



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP000022 - Two Duplexes with Secondary Suites at 3466 & 3464 Trumpeter St

### DEVELOPMENT PERMIT DP000022

THIS PERMIT, issued JULY 10, 2024, is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: BRYDEN, ELIZABETH J  
2299 COMPASS POINTE PL  
LANGFORD BC V9B 6X4

(the "Permittee")

- 
1. This Form and Character (Intensive Residential) Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOTS 65 & 66, SECTION 38, ESQUIMALT LAND DISTRICT, PLAN EPP117070  
3464 & 3466 TRUMPETER ST

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the Form and Character considerations for two duplexes with secondary suites and associated site improvements are consistent with the design guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.

5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:

**Schedule 1** Site Plans, Elevations, Floors Plans, and Cross Sections prepared by Victoria Design Group for Lots 65 & 66 dated June 18, 2024

**Schedule 2** Landscape Plans prepared by Verity Construction for Lots 65 & 66 dated June 18, 2024.

8. This Development Permit authorizes the construction of two duplexes with secondary suites along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

#### **GENERAL**

- 8.1. The following permits issued on the Lands by the City of Colwood apply, remain valid and are in no way diminished by this Development Permit:
  - 8.1.1. All conditions of DP-21-020
- 8.2. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within the Section 219 covenant registered as CA9828109.

#### **FORM AND CHARACTER CONDITIONS**

##### **Building Features**

- 8.3. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Victoria Design Group (Schedule 1).
- 8.4. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.5. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.
- 8.6. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

**Landscaping**

- 8.7. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Verity Construction (Schedule 2).

ISSUED ON THIS 10 DAY OF July, 2024.

  
\_\_\_\_\_  
JOHN ROSENBERG, A.Sc.T.  
DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES

# Schedule 1

SITE DATA		RBCD5	LOT 65
ITEMS		PERMITTED	PROPOSED
LOT AREA	371	866.72 sq.m.	
LOT COVERAGE	50.00 %	27.36 %	
BUILDING HEIGHT	9.50 m.	8.61 m.	
LOT WIDTH	12.20 m.	13.25 m.	
<b>SETBACKS</b>			
- FRONT	3.00 m.	13.11 m.	
- FRONT (GARAGE)	6.00 m.	13.11 m.	
- REAR	6.00 m.	6.15 m.	
- SIDE	1.20 m.	1.83 m.	
- SIDE	1.20 m.	1.20 m.	
<b>PROPOSED FLOOR AREA</b>			
- UPPER		183.95 sq.m.	
- MAIN		162.95 sq.m.	
- LOWER		161.35 sq.m.	
- GARAGE		51.19 sq.m.	
SUB-TOTAL G.F.A.		559.44 sq.m.	
GARAGE ALLOWANCE	50.00 sq.m.	-50.00 sq.m.	
GROSS FLOOR AREA		509.44 sq.m.	
<b>SECONDARY SUITE</b>			
FLOOR AREA (%)	40.00 %	31.47 %	
FLOOR AREA (SQ.M.)	70.00 sq.m.	each 80.68 sq.m.	

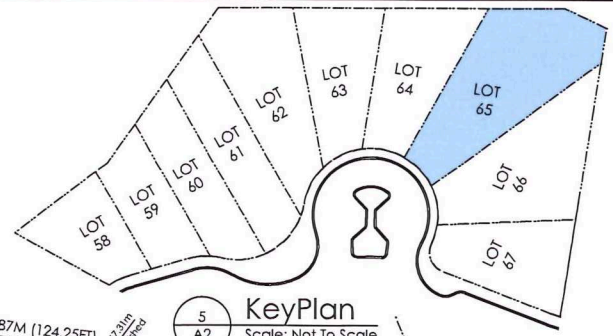
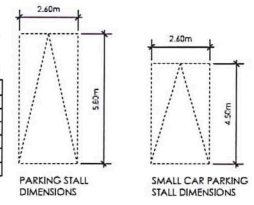
**AVERAGE NATURAL GRADE CALCULATION:**  
 $67.34M + 67.85M + 65.15M + 66.17M = 266.51M/4 = 66.63M$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

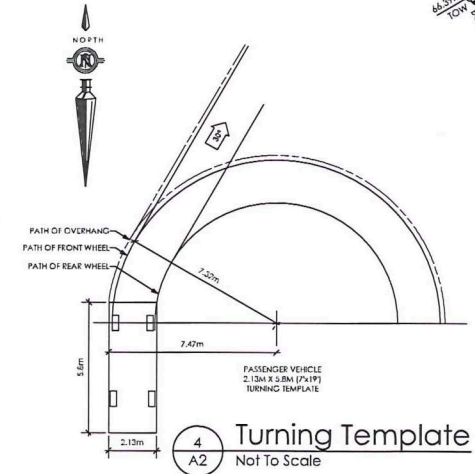
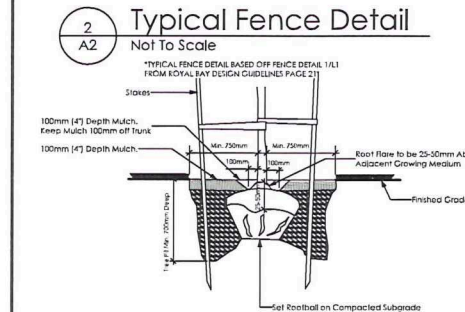
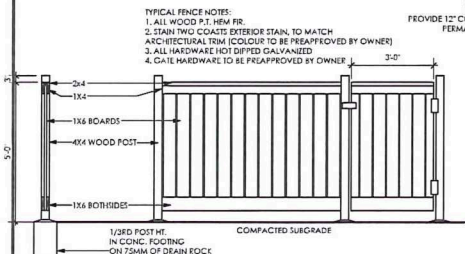
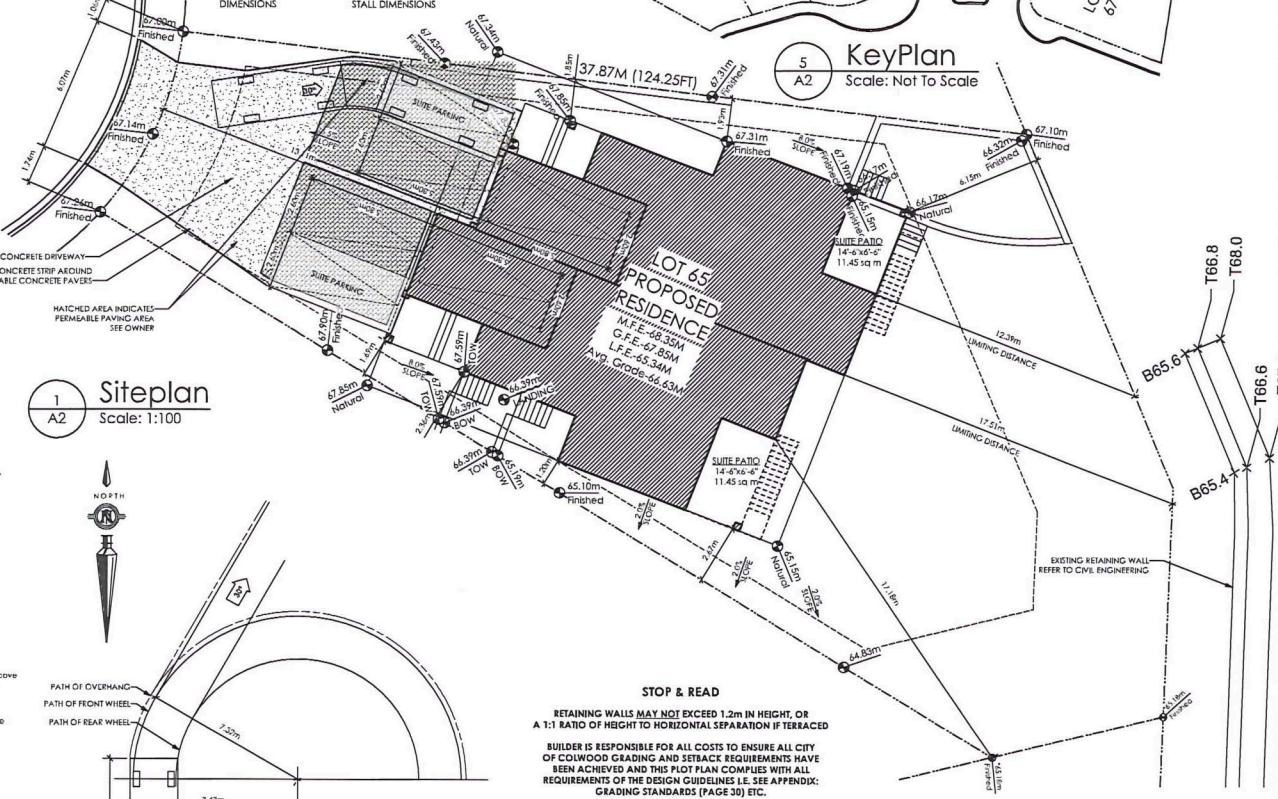
**RETAINING WALLS**  
 \*X.X.M\* = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE TO BE CHECKED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)  
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1:2M MAX. EXPOSED HIT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

**DRIVEWAY HARDSCAPE CALCULATION**

	PERMITTED	PROPOSED
FRONT YARD AREA	N/A	139.30 sq.m.
IMPERMEABLE AREA (SQ.M.)	63.72 sq.m.	63.24 sq.m.
PERMEABLE AREA (PERCENTAGE)	40.00%	39.70%
PERMEABLE AREA (SQ.M.)	92.58 sq.m.	76.06 sq.m.
PERMEABLE AREA (PERCENTAGE)	60.00%	49.30%



**vd | victoria design group**  
 #103 - 8911 A TREE AVENUE  
 VICTORIA, B.C.  
 V9B 0A6  
 P. 250.382.7374  
 F. 250.382.7364



**STOP & READ**

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT, OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

BUILDER IS RESPONSIBLE FOR ALL COSTS TO ENSURE ALL CITY OF COLWOOD GRADING AND SETBACK REQUIREMENTS HAVE BEEN ACHIEVED AND THIS PLOT PLAN COMPLIES WITH ALL REQUIREMENTS OF THE DESIGN GUIDELINES I.E. SEE APPENDIX: GRADING STANDARDS (PAGE 30) ETC.

1: ENSURE A MINIMUM 2% SLOPE AWAY FROM STRUCTURE ON ALL SIDES  
 2: ALL RETAINING REQUIRED MUST MEET GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65M IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.6m IN WIDTH

THE SLEEVES TO BE INSTALLED BY THE BUILDER

ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION

Date  
 June 18, 2024

Project Address  
 Lot 65 - 3466 Trumpeter Street  
 Royal Bay Sector 7

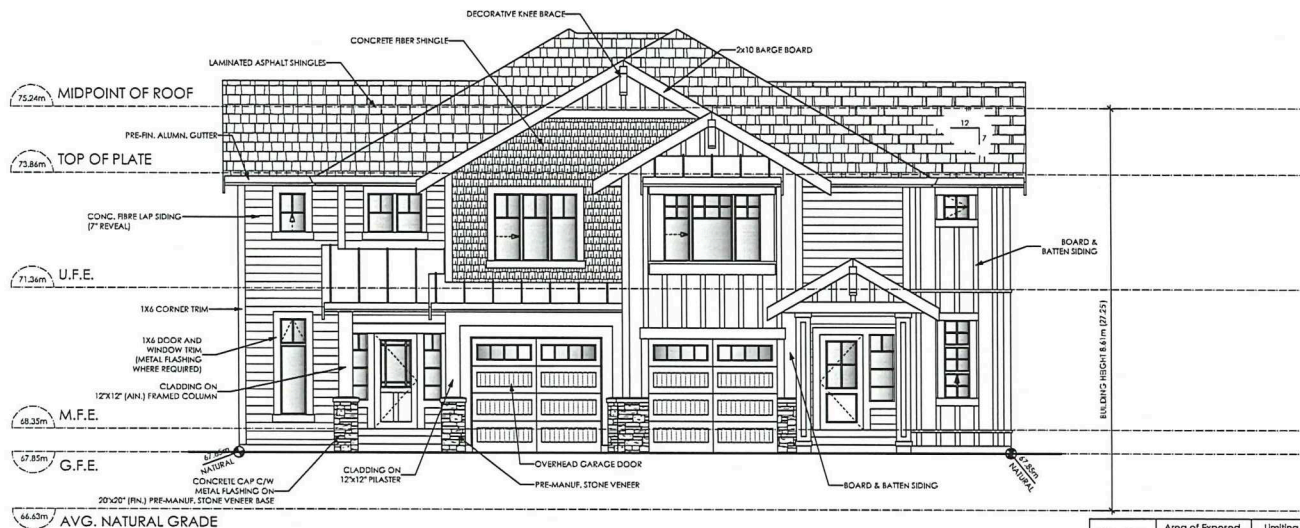
Prepared for  
 Hydrangea Holdings Ltd.  
 c/o Ben Mycroft

Project #  
 8298

Scale  
 AS SHOWN

Drawn By  
 MDK

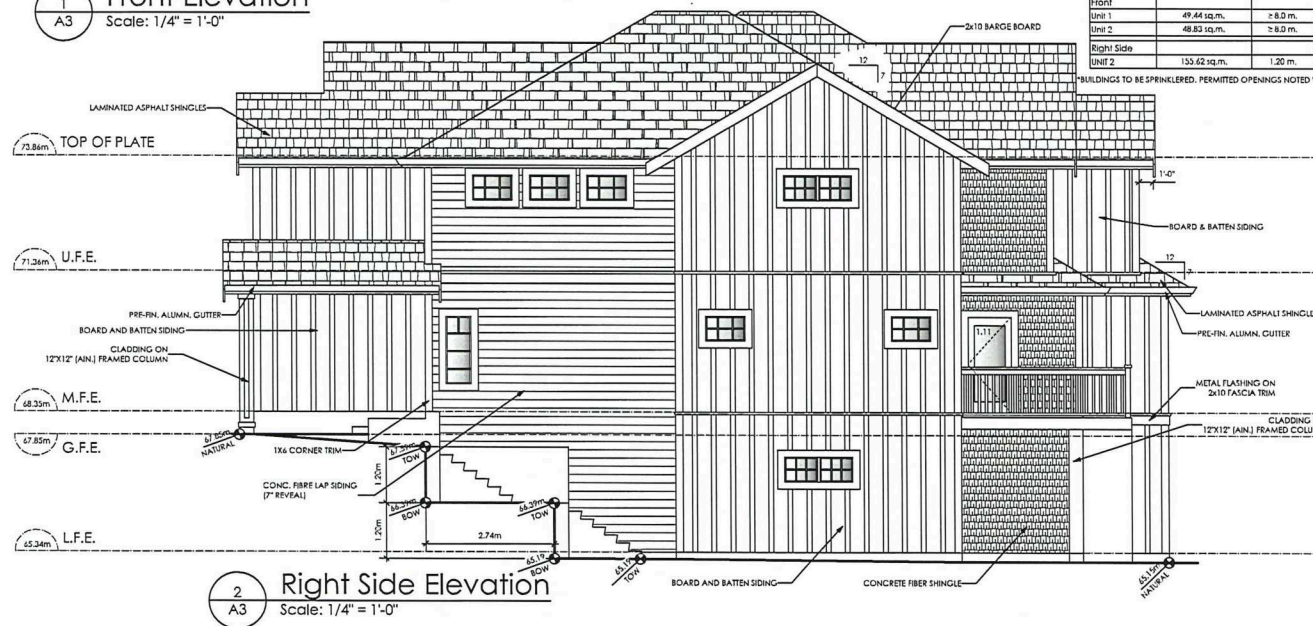
## Development Permit Presentation



1  
A3  
**Front Elevation**  
Scale: 1/4" = 1'-0"

Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening sq.m. Permitted	Opening % Proposed	Opening sq.m. Proposed
Front						
Unit 1	49.44 sq.m.	≥ 8.0 m.	100.00%	49.44 sq.m.	15.94%	7.88 sq.m.
Unit 2	48.83 sq.m.	≥ 8.0 m.	100.00%	48.83 sq.m.	14.52%	7.09 sq.m.
Right Side						
Unit 2	155.62 sq.m.	1.20 m.	14.00%	21.79 sq.m.	4.13%	6.43 sq.m.

BUILDINGS TO BE SPRINKLERED. PERMITTED OPENINGS NOTED WITH BCRC TABLE 9.10.15.4 TO BE DOUBLED IN ACCORDANCE WITH BCRC 9.10.15.4.(7)



2  
A3  
**Right Side Elevation**  
Scale: 1/4" = 1'-0"

Date

June 18, 2024

Project Address

Lot 65 - 3466 Trumpeter Street  
Royal Bay Sector 7

Prepared for

Hydrangea Holdings Ltd.  
c/o Ben Mycroft

Project #

8298

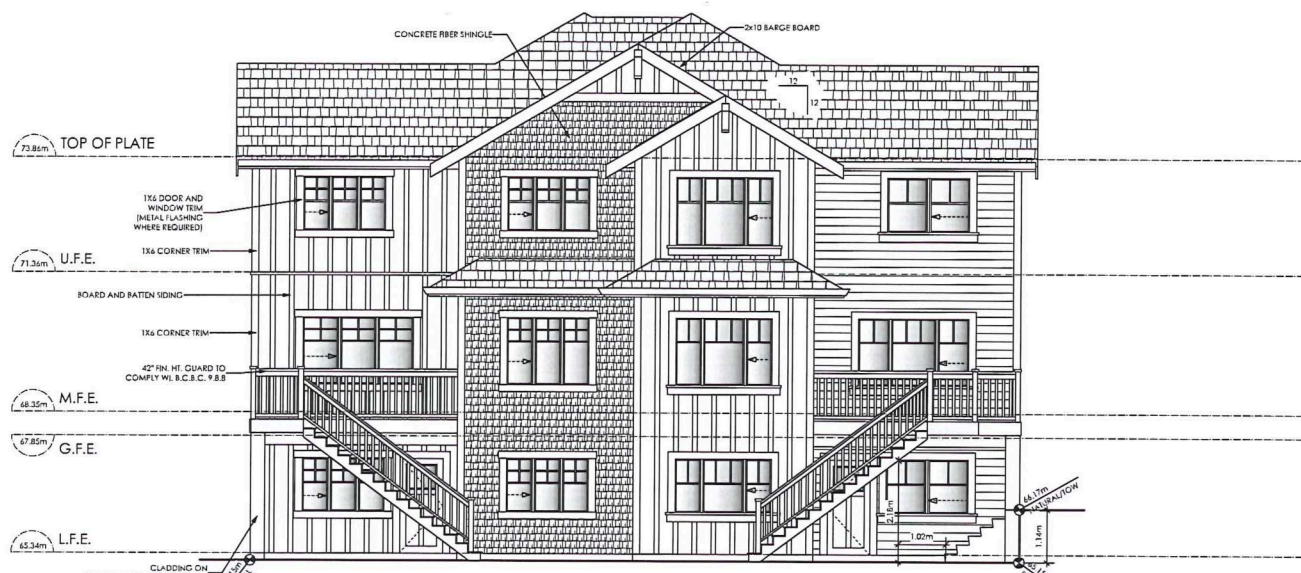
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MDK

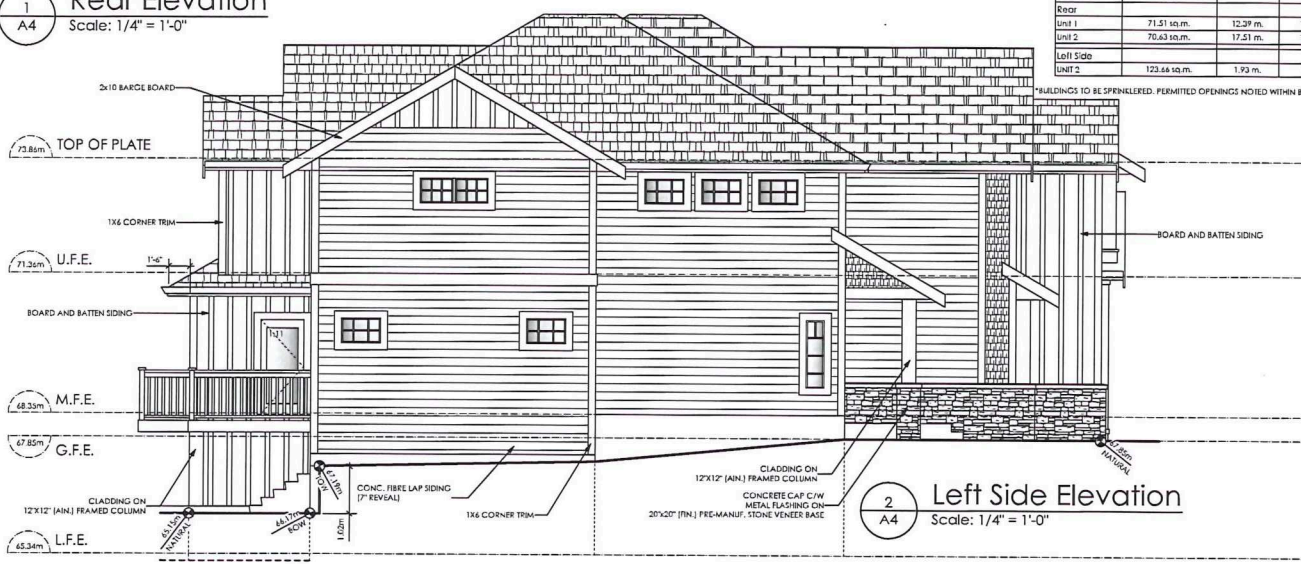
**Development Permit Presentation**



1  
A4  
**Rear Elevation**  
Scale: 1/4" = 1'-0"

Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening sq.m. Permitted	Opening % Proposed	Opening sq.m. Proposed
Rear						
Unit 1	71.51 sq.m.	12.39 m.	100.00%	71.51 sq.m.	33.93 %	17.11 sq.m.
Unit 2	70.63 sq.m.	17.51 m.	100.00%	70.63 sq.m.	21.43 %	15.28 sq.m.
Left Side						
UNIT 2	123.68 sq.m.	1.93 m.	14.00%	17.31 sq.m.	4.30 %	5.32 sq.m.

BUILDINGS TO BE SPFVENERED. PERMITTED OPENINGS NOTED WITHIN BCBC TABLE 9.10.15.4 TO BE DOUBLED IN ACCORDANCE WITH BCBC 9.10.15.4 (7)



2  
A4  
**Left Side Elevation**  
Scale: 1/4" = 1'-0"

Date

June 18, 2024

Project Address

Lot 65 - 3466 Trumpeter Street  
Royal Bay Sector 7

Prepared for

Hydrangea Holdings Ltd.  
c/o Ben Mycroft

Project #

8298

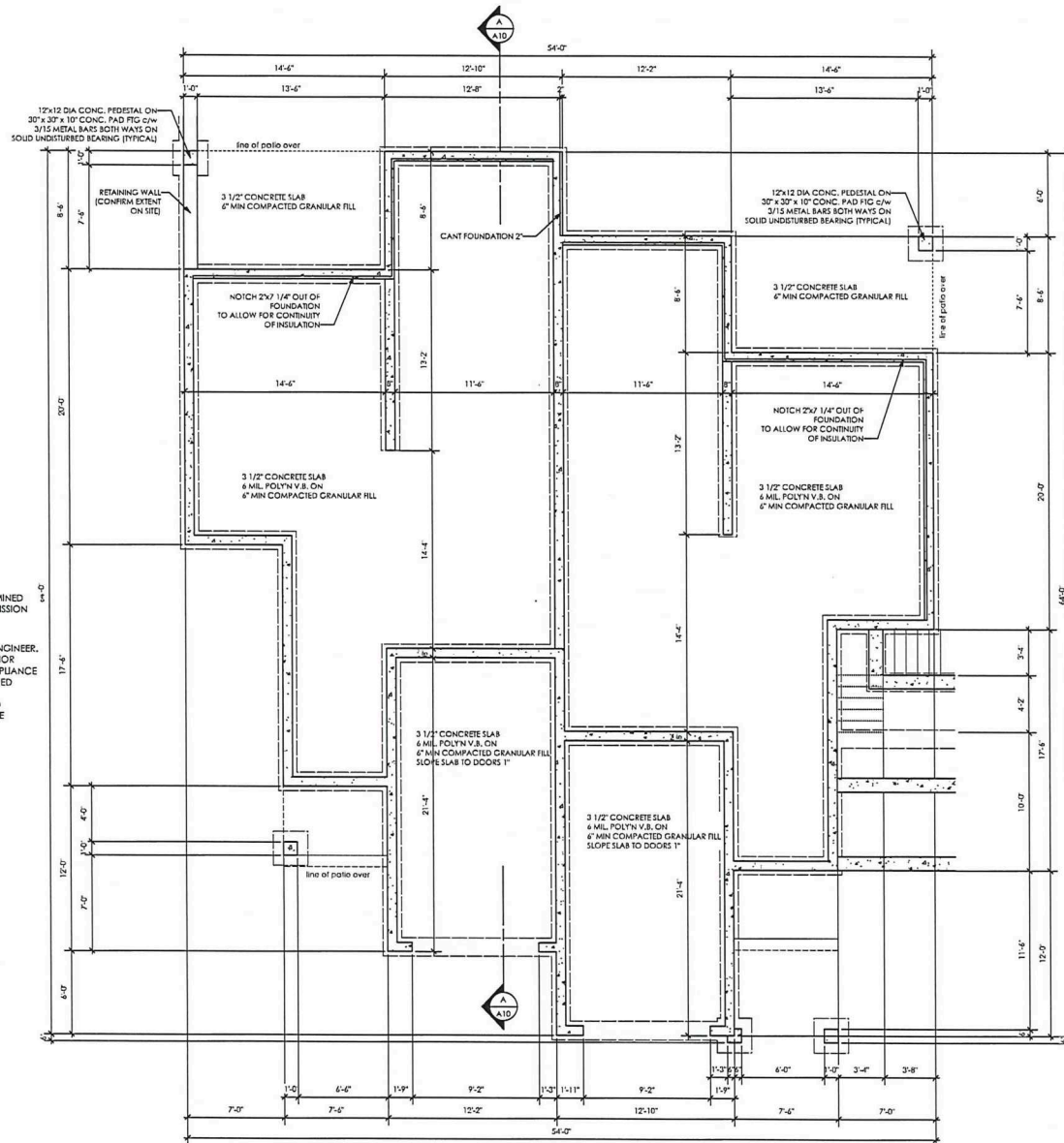
Scale

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Drawn By

MDK

# Development Permit Presentation



**MECHANICAL FAN(S) & VENT(S)**

- 1) BATHROOM FAN: 23 US (20 CFM) INTERMITTENT 9 US (20 CFM) CONTINUOUS
- 2) PRINCIPAL EXHAUST FAN: 28 US (20 CFM) CONTINUOUS
- 3) PRINCIPAL EXHAUST & BATHROOM FAN FOR SUITE: 23 US (20 CFM) INTERMITTENT 14 US (20 CFM) CONTINUOUS
- 4) PASSIVE SUPPLY VENT
- 5) AIR TRANSFER GRILLE REFER TO GENERAL NOTES
- 6) INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH BCBC 9.10.19, INTERCONNECTED CARBON MONOXIDE DETECTORS TO COMPLY WITH BCBC 9.20.4.2.
- 7) INTERCONNECTED PHOTOELECTRIC SMOKE ALARMS TO COMPLY WITH BCRC 9.10.14.5(2)(b) & 9.10.19.2(2)(b)

**SYMBOLS & WALL LEGEND**

- 2" X 4" INTERIOR & FURRING
- 2" X 4" EXTERIOR & INTERIOR
- RATED WALL (SEE ASSEMBLIES)
- 8" TH. CONC. FOUNDATION WALL
- 16" X 8" CONC. STRIP FOOTING
- BULTUP WOOD POST
- WOOD POST TO SUPPORT LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

**DOOR SCHEDULE**

- 1) 2'10 X 6'8 (34" X 80")
- 2) 8'0 X 6'8 (76" X 80")
- 3) 6'0 X 6'8 (72" X 80")
- 4) 5'0 X 6'8 (60" X 80")
- 5) 4'0 X 6'8 (48" X 80")
- 6) 3'0 X 6'8 (36" X 80")
- 7) 2'8 X 6'8 (32" X 80")
- 8) 2'4 X 6'8 (30" X 80")
- 9) 2'4 X 6'8 (28" X 80")
- 10) 2'0 X 6'8 (24" X 80")
- 11) 1'6 X 6'8 (18" X 80")

**LIST OF DRAWINGS**

A1	General Notes
A2	Site plan
A3	Elevations (Front / Right)
A4	Elevations (Rear / Left)
A5	Foundation Plan
A6	Lower Floor Plan
A7	Main Floor Plan
A8	Upper Floor Plan
A9	Lighting Plan
A10	Class Section A-A
D1	Construction Details
D2	Inter-screen Details
<b>ISSUED/REVISED</b>	
01	18/10/23 Design Draft for Client review
02	18/04/24 For Building Permit Application

**vg victoria design group**  
 103 - 891 Attree Avenue P. 250.382.7374  
 Victoria, B. C. F. 250.382.7364  
 V9B 8A6 www.victoriadesigngroup.ca

DATE	Jun 18, 2024	NO.	8298-65
DRAWN BY	MDK	REVIEWED BY	MRB
SCALE	As Shown	SHEET NO.	A4 OF A10

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 VDC PERMITS THE PURCHASER OF THIS PLAN TO EXECUTE WORK PREPARED FOR THIS PROJECT ONLY.

**PROJECT**  
**PROPOSED RESIDENCE**  
 Hydrangea Holdings c/o  
 Ben Mycroft  
 Royal Bay, Sector 7, Lot 65  
 3466 Trumpeter Street  
 Colwood B.C.

BUILDING TO BE SPRINKLERED PIPE LINLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION

**NOTE:**  
 ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER, STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C., 9.2.9.(3)

**NOTE:**  
 ROOM SIZES NOTED ON FLOOR PLANS ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION

SEE ELEVATIONS FOR WINDOW AND DOOR DESIGN AND CLARIFICATION ON WINDOW OPERATION.

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC 9.9.16.1 (EXCESS) FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

**1** Foundation Plan  
 Scale: 1/4" = 1'-0"

B.C. BUILDING CODE (TABLE 9.10.3.1.A)  
RAISED FLOOR ASSEMBLY (RFD)  
FINISHED FLOORING ON  
NOT FINISHED FLOORING UNDER STAIRS  
1/2" CORDON STRAND BOARD  
(FASTENED & GULLED TO FLOOR STRUCTURE)  
2-10 FLOOR JOISTS @ 16" O/C  
C/W 2-2 X 8 BRIDGING @ 7.0' O/C (MAX)  
R-31 INSULATION  
RESISTENT METAL CHANNELS @ 24" O/C  
1 LAYER 5/8" X 3/4" PIPE C/PUMP BOARD  
30 MINUTE F.R.R., 20 S.T.C.

B.C. BUILDING CODE (TABLE 9.10.3.1.B)  
RAISED FLOOR ASSEMBLY (RFD)  
FINISHED FLOORING ON  
NOT FINISHED FLOORING UNDER STAIRS  
1/2" CORDON STRAND BOARD  
(FASTENED & GULLED TO FLOOR STRUCTURE)  
2-10 FLOOR JOISTS @ 16" O/C  
C/W 2-2 X 8 BRIDGING @ 7.0' O/C (MAX)  
R-31 INSULATION  
RESISTENT METAL CHANNELS @ 24" O/C  
1 LAYER 5/8" X 3/4" PIPE C/PUMP BOARD  
30 MINUTE F.R.R., 20 S.T.C.

BUILDING TO BE SPRINKLERED. PIPE INLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION.

**NOTE:**  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.  
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED.

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITES AND DECAY PROTECTION B.C.B.C., 9.3.2.9.(3)

**NOTE:**  
ROOM SIZES NOTED ON FLOOR PLANS ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION.

SEE ELEVATIONS FOR WINDOW AND DOOR DESIGN AND CLARIFICATION ON WINDOW OPERATION.

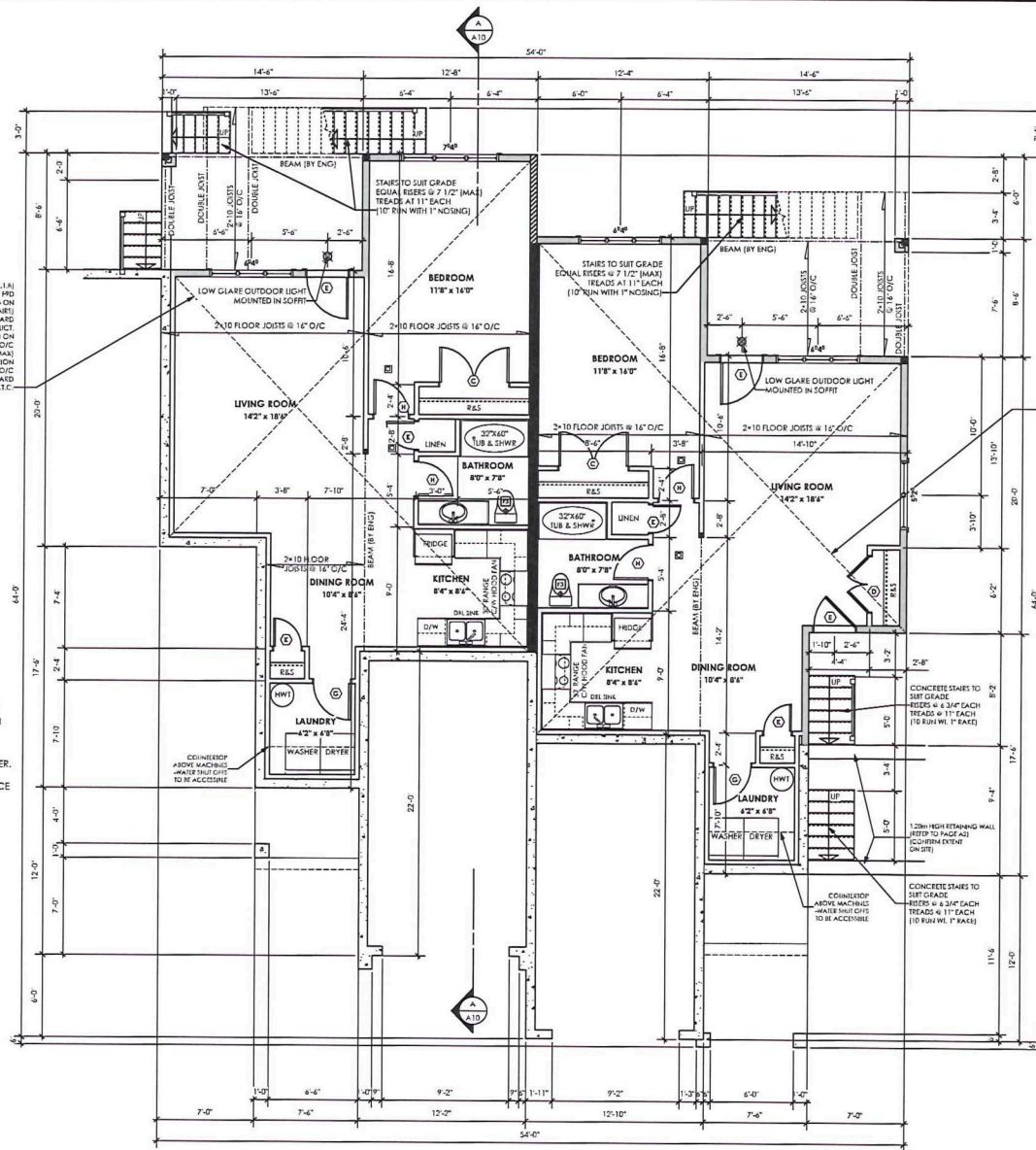
ONE WINDOW PER BEDROOM TO COMPLY WITH B.C.B.C. 9.10.1 (REGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING.

1 Lower Floor Plan  
A6 Scale: 1/4" = 1'-0"

Unit 1 Secondary Suite: 872.25 sq.ft. [81.03 sq.m.]

Unit 2 Secondary Suite: 864.58 sq.ft. [80.32 sq.m.]

Total: 1736.83 sq.ft. [161.35 sq.m.]



Date  
June 18, 2024

Project Address  
Lot 65 - 3466 Trumpeter Street  
Royal Bay Sector 7

Prepared for  
Hydrangea Holdings Ltd.  
c/o Ben Mycroft

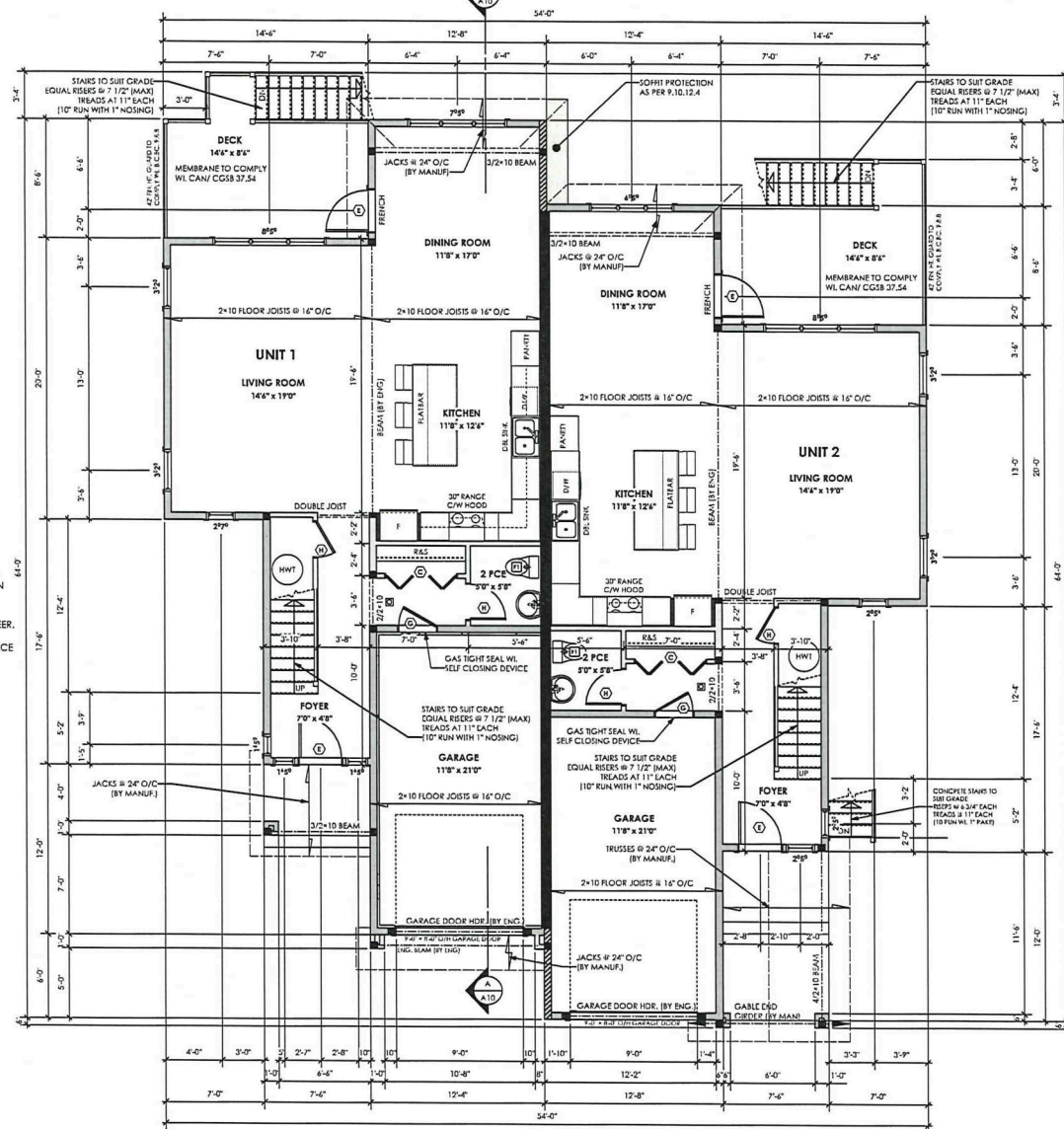
Project #  
8298

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AS SHOWN

Drawn By  
MDK

# Development Permit Presentation





BUILDING TO BE SPRINKLERED. PIPE LINLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION

**NOTE:**  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

**NOTE:**  
ROOM SIZES NOTED ON FLOOR PLANS ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION

SEE ELEVATIONS FOR WINDOW AND DOOR DESIGN AND CLARIFICATION ON WINDOW OPERATION.

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC 9.10.1.1 (REGRESS FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

1 Main Floor Plan  
A7 Scale: 1/4" = 1'-0"

Unit 1:  
PRIMARY: 872.25 sq.ft. (81.03 sq.m.)  
GARAGE: 275.00 sq.ft. (25.55 sq.m.)

Unit 2:  
PRIMARY: 881.75 sq.ft. (81.92 sq.m.)  
GARAGE: 276.00 sq.ft. (25.64 sq.m.)

Total:  
PRIMARY: 1754.00 sq.ft. (162.95 sq.m.)  
GARAGE: 551.00 sq.ft. (51.19 sq.m.)

Date  
June 18, 2024

Project Address  
Lot 65 - 3466 Trumpeter Street  
Royal Bay Sector 7

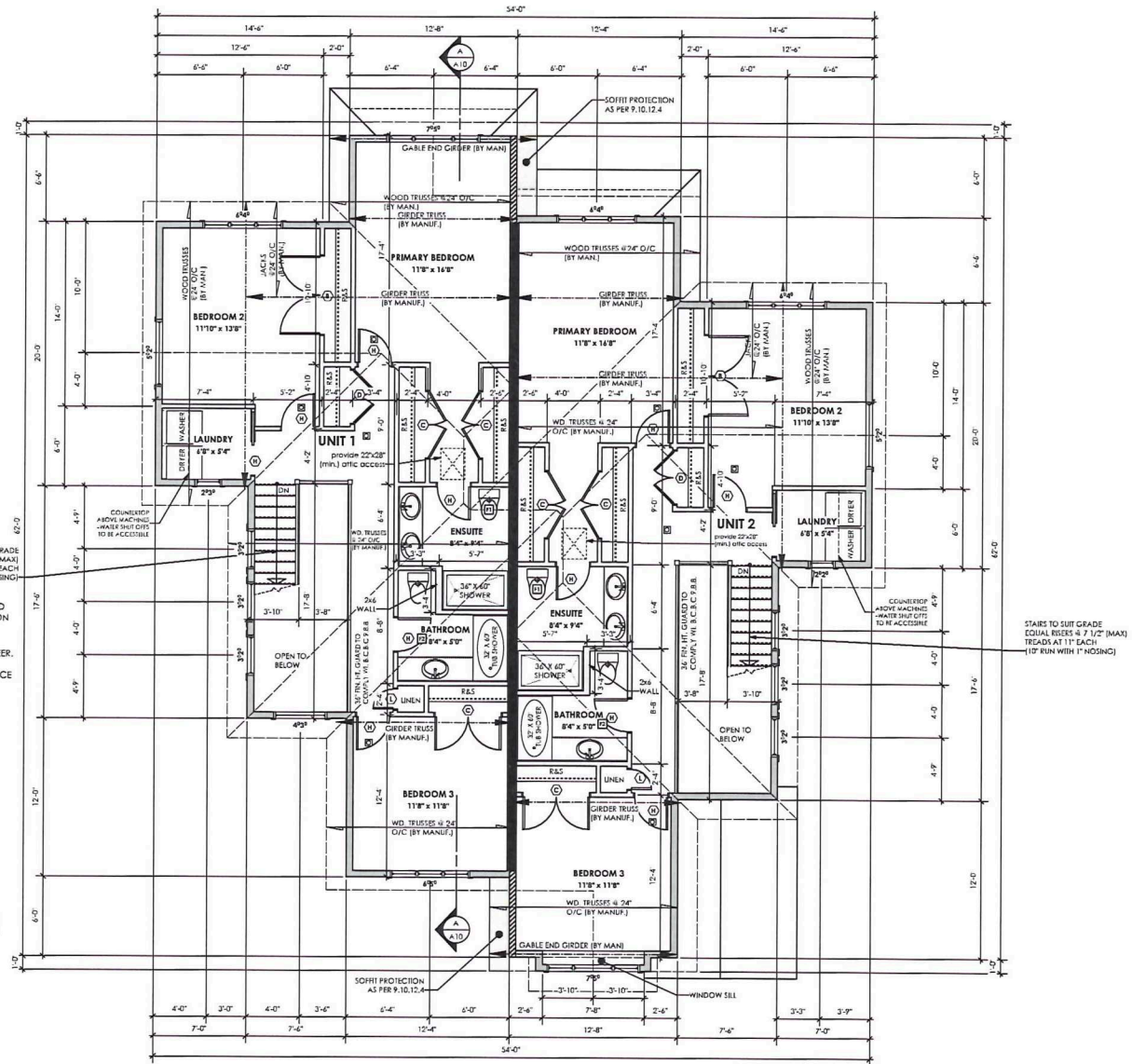
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MDK

# Development Permit Presentation



BUILDING TO BE SPRINKLERED. PIPE LINLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION

**NOTE:**  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

**NOTE:**  
ROOM SIZES NOTED ON FLOOR PLANS ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION  
SEE ELEVATIONS FOR WINDOW AND DOOR DESIGN AND CLARIFICATION ON WINDOW OPERATION.

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC 9.9.10.1. (EXCEPT FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (BED) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

**1** Upper Floor Plan  
A8 Scale: 1/4" = 1'-0"

**FLOOR AREA**  
Unit 1:  
PRIMARY: 989.83 sq.ft. [91.96 sq.m.]  
Unit 2:  
PRIMARY: 990.16 sq.ft. [91.99 sq.m.]  
Total: 1979.99 sq.ft. [183.95 sq.m.]

Date  
June 18, 2024

Project Address  
Lot 65 - 3466 Trumpeter Street  
Royal Bay Sector 7

Prepared for  
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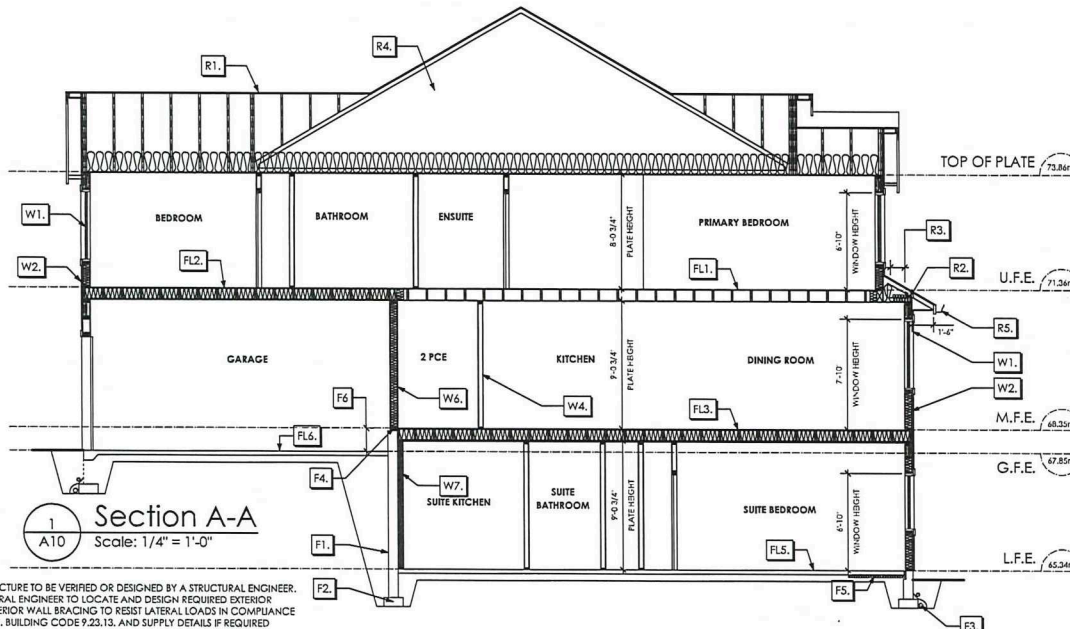
# Development Permit Presentation

Section Notes

FLOORS



#103 - 891 ATTREE AVENUE  
VICTORIA, B.C.  
V9B 0A6  
P. 250.382.7374  
F. 250.382.7364



Section A-A  
Scale: 1/4" = 1'-0"

NOTE:  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.  
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR  
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE  
WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED  
GROUND LEVEL SHALL BE PRESURE TREATED WITH A PRESERVATIVE  
FOR TERMITE AND DECAY PROTECTION 8.C.B.C. 9.3.2.9.(3)

- ROOFS**
- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD W/ BRUSSES (DISIGNED BY HANKE) R-6 FIBRE GLASS BATT INSULATION OR 1 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETBACK) 6 MIL POLYTH V.B. 5/8" X-TYPE GYPSUM BOARD
  - R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-6 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'x7' (1.2M) ARROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
  - R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 1/2" PAST EXTERIOR WALL.
  - R4. PROVIDE 1 SQ. FT. ATTIC VENT PER 300 SQ. FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1.)
  - R5. PRE-FIN. FASCIA CUTLER 2" FASCIA BD. 2"x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- WALLS**
- W1. DOUBLE GLAZING ENERGY STAR LOW E BATING IN EXTERIOR FRAME FINISH 2 1/2"x10" LITE OVER (4" BEARING WALLS ONLY) (TYPICAL W/ 2 1/2" XPS INSULATION) (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SPF)) SEE GENERAL NOTES FOR MAIS AND STEP CODE REQUIREMENTS
  - W2. CONC. FIBRE BOARD (PANEL OR LAP JOINTS) ON 9.2MM (3/8") AIR SPACE / STRAPPING 3/8" x 2" BORAIE TREATED FLYWOOD STRAPPING BUILDING WRAP ON 7/16" ORIENTED STRAND BOARD SHEATHING 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYTHENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
  - W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY (F.T.A. 1 HOUR F.R.R. CONC. FIBRE BOARD ON 9.2MM (3/8") AIR SPACE / STRAPPING 3/8" x 2" BORAIE TREATED FLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYTH V.B. 5/8" X-TYPE GYPSUM BOARD (REFER TO DETAILS ON D1) (NOT IN SECTION)
  - W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x4 STUDS @ 16" O/C (IF NOTED)
  - W5. PRE-MANUFACTURED STONE VENEER (INSTALLED TO MANUF. SPEC) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SETTING COAST ON METAL LATH INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HUL-TEX FIBREBOARD OR EQ.) 9.2MM (3/8") AIR SPACE / STRAPPING 3/8" x 2" BORAIE TREATED FLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x4 STUDS @ 16" (AS REQUIRED) (NOT IN SECTION)
  - W6. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL POLYTH V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
  - W7. 1/2" GYPSUM BOARD ON 6 MIL POLYTH V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.14.)
  - W8. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY (W.3.A. 1.0 HR. F.R.R. - SF S.T.C. 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS @ 16" O/C C/W 3 1/2" FIBREGLASS INSULATION (BOTH SIDES) FRICTION FITTED AND SOLID FILLED TAPE SPACE 2x4 STUDS @ 16" O/C C/W 2 1/2" FIBREGLASS INSULATION (BOTH SIDES) FRICTION FITTED AND SOLID FILLED 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON (NOT IN SECTION)
- FLOORS**
- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2"x X-BRIDGING @ 7'0" O/C (MAX) 1/2" GYPSUM BOARD
  - FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2"x X-BRIDGING @ 7'0" O/C (MAX) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
  - FL3. B.C. BUILDING CODE (TABLE 9.10.3.1.B) SAVED FLOOR ASSEMBLY FRO FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2"x X-BRIDGING @ 7'0" O/C (MAX) R-31 INSULATION RESISTENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD 1 HOUR F.R.R. - S4 S.T.C.
  - FL4. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2"x X-BRIDGING @ 7'0" O/C (MAX) PROVIDE 8.31 F/C BATT INSULATION IN JOIST CAVITY BUILDING WRAP VENTED SOFFIT (NO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS AND WINDOW SILLS (NOT IN SECTION)
  - FL5. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL POLYTH V.B. 6" COMPACTED GRAVEL OR SAND
  - FL6. 3 1/2" CONCRETE SLAB 6 MIL POLYTH V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1'
  - FL7. DECKING MEMBRANE (TO COMPLY WITH CAN/CSA 37.54) ON 19/32" ORIENTED STRAND BOARD 2x10 DECK JOISTS @ 16" O/C C/W PROVIDE ADHESIVE MEMBRANE "TERRAZO" @ EXT. WALLS (SLOPE JOISTS TO PROVIDE MIN. 1:20 SLOPE) (NOT IN SECTION)
- FOUNDATION WALLS**
- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 H BASE @ 24" O/C S/W
  - F2. 16X 8" CONC. FOOTINGS C/W 2 (TYP) 15M BASES CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
  - F3. 4" PERIMETER DRAIN 3" RIGID PIPE FOR RWL DRAIN HOOD
  - F4. ANCHOR BOLTS @ 48 FT. O/C MAX C/W SILL GASKETS
  - F5. 2 1/2" EXTRUDED POLYSTYRENE RIGID INSULATION APPLIED TO CONC. FDN. WALL (CRAWL SPACE ONLY) INSULATION TO EXTEND TO TOP OF 2" CONC. GROUND SEAL
  - F6. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE

Development Permit Presentation

Date  
June 18, 2024

Project Address  
Lot 65 - 3466 Trumpeter Street  
Royal Bay Sector 7

Prepared for  
Hydrangea Holdings Ltd.  
c/o Ben Mycroft

Project #  
8298

Scale  
AS SHOWN

Drawn By  
MDK





Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening sq.m. Permitted	Opening % Proposed	Opening sq.m. Proposed
Front						
Unit 1	49.08 sq.m.	≥ 8.0 m.	100.00%	49.08 sq.m.	16.06 %	7.89 sq.m.
Unit 2	48.48 sq.m.	≥ 8.0 m.	100.00%	48.48 sq.m.	14.62 %	7.09 sq.m.
Right Side						
Unit 2	132.00 sq.m.	2.38 m.	16.00%	24.32 sq.m.	3.9 %	6.00 sq.m.

\*BUILDINGS TO BE SPRINKLERED. PERMITTED OPENINGS NOTED WITHIN BCRC TABLE 9.10.15.4 TO BE DOUBLED IN ACCORDANCE WITH BCRC 9.10.15.4 (7)



## Development Permit Presentation

Date

June 18, 2024

Project Address

Lot 66 - 3464 Trumpeter Street  
Royal Bay Sector 7

Prepared for

Verify Construction

Project #

8298

Scale

AS SHOWN

Drawn By

MDK



1 Rear Elevation  
A4 Scale: 1/4" = 1'-0"

Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening sq.m. Permitted	Opening % Proposed	Opening sq.m. Proposed
Rear						
Unit 1	72.48 sq.m.	6.75 m.	68.00%	49.97 sq.m.	20.79 %	15.28 sq.m.
Unit 2	70.63 sq.m.	7.53 m.	68.00%	48.03 sq.m.	21.63 %	15.26 sq.m.
Left Side						
Unit 2	142.33 sq.m.	2.04 m.	16.00%	22.77 sq.m.	4.31 %	6.14 sq.m.

BUILDINGS TO BE SPRINKLERED. PERMITTED OPENINGS NOTED WITH BCBC TABLE 9.10.15.4 TO BE DOUBLED IN ACCORDANCE WITH BCBC 9.10.15.4.(7)



2 Left Side Elevation  
A4 Scale: 1/4" = 1'-0"

Date

June 18, 2024

Project Address

Lot 66 - 3464 Trumpeter Street  
Royal Bay Sector 7

Prepared for

Verity Construction

Project #

8298

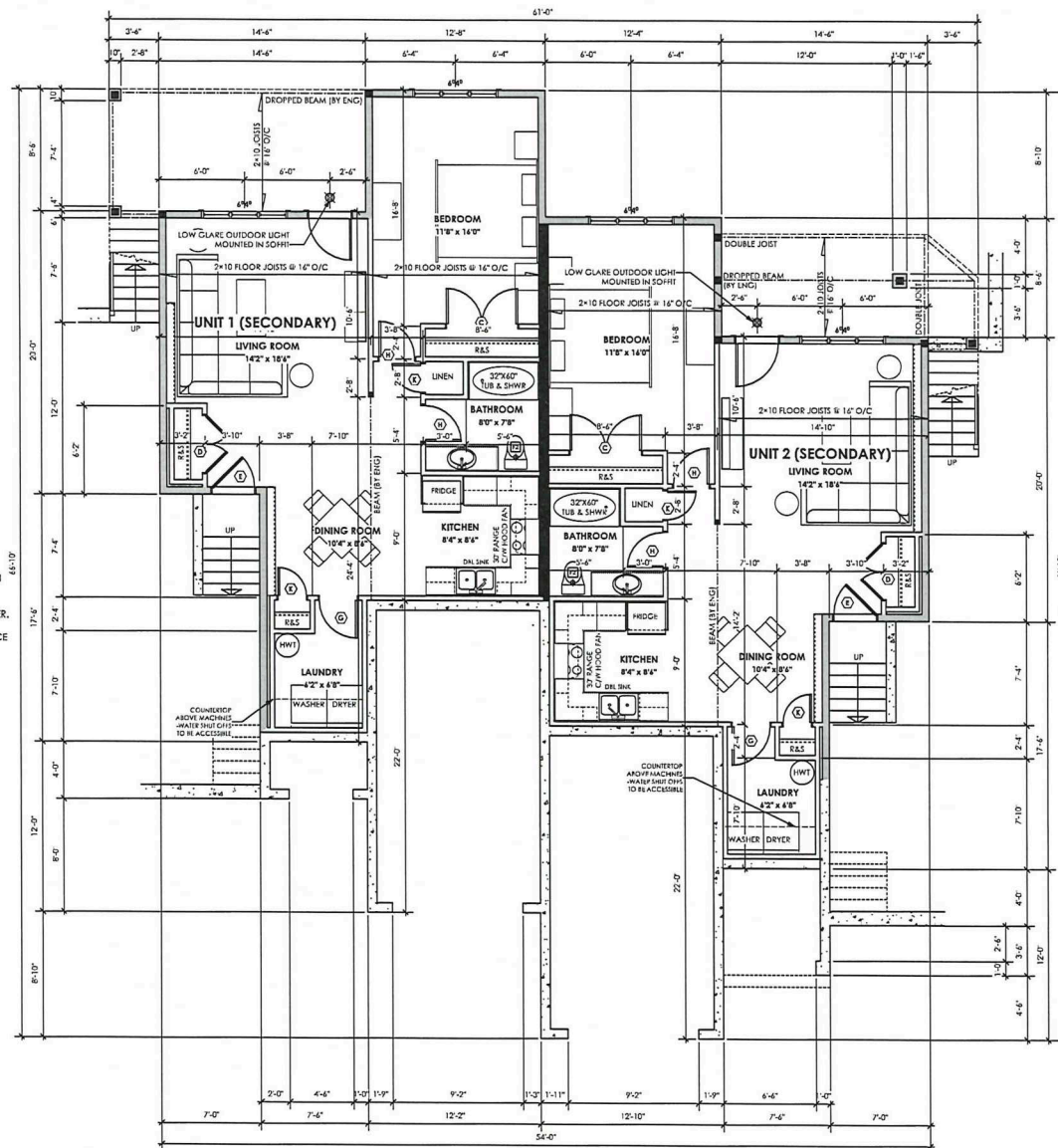
Scale

AS SHOWN

Drawn By

MDK

# Development Permit Presentation



BUILDING TO BE SPRINKLERED. PIPE LINLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION

NOTE:  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.4.(3)

NOTE:  
ROOM SIZES NOTED ON FLOOR PLANS ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION

SEE ELEVATIONS FOR WINDOW AND DOOR DESIGN AND CLARIFICATION ON WINDOW OPERATION.

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC 9.9.10.1 (EGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

1 Lower Floor Plan  
A4 Scale: 1/4" = 1'-0"

Unit 1 Secondary Suite:  
PRIMARY: 872.72 sq.ft. (81.08 sq.m.)

Unit 2 Secondary Suite:  
PRIMARY: 868.31 sq.ft. (80.67 sq.m.)

Total: 1741.03 sq.ft. (161.75 sq.m.)

Date  
June 18, 2024

Project Address  
Lot 66 - 3464 Trumpeter Street  
Royal Bay Sector 7

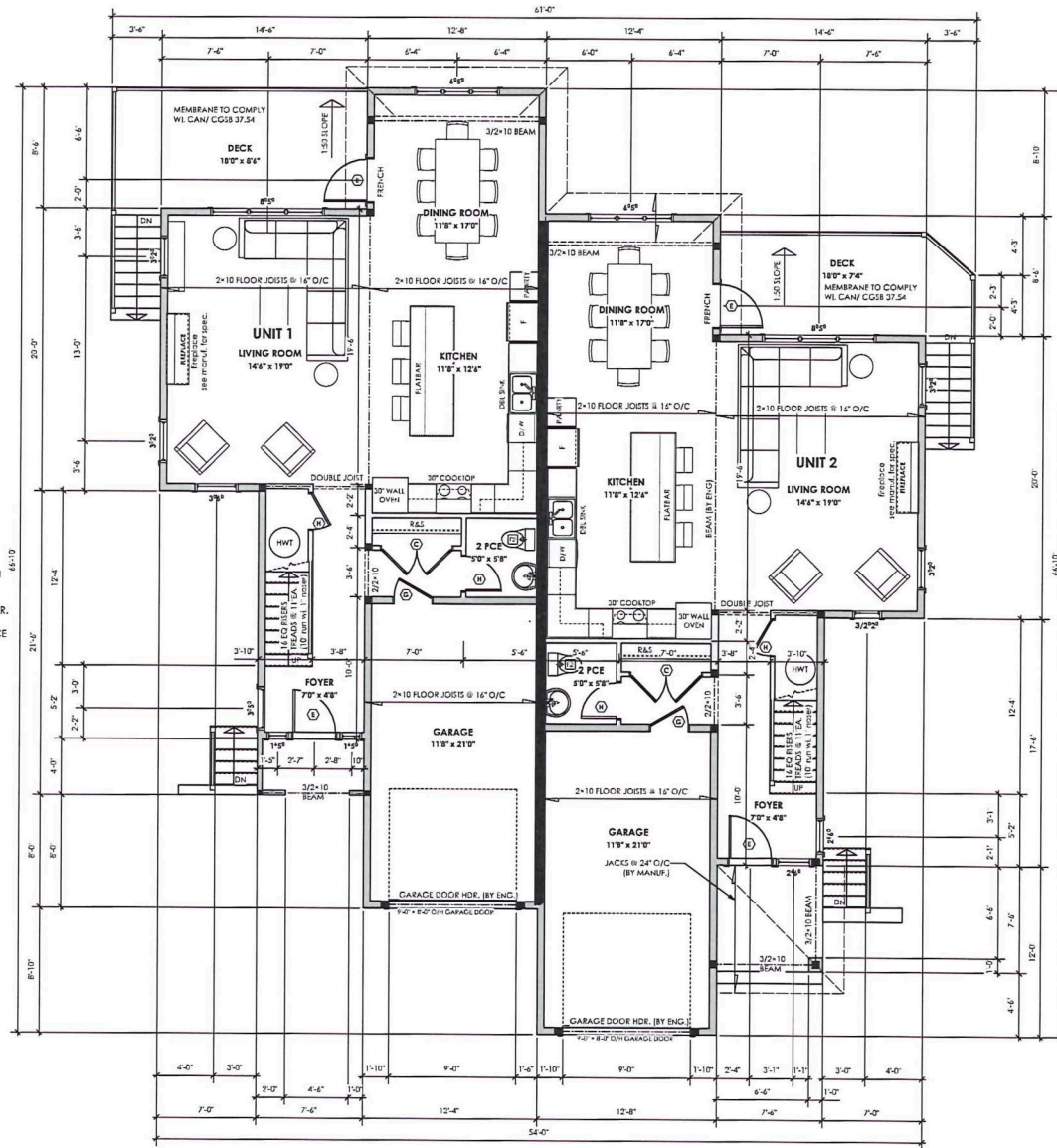
Prepared for  
Verify Construction

Project #  
8298

Scale  
AS SHOWN

Drawn By  
MDK

Development Permit Presentation



BUILDING TO BE SPRINKLERED PIPE LINLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION

**NOTE:**  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.S.C. 9.3.2.9 (3)

**NOTE:**  
ROOM SIZES NOTED ON FLOOR PLANS ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION

SEE ELEVATIONS FOR WINDOW AND DOOR DESIGN AND CLARIFICATION ON WINDOW OPERATION.

ONE WINDOW PER BEDROOM TO COMPLY WITH BCRC #9.10.1 (EXCEPT FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

1 Main Floor Plan  
A5 Scale: 1/4" = 1'-0"

Unit 1:  
PRIMARY: 872.72 sq.ft. (81.08 sq.m.)  
GARAGE: 275.00 sq.ft. (25.55 sq.m.)

Unit 2:  
PRIMARY: 871.25 sq.ft. (80.94 sq.m.)  
GARAGE: 276.47 sq.ft. (25.69 sq.m.)

Total:  
PRIMARY: 1743.97 sq.ft. (162.02 sq.m.)  
GARAGE: 551.47 sq.ft. (51.24 sq.m.)

BUILDING TO BE SPRINKLERED PIPE LINLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION

Date  
June 18, 2024

Project Address  
Lot 66 - 3464 Trumpeter Street  
Royal Bay Sector 7  
Prepared for  
Verify Construction

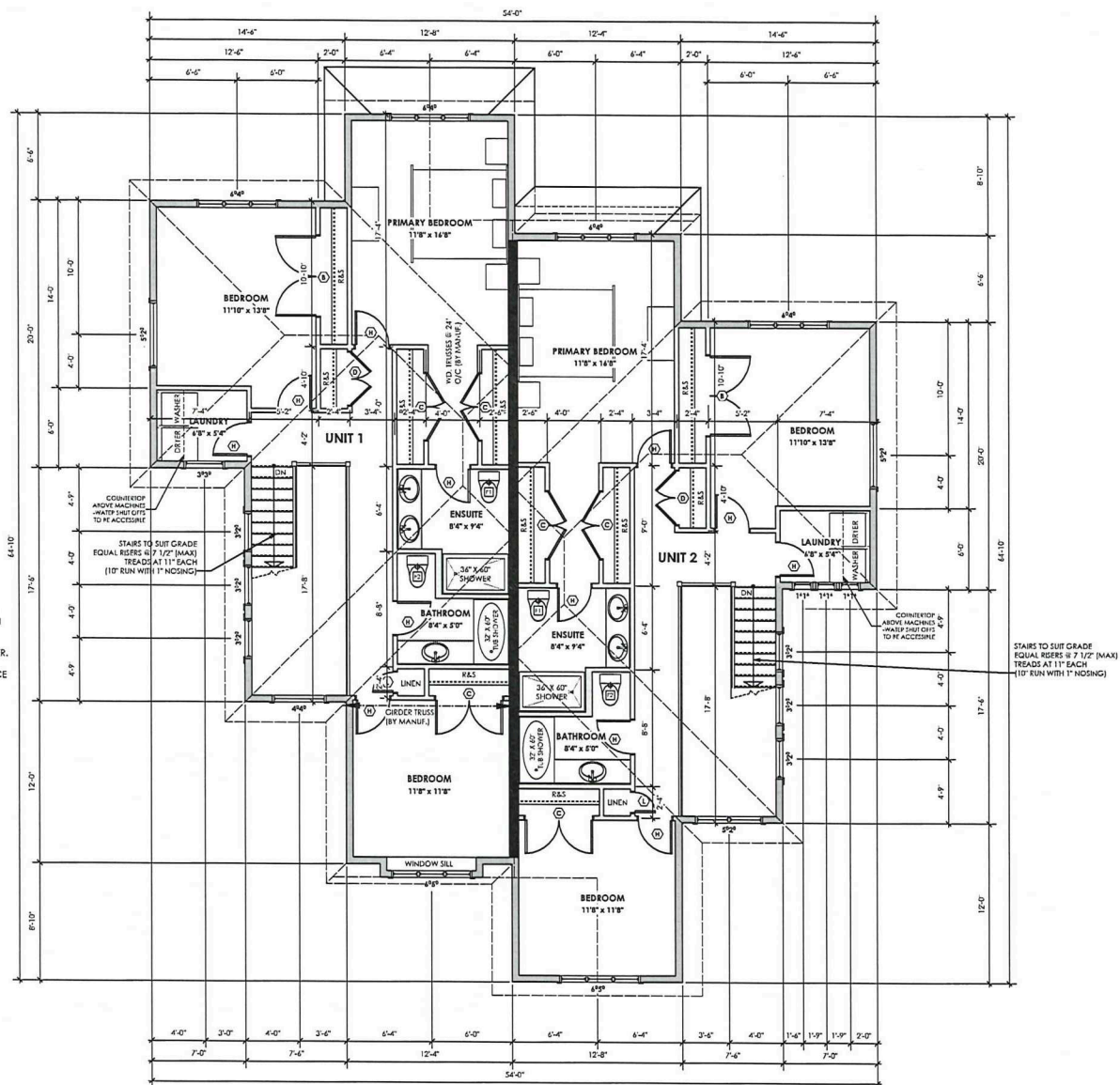
Project #  
8298

Scale  
AS SHOWN

Drawn By  
MDK

# Development Permit Presentation





BUILDING TO BE SPRINKLERED PIPE INLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION

NOTE:  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

NOTE:  
ROOM SIZES NOTED ON FLOOR PLANS ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION  
SEE ELEVATIONS FOR WINDOW AND DOOR DESIGN AND CLARIFICATION ON WINDOW OPERATION.

ONE WINDOW PER BEDROOM TO COMPLY WITH NBC 9.9.10.1 (EGRESS) FOR BEDROOMS WITHOUT AN OUTDOOR DOOR (EOT) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

1 Upper Floor Plan  
A6 Scale: 1/4" = 1'-0"

FLOOR AREA

Unit 1:  
PRIMARY: 990.31 sq.ft. (92.00 sq.m.)

Unit 2:  
PRIMARY: 990.63 sq.ft. (92.03 sq.m.)

Total: 1980.94 sq.ft. (184.03 sq.m.)

BUILDING TO BE SPRINKLERED PIPE INLET LOCATION TO BE DETERMINED DURING BUILDING PERMIT STAGE PRIOR TO BUILDING PERMIT SUBMISSION

Date  
June 18, 2024  
Project Address  
Lot 66 - 3464 Trumpeter Street  
Royal Bay Sector 7  
Prepared for  
Verify Construction

Project #  
8298

Scale  
AS SHOWN

Drawn By  
MDK

# Development Permit Presentation

## Section Notes

### ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD WD 19/32" (DESIGNED BY MANUF.) R-40 FIBRE GLASS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTING) 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'2" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BARRIES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.1.17.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" FAST. EXTERIOR WALL
- R4. PROVIDE 1 SQ. FT. ATTIC VENT PER 300 SQ. FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R5. FIN. IN. FASCIA CUTTER 2-8 FASCIA RD. 2-4 SUB. FASCIA RD. VENTED COVER (SEE CONTRACTOR)

### WALLS

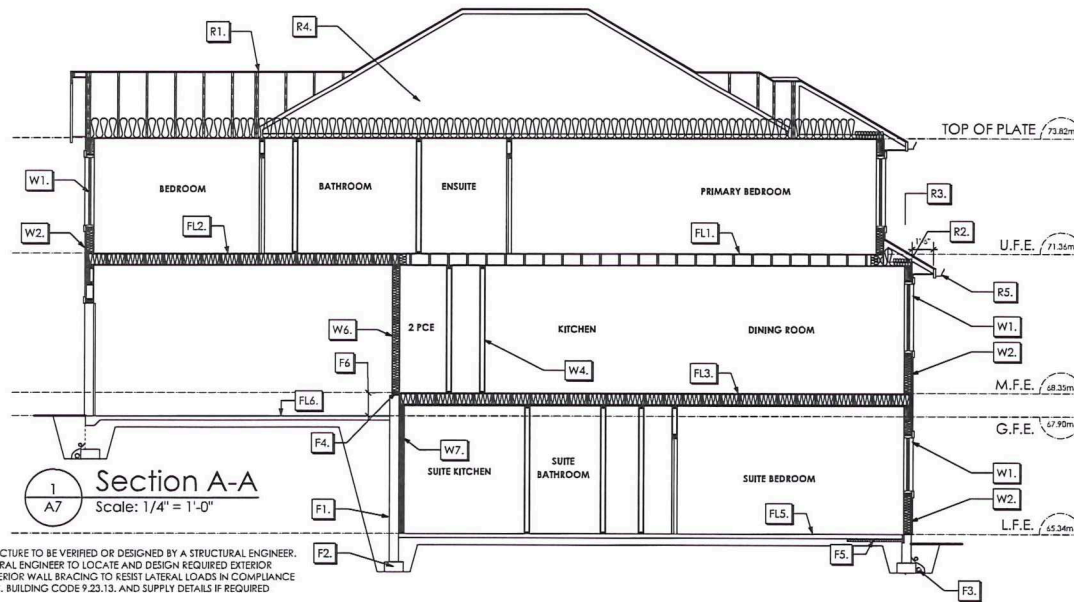
- W1. DOUBLE CLASINIC ENERGY STAR LOW 'E' RATING IN THERMAL BREAK FRAMES 2 1/2" (63MM) INTER. OVER @ BEARING WALLS ONLY (TYPICAL W/ 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (FLASHING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) SEE GENERAL NOTES FOR W-15 AND STEP CODE REQUIREMENTS
- W2. CONC. FIBRE BOARD (PANEL OR LAP SIDING) ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORA TREATED PLYWOOD STRAPPING BUILDING WRAP @ 7/16" ORIENTED STRAND BOARD SHEATHING 2-4 STUDS @ 16" O/C R-20 INSULATION 4 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY EW1A CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORA TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYPE OF EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2-4 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD (REFER TO DETAILS ON D1)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2-4 STUDS @ 16" O/C OR 2-6 STUDS @ 14" O/C (IF NOTED)
- W5. PRE-MANUFACTURED STONE VENEER (PRE-ASSEMBLED TO MANUF. SPEC) LIME BASED MORTAR SETTING BED ON LIME RATED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVER LAP HORIZONTAL AND VERTICAL SEAMS 1" 58MM-HIGH BACK BOARD (MULTI-TX FIBREBOARD OR EQ.) 9.5MM (3/8") AIR SPACE / STRAPPING 3/8" X 2" BORA TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYPE OF EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2-4 STUDS @ 16" O/C (REQUIRED)
- W6. 5/8" X-TYPE GYPSUM BOARD ON 2-6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)
- W7. 1/2" GYPSUM BOARD ON 6 MIL POLY'N V.B. 2-4 STUDS @ 24" O/C C/W R-19 BATT INSULATION HOUSE WRAP (A.B.) (TYPE OF EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.1.4)
- W8. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W12A 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON 2-4 STUDS @ 16" O/C C/W 3 1/2" FIBREGLASS INSULATION (BOTH SIDES) FRICTION FITTED AND SOLID FILLED 1" AIR SPACE 2-4 STUDS @ 16" O/C C/W 3 1/2" FIBREGLASS INSULATION (BOTH SIDES) FRICTION FITTED AND SOLID FILLED 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON 1.0 HR. F.R.E., 54.5 T.C.

### FLOORS

- F1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLOUED TO FLOOR STRUCT. BELOW) ON 2-10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2-2 X 8 BRIDGING @ 7.5" O/C (MAX) 1/2" GYPSUM BOARD
- F2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLOUED TO FLOOR STRUCT. BELOW) ON 2-10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2-2 X 8 BRIDGING @ 7.5" O/C (MAX) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE) (NOT SHOWN IN SECTION)
- F3. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F10 FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLOUED TO FLOOR STRUCT. BELOW) ON 2-10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2-2 X 8 BRIDGING @ 7.5" O/C (MAX) R-31 INSULATION REINFORCED METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD 1 HOUR F.R.E., 54.5 T.C.
- F4. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLOUED TO FLOOR STRUCT. BELOW) ON 2-10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2-2 X 8 BRIDGING @ 7.5" O/C (MAX) PROVIDE R-31 FIG BATT INSULATION IN JOIST CAVITY BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- F5. FINISHED FLOORING ON 3 1/2" CONCRETE S-LAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- F6. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- F7. DECOR. MEMBRANE (TO COMPLY WITH CAN/CSG 37.54) ON 19/32" ORIENTED STRAND BOARD 2-10 DICK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE UPLIFT @ EXT. WALL) (SLOPE JOISTS TO PROVIDE MIN. 1:20 SLOPE)

### FOUNDATION WALLS

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16X 8" CONC. FOOTINGS C/W 2 (NO. 15M BARS) CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 2" RIGID PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 40 FT. O/C MAX C/W SILL GASKETS
- F5. 2 1/2" EXTRUDED POLYSTYRENE RIGID INSULATION APPLIED TO CONC. FDN. WALL (CRAWL SPACE ONLY) INSULATION TO EXTEND TO TOP OF 2" CONC. GROUND SEAL
- F6. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE



Section A-A  
Scale: 1/4" = 1'-0"

NOTE:  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED.

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.[3]

vg|victoria  
design group

#103 - 891 TREE AVENUE  
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P. 250.382.7374  
F. 250.382.7364

Date

June 18, 2024

Project Address

Lot 66 - 3464 Trumpeter Street  
Royal Bay Sector 7

Prepared for

Verity Construction

Project #

8298

Scale

AS SHOWN

Drawn By

MDK

Development Permit Presentation

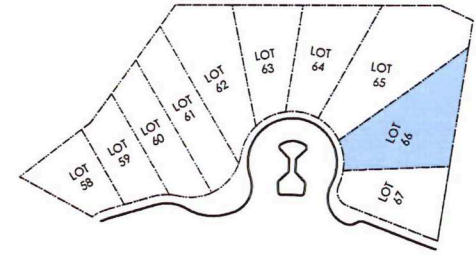


**ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS**

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

\*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN  
NOT TO SCALE



UNIT 1

ITEM	AREA (sf)	%
GARDEN BED	103	3.2%
GRAVEL	297	9.3%
CONCRETE	484	15.1%
PERMEABLE PAVER	381	11.9%
SOD	1,941	60.5%
TOTAL	3,206	100%

LEGEND

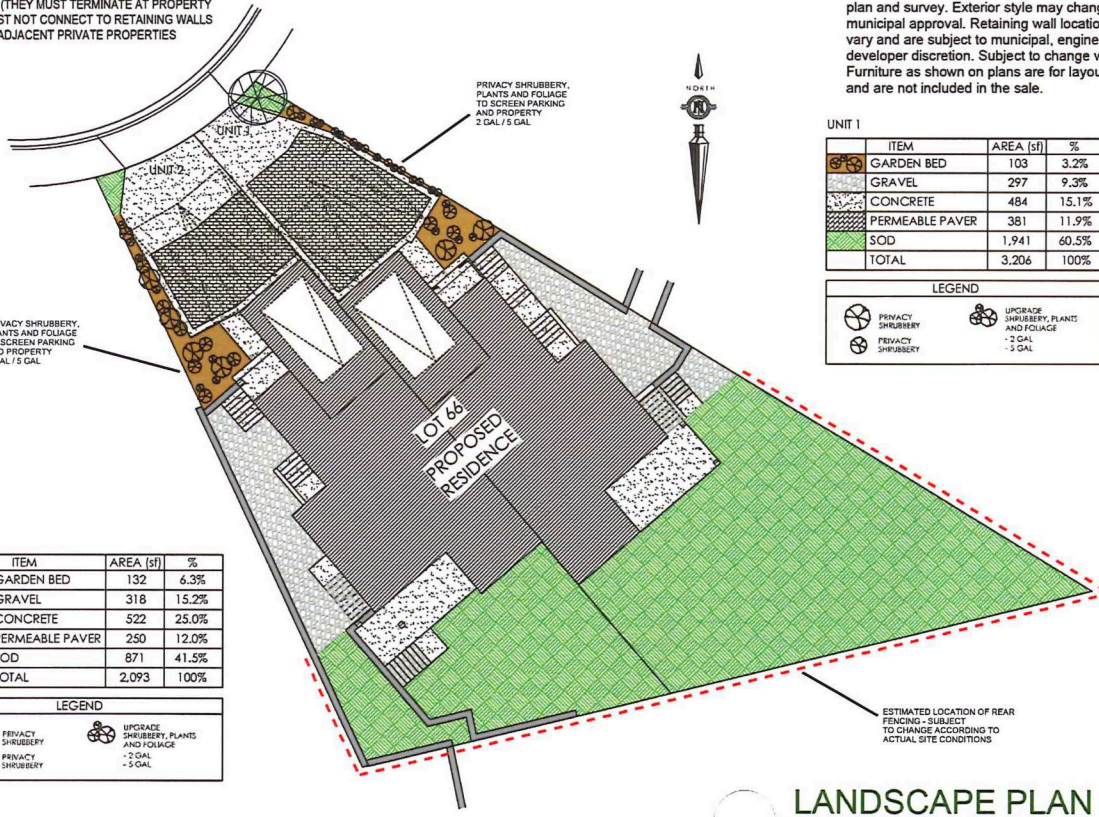
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 3 GAL

UNIT 2

ITEM	AREA (sf)	%
GARDEN BED	132	6.3%
GRAVEL	318	15.2%
CONCRETE	522	25.0%
PERMEABLE PAVER	250	12.0%
SOD	871	41.5%
TOTAL	2,093	100%

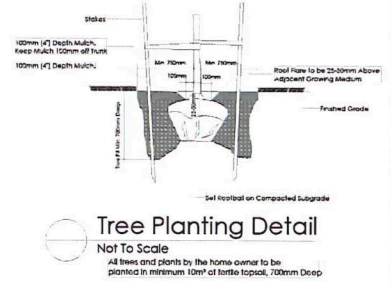
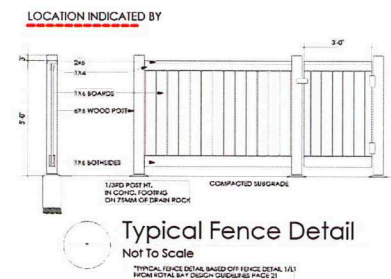
LEGEND

	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 3 GAL



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

**LANDSCAPE PLAN**  
NOT TO SCALE



**ADDITIONAL NOTES:**  
PROPERTY TO BE IRRIGATED  
**6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES**

MM/DD/YY	ISSUED/REVISED	DATE
01	12/11/23	FOR APPROVAL
02	02/05/24	SITE PLAN REVISION
03	04/05/24	SITE PLAN REVISION
04	18/06/24	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN  
LOT 66, 3464 TRUMPETER ST.  
ROYAL BAY, SECTOR 7  
CITY OF COLWOOD

**VERITY**  
CONSTRUCTION

QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway  
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