



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP000015 - Single Family Dwellings at 409, 417 Rock Dove Pl and 3442, 3426 Trumpeter St

### DEVELOPMENT PERMIT DP000015

THIS PERMIT, issued March 14, 2024, is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: VERITY CONSTRUCTION LTD.  
106-1039 LANGFORD PKY  
LANGFORD BC V9B 0A5

(the "Permittee")

- 
1. This Form and Character (Intensive Residential) Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 75, 77, 80 & 81 SECTION 38, ESQUIMALT LAND DISTRICT, PLAN EPP117070  
409 & 417 ROCK DOVE PLACE  
3426 & 3442 TRUMPETER STREET

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the Form and Character considerations for the development of four single-family homes with secondary suites and associated site improvements are consistent with the design guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.

5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
  - Schedule 1 Site Plans, Elevations, Floor Plans, and Cross Sections prepared by Victoria Design Group for Lot 75 dated October 21, 2023, Lot 77 dated November 17, 2023, Lot 80 dated November 9, 2023, and Lot 81 dated August 9, 2023.
  - Schedule 2 Landscape Plans prepared by Verity Construction for Lot 75 dated October 5, 2023, Lot 77 dated October 6, 2023, Lot 80 dated November 3, 2023, and Lot 81 dated July 18, 2023.
8. This Development Permit authorizes the development of four single-family homes with secondary suites along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

**GENERAL**

- 8.1. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within the Section 219 covenant registered as CA9829109.

**FORM AND CHARACTER CONDITIONS**

**Building Features**

- 8.2. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Victoria Design Group (Schedule 1).
- 8.3. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.
- 8.5. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

**Landscaping**

- 8.6. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plans prepared by Verity Construction (Schedule 2).

ISSUED ON THIS 13 DAY OF MARCH, 2024.



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JOHN ROSENBERG, A.Sc.T.  
DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES

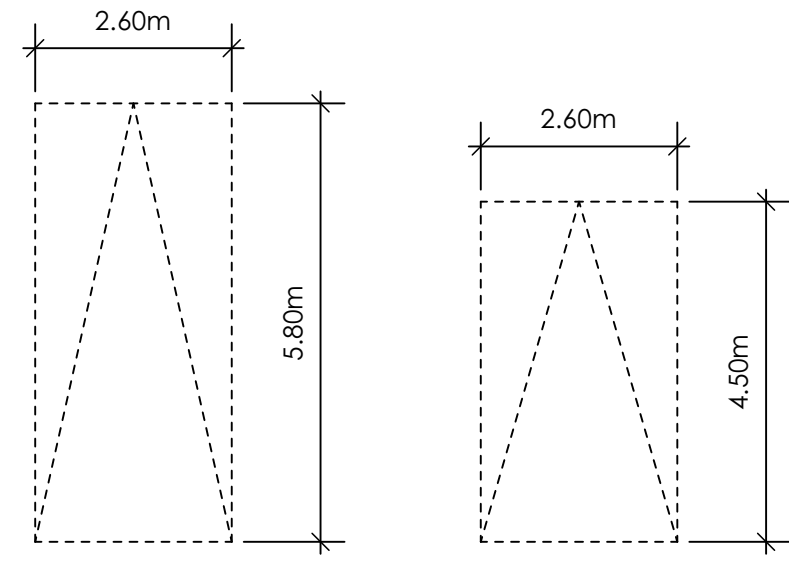
# SCHEDULE 1

SITE DATA	RBCD5	LOT 75
ITEMS	PERMITTED	PROPOSED
LOT AREA	550 sq.m.	482.30 sq.m.
LOT COVERAGE	50.00 %	30.77 %
BUILDING HEIGHT	9.50 m.	8.70 m.
LOT WIDTH	16.50 m.	12.94 m.
SETBACKS		
- FRONT	4.50 m.	7.42 m.
- FRONT (GARAGE)	6.00 m.	7.42 m.
- REAR	6.00 m.	6.12 m.
- SIDE	1.20 m.	1.44 m.
- SIDE	1.20 m.	1.22 m.
PROPOSED FLOOR AREA		
- UPPER		106.27 sq.m.
- MAIN		81.69 sq.m.
- LOWER		81.99 sq.m.
- GARAGE		44.97 sq.m.
SUB-TOTAL G.F.A.		314.92 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-44.97 sq.m.
GROSS FLOOR AREA		269.95 sq.m.
F.A.R.		0.56 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	23.50 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	63.43 sq.m.

AVERAGE NATURAL GRADE CALCULATION  
 $65.85\text{m} + 65.85\text{m} + 63.00\text{m} + 63.00\text{m} = 257.70\text{m}$   
 divided by 4 = ave. grade 64.43m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

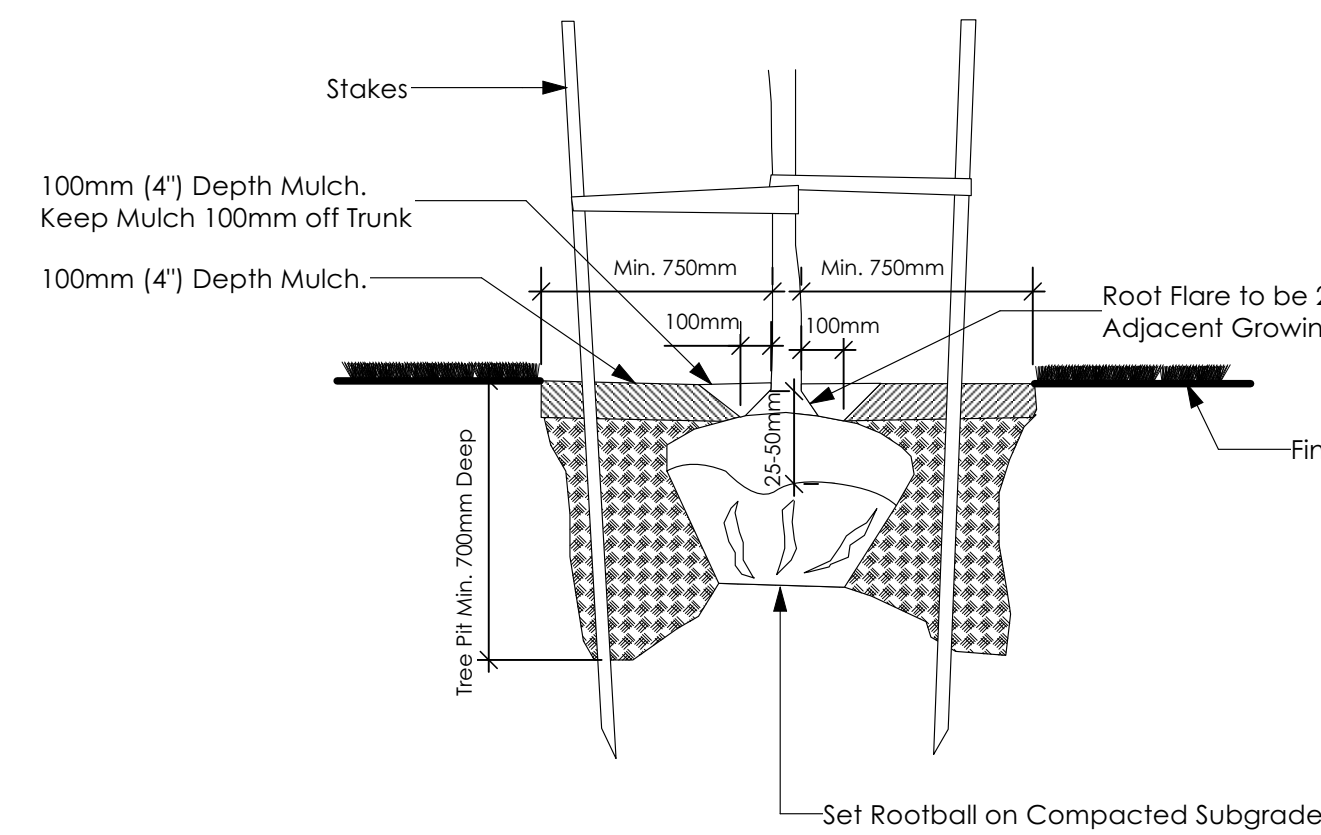
RETAINING WALLS  
 \*XX.Xm\* = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE  
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)  
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS

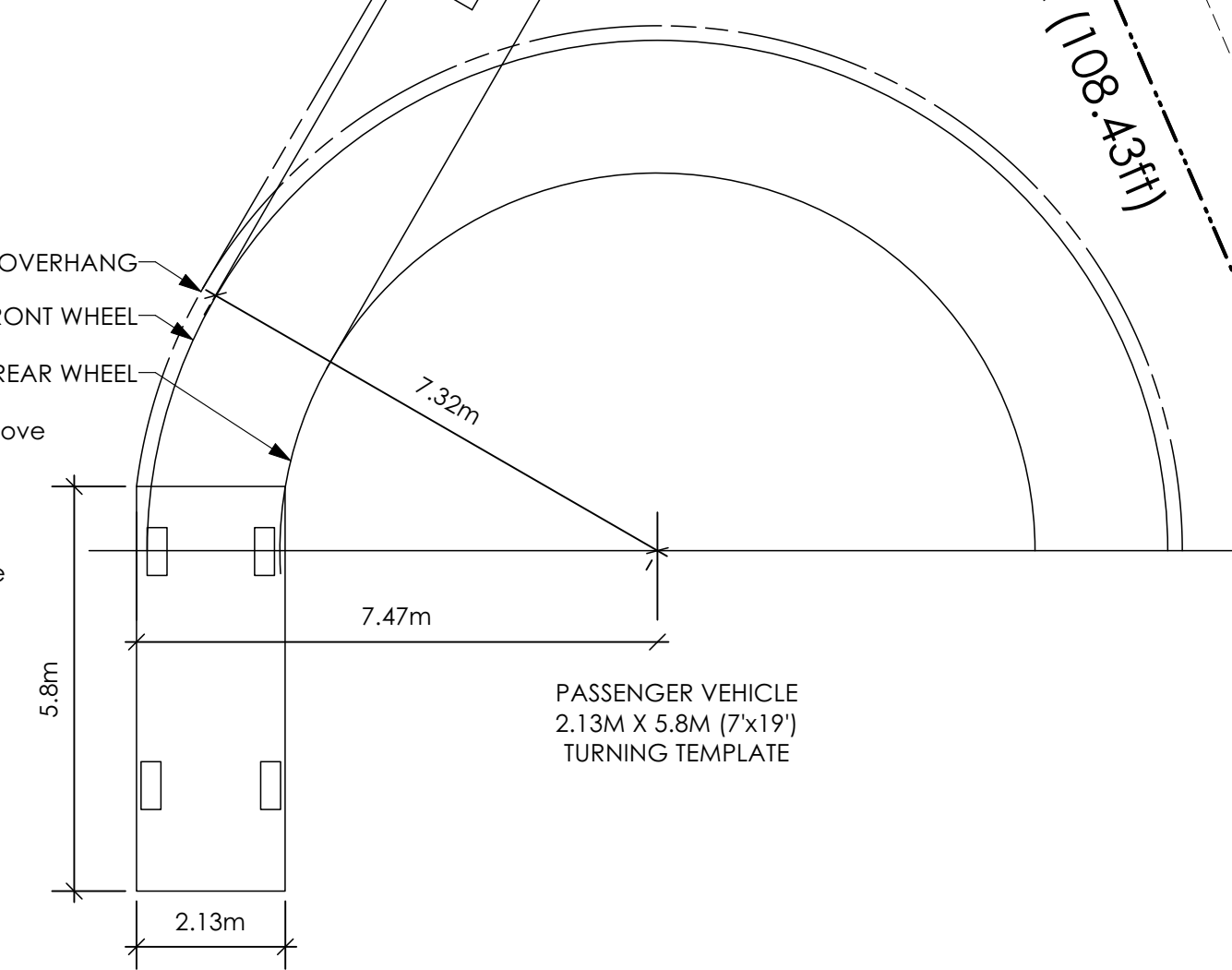
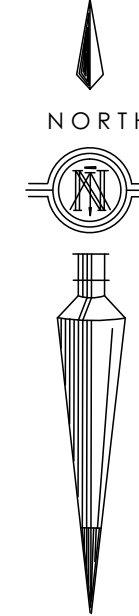
SMALL CAR PARKING STALL DIMENSIONS

\* as per 2.2.02a allowing one stall to be a small car parking stall

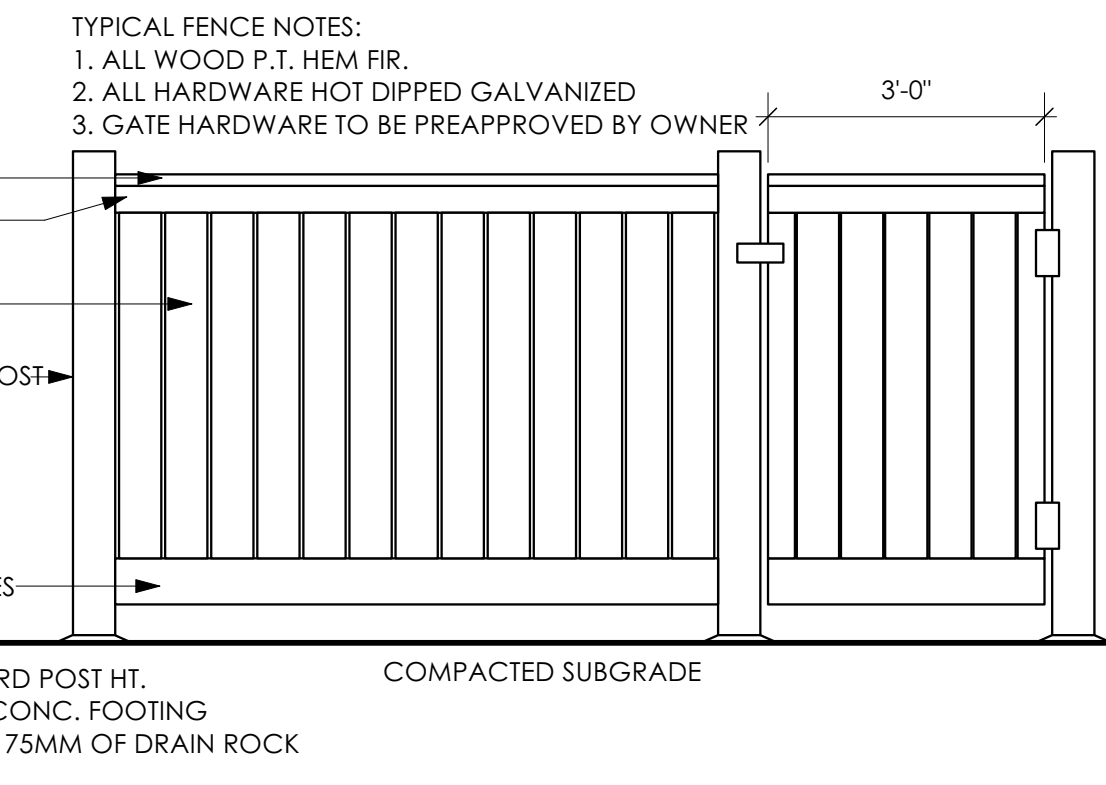
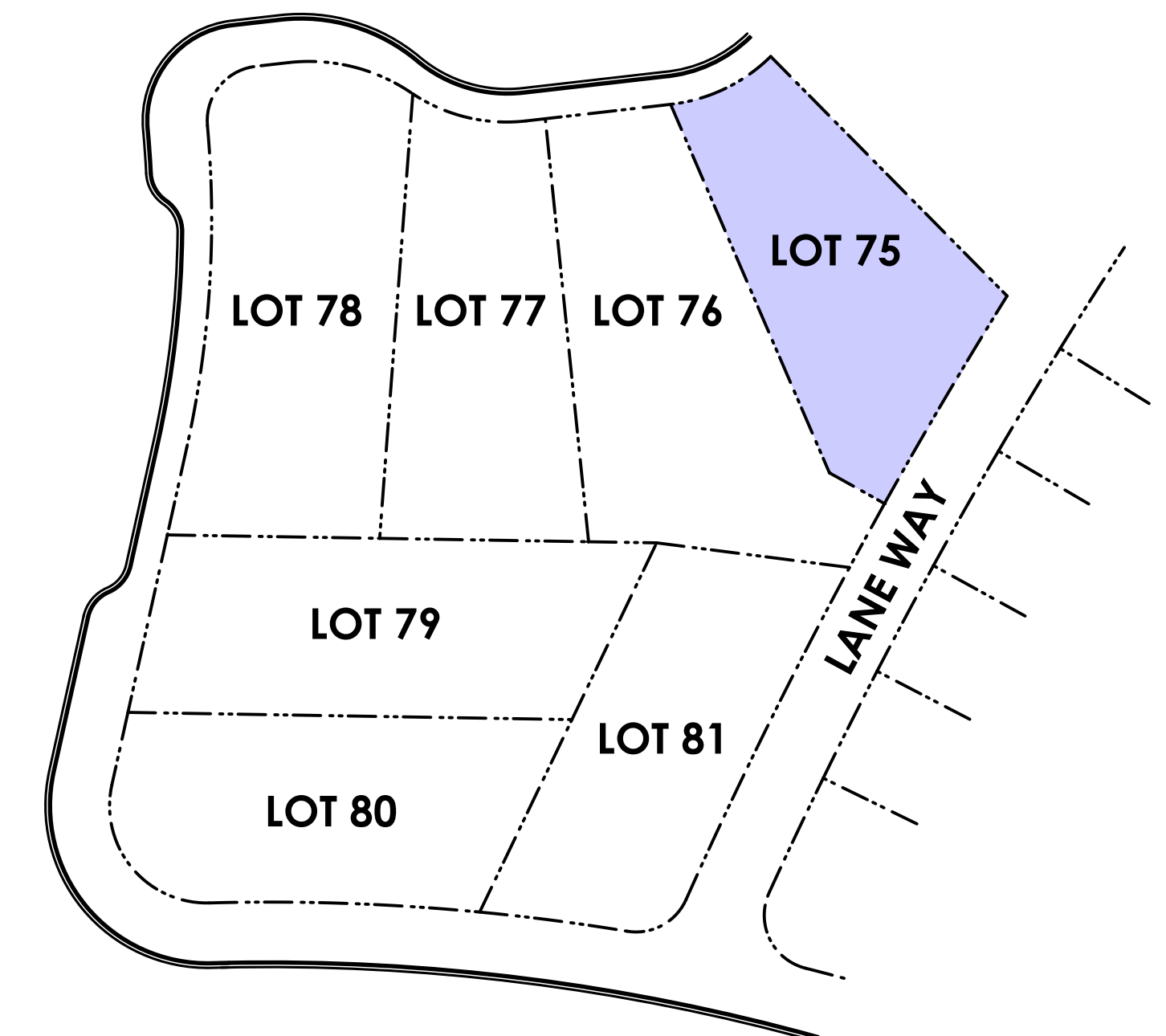
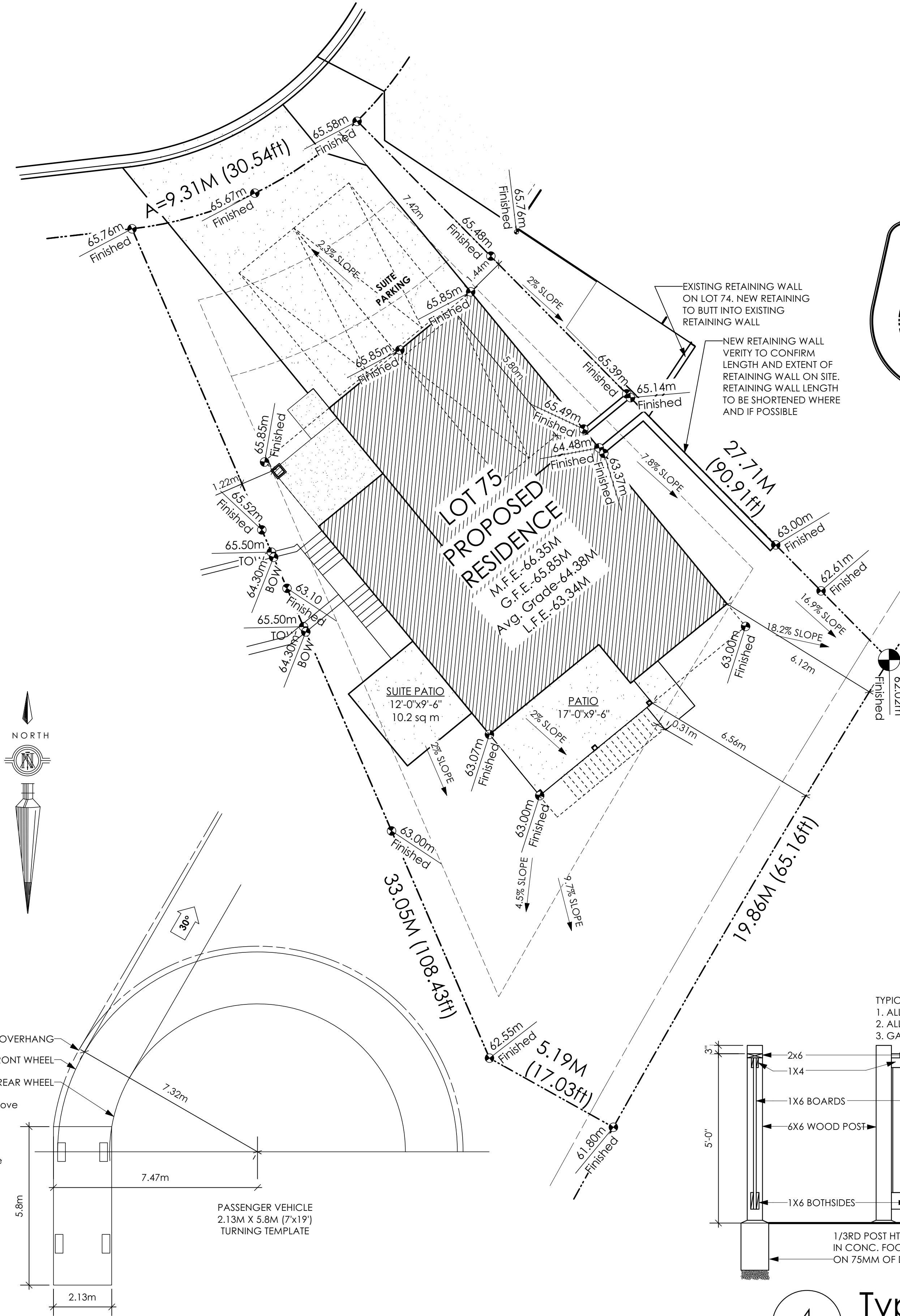


1 Tree Planting Detail  
A2 Not To Scale

All trees and plants by the home owner to be planted in minimum 10m<sup>2</sup> of fertile topsoil, 700mm Deep



3 Turning Template  
A2 Not To Scale



4 Typical Fence Detail  
A2 Not To Scale  
\*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

RIDGE TRADITIONAL

Date

Oct 31, 2023

Project Address

409 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-75

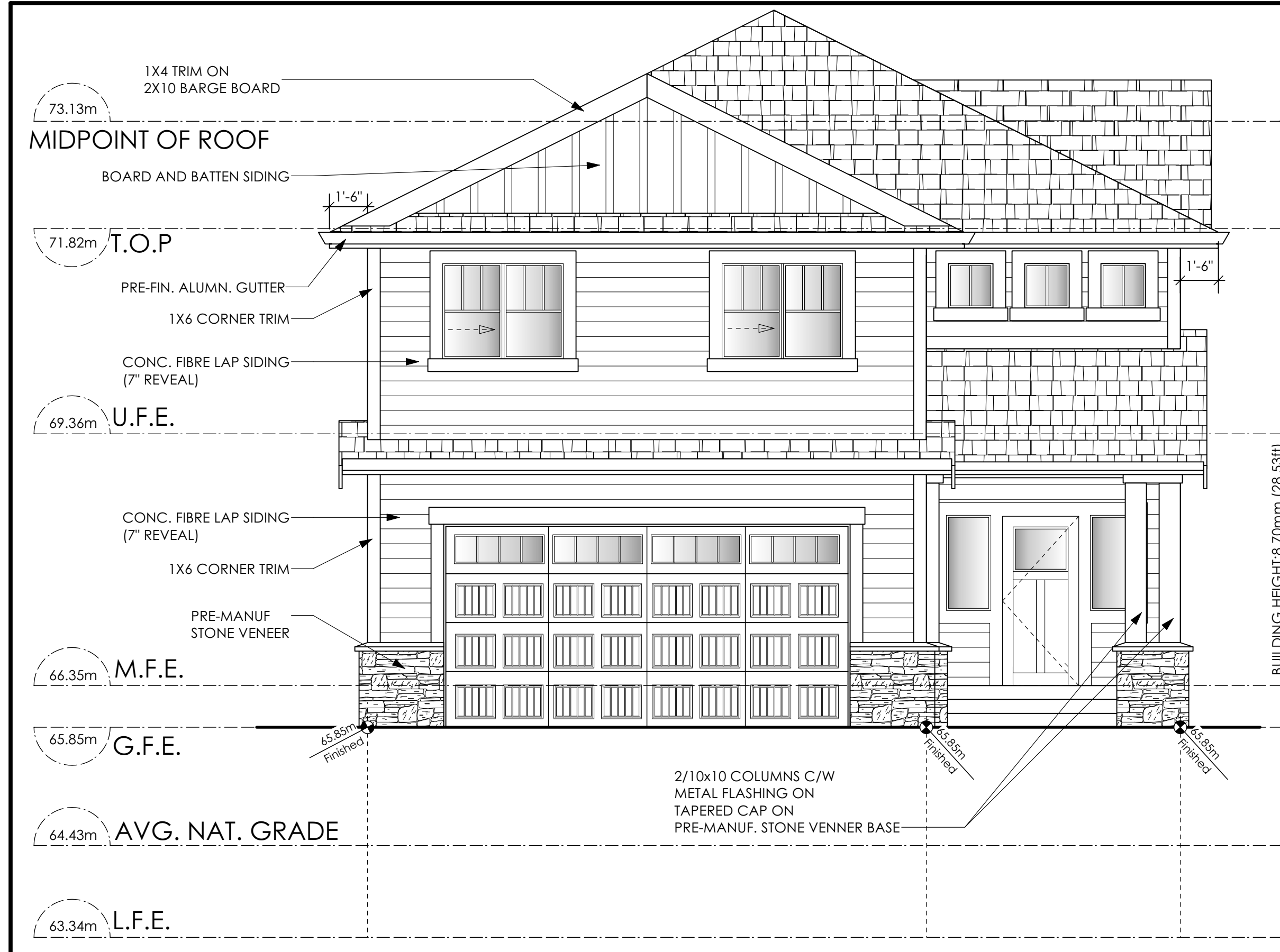
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As Noted

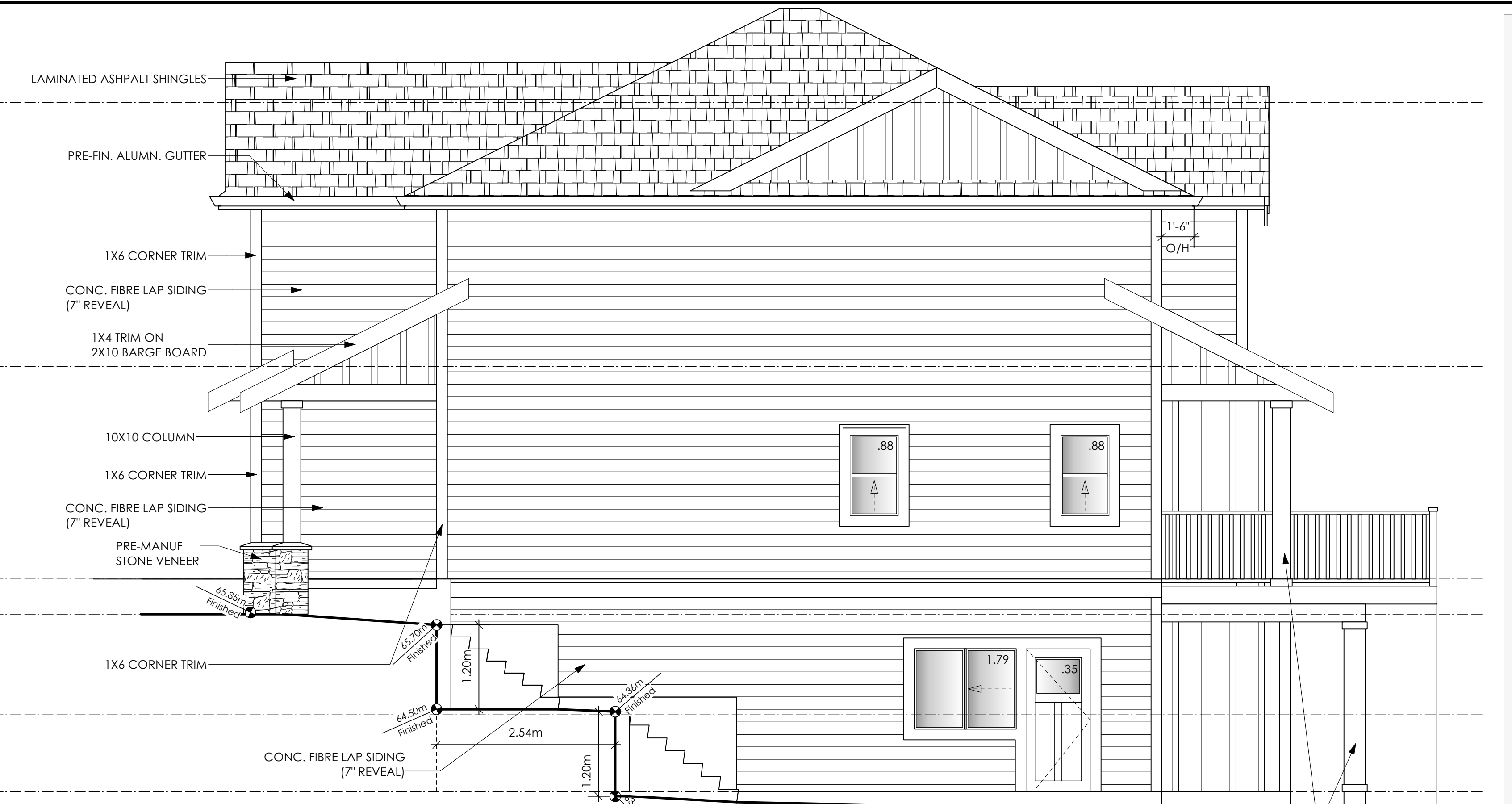
Drawn By

MDK

# Development Permit Presentation

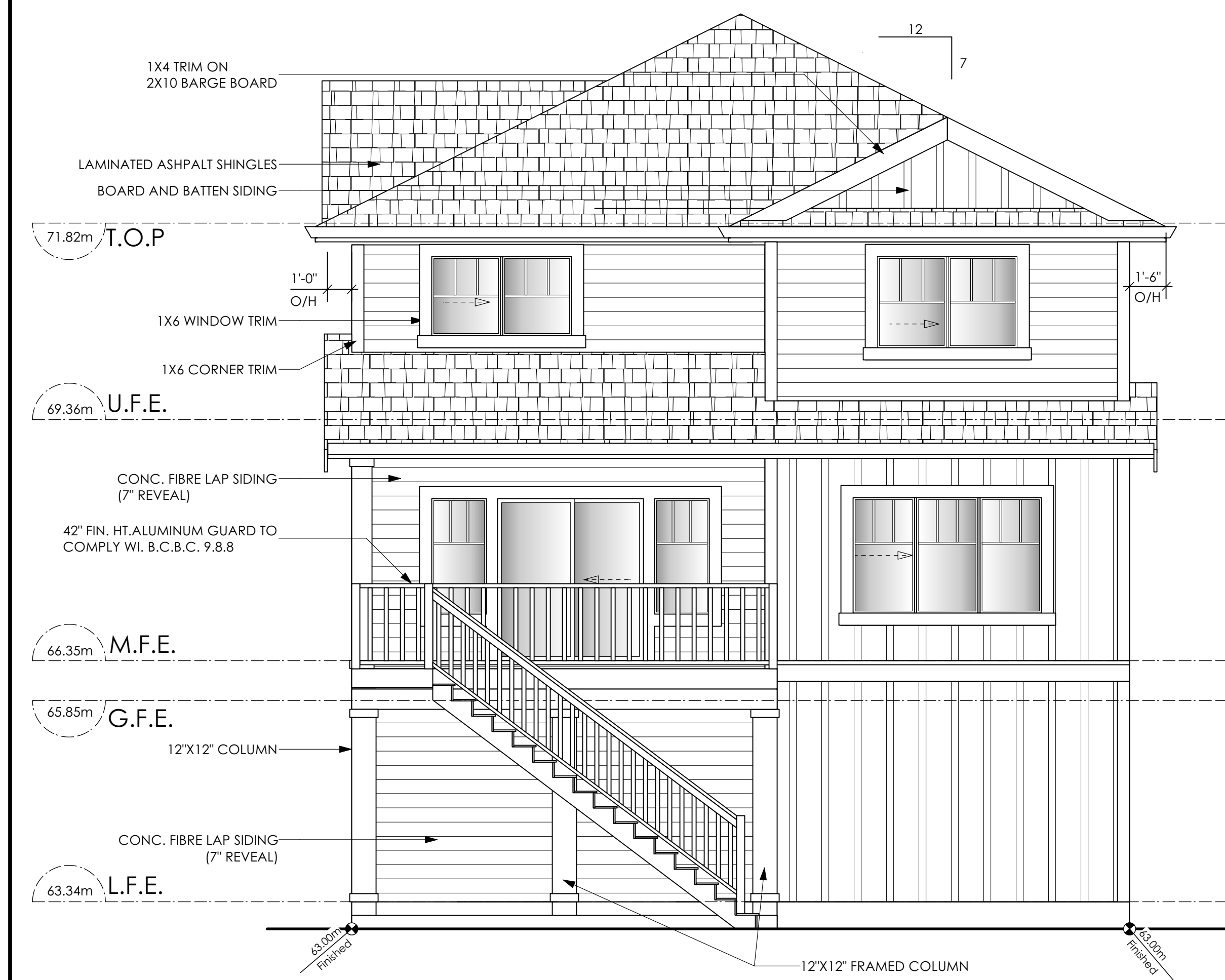


1 Front Elevation  
A3 Scale: 1/4" = 1'-0"

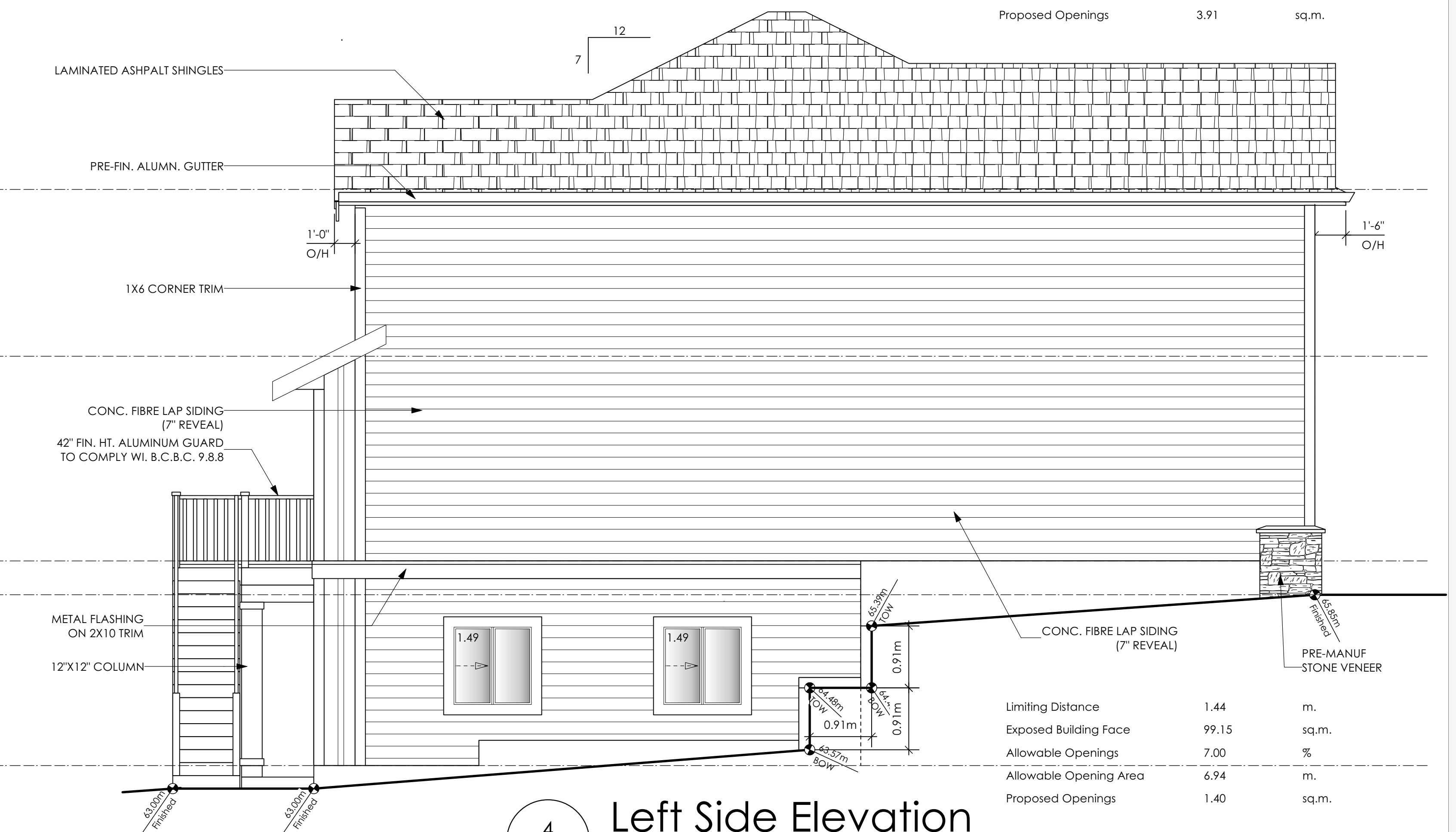


2 Right Side Elevation  
A3 Scale: 1/4" = 1'-0"

Limiting Distance	1.22	m.
Exposed Building Face	115.95	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.62	sq.m.
Proposed Openings	3.91	sq.m.



3 Rear Elevation  
A3 Scale: 1/4" = 1'-0"



4 Left Side Elevation  
A3 Scale: 1/4" = 1'-0"

Limiting Distance	1.44	m.
Exposed Building Face	99.15	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.94	m.
Proposed Openings	1.40	sq.m.

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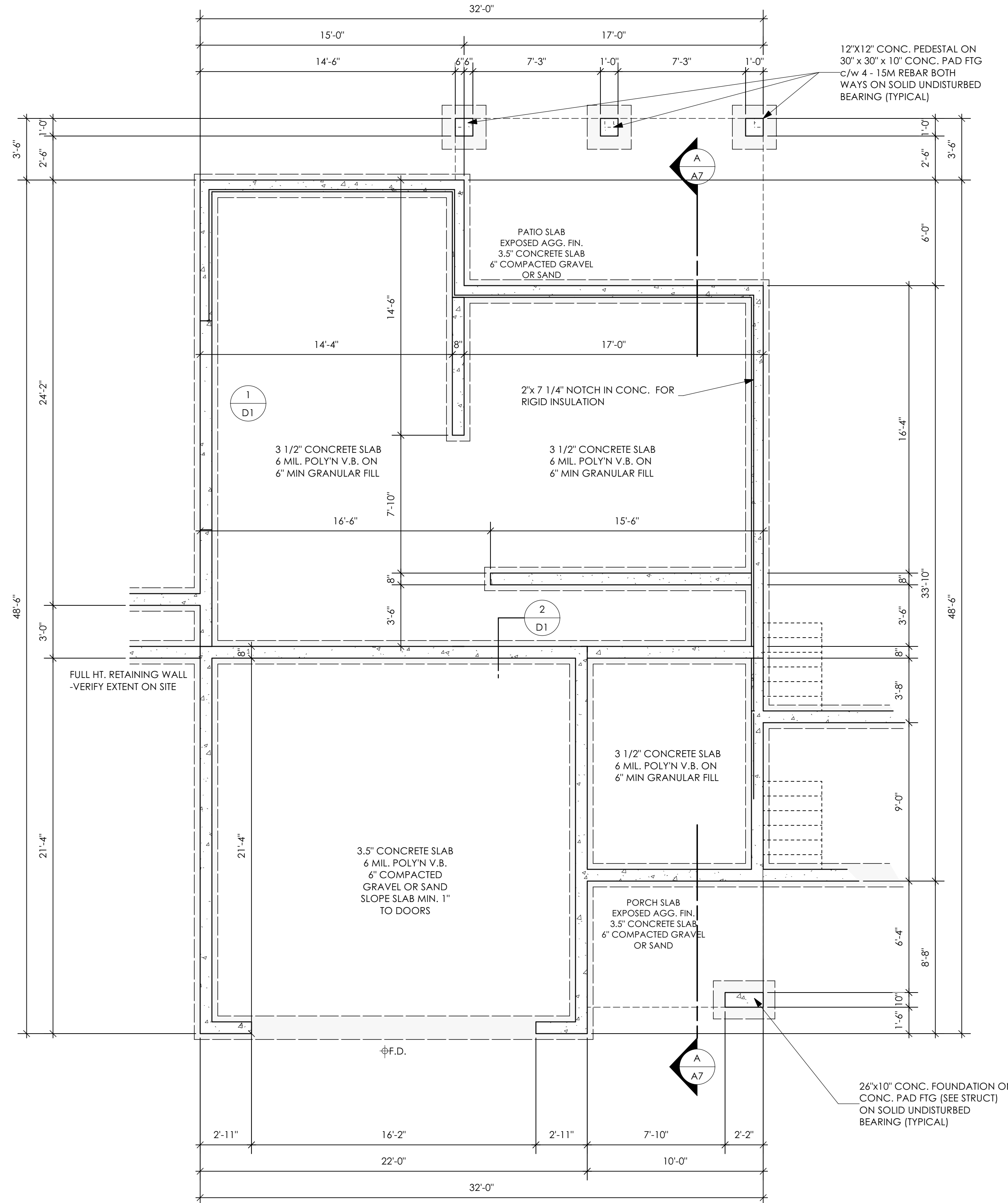
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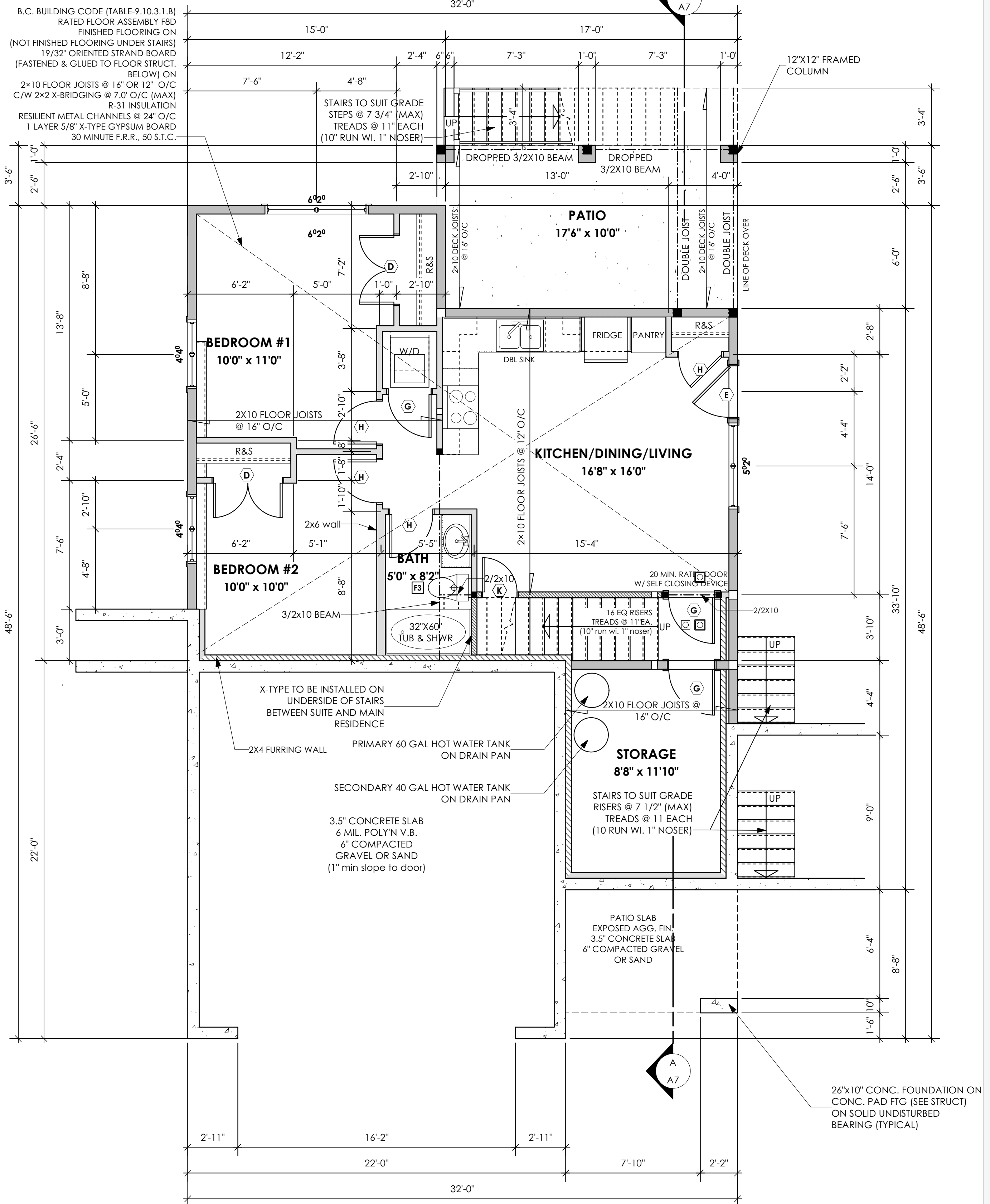
Drawn By

MDK

# Development Permit Presentation



1 Foundation Plan  
A4 Scale: 1/4" = 1'-0"



2 Lower Floor Plan  
A4 Scale: 1/4" = 1'-0"

Living: 199.78 sq.ft. (18.56 sq.m.)  
Suite: 682.71 sq.ft. (63.43 sq.m.)

RIDGE TRADITIONAL

Date  
Oct 31, 2023

Project Address  
409 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.  
Prepared for  
Verity Construction

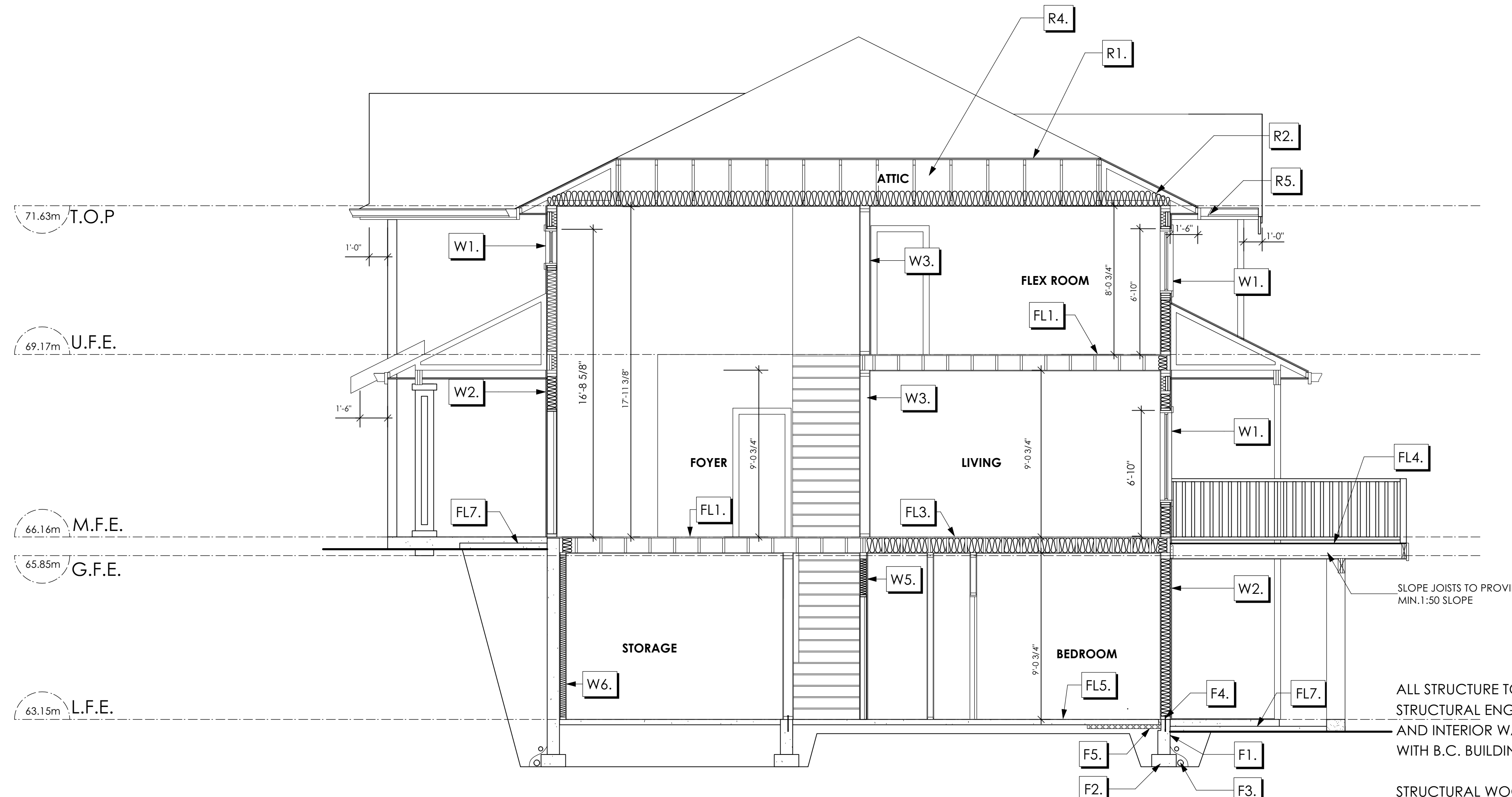
Project #  
8298-75

Scale  
As Noted

Drawn By  
MDK

# Development Permit Presentation





ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150mm (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

## Section Notes

### 1 Section A-A A7 Scale: 1/4" = 1'-0"

#### Foundation Walls

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16" X 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. 2 1/2" EXTRUDED POLYSTYRENE RIGID INSULATION APPLIED TO CONC. FDN. WALL (CRAWL SPACE ONLY) INSULATION TO EXTEND TO TOP OF 2" CONC. GROUND SEAL
- F7. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE (NOT SHOWN IN SECTION)

#### Walls

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X 10" LINTEL OVER @ BEARING WALLS ONLY (TYPICAL WL 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 1011/15.2/A440. "NAFS": LANGFORD, CLASS R, DP 960, PG 20. WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W5. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)

#### Floors

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD (NO GYPSUM BOARD IN CRAWLSPACE CLG.)
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 FIBRE GLASS BATT INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- FL3. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON (NOT FINISHED FLOORING UNDER STAIRS) 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYER 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.

#### Roofs

- FL4. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND OR EQUAL TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2x10 DECK JOISTS @ 16" O/C OR SLOPE JOISTS @ MIN. 1:50 SLOPE (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.)
- FL5. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL7. 3 1/2" CONCRETE SLAB (CONTRACTOR TO VERIFY EXTENT OF EXTERIOR SLABS AND FINISHES) (SLOPE AWAY FROM BUILDING @ 2% MIN.) 6" COMPACTED GRAVEL OR SAND
- FL8. 2" CONCRETE GROUND SEAL 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) OR R-40 FIBRE GLASS BATT INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)

RIDGE TRADITIONAL

Date

Oct 31, 2023

Project Address

409 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-75

Scale

As Noted

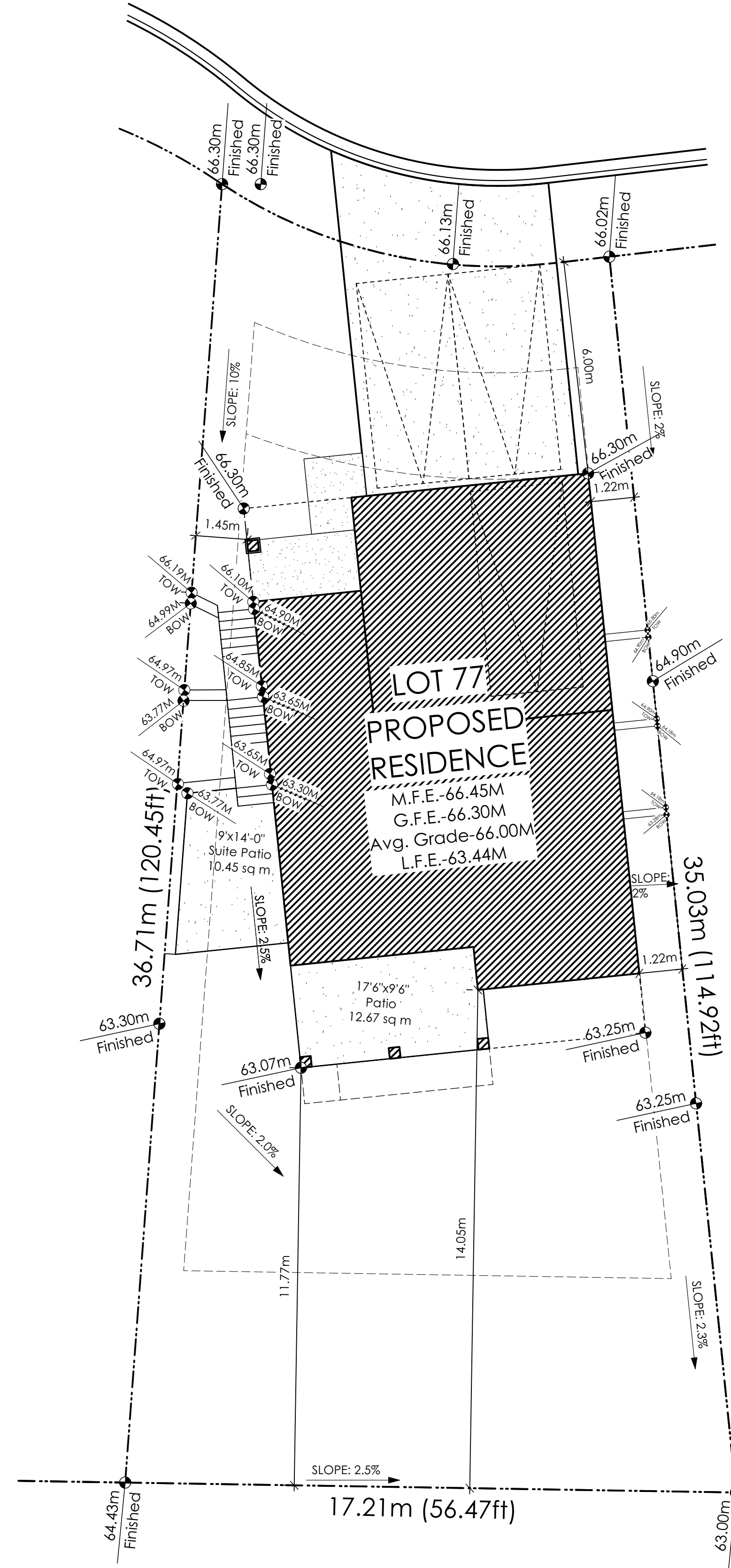
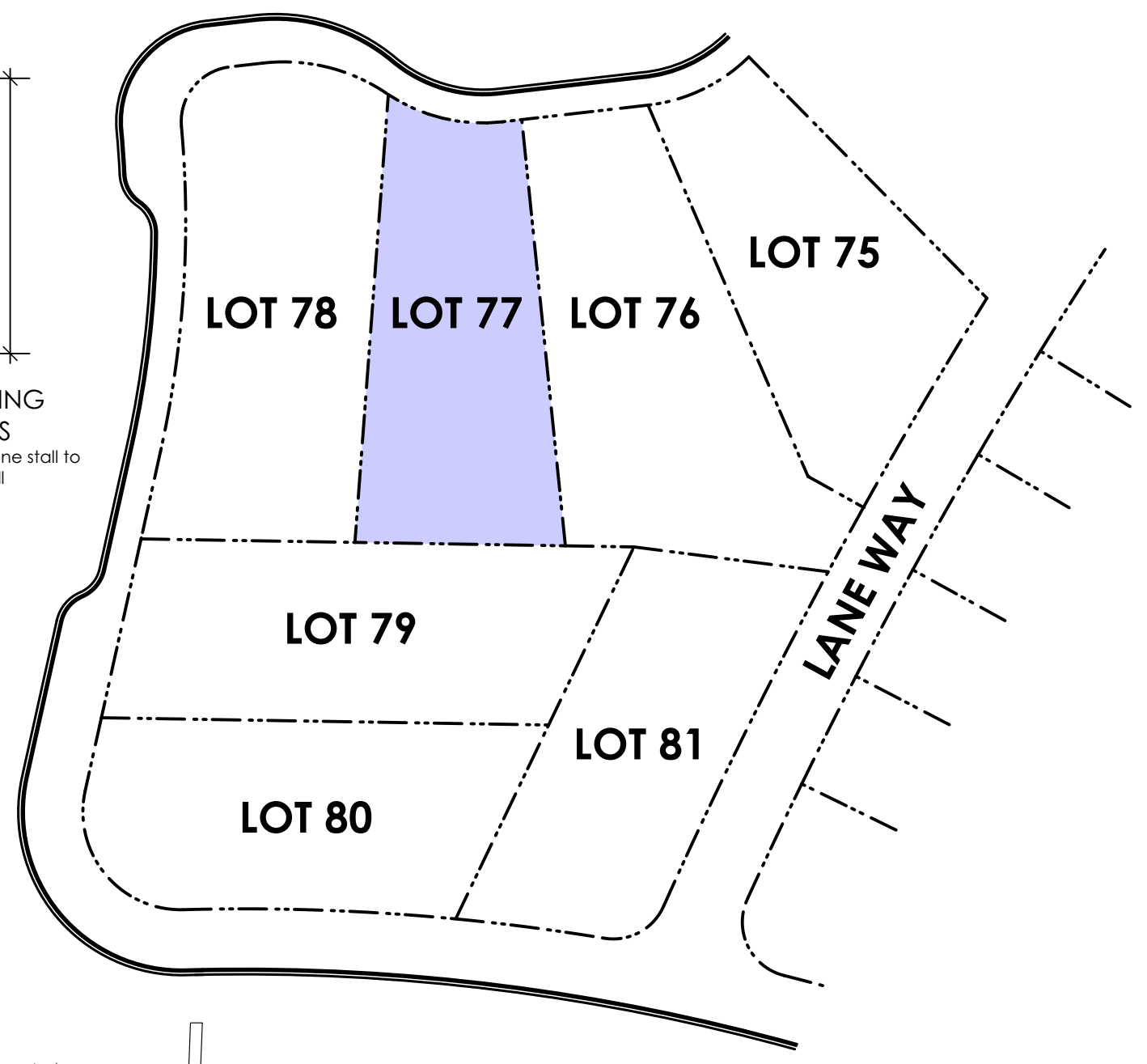
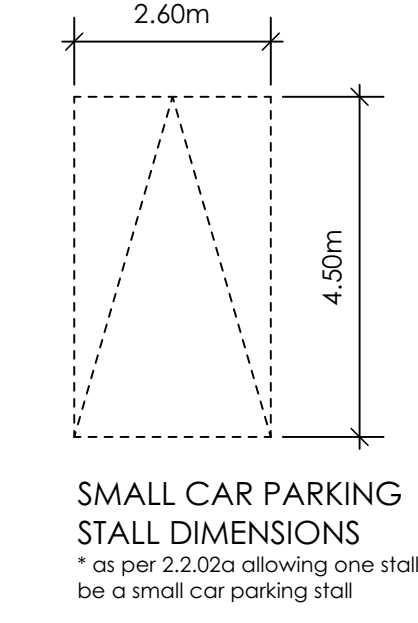
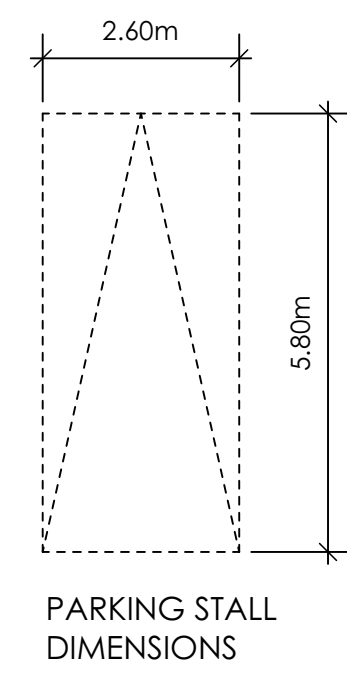
Drawn By

MDK

# Development Permit Presentation



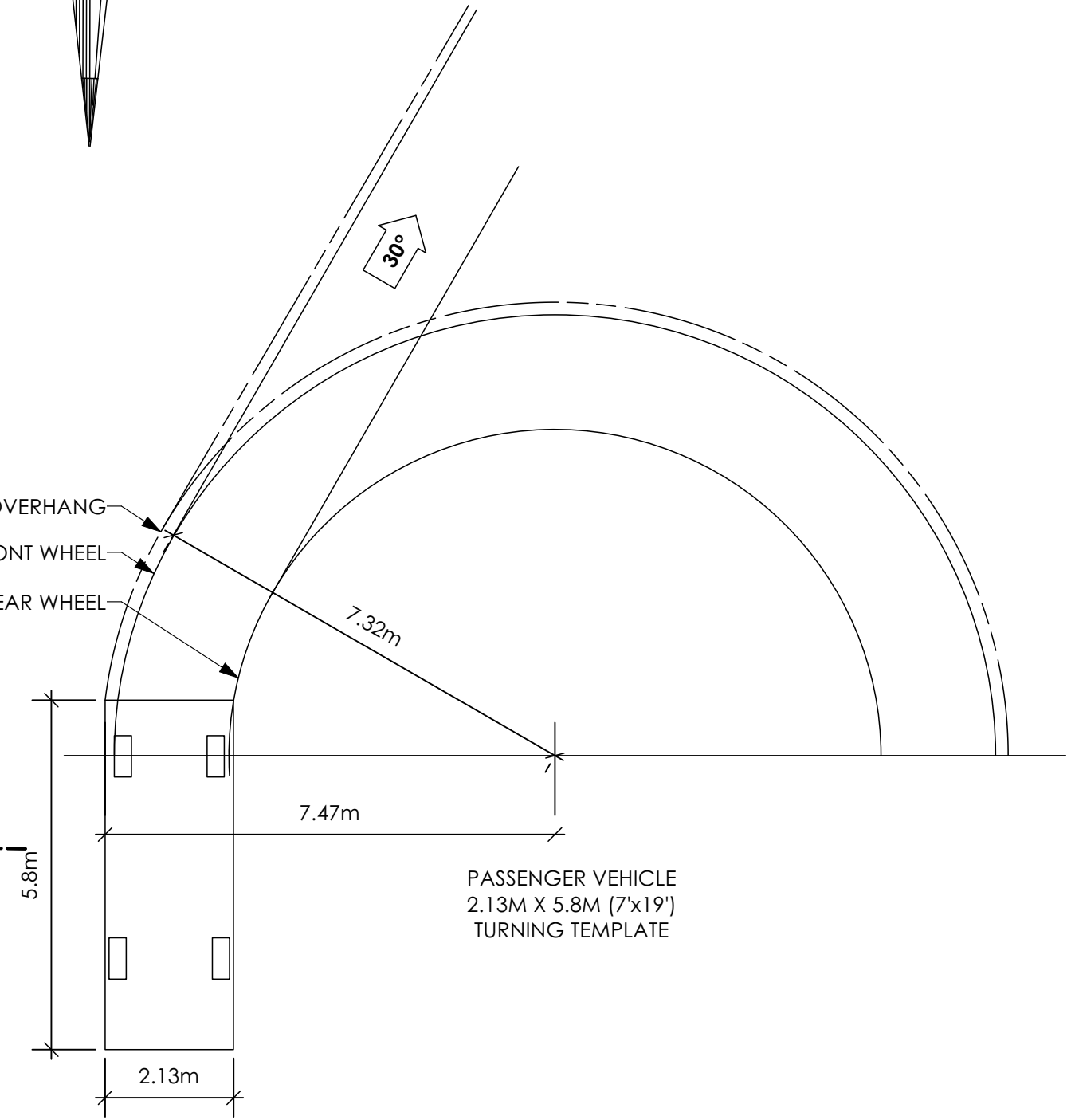
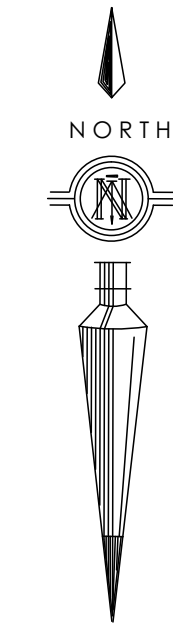
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- FRONT (GARAGE)	6.00 m.	7.42 m.
- REAR	6.00 m.	6.12 m.
- SIDE	1.20 m.	1.45 m.
- SIDE	1.20 m.	1.22 m.
PROPOSED FLOOR AREA		
- UPPER		106.27 sq.m.
- MAIN		78.91 sq.m.
- LOWER		78.91 sq.m.
- GARAGE		44.97 sq.m.
SUB-TOTAL G.F.A.		309.06 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-44.97 sq.m.
GROSS FLOOR AREA		264.09 sq.m.
F.A.R.		0.53 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	22.85 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	60.35 sq.m.



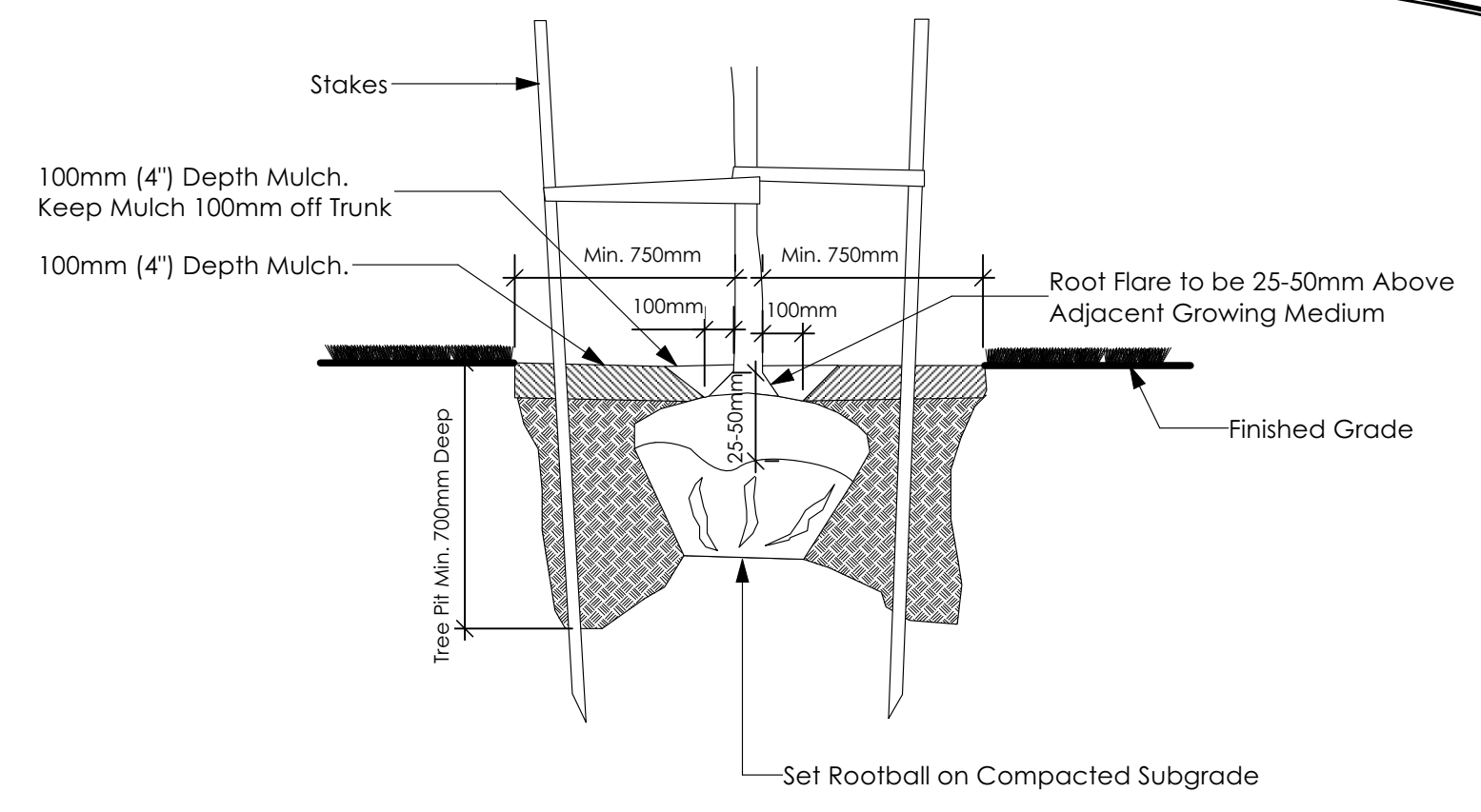
AVERAGE NATURAL GRADE CALCULATION  
66.30 m. + 66.30 m. + 63.15 m. + 63.07 m. = 258.82 m.  
divided by 4 = ave. grade 64.71m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS  
"X.X.Xm" = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE  
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)  
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



3 Turning Template  
A2 Not To Scale



1 Tree Planting Detail  
A2 Not To Scale

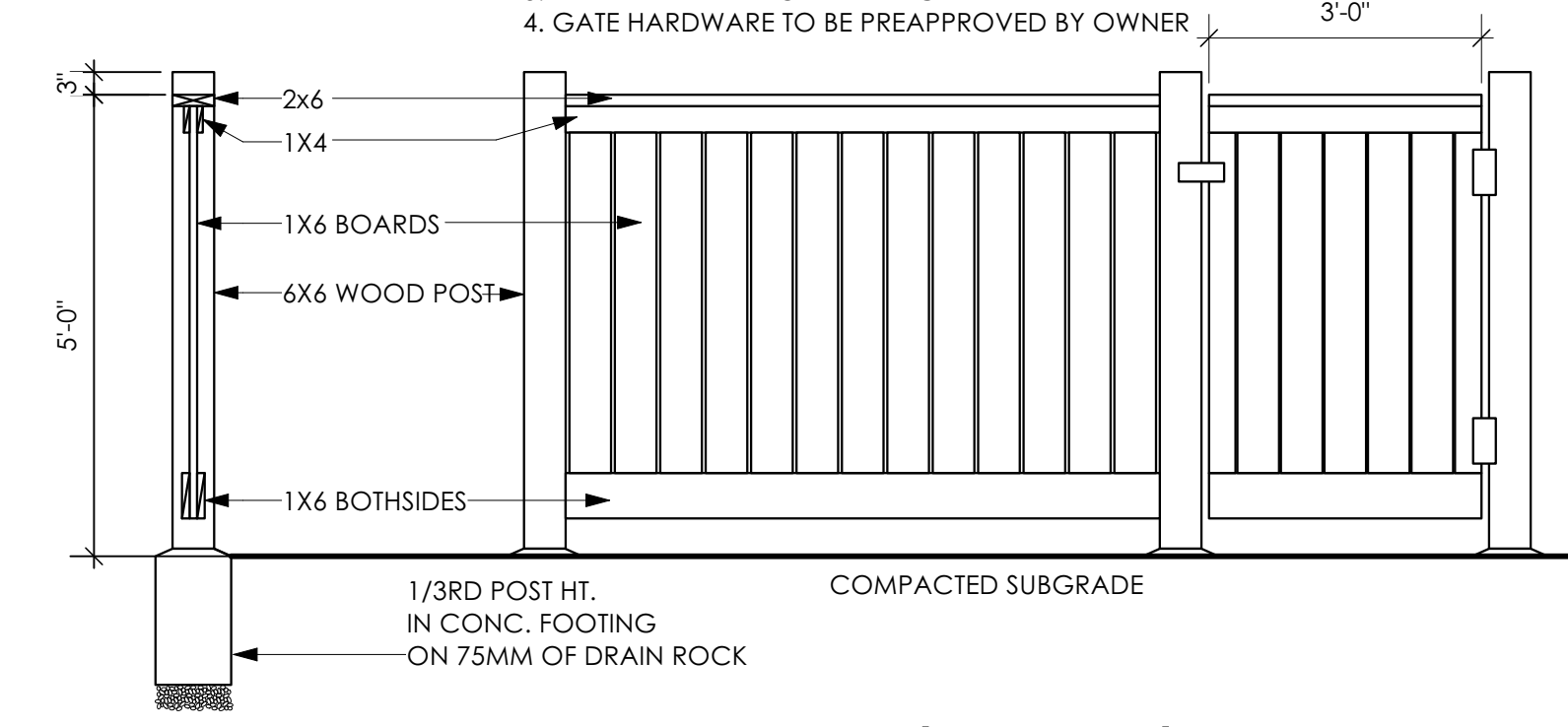
All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

TYPICAL FENCE NOTES:

1. ALL WOOD P.T. HEM FIR
2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
3. ALL HARDWARE HOT DIPPED GALVANIZED
4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



4 Fence Treatment  
A2 Not To Scale

\*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

RIDGE WESTCOAST

Date

Nov 17, 2023

Project Address

417 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-77

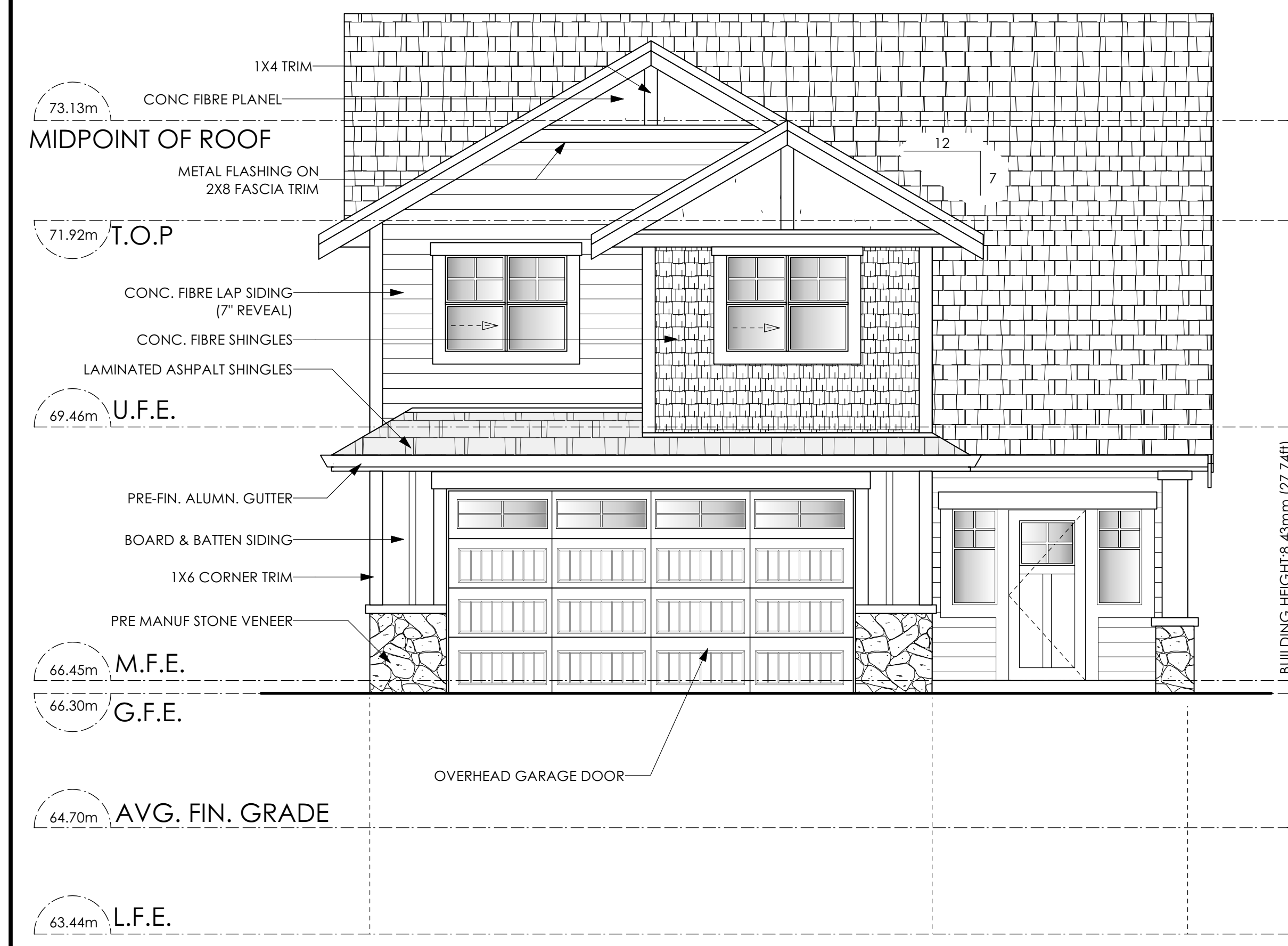
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As Noted

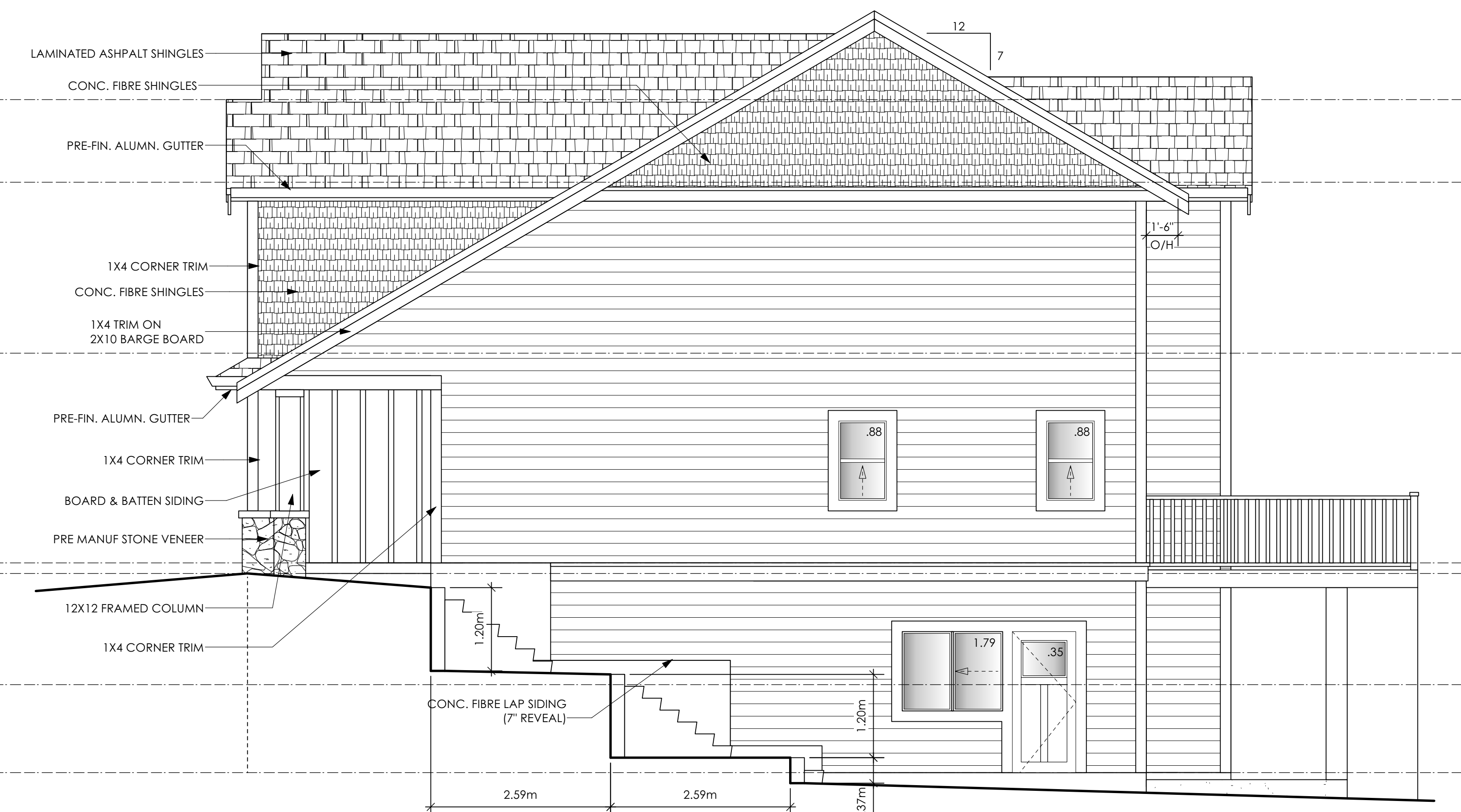
Drawn By

MDK

# Development Permit Presentation

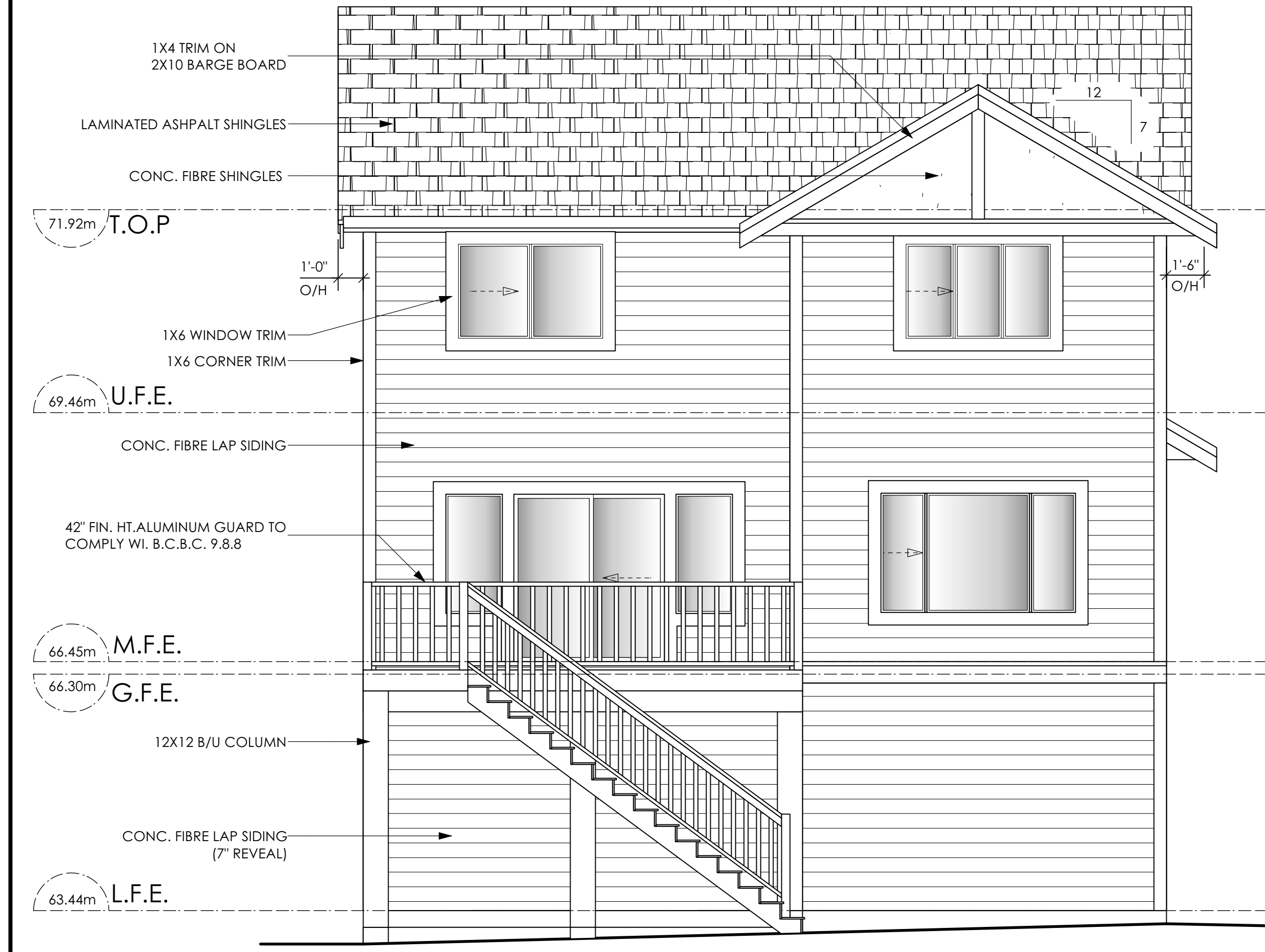


1 Front Elevation  
A3 Scale: 1/4" = 1'-0"

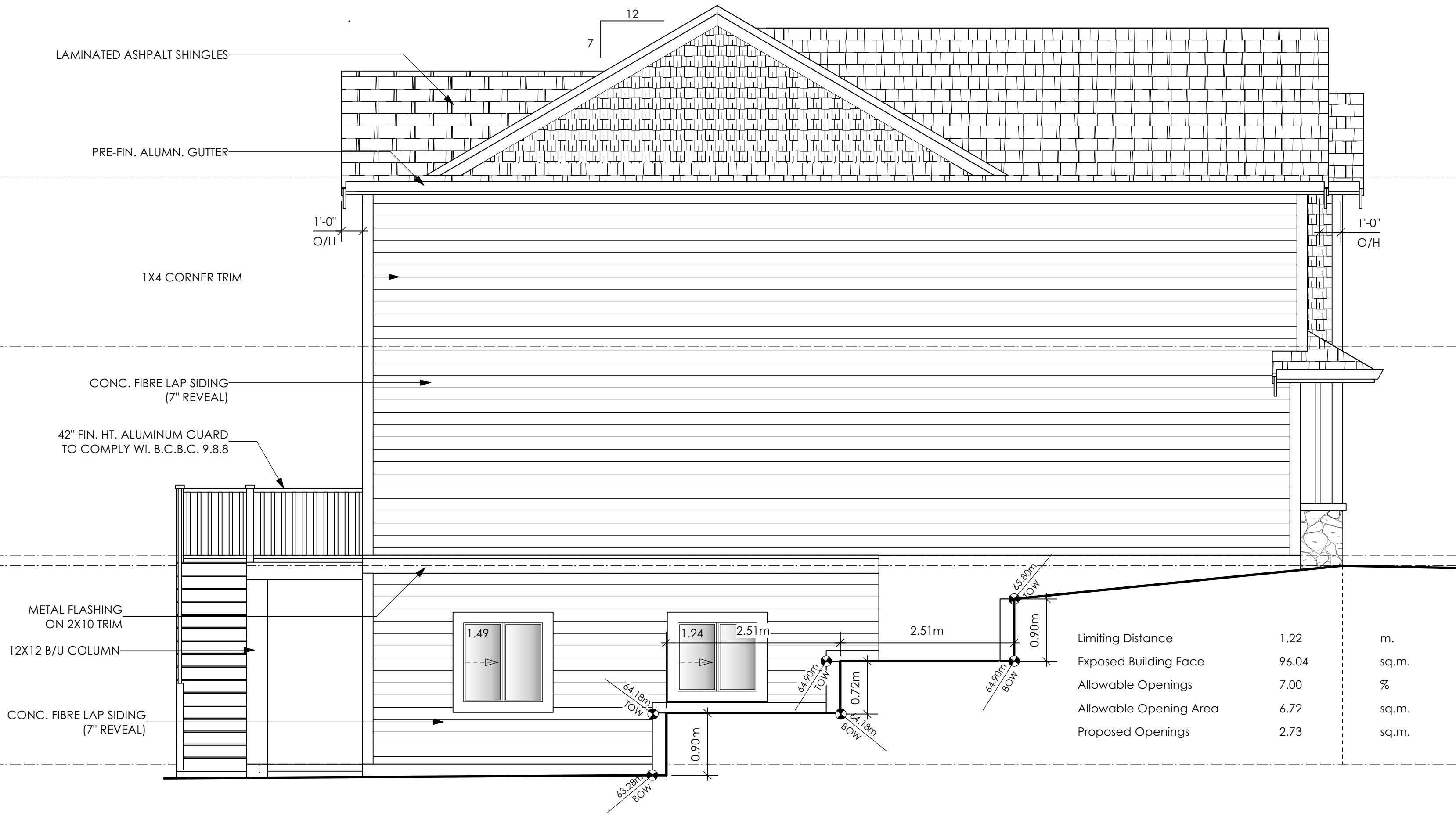


2 Right Side Elevation  
A3 Scale: 1/4" = 1'-0"

Limiting Distance	1.67	m.
Exposed Building Face	110.25	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.72	sq.m.
Proposed Openings	3.90	sq.m.



3 Rear Elevation  
A3 Scale: 1/4" = 1'-0"



4 Left Side Elevation  
A3 Scale: 1/4" = 1'-0"

Limiting Distance	1.22	m.
Exposed Building Face	96.04	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.72	sq.m.
Proposed Openings	2.73	sq.m.

RIDGE WESTCOAST

Date  
Nov 17, 2023

Project Address  
417 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.  
Prepared for  
Verity Construction

Project #  
8298-77

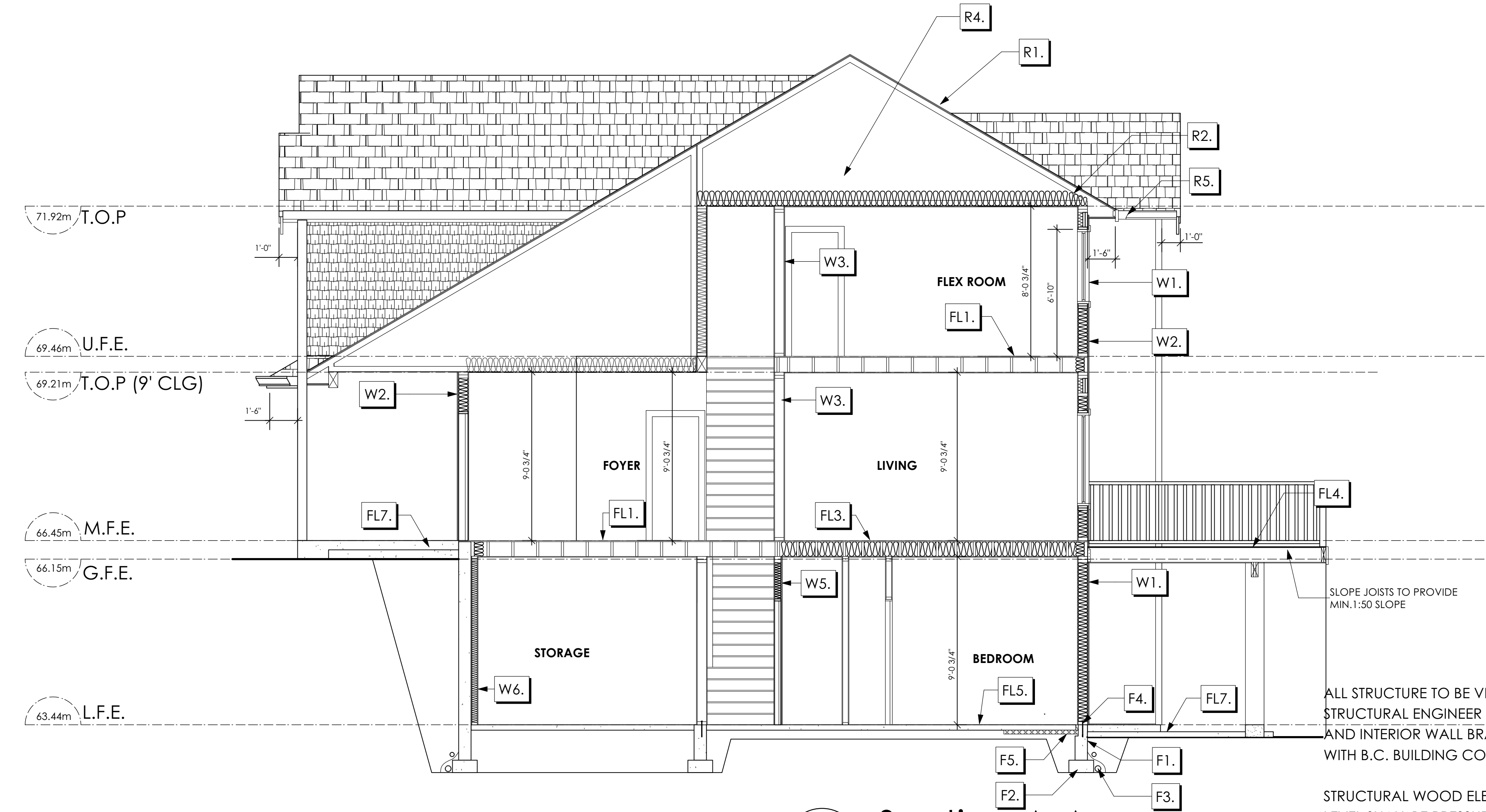
Scale  
As Noted

Drawn By  
MDK

# Development Permit Presentation







1 Section A-A  
A7 Scale: 1/4" = 1'-0"

**Section Notes**

**Foundation Walls**

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16" X 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. 2 1/2" EXTRUDED POLYSTYRENE RIGID INSULATION APPLIED TO CONC. FDN. WALL (CRAWL SPACE ONLY) INSULATION TO EXTEND TO TOP OF 2" CONC. GROUND SEAL
- F7. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE (NOT SHOWN IN SECTION)

**Walls**

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X 10" LINTEL OVER (8" BEARING WALLS ONLY) (TYPICAL WL 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 1011/15.2/A440. "NAFS": LANGFORD, CLASS R, DP 960, PG 20, WATER RESIST. 220, A2, RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)

- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- W5. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.)

**Floors**

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD (NO GYPSUM BOARD IN CRAWLSPACE CLG.)
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD OR EQUAL (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 FIBRE GLASS BATT INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- FL3. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON (NOT FINISHED FLOORING UNDER STAIRS) 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYER 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.

- FL4. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND OR EQUAL TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2x10 DECK JOISTS @ 16" O/C OR SLOPE JOISTS @ MIN. 1:50 SLOPE (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.)
- FL5. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL7. 3 1/2" CONCRETE SLAB (CONTRACTOR TO VERIFY EXTENT OF EXTERIOR SLABS AND FINISHES) (SLOPE AWAY FROM BUILDING @ 2% MIN.) 6" COMPACTED GRAVEL OR SAND
- FL8. 2" CONCRETE GROUND SEAL 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND

**Roofs**

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) OR R-40 FIBRE GLASS BATT INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WL. B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150mm (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITES AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

RIDGE WESTCOAST

**Date**

Nov 17, 2023

**Project Address**

417 Rock Dove Place  
Royal Bay - Sector 7  
Colwood, B.C.

**Prepared for**

Verity Construction

**Project #**

8298-77

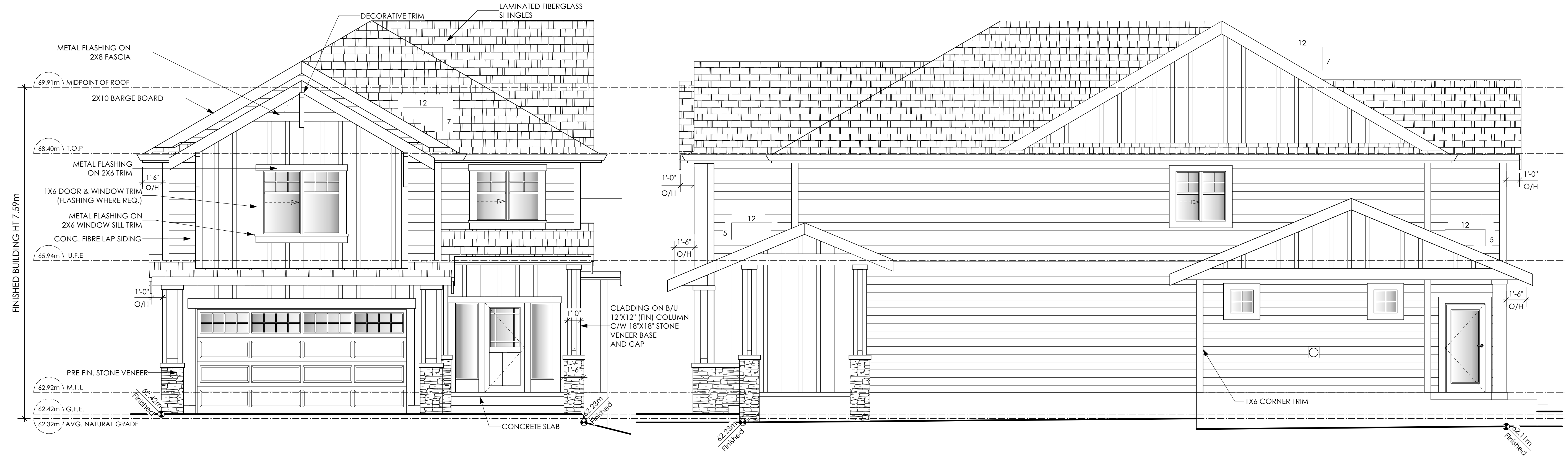
**Scale**

As Noted

**Drawn By**

MDK



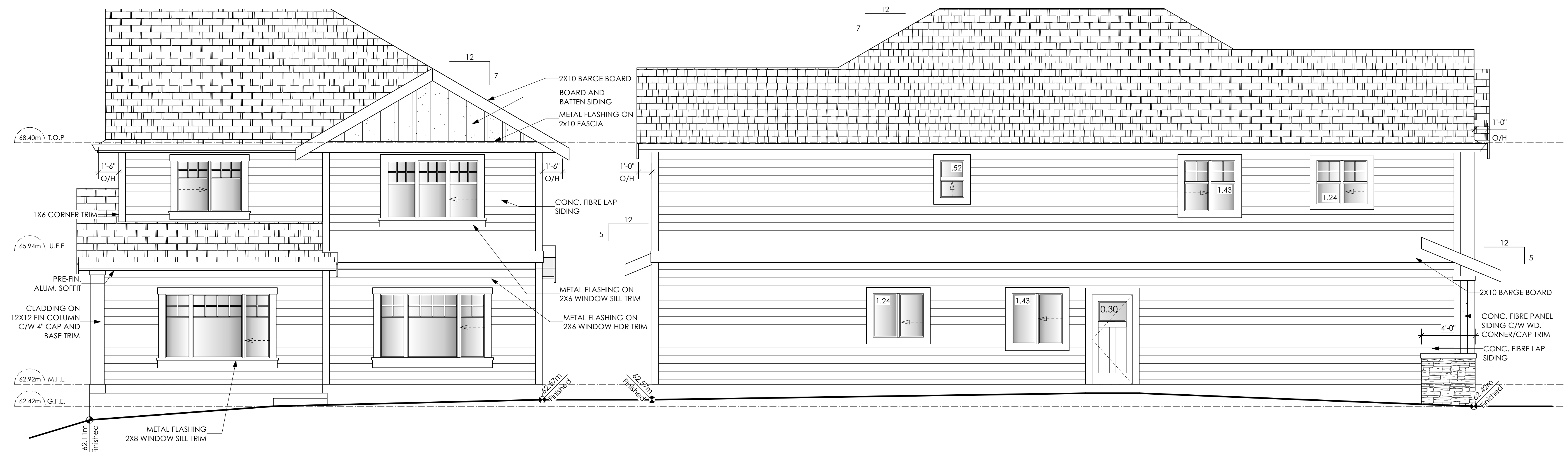


**6 Front Elevation**  
 Scale: 1/4" = 1'-0"

**7 Right Side Elevation**  
 Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE:  
 ALL REQUIRED FLASHING ARE NON-GALVANISED  
 ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES  
 TRADITIONAL LAP SIDING IS USED  
 ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

Cedar, precast concrete, & PTW stairs & vertical porch elements=ONLY if stained dark brown



**8 Rear Elevation**  
 Scale: 1/4" = 1'-0"

**9 Left Side Elevation**  
 Scale: 1/4" = 1'-0"

Limiting Distance	2.49	m.
Exposed Building Face	106.58	sq.m.
Allowable Openings	9.00	%
Allowable Opening Area	9.59	sq.m.
Proposed Openings	6.16	sq.m.

CONTRACTOR TO ENSURE:  
 ALL REQUIRED FLASHING ARE NON-GALVANISED  
 ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES  
 TRADITIONAL LAP SIDING IS USED  
 ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

**Date**  
 Aug 9, 2023

**Project Address**  
 Royal Bay Sector 7  
 Verity Construction  
 3426 Trumpeter Street  
 Lot 81  
 Langford, B.C.

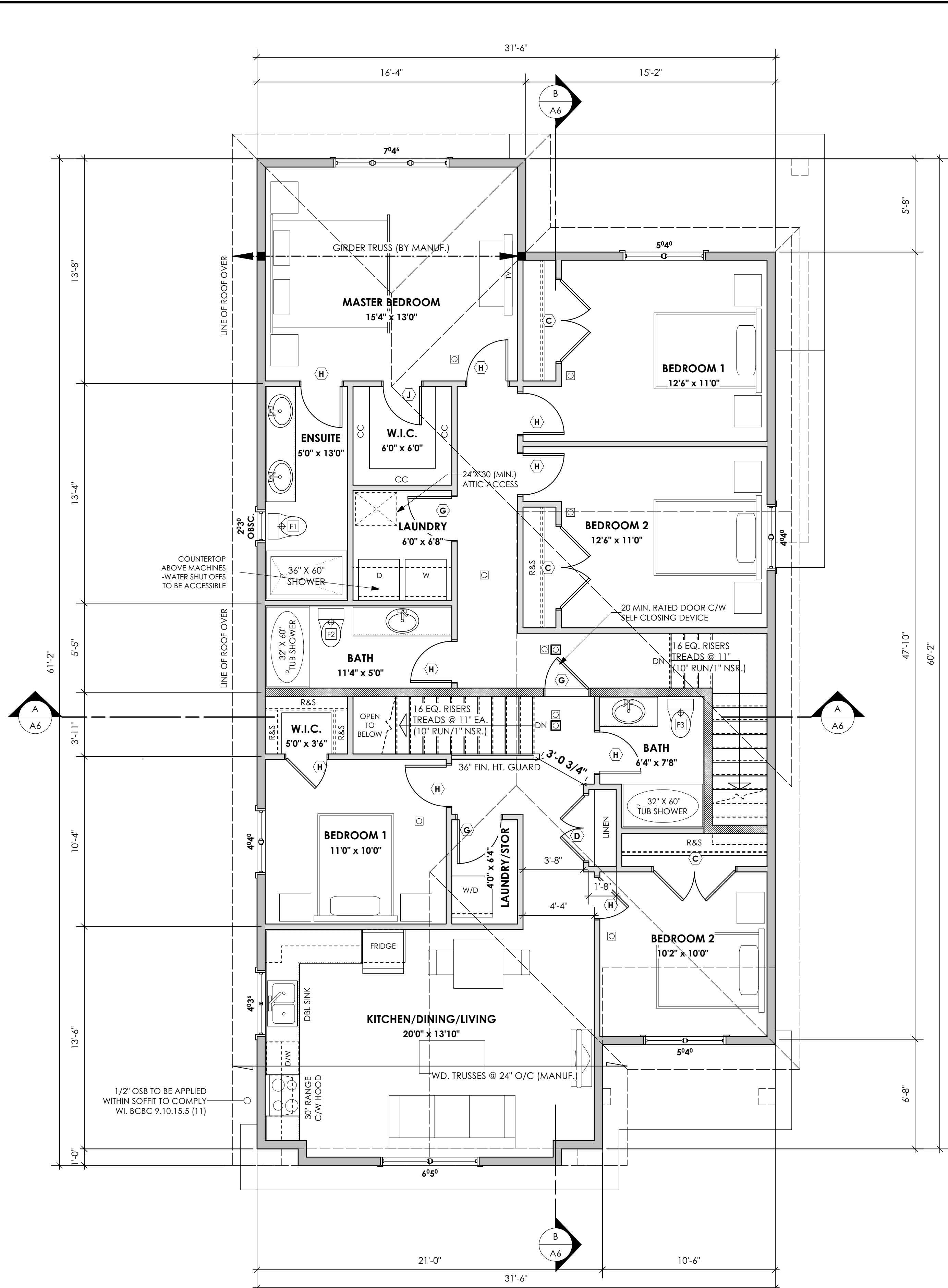
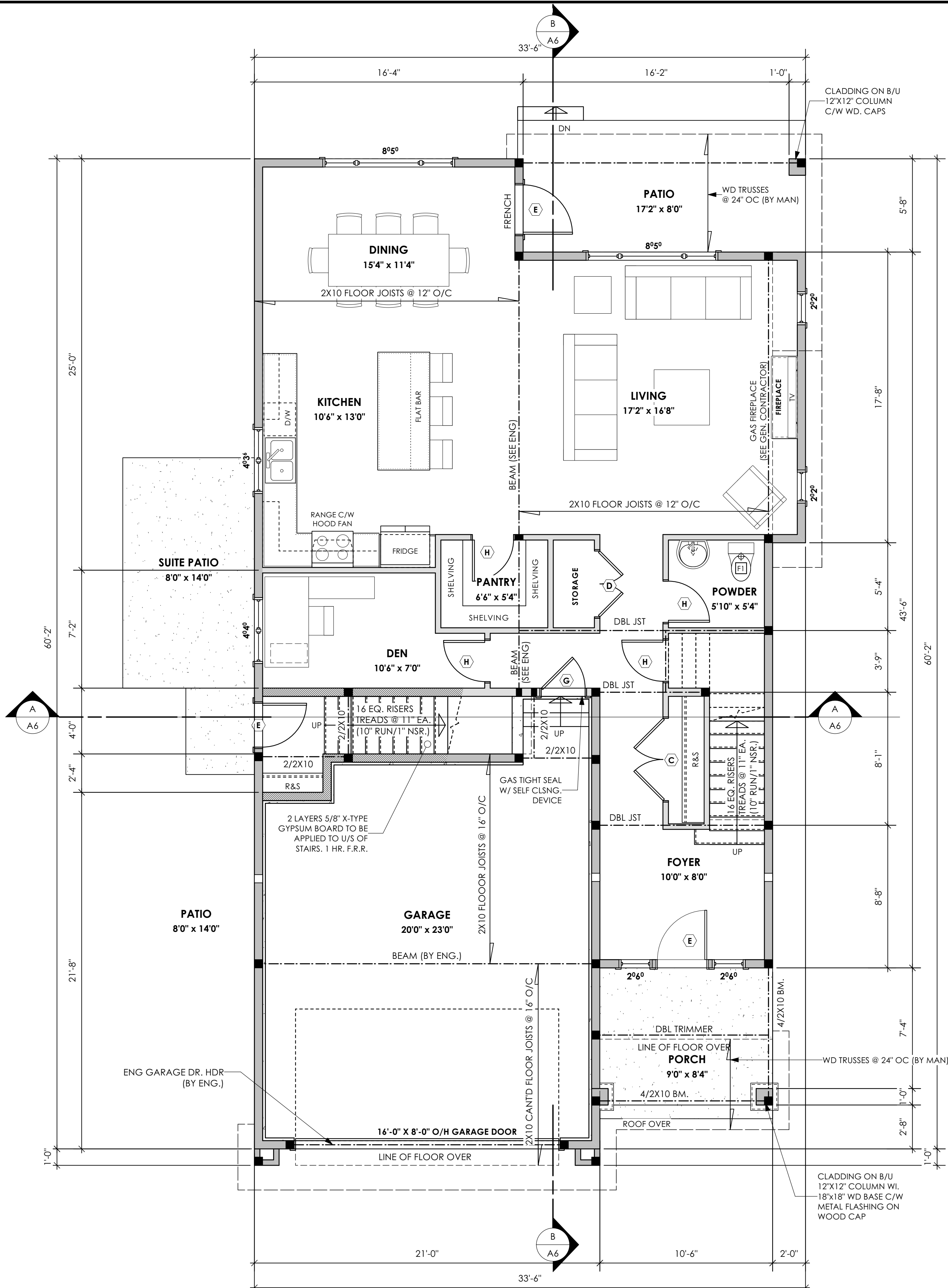
**Prepared for**  
 Verity Construction

**Project #**  
 8298-81

**Scale**  
 Not to Scale

**Drawn By**  
 MRB

# Royal Bay Sector 7 Phase 2, Lot 81 Development Permit Presentation



# Royal Bay Sector 7 Phase 2, Lot 81 Development Permit Presentation

**Date**  
 Aug 9, 2023

**Project Address**  
 Royal Bay Sector 7  
 Verity Construction  
 3426 Trumpeter Street  
 Lot 81  
 Langford, B.C.

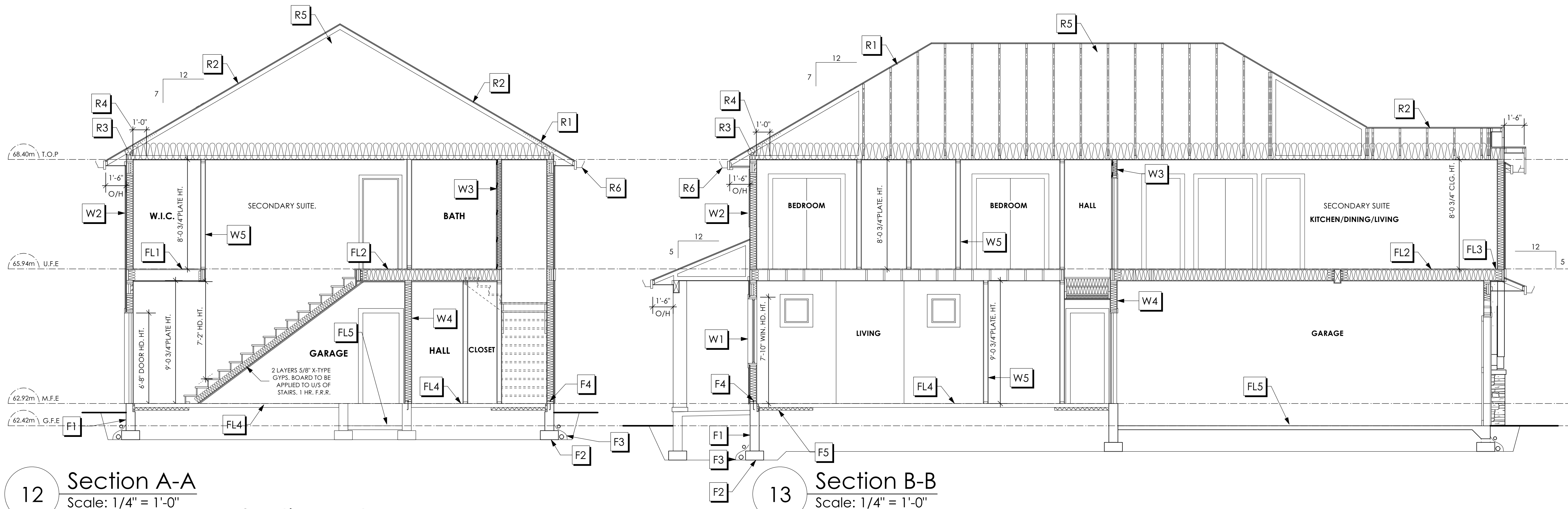
**Prepared for**  
 Verity Construction

**Project #**  
 8298-81

**Scale**  
 Not to Scale

**Drawn By**  
 MRB





12 Section A-A  
Scale: 1/4" = 1'-0"

13 Section B-B  
Scale: 1/4" = 1'-0"

### Section Notes

#### FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16" X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE

#### WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X 10" LINTEL OVER (@ BEARING WALLS ONLY) (TYPICAL, WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS": COLWOOD, CLASS R, DP 1440, PG 30, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3C 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W5. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)

#### FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D 30 MINUTE F.R.R., 50 S.T.C. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYER 5/8" X-TYPE GYPSUM BOARD
- FL3. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL6. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 19/32" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN. 1:50 SLOPE)

#### ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED ROOF ASSEMBLY R1 45 MINUTE RATED F.R.R. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" X-TYPE GYPSUM BOARD
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

SECTOR 7 - LOT 80

SITE DATA	RBCD5	LOT 80
ITEMS	PERMITTED	PROPOSED
LOT AREA	368 sq.m.	516.70 sq.m.
LOT COVERAGE	50.00 %	46.08 %
BUILDING HEIGHT	9.50 m.	6.57 m.
SETBACKS		
- FRONT	3.00 m.	3.86 m.
- REAR	6.00 m.	6.20 m.
- RIGHT SIDE	1.20 m.	1.41 m.
- LEFT SIDE	1.20 m.	1.20 m.
PROPOSED FLOOR AREA		
- MAIN		159.05 sq.m.
- GARAGE		44.96 sq.m.
- LOWER		163.75 sq.m.
SUB-TOTAL G.F.A.		367.76 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-44.96 sq.m.
GROSS FLOOR AREA		322.80 sq.m.
F.A.R.		
		0.62 TO 1.0
SECONDARY SUITE		
FLOOR AREA (%)	40.00 %	27.54 %
FLOOR AREA (SQ.M.)	90.00 sq.m.	88.90 sq.m.

AVERAGE NATURAL GRADE CALCULATION:  
 $65.30m + 64.40m + 63.29m + 62.38m = 255.37m / 4 = 63.84m$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS  
 \*XX.Xm\* = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE  
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)  
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

**STOP & READ**

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

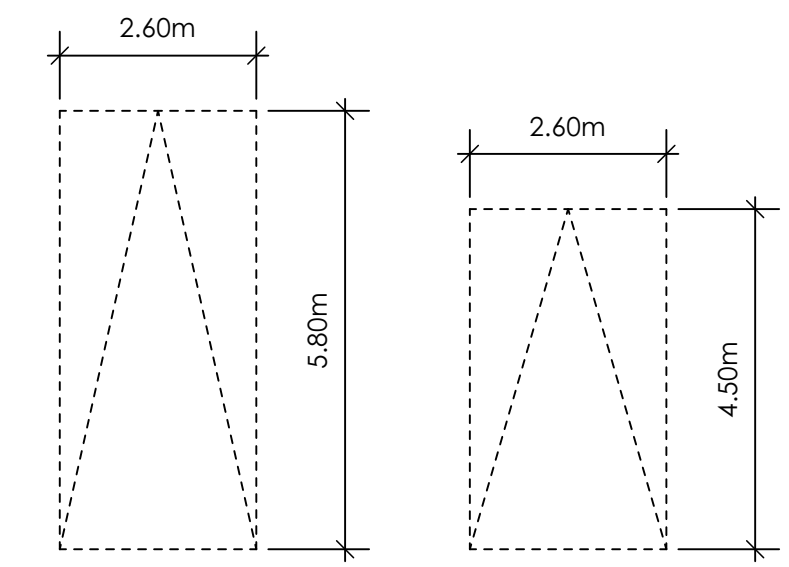
- 1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES
- 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

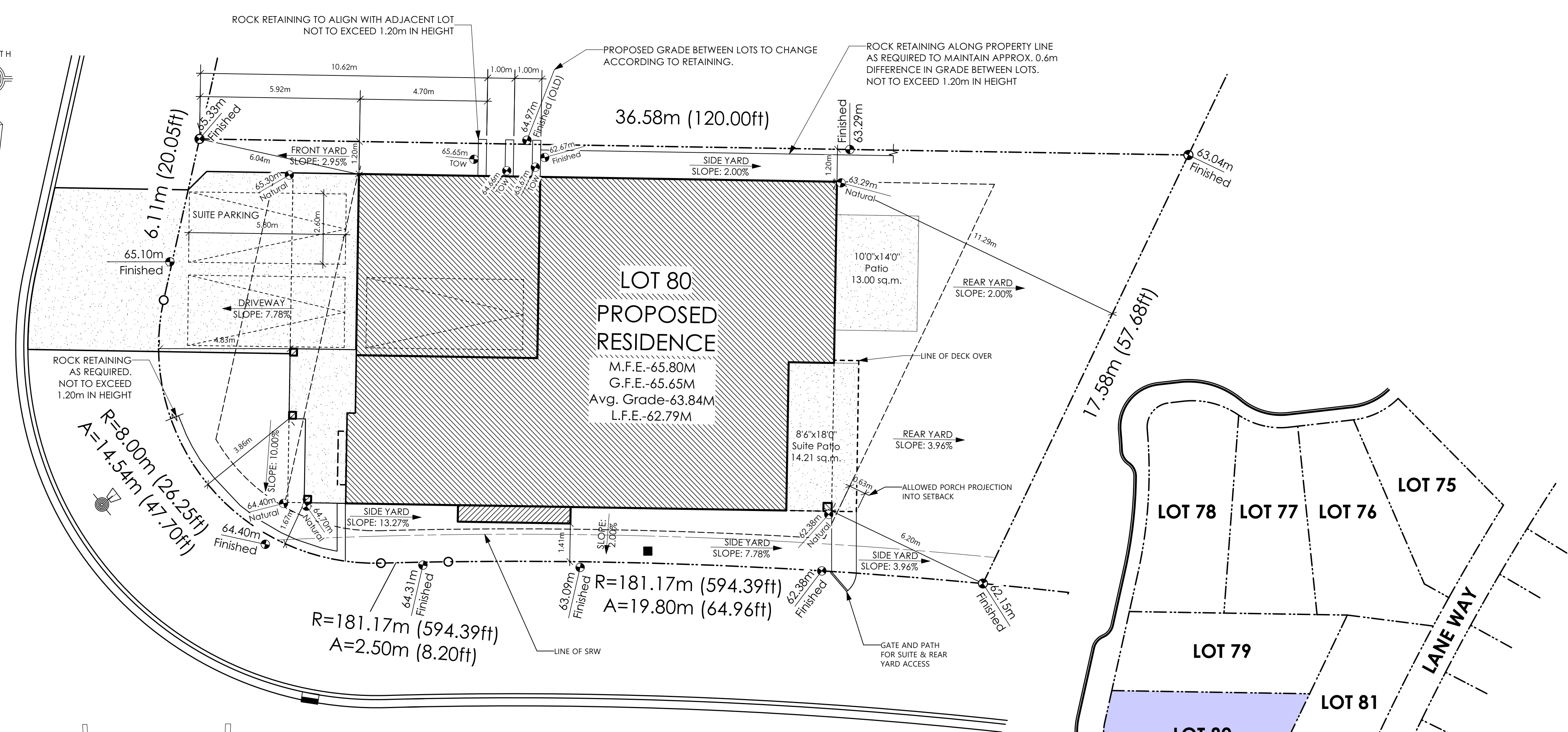
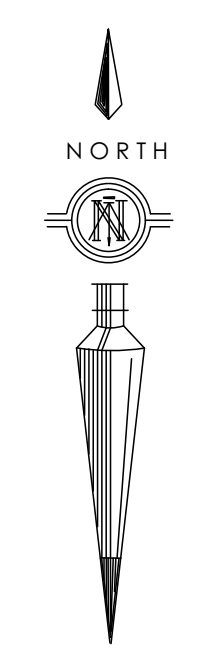
THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

THE SLEEVES TO BE INSTALLED BY THE BUILDER

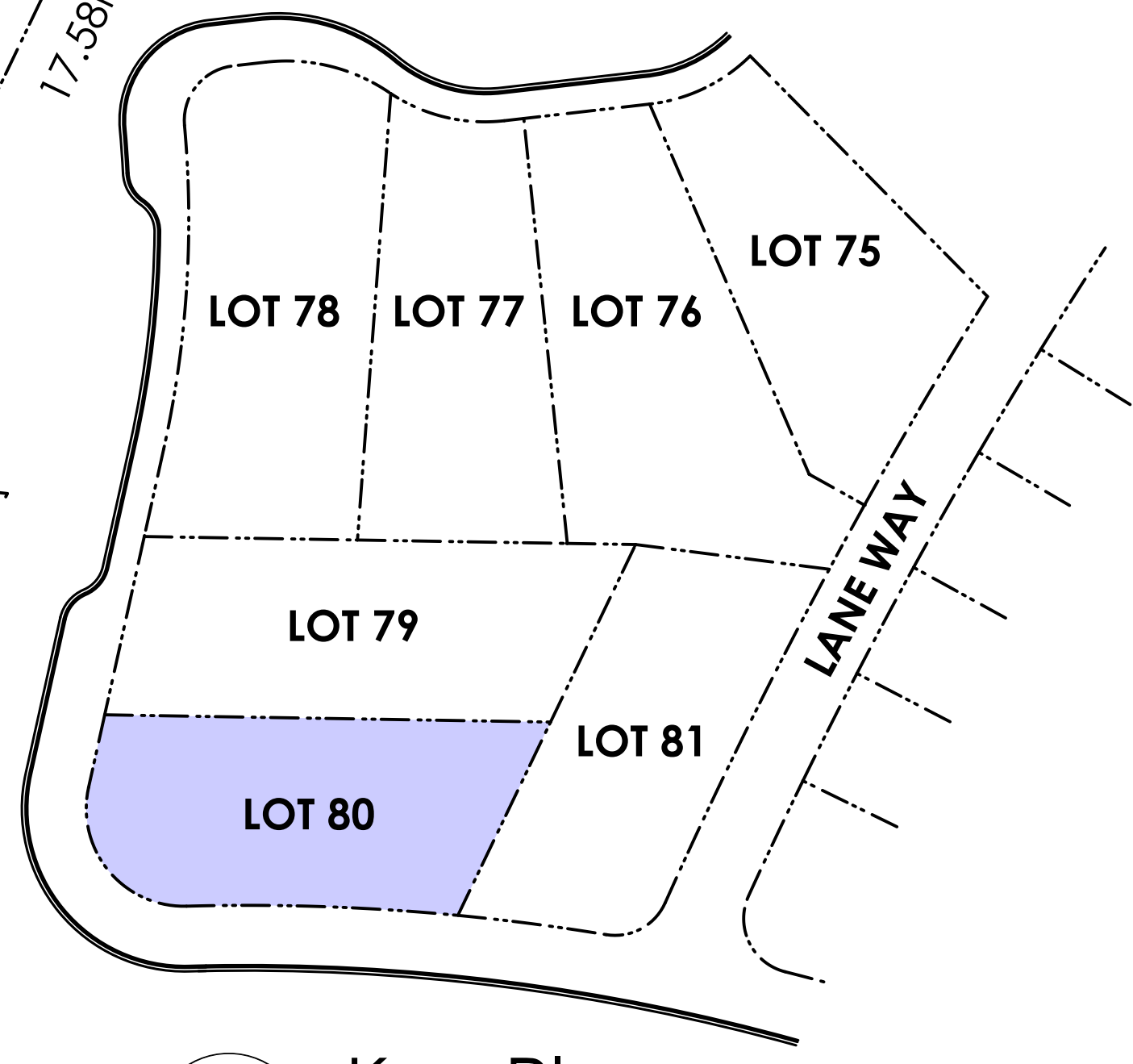
ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



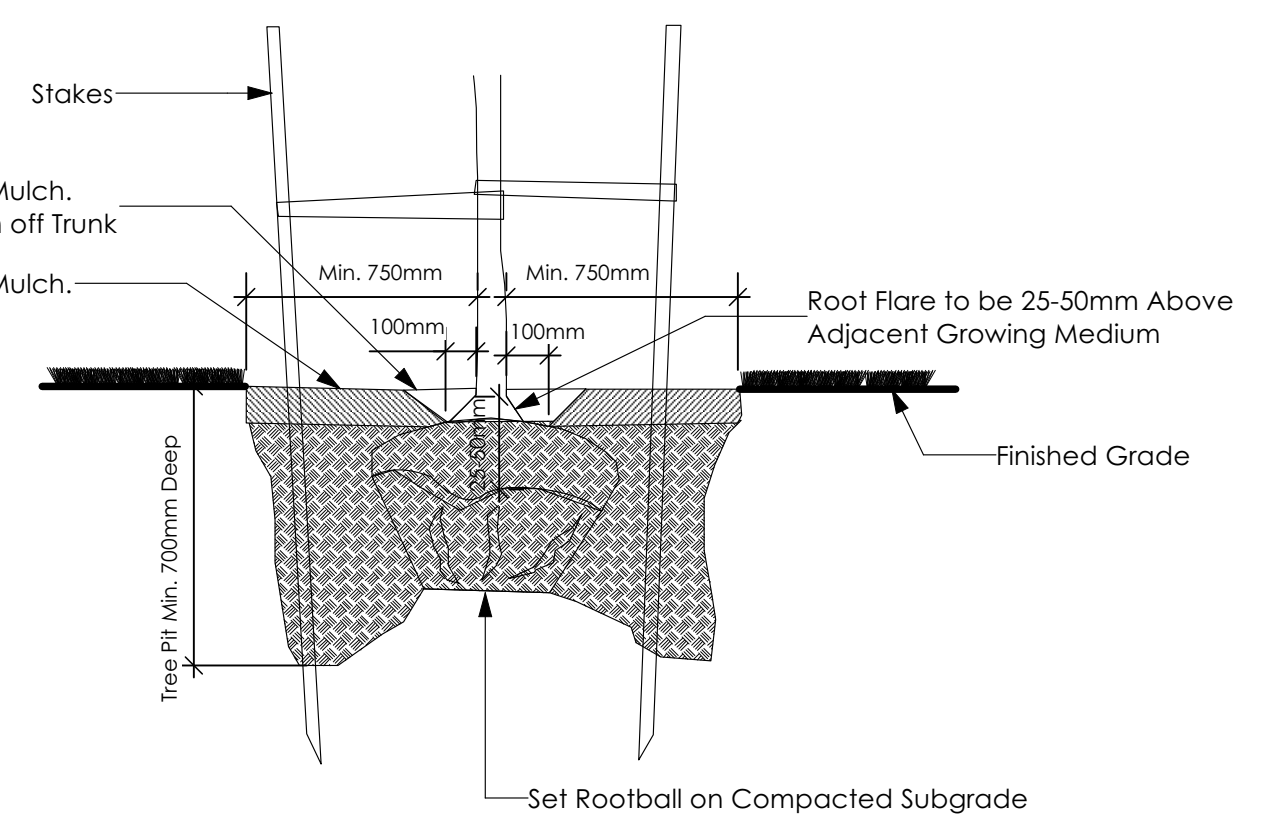
PARKING STALL DIMENSIONS  
 SMALL CAR PARKING STALL DIMENSIONS  
 \* as per 2.2.02a allowing one stall to be a small car parking stall



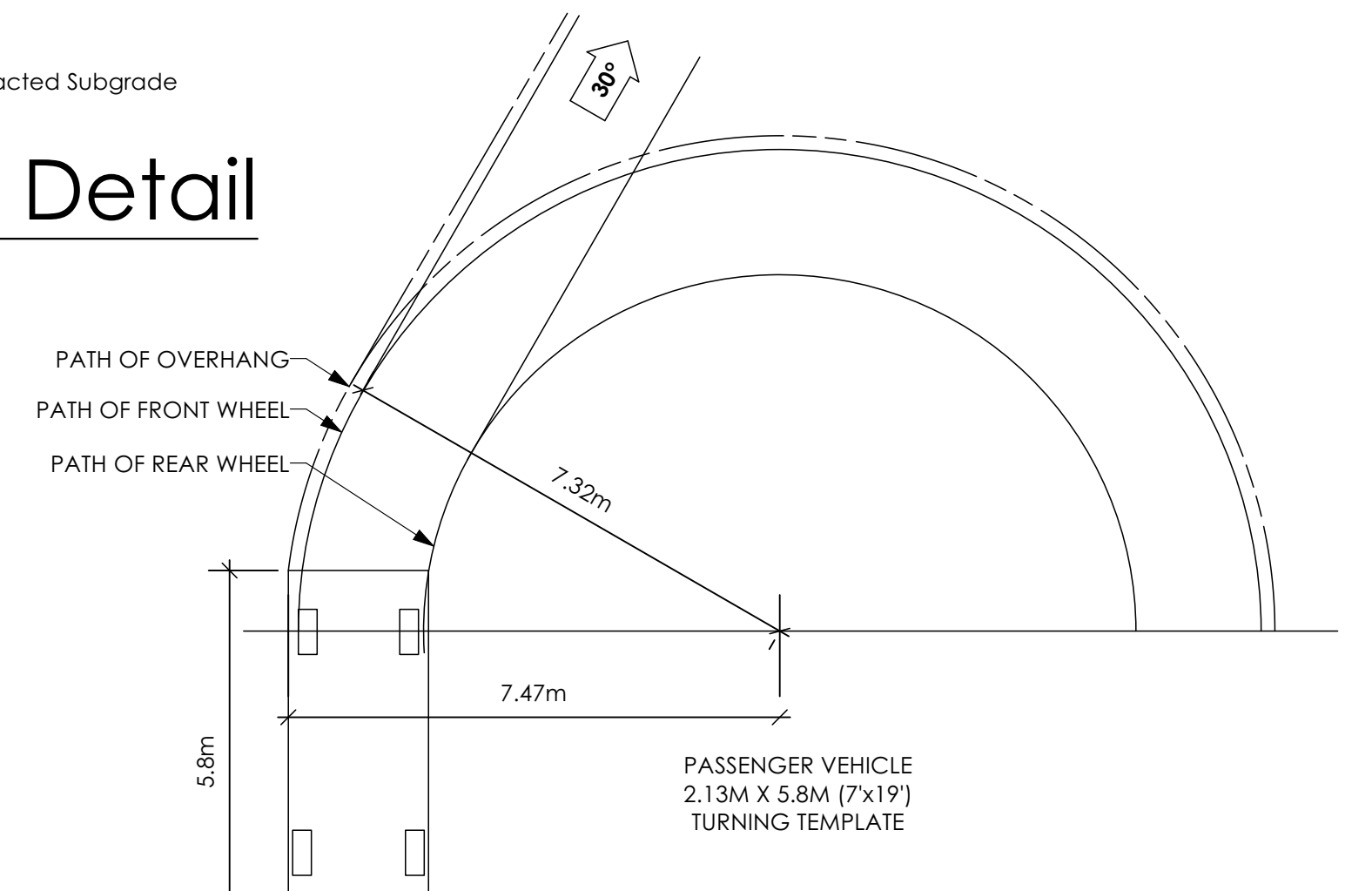
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 Scale: 1:100



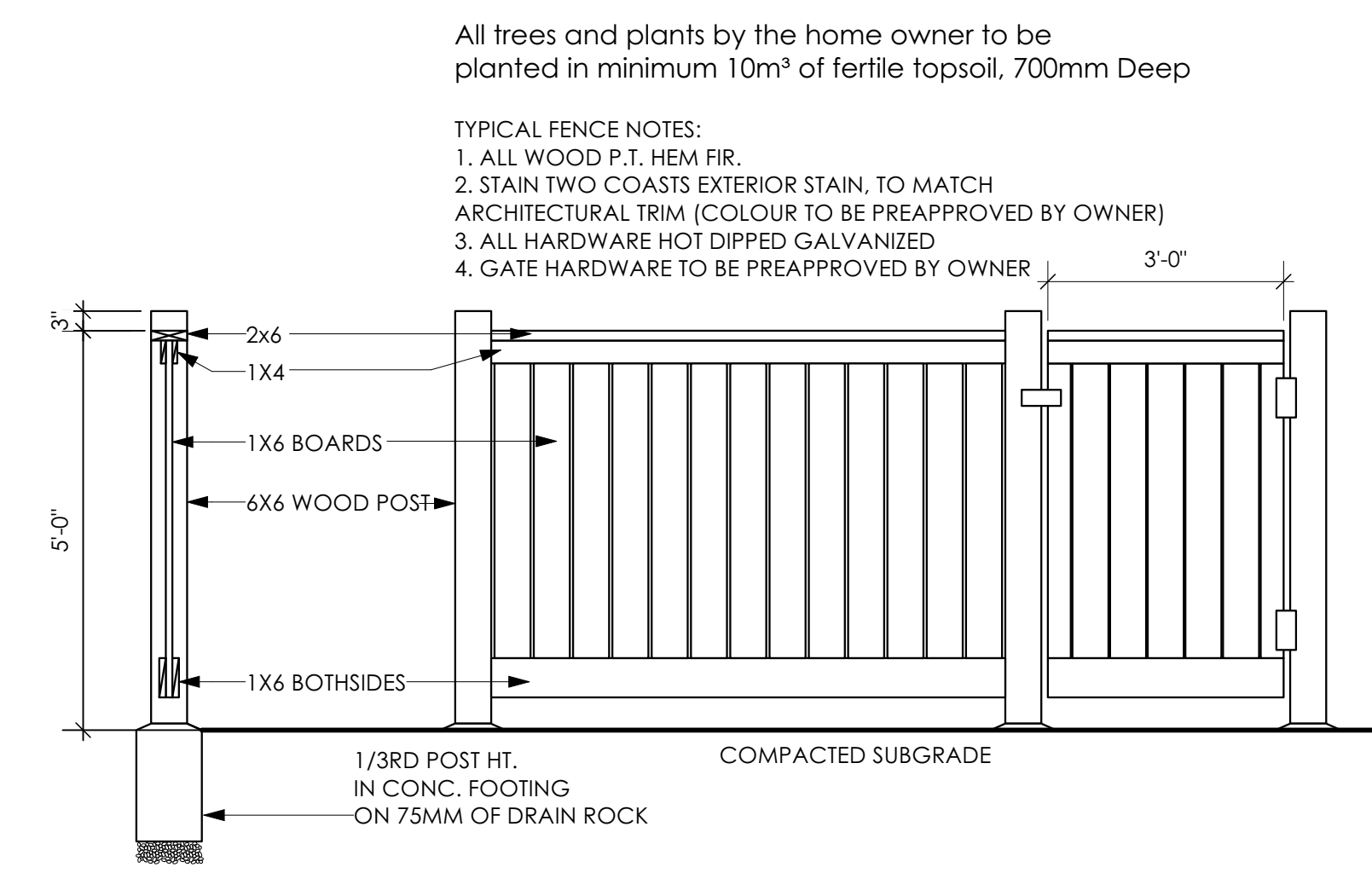
2 Key Plan  
 1: 500



2 Tree Planting Detail  
 Not To Scale



4 Turning Template  
 Not To Scale



5 Typical Fence Detail  
 Not To Scale  
 \*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

All trees and plants by the home owner to be planted in minimum 10m<sup>2</sup> of fertile topsoil, 700mm Deep

- TYPICAL FENCE NOTES:
1. ALL WOOD P.T. HEM FIR.
  2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
  3. ALL HARDWARE HOT DIPPED GALVANIZED
  4. GATE HARDWARE TO BE PREAPPROVED BY OWNER

Date

Nov 09, 2023

Project Address

3442 TRUMPETER STREET  
 Royal Bay - Sector 7  
 Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-80

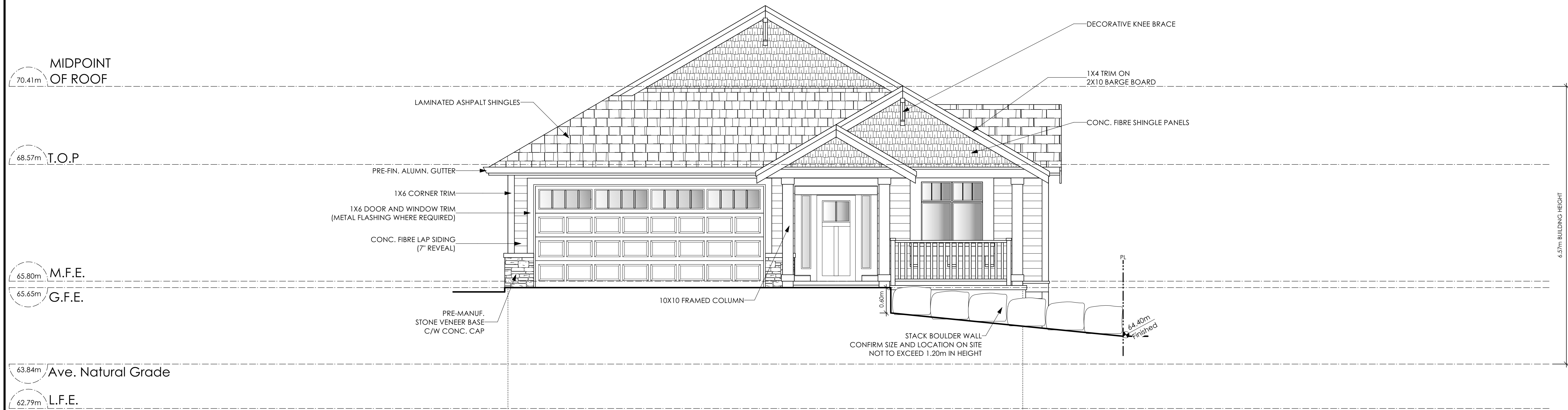
Scale

As Noted

Drawn By

NS

Development Permit Presentation



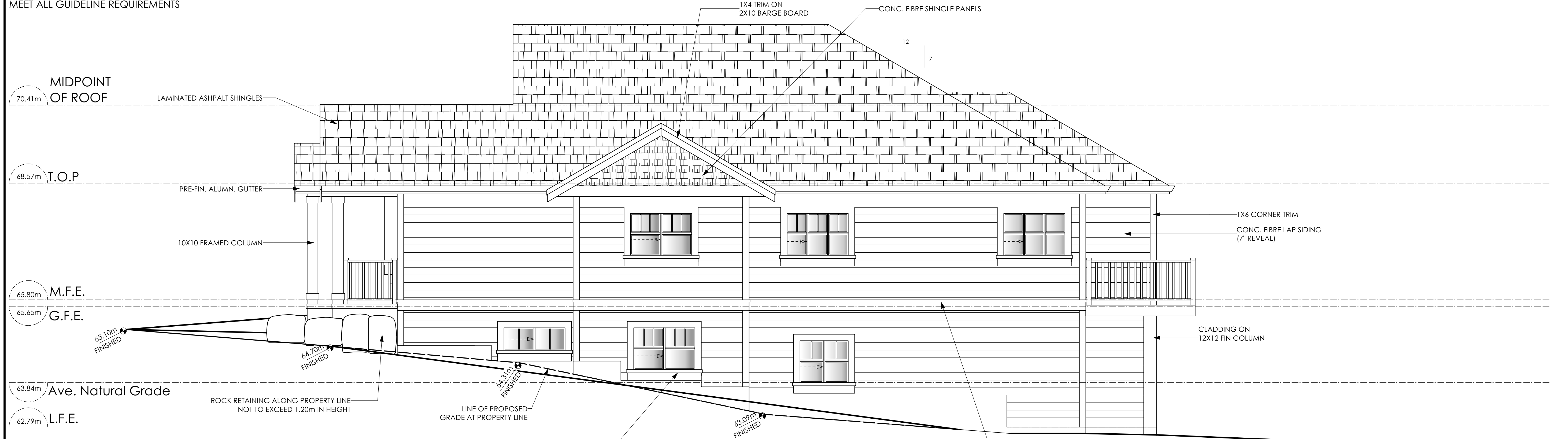
**1** Front Elevation  
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE STEPS MEET ALL GUIDELINE REQUIREMENTS I.E. MAXIMUM 2, STAINED / PAINTED ETC.

CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED  
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED  
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES  
ALL HIGH VISIBILITY PTW IS REQUIRED TO BE STAINED AS PER GUIDELINES

ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW



**2** Right Side Elevation  
Scale: 1/4" = 1'-0"

Date

Nov 09, 2023

Project Address

3442 TRUMPETER STREET  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-80

Scale

As Noted

Drawn By

NS



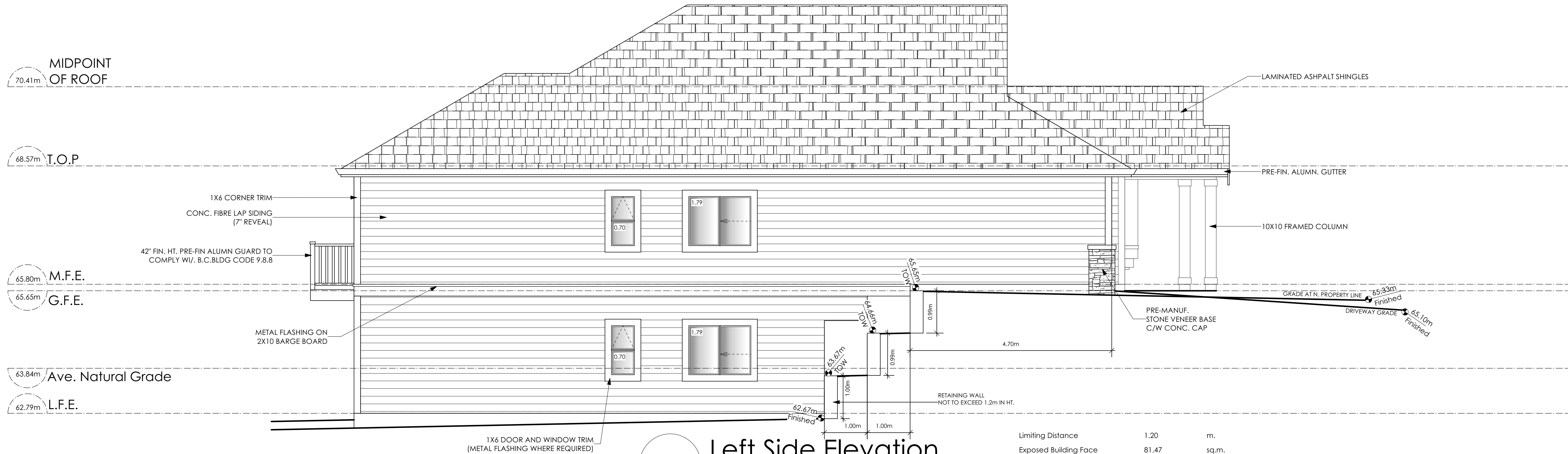
1 **Rear Elevation**  
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE REAR DECK AREA MEETS ALL GUIDELINE REQUIREMENTS I.E. STAINING / PAINTING, DECK SKIRTING WHERE REQUIRED ETC.

CONTRACTOR TO ENSURE TRADITIONAL LAP SIDING IS USED  
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED  
CONTRACTOR TO ENSURE ALL PRESSURE TREATED WOOD PRODUCTS MEETS ALL GUIDELINES  
ALL HIGH VISIBILITY PTW IS REQUIRED TO BE STAINED AS PER GUIDELINES

ALL RETAINING REQUIRED TO MEET ALL GUIDELINE REQUIREMENTS

NOTE: BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE SIDE WINDOW LOCATIONS ARE COMPATIBLE WITH THE ADJACENT NEIGHBOURS SIDE ELEVATION WINDOW



2 **Left Side Elevation**  
Scale: 1/4" = 1'-0"

Date

Nov 09, 2023

Project Address

3442 TRUMPETER STREET  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

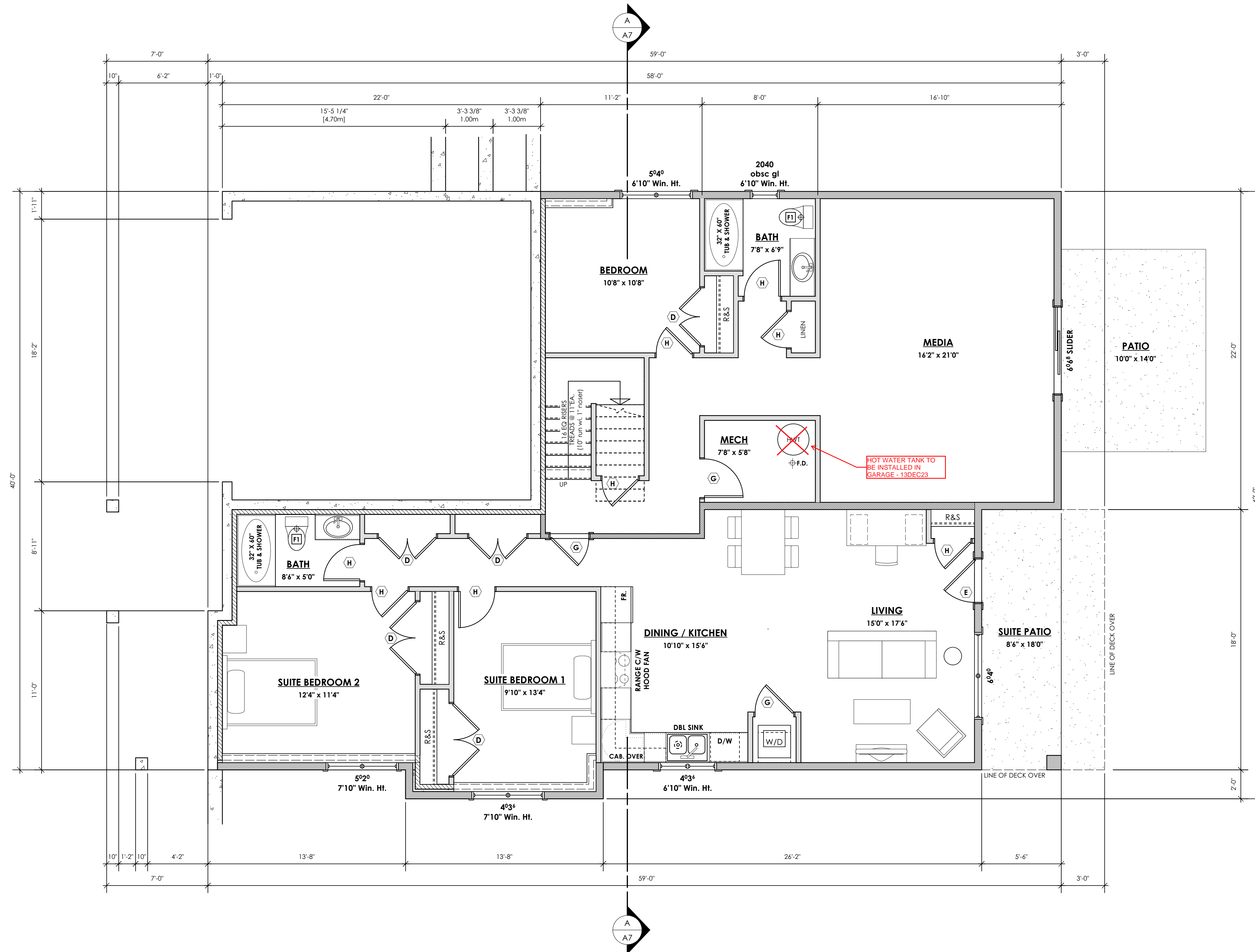
8298-80

Scale

As Noted

Drawn By

NS



**MECHANICAL FAN(S) & VENT(S)**

- F1** BATHROOM FAN:  
23 L/S (50 CFM) INTERMITTENT  
9 L/S (20 CFM) CONTINUOUS
- F2** PRINCIPAL EXHAUST FAN:  
28 L/S (60 CFM) CONTINUOUS
- F3** PRINCIPAL EXHAUST & BATHROOM FAN FOR SUITE:  
23 L/S (50 CFM) INTERMITTENT  
14 L/S (30 CFM) CONTINUOUS
- V1** PASSIVE SUPPLY VENT
- V2** AIR TRANSFER GRILLE
- REFER TO GENERAL NOTES
- INTERCONNECTED SMOKE DETECTORS  
TO COMPLY WITH BCBC 9.10.19  
INTERCONNECTED CARBON MONOXIDE  
DETECTORS TO COMPLY WITH BCBC 9.32.4.2.
- INTERCONNECTED PHOTOELECTRIC SMOKE  
ALARMS TO COMPLY WITH BCBC 9.10.14.5(2)(b) &  
9.10.19.5(2)(b)

**SYMBOLS & WALL LEGEND**

- 2" X 4" INTERIOR & FURRING
- 2" X 6" EXTERIOR & INTERIOR
- RATED WALL (SEE ASSEMBLIES)
- 8" THK. CONC. FOUNDATION WALL
- 16" X 8" CONC. STRIP FOOTING
- BUILT-UP WOOD POST
- BUILT-UP WOOD POST TO SUPPORT  
LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

**WINDOWS & DOORS**

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC  
9.9.10.1 (EGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR  
DOOR (EXIT)  
VERIFY WINDOW OPERATIONS WITH OWNER  
PRIOR TO ORDERING

**DOOR SCHEDULE**

- |                                  |                                   |
|----------------------------------|-----------------------------------|
| <b>A</b> 8'0" X 6'8" (96" X 80") | <b>F</b> 2'10" X 6'8" (34" X 80") |
| <b>B</b> 6'0" X 6'8" (72" X 80") | <b>G</b> 28" X 6'8" (32" X 80")   |
| <b>C</b> 5'0" X 6'8" (60" X 80") | <b>H</b> 2'6" X 6'8" (30" X 80")  |
| <b>D</b> 4'0" X 6'8" (48" X 80") | <b>J</b> 2'4" X 6'8" (28" X 80")  |
| <b>E</b> 3'0" X 6'8" (36" X 80") | <b>K</b> 2'0" X 6'8" (24" X 80")  |
|                                  | <b>L</b> 1'6" X 6'8" (18" X 80")  |

**1 Lower Floor Plan**  
Scale: 1/4" = 1'-0"

PRIMARY: 807.33 sq.ft. (75.00 sq.m.)  
SUITE: 955.33 sq.ft. (88.75 sq.m.)  
TOTAL: 1762.66 sq.ft. (163.75 sq.m.)

Date

Nov 09, 2023

Project Address

3442 TRUMPETER STREET  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

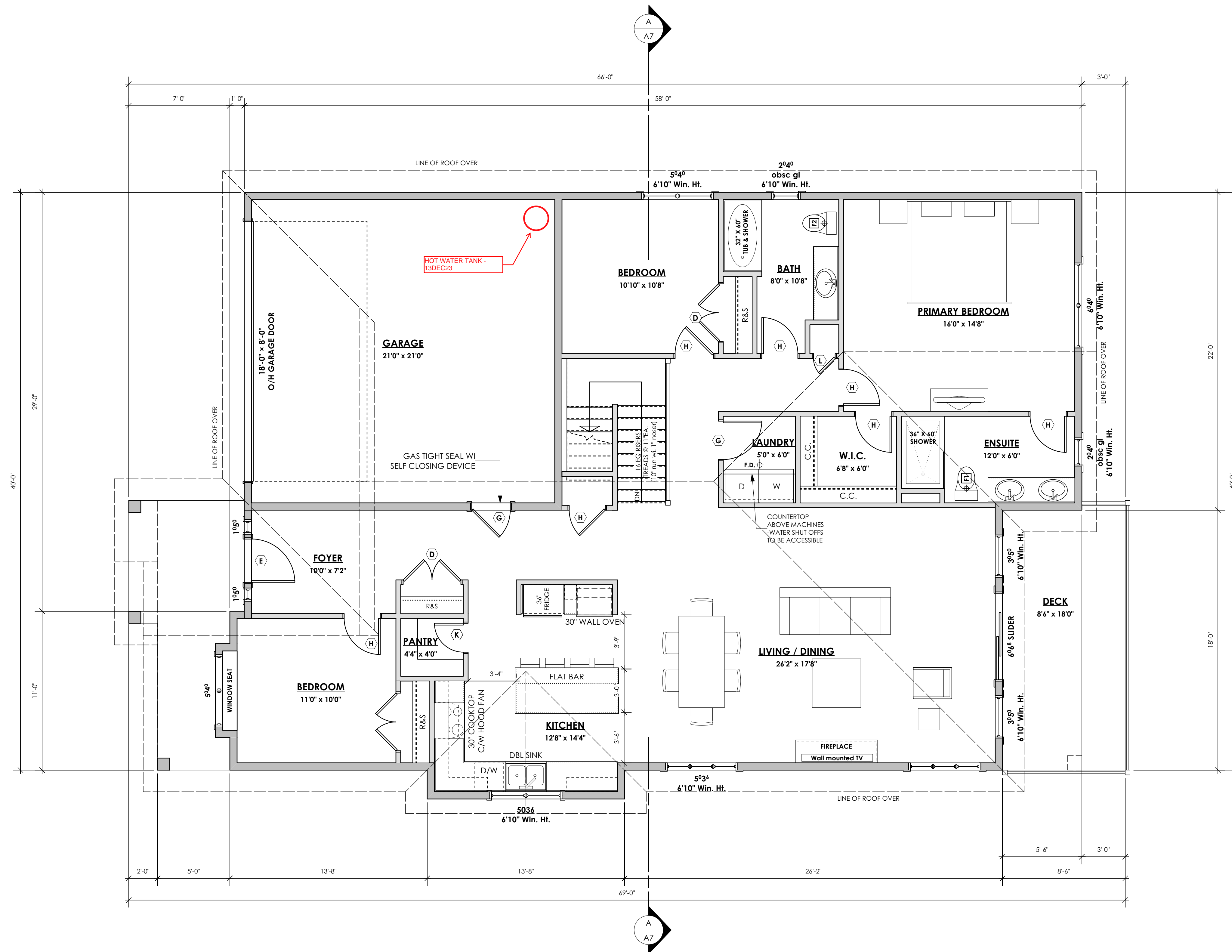
8298-80

Scale

As Noted

Drawn By

NS



**MECHANICAL FAN(S) & VENT(S)**

- [F1] BATHROOM FAN:  
23 L/S (50 CFM) INTERMITTENT  
9 L/S (20 CFM) CONTINUOUS
- [F2] PRINCIPAL EXHAUST FAN:  
28 L/S (60 CFM) CONTINUOUS
- [F3] PRINCIPAL EXHAUST & BATHROOM FAN FOR SUITE:  
23 L/S (50 CFM) INTERMITTENT  
14 L/S (30 CFM) CONTINUOUS
- [V1] PASSIVE SUPPLY VENT
- [V2] AIR TRANSFER GRILLE
- REFER TO GENERAL NOTES
- [S] INTERCONNECTED SMOKE DETECTORS  
TO COMPLY WITH BCBC 9.10.19  
INTERCONNECTED CARBON MONOXIDE  
DETECTORS TO COMPLY WITH BCBC 9.32.4.2.
- [A] INTERCONNECTED PHOTOELECTRIC SMOKE  
ALARMS TO COMPLY WITH BCBC 9.10.14.5(2)(b) &  
9.10.19.5(2)(b)

**SYMBOLS & WALL LEGEND**

- [Line] 2" X 4" INTERIOR & FURRING
- [Line] 2" X 6" EXTERIOR & INTERIOR
- [Line] RATED WALL (SEE ASSEMBLIES)
- [Line] 8" THK. CONC. FOUNDATION WALL
- [Line] 16" X 8" CONC. STRIP FOOTING
- [Symbol] BUILT-UP WOOD POST
- [Symbol] BUILT-UP WOOD POST TO SUPPORT  
LOAD FROM ABOVE
- [Symbol] POINT LOAD ON BEAM FROM ABOVE

**WINDOWS & DOORS**

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC  
9.9.10.1 (EGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR  
DOOR (EXIT)  
VERIFY WINDOW OPERATIONS WITH OWNER  
PRIOR TO ORDERING

**DOOR SCHEDULE**

- |                             |                              |
|-----------------------------|------------------------------|
| [A] 8'0" X 6'8" (96" X 80") | [F] 2'10" X 6'8" (34" X 80") |
| [B] 6'0" X 6'8" (72" X 80") | [G] 2'8" X 6'8" (32" X 80")  |
| [C] 5'0" X 6'8" (60" X 80") | [H] 2'6" X 6'8" (30" X 80")  |
| [D] 4'0" X 6'8" (48" X 80") | [J] 2'4" X 6'8" (28" X 80")  |
| [E] 3'0" X 6'8" (36" X 80") | [K] 2'0" X 6'8" (24" X 80")  |
|                             | [L] 1'6" X 6'8" (18" X 80")  |

**NOTE:**  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.  
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR  
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE  
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED  
GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE  
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

**1 Main Floor Plan**  
Scale: 1/4" = 1'-0"

PRIMARY: 1711.97 sq.ft. (159.05 sq.m.)  
GARAGE: 484.00 sq.ft. (44.96 sq.m.)  
DECK: 154.00 sq.ft. (14.31 sq.m.)

Date

Nov 09, 2023

Project Address

3442 TRUMPETER STREET  
Royal Bay - Sector 7  
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-80

Scale

As Noted

Drawn By

NS

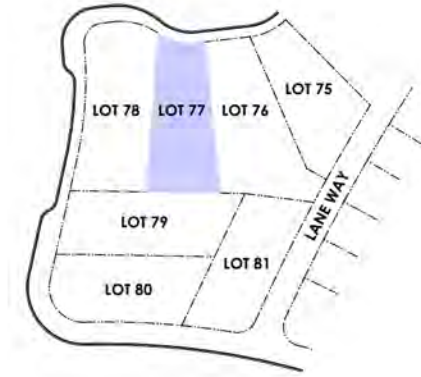


**ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS**

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

\*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN  
NOT TO SCALE



PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY 2 GAL / 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY 2 GAL / 5 GAL

ITEM	AREA (sf)	%
GARDEN BED	322	8%
GRAVEL	248	6%
CONCRETE	580	22%
SOD	2,521	64%
TOTAL	3,941	100%

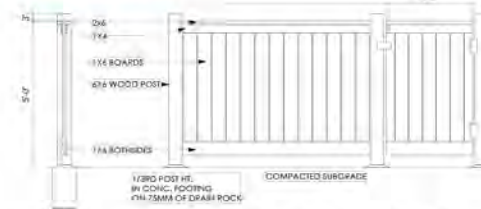
LEGEND	
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE - 2 GAL - 5 GAL

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

Revised - Oct. 12/23  
Similar landscape plan previously accepted by the Developer. Ensure to add tree(s) if required  
C. Hume

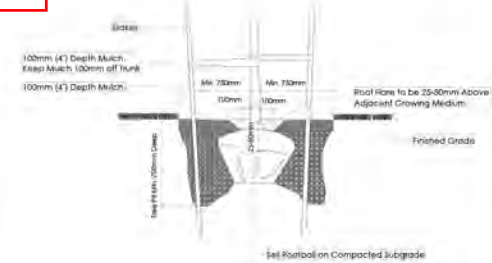
ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

LOCATION INDICATED BY



Typical Fence Detail  
Not To Scale

\*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL (A) FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail  
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m<sup>2</sup> of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:  
PROPERTY TO BE IRRIGATED  
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

**LANDSCAPE PLAN**  
NOT TO SCALE



MM/DD/YY	ISSUED/REVISED	DATE
01	08/14/23	FOR APPROVAL
02	08/29/23	SITE PLAN REVISION
03	10/06/23	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN  
LOT 77, 417 ROCK DOVE PL.  
ROYAL BAY, SECTOR 7  
CITY OF COLWOOD



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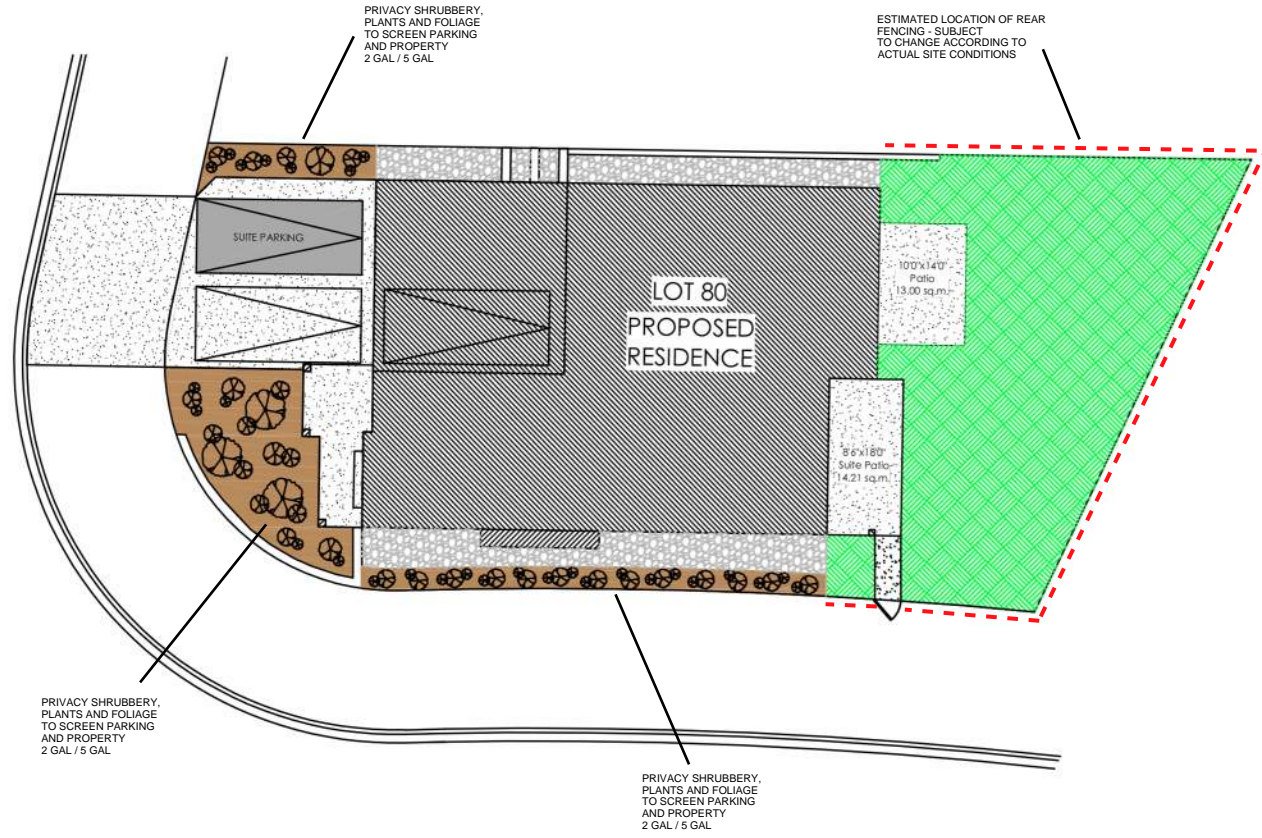
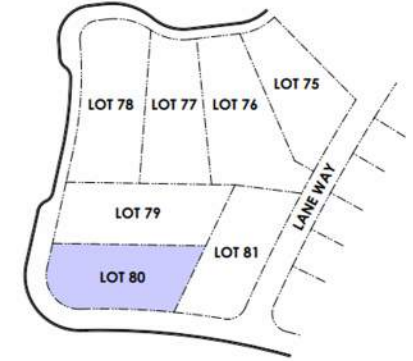


**ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS**

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

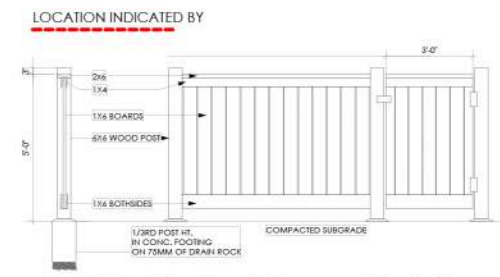
\*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN  
NOT TO SCALE

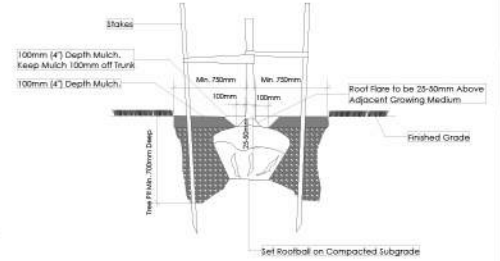


ITEM	AREA (sf)	%
GARDEN BED	506	15.7%
GRAVEL	396	12.3%
CONCRETE	915	28.4%
SOD	1,408	43.6%
TOTAL	3,225	100%

LEGEND	
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE - 2 GAL - 5 GAL
	PRIVACY SHRUBBERY



Typical Fence Detail  
Not To Scale  
TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail  
Not To Scale  
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

**ADDITIONAL NOTES:**  
PROPERTY TO BE IRRIGATED  
**6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES**

**LANDSCAPE PLAN**  
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	10/20/23	FOR APPROVAL
02	11/03/23	SITE PLAN REVISION

PROJECT  
LANDSCAPING PLAN  
LOT 80, 3442 TRUMPETER ST.  
ROYAL BAY, SECTOR 7  
CITY OF COLWOOD

**VERITY**  
CONSTRUCTION

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Victoria, B.C. V9B 0A6

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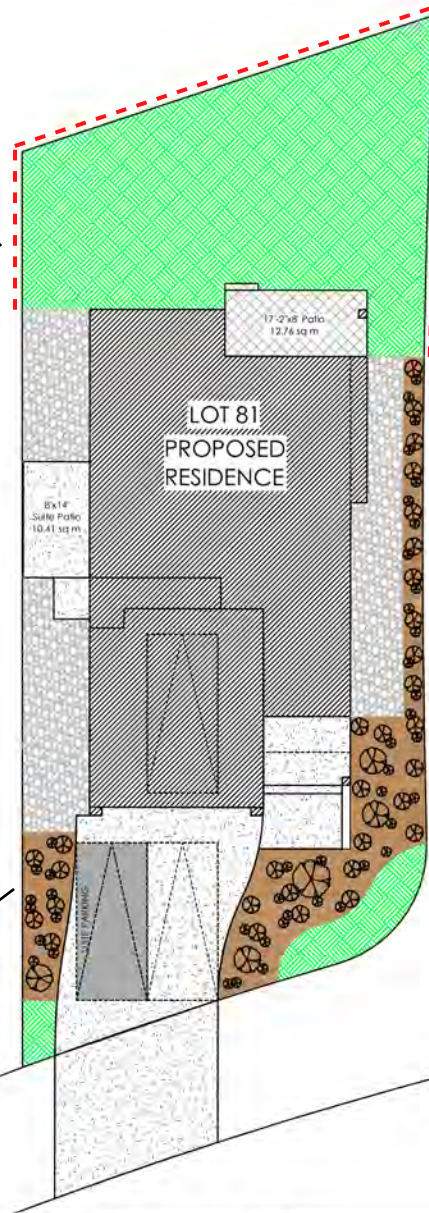
**ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS**

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS



PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY  
2 GAL / 5 GAL



PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY  
2 GAL / 5 GAL

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

\*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

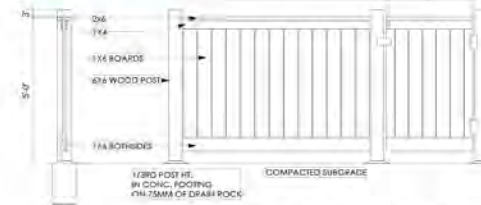
ITEM	AREA (sf)	%
GARDEN BED	561	16%
GRAVEL	612	18%
CONCRETE	837	24%
SOD	1,474	42%
TOTAL	3,485	100%

LEGEND	
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	2 GAL
	5 GAL

KEY PLAN  
NOT TO SCALE

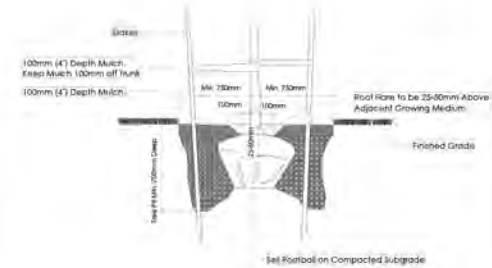


LOCATION INDICATED BY



Typical Fence Detail  
Not To Scale

ADDITIONAL NOTES:  
PROPERTY TO BE IRRIGATED  
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES



Tree Planting Detail  
Not To Scale

All trees and plants by this home owner to be planted in minimum 10m<sup>2</sup> of nettle topsoil, 700mm Deep

August 2/23  
Similar landscape plan previously accepted by the Developer. Ensure to add tree(s) if required  
C. Hume

**LANDSCAPE PLAN**  
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	07/18/23 FOR APPROVAL	PROJECT
		LANDSCAPING PLAN
		LOT 81, 3426 TRUMPETER ST.
		ROYAL BAY, SECTOR 7
		CITY OF COLWOOD

**VERITY**  
CONSTRUCTION

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