



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250-294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP000010

### DEVELOPMENT PERMIT DP000010

THIS PERMIT, issued December 1, 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: Reprise Design Architecture, PLLC.  
12400 Portland Avenue South, Suite 100  
Burnsville, MN 55337

(the "Permittee")

- 
1. This Form and Character Development Permits applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

Lot 1, Section 1, Esquimalt District, PLAN 30305  
1742 Island Highway  
(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form & character considerations for exterior renovations and associated site improvements are consistent with the guidelines for areas designated as "Mixed Use Employment Centre" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.

6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The following plans and specifications are attached to and form part of this permit:  

Schedule 1 – Site Plan, Floor Plans, Elevations, and Construction Details for 1742 Island Highway prepared by Reprise Architecture, dated October 12, 2023.
8. This Development Permit authorizes exterior renovations with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:


**FORM AND CHARACTER CONDITIONS****Building Features**

- 8.1. The form and character of renovations on the Lands shall conform to the Site Plan, Floor Plans, Elevations, and Construction details prepared by Reprise Design Architecture (Schedule 1).
- 8.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services.
- 8.3. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services.

**Signage**

- 8.5. Signage must be in substantial compliance with the Site Plan and Architectural Drawings prepared by Reprise Design Architecture (Schedule 1).
- 8.6. This Development Permit does not include any signage approvals.

ISSUED ON THIS 1 DAY OF DECEMBER, 2023.

  
\_\_\_\_\_  
John Rosenberg ASCT  
Director of Engineering & Development Services



# Schedule 1



1 EXISTING FRONT VIEW – EAST  
G003 SCALE: N.T.S.



2 EXISTING REAR VIEW – WEST  
G003 SCALE: N.T.S.

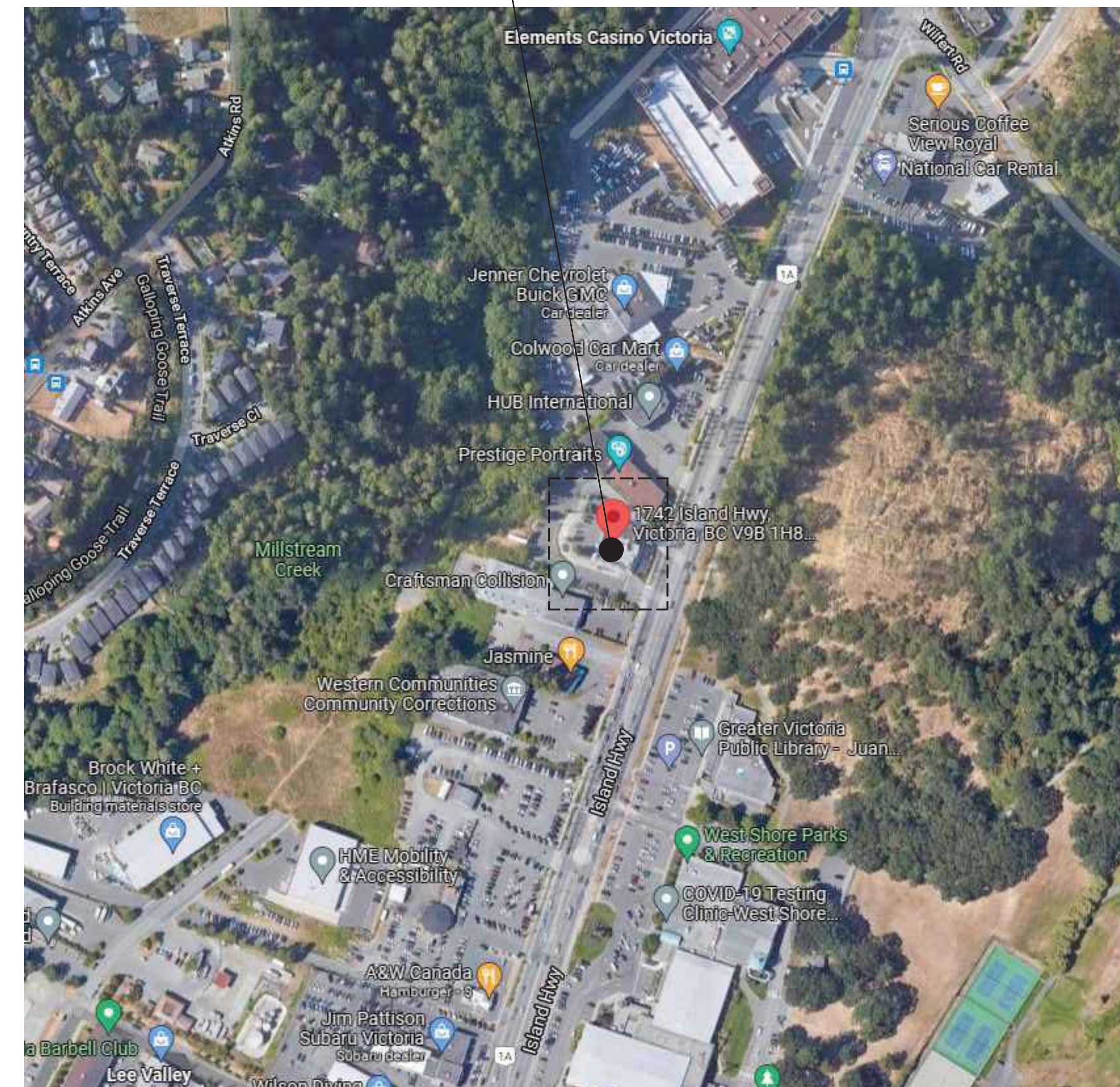


3 EXISTING DRIVE-THRU SIDE VIEW – SOUTH  
G003 SCALE: N.T.S.

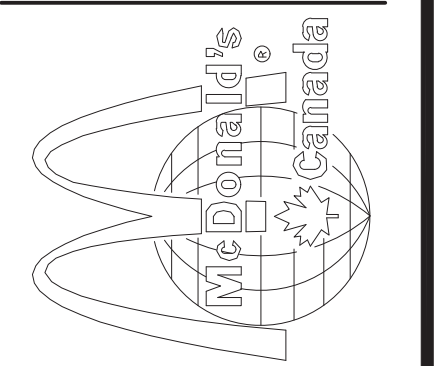


4 EXISTING NON-DRIVE-THRU SIDE VIEW – NORTH  
G003 SCALE: N.T.S.

## PROJECT LOCATION



5 KEY MAP  
G003 SCALE: N.T.S.



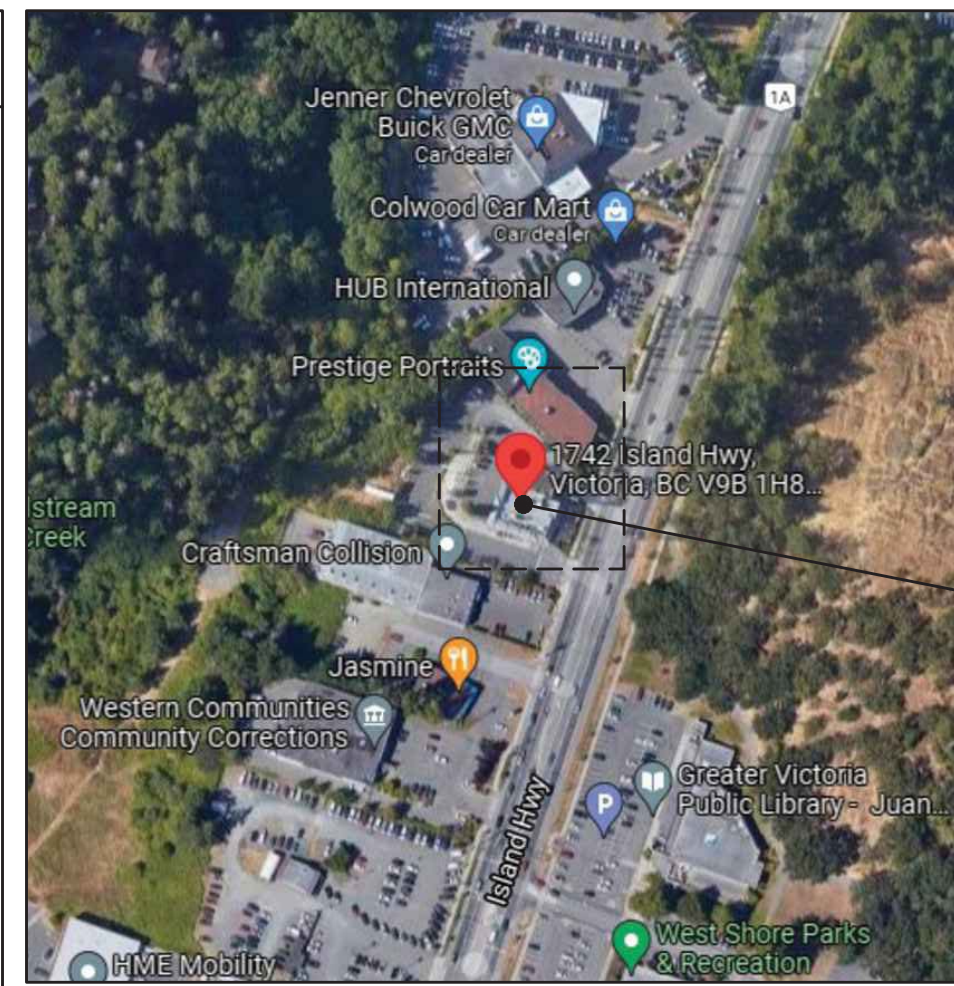


# GENERAL NOTES

1. PARKING CALCULATIONS: 4.5 STALLS PER 100 METERS SQUARED GROSS USEABLE FLOOR AREA.
2. BICYCLE PARKING STALL CALCULATION: 5% OF THE MINIMUM REQUIRED NUMBER OF MOTOR VEHICLE PARKING STALLS
3. ALL SITE FEATURES ARE EXISTING UNLESS OTHERWISE NOTED.
4. THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY McDONALD'S AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
5. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED, PRIOR TO STARTING CONSTRUCTION, AND REPORT ANY DISCREPANCIES OR VARIANCES TO PROJECT MANAGER.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
7. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
8. CONTRACTOR SHALL MAKE GOOD ALL EXISTING CONDITIONS THAT ARE DISTURBED BY NEW WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS OR RELOCATION ASSOCIATED WITH CURB/ASPALT/CONCRETE BASE WORK.
10. ALL NEW CURB IS TO BE CUT INTO EXISTING ASPHALT AT EXISTING GRADE. CONTRACTOR TO VERIFY THAT SITE DRAINAGE IS NOT NEGATIVELY IMPACTED.
11. ALL PYLON BASES, DIRECTIONAL SIGNS, ROAD SIGNS AND DT MENU BOARD COMPONENTS ARE TO BE REPAINTED. PAINT SYSTEM TO BE DEVTHANE 379-MCD44 (PT-2): SURFACE TO BE PREPARED PRIOR TO PAINTING AS PER ICI RECOMENDATION.
12. EXISTING ASPHALT PARKING LOT IS TO BE REPAIRED, RESEALED AND RESTRIPEDED AS SHOWN.

- ASPHALT STRUCTURE:**
- 40mm HL3
  - 80mm HL8
  - 150mm GRANULAR 'A'
  - 300mm GRANULAR 'B'

- CONCRETE PAD DETAILS:**
- 6" CONCRETE SLAB WITH 6"x6"x6/6 W.W.F. ON 6" COMPACTED GRANULAR FILL 4000 P.S.I. 6% AIR SULPHATE RESISTANT.

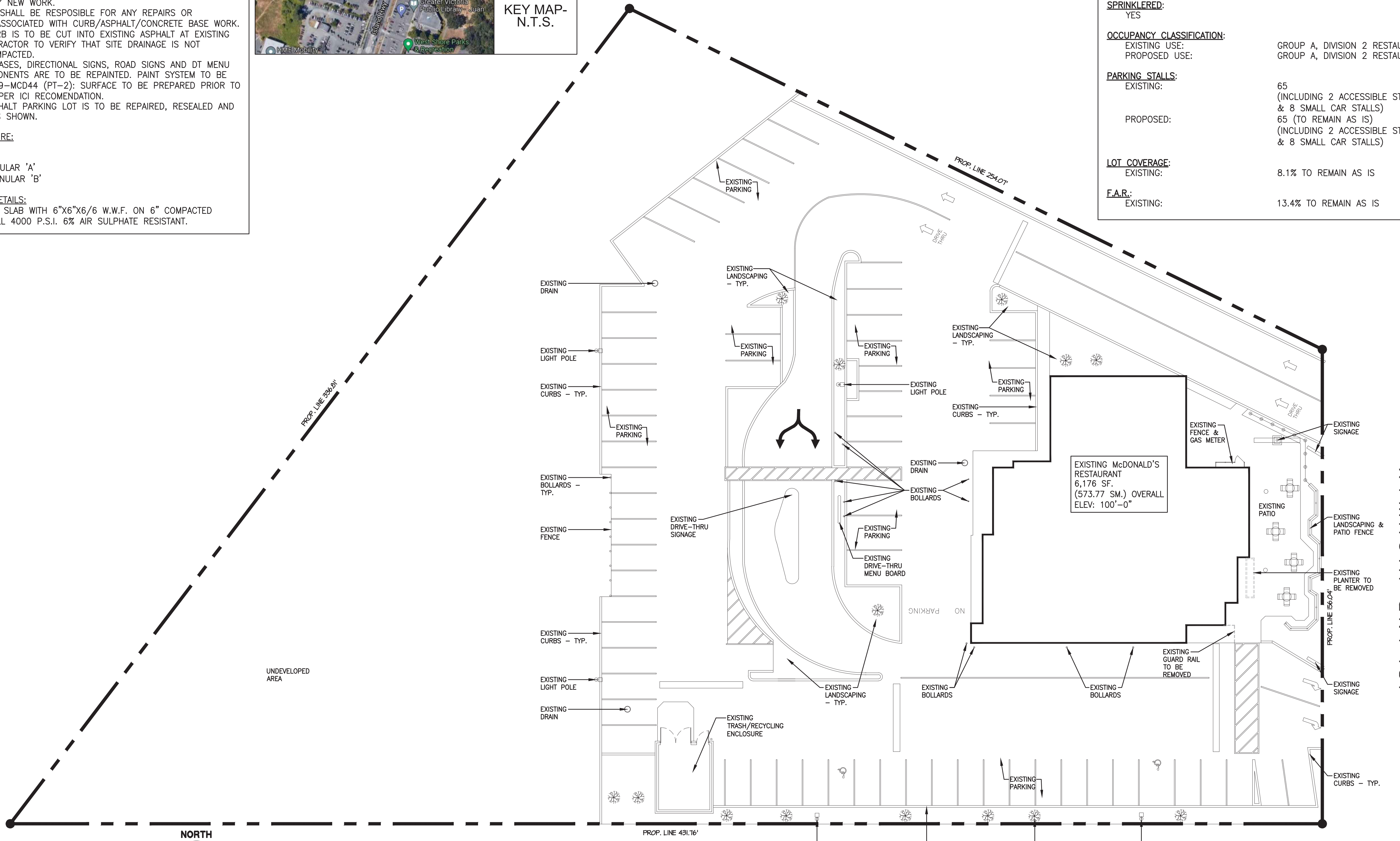


KEY MAP - N.T.S.

NOTE: OWNER TO PROVIDE CIVIL ENGINEERING AS REQUIRED TO MEET HANDICAP ACCESS, DRAINAGE REQUIREMENTS, CONSTRUCTION STANDARDS, ETC.

# PROJECT STATISTICS

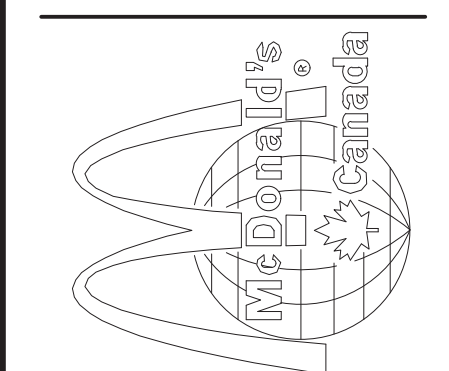
<b>ZONING:</b>		CS2
<b>SITE AREA:</b>		75,686.4 SQ. FT. (7,031.5 SQ. M.)
<b>BUILDING AREA:</b>		
TOTAL SITE AREA:		75,686.4 SQ. FT.
TOTAL EXISTING BUILDING AREA:		6,176 SQ. FT. (573.77 SQ. M.)
TOTAL PROPOSED BUILDING AREA:		6,301 SQ. FT. (585.38 SQ. M.)
<b>SEATING:</b>		
EXISTING SEATS:		112 SEATS
PROPOSED SEATS:		106 SEATS 5.5% REDUCTION
<b>SPRINKLERED:</b>		YES
<b>OCCUPANCY CLASSIFICATION:</b>		
EXISTING USE:		GROUP A, DIVISION 2 RESTAURANT
PROPOSED USE:		GROUP A, DIVISION 2 RESTAURANT
<b>PARKING STALLS:</b>		
EXISTING:		65 (INCLUDING 2 ACCESSIBLE STALLS & 8 SMALL CAR STALLS)
PROPOSED:		65 (TO REMAIN AS IS) (INCLUDING 2 ACCESSIBLE STALLS & 8 SMALL CAR STALLS)
<b>LOT COVERAGE:</b>		
EXISTING:		8.1% TO REMAIN AS IS
<b>F.A.R.:</b>		
EXISTING:		13.4% TO REMAIN AS IS



UNDEVELOPED AREA



1 SP001 DEMOLITION SITE PLAN SCALE: N.T.S.



**McDONALD'S RESTAURANT**  
2024 REMODEL - COLWOOD  
1742 ISLAND HWY  
COLWOOD, BC

PREPARED FOR:  
**McDonald's Restaurants of Canada Limited**  
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DP ISSUE	10/12/23
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CHECKED BY	AB
JOB NO.	21186

SP001

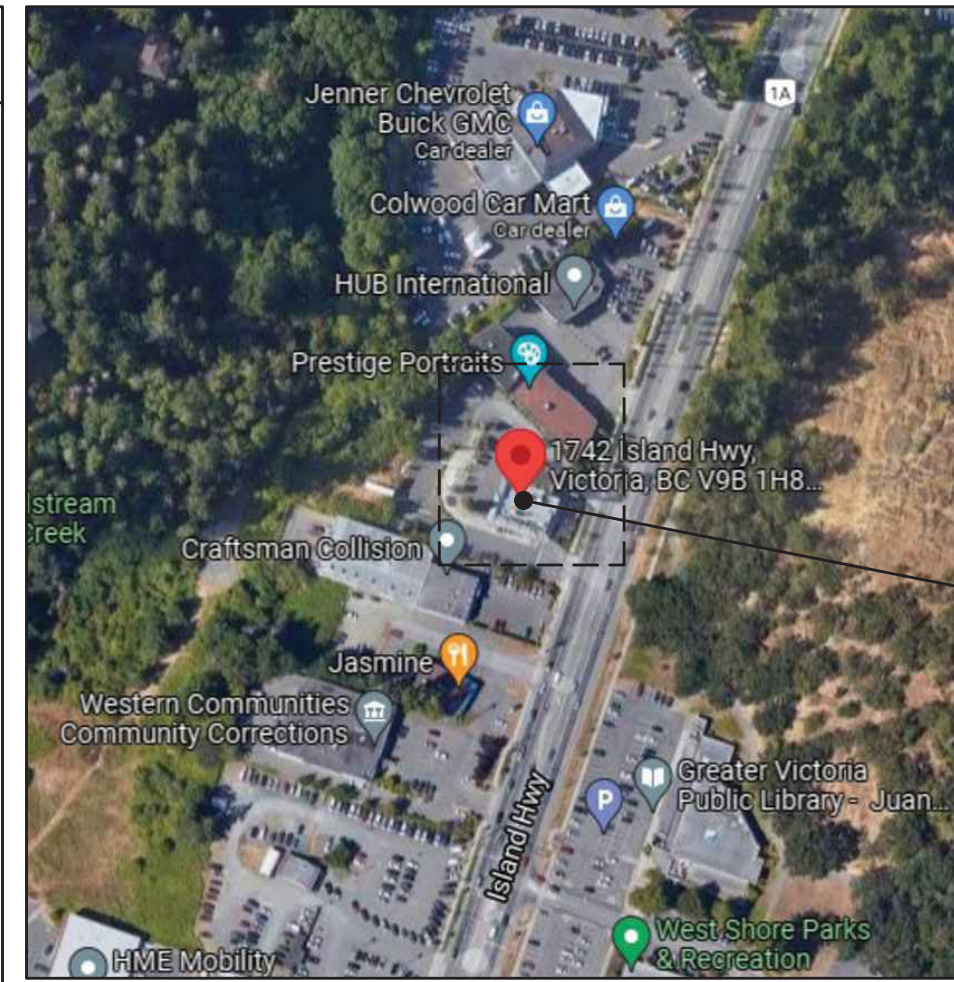


# GENERAL NOTES

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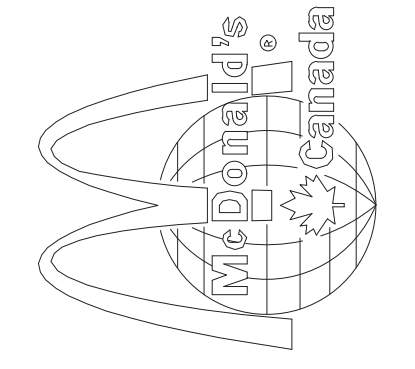
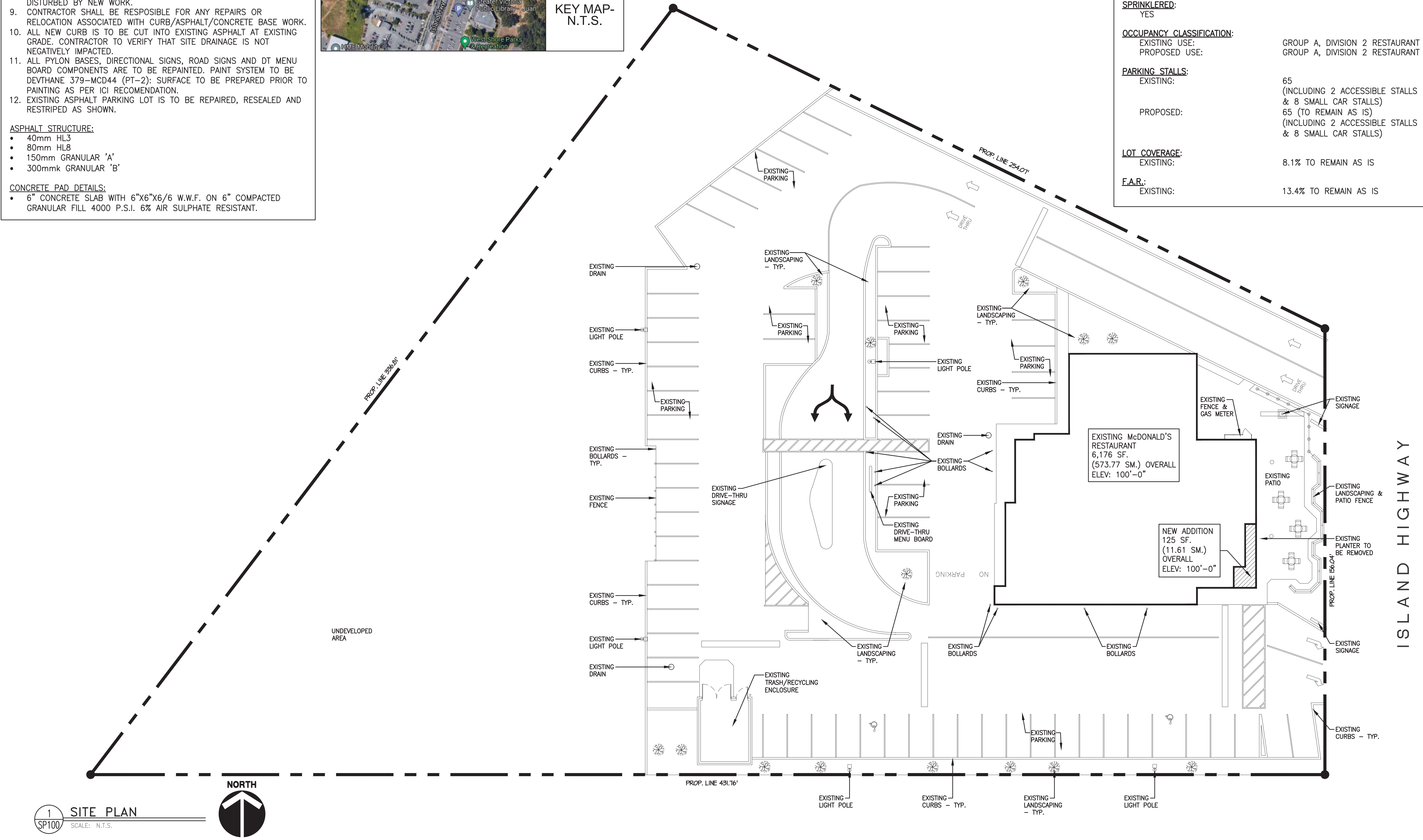


KEY MAP - N.T.S.

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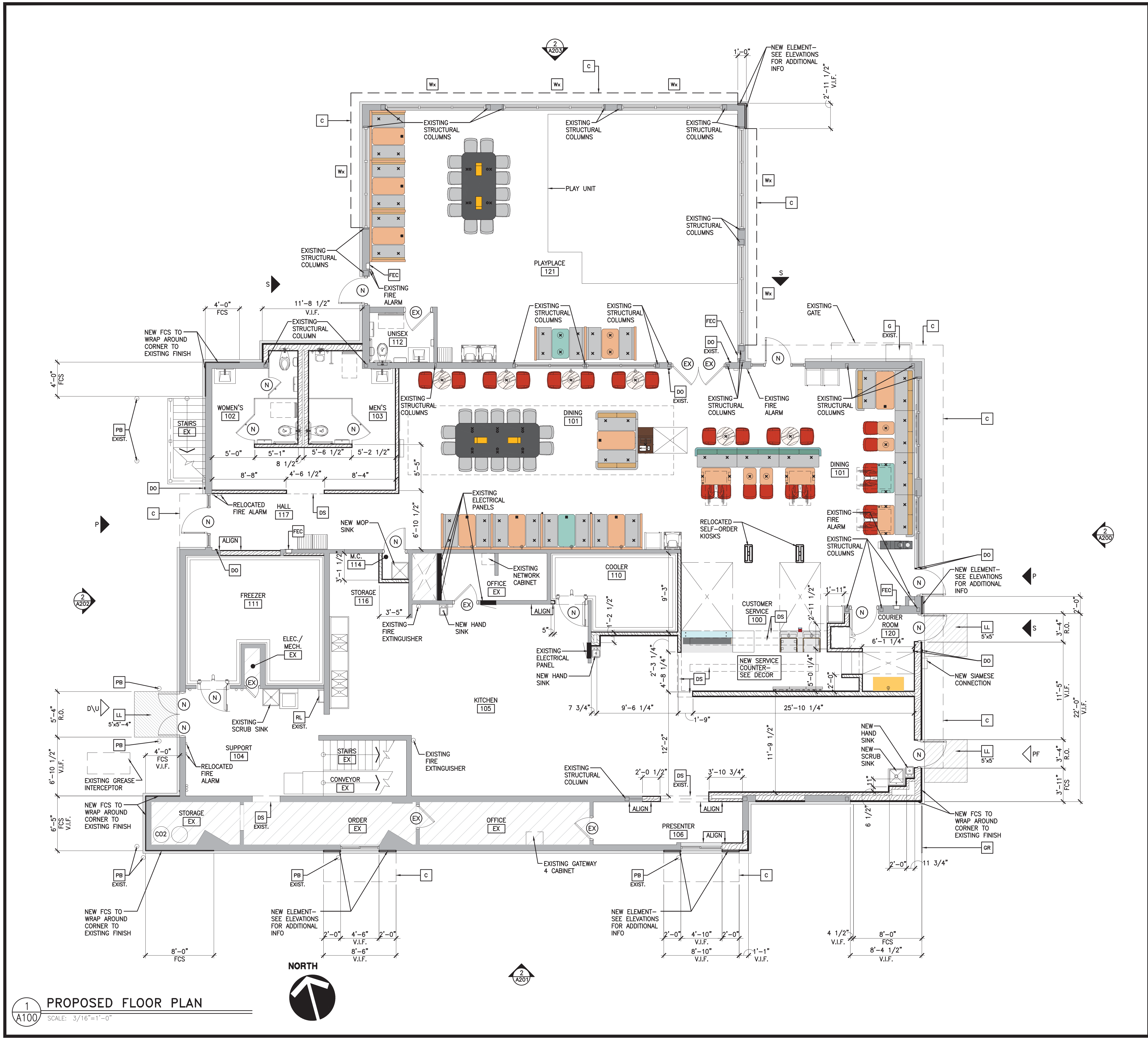
**McDONALD'S RESTAURANT**  
2024 REMODEL - COLWOOD  
1742 ISLAND HWY  
COLWOOD, BC

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**SP100**

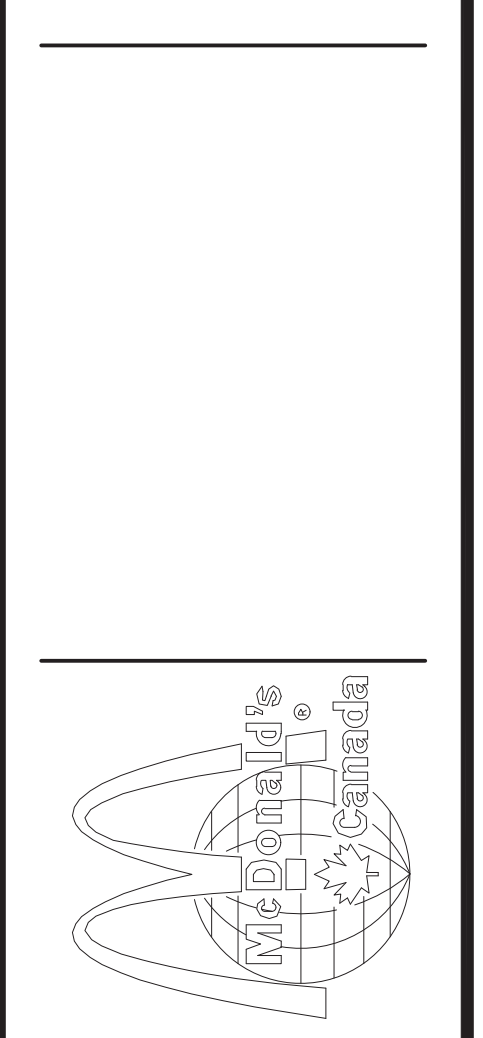
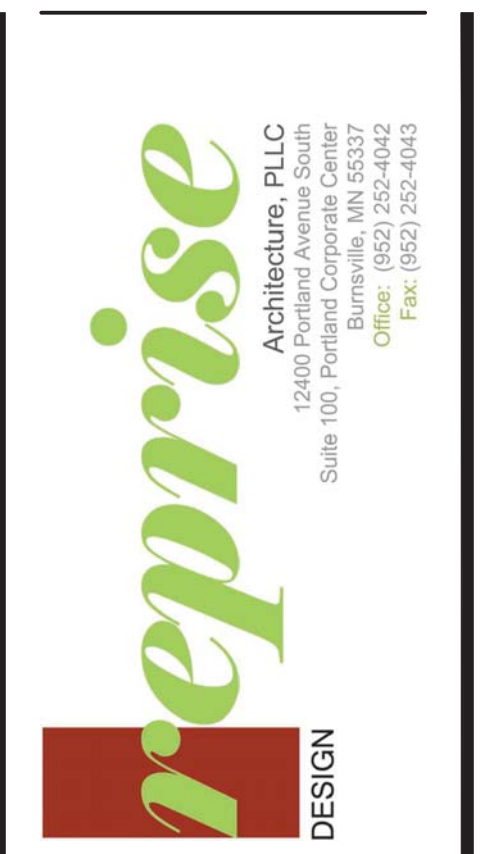




- KEY NOTES**
- [C] CANOPY SYSTEM
  - [DO] AUTOMATIC DOOR OPERATOR - MOUNT @ 40" A.F.F.
  - [DS] DROPPED SOFFIT ABOVE
  - [FEC] FIRE EXTINGUISHER CABINET - VERIFY LOCATION & SIZE OF SEMI-RECESSED FIRE EXTINGUISHER CABINETS PRIOR TO FRAMING OF WALLS. TOP OF BOX 5'-0" A.F.F. - STAINLESS STEEL FINISH - SEE DECOR DWGS FOR SPECIFICATIONS
  - [G] GAS METER
  - [GR] GUARD RAIL
  - [LL] LEVEL LANDING @ EXT. DOOR W/ MAX. 2% RUNNING/CROSS SLOPE AWAY FROM BUILDING
  - [S] SIZE OF LANDING
  - [PB] PIPE BOLLARD
  - [RL] ROOF ACCESS LADDER

- SYMBOL LEGEND**
- (EX) EXISTING DOOR TAG
  - (N) NEW DOOR TAG
  - (Wx) NEW WINDOW TAG
  - (X) KEY NOTE - SEE KEY NOTES LEGEND
  - ROOM NAME TAG
  - ROOM NAME & NUMBER TAG
  - (X AZXX) EXTERIOR ELEVATION MARKER
  - P DOOR ENTRANCE TYPE
    - "P" PRIMARY
    - "S" SECONDARY
    - "D/U" DELIVERY/UTILITY
    - "PF" PULL FORWARD

- WALL LEGEND:**
- [Solid Grey] EXISTING FULL-HEIGHT WALL TO REMAIN
  - [Dotted Grey] EXISTING PARTIAL HEIGHT WALL TO REMAIN
  - [Hatched Grey] NEW WOOD STUD WALL
  - [Dashed Line] LINE ABOVE TO REMAIN
  - [Dotted Line] NEW BEAM
  - [Diagonal Hatched] EXISTING AREAS TO REMAIN- NO CHANGES



**MCDONALD'S RESTAURANT**  
 2024 REMODEL - COLWOOD  
 1742 ISLAND HWY  
 COLWOOD, BC

**PREPARED FOR:**  
 McDonald's Restaurants of Canada Limited

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**DATE ISSUED:**  
 DP ISSUE 10/12/23

**DRAWN BY:** HY  
**CHECKED BY:** AB  
**JOB NO.:** 21186

**DP-A100**



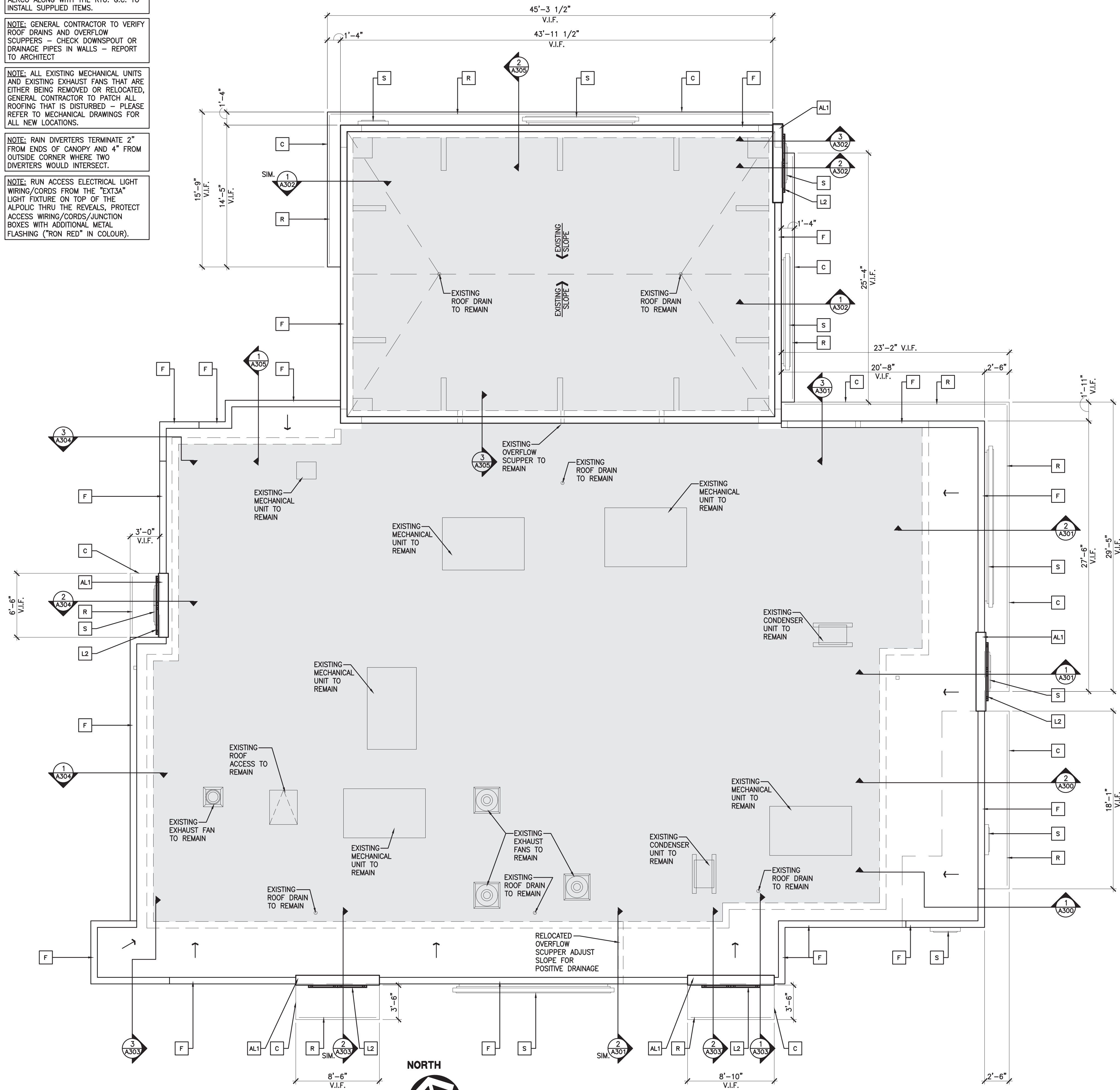
**ROOF CURBS:**  
NOTE: ROOF CURBS REQUIRED FOR THIS PROJECT TO BE SUPPLIED BY AERCO ALONG WITH THE RTU, G.C. TO INSTALL SUPPLIED ITEMS.

**NOTE:** GENERAL CONTRACTOR TO VERIFY ROOF DRAINS AND OVERFLOW SCUPPERS - CHECK DOWNSPOUT OR DRAINAGE PIPES IN WALLS - REPORT TO ARCHITECT

**NOTE:** ALL EXISTING MECHANICAL UNITS AND EXISTING EXHAUST FANS THAT ARE EITHER BEING REMOVED OR RELOCATED, GENERAL CONTRACTOR TO PATCH ALL ROOFING THAT IS DISTURBED - PLEASE REFER TO MECHANICAL DRAWINGS FOR ALL NEW LOCATIONS.

**NOTE:** RAIN DIVERTERS TERMINATE 2" FROM ENDS OF CANOPY AND 4" FROM OUTSIDE CORNER WHERE TWO DIVERTERS WOULD INTERSECT.

**NOTE:** RUN ACCESS ELECTRICAL LIGHT WIRING/CORDS FROM THE "EXT3A" LIGHT FIXTURE ON TOP OF THE ALPOLIC THRU THE REVEALS, PROTECT ACCESS WIRING/CORDS/JUNCTION BOXES WITH ADDITIONAL METAL FLASHING ("RON RED" IN COLOUR).



**1 ROOF PLAN**  
A102 SCALE: 3/16"=1'-0"

**LEGEND**

- L.P. LOW POINT
- H.P. HIGH POINT
- ← DIRECTION OF DRAINAGE
- ↖ BRACING SLOPE DIRECTION

**KEY NOTES**

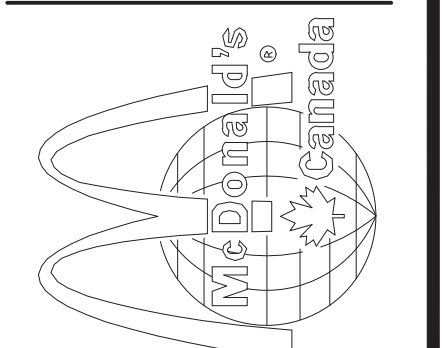
- AL1 METAL PANEL SYSTEM 'ACM C2000' - SEE ELEVATIONS AND WALL SECTIONS
- C CANOPY SYSTEM - SEE A300 FOR DIMENSIONS
- F METAL PARAPET FLASHING - SEE ELEVATIONS AND SECTIONS
- L2 EXTERIOR LIGHT FIXTURE 'EXT3A' FOR BLADE, BADGE & D/T ALPOLIC - SEE EXTERIOR ELEVATIONS - REFER TO ROOFING NOTES #4
- R RAIN DIVERTER - SEE 11/A310
- S McDONALD'S SIGNAGE BY OTHERS SEE ELEVATIONS

**ROOFING NOTES**

1. SINGLE-PLY ROOFING SYSTEM OVER PLYWOOD SHEATHING AT NEW WALL CONSTRUCTION. SEE A300-A305
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS THIS SHEET - SEE 2/A102
3. CRICKETS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.
4. RUN ACCESS ELECTRICAL LIGHT WIRING/CORDS FROM THE "EXT3A" LIGHT FIXTURE ON TOP OF THE ALPOLIC THRU THE REVEALS, PROTECT ACCESS WIRING/CORDS/JUNCTION BOXES WITH ADDITIONAL METAL FLASHING ("RON RED" @ BADGE, BLADE & DRIVE-THRU IN COLOUR).

**ROOF SNOW DRIFT LOAD NOTES**

1. DRIFT LOADS SHOWN ON PLAN REFLECT ONLY THE ADDED DRIFT LOAD ASSOCIATED WITH INCREASES IN PARAPET HEIGHT ASSOCIATED WITH THE CURRENT SCOPE OF WORK. A BASELINE FLAT ROOF SNOW LOAD EXISTS AND HAS BEEN CONSIDERED IN ADDITION TO THE LOADS SHOWN (LOADS SHOWN ARE SERVICE LEVEL).
2. THE ADDED LOADS ASSOCIATED WITH THE PARAPET HEIGHT INCREASES HAVE BEEN EXAMINED RELATIVE TO THE SNOW LOAD PROVISIONS OF THE MANITOBA BUILDING CODE. SUPPORTING FRAMING HAS EITHER BEEN MODIFIED TO PROVIDE ADDITIONAL SUPPORT OR EXAMINED AND DETERMINED TO BE SUFFICIENT FOR THE ADDED LOADS. IN SOME CASES, PARAPET HEIGHTS HAVE BEEN LIMITED OR DECREASED DURING DESIGN TO LIMIT THE IMPACT ON THE STRUCTURE.



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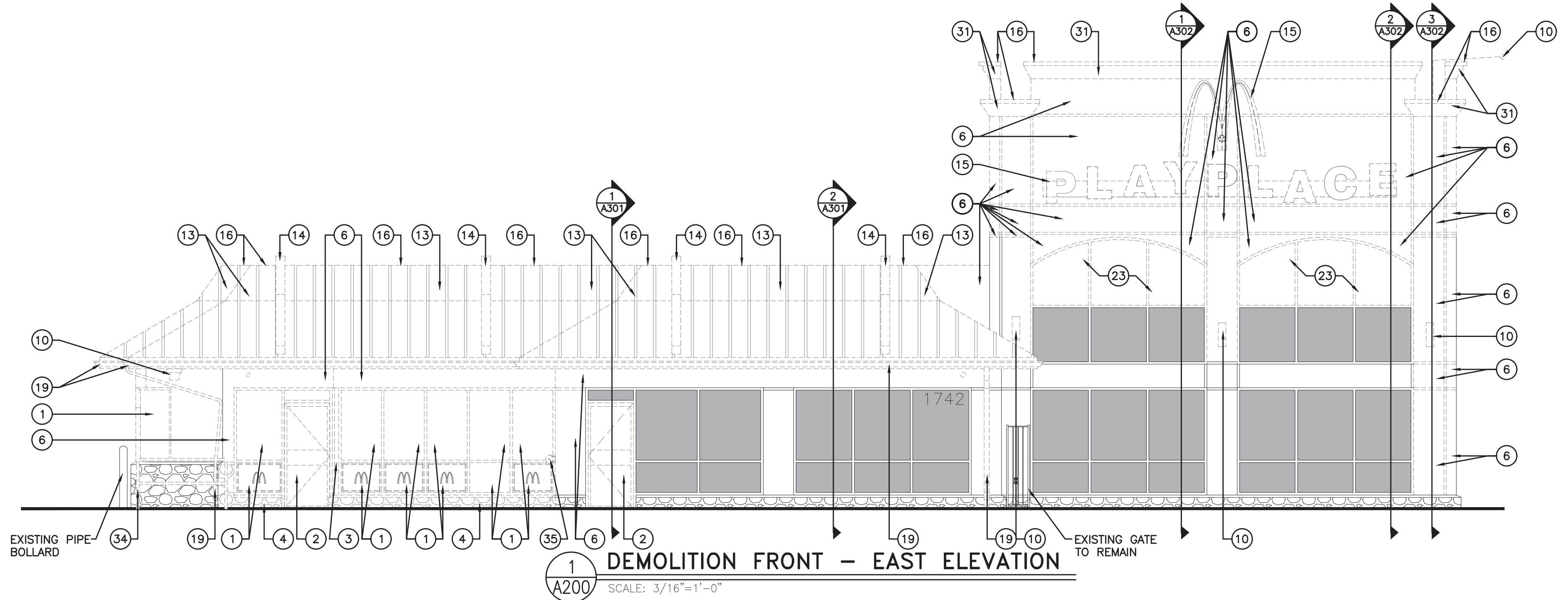
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**A102**

**ROOF PLAN & DETAILS**





SEE SHT. A001, A002, A200, A201, A202, A203, A300, A301, A302, A303, A304 AND A305 FOR ADDITIONAL DEMOLITION REQUIREMENTS AND NOTES.

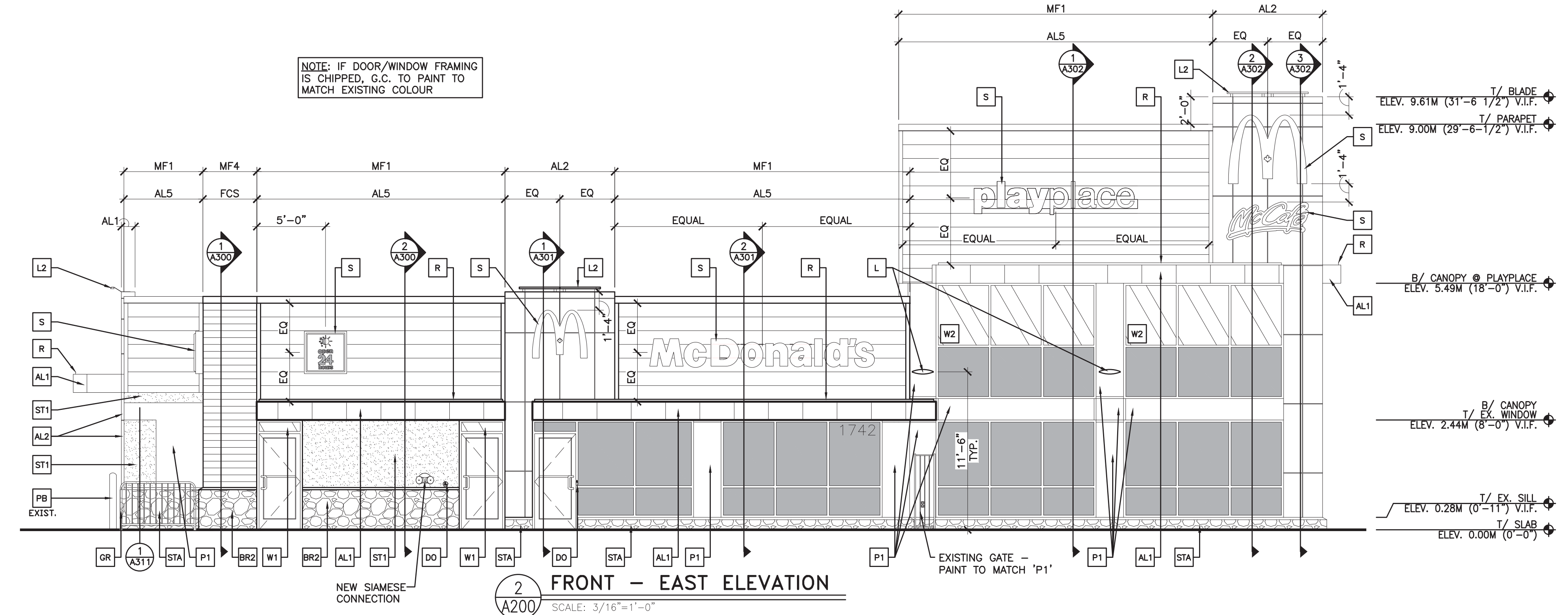
1 DEMOLITION FRONT - EAST ELEVATION  
SCALE: 3/16"=1'-0"

**DEMOLITION KEY NOTES:**

- 1 REMOVE EXISTING WINDOWS AND FRAME AS SHOWN
- 2 REMOVE EXISTING DOOR AS SHOWN - SEE DECOR DWGS TO DETERMINE IF FRAME IS TO REMAIN
- 3 REMOVE EXISTING WALL AS SHOWN
- 4 REMOVE EXISTING STONE WAINSCOT AS SHOWN
- 5 REMOVE EXISTING DOOR OPERATOR AS SHOWN
- 6 REMOVE EXISTING EXTERIOR FINISH, PATCH SHEATHING AS REQ'D - PREP FOR NEW EXTERIOR FINISH MATERIAL.
- 7 REMOVE EXISTING DROPPED SOFFIT AS SHOWN - SEE A002 FOR MORE INFORMATION
- 8 REMOVE EXISTING KITCHEN EQUIPMENT AS REQUIRED. REFER TO KITCHEN DRAWINGS FOR ADDITIONAL INFORMATION. (SEE DEMO PLANS)
- 9 REMOVE EXISTING CEILING AS SHOWN (SEE DEMO PLANS)
- 10 REMOVE EXISTING ELECTRICAL AS SHOWN
- 11 REMOVE EXISTING MECHANICAL AS SHOWN (SEE DEMO PLANS)
- 12 REMOVE EXISTING KIOSK AS SHOWN - SAVE & RE-INSTALL
- 13 REMOVE PART OF EXIST'G ROOF - SEE SHEETS A002, A200, A201, A202, A203, A300, A301, A302 AND A303 FOR ADD'L INFORMATION
- 14 REMOVE EXISTING MANSARD LIGHT BEAM AS SHOWN
- 15 REMOVE EXISTING SIGNAGE
- 16 REMOVE EXISTING PARAPET FLASHING AS SHOWN
- 17 REMOVE EXISTING MENU BOARDS AS SHOWN - SAVE AND RE-INSTALL
- 18 REMOVE EXISTING RESTROOM FINISHES, FIXTURES, ACCESSORIES, & PARTITIONS AS SHOWN. CAP LINES IF NECESSARY (SEE DEMO PLANS) - SEE DECOR DRAWINGS FOR EXTENT OF NEW FINISHES
- 19 REMOVE EXISTING GUTTER & DOWNSPOUT/SCUPPER AS SHOWN
- 20 REMOVE EXISTING SSBS AS SHOWN - SAVE & RE-INSTALL
- 21 REMOVE PORTION OF EXISTING CONC. FLOOR SLAB FOR NEW PEDESTRIAN MAT - SEE PEDESTRIAN MAT SPECIFICATIONS FOR EXACT CUT - VERIFY EXISTING SLAB IS NOT STRUCTURAL
- 22 REMOVE EXISTING FRONT COUNTER AS SHOWN (SEE DEMO PLANS AND DETAILS)
- 23 UPPER WINDOW FRAME TO BE CHANGED - SEE WALL SECTIONS 1/A302, 2/A302 & 2/A305 FOR ADDITIONAL INFORMATION.
- 24 REMOVE ALL EXISTING SEATS, TABLES, PARTIAL HEIGHT WALLS & FINISHES, U.N.D. PATCH & REPAIR SURFACES TO RECEIVE NEW DECOR. (SEE DEMO PLANS)
- 25 REMOVE EXISTING TELEVISION AS SHOWN - SEE DEMOLITION PLAN NOTE #5
- 26 REMOVE EXISTING HAND SINK AS SHOWN
- 27 REMOVE EXISTING JANITOR'S SINK AS SHOWN
- 28 REMOVE EXISTING FIREPLACE, HEARTH, MANTEL TRIM AND METAL CAP FLASHING AS SHOWN
- 29 REMOVE EXISTING FREEZER/COOLER WALLS AS SHOWN - SEE DEMO PLAN NOTE #3
- 30 NOT USED
- 31 REMOVE EXISTING PARAPET CORNICE AS SHOWN
- 32 REMOVE EXISTING FIRE EXTINGUISHER CABINET AS SHOWN - SEE DEMOLITION PLAN NOTE #3
- 33 REMOVE EXISTING FINISHES AS REQUIRED PER DECOR DRAWINGS
- 34 REMOVE EXISTING GUARD RAIL AS SHOWN
- 35 REMOVE EXISTING SIAMESE CONNECTION AS SHOWN

- T/ BADGE, ORDER & PRESENTER  
ELEV. 5.28M (17'-4")
- T/ PARAPET  
ELEV. 5.18M (17'-0")
- B/ D/T CANOPY  
ELEV. 3.05M (10'-0")
- B/ CANOPY  
ELEV. 2.44M (8'-0") V.I.F.
- T/ EX. SILL  
ELEV. 0.34M (3'-1") V.I.F.
- T/ SLAB  
ELEV. 0.00M (0'-0")

NOTE: IF DOOR/WINDOW FRAMING IS CHIPPED, G.C. TO PAINT TO MATCH EXISTING COLOUR



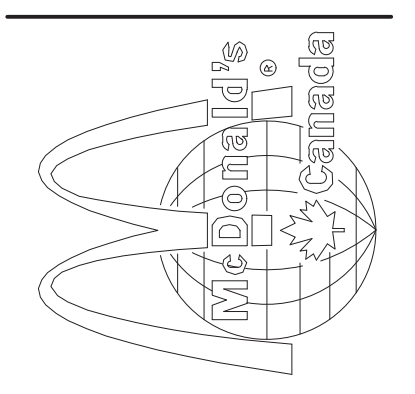
OWNERS SIGN PACKAGE BY OWNERS VENDOR - UNDER SEPARATE PERMIT. GO TO COORDINATE ELECTRICAL REQUIREMENTS. REFERENCE SIGNAGE VENDORS SHOP DRAWINGS FOR LOCATION OF ELECTRICAL CONNECTION AT EACH SIGN FOR ROUGH-IN REQUIREMENTS.

REMOVE SECURITY CAMERAS AS NEEDED FOR NEW EXTERIOR FINISHES - RE-INSTALL CAMERAS AFTER NEW EXTERIOR FINISH WORK IS COMPLETE.

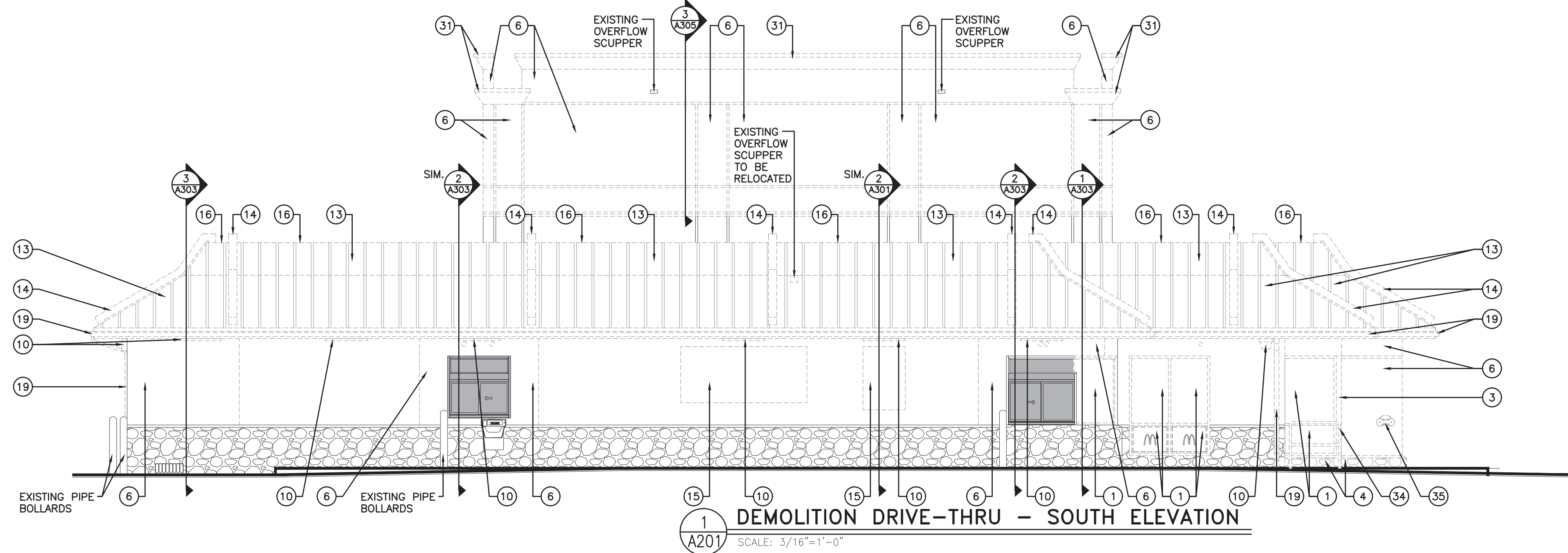
2 FRONT - EAST ELEVATION  
SCALE: 3/16"=1'-0"

**KEY NOTES:**

- |  |  |   |  |   |  |
|--|--|---|--|---|--|
| AL1 ACM METAL PANEL SYSTEM C2000 - COLOUR MATCH ALPOLIC MFR. "BNT - WHITE"   | BM NOT USED  | FCS 8 1/4" CEDER LAP FIBER CEMENT SIDING, COLOUR: DELUX "CHESTNUT /McCAFE BROWN" McD-37 COLOUR: TO BE APPLIED BY G.C. | MF1 METAL FASCIA COLOUR "CHARCOAL GREY"  | OD NOT USED   | SSM NOT USED   |
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| AL3 NOT USED   | BR2 NEW STONE TO MATCH EXISTING. PAINT - COLOUR: TO MATCH 'P2' | GR GUARD RAIL - SEE SP101   | MF3 NOT USED   | PT (RMHC) COIN COLLECTOR UNIT   | ST1 NEW STUCCO - COLOUR: DULUX 'REGENT GREY' McD-49  |
| AL4 NOT USED   | BR3 NOT USED   | DO AUTOMATIC DOOR OPERATOR UNIT - G.C. TO VERIFY MOUNTING HEIGHTS & LOCATIONS PER LOCAL CODES                         | L NEW LIGHT FIXTURE & LOCATION - SEE ELECTRICAL A200-A203 FOR NEW LIGHT LOCATIONS - SEE A101 FOR LIGHT FIXTURE LOCATION DIMENSIONS | P1 PAINT - COLOUR: DULUX 'REGENT GREY' McD-49 PATCH & INFILL EXISTING SURFACE AS REQ'D FOR NEW FINISH   | STA STAIN - COLOUR: NAWKAW 'CHARCOAL GREY' PATCH AND/OR REPLACE DAMAGED EXISTING SURFACE AS REQ'D FOR NEW FINISH |
| AL5 VICWEST AD-300 METAL PANEL SYSTEM - COLOUR MATCH ALPOLIC MFR. "MZG-GREY" | BR4 NOT USED   | DS NOT USED   | L2 NEW LIGHT FIXTURE "EXT3A" FOR BLADE, BADGE & D/T APOLIC - SEE EXTERIOR ELEVATIONS - REFER TO ROOFING NOTES #4 ON A102           | P2 PAINT - COLOUR: DULUX 'CHARCOAL GREY' McD-42 PATCH & INFILL EXISTING SURFACE AS REQ'D FOR NEW FINISH | WX NOT USED  |



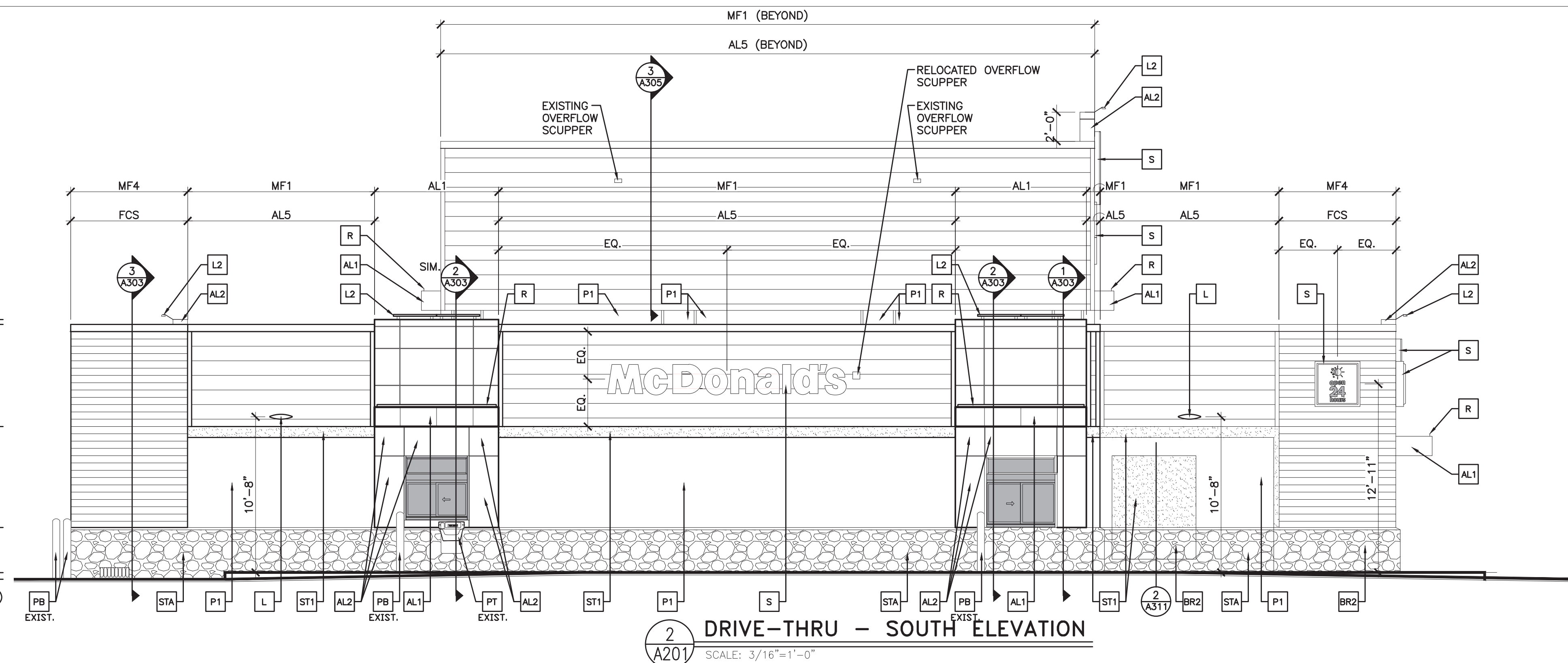




SEE SHT. A001, A002, A200, A201, A202, A203, A300, A301, A302, A303, A304 AND A305 FOR ADDITIONAL DEMOLITION REQUIREMENTS AND NOTES.

**DEMOLITION KEY NOTES:**

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- 4 REMOVE EXISTING STONE WAINSCOT AS SHOWN
- 5 REMOVE EXISTING DOOR OPERATOR AS SHOWN
- 6 REMOVE EXISTING EXTERIOR FINISH, PATCH SHEATHING AS REQ'D - PREP FOR NEW EXTERIOR FINISH MATERIAL.
- 7 REMOVE EXISTING DROPPED SOFFIT AS SHOWN - SEE A002 FOR MORE INFORMATION
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- 12 REMOVE EXISTING KIOSK AS SHOWN - SAVE & RE-INSTALL
- 13 REMOVE PART OF EXIST'G ROOF - SEE SHEETS A002, A200, A201, A202, A203, A300, A301, A302 AND A303 FOR ADD'L INFORMATION
- 14 REMOVE EXISTING MANSARD LIGHT BEAM AS SHOWN
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- 22 REMOVE EXISTING FRONT COUNTER AS SHOWN (SEE DEMO PLANS AND DETAILS)
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- 31 REMOVE EXISTING PARAPET CORNICE AS SHOWN
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- 33 REMOVE EXISTING FINISHES AS REQUIRED PER DECOR DRAWINGS
- 34 REMOVE EXISTING GUARD RAIL AS SHOWN
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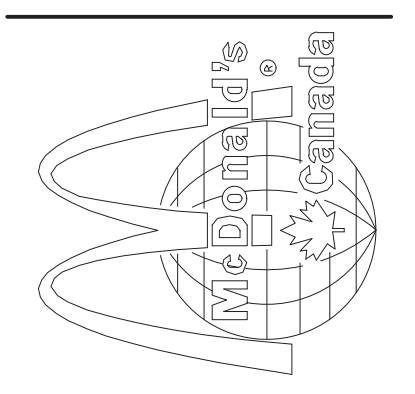


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**KEY NOTES:**

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| AL3 NOT USED   | BR2 NEW STUCCO TO MATCH EXISTING. PAINT - COLOUR: TO MATCH 'P2' | D HOLLOW METAL DOOR - PAINT 'P2' - COLOUR DULUX 'CHARCOAL GREY' McD-42                        | GR GUARD RAIL - SEE SP101  | MF3 NOT USED  | PT (RMHC) COIN COLLECTOR UNIT   | ST1 NEW STUCCO - COLOUR: DULUX 'REGENT GREY' McD-49  |
| AL4 NOT USED   | BR3 NOT USED  | DO AUTOMATIC DOOR OPERATOR UNIT - G.C. TO VERIFY MOUNTING HEIGHTS & LOCATIONS PER LOCAL CODES | L NEW LIGHT FIXTURE & LOCATION - SEE ELECTRICAL A200-A203 FOR NEW LIGHT LOCATIONS - SEE A101 FOR LIGHT FIXTURE LOCATION DIMENSIONS | MF4 METAL FASCIA COLOUR TO MATCH FIBER CEMENT SIDING SYSTEM "CHESTNUT BROWN" McD 37 | P1 PAINT - COLOUR: DULUX 'REGENT GREY' McD-49 PATCH & INFILL EXISTING SURFACE AS REQ'D FOR NEW FINISH   | STA STAIN - COLOUR: NAWKAW 'CHARCOAL GREY' PATCH AND/OR REPLACE DAMAGED EXISTING SURFACE AS REQ'D FOR NEW FINISH |
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McDonald's RESTAURANT  
2024 REMODEL - COLWOOD  
1742 ISLAND HWY  
COLWOOD, BC

EXTERIOR ELEVATIONS

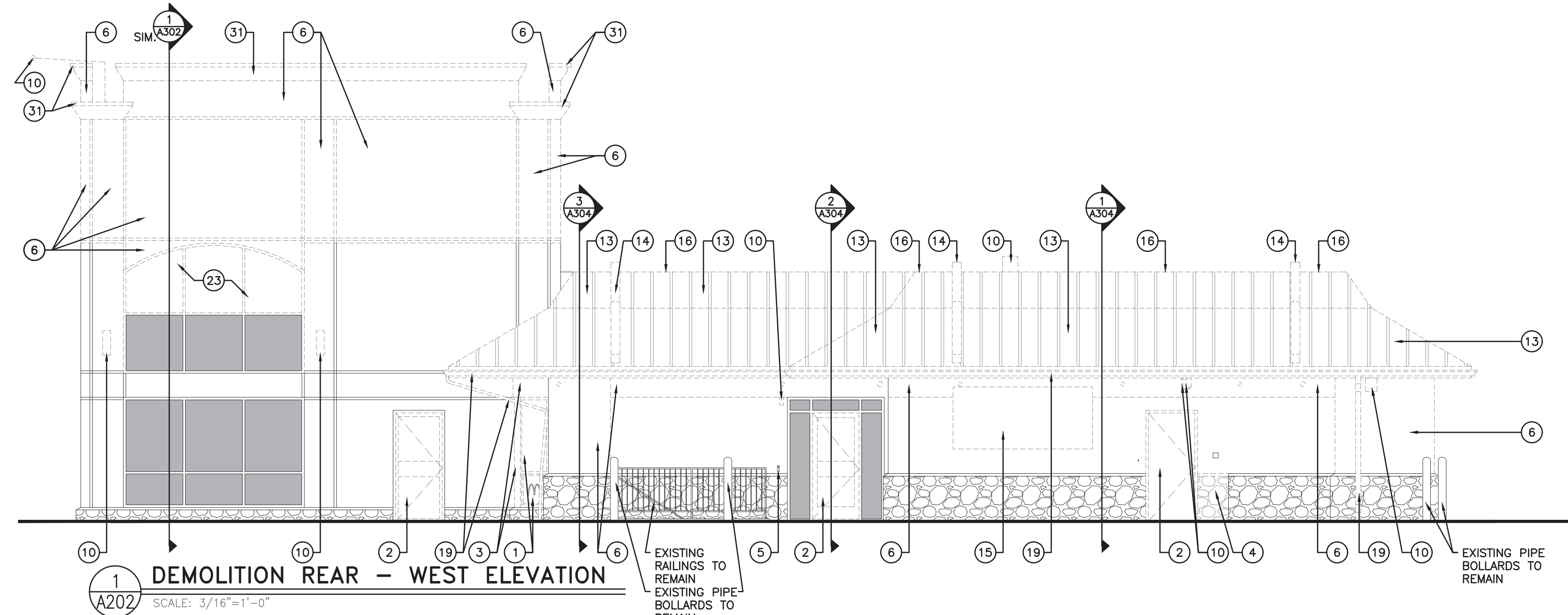
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McDonald's Restaurants of Canada Limited  
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DP ISSUE 10/12/23

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A201



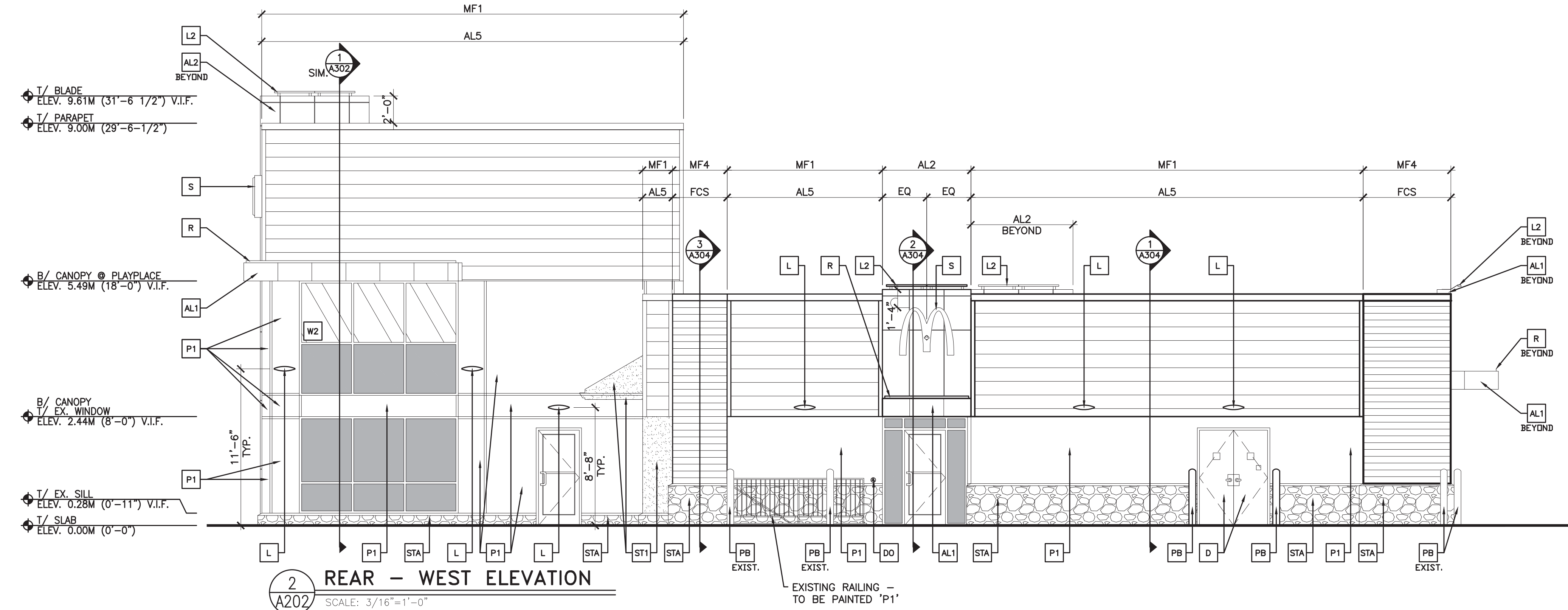


SEE SHT. A001, A002, A200, A201, A202, A203, A300, A301, A302, A303, A304 AND A305 FOR ADDITIONAL DEMOLITION REQUIREMENTS AND NOTES.

**1 DEMOLITION REAR - WEST ELEVATION**  
SCALE: 3/16"=1'-0"

**DEMOLITION KEY NOTES:**

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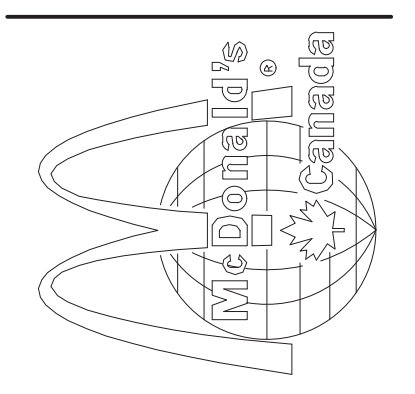
**2 REAR - WEST ELEVATION**  
SCALE: 3/16"=1'-0"

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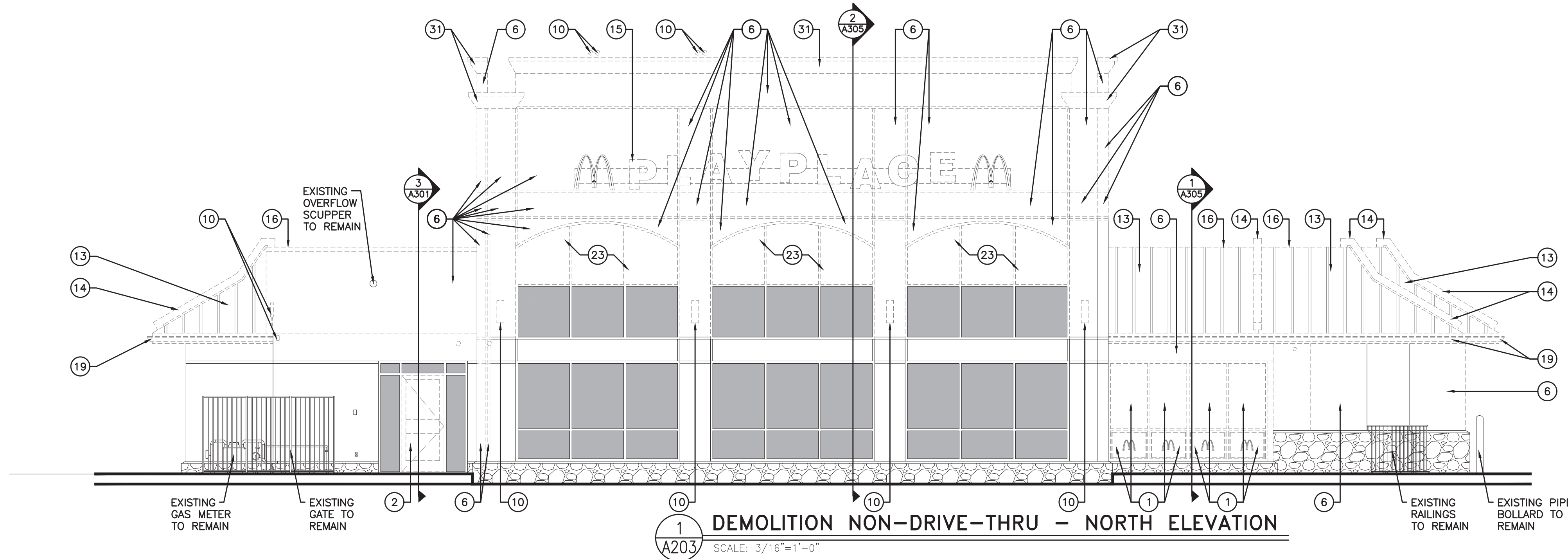
**McDONALD'S RESTAURANT**  
2024 REMODEL - COLWOOD  
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PREPARED FOR:  
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EXTERIOR ELEVATIONS



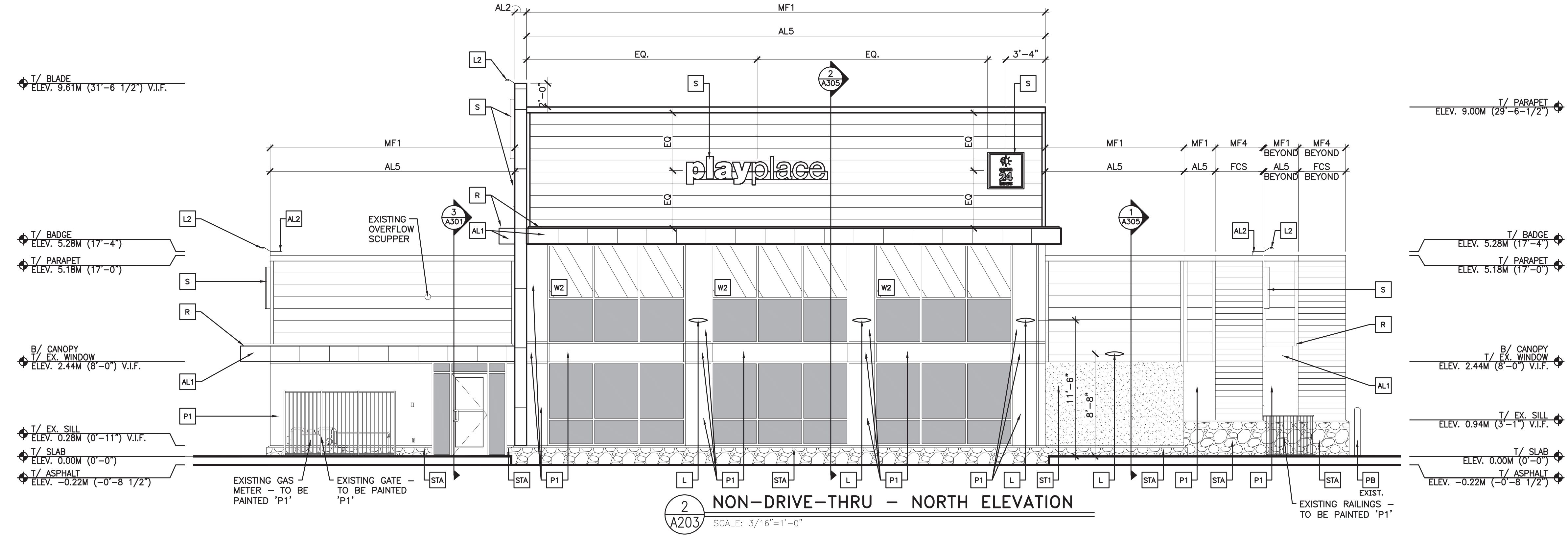


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SCALE: 3/16"=1'-0"

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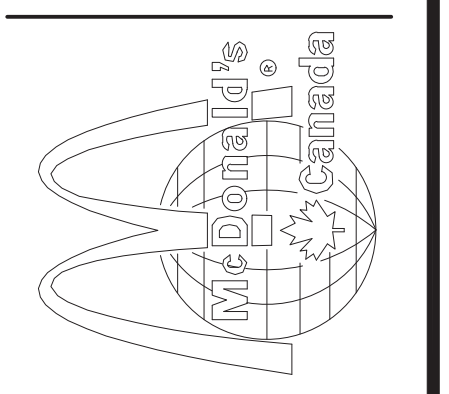
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**2 NON-DRIVE-THRU - NORTH ELEVATION**  
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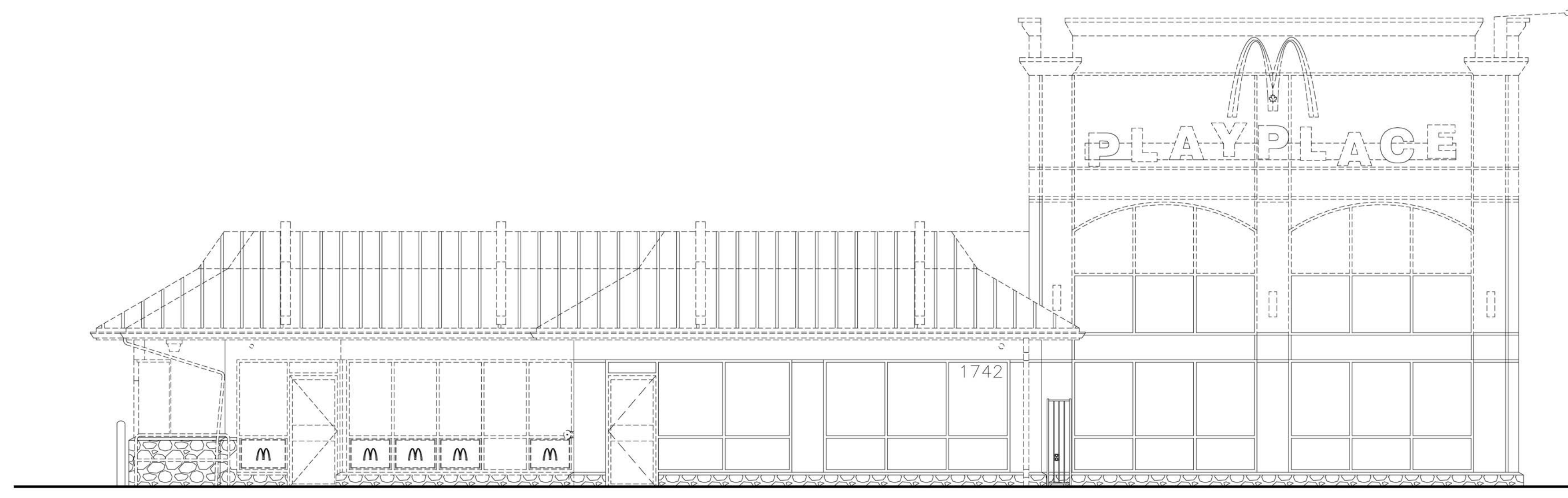
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COLWOOD, BC

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**A203**

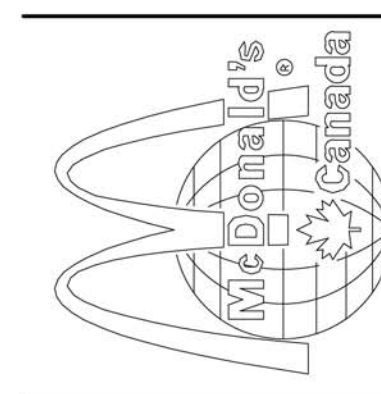




1 DEMOLITION FRONT - EAST ELEVATION  
 SCALE: 3/16"=1'-0"



2 PROPOSED FRONT - EAST ELEVATION  
 SCALE: 3/16"=1'-0"



**MCDONALD'S RESTAURANT**  
 2024 REMODEL - COLWOOD  
 1742 ISLAND HWY  
 COLWOOD, BC

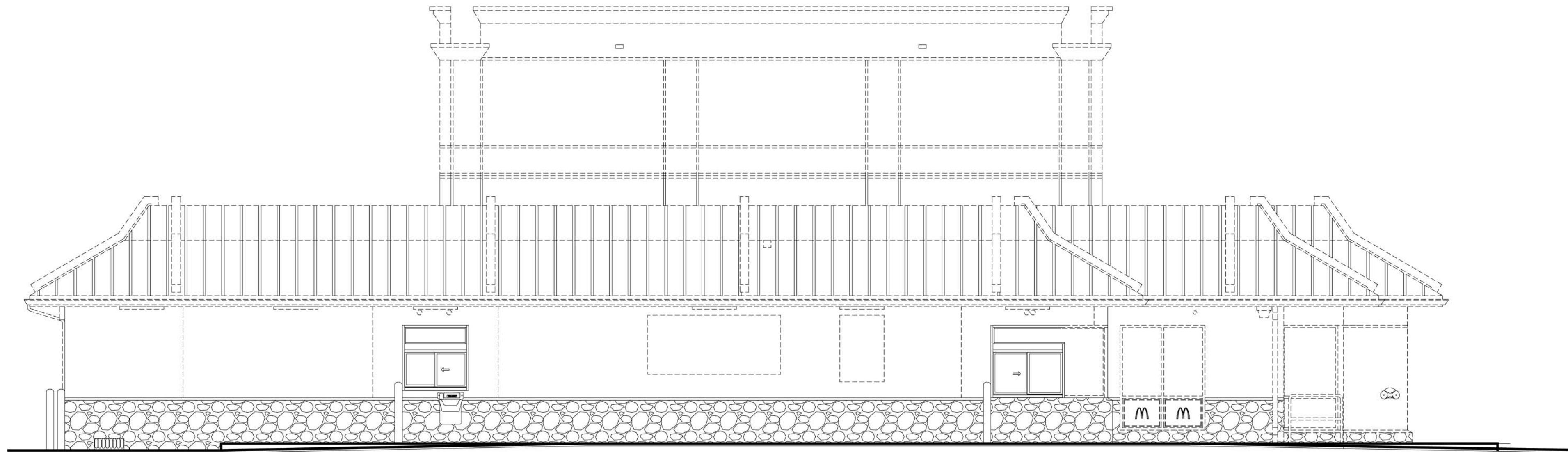
EXTERIOR ELEVATIONS

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**A200**

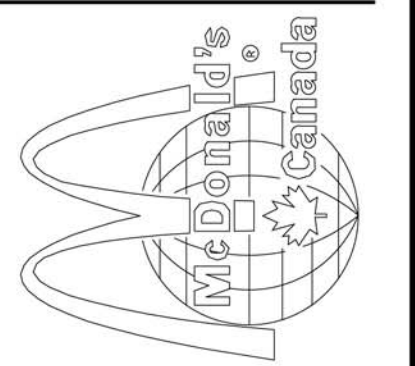




1 DEMOLITION DRIVE-THRU - SOUTH ELEVATION  
 A201 SCALE: 3/16"=1'-0"



2 PROPOSED DRIVE-THRU - SOUTH ELEVATION  
 A201 SCALE: 3/16"=1'-0"



**MCDONALD'S RESTAURANT**  
 2024 REMODEL - COLWOOD  
 1742 ISLAND HWY  
 COLWOOD, BC

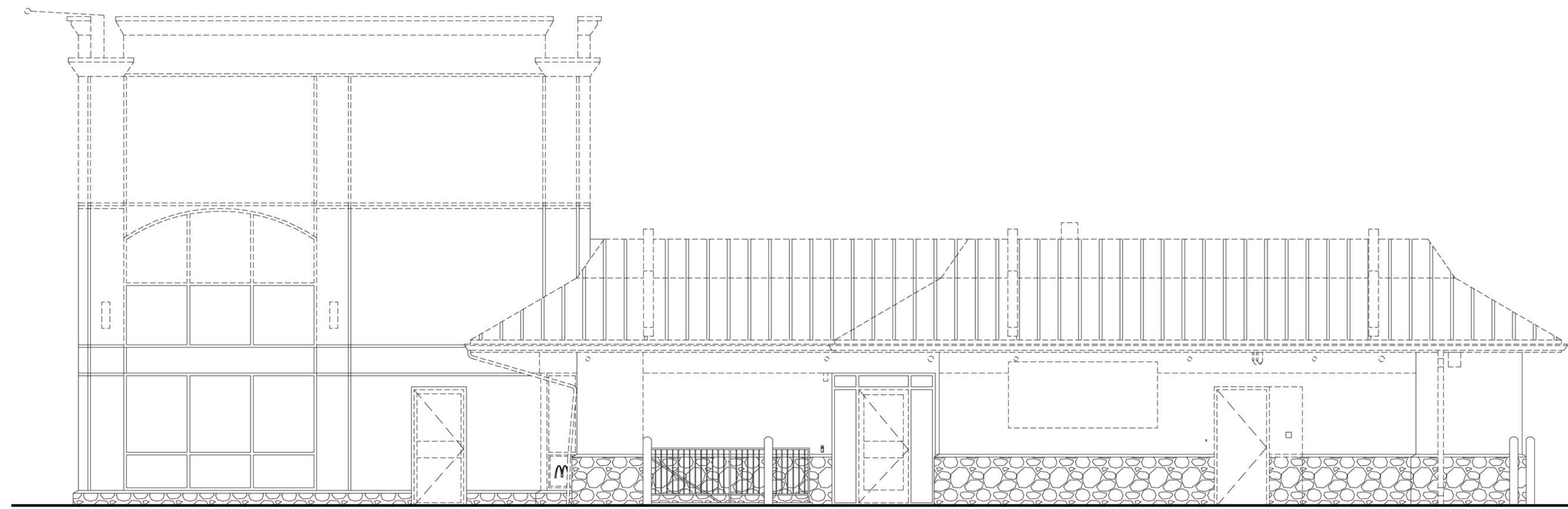
EXTERIOR ELEVATIONS

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**A201**





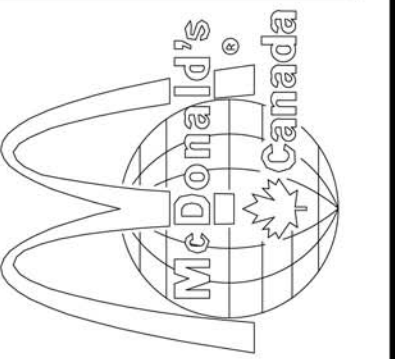
1 DEMOLITION REAR – WEST ELEVATION  
 SCALE: 3/16"=1'-0"

- ◆ T/ BLADE  
ELEV. 9.61M (31'-6 1/2") V.I.F.
- ◆ T/ PARAPET  
ELEV. 9.00M (29'-6-1/2")
- ◆ B/ CANOPY @ PLAYPLACE  
ELEV. 4.93M (16'-2") V.I.F.
- ◆ B/ CANOPY  
T/ EX. WINDOW  
ELEV. 2.44M (8'-0") V.I.F.
- ◆ T/ EX. SILL  
ELEV. 0.28M (0'-11") V.I.F.
- ◆ T/ SLAB  
ELEV. 0.00M (0'-0")



- ◆ T/ BADGE,  
T/ PARAPET @  
ORDER & PRESENTER  
ELEV. 5.28M (17'-4")
- ◆ T/ PARAPET  
ELEV. 5.18M (17'-0")
- ◆ B/ D/T CANOPY  
ELEV. 3.05M (10'-0")
- ◆ B/ SIDING  
ELEV. 2.44M (8'-0") V.I.F.
- ◆ T/ EX. SILL  
ELEV. 0.94M (3'-1") V.I.F.
- ◆ T/ SLAB  
ELEV. 0.00M (0'-0")

2 PROPOSED REAR – WEST ELEVATION  
 SCALE: 3/16"=1'-0"



**MCDONALD'S RESTAURANT**  
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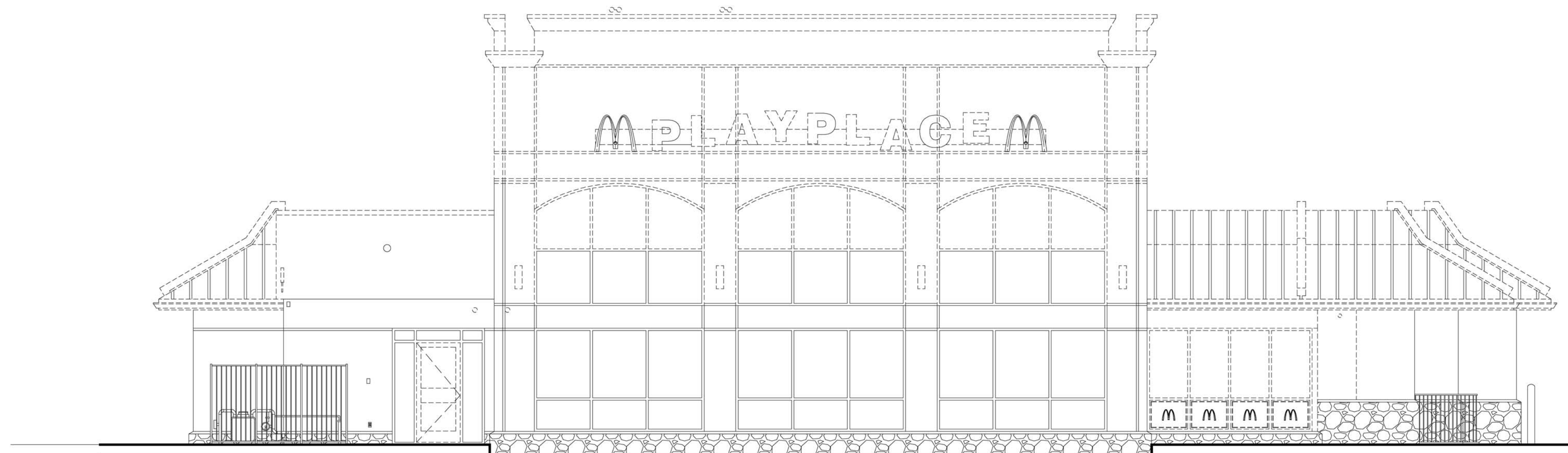
EXTERIOR ELEVATIONS

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**A202**

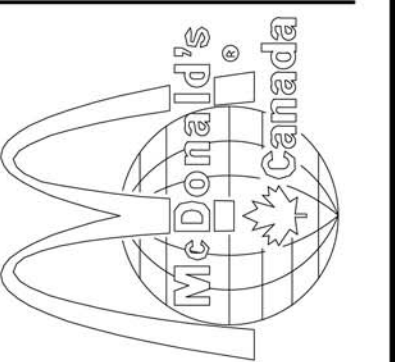




1 DEMOLITION NON-DRIVE-THRU - NORTH ELEVATION  
 SCALE: 3/16"=1'-0"



2 PROPOSED NON-DRIVE-THRU - NORTH ELEVATION  
 SCALE: 3/16"=1'-0"



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