



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 478 5999  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP000006

### DEVELOPMENT PERMIT DP000006

THIS PERMIT, issued October <sup>27<sup>th</sup></sup> 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*, 3300 Wishart Road, Victoria, BC, V9C 1R1  
  
(the "City")

PURSUANT TO: Section 491 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: **BRENT SAWCHYN**  
880-1090 Georgia Street West  
Vancouver BC V6E 3V7  
  
(the "Permittee")

- 
1. This Environmental (Riparian) and Form & Character (Mixed Use Employment Centre) Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT A SECTION 1 ESQUIMALT PLAN VIP36299  
1764 Island Highway

("the Lands")

2. This Development Permit regulates the development of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the environmental and form and character considerations of a 4-storey self-storage building and associated site improvements are consistent with the "Riparian and Shoreline" guidelines and design guidelines for areas designated as "Mixed Use Employment Centre" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit.

5. The Director of Development Services may approve minor variations to the plans and specifications attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form part of this permit:
  - Schedule 1 Architectural Drawings prepared by Christopher Bozyk Architects Ltd. dated August 31, 2023.
  - Schedule 2 Landscape Plan (Onsite and SPEA) prepared by LADR Landscape Architects dated September 5, 2023.
  - Schedule 3 Landscape Cost Estimate (Onsite and SPEA) prepared by LADR Landscape Architects dated September 5, 2023.
  - Schedule 4 Environmental Protection Measures Memo prepared by Aqua-Tex Scientific Consulting Ltd dated October 2, 2023.
8. Notwithstanding the conditions of this Permit, development of the subject property must meet all requirements contained within the Section 219 covenant registered as CA8754157 (Development Agreement).
9. This Development Permit authorizes the construction of a 4-storey self-storage building and associated site improvements on the Land. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

#### **FORM AND CHARACTER CONDITIONS**

##### **Building Features**

- 9.1. The form and character of the building to be constructed on the Lands shall conform to the Architectural Drawings prepared by Christopher Bozyk Architects Ltd. (Schedule 1).
- 9.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services.
- 9.3. No future construction/installation of unenclosed outdoor storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 9.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.
- 9.5. All recycling and refuse collection and storage areas shall be located inside the buildings or visually screened from public areas with solid walls or fencing that visually

complements the adjacent and/or surrounding buildings, to the satisfaction of the Director of Development Services;

- 9.6. All retaining walls on-site must be under 1.2m and be terraced at a minimum 1:1 ratio.

#### Signage

- 9.7. This Development Permit does not include any signage approvals. A separate sign permit will be required.

#### Landscaping

- 9.8. The design and construction of the proposed on-site landscaping shall be completed to the satisfaction of the Director of Development Services and in substantial compliance with the Landscape plan prepared by LADR Landscape Architects (Schedule 2).
- 9.9. Prior to the issuance of Building Permit, provide the City with a written undertaking from the landscape architect confirming supervision and installation of the landscape work in accordance with the approved landscape plan.
- 9.10. Prior to the issuance of Building Permit, provide the City in the form of an irrevocable letter of credit or certified cheque security for **\$240,250.45** (110% of the estimated cost for landscape installation), which amount, or a portion thereof, as the case may be, shall be returned, no sooner than 1 year from the date of planting, upon receipt of a signed statement of partial or substantial completion from a registered landscape architect, to the satisfaction of the Director of Development Services (Schedule 3).

#### ENVIROMENTAL CONDITIONS

##### General

- 9.11. Where required, Federal and Provincial environmental approvals shall be obtained prior to any works occurring on the Lands.
- 9.12. No storage of materials or equipment, stockpiling of soils, excavated materials, burning, excavation or trenching shall take place within the SPEA, to the satisfaction of the QEP.
- 9.13. No sediment laden water shall be discharged into any aquatic receiving environment and no untreated excess stormwater is to be discharged to Millstream Creek. Storm water from the site shall in no way be impacted by storm systems or overland flow-routes.

##### Replanting & Restoration

- 9.14. Restoration of the Streamside Protection and Enhancement Area (SPEA) and removal of invasive species shall be completed to the satisfaction of the Director of Development Services and in substantial compliance with the Landscape Plan prepared by LADR Landscape Architects (Schedule 2).
- 9.15. Prior to the issuance of Building Permit, provide the City with a written undertaking from the QEP confirming supervision and installation of the SPEA landscape work in accordance with the approved landscape plan (Schedule 2).



- 9.16. A security deposit in the amount of **\$60,463.60** (110% of the restoration cost estimate in Schedule 3) has been received and accepted by the City and will be held until a satisfactory final inspection report prepared by the project's QEP is submitted to the City, no sooner than 2 years from the date restoration work is completed, confirming that the restoration works remain in substantial compliance with the approved landscape plan (Schedule 2).
- 9.17. Upon completion of the restoration works, the project's QEP must, submit to the City written notice and photographs of the works confirming that the restoration works have been planted in accordance with this permit.

**Reporting during Construction**

- 9.18. All recommendations are to be followed in accordance with the Environmental Protection Measures Memo (Schedule 4) and be under the supervision of the QEP.
- 9.19. The QEP shall, to the satisfaction of the Director of Development Services, provide monthly documentation in writing to the city attesting that construction and restoration works are in accordance with the terms of this permit.
- 9.20. Inspection and maintenance of the stormwater management system and erosion and sediment control measures shall occur in accordance with the Environmental Protection Measures Memo (Schedule 4). Regular reporting to the City will be completed, and reports shall be made available to the City upon request and must not be unreasonably withheld. In the case of precipitation events greater than 9 mmm within a 24-hour period, reports will be submitted to the City immediately following the event.

ISSUED ON THIS 27<sup>th</sup> DAY OF OCTOBER, 2023.



YAZMIN HERNANDEZ, MCIP RPP  
DIRECTOR OF DEVELOPMENT SERVICES





VIEW FROM NORTH-EAST  
N.T.S.

REVISION	DATE	DESCRIPTION
03	AUG 31-2023	RE-ISSUE FOR DP
02	JUL 25-2023	RE-ISSUE FOR DP
01	APR 26-2023	ISSUE FOR DP

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**SELF-STORAGE BUILDING**

**1764 ISLAND HWY, COLWOOD**

**3-D MODEL - RENDERING**

SCALE: 1" = 16'-0" @ 24x36 DATE: JAN 2023 DRAWN:  
PROJECT NUMBER 23001

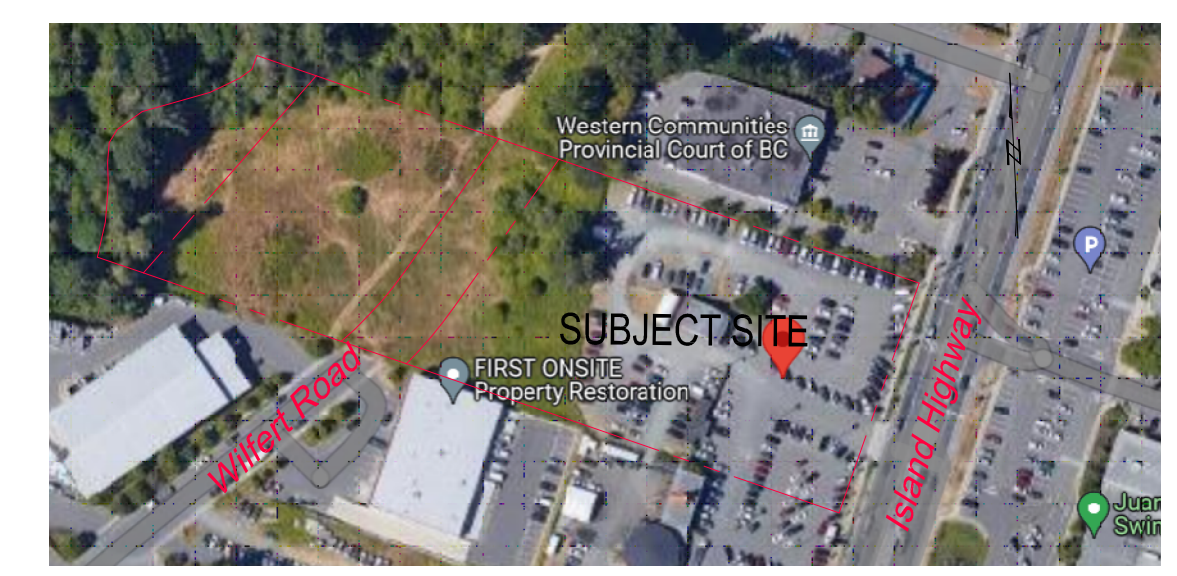




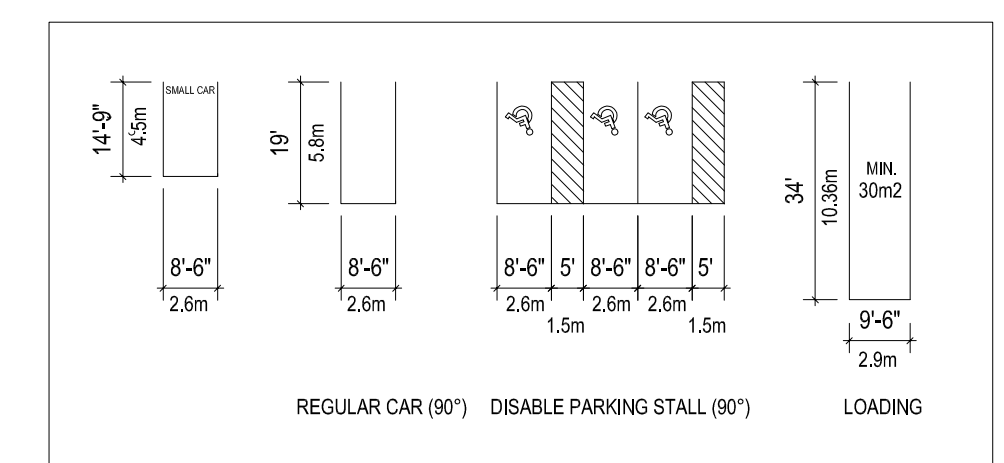
**SITE PLAN**  
SCALE: 1" = 30'-0" (1:360)

NOTES:  
- REFER TO CIVIL DRAWINGS FOR COMPLETE SITE GRADING & RETAINING WALL DETAILS  
- REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DETAILS

REVISION	DATE	DESCRIPTION
04	AUG 31-2023	RE-ISSUE FOR DP
03	JUL 25-2023	RE-ISSUE FOR DP
02	MAY 10-2023	SPEA SETBACK LINE REVISION
01	APR 26-2023	ISSUE FOR DP



**LOCATION PLAN**  
N.T.S.



**PARKING STALLS - LOADING STANDARDS**  
SCALE: 1" = 30'-0"

**DEVELOPMENT STATISTICS**

	REQUIRED/ PERMITTED	PROPOSED
LEGAL DESCRIPTION: LOT A, SECTION 1, ESQUIMALT DISTRICT PLAN 36299 CIVIC ADDRESS: 1764 ISLAND HIGHWAY, CITY OF COLWOOD, BC ZONE: MUEC2 (MIXED USED EMPLOYMENT CENTRE 2)		
SITE AREA	19,376 SF (1,800 m <sup>2</sup> ) MINIMUM	± 203,330 SF (4,667 ACRES_ EXCLUDING WILFERT ROAD)
FLOOR AREA RATIO	1	0.99
FLOOR AREA	203,330 SF	MAIN FLOOR: ± 46,540 SF 2 ND FLOOR: ± 50,292 SF 3 RD FLOOR: ± 52,983 SF 4 TH FLOOR: ± 52,983 SF TOTAL: ± 202,818 SF (18,842 m <sup>2</sup> GROSS)
SITE COVERAGE	50%	26 %
BUILDING HEIGHT	59' (18m)	53'-6" (16.30m)
SETBACKS		
FRONT YARD (ISLAND HWY- EAST)	MIN. 7.5m	12.34m (40'-6")
INTERIOR SIDE LOT LINE (NORTH)	MIN. 6.0m	9.82m (32'-3")
INTERIOR SIDE LOT LINE (SOUTH)	MIN. 6.0 M	8.53m (28'-0")
REAR YARD (WEST)	MIN. 10.0 M	31.13m (102'-2" TO WILFERT ROAD)
OFF-STREET PARKING	105 CARS MINI-STORAGE (202,818 SF-INCLUDING AUX. OFFICE) 1/180m <sup>2</sup> (1,937.5 SF) OF GROSS FLOOR AREA	106 CARS (103 REGULAR + 3 ACCESSIBLE STALLS ) 12 CARS (ISLAND HWY SIDE) 16 CARS (EAST OF WILFERT RD) 78 CARS (WEST OF WILFERT RD)
LOADING	9 (GROSS FLOOR AREA 202,818 SF or 18,842m <sup>2</sup> )	9
BIKE PARKING	6 SHORT-TERM PER BUILDING 19 LONG-TERM (18,842 m <sup>2</sup> / 1,000 m <sup>2</sup> )	6 19
MOBILITY SCOOTER	1 SPACE PER BUILDING	1

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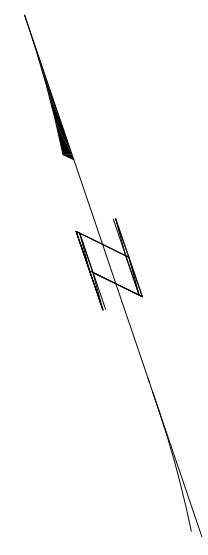
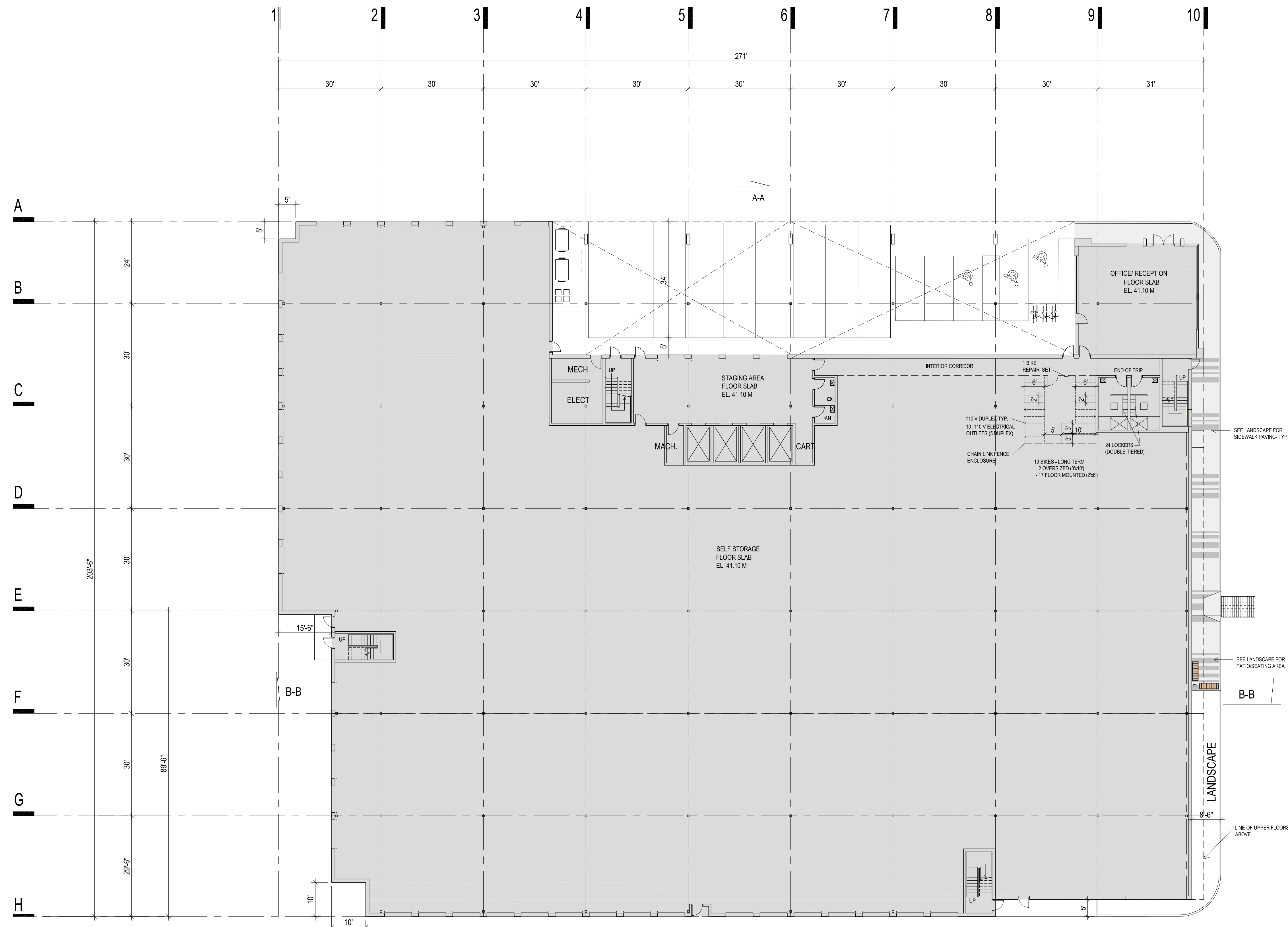
Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

**SELF-STORAGE BUILDING**

**1764 ISLAND HWY, COLWOOD**  
**SITE PLAN - STATISTICS**

SCALE: 1" = 30'-0" @ 24x36 DATE: JAN 2023 DRAWN:  
PROJECT NUMBER 23001





REVISION	DATE	DESCRIPTION
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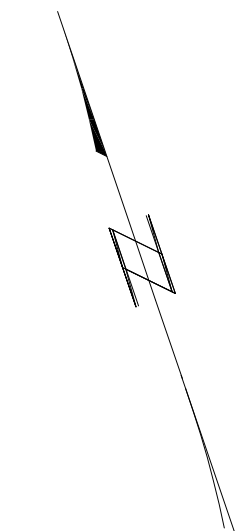
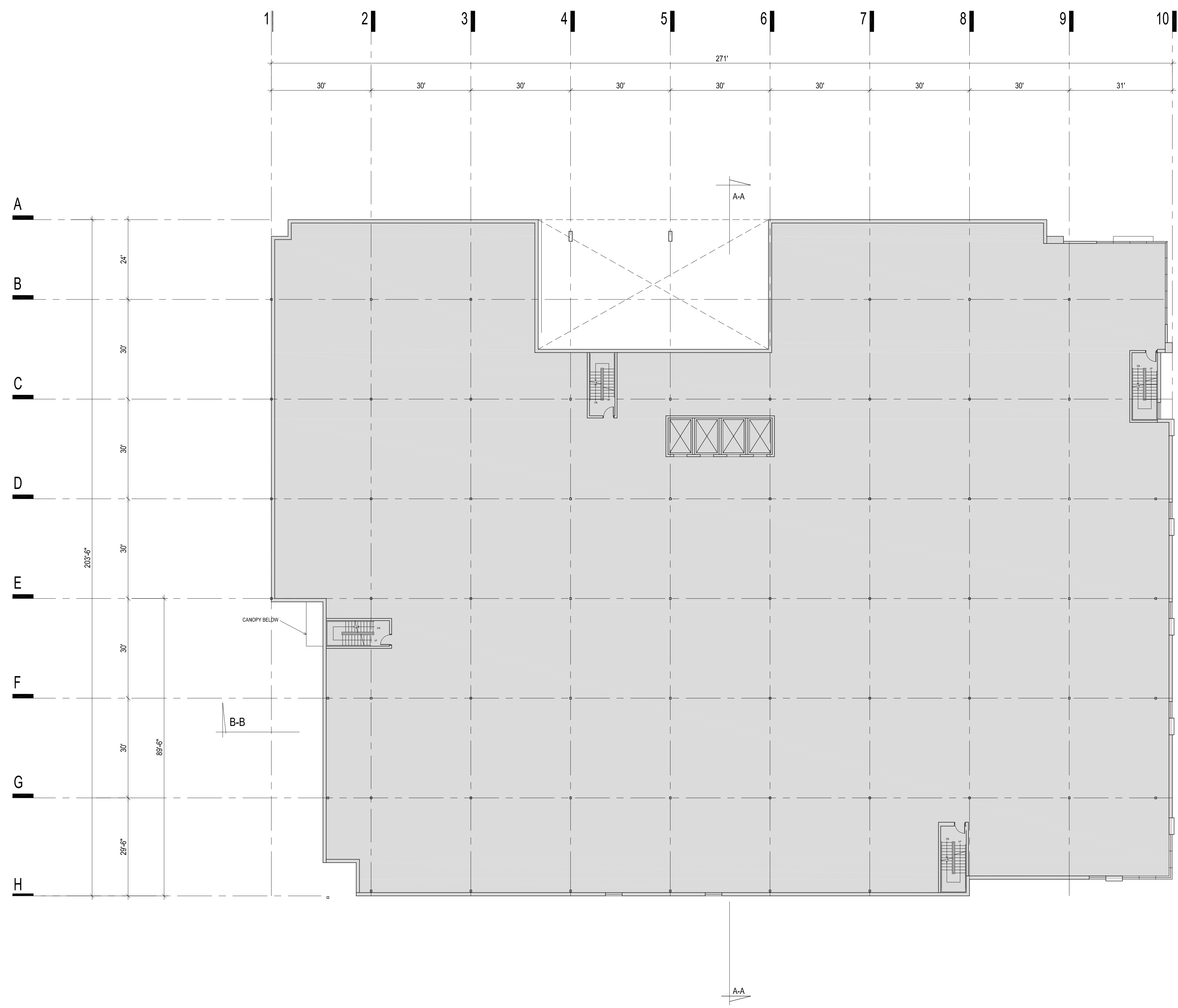
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**SELF-STORAGE BUILDING**

**1764 ISLAND HWY, COLWOOD**  
**MAIN FLOOR PLAN**

SCALE: \_\_\_\_\_ DATE: JAN 2023 DRAWN: \_\_\_\_\_  
PROJECT NUMBER \_\_\_\_\_ 23001





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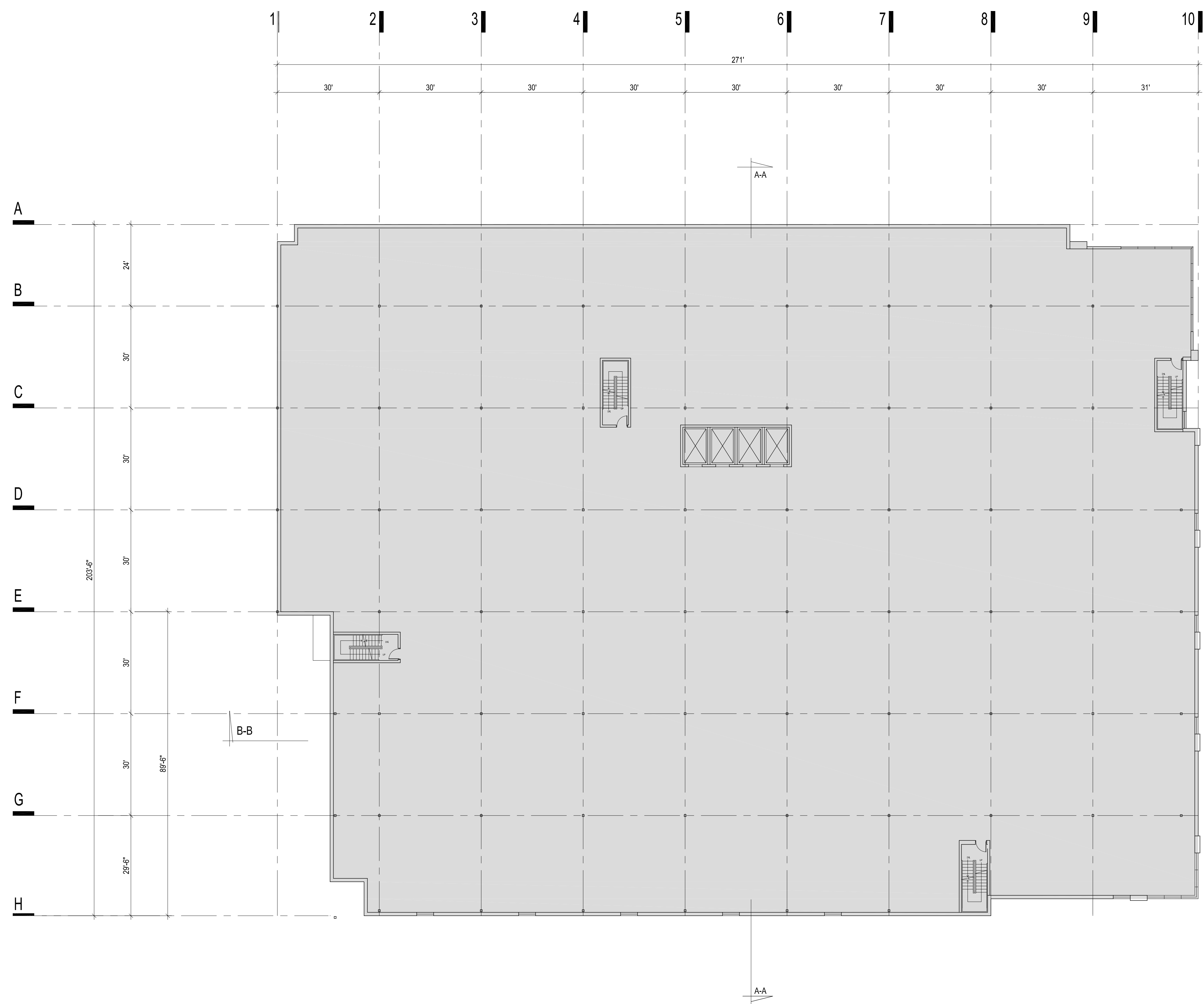
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**SELF-STORAGE BUILDING**

1764 ISLAND HWY, COLWOOD  
2nd FLOOR PLAN

SCALE: 1" = 16'-0" @ 24x36 DATE: JAN 2023 DRAWN:  
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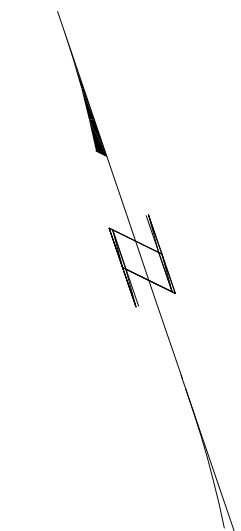
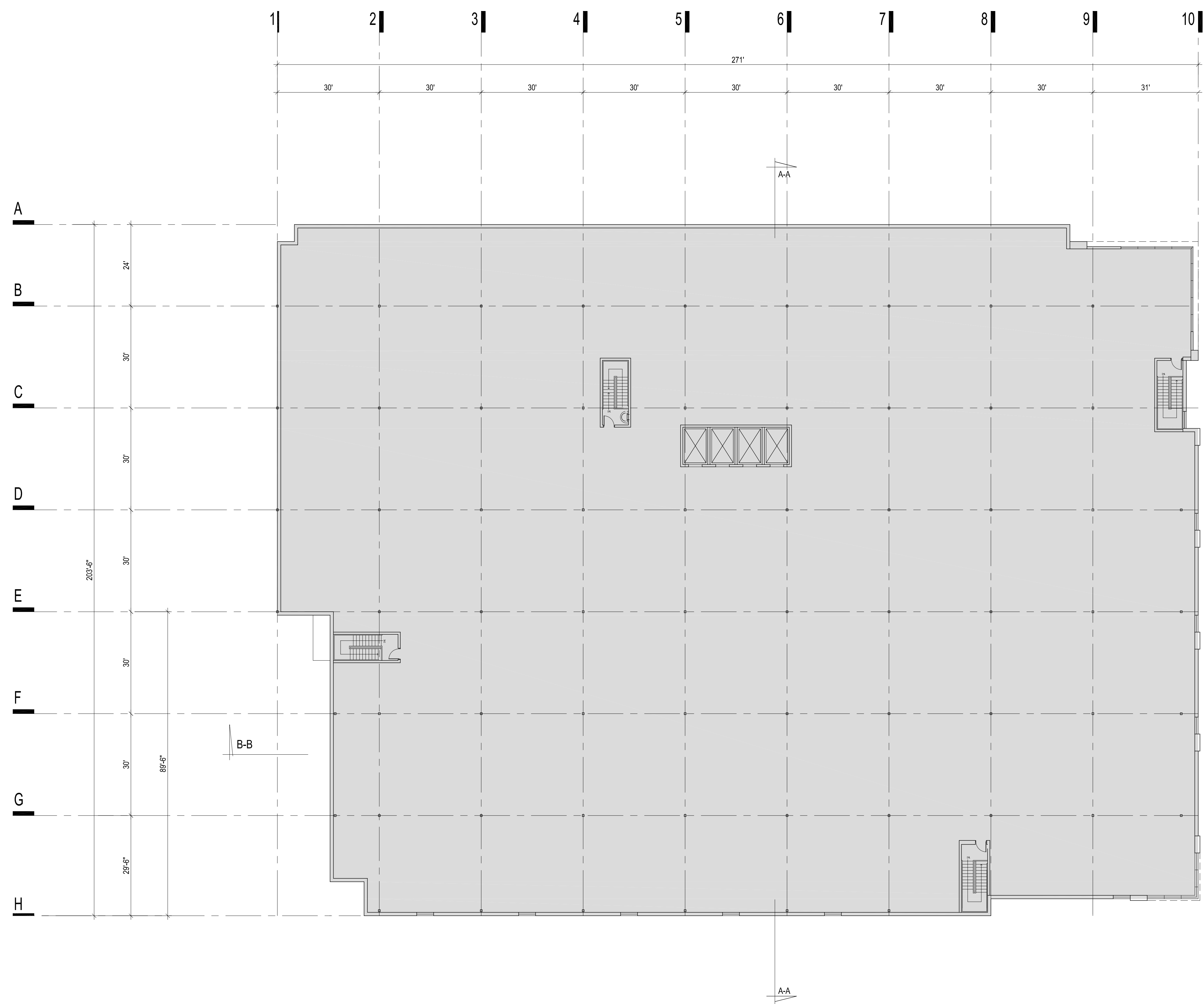
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**SELF-STORAGE BUILDING**

1764 ISLAND HWY, COLWOOD  
**THIRD FLOOR PLAN**

SCALE: 1" = 16'-0" @ 24x36 DATE: JAN 2023 DRAWN:  
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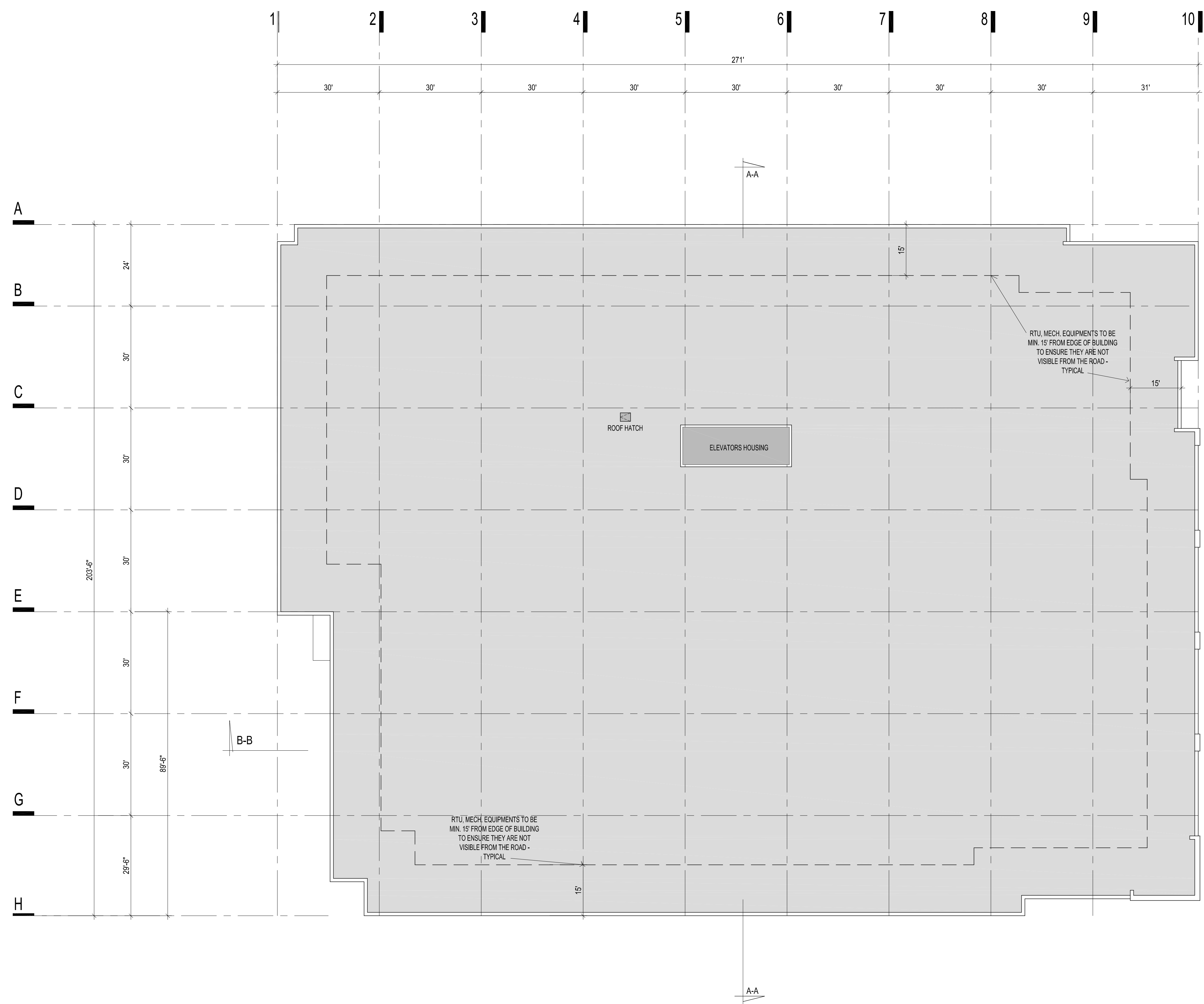
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**SELF-STORAGE BUILDING**

**1764 ISLAND HWY, COLWOOD  
FOURTH FLOOR PLAN**

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**SELF-STORAGE BUILDING**

1764 ISLAND HWY, COLWOOD  
**ROOF PLAN**

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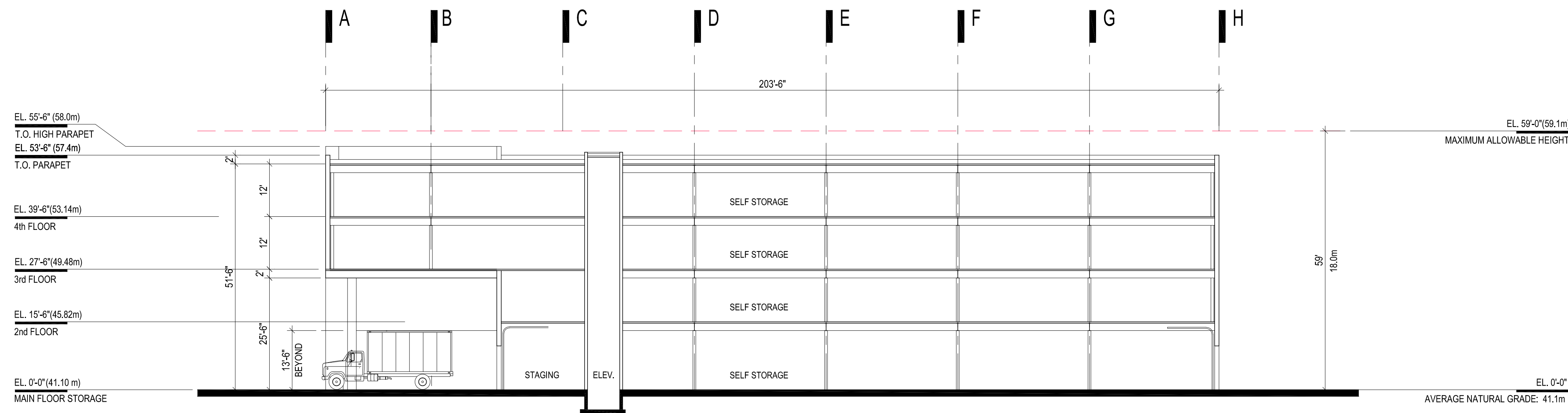
**MATERIALS/ COLOURS**

1	CORRUGATED METAL PANEL - LIGHT GREY	
1A	CORRUGATED METAL PANEL - DARK GREY	
1B	CORRUGATED METAL PANEL - LIGHT GREEN (TO MATCH ADVANCED SELF STORAGE COLOUR)	
2	DOUBLE GLAZED WITH ALUMINUM FRAMES CLEAR GLASS - STORE FRONT CLEAR ANODIZED MULLION	
3	DOUBLE GLAZED WITH ALUMINUM FRAMES CLEAR GLASS - CURTAIN WALL CLEAR ANODIZED MULLION	
3A	INSULATED SPANDREL GLASS WITH ALUMINUM FRAMES GREY GLASS - CURTAIN WALL CLEAR ANODIZED MULLION	
4	CONCRETE WITH CAST-IN REVEALS - GREY	
5	COMPOSITE METAL PANELS - BLACK	
5A	METAL PANELS (PERFORATED) (TO MATCH ADVANCED SELF STORAGE COLOUR)	
5B	METAL PANELS - GREY	
6	INSULATED O.H. METAL DOOR - LIGHT GREEN (TO MATCH ADVANCED SELF STORAGE COLOUR)	
7	METAL MAN DOOR - PAINTED GREY	
8	STEEL GATE - PAINTED BLACK	
9	STEEL (PAINTED BLACK) & CORRUGATED METAL CANOPY	

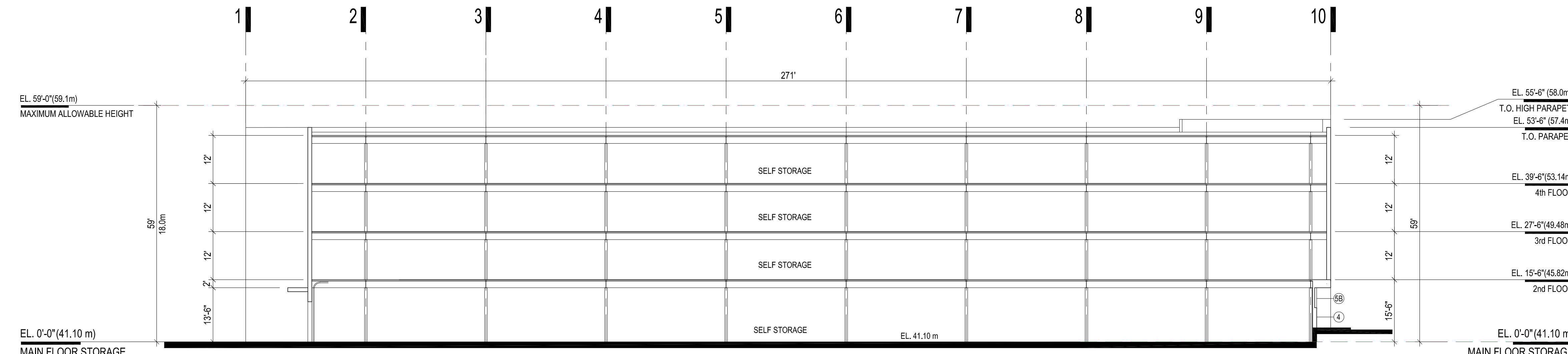
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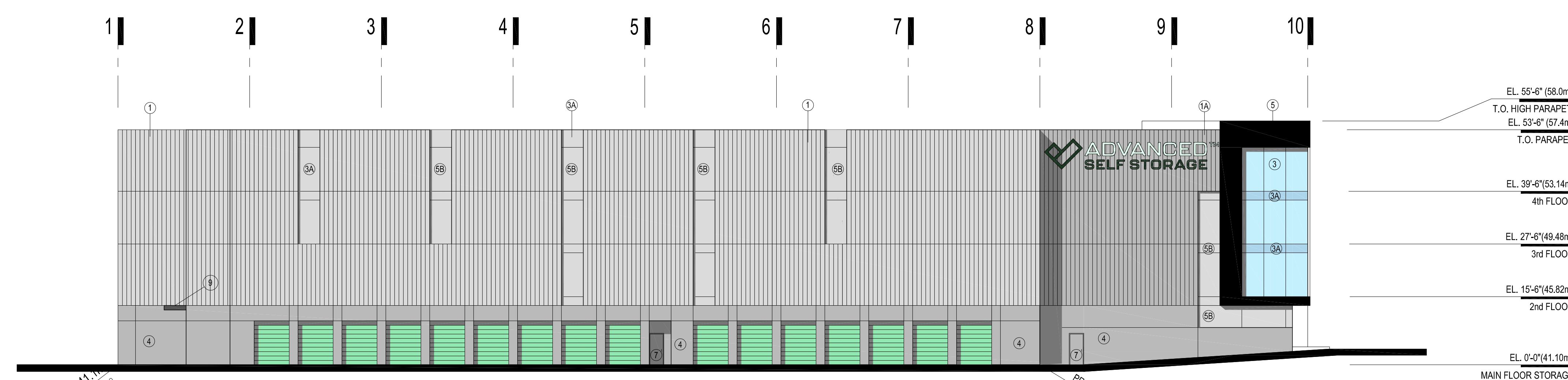
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**BUILDING SECTION A-A**  
SCALE: 1/16" = 1'-0"



**BUILDING SECTION B-B**  
SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"

**SELF-STORAGE BUILDING**

1764 ISLAND HWY, COLWOOD  
BUILDING SECTIONS

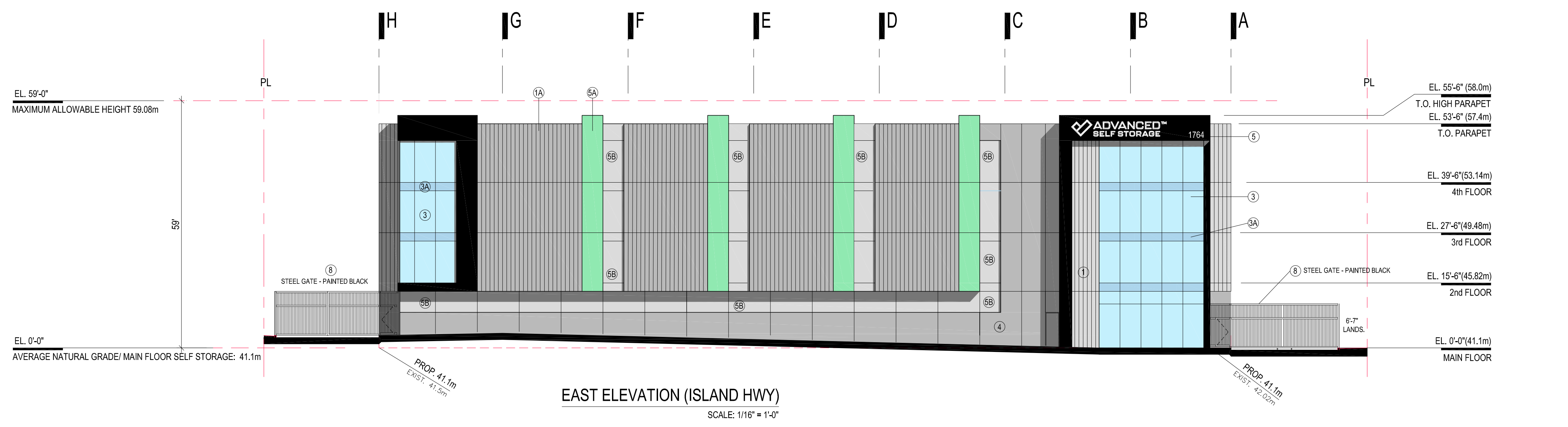
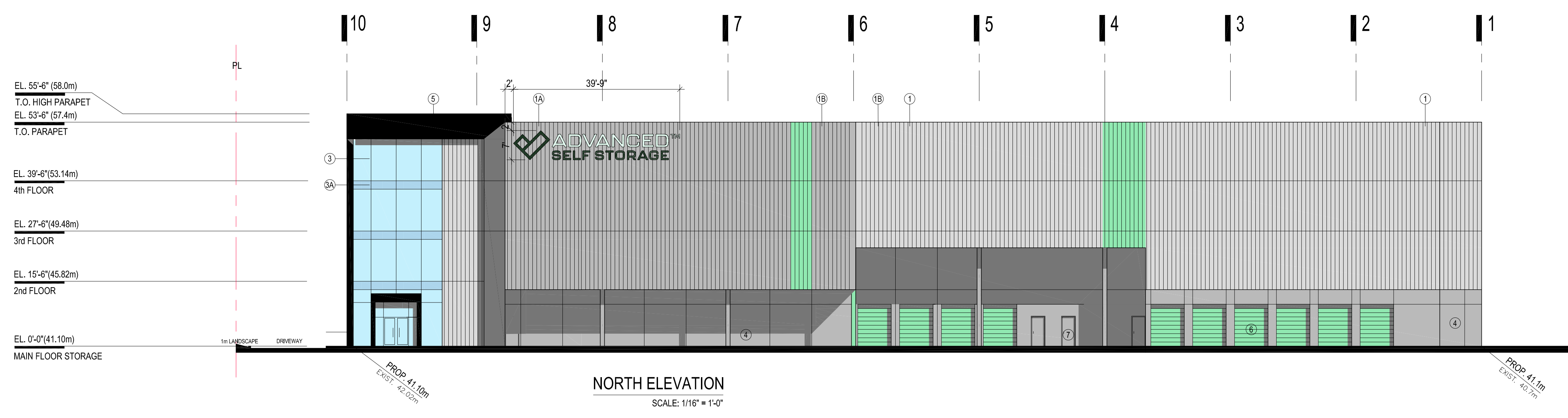
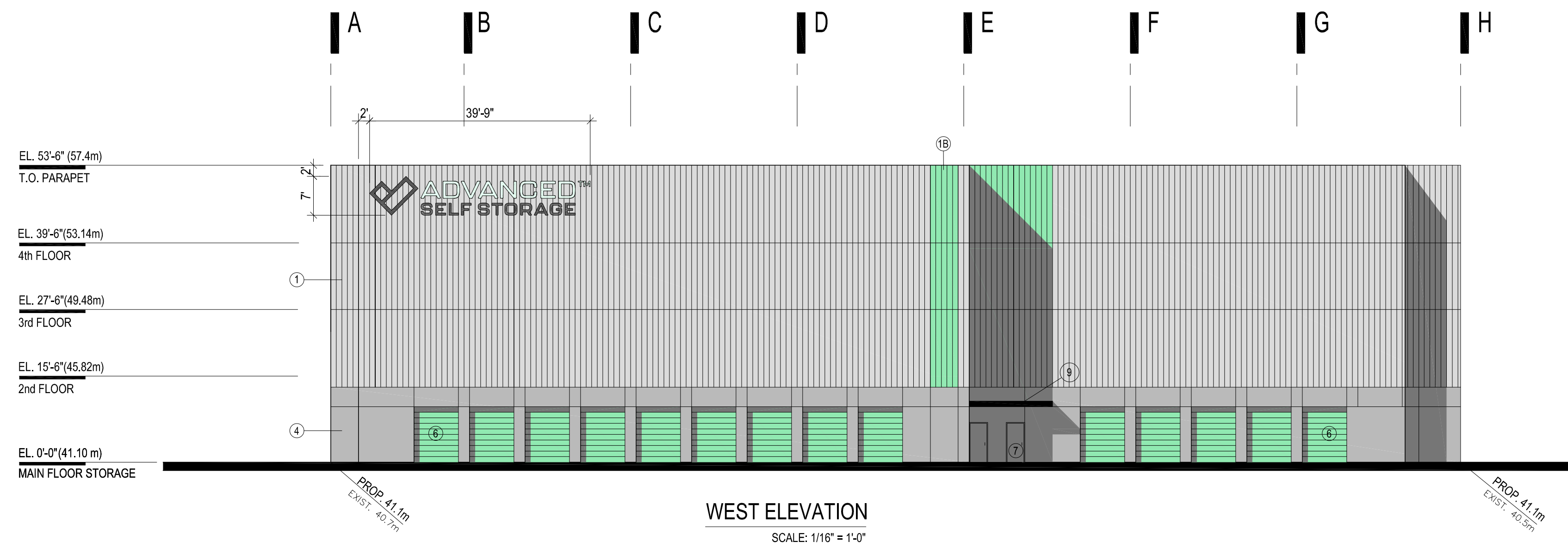
SCALE: 1" = 16'-0" @ 24x36 DATE: JAN 2023 DRAWN:  
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**MATERIALS/ COLOURS**

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**SELF-STORAGE BUILDING**

**1764 ISLAND HWY, COLWOOD**  
**BUILDING ELEVATIONS**

SCALE: 1" = 16'-0" @ 24x36 DATE: JAN 2023 DRAWN:  
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**MATERIALS/ COLOURS**

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- ③A INSULATED SPANDREL GLASS WITH ALUMINUM FRAMES GREY GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
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- ⑦ METAL MAN DOOR - PAINTED GREY
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- ⑨ STEEL (PAINTED BLACK) & CORRUGATED METAL CANOPY

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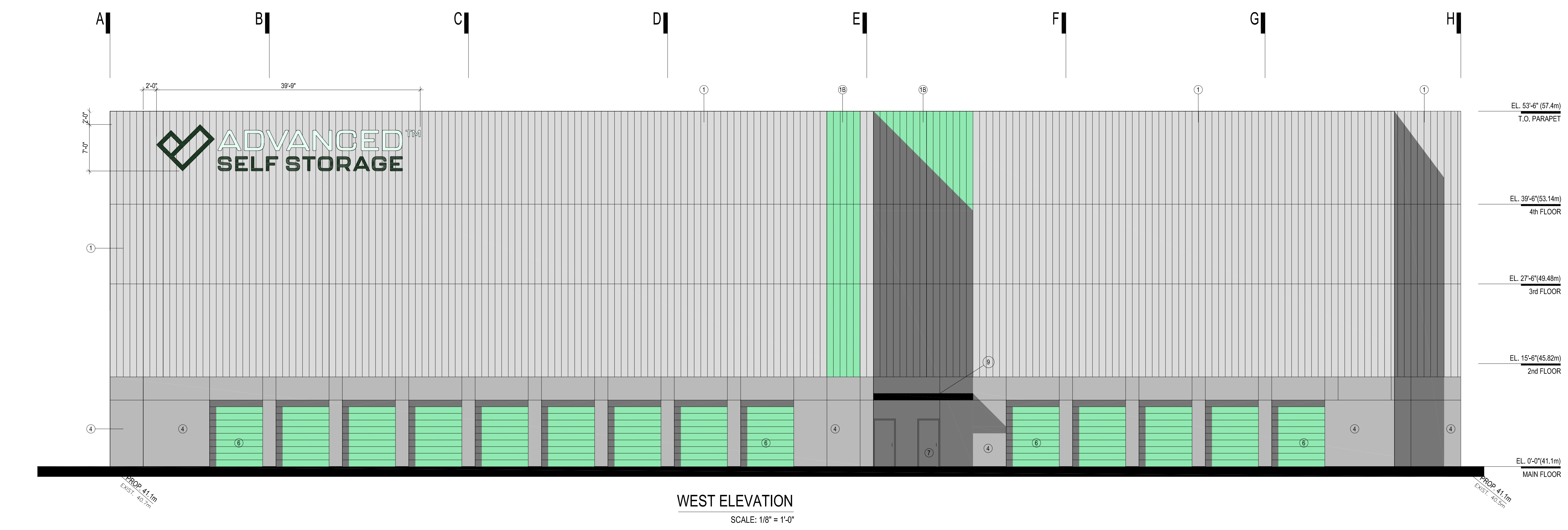
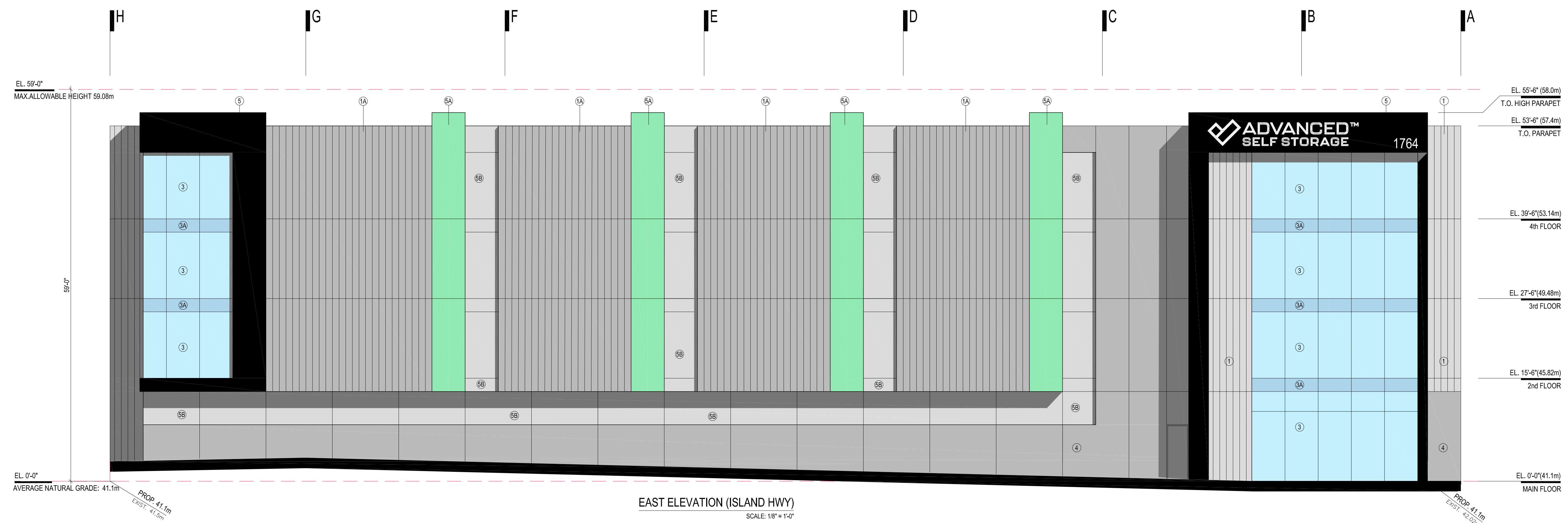
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**SELF-STORAGE BUILDING**

**1764 ISLAND HWY, COLWOOD**

**NORTH & WEST ELEVATIONS (LARGE SCALE 1:96)**

SCALE: 1/8" = 1'-0" @ 24x36 DATE: JAN 2023 DRAWN: PROJECT NUMBER 23001





**MATERIALS/ COLOURS**

1	CORRUGATED METAL PANEL - LIGHT GREY	
1A	CORRUGATED METAL PANEL - DARK GREY	
1B	CORRUGATED METAL PANEL - LIGHT GREEN (TO MATCH ADVANCED SELF STORAGE COLOUR)	
2	DOUBLE GLAZED WITH ALUMINUM FRAMES CLEAR GLASS - STORE FRONT CLEAR ANODIZED MULLION	
3	DOUBLE GLAZED WITH ALUMINUM FRAMES CLEAR GLASS - CURTAIN WALL CLEAR ANODIZED MULLION	
3A	INSULATED SPANDREL GLASS WITH ALUMINUM FRAMES GREY GLASS - CURTAIN WALL CLEAR ANODIZED MULLION	
4	CONCRETE WITH CAST-IN REVEALS - GREY	
5	COMPOSITE METAL PANELS - BLACK	
5A	METAL PANELS (PERFORATED) (TO MATCH ADVANCED SELF STORAGE COLOUR)	
5B	METAL PANELS - GREY	
6	INSULATED O.H. METAL DOOR - LIGHT GREEN (TO MATCH ADVANCED SELF STORAGE COLOUR)	
7	METAL MAN DOOR - PAINTED GREY	
8	STEEL GATE - PAINTED BLACK	
9	STEEL (PAINTED BLACK) & CORRUGATED METAL CANOPY	

REVISION	DATE	DESCRIPTION
03	AUG 31-2023	RE-ISSUE FOR DP
02	JUL 25-2023	RE-ISSUE FOR DP
01	APR 26-2023	ISSUE FOR DP

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**SELF-STORAGE BUILDING**

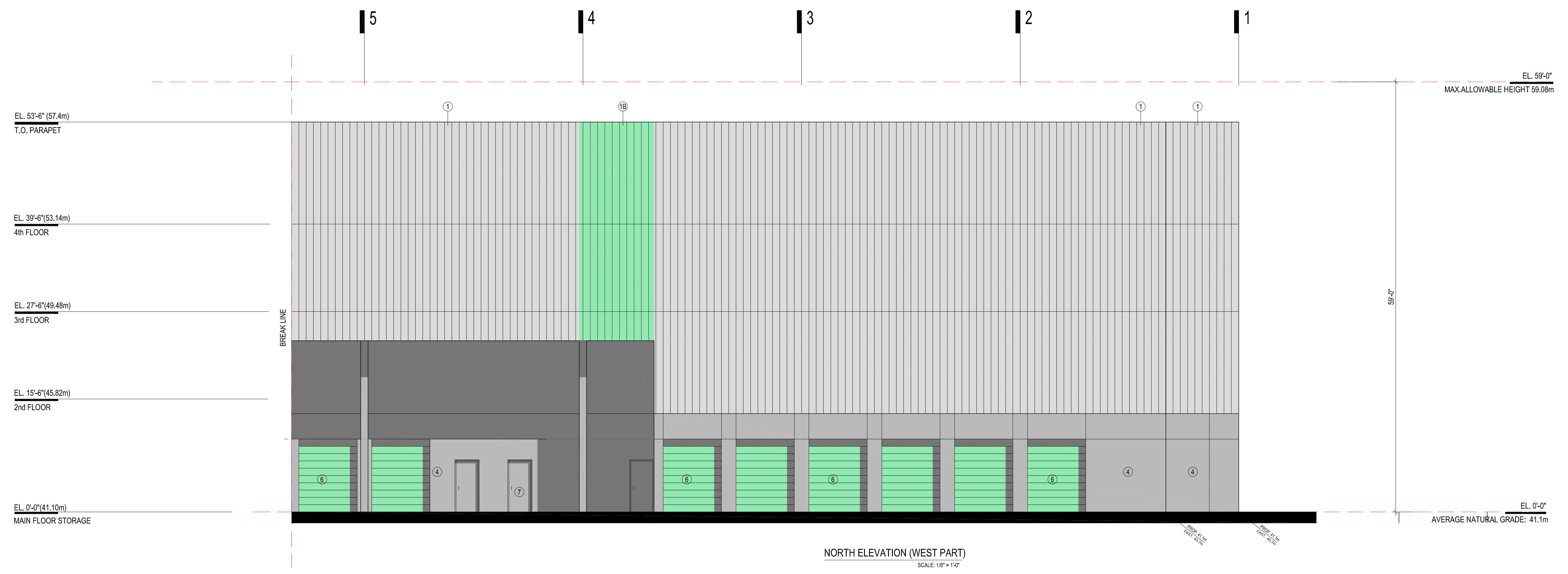
1764 ISLAND HWY, COLWOOD

**NORTH ELEVATION (LARGE SCALE 1:96)**

SCALE: 1/8" = 1'-0" @ 24x36 DATE: JAN 2023 DRAWN: PROJECT NUMBER 23001



**NORTH ELEVATION (EAST PART)**  
SCALE: 1/8" = 1'-0"



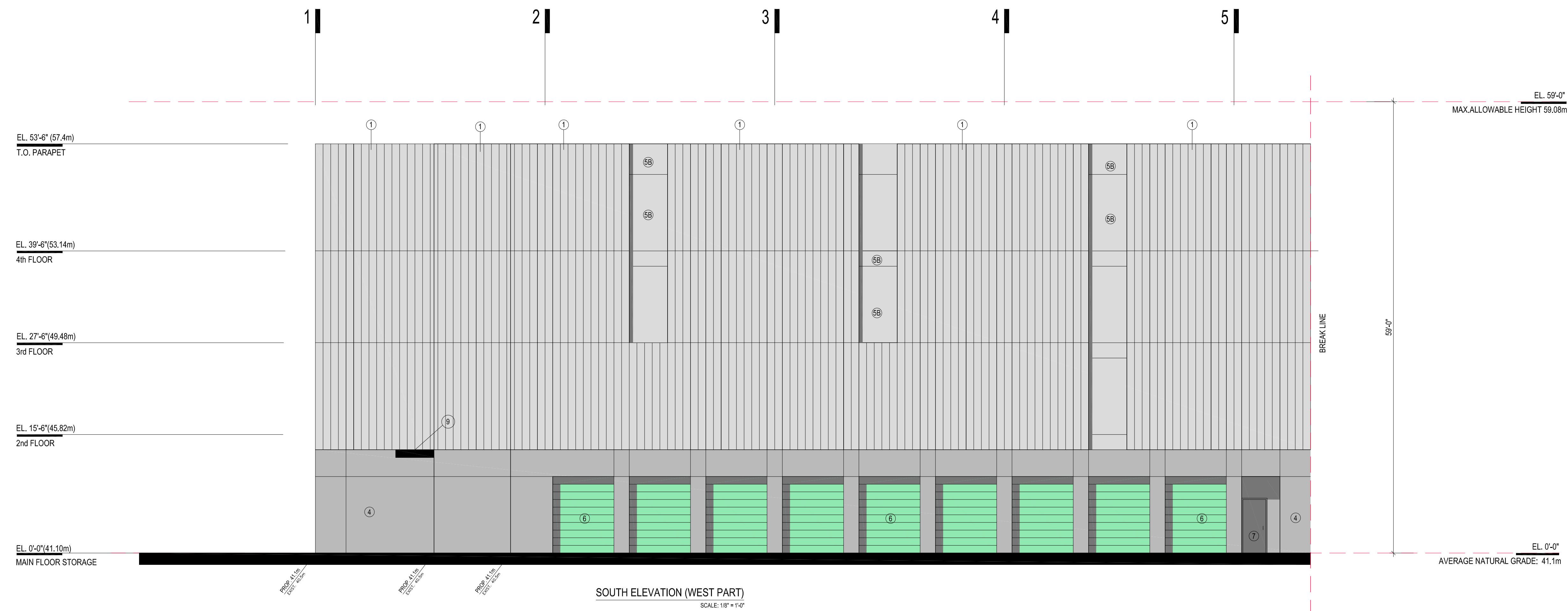
**NORTH ELEVATION (WEST PART)**  
SCALE: 1/8" = 1'-0"





**MATERIALS/ COLOURS**

1	CORRUGATED METAL PANEL - LIGHT GREY	
1A	CORRUGATED METAL PANEL - DARK GREY	
1B	CORRUGATED METAL PANEL - LIGHT GREEN (TO MATCH ADVANCED SELF STORAGE COLOUR)	
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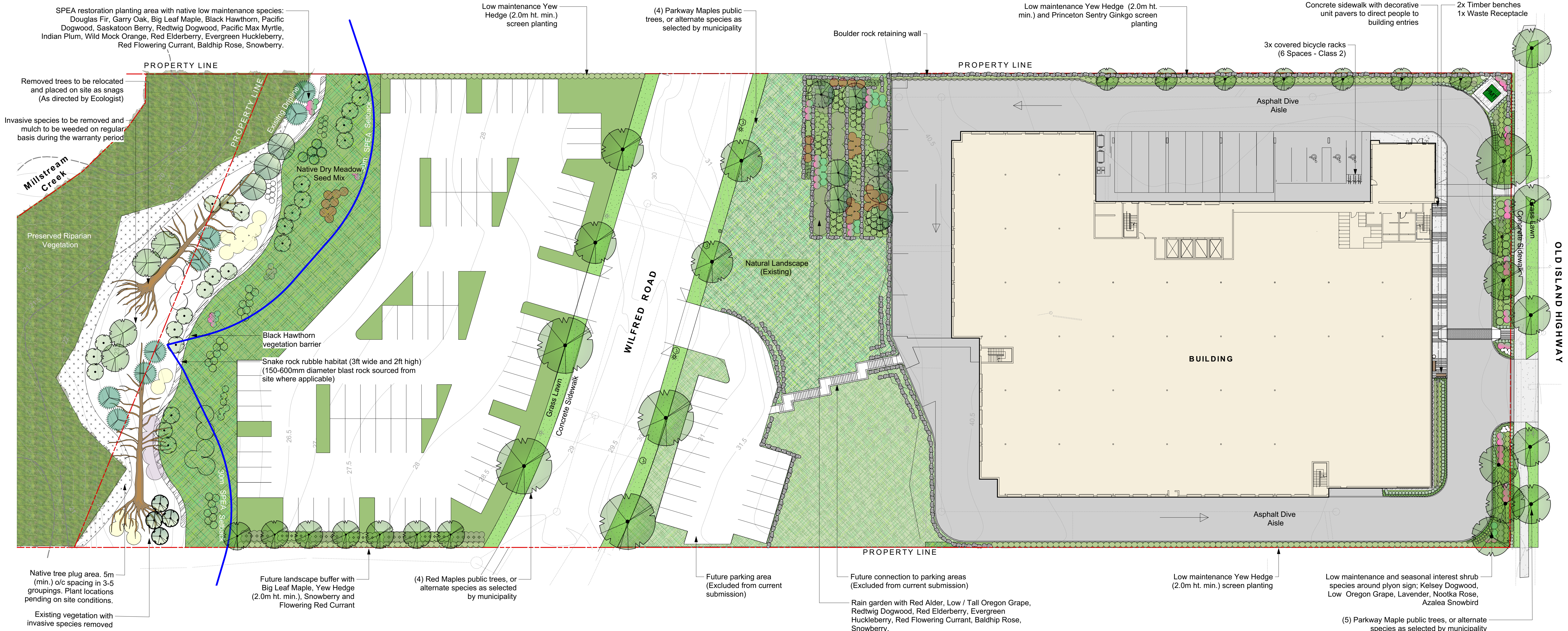
**SELF-STORAGE BUILDING**

1764 ISLAND HWY, COLWOOD

**SOUTH ELEVATION (LARGE SCALE 1:96)**

SCALE: 1/8" = 1'-0" @ 24x36 DATE: JAN 2023 DRAWN: PROJECT NUMBER 23001





### Recommended Nursery Stock

Trees	Botanical Name	Common Name	Size
40	Acer macrophyllum	Big Leaf Maple	6cm cal. / 3.0m ht.
	Acer platanoides 'Parkway'	Parkway Maple	6cm cal. / 3.0m ht.
	Acer rubrum 'Autumn Flame'	Autumn Flame Scarlet Maple	6cm cal. / 3.0m ht.
	Alnus rubra	Red Alder	6cm cal. / 3.0m ht.
	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	6cm cal. / 3.0m ht.
	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	6cm cal. / 3.0m ht.
Large Shrubs	Botanical Name	Common Name	Size
378	Cornus stolonifera	Redtwig Dogwood	#3 pot
	Philadelphus lewisii	Wild Mock Orange	#5 pot
	Sambucus racemosa	Red Elderberry	#7 pot
	Taxus baccata 'Fastigiata'	Irish Yew	2.0m ht.
	Vaccinium ovatum	Evergreen Huckleberry	#5 pot
Medium Shrubs	Botanical Name	Common Name	Size
345	Azalea 'Snowbird'	Snowbird Azalea	#5 pot
	Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#3 pot
	Mahonia aquifolium	Tall Oregon Grape	#3 pot
	Ribes sanguineum	Red Flowering Currant	#7 pot
	Rosa nutkana	Nootka Rose	#3 pot
	Symphoricarpos albus	Snowberry	#1 pot
Small Shrubs	Botanical Name	Common Name	Size
255	Cornus stolonifera 'Kelsey'	Kelsey Dogwood	#1 pot
	Lavandula x intermedia 'Provence'	Provence French Lavender	#1 pot
	Mahonia nervosa	Low Oregon Grape	#1 pot
Perennials, Annuals and Ferns	Botanical Name	Common Name	Size
217	Calamagrostis x acutiflora 'Karl Forester'	Forester's Feather Reed Grass	#1 pot
	Helictotrichon sempervirens	Blue Oat Grass	#1 pot

### SPEA Area Recommended Nursery Stock

Trees	Botanical Name	Common Name	Size
44	Acer macrophyllum	Big Leaf Maple	#15 pot
	Cornus nuttallii	Pacific Dogwood	#15 pot
	Crataegus douglasii	Black Hawthorn	2.0m ht.
	Pseudotsuga menziesii	Douglas Fir	2.0m ht.
	Quercus garryana	Garry Oak	#15 pot
Trees - Plugs	Botanical Name	Common Name	Size
100	Acer macrophyllum	Big Leaf Maple	77mm plug
	Picea sitchensis	Sitka Spruce	77mm plug
	Abies balsamea	Grand Fir	77mm plug
	Pseudotsuga menziesii	Douglas Fir	77mm plug
Large Shrubs	Botanical Name	Common Name	Size
69	Amelanchier alnifolia	Saskatoon Berry	#5 pot
	Cornus stolonifera	Redtwig Dogwood	#5 pot
	Myrica californica	Pacific Wax Myrtle	#5 pot
	Oemleria cerasiformis	Indian Plum	#5 pot
	Philadelphus lewisii	Wild Mock Orange	#5 pot
	Sambucus racemosa	Red Elderberry	#5 pot
	Vaccinium ovatum	Evergreen Huckleberry	#5 pot
Medium Shrubs	Botanical Name	Common Name	Size
29	Ribes sanguineum	Red Flowering Currant	#3 pot
	Rosa gymnocarpa	Baldhip Rose	#3 pot
	Symphoricarpos albus	Snowberry	#3 pot

Notes:  
 1. All work to be completed to current CSLA Landscape Standards  
 2. All soft landscape to be irrigated with an automatic irrigation system

### SUPPLEMENTARY SPEA LANDSCAPE SPECIFICATION:

**1.0 SCOPE OF RESPONSIBILITY**  
 1.1 Landscape Contractor to supply and install plant material to meet landscape and CSLA specification requirements.  
 1.2 Landscape Contractor to provide standard warranty as outlined under the landscape specifications as per section 4.0.  
 1.3 Landscape Contractor to monitor and maintain the site as per CSLA specifications and maintenance procedures as per section 3.0.  
 1.4 The landscape contractor scope to include invasive species removal as per section 2.0.

**2.0 INVASIVE PLANT REMOVAL**  
 2.1 Survey the invasive plants within the SPEA Management Plan area. The survey shall be conducted under the supervision of the project ecologist.  
 2.2 Treat and remove all invasive vegetation and seeds from the site to a registered treatment area in accordance with Section 11 in the 2020 Canada Landscape Standard, Canadian Weed Science Society, and municipal guidelines.  
 2.3 Ensure growing medium and mulch to be substantially free of invasive and noxious seeds that would prohibit seed germination or the healthy development of plant materials.  
 2.4 Thoroughly clean equipment and machinery to remove seeds and vegetative plant material before leaving the site.  
 2.5 Maintain invasive plant-free buffer zones within the SPEA Management Plan area throughout the duration of the warranty period.  
 2.6 Re-seed bare soil immediately after disturbance that meets Federal Seeds Act, and when soil surface, soil moisture, and weather conditions are suitable for germination and establishment.

**3.0 MONITORING PLAN**  
 3.1 SPEA Management Plan area is designed to be maintained to 'Level 3 Moderate' standards as provided in Table T-9.9 in the 2020 Canada Landscape Standards.  
 3.2 Landscape contractor to provide monthly inspection reports to the Landscape Architect as outlined under Table T-9.9 in the 2020 Canada Landscape Standards.

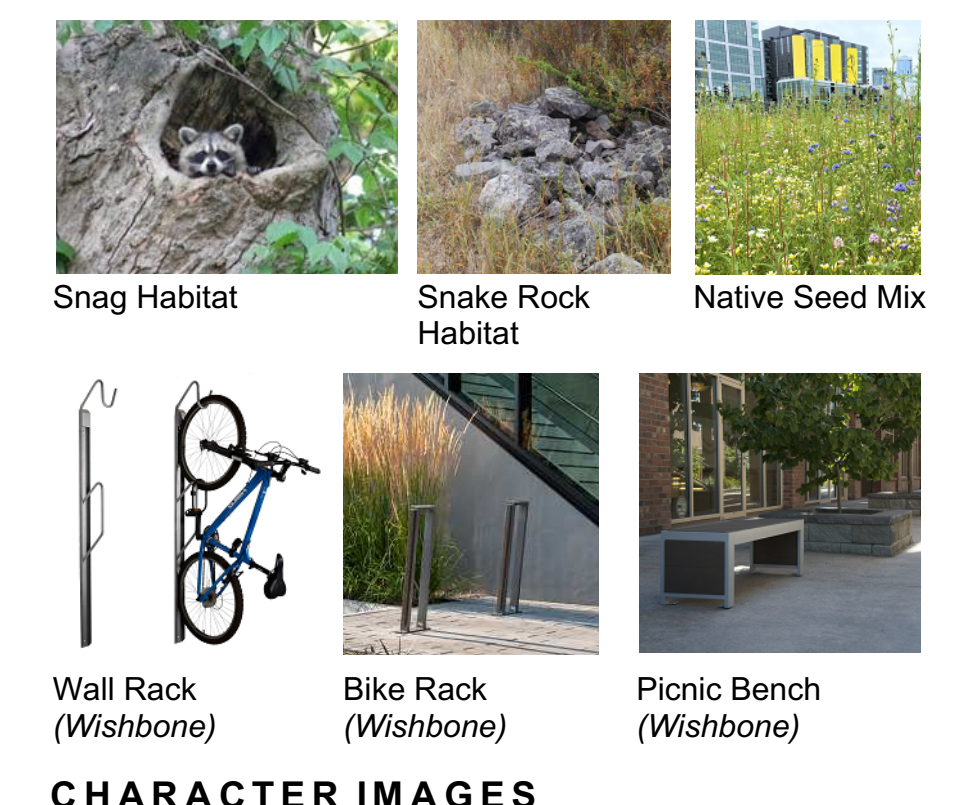
**4.0 WARRANTY PERIOD**  
 4.1 The Landscape Contractor is responsible for maintenance of seeded and planted areas including weeding, watering, the removal and replacement of dead plants and plants that are not in healthy growing condition, and re-seeding as necessary, for a period of one (1) year from the date of Substantial Completion (SC) of the landscape work. Landscape Contractor is to advise Landscape Architect when installation is ready for Substantial Completion review. The successful review for SC will trigger the start of a pre-acceptance period.  
 4.2 Plant material will be Accepted by the Landscape Architect after the one (1) year maintenance period is complete provided that the plant material exhibits healthy growing condition and is free from disease, insects and fungal organisms.  
 4.3 All plants to be guaranteed for one year from date of Acceptance. Failure due to Acts of God (extremely unusual climatic conditions), improper maintenance after Acceptance and/or insufficient watering during the one-year establishment period after Acceptance, will not be covered by this guarantee. In addition to receiving water through an above-ground temporary irrigation system during the establishment period. Watering after Acceptance is not the Landscape Contractor's responsibility.  
 4.4 Plants that are found to be failing or in poor condition are to be replaced by the Landscape Contractor within thirty (30) of notification, if the cause is not due to accepted conditions noted above. The one-year warranty for individual plants begins at Acceptance and anew after every replacement.

### 5.0 SEEDING

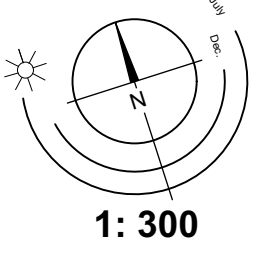
**5.1 General**  
 5.1.1 Refer to Plan for Native Meadow Seed Mix.  
 5.1.2 Finish grade of seed bed to be smooth, firm against footprints, loose textured, and free of all stones, roots, branches, etc., larger than 30mm.  
 5.1.3 Native Meadow Seed Mix areas identified as on Plan to be all 'Native Diverse Meadow Seed Mix', as supplied by Saanich Native Plants, 741 Hallsburton Road, Saanich, BC, V8Y 1H7, 778-679-3459, info@saanichnativeplants.com.  
 5.1.4 Landscape Contractor to provide and maintain protection for seeded areas until Acceptance has been given. See Terms of Acceptance, Section 4.0.  
 5.1.5 Seed Area between March 15 - May 15, or between September 1 - October 15.  
**5.2 Mechanical Seeding**  
 5.2.1 Spread seed evenly with a mechanical spreader during calm weather. Apply seed in two (2) intersecting directions. Sand or vermiculite may be added to aid distribution.  
 5.2.2 Apply seed as recommended by the seed supplier.  
 5.2.3 Immediately after seeding, lightly rake seeded areas to ensure good seed to soil contact.  
 5.2.4 Immediately after raking, water seeded areas with a fine spray.  
 5.2.5 Any portions showing germination failure are to be reseeded at intervals of thirty (30) days, until a good growth of grass is established in turf areas.  
 5.2.6 Any portions of showing germination failure to be reseeded between September 1-October 15, and will be reviewed for Acceptance the following Fall.

### 6.0 IRRIGATION

**6.1 General**  
 6.1.1 A temporary above ground irrigation system is to be provided for all newly planted areas (seed, shrubs and trees).  
 6.1.2 The system shall be installed in accordance with applicable electrical, plumbing and health codes. Design and installation to meet or exceed IAABC design standards. Contractor to be a member in good standing of the IAABC (Irrigation Industry Association of B.C.). The system design shall meet or exceed IAABC design standards.  
 6.1.3 System to provide 100% coverage of planted areas shown on landscape plans.  
 6.1.4 All pipes to be CSA approved and installed as per manufacturer's directions. Care must be taken during installation to size pipe to keep velocity or flow rate at less than 5 ft. per second. The following minimum coverage is to be provided over piping where soil depths permit:  
 200 mm (8") in planting beds.  
 200 mm (8") in seed.  
 6.1.5 Trenches to be free of rock, debris or sharp articles. Pipe and control wiring to be embedded in a layer of sand a minimum of 200 mm (8") deep. Trench settlement to be corrected during warranty period.  
 6.1.6 A manufacturer's warranty is required for all irrigation equipment outlined in the specifications and on the irrigation drawings (as-builts).  
 6.1.7 A one year warranty will apply for materials and workmanship.  
 6.1.8 Landscape Contractor to contact directly to arrange two (2) inspections when the irrigation system is substantially complete and at the end of the maintenance period.  
 6.1.9 After the irrigation system is inspected and approved by the Landscape Architect at substantial completion it will become the contractor's to maintain throughout the one (1) year warranty period.  
 6.1.10 After the irrigation system is inspected and approved by the Landscape Architect at the end of the warranty period the Landscape Contractor will remove the above ground irrigation system.



CHARACTER IMAGES



# Landscape Concept Plan - 1764 Old Island Highway





## 1760 Old Island Highway Site Landscape Budget Estimate

A. SOFT LANDSCAPE	Quantity	Units	Price	Extension
<b>1. PLANTS</b>				
Trees (6 cm caliper)	40	each	\$525.00	\$21,000.00
Shrubs (2.0m ht.)	282	each	\$135.00	\$38,070.00
Shrubs (#7 pot)	133	each	\$135.00	\$17,955.00
Shrubs (#5 pot)	207	each	\$75.00	\$15,525.00
Shrubs (#3 pot)	105	each	\$57.00	\$5,985.00
Shrubs, Perennials, Annuals, Ferns (#1 pot)	527	each	\$16.50	\$8,695.50
<b>SUB-TOTAL PLANTS</b>				<b>\$107,230.50</b>
<b>2. GRASS</b>				
Sod	526	m.sq.	\$14.50	\$7,627.00
<b>3. SOIL</b>				
Soil (Large Shrubs & Trees) 600mm depth	469	m.cu.	\$32.00	\$15,008.00
Soil (Medium Shrubs) 450mm depth	100	m.cu.	\$32.00	\$3,200.00
Soil (Small Shrubs & Perennials) 300mm depth	317	m.cu.	\$32.00	\$10,144.00
Mulch (All Beds) 100mm depth	200	m.cu.	\$40.55	\$8,110.00
<b>SUBTOTAL SOFT LANDSCAPE</b>				<b>\$151,319.50</b>
<b>B. HARD LANDSCAPE</b>				
<b>1. IRRIGATION ALLOWANCE</b>				\$29,000.00
<b>2. STONE AND ROCK</b>				
Boulders 300mm diameter	473	each	\$60.00	\$28,380.00
<b>3. SURFACING</b>				
Decorative Concrete Pavers	36	m.sq.	\$135.00	\$4,860.00
<b>4. SITE FURNISHINGS</b>				
Inverted 'U' Bicycle Racks	3	each	\$500.00	\$1,500.00
Benches	2	each	\$1,100.00	\$2,200.00
Waste Receptacle	1	each	\$1,150.00	\$1,150.00
<b>SUBTOTAL HARD LANDSCAPE</b>				<b>\$67,090.00</b>
<b>TOTAL LANDSCAPE BUDGET ESTIMATE</b>				<b>\$218,409.50</b>
				<b>Exclusive of GST</b>
Prices include labour and materials. For bonding purposes only; this is not a construction estimate.				
Prepared by LADR Landscape Architects				05-Sep-23



## Old Island Highway SPEA Landscape Budget Estimate

A. SOFT LANDSCAPE	Quantity	Units	Price	Total
<b>1. PLANTS</b>				
Trees (#15 pot and 2m ht.)	44	each	\$330.00	\$14,520.00
Trees (#77mm plugs)	100	each	\$6.00	\$600.00
Shrubs (#5 pot)	69	each	\$75.00	\$5,175.00
Shrubs (#3 pot)	29	each	\$57.00	\$1,653.00
<b>SUB-TOTAL PLANTS</b>				<b>\$21,948.00</b>
<b>2. GRASS</b>				
Meadow grass seed mix	946	m.sq.	\$2.00	\$1,892.00
<b>3. SOIL (SUPPLY ONLY)</b>				
Tree Soil - 8m.cu/tree	352	m.cu.	\$32.00	\$11,264.00
Shrub Soil - 0.6m.cu/shrub	59	m.cu.	\$32.00	\$1,881.60
Mulch (All Beds) 100mm depth	24	m.cu.	\$40.55	\$981.31
Blast Rock Wall (Placement Only) 0.6m high x 0.9m wide	80	lin.m	\$25.00	\$2,000.00
<b>4. MAINTENANCE</b>				
Maintenance Allowance (1 Year)				\$7,500.00
Maintenance Allowance (2 Year)				\$7,500.00
<b>SUBTOTAL SOFT LANDSCAPE</b>				<b>\$54,966.91</b>
<b>TOTAL LANDSCAPE BUDGET ESTIMATE</b>				<b>\$54,966.91</b>
				<b>Exclusive of GST</b>

Prices include labour and materials. For bonding purposes only; this is not a construction estimate.

Prepared by LADR Landscape Architects

05-Sep-23



390-7th Avenue,  
 Kimberley, B.C. V1A 2Z7  
 Tel: (250) 427-0260  
 Fax: (250) 427-0280  
 e-mail: aqua-tex@islandnet.com

201-3690 Shelbourne St  
 Victoria, B.C. V8R 4H2  
 Tel: (250) 598-0266  
 Fax: (250) 598-0263

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**To:** Yazmin Hernandez, Development Services Planner, Development Services Department, City of Colwood  
**Cc:** Desiree Givens, MCRP, Development Services Planner II, Development Services Department, City of Colwood  
 Andrew Peterson, Director, Development, PCUrban, Vancouver  
 Aqua-Tex staff  
**From:** Wm. Patrick Lucey, M.Sc., R.P. Bio., CBiol., MRSB, Sr. Aquatic Ecologist  
**Date:** October 2<sup>nd</sup>, 2023  
**Re:** **1764 Island Highway – environmental protection measures update**  
**File:** /Volumes/Working Files/Projects (server)/1764 Old Island Highway (PC Urban)/2023-10-02 Memo – environmental protection measures update/1764 Island Highway – environmental protection measures update\_2023-10-02.docx

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Dear Yazmin:

I have been asked by Andrew Peterson (PCUrban) to review the original recommended Environmental Protection requirements for their property at 1764 Island Highway. This request is based upon the current Site Plan and building footprints, submitted as part of the DP application.

I have reviewed the historical reports Aqua-Tex, and other consultants, prepared to address the following environmental measures designed to protect Millstream Creek:

- Riparian setbacks from Millstream Creek (possible changes to the creek following the November 2021 major flood event)
- Review existing landscape features within 30m SPEA
- Riparian habitat enhancements sited within the SPEA
- Plant salvage on-site
- Stormwater Management (SWM) features and their location

## Findings / Recommendations

The following are my observations arising from my review of the historical reports and recent discussions with engineering staff from Westbrook Consulting Ltd., the latter regarding SWM bioswales associated with the Phase 1 building (adjacent to Island Highway).

1. The alignment of the original riparian setback of 30 m (Colwood Bylaw and RAPR SPEA) was re-walked and the landscape features checked to verify that no landscape features have changed since the original field work was conducted. No changes have occurred within the stream channel (following the November 2021 major storm event), nor have any changes occurred within the riparian plant community (mature conifer canopy and hillside south of the tree's edge).
2. The original landscape planting plan, prepared by LADR Landscape Architects, was reviewed and we think this remains an appropriate habitat enhancement plan. We do not recommend any changes to that plan. Invasive species management will be required, as originally recommended. No significant changes to the invasive species distribution was noted compared with those observed in 2020.



3. The riparian landscape planting plan shall be constructed based upon weather and the optimal season in which to conduct the physical works (large rock and wood, snake rock berm) and the installation of the native plants. Given the drought experienced in 2022/2023 the issue of irrigation, as part of the initial planting period, in which plant roots become developed to preclude the need for irrigation, should be reviewed by the Landscape Architect and QEP to ensure plants develop strong root systems.
4. The original recommendation to salvage the large conifers at the top-of-slope for use as large woody material in the habitat enhancement zone (30m SPEA) should remain as a core item of the habitat enhancement plan.
5. I have reviewed with Tracey Klatt, P. Eng. (Westbrook Consulting Ltd.) the SWM plan for the Phase 1 building, adjacent to Island Highway. This plan will consist of a series of elongated bioswales, in a cascade series, located at the NE corner of the Phase 1 site.
6. The SWM treatment system will receive the runoff from the Phase 1 building and internal driveways, filter the runoff through the bioswale soil to an under drain before releasing the water to the municipal stormwater system. This design ensures that the first flush in larger storms, which has the highest concentration of pollutant contaminants, to be captured and treated.
7. Once the initial flush of contaminants has been infiltrated and treated, subsequent runoff volumes from larger events then overflows into the tanked storage, where it is detained and released at the pre-development flow levels.

In summary, my review of the original recommendations regarding the protection of the riparian landscape habitat found no reason to alter those recommendations, nor did I find any landscape changes that would require additional and/or alterations to the original recommendations.

I would be pleased to discuss my findings and recommendations with you at your convenience.