



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP000009

DEVELOPMENT PERMIT DP000009

THIS PERMIT, issued December 5, 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: RPSP Beach Front Nominee Ltd.
305-111 Water Street
Vancouver, BC V6B 1A7

(the "Permittee")

-
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT I SECTION 54 ESQUIMALT PLAN VIP58414
"The Beachlands"

(the "Lands");

2. This Development Permit regulates the development of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form and character considerations of a 2-storey office building with a food and beverage component and associated site improvements are consistent with the design guidelines for areas designated as "The Landing" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a Subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.
5. The Director of Development Services or Director of Engineering may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and

character of the development authorized by those plans.

6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Architectural Drawings prepared by OMB architects + designers, dated November 10, 2023
 - Schedule 2 Landscape Drawings prepared by Hapa Collaborative, dated November 30, 2023
 - Schedule 3 Landscape Cost Estimate prepared by Hapa Collaborative, dated November 30, 2023
8. This Development Permit authorizes the construction of a 2-storey office building with a food and beverage component along with any associated site works and landscaping on the Land. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

FORM AND CHARACTER CONDITIONS

Building Features

- 8.1. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by OMB architects + designers (Schedule 1).
- 8.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or Director of Engineering.
- 8.3. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.
- 8.5. All retaining walls must be under 1.2m and be terraced at a maximum 1:1 ratio.

Signage

- 8.6. This Development Permit does not include any signage approvals. A separate sign permit will be required.


Landscaping and Lighting

- 8.7. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Drawings prepared by Hapa Collaborative (Schedule 2).
- 8.8. The on-site lighting shall be in accordance with the details included in the Landscape Drawings

prepared by Hapa Collaborative (Schedule 2).

- 8.9. This Development Permit does not authorize a landscape plan for the public boulevard.
- 8.10. Prior to the issuance of Building Permit, provide the City with a written undertaking from the landscape architect confirming supervision and installation of the landscape work in accordance with the approved landscape plan and provide a final inspection and report to the City confirming substantial compliance with the approved landscape plan.
- 8.11. Prior to the issuance of a Building Permit, provide the City with a written undertaking guaranteeing a two-year warranty of the landscape works from the landscape architect. This warranty shall be transferable to subsequent owners of the property within the warranty period, and that the warranty will include a provision for a further one-year warranty on materials replacing failed plant materials and trees.
- 8.12. Prior to the issuance of Building Permit, provide the City in the form of an irrevocable letter of credit or certified cheque security for **\$612,557.28** (110% of the estimated cost for on-site landscape installation outlined in Schedule 3), which amount, or a portion thereof, as the case may be, shall be returned upon receipt of a signed statement of partial or substantial completion from a registered landscape architect, to the satisfaction of the Director of Development Services or Director of Engineering.

ISSUED ON THIS 5 DAY OF DECEMBER, 2023.



JOHN ROSENBERG
DIRECTOR OF ENGINEERING



THE BEACHLANDS PRESENTATION CENTRE

[COLWOOD, BC]

ISSUED FOR DEVELOPMENT FE-001 RE-VISIONS
NOVEMBER 10, 2023

PROJECT TEAM

CLIENT	ARCHITECTURAL	STRUCTURAL	MECHANICAL	ELECTRICAL	CODE	LANDSCAPE	CIVIL	ENVELOPE	ENERGY	ACOUSTICS
8P&P BEACH FRONT LIMITED PARTNERSHIP 305 - 4788 West 6th Avenue Vancouver BC V6U 1P2 604 957 4220 Contact Georgia Desautels georgia@8ppgroup.com Jon Stovell jon@8ppgroup.com	office of mcfarlane bigger architects + designers 331 - 1825 Quebec St Vancouver, BC V5T 2Z2 604 558-8344 Contact Steve McFarlane smcfarlane@officeomb.ca	DLOTMAN SIMPSON CONSULTING ENGINEERS 101-18 Dallas Road Victoria BC V8V 2A0 250 990 4315 Contact James Maccauley jmaccauley@dsimpcan.com	AME CONSULTING GROUP 721 Johnson Street Victoria BC V8N 1M6 250 382 5999 Contact Greg Tashpolsky gregtashpolsky@amecgroup.ca	AES ENGINEERING 500 - 3795 Garry Road Victoria BC V8Z 6H8 779 240 2000 Contact Pelle Bjornert pelle.bjornert@aesengr.com	MORRISON HERSHFELD 300-125 Commercial Valley Drive West Mapleton ON L3L 1P4 416 686 5110 Contact Silvana Gerasimty sgerasimty@morrisonhershfield.com	HAPA COLLABORATIVE 430-375 West 5th Avenue Vancouver BC V6P 1A0 604 508 4108 Contact Joseph Fry jry@hapa.co	ON POINT PROJECT ENGINEERS LTD. 111 957 Langford Parkway Victoria BC V8P 1A0 416 686 5110 Contact Richard Debarona rdebarona@onpoint.ca	MORRISON HERSHFELD 2nd Floor - 506 Broughton Street Victoria BC V8M 1C0 250 301 1215 Contact Silvana Gerasimty sgerasimty@morrisonhershfield.com	MORRISON HERSHFELD 310-4321 58th Creek Drive Burnaby BC V5C 2S7 604 454 0402 Contact Mehmet Yildiz myildiz@morrisonhershfield.com	BAP ACOUSTICS 132-328 West Road Victoria BC V8M 1G8 250 412 8020 Contact Eric de Santis eric@bapacoustics.com

DRAWING LIST

SHEET	NAME
A000	COVER SHEET
A010	PROJECT DATA
A011	CONTEXT - MASTERPLAN
A020	SITE PLAN
A100	L1 - KEY PLAN
A101	L2 - KEY PLAN
A102	400P - KEY PLAN
A110	L1 - COVERED PARKADE FLOOR PLAN
A111	L1 - FLOOR + ROOF PLAN
A112	L2 - FLOOR PLAN
A113	L2 - ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A210	ELEVATIONS
A215	BUILDING SECTIONS
A311	PERSPECTIVE
A300	PERSPECTIVE
A301	PERSPECTIVE
A302	PERSPECTIVE

11/06/2023 11:30:13 AM

omb office of mcfarlane bigger architects + designers
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73-97 1511 B
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DATE	REV	DESCRIPTION
Aug 15, 2023	1	Issued for DP
Sept 15, 2023	4	Issued for DP Revisions
Nov 15, 2023	5	Issued for DP Revisions



8p&p Beach Presentation Centre

A000
COVER SHEET
1.10

PROJECT INFORMATION

CIVIC ADDRESS:
TDC
LEGAL DESCRIPTION:
PART OF LOT 1, SECTION 54, QUADRANT 1 DISTRICT, PLAN VPR6414

ZONING: CD-30 Area B 10.36
OFFICE, PROFESSIONAL 10.36/2.5 gpm
EATING & DRINKING ESTABLISHMENT 10.36/2.5 gpm

REGULATION	PERMITTED	PROPOSED	
MINIMUM LOT AREA	1,800 m ²	3,285 m ² (36,543 sf)	10.35/7
MINIMUM LOT WIDTH	18.0 m	48.81 m	10.25/7
FLOOR AREA RATIO	3.5	6.33	10.25/7
GROSS AREA	11,882 m ²	1126 m ² (12,123 sf)	10.35/7
MAXIMUM LOT COVERAGE	50%	49.5% (23% off bylaw)	10.35/7
MAXIMUM BUILDING HEIGHT	20 m	8.8 m	10.35/7
MIN. BUILDING SETBACKS			
FRONTING STREET	4.5 m	4.5 m	10.25/7
SIDE	3.0 m	4.0 m	
EXTERIOR SIDE	3.0 m	4.5 m	10.25/7
REAR	3.0 m	5.8 m	10.35/7

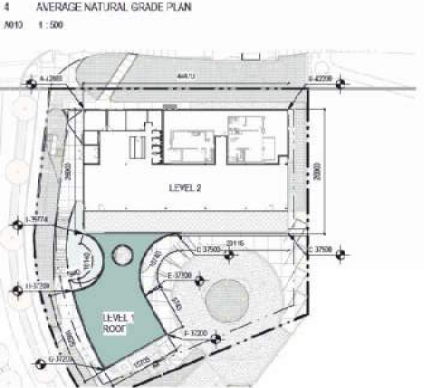
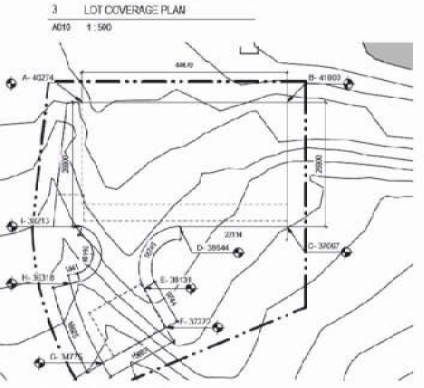
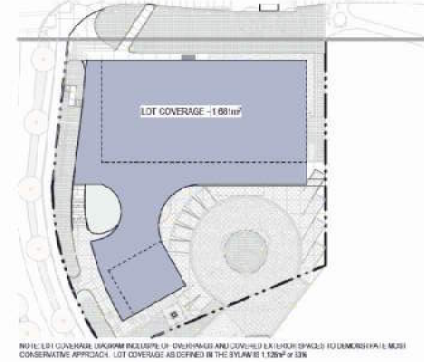
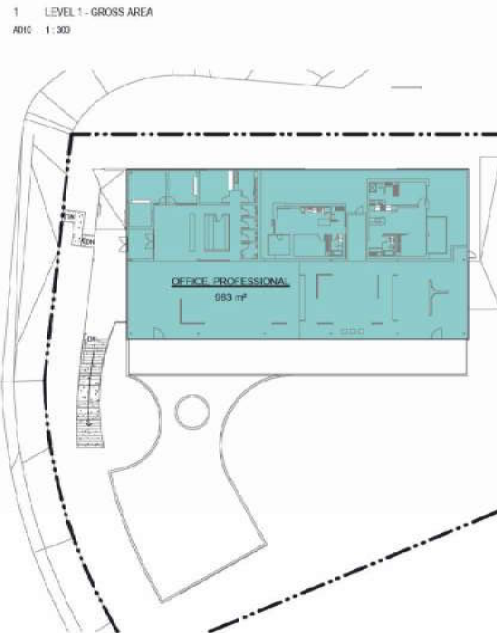
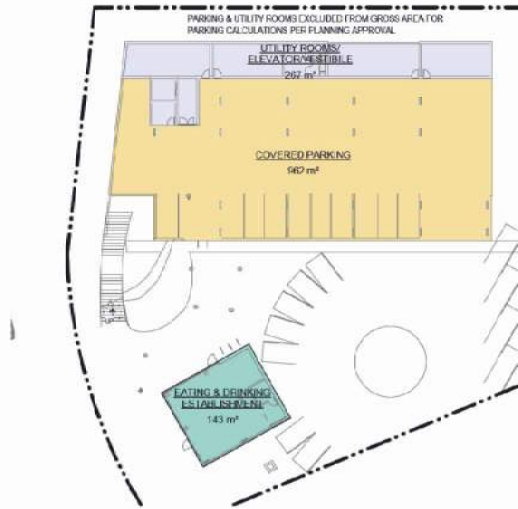
PROPOSED GROSS AREA SCHEDULE		
Level	Name	Area
LEVEL 1	EATING & DRINKING ESTABLISHMENT	143 m ²
LEVEL 2	OFFICE, PROFESSIONAL	983 m ²
Grand Total 2		1126 m ²

GFA WITHOUT EXCLUSIONS SCHEDULE		
Level	Name	Area
LEVEL 1	COVERED PARKING	942 m ²
LEVEL 1	EATING & DRINKING ESTABLISHMENT	143 m ²
LEVEL 1	UTILITY ROOMS/ELEVATOR/VESTIBULE	267 m ²
LEVEL 2	OFFICE, PROFESSIONAL	983 m ²
Grand Total GFA without Exclusions 4		2355 m ²

PARKING SUMMARY

ZONING	AREA	USE	REQUIRED	PROPOSED
CD 30	962m ² (10,562 sf)	office (12 offices, 600)	38 (0.28 spaces per 100' of gross area per 9.25/7.1)	34 (inclusion of area/1) accessible parking spaces per 3.4.3 table 2 of bylaw 939
	143m ² (1,539 sf)	commercial (1.1 eat + drink est.)	6 (0.40 spaces per 100' of gross area per 9.25/7.1)	6 (one (1) motorcycle and accessible - not included in proposed lot count)
	1,126m ² (12,123 sf)	total	34	
Parking Bylaw	962m ² (10,562 sf)	office	22 (1 per 44m ²)	34 (inclusion of area/1) accessible parking spaces per 3.4.3 table 2 of bylaw 939
	143m ² (1,539 sf)	restaurant	10 (1 per 14m ²)	
	1,126m ² (12,123 sf)	total	32	

NOTE: PARKING & UTILITY ROOMS EXCLUDED FROM GROSS AREA FOR PARKING CALCULATIONS PER PLANNING APPROVAL. SMALL CIRCULAR COURT - 2 OR 2.5% OF TOTAL PROPOSED STALLS.



LOADING SUMMARY

ZONING	AREA	USE	REQUIRED	PROPOSED
PARKING BYLAW	1,126m ² (12,123 sf)	office/total	0 (1500/2 to 2300/4) per 1,1 table 4 of bylaw no. 1909	1

BICYCLE PARKING SUMMARY

LONG - TERM				
ZONING	AREA	USE	REQUIRED	PROPOSED
PARKING BYLAW	1,126m ² (12,123 sf)	office/total	5 (1 per 226 m ² of gross area) per 1, table 4 of bylaw no. 1909	6
SHORT - TERM				
ZONING	AREA	USE	REQUIRED	PROPOSED
PARKING BYLAW	1,126m ² (12,123 sf)	office/total	6 (1 space per parking space 1, table 4 of bylaw no. 1909)	10

AVERAGE NATURAL GRADE CALCULATIONS

A + B	440.2m x 41.0m/2 = 44.47m	1,805 m ²
B + C	441.8m x 37.1m/2 = 26.90m	1,850 m ²
C + D	37.1m x 36.6m/2 = 23.12m	875 m ²
D + E	38.6m x 38.1m/2 = 18.74m	719 m ²
E + F	38.1m x 37.2m/2 = 9.45m	346 m ²
F + G	37.2m x 34.7m/2 = 16.85m	685 m ²
G + H	34.7m x 38.3m/2 = 19.05m	673 m ²
H + I	38.3m x 38.2m/2 = 19.21m	715 m ²
I + A	38.2m x 40.2m/2 = 26.99m	1,054 m ²
	304.6m	7,853 m ²
	7,853/204.6 = 38.4m	
		AVERAGE NATURAL GRADE - 38.4m

NOTE: NATURAL GRADE IS ON (1) AT 10' WITH A (1) MFC/D (1) DISCUSSED AND AGREED WITH CITY OF COLWOOD PLANNER NELSEA REIDEN AND DIFFERS FROM BYLAW APPROACH TO UNIQUE SITE SHAPE.

AVERAGE FINISHED GRADE CALCULATIONS

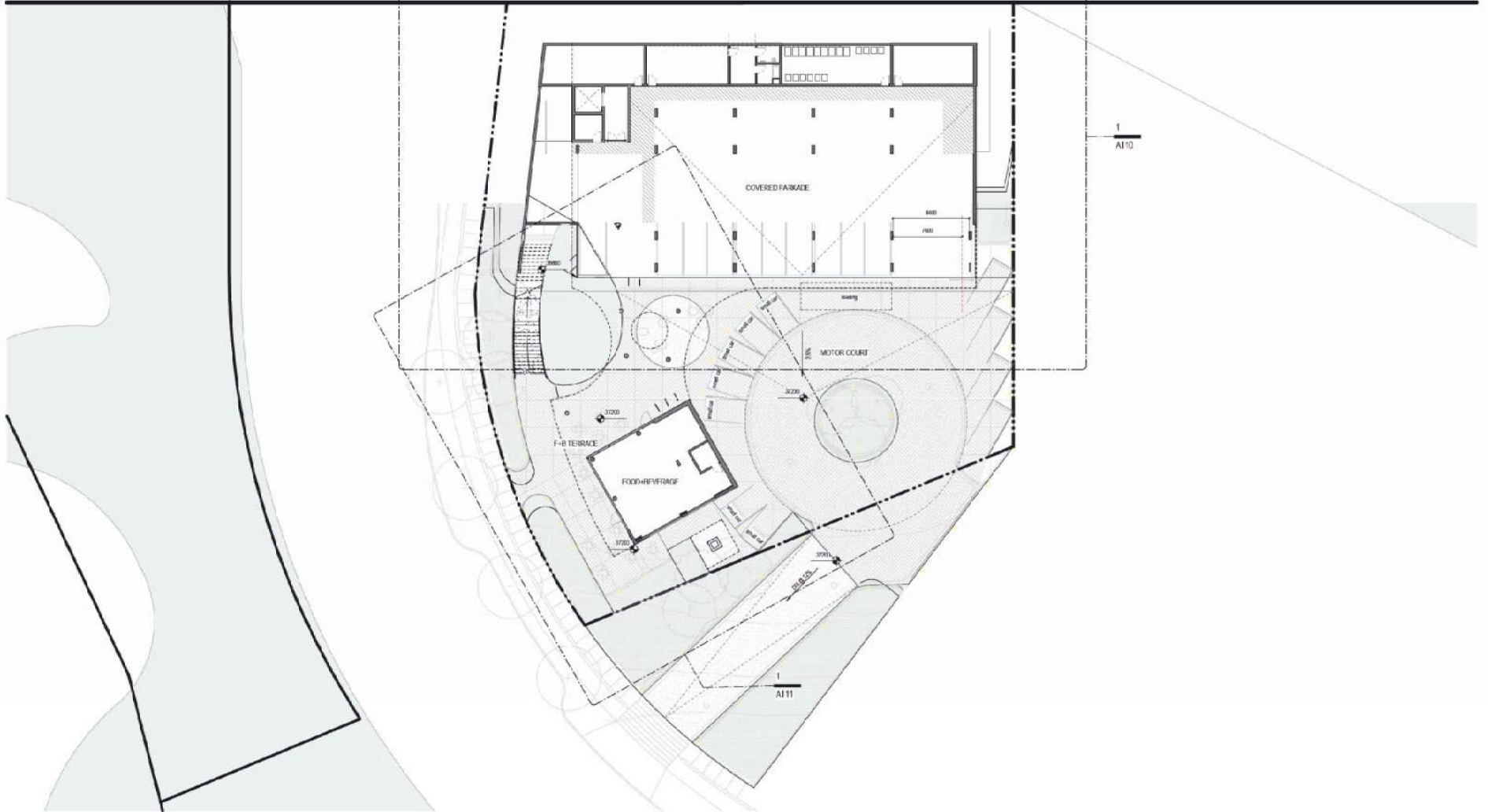
A + B	442.0m x 42.2m/2 = 44.47m	1,872 m ²
B + C	442.0m x 37.5m/2 = 26.50m	1,872 m ²
C + D	37.5m x 37.5m/2 = 25.12m	887 m ²
D + E	37.5m x 37.2m/2 = 16.74m	706 m ²
E + F	37.2m x 37.2m/2 = 9.46m	352 m ²
F + G	37.2m x 37.2m/2 = 16.65m	627 m ²
G + H	37.2m x 37.2m/2 = 16.65m	795 m ²
H + I	37.2m x 38.7m/2 = 19.21m	739 m ²
I + A	38.7m x 42.2m/2 = 26.99m	1,182 m ²
	294.6m	8,036 m ²
	8,049/294.6 = 30.3m	
		AVERAGE FINISHED GRADE - 30.3m



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DATE	REV	DESCRIPTION
June 11, 2023	1	Issued for DP
Nov 10, 2023	2	Issued for DP/Resubmits





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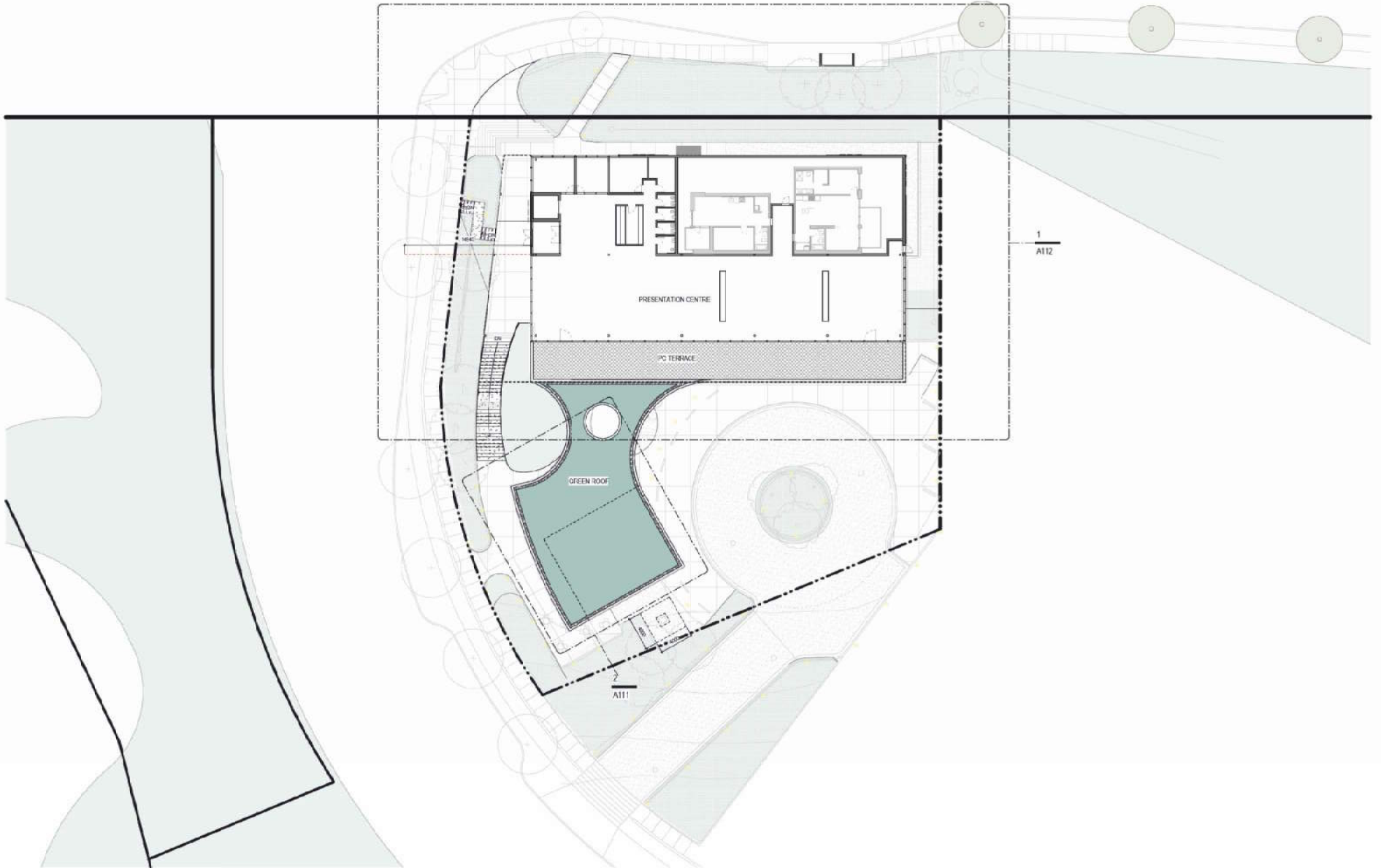
DATE	REV	DESCRIPTION
June 11, 2023	1	Issued for DP
Sept 15, 2023	4	Issued for DP Revisions
Nov 10, 2023	5	Issued for DP Revisions



Royal Dutch Presentation Centre



A100
L1 - KEY PLAN
1 / 200



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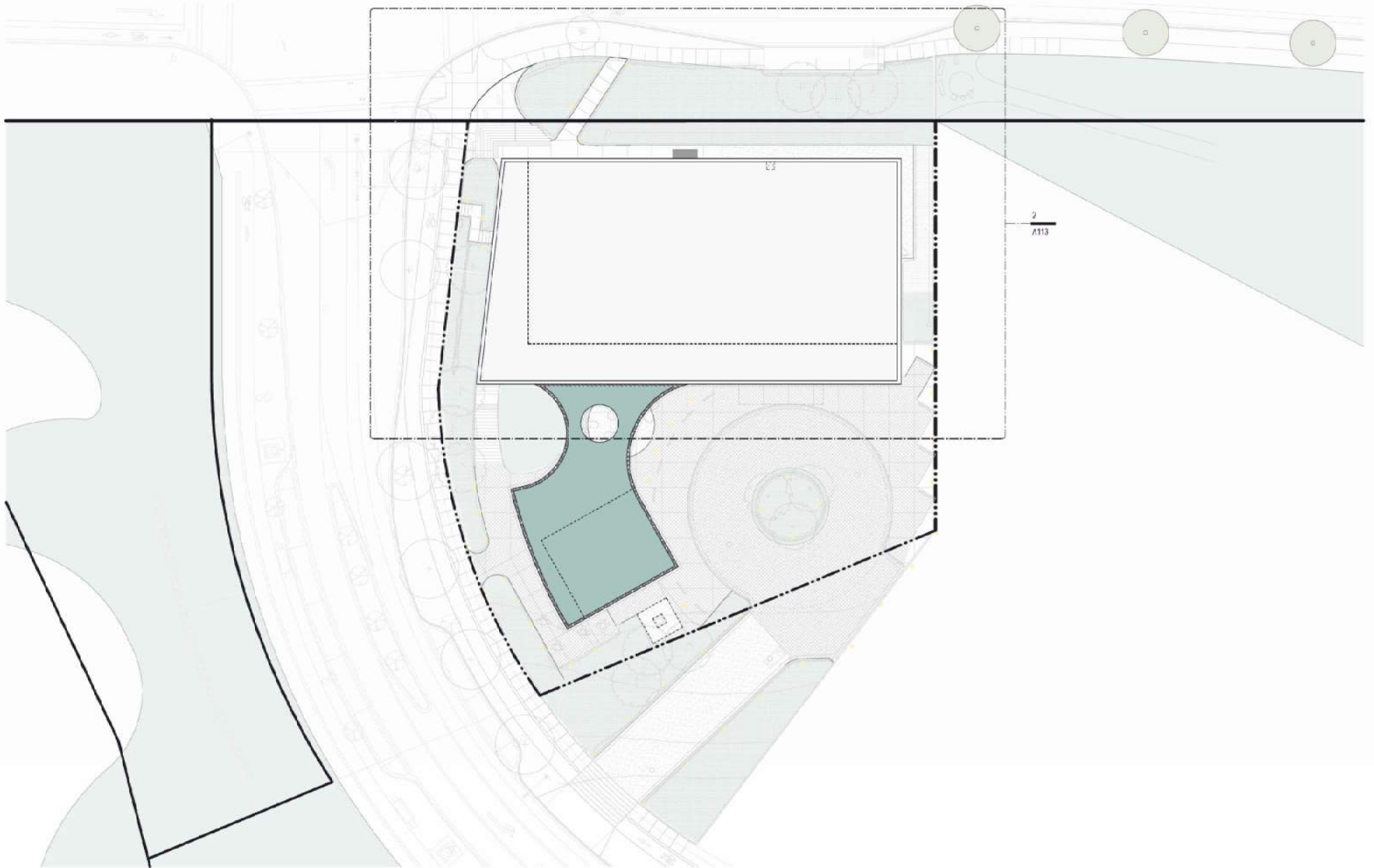
DATE	REV	DESCRIPTION
June 11, 2023	1	Issued for DP
Nov 10, 2023	2	Issued for DP Revisions



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A101
L2 - KEY PLAN
1 / 200



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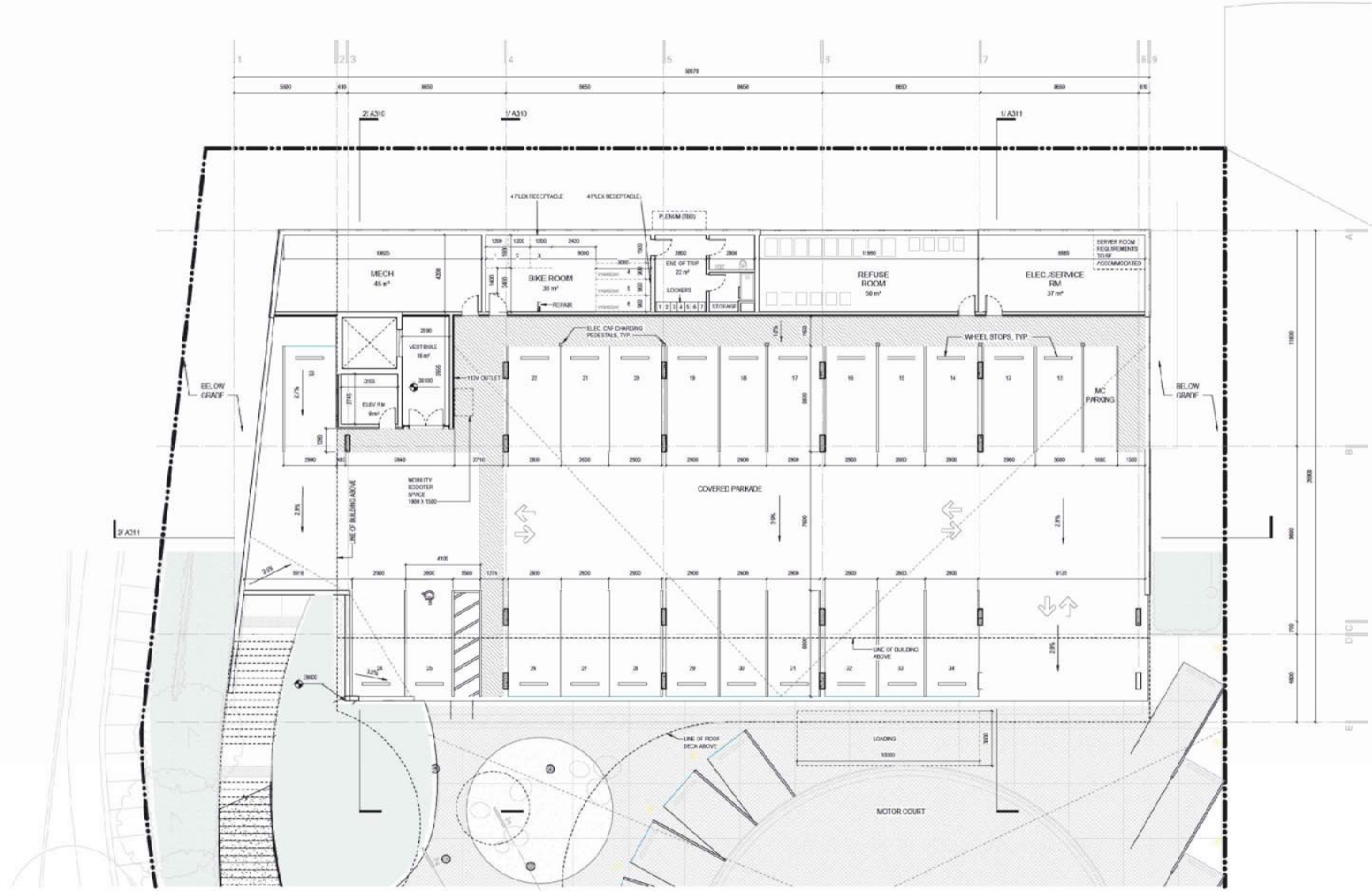
DATE	REV	DESCRIPTION
June 11, 2023	1	Issued for IOP
Nov 10, 2023	2	Issued for IOP Revisions



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A102
ROOF - KEY PLAN
1/200



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Nov 10, 2023	5	Issued for DP Revisions



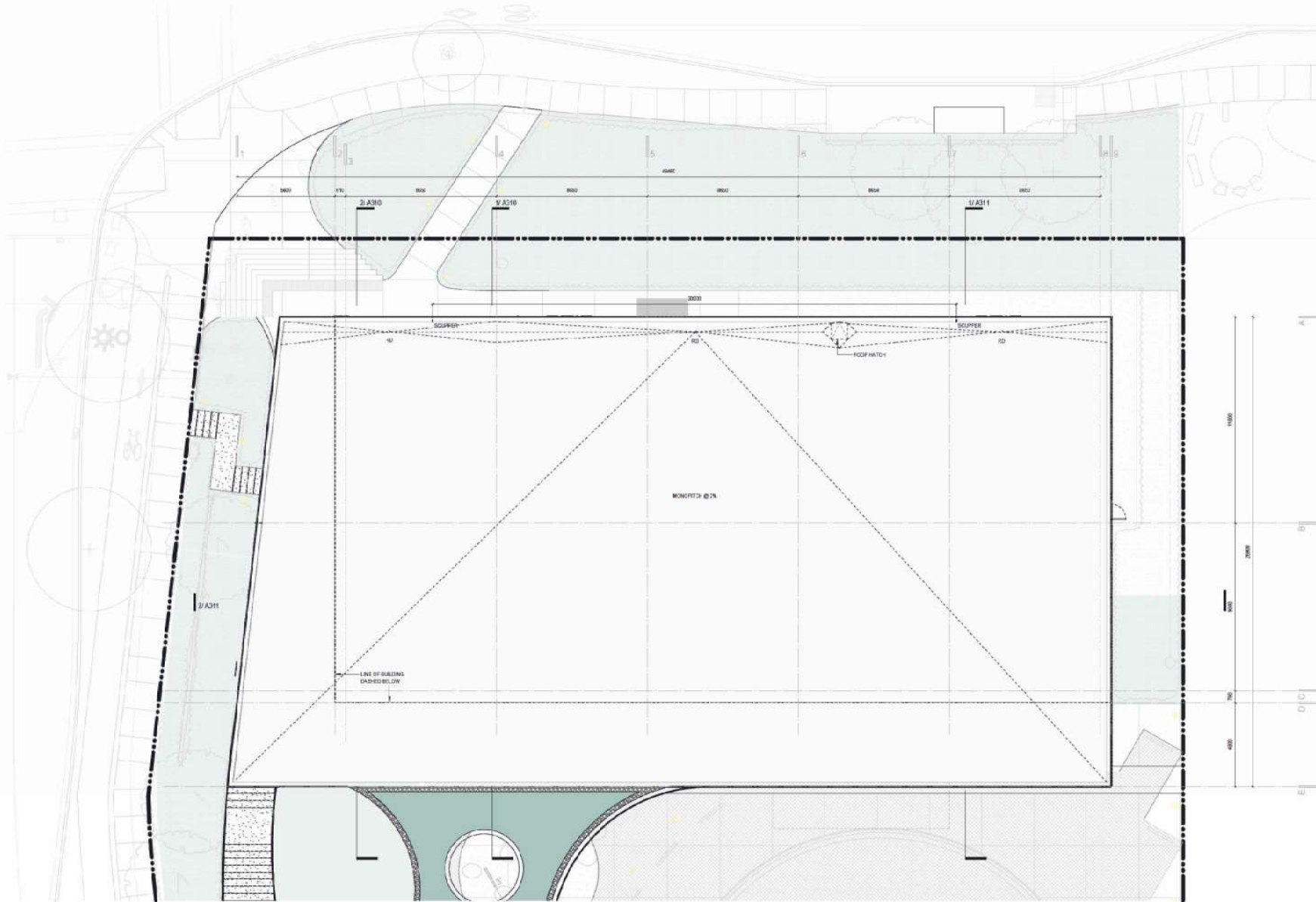
Project: South Presentation Centre



A110

L1 - COVERED PARKADE FLOOR PLAN

1/100



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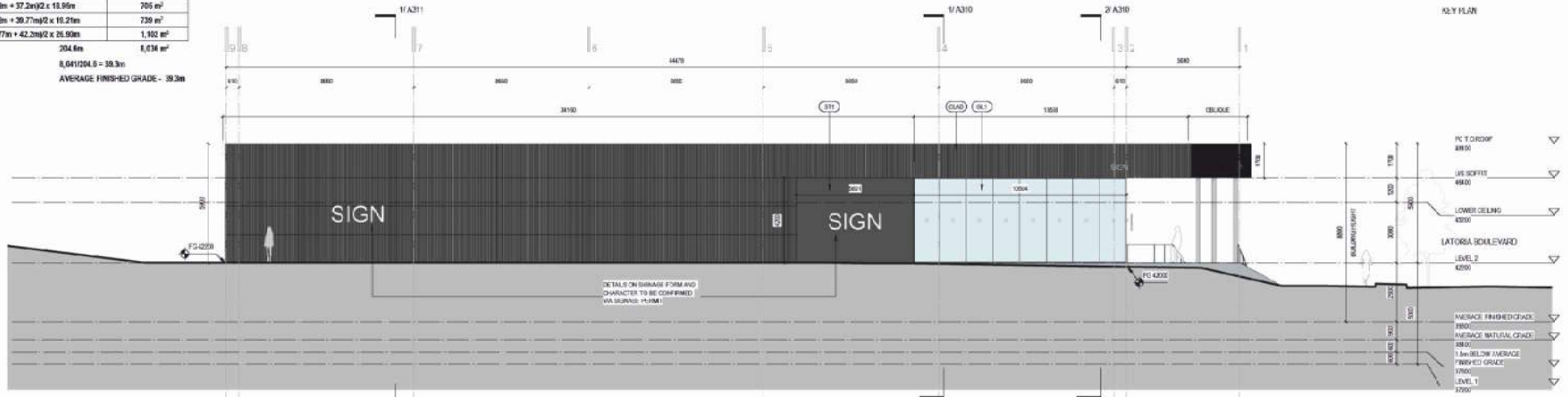
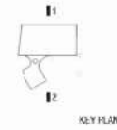
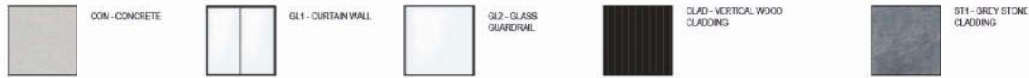


A113
L2 - ROOF PLAN
1 / 100

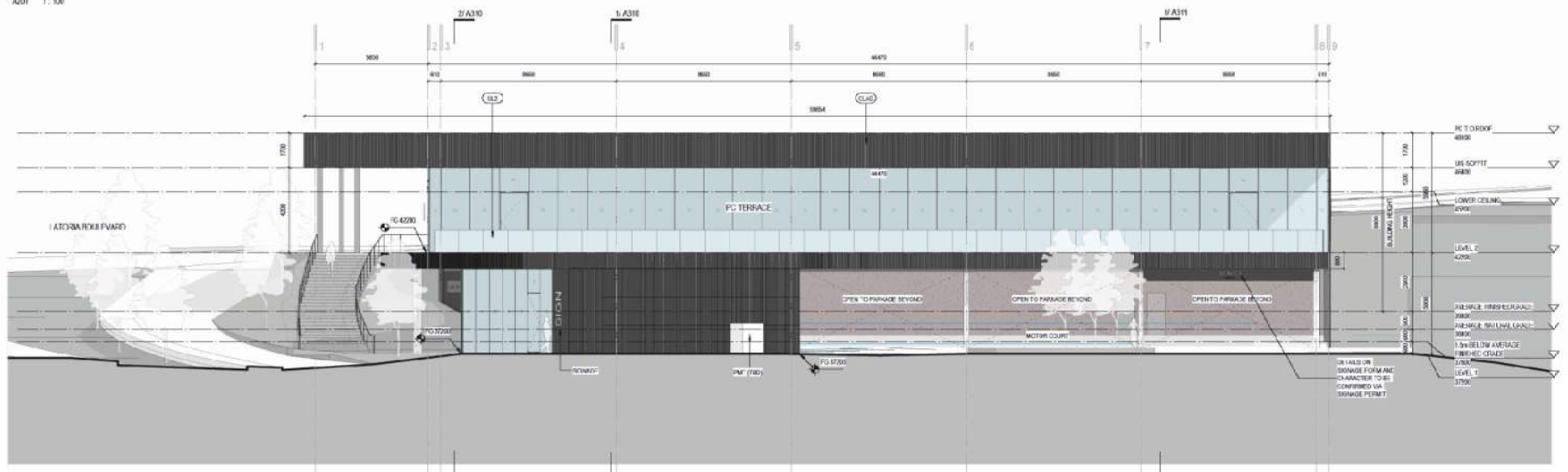
AVERAGE FINISHED GRADE CALCULATIONS

A + B	(42.2m + 42.2m) / 2 x 44.47m	1,872 m ²
B + C	(42.2m + 37.5m) / 2 x 23.90m	1,272 m ²
C + D	(37.5m + 37.5m) / 2 x 13.1m	867 m ²
D + E	(37.5m + 37.2m) / 2 x 13.74m	790 m ²
E + F	(37.2m + 37.2m) / 2 x 9.49m	352 m ²
F + G	(37.2m + 37.2m) / 2 x 11.89m	427 m ²
G + H	(37.2m + 37.2m) / 2 x 11.99m	705 m ²
H + I	(37.2m + 38.77m) / 2 x 10.27m	739 m ²
I + A	(38.77m + 42.2m) / 2 x 26.99m	1,100 m ²
704.6m		8,034 m²
8,041,004.6 = 39.3m		
AVERAGE FINISHED GRADE - 39.3m		

MATERIALS + FINISHES LEGEND



01 Elevation - West
A201 1:100



02 Elevation East
A201 1:100

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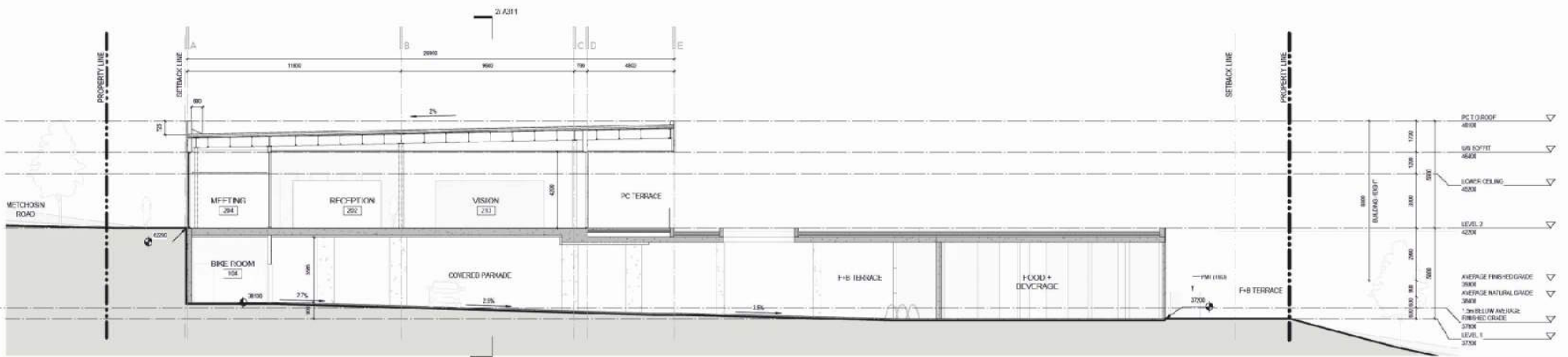
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DATE	REV	DESCRIPTION
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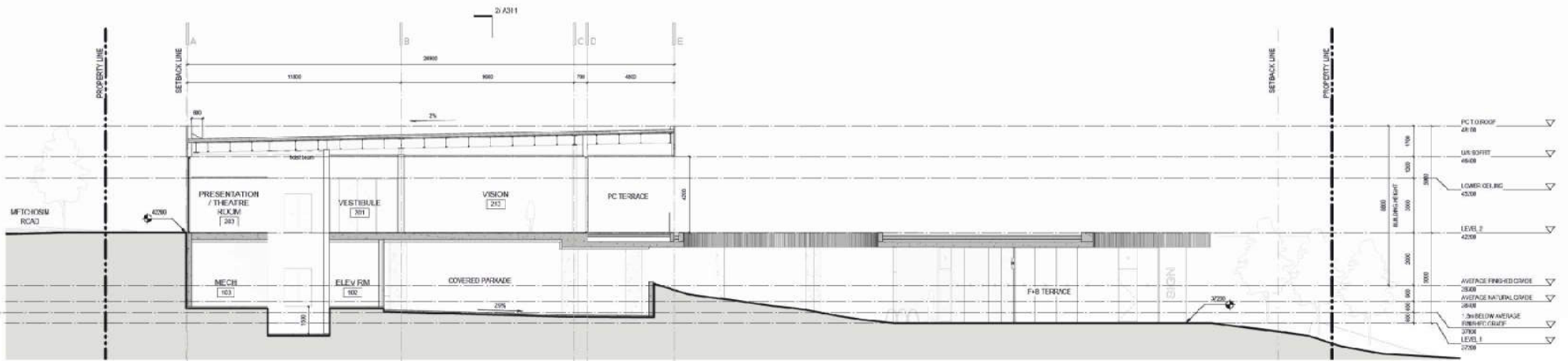


Royal Dutch Presentation Centre

A201
ELEVATIONS
As notated



1 Building Section A
A310 | 130



2 Building Section D
A310 | 130

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omb office of mcfarlane bigger architects - designers

SEACLIFF
THOMAS
RELIANCE
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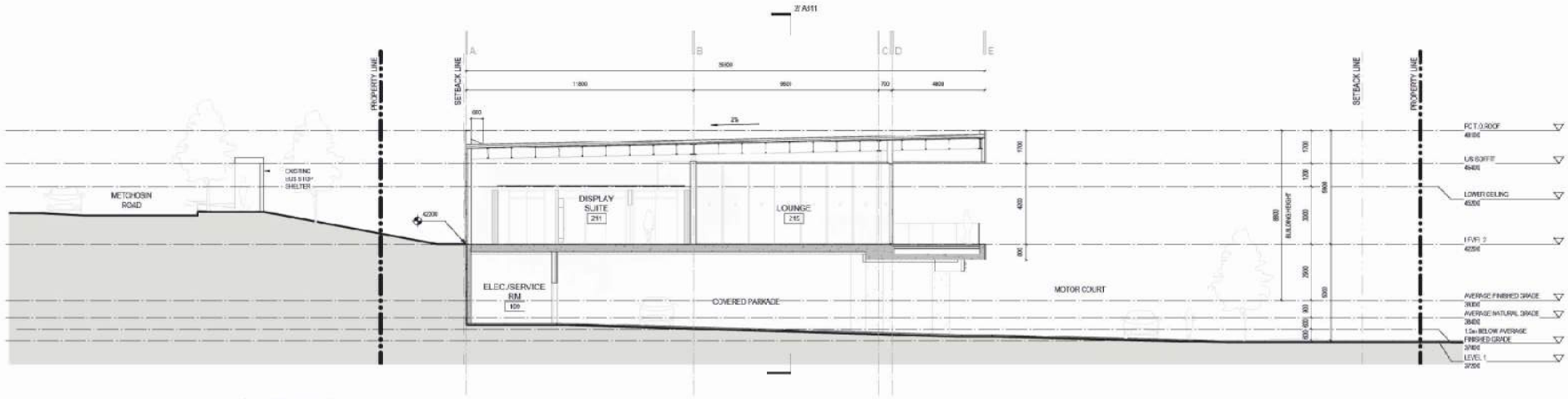
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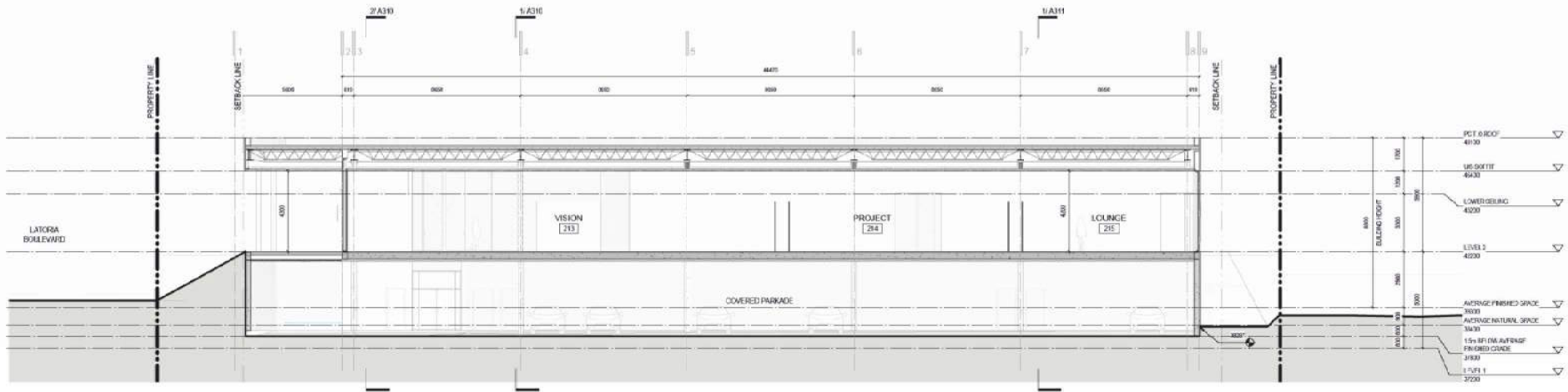


Project: A310 Presentation Centre

A310
BUILDING SECTIONS
| 100



1 Building Section C
A311 1:100



2 Building Section D
A311 1:100

DATE	REV	DESCRIPTION
June 11, 2023	1	Issued for DP
Sept 15, 2023	4	Issued for DP Revisions
Nov 10, 2023	5	Issued for DP Revisions





PERSPECTIVE VIEW FROM METCHOSIN ROAD

11/08/2023 11:38:05 AM

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architects - designers
301-1895 Quaker Street, Vancouver BC
T 604-558-6344 E info@omb.ca

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2023 with a right-investor. The experience and design as an investment of capital
and risk at this stage for the real estate developer. As design and building
information develops and cost estimates are then developed with the financing and for
the specific project and not any other projects with the same or other
related risks. The design and building information for the specific building code
will be affected by zoning, engineering, zoning, and other factors to be determined by
the owner or a combination of any and all applicable laws, codes, and other
regulations that may be applicable for the project. The owner
will be responsible for the completion of all necessary documents and
conditions for the building code and in compliance with the Building Code.

DATE	REV	DESCRIPTION
June 11, 2023	1	Issued for DP
Nov 10, 2023	2	Issued for DP/Permits



Royal Dutch Presentation Centre

A901
PERSPECTIVE



PERSPECTIVE VIEW FROM METCHOSIN ROAD

11/08/2023 11:36:26 AM

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DATE	REV	DESCRIPTION
June 11, 2023	1	Issued for DP
Nov 10, 2023	2	Issued for DP/Permitting



Royal Dutch Presentation Centre

A902
PERSPECTIVE

Schedule 2

The Beachlands Presentation Centre Landscape Drawings

298 Latoria Boulevard, Victoria, BC, V9C 4L8
 Issued for Development Permit - November 30, 2023

DRAWING LIST

Landscape

L0.00	Cover Sheet	L7.00	Landscape Sections
L0.01	General Notes	L7.01	Landscape Sections
L0.02	Illustrative Site Plan		
		L8.10	Details - Paving
L1.00	Materials Plan - Level 1	L8.11	Details - Walls and Stairs
L1.01	Materials Plan - Level 2	L8.20	Details - Planting
L1.02	Materials Plan - L2 Patio & Roof	L8.30	Details - Site Furnishings
		L8.31	Details - Site Furnishings
L2.00	Layout Plan - Level 1	L8.40	Details - Lighting
L2.01	Layout Plan - Level 2		
L3.00	Grading Plan - Level 1		
L3.01	Grading Plan - Level 2		
L4.00	Planting Schedule		
L4.01	Planting Plan - Level 1		
L4.02	Planting Plan - Level 2		
L4.03	Planting Plan - Roof		
L5.00	Irrigation Plan - Level 1		
L5.01	Irrigation Plan - Level 2		
L5.02	Irrigation Plan - Roof		
L6.00	Lighting Plan - Level 1		
L6.01	Lighting Plan - Level 2		

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 URBAN DESIGN
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5	Issued for DP	11/26/23
4	Issued for CD review	11/16/23
3	Issued for DP Revisions	11/16/23
2	Issued for DP Revisions	06/15/23
1	Issued for DP	06/15/23

No. Description Date



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**The Beachlands
Presentation Centre**

Cover Sheet

Date	Mar. 03/23	Drawing Number	L0.00
Project No.	2230		
Scale	NA		
Drawn/Checked	KW AN CM		

GENERAL NOTES

- EXISTING SURVEY INFORMATION IS BASED ON THE FOLLOWING DRAWING: PART 1 PLAN VPS6414 ;
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST MAKE CAREFUL EXAMINATION OF EXISTING SITE SURFACE CONDITIONS AND TOPOGRAPHY AND ADVISE LANDSCAPE ARCHITECT OF ANY UNSATISFACTORY SITE SURFACE CONDITIONS AND TOPOGRAPHY. NO ALLOWANCES WILL BE MADE LATER FOR ANY EXPENSES INCURRED THROUGH FAILURE TO NOTE UNSATISFACTORY SITE SURFACE CONDITIONS AND TOPOGRAPHY;
- DO NOT SCALE DRAWINGS. USE DIMENSIONAL INFO AS NOTED IN DRAWINGS. CONTACT THE LANDSCAPE ARCHITECT IF THERE IS ANY AMBIGUITY, LACK OF INFORMATION, OR INCONSISTENCY;
- THE CONTRACTOR WILL CLEAN AND REINSTATE ALL AREAS DAMAGED OR AFFECTED BY WORKS OUTSIDE THE LIMIT OF WORK TO THE CONDITIONS THAT EXISTED PRIOR TO CONSTRUCTION OR BETTER AND TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT;
- THE CONTRACTOR SHALL VERIFY DIMENSIONS SHOWN ON DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO CONSTRUCTION;
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE LIMIT OF WORK LINE;
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES AND TAKING THE NECESSARY PRECAUTIONS PRIOR TO AND DURING CONSTRUCTION, REFER TO CIVIL;
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF EXCESS FILL OFF-SITE;
- ARCHITECTURAL AND CIVIL DESIGN SHOWN FOR INFORMATION ONLY;
- REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR DISCIPLINE SPECIFIC REMOVALS.

MATERIALS PLAN NOTES

- REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS;
- REFER TO CITY OF COLWOOD STANDARDS FOR WORK ON TYPICAL SIDEWALKS;
- BOULDER PLACEMENT: COORDINATE REVIEW, SELECTION, AND PLACEMENT WITH LANDSCAPE ARCHITECT.

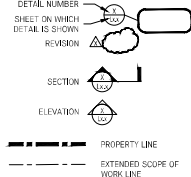
LAYOUT PLAN NOTES

- ALL DIMENSIONS ARE NOMINAL; DIMENSIONS ARE BASED ON STATIONING POINTS PROVIDED BY CIVIL;
- REFER TO GRADING PLAN FOR HORIZONTAL CONTROL OF PAVING/LANDSCAPE AREAS;
- ALL SITE FURNISHING LOCATIONS TO BE CONFIRMED WITH LANDSCAPE ARCHITECT ON SITE PRIOR IN INSTALLATION;
- CONFIRM SAWCUT PATTERN ON SITE WITH LANDSCAPE ARCHITECT;
- REFER TO CIVIL DRAWINGS FOR ROADWAY AND CURB ALIGNMENTS AND DETAILS.
- CONTRACTOR TO STAKE LAYOUT OF SOMA STONE SEATING ELEMENTS FOR LANDSCAPE ARCHITECT REVIEW PRIOR TO INSTALL.

GRADING PLAN NOTES

- ALL ELEVATIONS ARE NOMINAL AND ARE BASED ON SURVEY AND ELEVATIONS PROVIDED BY ARCH. AND CIVIL. CONTRACTOR TO VERIFY ALL MEASUREMENTS;
- ALL PROPOSED ELEVATIONS ARE TO TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE;
- PAVING IS GRADED TO A TYPICAL DIMENSION ABOVE STRUCTURAL SLABS, REFER TO ARCHITECT FOR TYPICAL ELEVATION OF SLAB;
- MAX 2% CROSS-SLOPE FOR ALL WALKS AND PAVING AREAS;
- ALL UTILITY COVERS INSIDE LANDSCAPE AREA TO BE ADJUSTED TO FINAL GRADE;
- CONDUCT GRADING START UP MEETING WITH LANDSCAPE ARCHITECT IN FIELD TO CONFIRM GRADING DESIGN.
- SITE GRADING IS TO ENSURE POSITIVE DRAINAGE AND NO PONDING WATER. ALL CONNECTIONS TO OFF-SITE CONCRETE IS TO BE FLUSH.

GENERAL LEGEND



PLANTING PLAN NOTES

- ALL PLANT MATERIAL TO CNLA STANDARDS, REFER TO THE CANADIAN NATIONAL LANDSCAPE STANDARD, LATEST EDITION;
- AREA OF SEARCH FOR PLANT MATERIAL: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON;
- REFER TO SPECIFICATION FOR GENERAL CONDITIONS, MATERIALS AND INSTALLATION REQUIREMENTS;
- ALL ONSITE PLANTED AREAS TO HAVE AUTOMATIC IRRIGATION, REFER TO IRRIGATION DRAWINGS.
- CONFIRM TREE PLANTING LOCATIONS AND PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE;
- NO SUBSTITUTIONS OF ANY PLANT MATERIAL WILL BE APPROVED WITHOUT SUBMITTAL REVIEW AND APPROVAL BY THE CLIENT/LANDSCAPE ARCHITECT;
- CONFIRM WITH LANDSCAPE ARCHITECT THE PRE-PURCHASE OF ANY PLANT MATERIALS OR REQUIREMENTS FOR CONTRACT GROWING DUE TO PLANT AVAILABILITY;
- ALL TREE SOIL VOLUMES TO MEET CITY OF COLWOOD STANDARDS;
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT OF OFF-SITE SODDED LAWN, AS PER PLANS;
- REFER TO MECHANICAL / CIVIL FOR DRAINS AND OFFSITE GRADING.
- FOR STREET TREES: FINAL LOCATION, QUANTITY, AND TREE SPECIES TO THE SATISFACTION OF THE CITY OF COLWOOD PARKS SERVICES. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 6cm CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. ROOT BARRIERS SHALL BE 8 FT. LONG AND 18" DEEP. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. CITY OF COLWOOD TO INSPECT AND APPROVE AFTER THE TREE PLANTING COMPLETION.

SECTION AND ELEVATION NOTES

- SECTIONS/ELEVATIONS ARE SCHEMATIC AND FOR REFERENCE ONLY; REFER TO PLANS AND DETAILS.

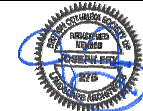
LANDSCAPE ARCHITECTURE ABBREVIATIONS

AD	AREA DRAIN
B	BOLLARD
BC	BOTTOM OF CURB ELEVATION
BCH	BOTTOM OF CHANNEL
BG	BUILDING GRADE
BS	BOTTOM OF STEP/ STAIR ELEVATION
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CP	CAST IN PLACE
CIV	CIVIL
CJ	CONTROL JOINT
CL	CENTRE LINE
CONC	CONCRETE
CoS	CITY OF SURREY
DES (°)	DEGREE
DET	DETAIL
DIA (Ø)	DIAMETER
DM	DIMENSION
DWG	DRAWING
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
ENG	ENGINEER/ ENGINEERING
EQ	EQUAL
EX	EXISTING
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FIN	FINISH
GVV	GALVANIZED
HP	HIGH POINT
HPS	HIGH POINT SWALE
HT	HEIGHT
INT	INTERPOLATED
JT	JOINT
LPS	LOW POINT SWALE
LOW	LIMIT OF WORK
MAX	MAXIMUM
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
NC	NOT IN CONTRACT
NTS	NOT TO SCALE
OAE	OR APPROVED EQUAL
OC	ON CENTRE
OD	OUTSIDE DIAMETER
PA	PLANTING AREA
PD	PLANTER DRAIN
PSI	POUNDS PER SQUARE INCH**STANDARD UNIT ABBREVIATION - REQ.?
QTY	QUANTITY
R	RISER
RAD	RADIUS**RAD IS STANDARD SHORTFORM OF RADIANS - MIGHT BE CONFUSING*
REQ	REQUIRED
ROW	RIGHT OF WAY
SB	SETBACK
SIM	SIMILAR
SPEC	SPECIFICATIONS
SO	SQUARES
SS	STAINLESS STEEL
STA PT	STATION POINT
STD	STANDARD
TC	TOP OF CURB ELEVATION
TEMP	TEMPORARY
THK	THICK
TMP	TREE MANAGEMENT PLAN
TOS	TOP OF SLAB
TS	TOP OF STEP/ STAIR ELEVATION
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
W/	WITH
W/O	WITHOUT
WP	WATERPROOFING

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1	Issued for DP	06/13/23

No.	Description	Date
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General Notes

Note:
This DP does not authorize a landscape plan for the public boulevard. Refer to Civil and Landscape architectural off-site servicing plans at the Building Permit stage for public boulevard treatment.



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3	Issued for DP Revisions	11/10/23
2	Issued for DP Revisions	09/15/23
1	Issued for DP	06/13/23

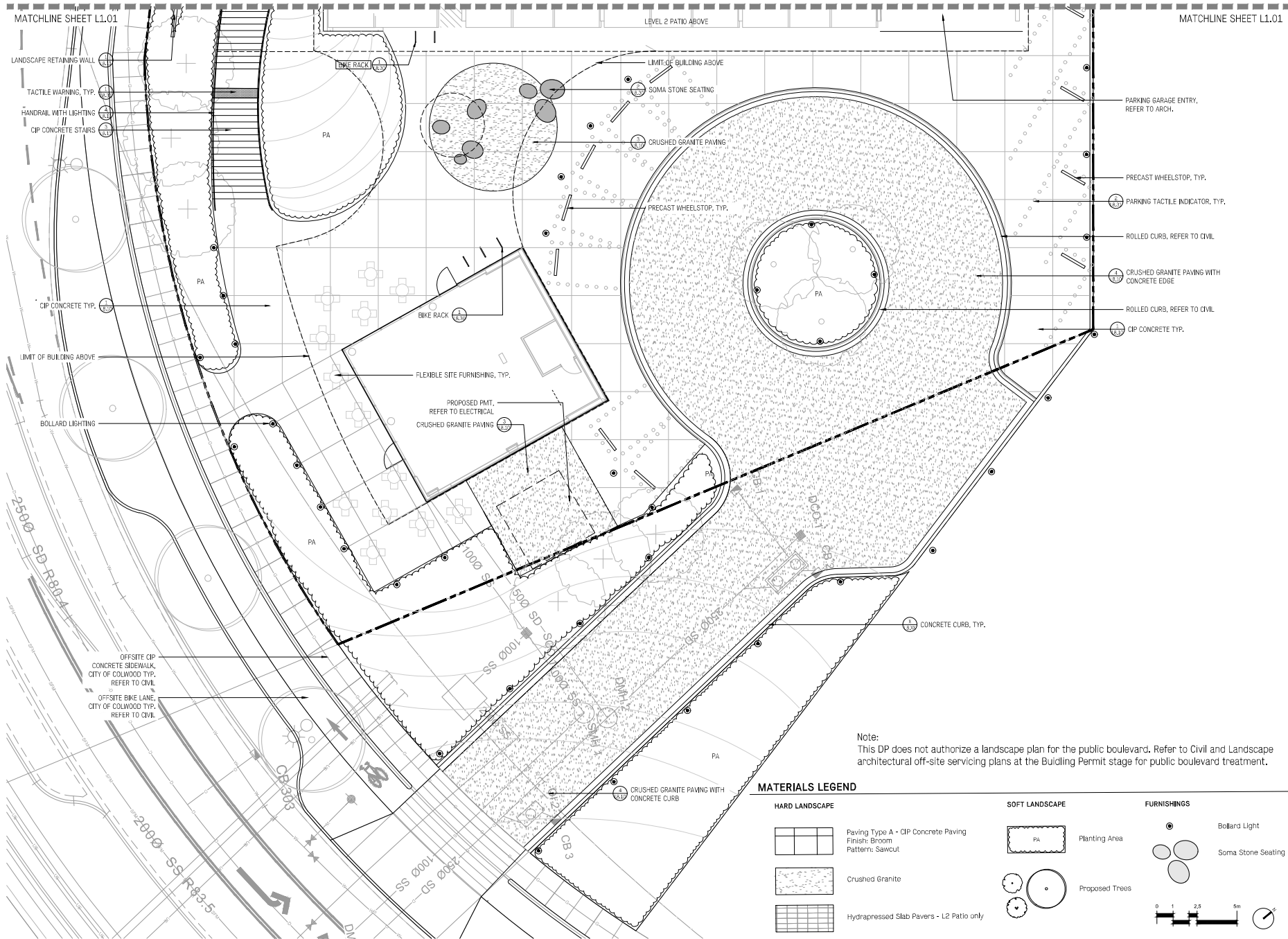


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Illustrative Site Plan

Date	Mar. 03/23	Drawing Number	L0.02
Project No.	2230		
Scale	1:200		
Drawn/checked	KW AN CM		



5	Issued for DP	11/30/23
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1	Issued for DP	06/13/23



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Materials Plan Level 1

Date: Mar. 03/23 Drawing Number:
 Project No.: 2230
 Scale: 1:100 **L1.00**
 Drawn/checked: KWAN | CM

Note:
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MATERIALS LEGEND

HARD LANDSCAPE

- Paving Type A - CIP Concrete Paving
Finish: Broom
Pattern: Sawcut
- Crushed Granite
- Hydrapressed Slab Pavers - L2 Patio only

SOFT LANDSCAPE

- Planting Area
- Proposed Trees




FURNISHINGS

- Bollard Light
- Soma Stone Seating





MATERIALS LEGEND



HARD LANDSCAPE

-  Paving Type A - CIP Concrete Paving
Finish: Broom
Pattern: Sawcut
-  Crushed Granite
-  Hydrapressed Slab Pavers - L2 Patio only

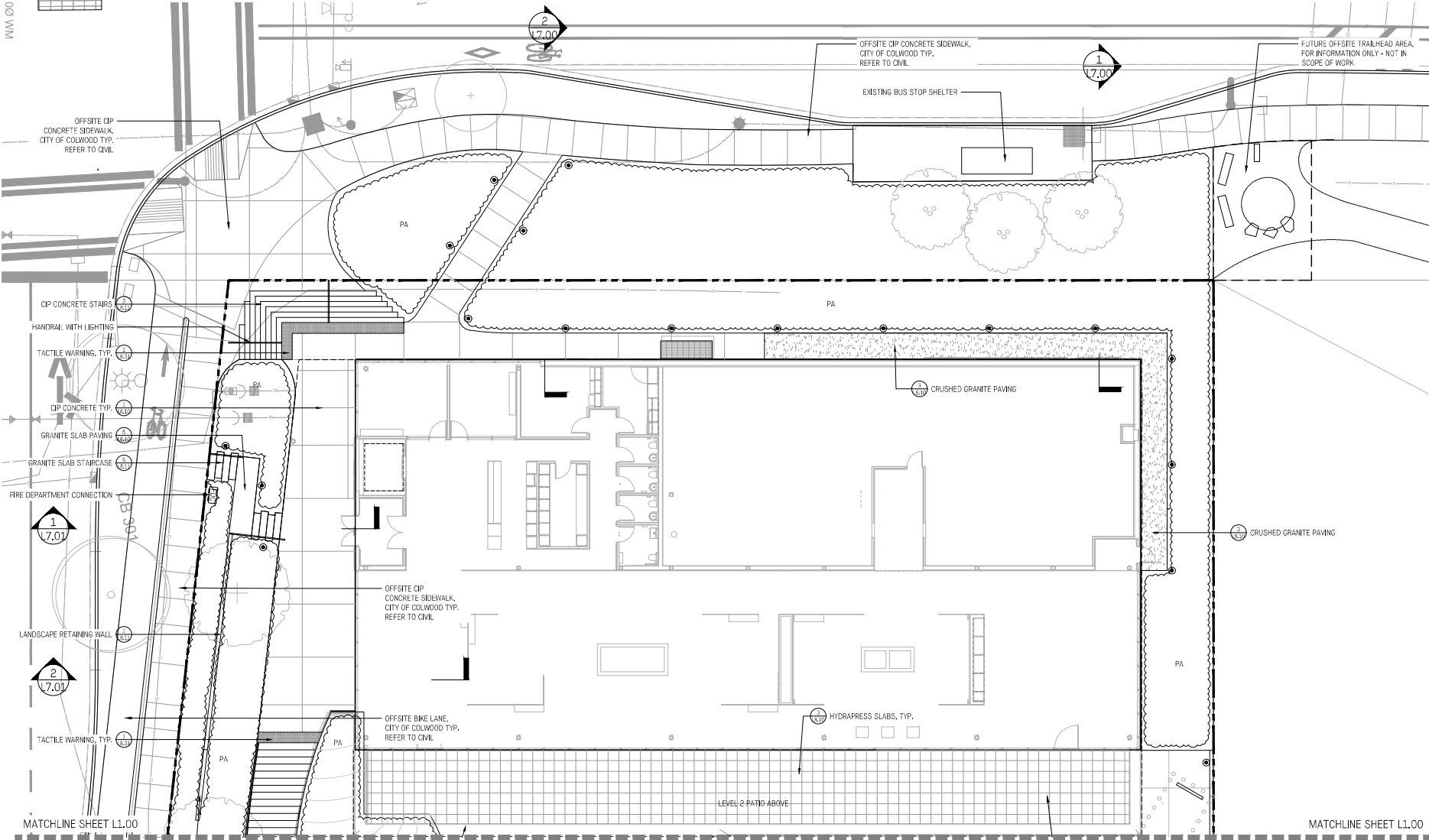
SOFT LANDSCAPE

-  PA Planting Area
-  Proposed Trees

FURNISHINGS

-  Bollard Light
-  Soma Stone Seating

100%_00



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| 4 | Issued for CD review | 11/10/23 |
| 3 | Issued for DP Revisions | 11/10/23 |
| 2 | Issued for DP Revisions | 09/15/23 |
| 1 | Issued for DP | 06/13/23 |



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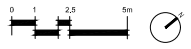
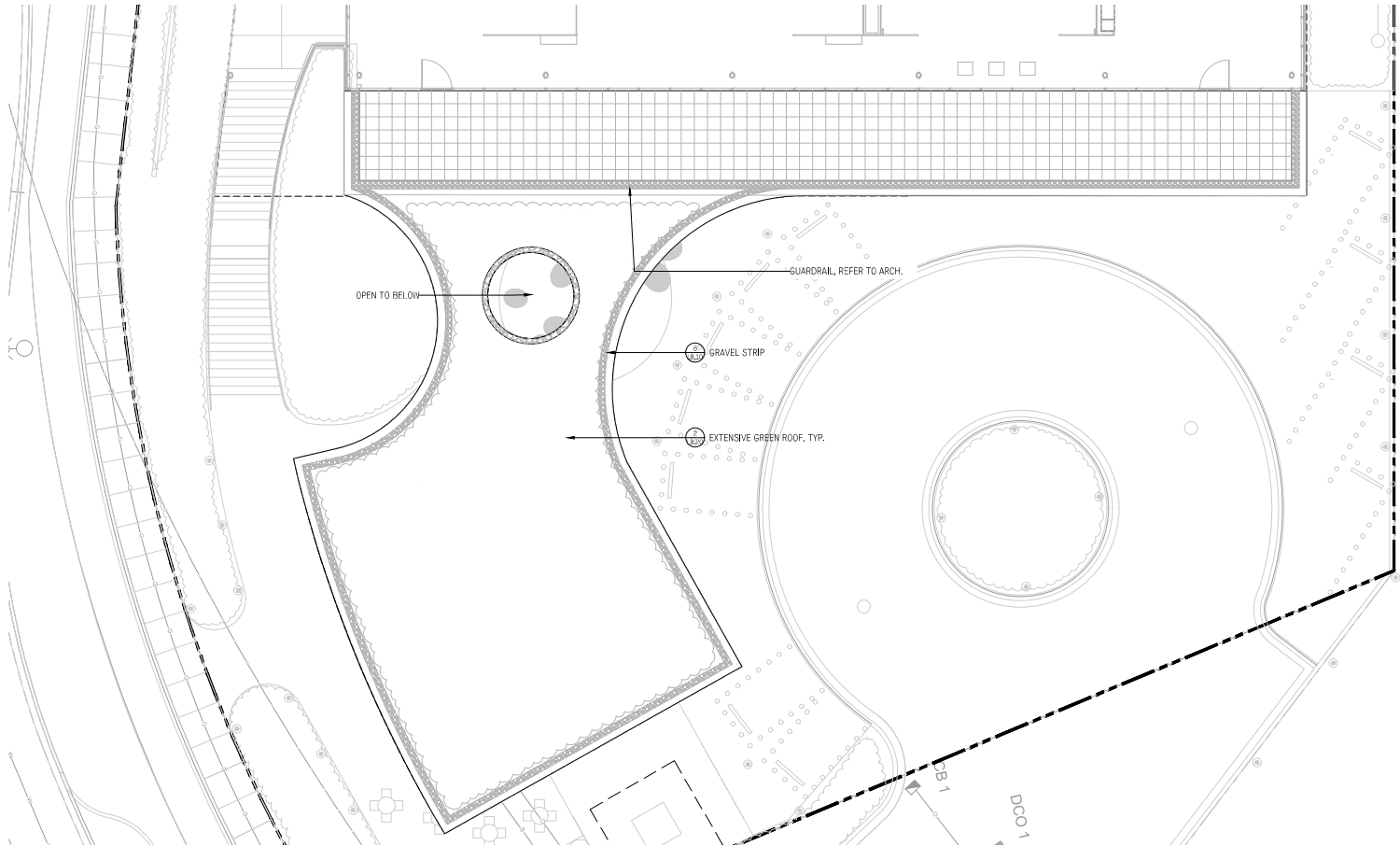
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Materials Plan Level 2

Date: Mar. 03/23 Drawing Number: 2230
 Project No.: 2230 Scale: 1:100 **L1.01**
 Drawn/checked: KW AN | CM

Note:
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No.	Description	Date
5	Issued for DP	11/30/23
4	Issued for CD review	11/10/23
3	Issued for DP Revisions	11/10/23
2	Issued for DP Revisions	09/15/23
1	Issued for DP	06/13/23



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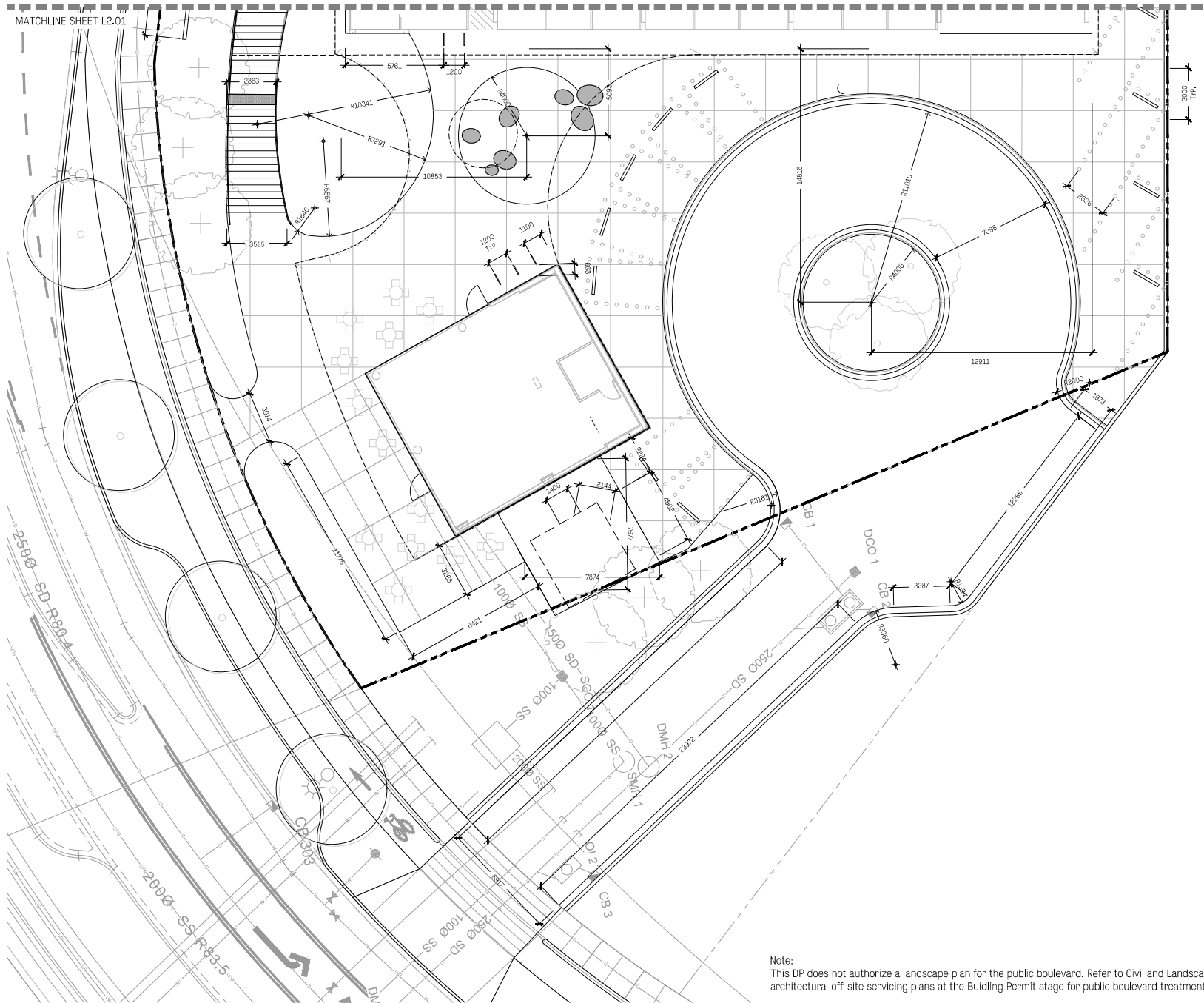
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**Materials Plan
L2 Patio & Roof**

Date: Mar. 03/23 Drawing Number:
 Project No.: 2230
 Scale: 1:100 **L1.02**
 Drawn/checked: KWAN | CM

MATCHLINE SHEET L2.01

MATCHLINE SHEET L2.01



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| 4 | Issued for CD review | 11/10/23 |
| 3 | Issued for DP Revisions | 11/10/23 |
| 2 | Issued for DP Revisions | 09/15/23 |
| 1 | Issued for DP | 06/13/23 |

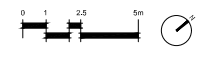


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Layout Plan Level 1

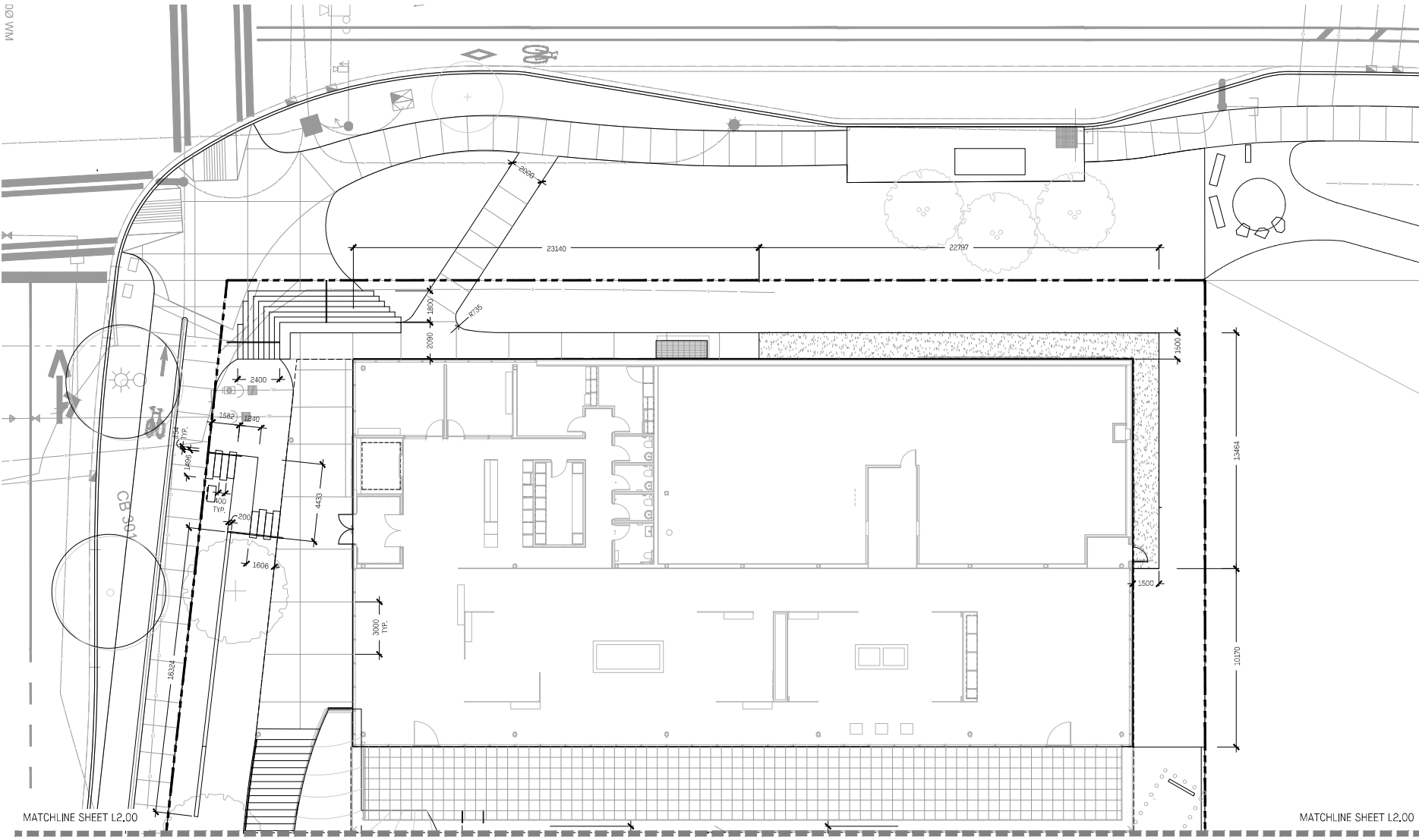
Note:
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Date	Project No.	Scale	Sheet No.	Sheet Title
Mar. 03/23	2230	1:100	L2.00	L2.00

Drawn/checked: KW AN | CM

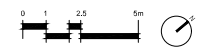
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MATCHLINE SHEET L2.00

MATCHLINE SHEET L2.00

Note:
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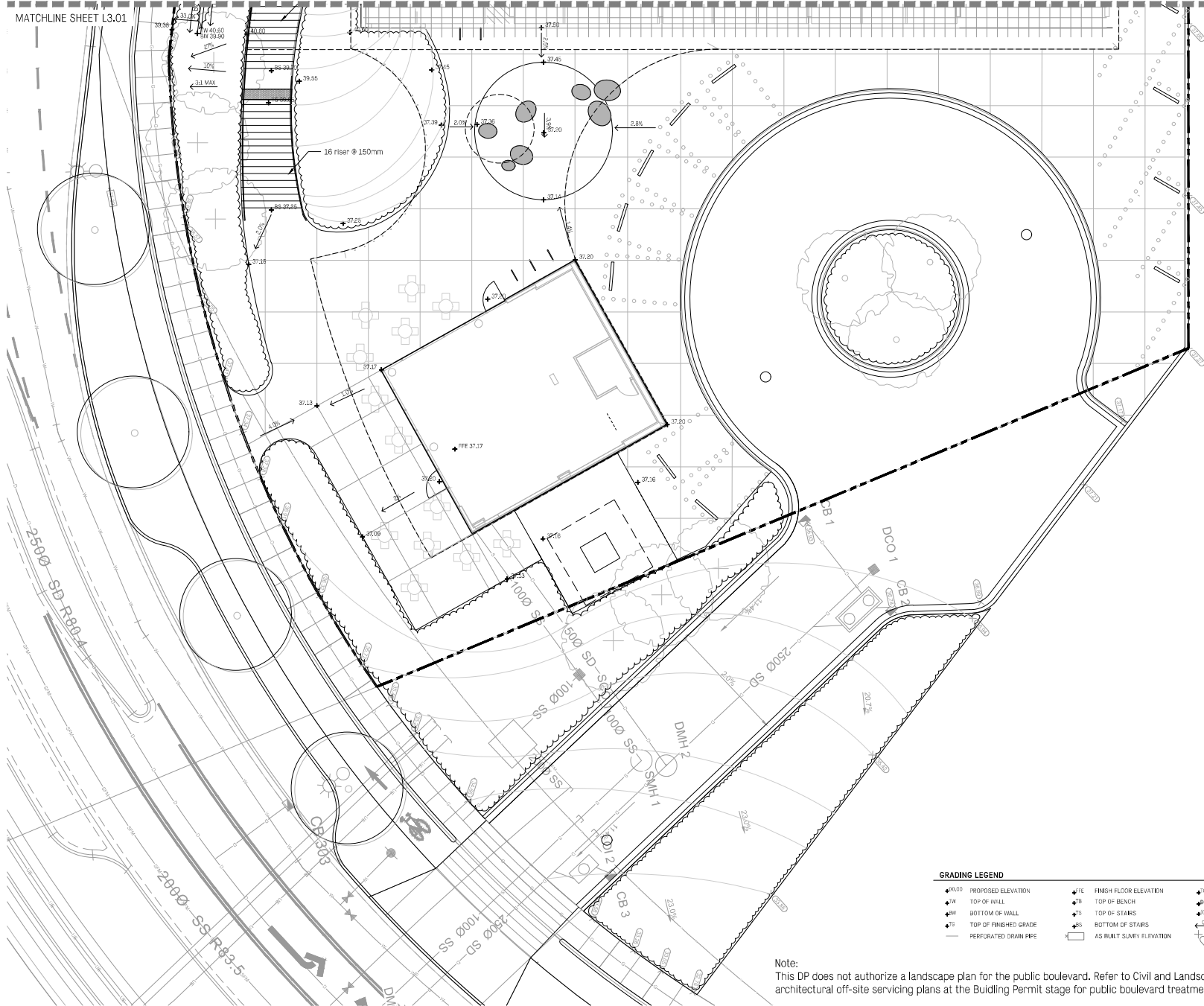
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Layout Plan Level 2

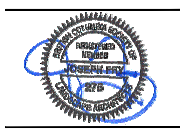
MATCHLINE SHEET L3.01

MATCHLINE SHEET L3.01



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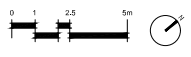
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Grading Plan Level 1

GRADING LEGEND

▲ 00.00 PROPOSED ELEVATION	▲ 76 FINISH FLOOR ELEVATION	▲ C TOP OF CURB
▲ W TOP OF WALL	▲ 78 TOP OF BENCH	▲ BC BOTTOM OF CURB
▲ BW BOTTOM OF WALL	▲ 75 TOP OF STAIRS	▲ 00.000 EXISTING SPOT ELEVATION AS PER SURVEY
▲ 10 TOP OF FINISHED GRADE	▲ 85 BOTTOM OF STAIRS	▲ 2.0% DIRECTION OF SLOPE
— PERFORATED DRAIN PIPE	□ AS BUILT SURVEY ELEVATION	— PROPOSED C.M.L. GRADES

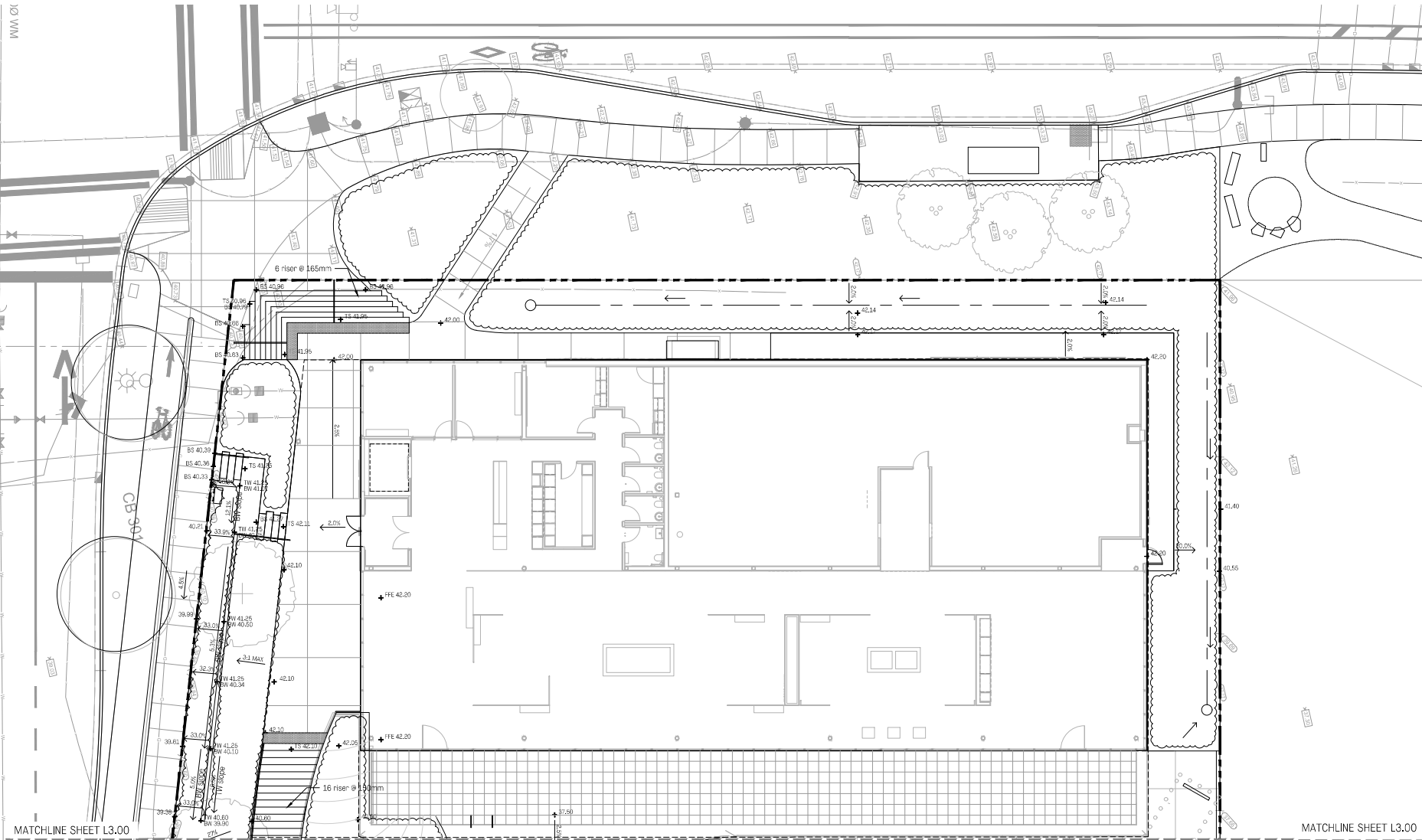
Note:
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Date: Mar. 03/23 Drawing Number:
 Project No.: 2230
 Scale: 1:100 **L3.00**
 Drawn/checked: KW AN | CM

GRADING LEGEND

- PROPOSED ELEVATION
- ▲ TOP OF WALL
- ▲ FINISH FLOOR ELEVATION
- ▲ TOP OF CURB
- ▲ TOP OF BENCH
- ▲ BOTTOM OF CURB
- ▲ TOP OF STAIRS
- ▲ BOTTOM OF STAIRS
- ▲ EXISTING SPOT ELEVATION AS PER SURVEY
- ▲ DIRECTION OF SLOPE
- PERFORATED DRAIN PIPE
- AS BUILT SURVEY ELEVATION
- PROPOSED CIVIL GRADES



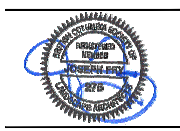
MATCHLINE SHEET L3.00

MATCHLINE SHEET L3.00

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


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Grading Plan Level 2

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS
	AM	3	Arbutus menziesii / Pacific Madrone	1.8m ht.	As Shown	B&B, Specimen Quality
	QG	7	Quercus garryana / Garry Oak	1.8m ht.	As Shown	B&B, Well Branched, Dense Tree
STREET TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS
	AF	3	Acer palmatum 'Fireglow' / Fireglow Japanese Maple	6cm cal.	As Shown	B&B, Dense Tree, Good Branching within 0.6m of Ground
	CF	6	Carpinus betulus 'Fastigiata' / Upright European Hornbeam	6cm cal.	As Shown	B&B, Well Branched, Dense Tree
	MEADOW INSPIRED PLANTING		804.7 m²			
			Aster x frikartii 'Monch' / Monch Frikart's Aster	117		
			Camassia leichtlinii suksdorfii / Great Camas	207		
			Camassia quamash maxima / Common Camas	117		
			Clarkia amoena / Farewell to Spring	465		
			Danthonia californica / California Oatgrass	233		
			Deschampsia californica / California Hair Grass	233		
			Elymus glaucus / Blue Wildrye	117		
			Eriophyllum lanatum / Woolly Sunflower	117		
			Festuca roemerii / Roemer's Fescue	117		
			Koeleria macrantha / Prairie Junegrass	117		
			Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	104		
			Perideridia gairdneri / Gardner's Yampah	117		
			Perovskia abrotanoides 'Hybrida' / Russian Sage	117		
			Primula hendersonii / Broad-leaved Shootingstar	279		
			Prunella vulgaris / Self-heal	186		
			Salvia x sylvestris 'May Night' / May Night Sage	168		
			Sesleria autumnalis / Autumn Moor Grass	149		
	DOGWOOD SHRUB MIX		277.0 m²			
			Cornus sericea 'Budd's Yellow' / Budd's Yellow Twig Dogwood	178		
			Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	178		
	NATIVE SHRUB MIX		134.4 m²			
			Mahonia repens / Creeping Mahonia	50		
			Ribes sanguineum / Red Flowering Currant	18		
			Rosa pisocarpa / Clustered Wild Rose	50		
			Symphoricarpos albus / Common White Snowberry	87		

No.	Description	Date
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3	Issued for DP Revisions	11/10/23
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1	Issued for DP	06/13/23

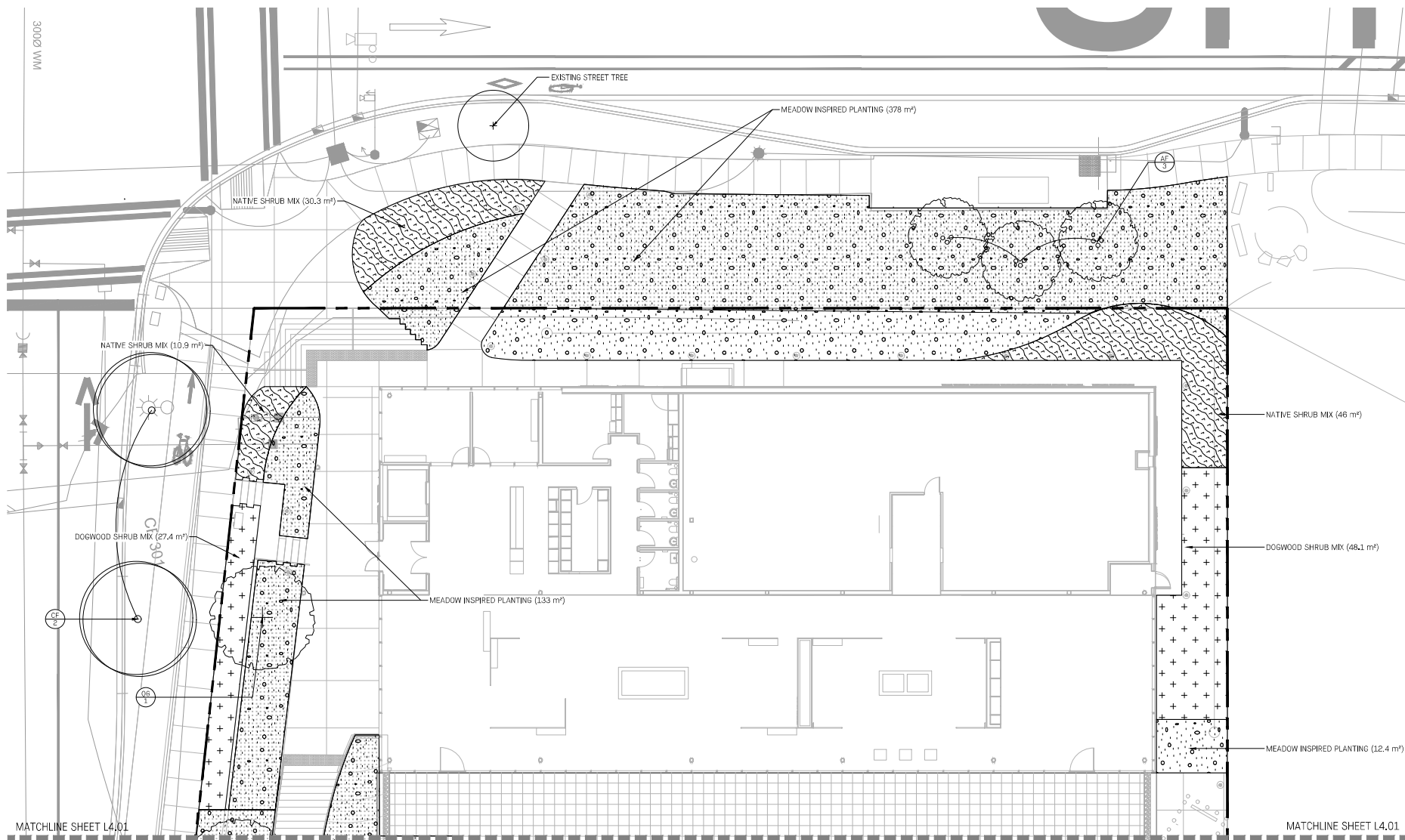


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Plant Schedule

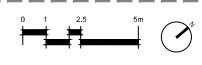
Note:
 This DP does not authorize a landscape plan for the public boulevard. Refer to Civil and Landscape architectural off-site servicing plans at the Building Permit stage for public boulevard treatment.



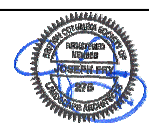
MATCHLINE SHEET L4.01

MATCHLINE SHEET L4.01

Note:
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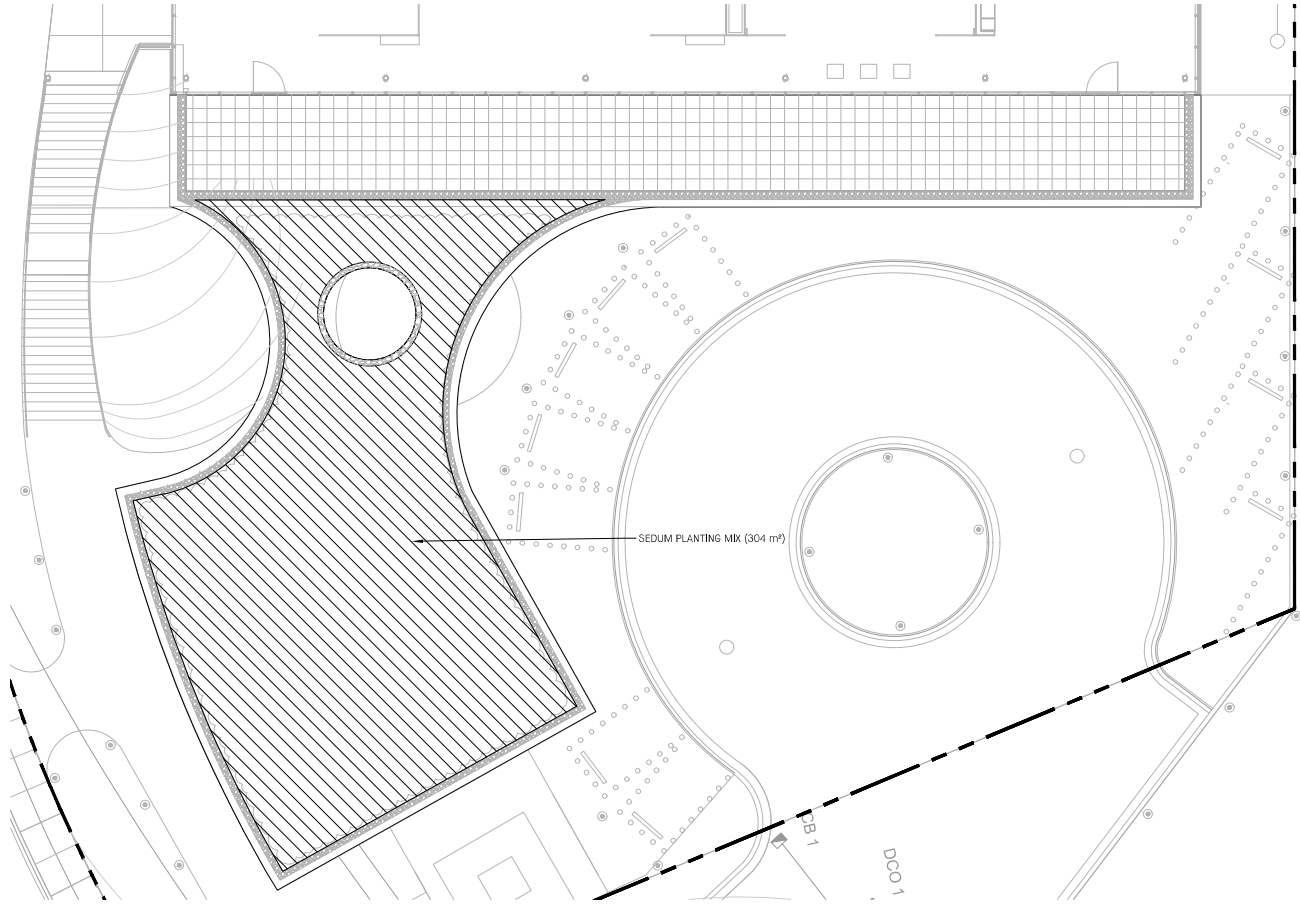
No.	Description	Date
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Planting Plan Level 2



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4	Issued for CD review	11/10/23
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Planting Plan Roof




Date: Mar. 03/23 Drawing Number: **L4.03**
 Project No.: 2230
 Scale: 1:150
 Drawn/checked: KW AN | CM

MATCHLINE SHEET L5.01

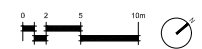
MATCHLINE SHEET L5.01



IRRIGATION_PLAN_LEGEND

-  AREA TO BE IRRIGATED
-  - GROUND
-  OFFSITE IRRIGATION

Note:
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

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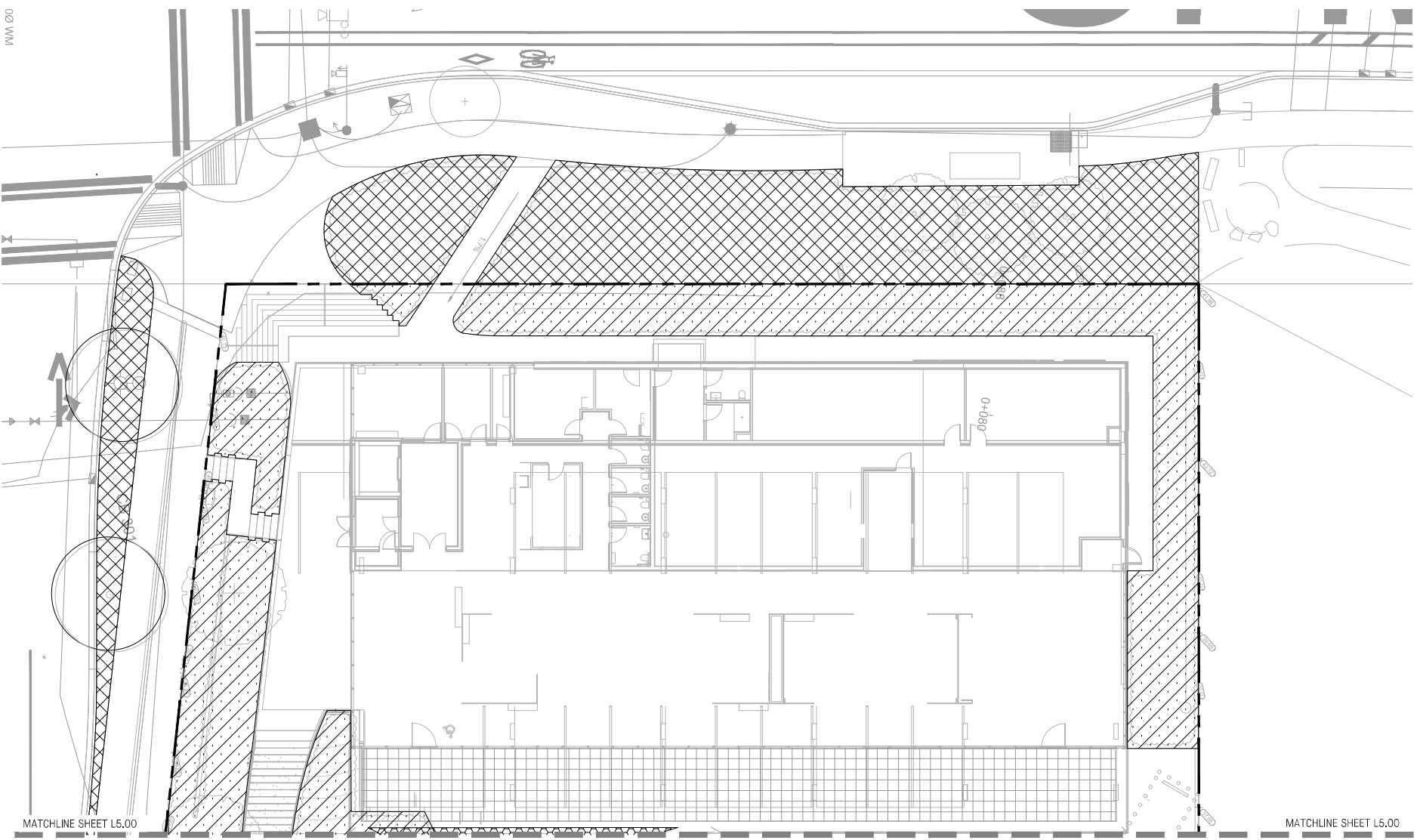
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Irrigation Plan Level 1

Date: Mar. 03/23 Drawing Number:
 Project No.: 2230
 Scale: 1:100 **L5.00**
 Drawn/checked: KW AN | CM

IRRIGATION_PLAN_LEGEND

-  AREA TO BE IRRIGATED
-  - GROUND
-  OFFSITE IRRIGATION



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Irrigation Plan Level 2

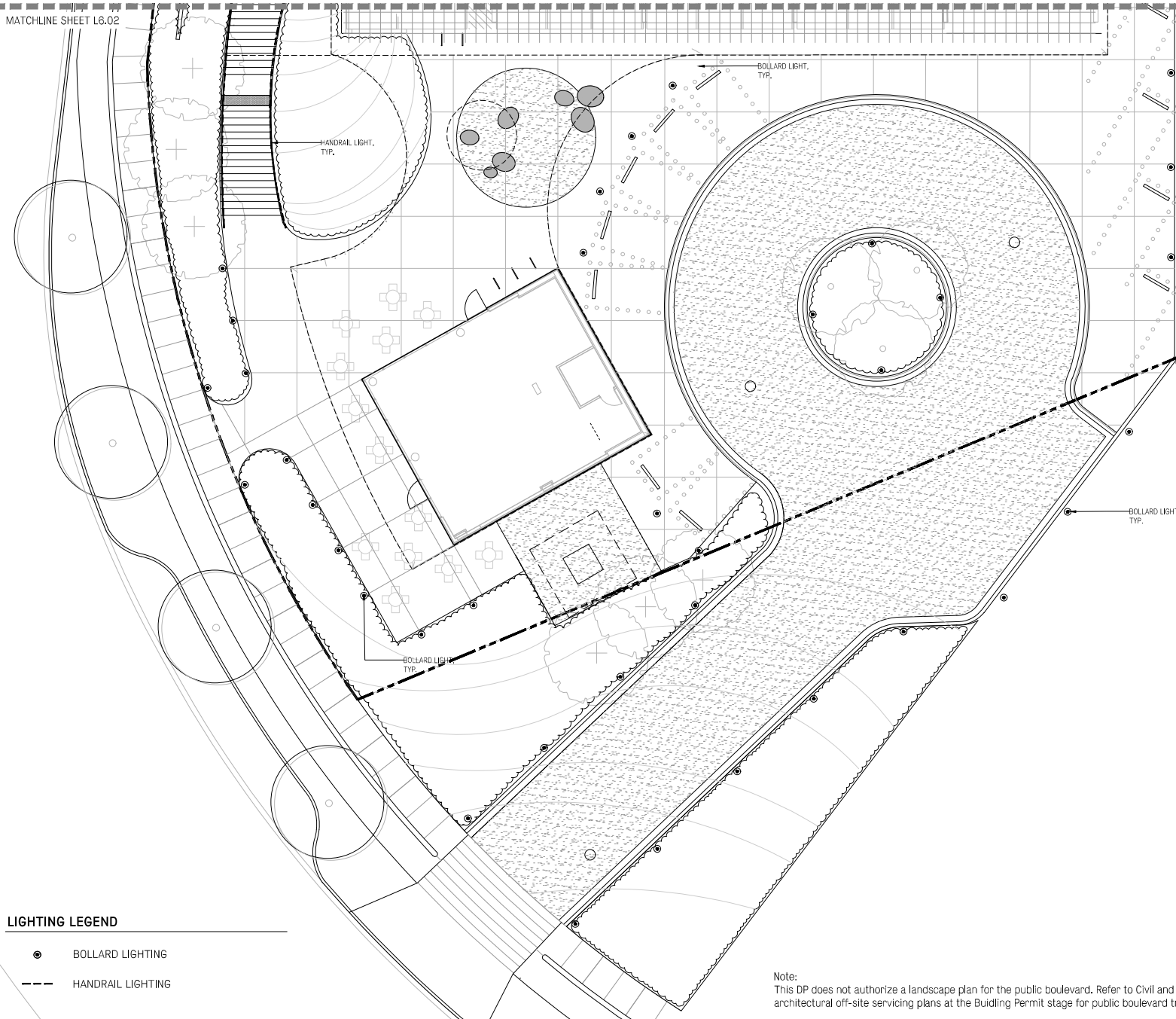
Note:
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Date: Mar. 03/23 Drawing Number: **L5.01**
 Project No.: 2230
 Scale: 1:100
 Drawn/checked: KW AN | CM



MATCHLINE SHEET L6.02

MATCHLINE SHEET L6.02



LIGHTING LEGEND

- BOLLARD LIGHTING
- HANDRAIL LIGHTING

Note:
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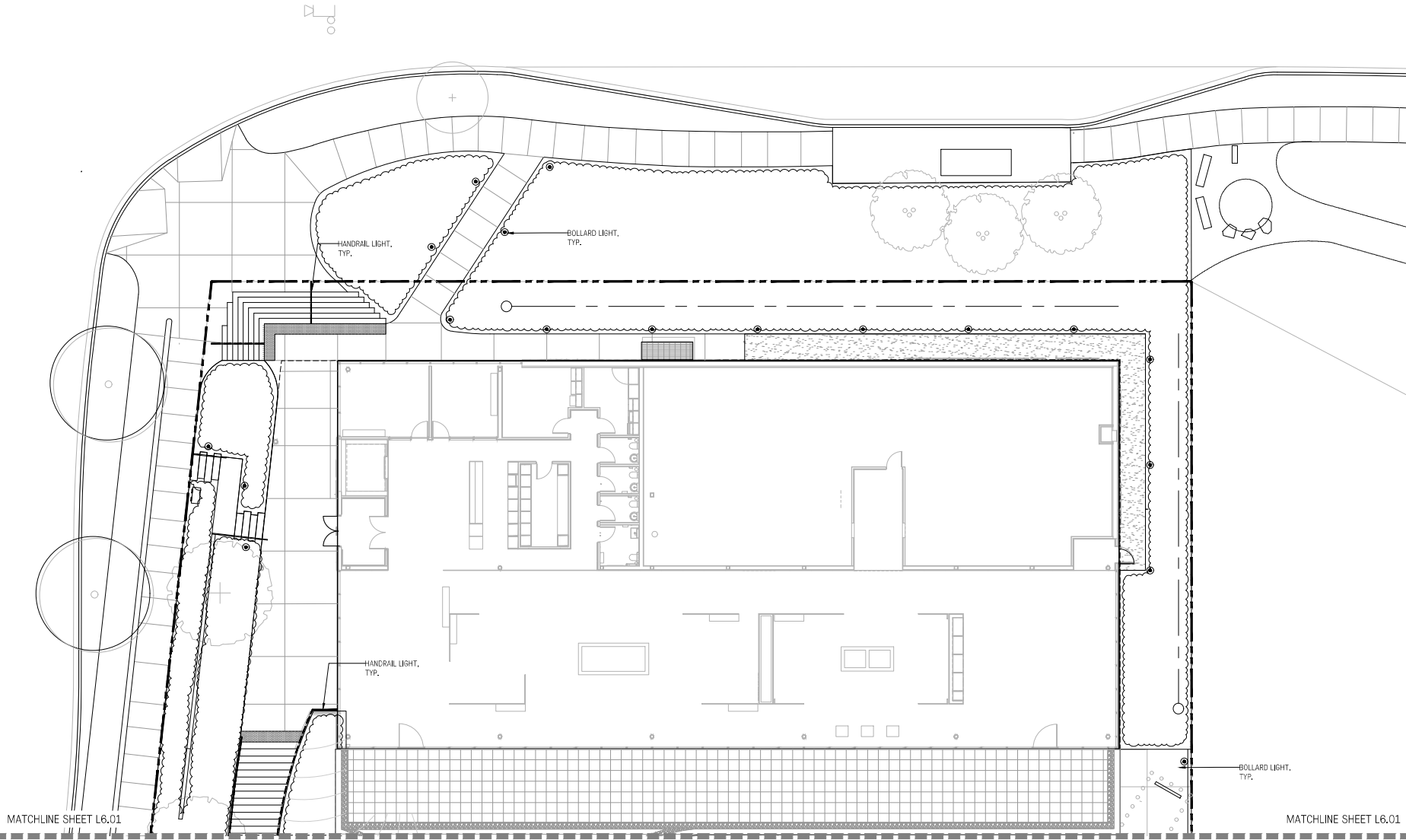
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**Lighting Plan
 Level 1**

Date: Mar. 03/23 Drawing Number:
 Project No.: 2230
 Scale: 1:100 **L6.00**
 Drawn/checked: KW AN | CM

LIGHTING LEGEND

- BOLLARD LIGHTING
- HANDRAIL LIGHTING



MATCHLINE SHEET L6.01

MATCHLINE SHEET L6.01

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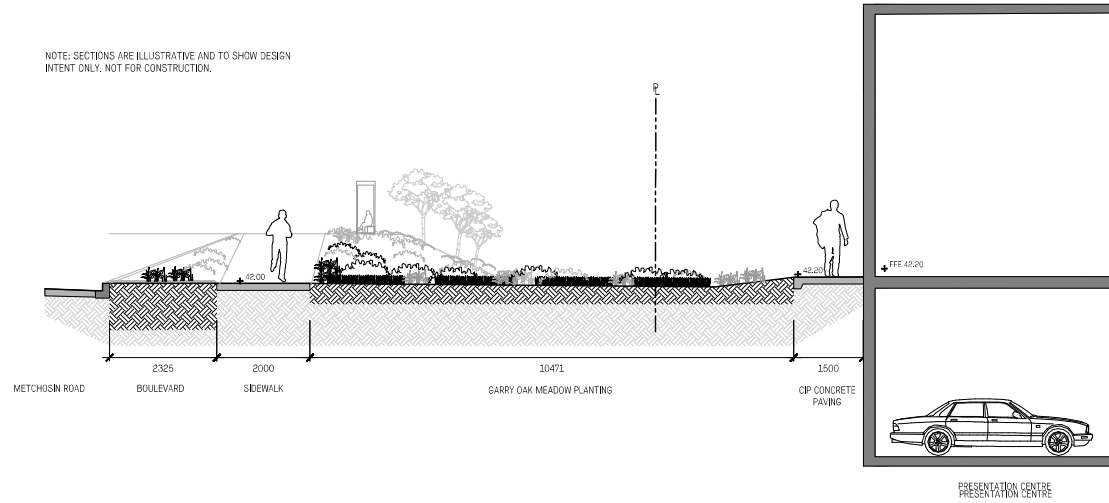


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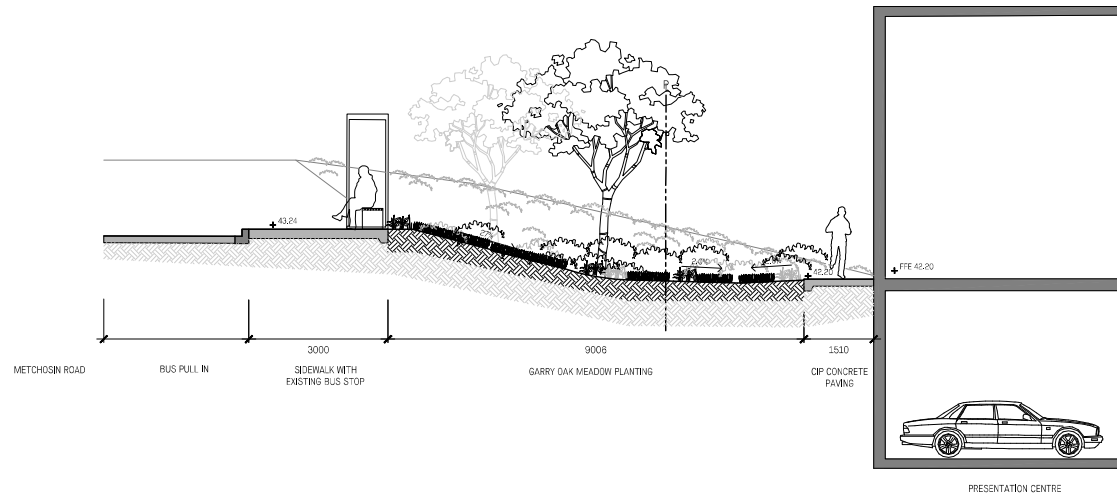
The Beachlands Presentation Centre

Lighting Plan Level 2

NOTE: SECTIONS ARE ILLUSTRATIVE AND TO SHOW DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.



2 METCHOSIN ROAD FRONTAGE 2
1:50



1 METCHOSIN ROAD FRONTAGE 1
1:50

Note:
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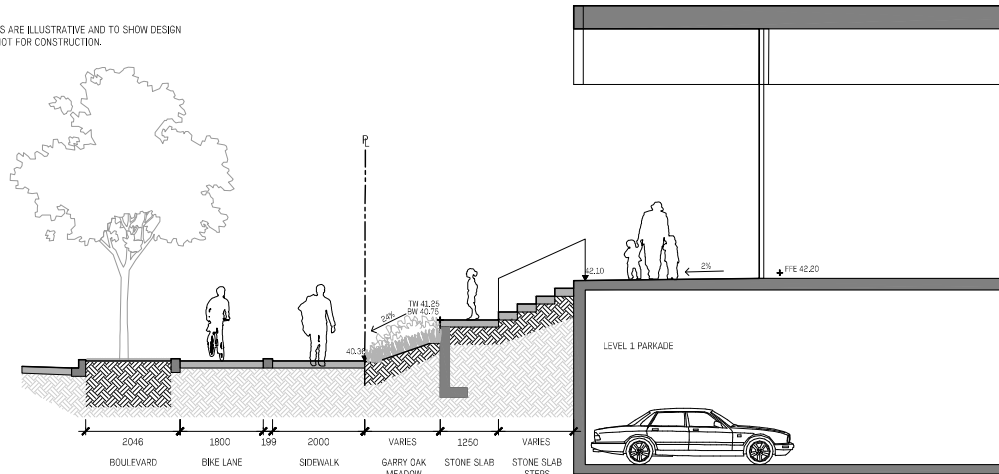


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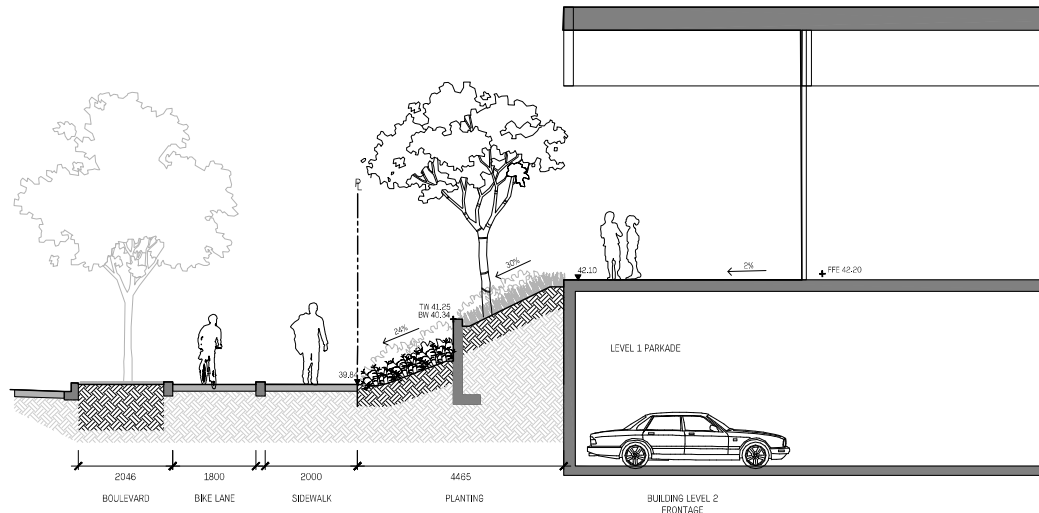
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Landscape Sections

NOTE: SECTIONS ARE ILLUSTRATIVE AND TO SHOW DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.



1 LATORIA BLVD FRONTAGE 1
17.01 1:50



2 LATORIA BLVD FRONTAGE 2
17.01 1:50

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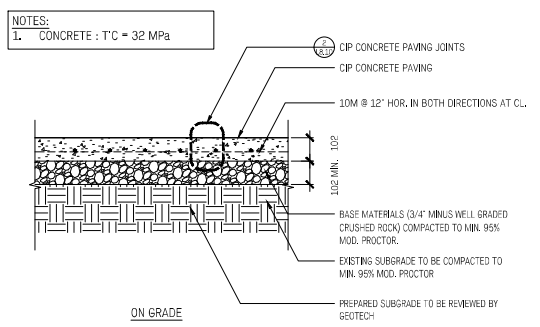
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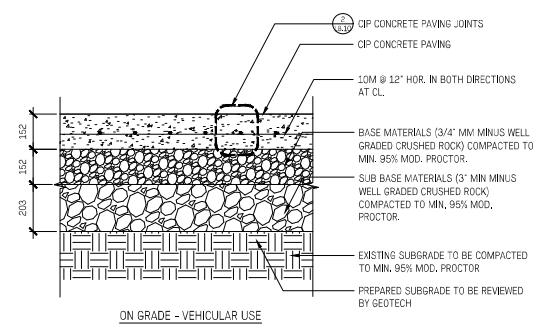
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Landscape Sections
Level 1

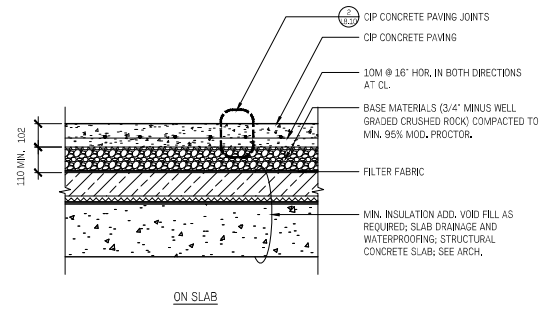


1 CIP CONCRETE
 1/8,10 1:10

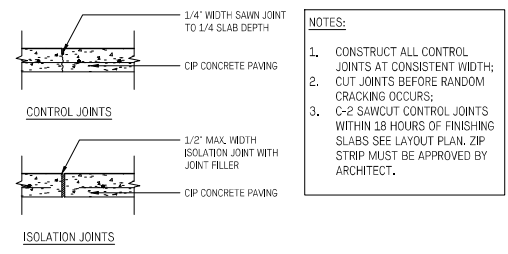


ON GRADE - VEHICULAR USE

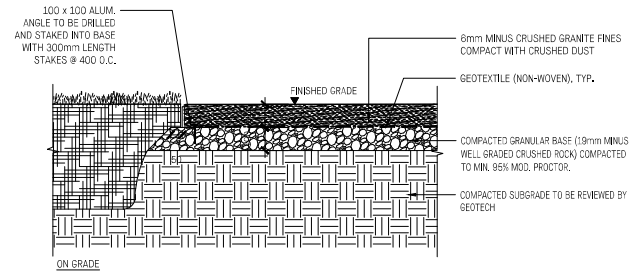
NOTES:
 1. CONCRETE : T'C = 32 MPa



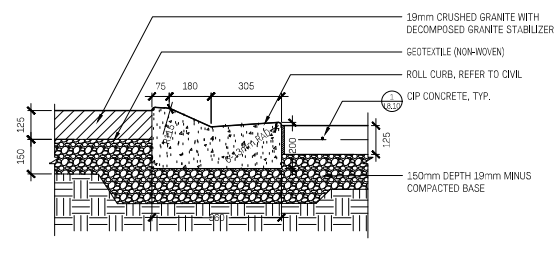
ON SLAB



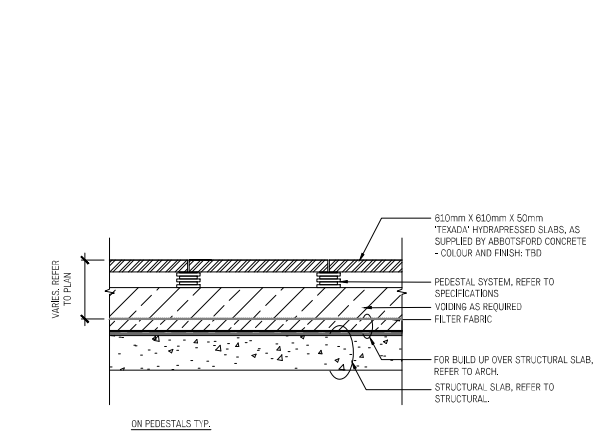
2 CIP CONCRETE PAVING JOINTS
 1/8,10 1:10



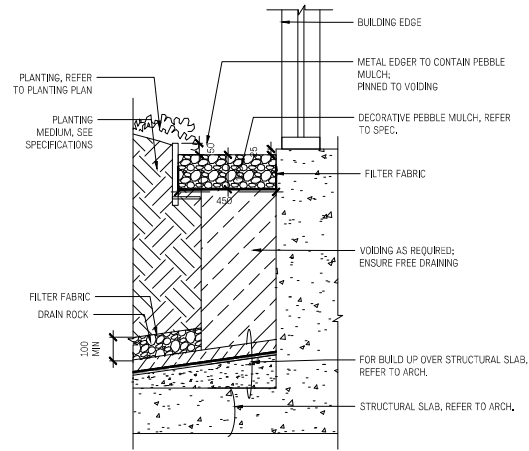
3 CRUSHED GRANITE PAVING - PEDESTRIAN USE
 1/8,10 1:10



4 CRUSHED GRANITE PAVING TO CIP CONCRETE
 1/8,10 1:10



5 HYDRAPRESSED SLABS
 1/8,10 1:10



6 GRAVEL STRIP
 1/8,10 1:10

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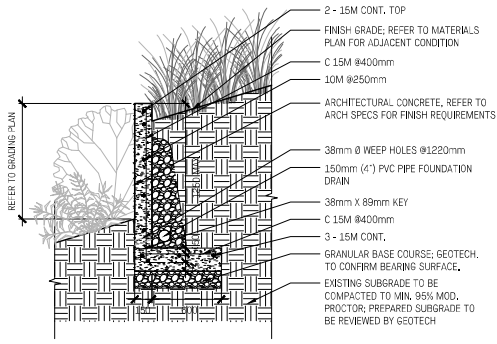
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Landscape Details

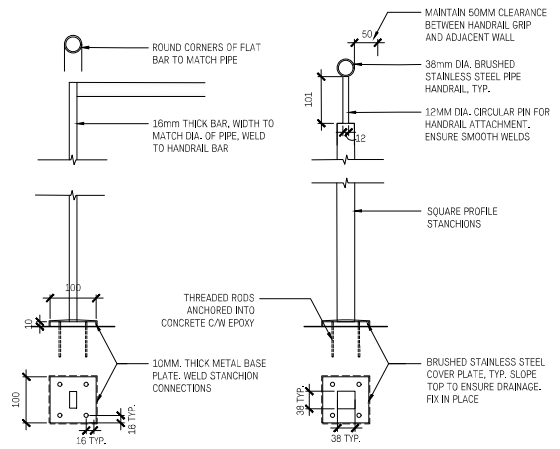
Paving

Date: Mar. 03/23 Drawing Number:
 Project No.: 2230
 Scale: As Indicated **L8.10**
 Drawn/checked: KW AN | CM

- NOTES:
1. GEOTECH TO CONFIRM STABILITY OF SLOPE;
 2. CONFIRM WALL HEIGHT WITH GRADING PLAN;
 3. F'C MIN 25 MPA @28 DAYS;
 4. DO NOT BACKFILL UNTIL CONCRETE HAS REACHED 28 DAY STRENGTH.

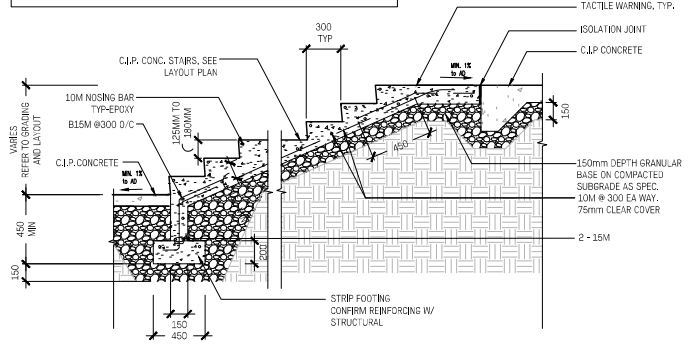


1 RETAINING WALL
1:20



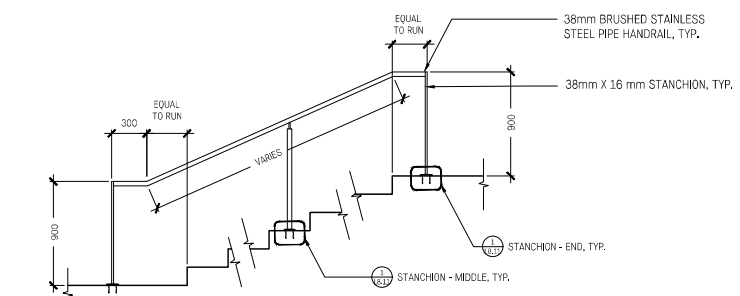
2 STANCHION - MIDDLE, TYP.
1:5

- NOTES:
1. REFER TO GRADING PLAN FOR TOP/BOTTOM OF STAIR ELEVATIONS;
 2. REFER TO SPECIFICATIONS FOR CONCRETE FINISHES;
 3. REFER TO STRUCTURAL TO CONFIRM CONCRETE REINFORCEMENT.



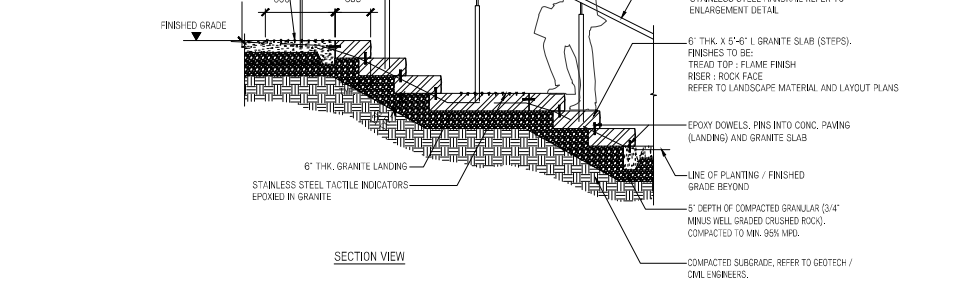
3 CONCRETE STAIRS ON GRADE
1:20

- NOTES:
1. REFER TO GRADING AND LAYOUT PLAN FOR TOP/BOTTOM OF STAIR ELEVATIONS AND HANDRAIL LENGTHS;
 2. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF HANDRAILS & STANCHIONS;
 3. STAINLESS STEEL
 4. GRIND ALL CUT/WELDED SURFACES TO SMOOTH UNIFORM FINISH, BLEND ALL SEAMS;
 5. PROVIDE SHOP DRAWINGS STAMPED BY STRUCTURAL ENGINEER.



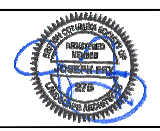
4 HANDRAIL
1:20

- STAINLESS STEEL TACTILE INDICATORS EPOXYED INTO CONCRETE BASE
- UAS- S52315
3mm PROFILE INDICATOR CONFORMING TO BC BUILDING CODE (TYPICAL 80mm APART O.C.)
INSTALL AS PER MANUFACTURER DETAILS



5 GRANITE SLAB STAIRCASE
1:20

No.	Description	Date
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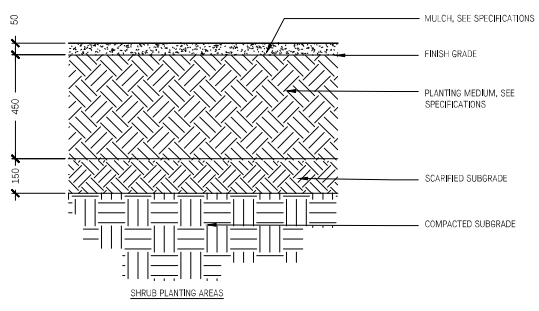


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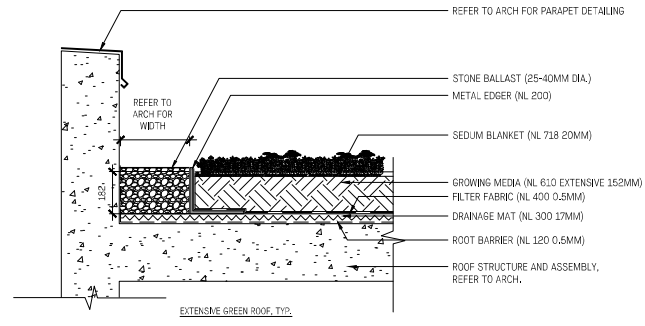
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Landscape Details

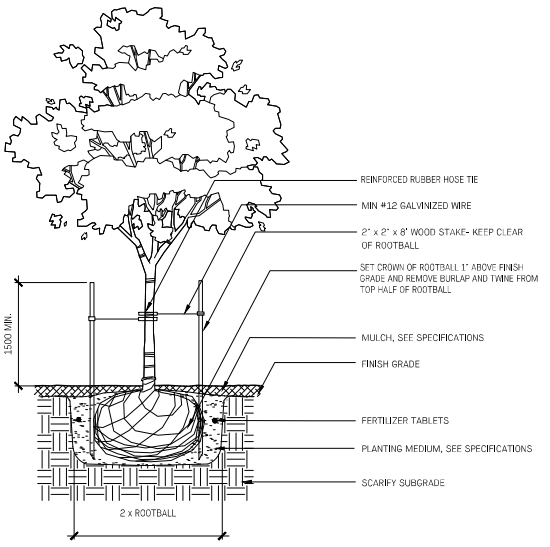
Walls and Stairs



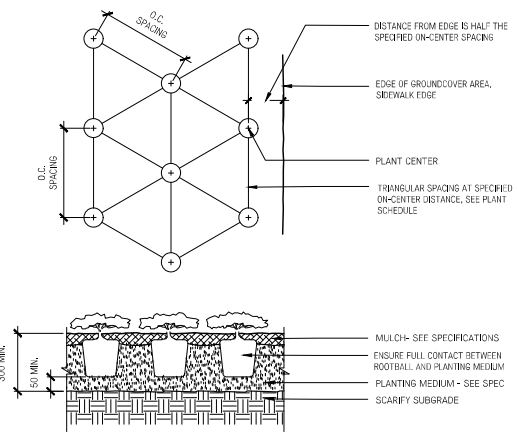
1 SOIL PROFILES
 U.S. 20' NTS



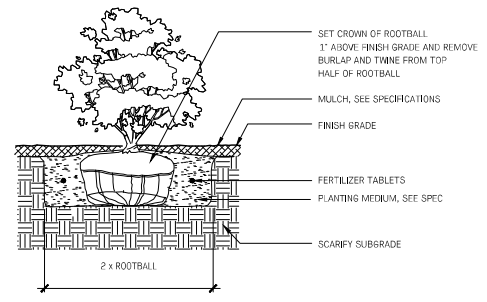
2 EXTENSIVE GREEN ROOF, TYP.
 U.S. 20' 1:10



3 TREE PLANTING
 U.S. 20' 1:10

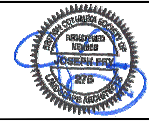


4 GROUND COVER PLANTING
 U.S. 20' NTS



5 SHRUB PLANTING
 U.S. 20' NTS

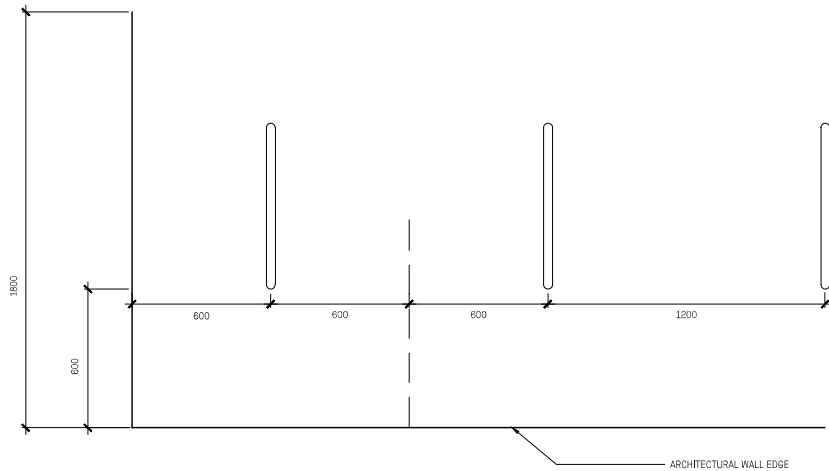
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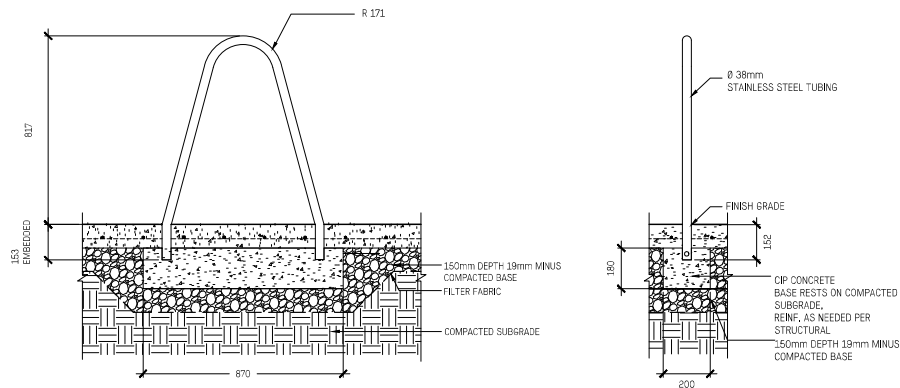
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Landscape Details
 Planting



BIKE PARKING LAYOUT PLAN

- NOTES:
1. INSTALL PER MANUFACTURER'S INSTRUCTION
 2. BIKE RACK IN STAINLESS STEEL BY LANDSCAPE FORMS



1 BIKE RACK
1:10

SOMASTONES



DESCRIPTION
The SOMASTONE is the ideal and sustainable seating for a variety of spaces. Collaborative Hardware Crafted from small stones were harvested with 3D computer technology and optimized to meet our needs. The SOMASTONE is one of our most versatile products, complementing metal spines and biological surfaces alike.

DESCRIPTION	Small	Medium	Large
X-Shell	4"	6"	10"
Shell	4"	6"	10"
Medium	4"	6"	10"
Large	4"	6"	10"

COLLECT

- Clash
- Harbore
- Stone

FINISHES

- Unfaced
- Faced

MATERIALS & DATA

Our products are harvested from green fiber reinforced concrete. 30% of our water supply is recycled. We are committed to using a 100% non-toxic chemical, such as Methocel K100, to prevent surface cracking. Sprinkle the solution across the surface and wipe down with a sponge as soon as possible.

We recommend using a 100% non-toxic chemical, such as Methocel K100, to prevent surface cracking. Sprinkle the solution across the surface and wipe down with a sponge as soon as possible.

We fit and manufacture any other brand of table and/or table and chairs. Please call us for more information. Our new heavy, aluminum, hand-cast and weather-resistant chairs to produce the concrete seats.

WEIGHT

- X-Shell
- Shell
- Medium
- Large

220g
130g
200g
300g

MANOS 1200 Populus Ave
San Leandro, CA 94607

800 844 7444 info@manos-manos.com
www.manos-manos.com

2 SOME STONE SEATING
1:10

No.	Description	Date
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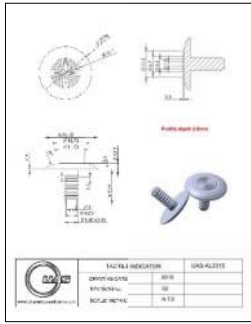


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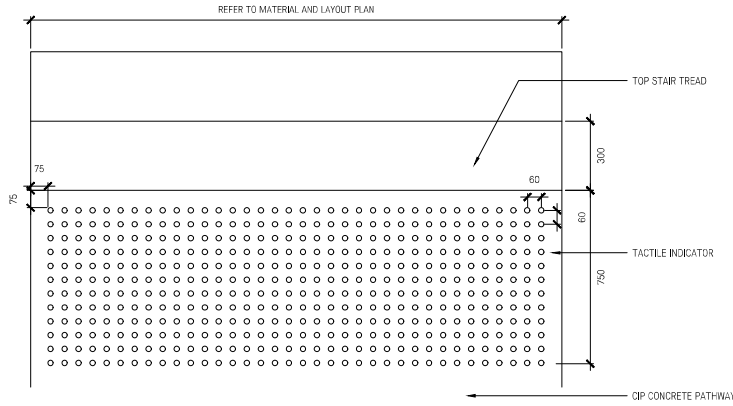
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Landscape Details

Site Furnishings



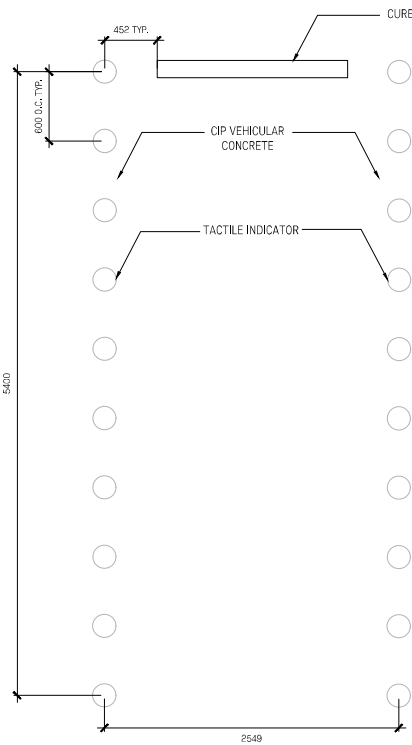
TACTILE INDICATOR



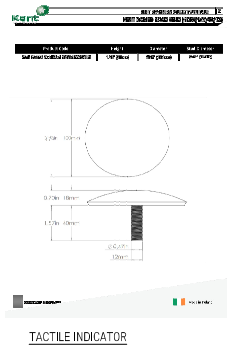
TACTILE LAYOUT

- NOTE:
- LAYOUT SPACING AS SHOWN, BASED ON BCBC ACCESS HANDBOOK, SUPPLY SHOP DRAWING FOR INDICATOR SPACING;
 - DRILL HOLE IN THE SUBSTRATE APPROPRIATE SIZE FOR STEM TO FIT, CLEAN HOLE OF DEBRIS, AIR BLOW RECOMMENDED;
 - WILL REQUIRE 6.5MM (1/4) HOLE, ENSURE THE HOLE IS DEEP ENOUGH TO EMBED STEM FOR THE ENTIRE LENGTH ~20mm SHOULD BE SUFFICIENT;
 - APPLY APPROPRIATE AMOUNT OF EPOXY, EPI189 CLEAR FROM RESIN AS OR EQUIVALENT TO EACH HOLE, INSERT INDICATOR FLUSH TO SURFACE, CLEAN OFF ANY EXTRA AND LET CURE.

1 PEDESTRIAN TACTILE INDICATOR DETAIL
1:10



- NOTE:
- LAYOUT SPACING AS SHOWN, SUPPLY SHOP DRAWING FOR INDICATOR SPACING;
 - DRILL HOLE IN THE SUBSTRATE APPROPRIATE SIZE FOR STEM TO FIT, CLEAN HOLE OF DEBRIS, AIR BLOW RECOMMENDED;
 - WILL REQUIRE 12MM DIA HOLE, ENSURE THE HOLE IS DEEP ENOUGH TO EMBED STEM FOR THE ENTIRE LENGTH ~40mm SHOULD BE SUFFICIENT;
 - APPLY APPROPRIATE AMOUNT OF EPOXY, AS PER MANUFACTURERS RECOMMENDATION, INSERT INDICATOR FLUSH TO SURFACE, CLEAN OFF ANY EXTRA AND LET CURE.



2 PARKING TACTILE INDICATOR DETAIL
1:20

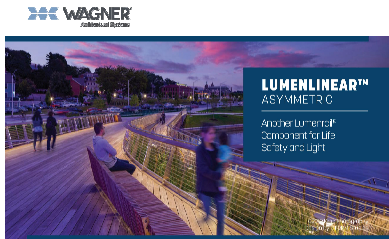
No.	Description	Date
5	Issued for DP	11/30/23
4	Issued for CD review	11/10/23
3	Issued for DP Revisions	11/10/23
2	Issued for DP Revisions	09/15/23
1	Issued for DP	06/13/23



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The Beachlands
Presentation Centre

Landscape Details
Site Furnishings



LUMENLINEAR™ ASYMMETRIC
Special Lumenline™ Component for Life Safety and Light

LUMENLINEAR™

Our latest product line consists of the first low-voltage LED luminaire that provides exceptional light distribution to illuminate walkways, and more, in a wide range of applications. The luminaire is designed to be installed in a variety of applications, including walkways, stairs, ramps, and more. The luminaire is designed to be installed in a variety of applications, including walkways, stairs, ramps, and more.



- 37° beam angle of LED luminaire
- Maximum temperature 50°C
- Available in 100, 150, 200, 250, 300, 350, 400, 450, 500, 550, 600, 650, 700, 750, 800, 850, 900, 950, 1000, 1050, 1100, 1150, 1200, 1250, 1300, 1350, 1400, 1450, 1500, 1550, 1600, 1650, 1700, 1750, 1800, 1850, 1900, 1950, 2000, 2050, 2100, 2150, 2200, 2250, 2300, 2350, 2400, 2450, 2500, 2550, 2600, 2650, 2700, 2750, 2800, 2850, 2900, 2950, 3000, 3050, 3100, 3150, 3200, 3250, 3300, 3350, 3400, 3450, 3500, 3550, 3600, 3650, 3700, 3750, 3800, 3850, 3900, 3950, 4000, 4050, 4100, 4150, 4200, 4250, 4300, 4350, 4400, 4450, 4500, 4550, 4600, 4650, 4700, 4750, 4800, 4850, 4900, 4950, 5000, 5050, 5100, 5150, 5200, 5250, 5300, 5350, 5400, 5450, 5500, 5550, 5600, 5650, 5700, 5750, 5800, 5850, 5900, 5950, 6000, 6050, 6100, 6150, 6200, 6250, 6300, 6350, 6400, 6450, 6500, 6550, 6600, 6650, 6700, 6750, 6800, 6850, 6900, 6950, 7000, 7050, 7100, 7150, 7200, 7250, 7300, 7350, 7400, 7450, 7500, 7550, 7600, 7650, 7700, 7750, 7800, 7850, 7900, 7950, 8000, 8050, 8100, 8150, 8200, 8250, 8300, 8350, 8400, 8450, 8500, 8550, 8600, 8650, 8700, 8750, 8800, 8850, 8900, 8950, 9000, 9050, 9100, 9150, 9200, 9250, 9300, 9350, 9400, 9450, 9500, 9550, 9600, 9650, 9700, 9750, 9800, 9850, 9900, 9950, 10000

LUMENLINEAR™ ASYMMETRIC

PROJECT NAME: _____

REVISIONS: _____

APPROX. LINEAR FT: _____

BEHAVE OPTIONS: 1000 1500 2000 2500 3000 3500 4000 4500 5000 5500 6000 6500 7000 7500 8000 8500 9000 9500 10000

LINEAR FOOTAGE	WIRE TYPE	WIRE SIZE	WIRE COLOR	WIRE LENGTH	WIRE WEIGHT	WIRE RESISTANCE	WIRE CAPACITY	WIRE TENSILE STRENGTH	WIRE THERMAL STABILITY	WIRE FLAMMABILITY	WIRE TOXICITY	WIRE RECYCLABILITY
1000	12 AWG	1.5	Black	1000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
1500	12 AWG	1.5	Black	1500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
2000	12 AWG	1.5	Black	2000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
2500	12 AWG	1.5	Black	2500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
3000	12 AWG	1.5	Black	3000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
3500	12 AWG	1.5	Black	3500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
4000	12 AWG	1.5	Black	4000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
4500	12 AWG	1.5	Black	4500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
5000	12 AWG	1.5	Black	5000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
5500	12 AWG	1.5	Black	5500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
6000	12 AWG	1.5	Black	6000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
6500	12 AWG	1.5	Black	6500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
7000	12 AWG	1.5	Black	7000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
7500	12 AWG	1.5	Black	7500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
8000	12 AWG	1.5	Black	8000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
8500	12 AWG	1.5	Black	8500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
9000	12 AWG	1.5	Black	9000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
9500	12 AWG	1.5	Black	9500	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%
10000	12 AWG	1.5	Black	10000	1.5	0.0001	10	100	100	UL94V-0	RoHS	100%

ELECTRICAL SPECIFICATIONS

INPUT VOLTAGE	CERTIFICATIONS	EMFING	OPERATING TEMP.
240V	UL, ENEC, CE, FCC, RoHS, REACH, EN60598-1, EN60598-2-2, EN60598-2-15, EN60598-2-22, EN60598-2-24, EN60598-2-25, EN60598-2-26, EN60598-2-27, EN60598-2-28, EN60598-2-29, EN60598-2-30, EN60598-2-31, EN60598-2-32, EN60598-2-33, EN60598-2-34, EN60598-2-35, EN60598-2-36, EN60598-2-37, EN60598-2-38, EN60598-2-39, EN60598-2-40, EN60598-2-41, EN60598-2-42, EN60598-2-43, EN60598-2-44, EN60598-2-45, EN60598-2-46, EN60598-2-47, EN60598-2-48, EN60598-2-49, EN60598-2-50, EN60598-2-51, EN60598-2-52, EN60598-2-53, EN60598-2-54, EN60598-2-55, EN60598-2-56, EN60598-2-57, EN60598-2-58, EN60598-2-59, EN60598-2-60, EN60598-2-61, EN60598-2-62, EN60598-2-63, EN60598-2-64, EN60598-2-65, EN60598-2-66, EN60598-2-67, EN60598-2-68, EN60598-2-69, EN60598-2-70, EN60598-2-71, EN60598-2-72, EN60598-2-73, EN60598-2-74, EN60598-2-75, EN60598-2-76, EN60598-2-77, EN60598-2-78, EN60598-2-79, EN60598-2-80, EN60598-2-81, EN60598-2-82, EN60598-2-83, EN60598-2-84, EN60598-2-85, EN60598-2-86, EN60598-2-87, EN60598-2-88, EN60598-2-89, EN60598-2-90, EN60598-2-91, EN60598-2-92, EN60598-2-93, EN60598-2-94, EN60598-2-95, EN60598-2-96, EN60598-2-97, EN60598-2-98, EN60598-2-99, EN60598-2-100	EMFING	Operating Temp.

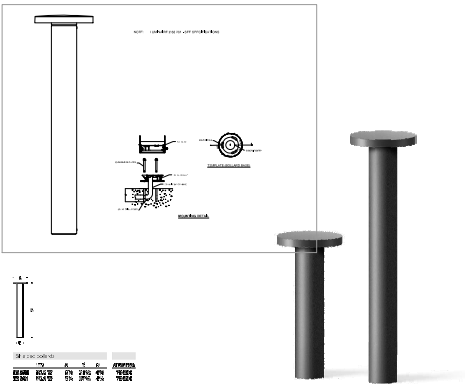
MECHANICAL SPECIFICATIONS

MECHANICAL SPECIFICATIONS	MECHANICAL SPECIFICATIONS
MECHANICAL SPECIFICATIONS	MECHANICAL SPECIFICATIONS

LUMENLINEAR™ LED DRIVER & NEMA ENCLOSURE OPTIONS

MECHANICAL SPECIFICATIONS

MECHANICAL SPECIFICATIONS	MECHANICAL SPECIFICATIONS
MECHANICAL SPECIFICATIONS	MECHANICAL SPECIFICATIONS



1 HANDRAIL LUMINAIRE
NTS

2 BOLLARD LIGHT
1:20

No.	Description	Date
5	Issued for DP	11/30/23
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3	Issued for DP Revisions	11/10/23
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1	Issued for DP	06/13/23



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The Beachlands Presentation Centre

Landscape Details
Lighting

HAPA COLLABORATIVE

Date: November 30, 2023
 Project Name: The Beachlands Presentation Centre, Colwood BC
 Company Name: Hapa Collaborative
 Prepared By: Katharine Walker
 Checked By: Joseph Fry, BCSLA CSLA
 Issued for: DP BONDING COST ESTIMATE



Note this is a rough order of magnitude estimate of landscape costs only for the purposes of bonding only. The actual costs at the time of construction may vary due to economic conditions, actual site conditions and/or availability of materials. This estimate includes costs for supply and installation of all items unless otherwise indicated. Refer to notes below.

Item	Description	Unit	Qty	Unit Price	Total
1.0	HARDSCAPE				
1.1	CIP concrete non-slip finish	m2	850	\$ 110.00	\$ 93,500.00
1.2	CIP concrete stairs	m2	65	\$ 1,500.00	\$ 97,500.00
1.3	Crushed stone paving	m2	780	\$ 90.00	\$ 70,200.00
1.4	Stone slab stairs	m2	10	\$ 150.00	\$ 1,500.00
1.5	Concrete unit pavers on pedestals (24x24)	m2	180	\$ 150.00	\$ 27,000.00
1.6	Landscape retaining wall	lm	38	\$ 450.00	\$ 17,100.00
				Subtotal	\$ 306,800.00
2.0	SOFTSCAPE				
2.1	Trees	each	10	\$ 700.00	\$ 7,000.00
2.2	Shrubs, perennials, ornamental grasses	m2	755	\$ 100.00	\$ 75,500.00
2.3	Growing medium (500-1000mm depth)	m3	755	\$ 80.00	\$ 60,400.00
2.4	Mulch (50mm depth)	m2	755	\$ 7.00	\$ 5,285.00
2.5	Irrigation	sum	1	\$ 12,000.00	\$ 12,000.00
				Subtotal	\$ 160,185.00
3.0	SITE FURNISHINGS				
3.1	Custom seating	each	7	\$ 1,000.00	\$ 7,000.00
3.2	Bike racks	allow	5	\$ 800.00	\$ 4,000.00
3.3	Parking wheel stops - prefab concrete	each	11	\$ 150.00	\$ 1,650.00
3.4	Parking dots	each	210	\$ 10.00	\$ 2,100.00
3.5	Guardrail	lm	5	\$ 500.00	\$ 2,500.00
				Subtotal	\$ 17,250.00
				Subtotal	\$ 484,235.00
				Tax (5% GST)	\$ 24,211.75
				Contingency (10%)	\$ 48,423.50
				Grand Total	\$ 556,870.25

Notes:

1. This estimate is a Rough Order of Magnitude opinion based on 100% DD drawings, Issued November 30 , 2023.
2. This estimate is based on 2023 construction costs. Quantities and unit prices may vary at the time of construction.
3. The following items are not included in this estimate.
 1. Works outside of the property line, offsite ground level areas.
 2. Any of the works being undertaken under separate contract by the City.
 3. Costs associated with contaminated sites.
 4. Special construction over existing utilities.
 5. Costs associated with site preparation, grading, excavation and backfill.
 6. Exterior street and wayfinding signage.
 7. Material or installation of soil cell system.