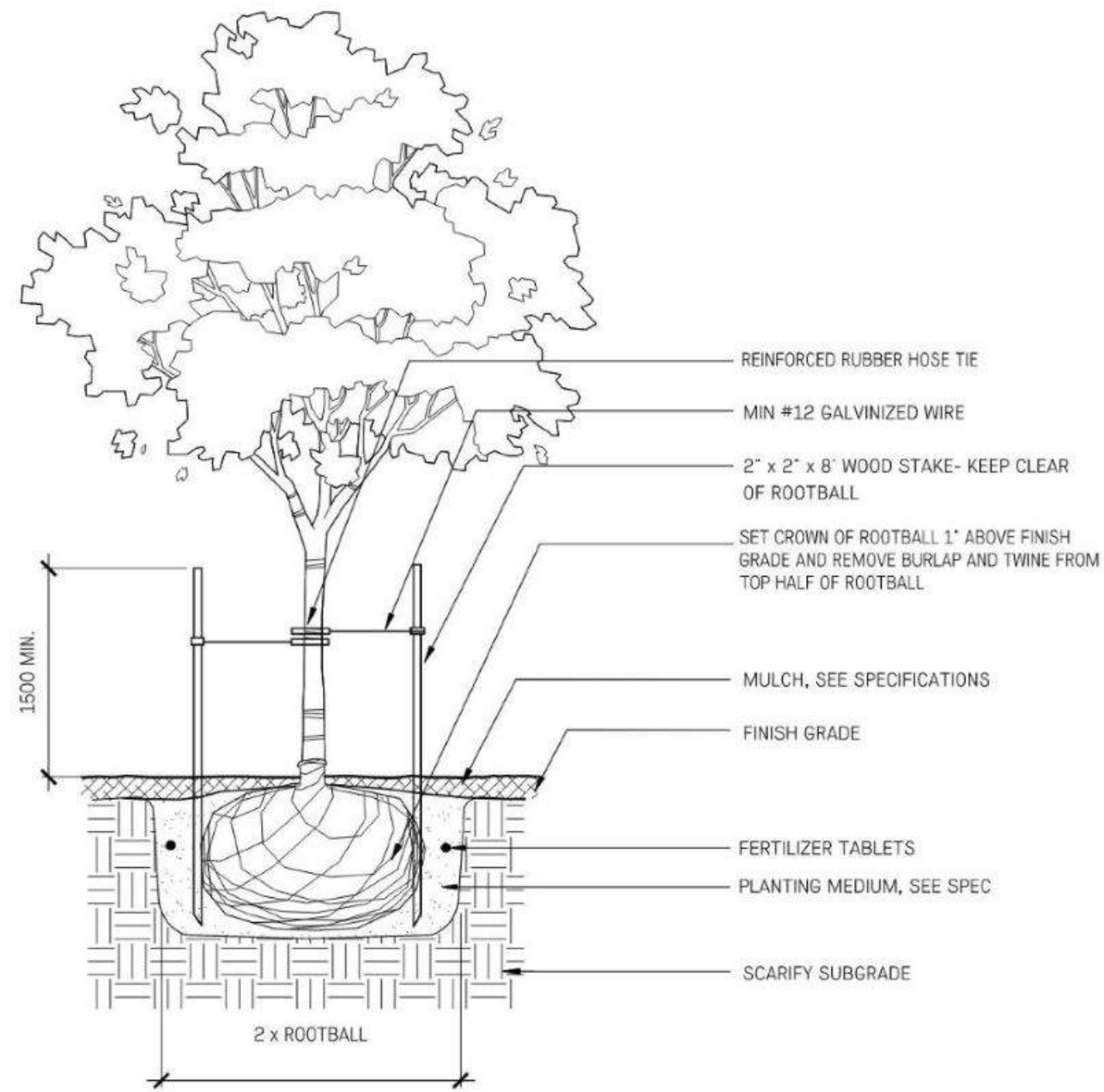
**The Beachlands
2ABC**

Landscape Details

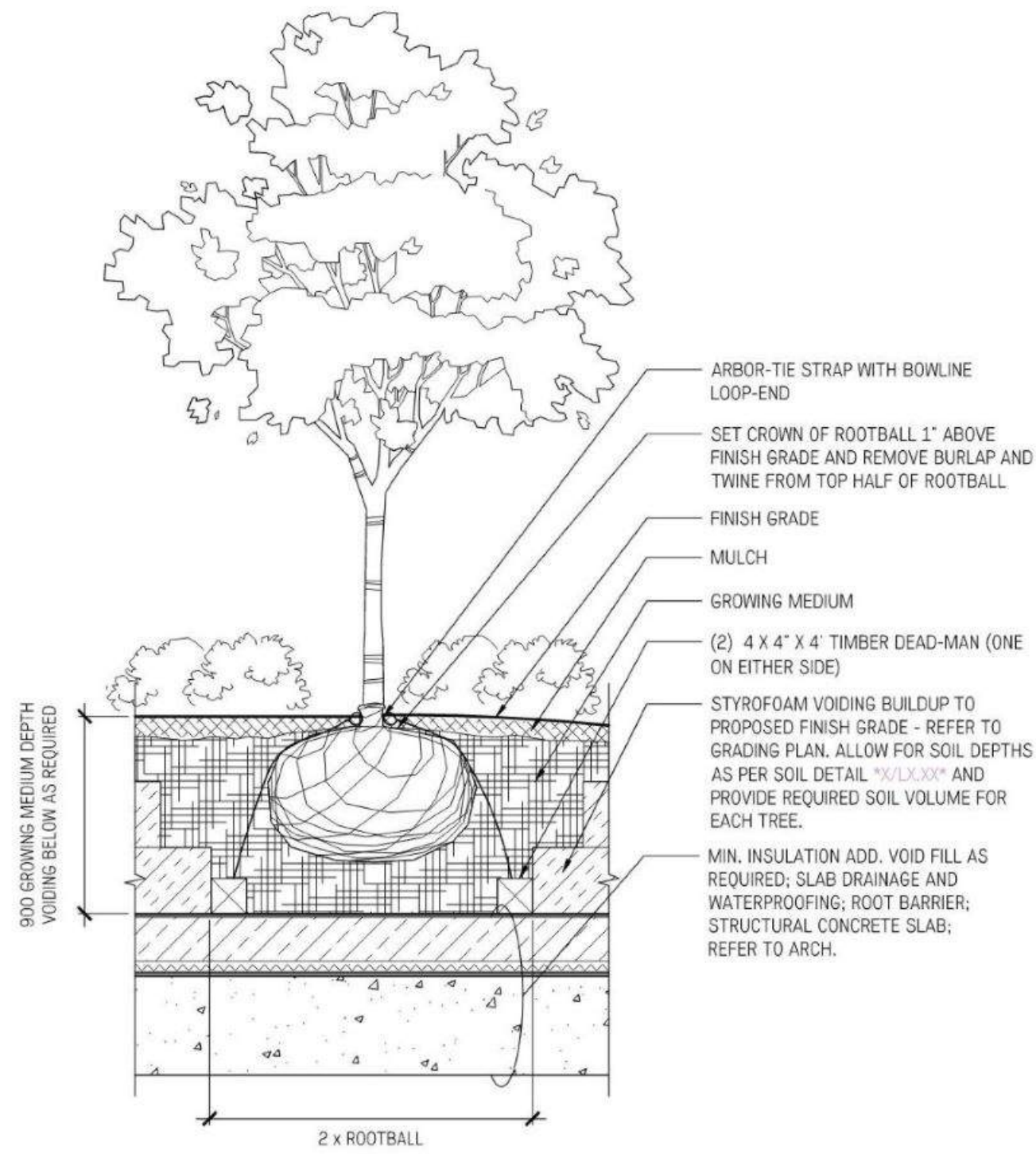
Planting

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	As indicated	L8.40
Drawn/Checked	KW JF	

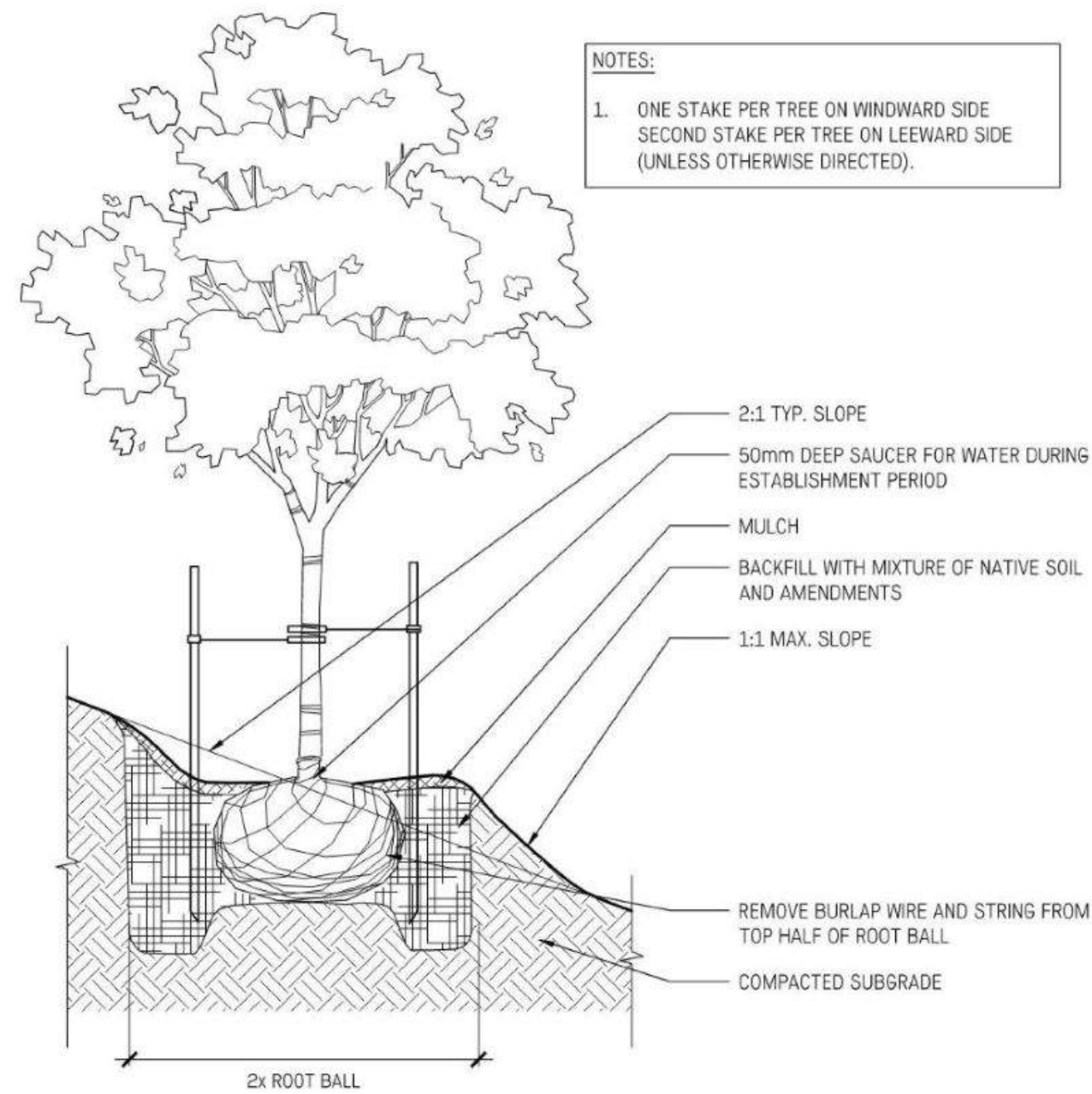




1 TREE PLANTING
1.8.41 1:10



2 TREE PLANTING ON SLAB
1.8.41 1:10



NOTES:
1. ONE STAKE PER TREE ON WINDWARD SIDE
SECOND STAKE PER TREE ON LEEWARD SIDE
(UNLESS OTHERWISE DIRECTED).

3 DECIDUOUS TREE PLANTING - ON SLOPE
1.8.41 1:10

5	Issued for DP	26/02/24
4	Issued for DP Revisions	02/02/24
3	Issued for DP Revisions	18/12/23
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No.	Description	Date
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**The Beachlands
2ABC**

Landscape Details

Planting

Date	Mar. 03/23	Drawing Number
Project No.	2230	
Scale	As indicated	L8.41
Drawn/Checked	KW JF	





Garden bollards
with shielded, directed light

A series of pathway luminaires with shielded, directed light for use in the private sector. These luminaires are ideally suited for gardens, walkways, and for many applications on patios and terraces. Anchorage units are available for direct burial in concrete or soil, or with a hardscape base for installation on foundations or paved surfaces.

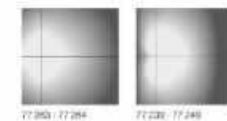
Die cast and anodized aluminum • Clear safety glass
Reflector made of pure anodized aluminum • Galvanized steel anchorage

LED color temperatures: 2700K, 3000K, 3500K, 4000K

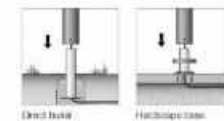
DEGA luminaires offer a minimum service life of 60,000 hours, with suitable LED replacement modules guaranteed for up to 20 years after date of purchase. Further LED technical data including luminous flux, CRI, dimming and electrical characteristics are provided on the individual luminaire specification sheets, available at www.dega-us.com

All DEGA standard finishes are multi-layered powder coat with minimum 3 mil thickness. DEGA Unidure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. RGA standard White, as well as custom available S&L, and custom colors, are a polymer powder.

MEET listed to North American standards • Suitable for wet locations
Protection class IP 65



7720 / 7724 7728 / 7730



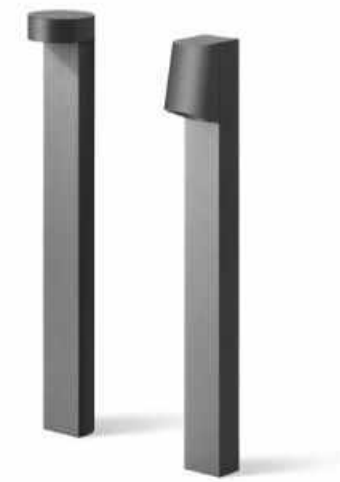
Direct Burial Hardscape Base



Garden bollards	LED	A	B	C	D
7720	with direct buried anchorage	2.1 W	4.5	27%	4%
7724	with hardscape base	2.1 W	4.5	27%	4%



Garden bollards	LED	A	B	C	D
7728	with direct buried anchorage	1.9 W	3	27%	3%
7730	with hardscape base	1.9 W	3	27%	3%



295

1 BOLLARD LIGHT
L8.50 NTS



LUMENLINEAR™
ASYMMETRIC

Another Lumenrail®
Component for Life
Safety and Light

LINEAR LUMINAIRE

Our linear product is a state-of-the-art, low-voltage LED light fixture that provides exceptional lighting performance to enhance any stairway, ramp or walkway application. Its soft light provides ample illumination for safety and ambiance without the glare or harshness of overhead lighting. Available with warm, neutral or cool white color temperatures, and a range of solid color options for static hues. Standard low, mid and high output offerings make Lumenlinear a highly flexible and practical solution for adding beauty and light to your life safety installations.



Specifications subject to change without notice. Verify details on site of color.

- Industry leading output: 70° asymmetric @ 45° above nadir
- Matte and translucent lens options
- Available in: 140, 162, 284 or 413 lpf (4000 K Values)
- IES full cutoff classification when installed in Wagner Architectural Systems handrail
- Fully gasketed, extruded aluminum housing
- ETL wet location listed, UL1598 certified
- 5 year warranty
- Cast 316 stainless steel, mechanical mounting, secure but easily serviceable
- CCT standard in 5 white options
- 4 solid color options including wildlife amber
- Up to 88 CRI standard, 95+ available upon request
- 9 standard lengths from 6" to 54"

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Wagner-Components.com
ULISA 5UBM R7

2 HANDRAIL LIGHT
L8.50 NTS

ULTRA-FLEX SERIES - HORIZONTAL BEND

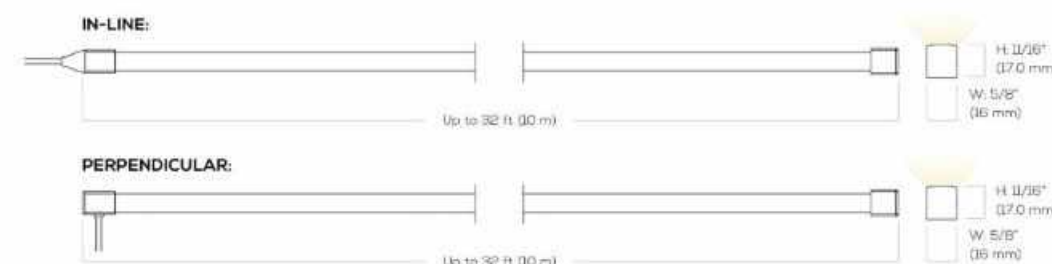
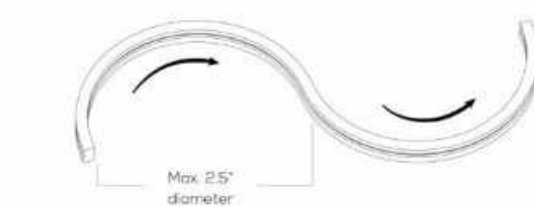
BENDABLE AND HERMETICALLY SEALED LINEAR LED LIGHT ENGINE | ARCHITECTURAL



Our ULTRA-FLEX Horizontal Bend Series provides beautiful diffused LED lighting with endless color customization. This hermetically sealed light engine can be bent horizontally to fit many design applications, giving maximum flexibility to your projects. They can be powered in run lengths up to 32 feet and are suitable for indoor and outdoor use in residential and commercial applications. Contact a U Technology representative for any project design requirements or assistance.

HORIZONTAL BENDING - Maximum 2.5" (64 mm) diameter

NOTE: For recessed applications with aluminum profile, leave ~7/8" (22 mm) width.



HORIZONTAL BENDING

CCT OPTIONS

BEAM ANGLE

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Page 2

3 STRIP LIGHT
L8.50 NTS

GHOST

LINEAR

Type: _____ SPECIFICATION SHEET
Project: _____ Page: 1 of 6



Unique lighting system for wall recessed lighting in exterior applications. The system consists of a series of concrete forming boxes designed to create a cavity in the wall during the concrete forming process. The resulting void in the wall houses the LED light module, which is concealed from view. Designed for low mounting heights with downward asymmetric light distribution. Low luminance with light source recessed inside the luminaire and shielded from all viewing angles.

Luminaire characteristic:	Power input: 4W to 28W Lumens: up to 2 000lm (for 3000K, 80CRI) Luminaire efficacy: Up to 74lm/W
Source:	WHITE LED module (LM-80 tested) 3000K, 80CRI, 4000K, 80CRI, 70% of initial lumens at 50 000 hours (L70) (LM79 tested).
Lumen maintenance:	
Optic:	Downward asymmetric
Material:	Body: Extruded aluminum Diffuser: Silicone Recessed housing: Aluminum
Mounting:	Wall recessed cast in concrete. Supplied with a two part housing installation kit, anchor screws, bolts, locking system and adhesive template to ensure perfect alignment when installing. Connections to be done inside the back box.
Electrical:	See remote LED driver options on page 3.
Finish:	Concrete
Weight:	4.1 lbs (1.85 kg) to 16.4 lbs (7.44 kg)
Warranty:	5 year limited warranty
Rating:	IP65, IK06
Certification:	UL US cULus Listed for Wet location

5	Issued for DP	26/02/24
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1	Issued for DP	13/09/23

No.	Description	Date



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The Beachlands 2ABC

Landscape Details

Lighting

Date	Mar, 03/23	Drawing Number	
Project No.	2230		
Scale	As indicated	L8.50	
Drawn/Checked	KW JF		

SISTEMALUX

4 WALL LIGHT
L8.50 NTS

HAPA COLLABORATIVE

403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6

Landscape Architecture
Urban Design

604 909 4150
hapacollab.com



SCHEDULE 4

HAPA COLLABORATIVE

Date: December 18, 2023
Project Name: The Beachlands 2ABC, Colwood BC
Company Name: Hapa Collaborative
Prepared By: Katharine Walker
Checked By: Joseph Fry, BCSLA CSLA
Issued for: DP BONDING COST ESTIMATE

Note this is a rough order of magnitude estimate of landscape costs only for the purposes of bonding only. The actual costs at the time of construction may vary due to economic conditions, actual site conditions and/or availability of materials. This estimate includes costs for supply and installation of all items unless otherwise indicated. Refer to notes below.

Item	Description	Unit	Qty	Unit Price	Total
1.0	HARDSCAPE				
1.1	CIP Concrete	m2	250	\$ 110.00	\$ 27,500.00
1.2	CIP Concrete - Vehicular	m2	1010	\$ 175.00	\$ 176,750.00
1.3	Precase Unit Pavers	m2	100	\$ 150.00	\$ 15,000.00
1.4	CIP concrete stairs	m2	80	\$ 1,500.00	\$ 120,000.00
1.5	Decomposed Granite Pathways	m2	630	\$ 90.00	\$ 56,700.00
1.6	Stone slab stairs	m2	10	\$ 150.00	\$ 1,500.00
1.7	Hydrapressed Slab Pavers	m2	815	\$ 150.00	\$ 122,250.00
1.8	Timber Decking	m2	50	\$ 100.00	\$ 5,000.00
1.9	Engineered Wood Fibre Safety Surface	m2	105	\$ 80.00	\$ 8,400.00
1.10	Concrete Landscape Wall	lm	1000	\$ 450.00	\$ 450,000.00
				Subtotal	\$ 983,100.00
2.0	SOFTSCAPE				
2.1	Trees	each	121	\$ 700.00	\$ 84,700.00
2.2	Hedges	each	185	\$ 200.00	\$ 37,000.00
2.3	Shrubs, perennials, ornamental grasses	m2	2555	\$ 100.00	\$ 255,500.00
2.5	Growing medium (500-1000mm depth)	m3	2555	\$ 80.00	\$ 204,400.00
2.5	Mulch (50mm depth)	m2	2555	\$ 7.00	\$ 17,885.00
2.6	Irrigation	sum	1	\$ 16,000.00	\$ 16,000.00
				Subtotal	\$ 615,485.00
3.0	SITE FURNISHINGS				
3.1	Natural Playground	Allow	1	\$ 20,000.00	\$ 20,000.00
3.2	Custom Timber Bench	each	7	\$ 2,000.00	\$ 14,000.00
3.3	Picnic Table	each	1	\$ 2,500.00	\$ 2,500.00
3.4	Bike racks	each	15	\$ 800.00	\$ 12,000.00
				Subtotal	\$ 48,500.00

Subtotal	\$	1,647,085.00
Tax (5% GST)	\$	82,354.25
Contingency (10%)	\$	164,708.50
Grand Total	\$	1,894,147.75

Notes:

1. This estimate is a Rough Order of Magnitude opinion based on 100% DD drawings, Issued December 08, 2023.
2. This estimate is based on 2023 construction costs. Quantities and unit prices may vary at the time of construction.
3. The following items are not included in this estimate.
 1. Works outside of the property line, offsite ground level areas.
 2. Any of the works being undertaken under separate contract by the City.
 3. Costs associated with contaminated sites.
 4. Special construction over existing utilities.
 5. Costs associated with site preparation, grading, excavation and backfill.
 6. Exterior street and wayfinding signage.
 7. Material or installation of soil cell system.