



## CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153  
[planning@colwood.ca](mailto:planning@colwood.ca) | [www.colwood.ca](http://www.colwood.ca)

File: DP000012

### DEVELOPMENT PERMIT DP000012

THIS PERMIT, issued May 15, 2024, is,

ISSUED BY: CITY OF COLWOOD, a municipality incorporated under the *Local Government Act*,  
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: ROYAL BAY HOLDINGS NO. 2 LTD.  
SUITE 1774, FOUR BENTALL CENTRE  
1055 DUNSMUIR STREET  
VANCOUVER BC V6B 4N7

(the "Permittee")

- 
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT A, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP124123, EXCEPT PLAN EPP127784, & SEC 41,  
42, 51, 52 & 53; & EXC PL EPP132340  
QUARRY ST

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the *Colwood Land Use Bylaw, 1989* (Bylaw No. 151), to ensure the Form and Character considerations for an 86-unit townhouse development and associated site improvements are consistent with the design guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.

5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:

Schedule 1	Architectural Drawings prepared by Cascadia Architects Ltd dated April 24, 2024.
Schedule 2	Landscape Plan prepared by LADR Landscape Architects dated May 13, 2024.
Schedule 3	Landscape Budget prepared by LADR Landscape Architects dated May 10, 2024.
8. This Development Permit authorizes the construction of an 86-unit townhouse development along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

#### GENERAL

- 8.1. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within the Section 219 covenants registered as "CA8439553" (Development Agreement) as amended from time to time.
- 8.2. British Columbia's archaeological sites are protected under the Heritage Conservation Act and shall not be altered or damaged without the required permits from the Provincial Archaeology Branch.
- 8.3. This permit does not authorize any blasting on the site; additional permits will be required.

#### FORM AND CHARACTER CONDITIONS

##### Building Features

- 8.4. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Cascadia Architects Ltd (Schedule 1).
- 8.5. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.6. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.
- 8.7. No future construction/installation of unenclosed or enclosed outdoor storage areas or

recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

**Signage**

- 8.8. This Development Permit does not include any signage approvals. A separate sign permit will be required for any marketing signage.

**Site Lighting**

- 8.9. The site lighting shall be in accordance with the lighting details included in the Landscape Plan prepared by LADR Landscape Architects (Schedule 2).

**Landscaping**

- 8.10. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by LADR Landscape Architects (Schedule 2).

- 8.11. Prior to the issuance of a building permit, the Permittee shall provide the City with a written letter of engagement from a registered landscape architect agreeing to:

8.11.1. Supervise and install the landscape work in accordance with the approved Landscape Plan prepared by LADR Landscape Architects (Schedule 2); and

8.11.2. Perform a final inspection and submit an inspection report to the City confirming substantial compliance with the approved landscape plan.

- 8.12. Prior to the issuance of a Building Permit, the Permittee shall obtain a one-year warranty of the landscape works from the landscape contractor. This warranty shall be transferrable to subsequent owners of the property within the warranty period. The warranty must include provision for a further one-year warranty on materials replacing failed plant materials and trees.

- 8.13. Prior to the issuance of a Building Permit, the Permittee must provide to the City in the form of an irrevocable letter of credit or certified cheque, security in the amount of **\$865,510.80** based on 110% of the Landscape Cost Estimate prepared by LADR Landscape Architects (Schedule 3), which amount, or a portion thereof, as the case may be, shall be returned, no sooner than 1 year from the date of planting, upon receipt of a signed statement of substantial completion from a registered landscape architect, to the satisfaction of the Director of Development Services.

ISSUED ON THIS 15<sup>th</sup> DAY OF MAY 2024.

  
\_\_\_\_\_  
JOHN ROSENBERG, A.Sc.T.  
DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES



SHEET LIST

01 Architectural DP	
A000.	Cover
A030.	Site Aerial Overviews
A040.	Road Frontage Elevations
A050.	Site Sections
A060.	A060 - Subdivision Plan
A100.	Site Plan
A101.	Site Plan
A102.	Spatial Separations
A210.	Plans & Sections - Piper 4 w/ Rooftop
A211.	Elevations - Piper 4 w/ Rooftop
A220.	Plans & Sections - Piper 4
A221.	Elevations - Piper 4
A222.	Elevations - Bldg. 6
A230.	Plans & Sections - Piper 3 w/ Rooftop
A231.	Elevations - Piper 3 w/ Rooftop
A240.	Plans - Piper 3
A241.	Elevations - Piper 3
A250.	Plans & Sections - Walkout (Block of 3)
A251.	Elevations - Walkout (Block of 3)
A260.	Plans & Sections - Walkout (Block of 2)
A261.	Elevations - Walkout (Block of 2)
A270.	Villa 3 Unit Plans & Sections
A271.	Elevations - Villa (Block of 3)
A280.	Plan & Sections - Villa 2 Unit
A281.	Elevations - Villa (Block of 2)
A290.	Elevations - Villa 2 Unit B - Garage Entry
02 Landscape DP	
L001.	Landscape Concept Plan
L002.	Landscape Central Greens Plan
L003.	Landscape Soil Volume Plan
03 Civil DP	
C001.	Cover Sheet
C002.	Construction Notes
C101.	Existing Contours Plan with Design PL Grades
C102.	Grading Plan
C201.	Overall Utilities
C202.	Stormwater Management Plan
C401.	Sections and Details
C402.	Firetruck Turning Templates



SITE LOCATION

PROJECT CONTACTS

OWNER

**PCRE**  
1055 Dunsmuir Street, box 49221  
Vancouver, BC V7X 1L2

Contact:  
Thomas Hubball, Director of  
Development  
thubball@pcregroup.ca

ARCHITECT

**Cascadia Architects**  
101-804 Broughton Street  
Victoria, BC  
250.590.3223

Will Kryzmowski, Architect AIBC  
will@cascadiaarchitects.ca

Peter Johannknecht, Architect AIBC,  
LEED® AP, MRAIC  
peter@cascadiaarchitects.ca

ELECTRICAL ENGINEER

**Parallel Engineering Ltd.**  
5056 Cordova Bay Rd.  
Victoria, BC. V8Y 2K4

Steven Cooke, P.Eng, Principal  
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Brian Penton  
brian@paralleleengineering.ca

MECHANICAL ENGINEER

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Victoria, BC V9A 3P2

Jon Edgell, P.Eng.  
jedgell@avalonmechanical.com

Kyle Mulzet  
kmulzet@avalonmechanical.com

STRUCTURAL ENGINEER

**Farhill Engineering Ltd.**  
105 - 937 Dunford Ave  
Victoria BC V9B 2S4

Dylan Walsh, P.Eng.  
dylan@farhill.ca

CIVIL ENGINEER

**On Point Project Engineers Ltd.**  
957 Langford Pkwy #111,  
Victoria, BC V9B 0A5

Peter Hibbert  
phibbert@oppel.ca

LANDSCAPE ARCHITECT

**LADR Landscape Architects**  
864 Queens Ave Unit 3, Street Level,  
Burnaby, BC V8T 1M5

Sean Leogreen  
PSCertERSleogreen@ladrla.ca

ENVELOPE CONSULTANT

**Evoked Buildings**  
4415 Juneau Street  
Burnaby, BC V5C 4C4

Chris Raudoy, B.Arch.Sc.,  
LEED AP  
craudoy@EvokedBuildings.com

GEOTECHNICAL

**Thurber Engineering Ltd.**  
4464 Markham St Suite 2302,  
Victoria, BC V8Z 7X8

Brain Webster, Geotechnical  
Engineer  
bwebster@thurber.ca

INTERIOR DESIGNER

**Proscenium Architecture + Interiors Inc.**  
151 E 2nd Ave Suite 300,  
Vancouver, BC V5T 1B4

Sandi Chih, B.MUS, DID, RID,  
LEED AP, Associate  
SChih@proscenium.ca



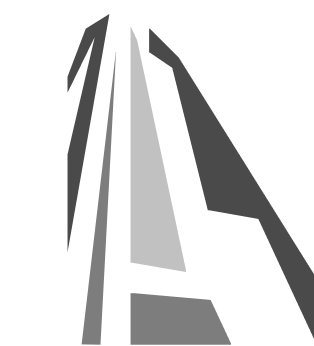


1 3D Site Aerial - SE  
SCALE =



2 3D Site Aerial - NW  
SCALE =

5	Issued for DP Resubmission - Revised	05/09/2024
4	Issued for DP Resubmission - Revised	04/30/2024
3	Issued for DP Resubmission - Revised	04/24/2024
2	Issued for DP Resubmission - Revised	04/12/2024
1	Issued for DP Resubmission	04/05/2024
	DP Submission	12/01/2023
NO.	DESCRIPTION	DATE



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

Sheet Name  
**Site Aerial Overviews**

Date  
04/24/2024

Scale  
Project #  
2312

Revision  
05/09/2024  
5

Sheet #  
A030

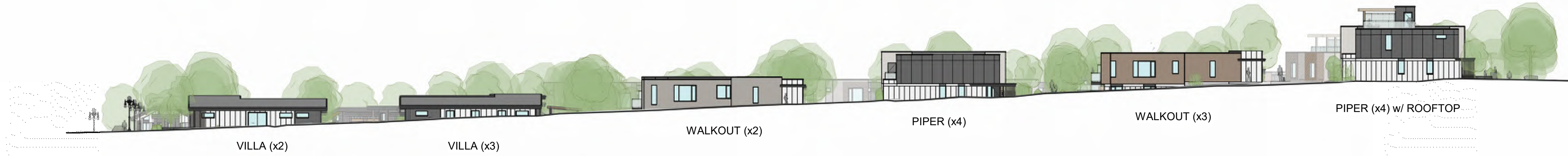
2024-05-10 5/10/2024 10:55:42 AM







1 Quarry Street Elevation  
SCALE = 1 : 300



2 Producers Lane Elevation  
SCALE = 1 : 300

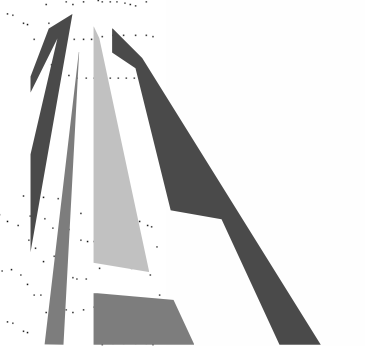


3 Restoration Way Elevation  
SCALE = 1 : 300



4 SRW Utility Connector Elevation  
SCALE = 1 : 300

NO.	DESCRIPTION	DATE
1	Issued for DP	03/28/2024



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

Sheet Name  
**Road Frontage Elevations**

Date  
4/2/2024 3:46:55 PM

Scale  
1 : 300

Project #  
2312

Revision  
3/28/2024

Sheet #  
1



heet #  
**A040**

2024-04-05







Subdivision Plan of Part of Lot A, Sections 40, 41, 42, 51, 52 and 53,  
Esquimalt District, Plan EPP124123; Except Part in  
Plans EPP127784 and EPP132340.

Plan EPP133188

BCGS 92B.043



The intended plot size of this plan is 864 mm in width by 560 mm in height (D size) when plotted at a scale of 1:750

Legend:

Grid Bearings are derived from observations between Geodetic Control Monuments #743021 (8713438) and #911347 (8813968) and are referred to the central meridian of UTM Zone 10.

This plan shows horizontal ground level distances unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.99960685 which has been derived from Geodetic Control Monuments #743021 and #911347.

The UTM Coordinates and estimated absolute accuracies achieved are derived from the published MASCOT coordinate listings for Geodetic Control Monuments #743021 and #911347.

- Lead Plug Found
- Standard Iron Post Found
- Standard Iron Post Placed
- ⊙ Control Monument Found
- (c) Denotes Calculated

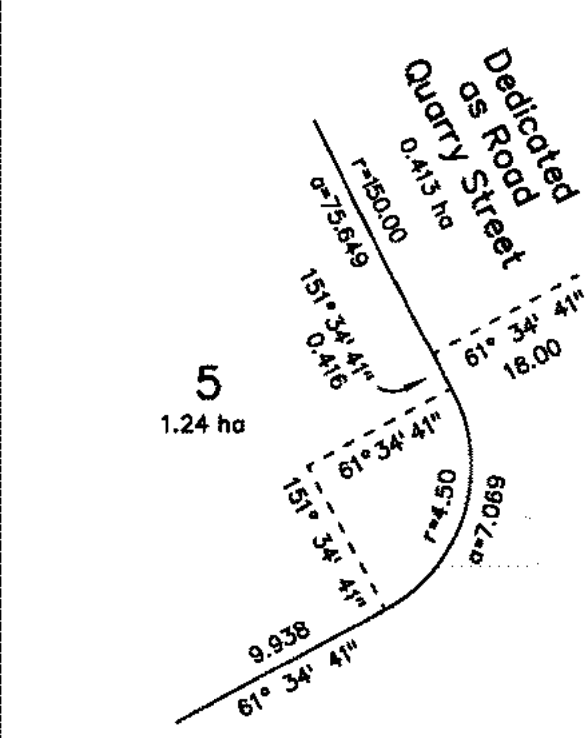
Integrated Survey Area No. 40  
City of Colwood  
NAD83 (CSRS) 3.0.0.BC.1.CRD

Note:  
This plan shows one or more witness posts which are not on the true corners.

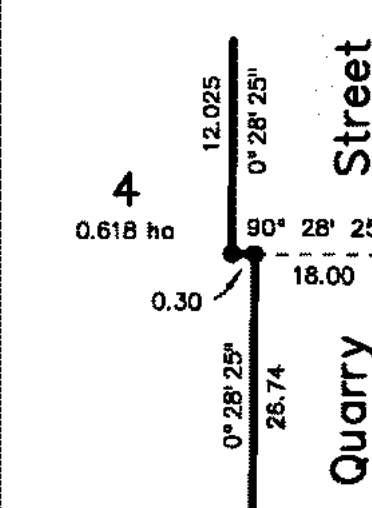
Datum: NAD83(CSRS) 3.0.0.BC.1.CRD  
UTM (Zone 10)  
Northing: 5,361,798.467  
Easting: 462,953.919  
Estimated Absolute Accuracy: 0.02 m

Datum: NAD83(CSRS) 3.0.0.BC.1.CRD  
UTM (Zone 10)  
Northing: 5,362,515.935  
Easting: 464,231.350  
Estimated Absolute Accuracy: 0.01 m

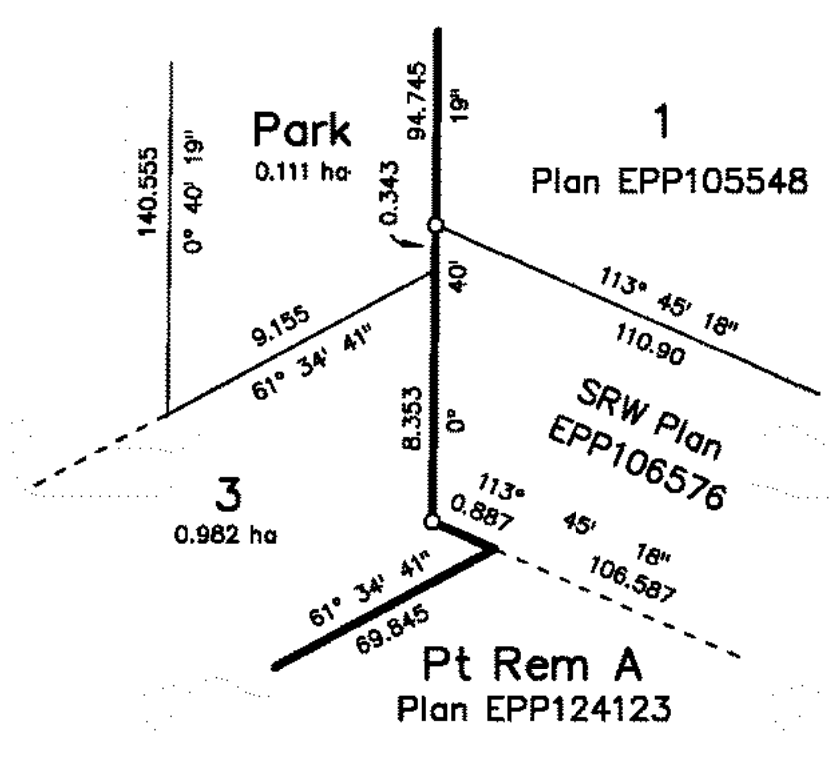
Detail 2  
Not to Scale  
Exaggerated for Clarity



Detail 3  
Not to Scale



Detail 1  
Not to Scale  
Exaggerated for Clarity

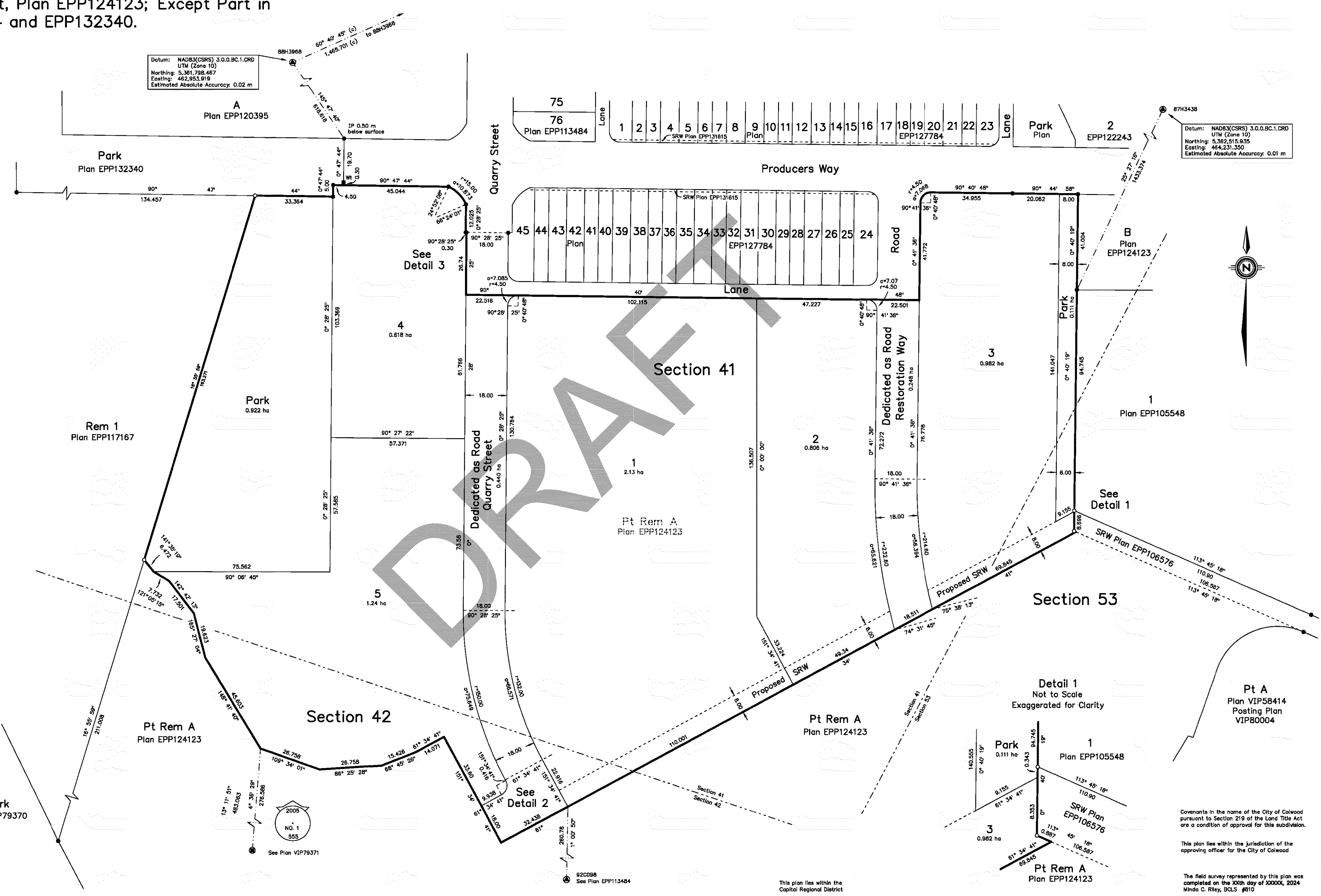


McIlvaney Riley Land Surveying Inc.  
#113 - 2244 Sooke Road  
Victoria, B.C. V9B 1X1  
(250) 474-5538  
www.mrls.ca  
File: 6012SUB\_EPP133188

Covenants in the name of the City of Colwood pursuant to Section 219 of the Land Title Act are a condition of approval for this subdivision.

This plan lies within the jurisdiction of the approving officer for the City of Colwood

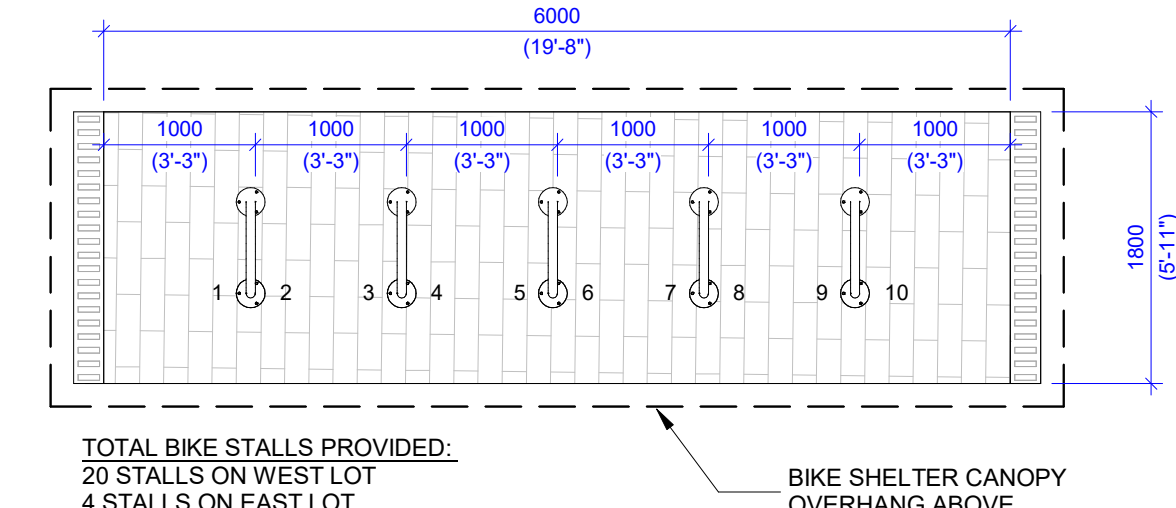
The field survey represented by this plan was completed on the XXth day of XXXX, 2024  
Minda C. Riley, BCLS #810







1 Site Plan - Footprints  
SCALE = 1 : 50

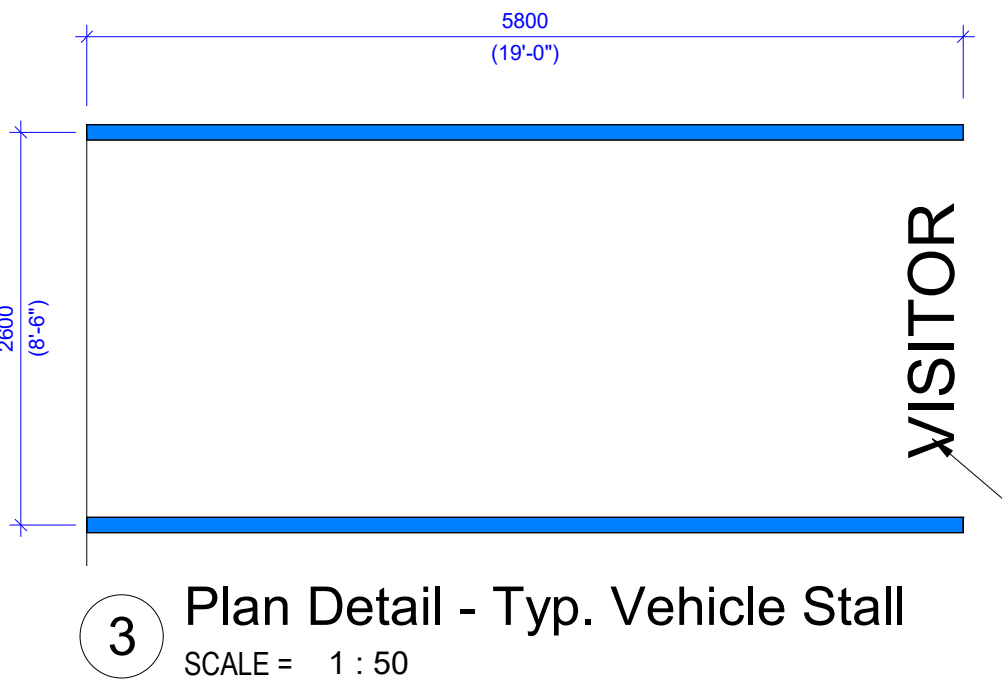


2 Plan Detail - Typ. Bike Parking Stalls  
SCALE = 1 : 50

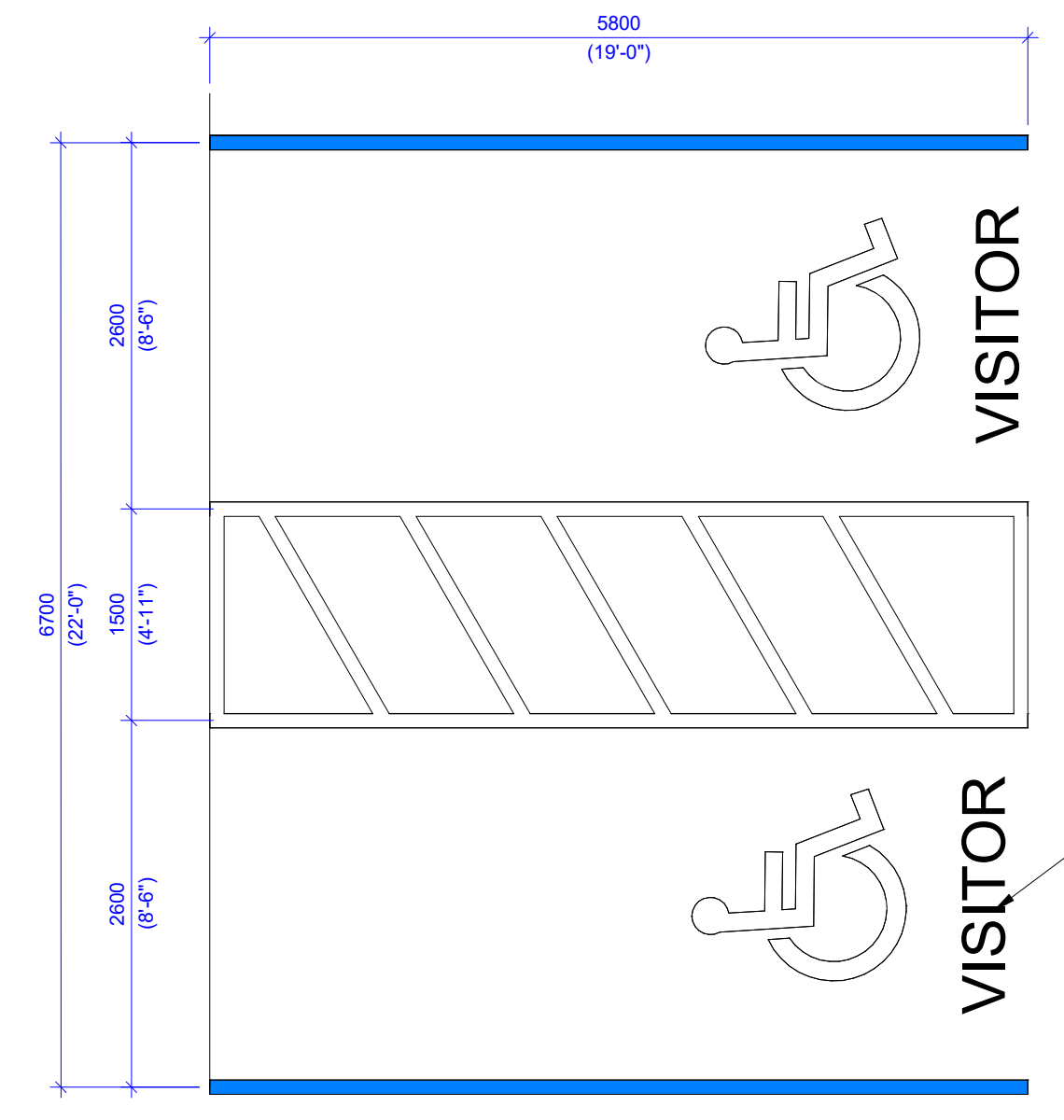
ZONING DATA - West		
ZONE	CD28 - AREA 10	
USE	ATTACHED RESIDENTIAL	
NUMBER OF UNITS	67	
REGULATORY CONDITIONS		
SITE AREA	ALLOWABLE	PROVIDED
GROSS FLOOR AREA	20,651 m <sup>2</sup>	14,142 m <sup>2</sup>
BUILDING HEIGHT (FINISHED GRADE)	12.5 m	10 m
SETBACKS		
SIDEYARD NORTH	1.2 m	1.4 m
REARYARD EAST	6 m	6 m
SIDEYARD SOUTH	1.2 m	4.0 m
FRONTYARD WEST	3 m	4.2 m
FLOOR AREA RATION (FAR)	1.0 max	0.67
LOT COVERAGE	50 %	40 %
PARKING		
VEHICLES PARKING STALLS	REQUIRED 2 PER DWELLING = 67 x 2 = 134 0.1 X DWELLING UNIT = 7 VISITOR	PROVIDED 134 STALLS 13 VISITOR (4 ACCESSIBLE STALLS)
BICYCLES		
CLASS 1 - LONG TERM	67	67 Regular 44 Oversized
CLASS 2 - SHORT TERM	-	12
* TO S.R.W		

\*NOTE: REFER TO LANDSCAPE FOR PLANTING AND TREE LOCATIONS

ZONING DATA - East		
ZONE	CD28 - AREA 10	
USE	ATTACHED RESIDENTIAL	
NUMBER OF UNITS	19	
REGULATORY CONDITIONS		
SITE AREA	ALLOWABLE	PROVIDED
GROSS FLOOR AREA	- m <sup>2</sup>	8,275.96 m <sup>2</sup>
BUILDING HEIGHT (FINISHED GRADE)	12.5 m	7.5 m
SETBACKS		
SIDEYARD NORTH	1.2 m	2.8 m
FRONTYARD EAST	3 m	3.9 m
SIDEYARD SOUTH	1.2 m	1.6 m
REARYARD WEST	6 m	6 m
FLOOR AREA RATION (FAR)	1.0 max	0.37
LOT COVERAGE	50 %	40 %
PARKING		
VEHICLES	REQUIRED 2 PER DWELLING = 19 x 2 = 38 0.1 X DWELLING UNIT X 0.1 = 2 VISITOR	PROVIDED 38 STALLS 2 VISITOR
BICYCLES		
CLASS 1 - LONG TERM	19	18 Regular 26 Oversized
CLASS 2 - SHORT TERM	-	6
* TO S.R.W		



3 Plan Detail - Typ. Vehicle Stall  
SCALE = 1 : 50



4 Plan Detail - Typ. Accessible Vehicle Stall  
SCALE = 1 : 50

NO.	DESCRIPTION	DATE
5	Issued for DP Resubmission - Revised	05/09/2024
4	Issued for DP Resubmission - Revised	04/30/2024
3	Issued for DP Resubmission - Revised	04/24/2024
2	Issued for DP Resubmission - Revised	04/12/2024
1	Issued for DP Resubmission	04/05/2024
	DP Submission	12/01/2023



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
**Site Plan**

Date  
04/24/2024

Scale  
As indicated

Project #  
2312

Revision  
05/09/2024

5

Sheet #  
A100



2024-05-10

5/10/2024 9:57:28 AM



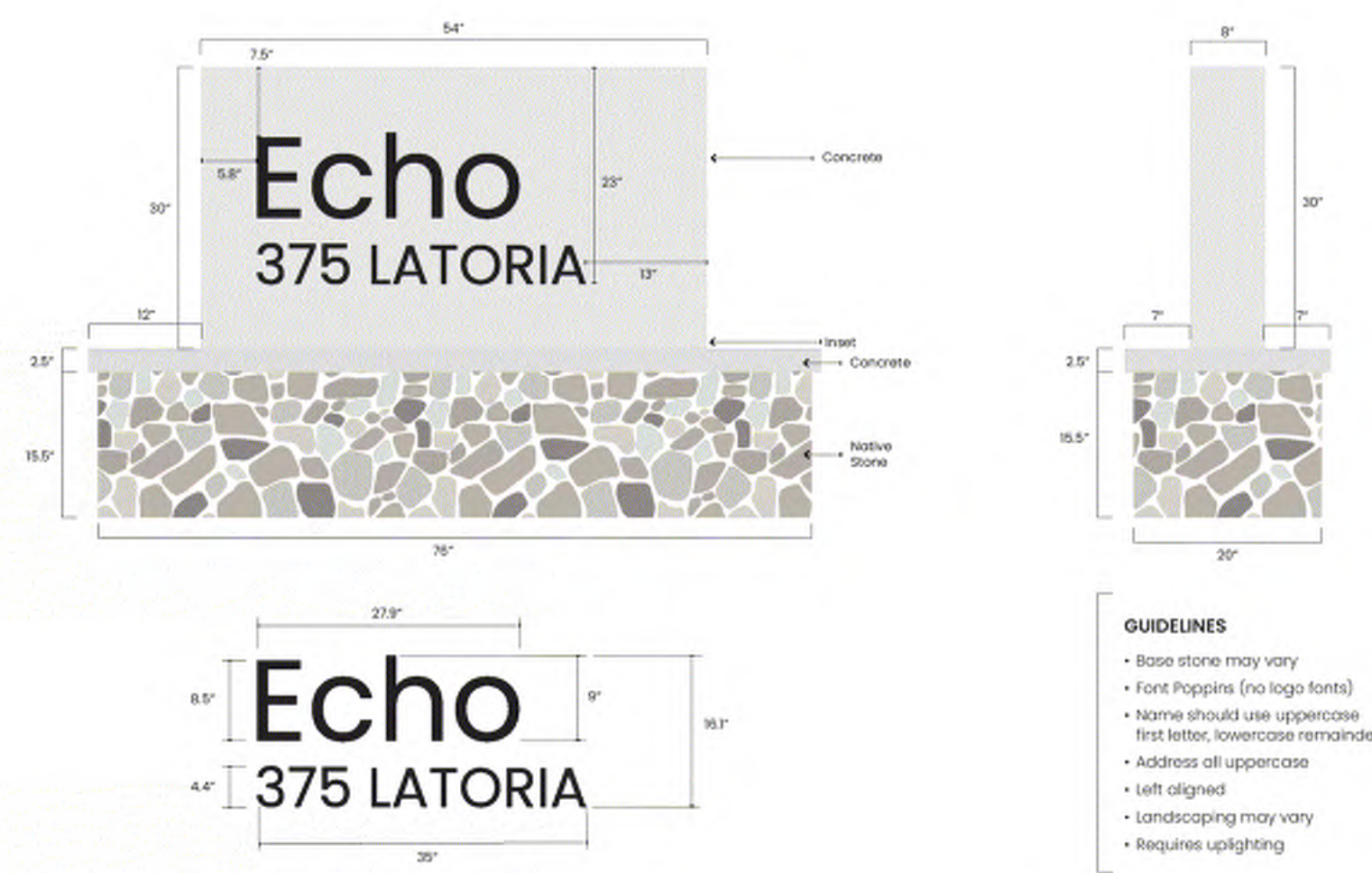


1 SITE PLAN - UNIT TYPES  
SCALE = 1 : 500

Unit Area Summary												
Unit Type	Floor Area (sq m) Garage Included			Number of Units	Gross Area (sq. m)	Unit mix	Parking		Total Long Term Bike Parking			
	Level 1	Level 2	Level 3				Total	Required	Provided	Oversized		Regular
<b>WEST LOT</b>												
PRT1	3 Bed, 1 Bath, En-Suite, & Powder.	98.46	95.81	7.25	201.52	8	1612.16	9.30	16	16	8	8
PRT2	3 Bed, 1 Bath, En-Suite, & Powder.	98.46	95.81	7.25	201.52	10	2015.2	11.63	20	20	10	10
P1	3 Bed, 1 Bath, En-Suite, & Powder.	98.46	95.81		194.27	12	2331.24	13.95	24	24	12	12
P2	3 Bed, 1 Bath, En-Suite, & Powder.	98.46	95.81		194.27	14	2719.78	16.28	28	28	14	14
W1	3 Bed, 1 Bath, Ensuite, & Powder.	89.25	148.13		237.38	10	2373.8	11.63	20	20	0	10
W2	3 Bed, 1 Bath, Ensuite, & Powder.	89.25	148.13		237.38	5	1186.9	5.81	10	10	0	5
W3	3 Bed, 1 Bath, Ensuite, & Powder.	89.78	148.13		237.91	8	1903.28	9.30	16	16	0	8
<b>TOTALS</b>						<b>67</b>	<b>14,142.36</b>	<b>78.0%</b>	<b>134</b>	<b>134</b>	<b>44</b>	<b>67</b>
<b>EAST LOT</b>												
V1	2 Bed, 1 Bath, & Ensuite.	160.83			160.83	10	1608.3	11.63	20	20	20	0
V2	2 Bed, 1 Bath, & Ensuite.	161.17			161.17	6	967.02	6.98	12	12	12	0
V3	2 Bed, 1 Bath, & Ensuite.	172.63			172.63	3	517.89	3.49	6	6	3	3
<b>TOTALS</b>						<b>19</b>	<b>3,093.21</b>	<b>22.0%</b>	<b>38</b>	<b>38</b>	<b>35</b>	<b>3</b>

\*Required visitor stalls calculated on Code Review

\*Required visitor stalls calculated on Code Review



2 Subdivision Signage Concept\*  
SCALE = NTS \*PROJECT NAME NOT YET DETERMINED. FONT AND SIZE USED AS CONCEPT

- GUIDELINES**
- Base stone may vary
  - Font: Poppins (no tags font)
  - Name should use uppercase first letter, lowercase remainder
  - Address all uppercase
  - Left aligned
  - Landscaping may vary
  - Requires uplighting

NO.	DESCRIPTION	DATE
5	Issued for DP Resubmission - Revised	05/09/2024
4	Issued for DP Resubmission - Revised	04/30/2024
3	Issued for DP Resubmission - Revised	04/24/2024
2	Issued for DP Resubmission - Revised	04/12/2024
1	Issued for DP Resubmission	04/05/2024
	DP Submission	12/01/2023



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**Phase 5 West - Royal Bay Town Houses**  
PCRE

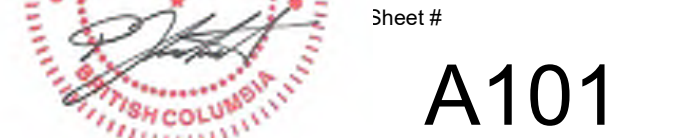
Sheet Name **Site Plan**

Date **04/24/2024**

Scale **As indicated** Project # **2312**

Revision **5** 35/09/2024

Sheet # **A101**





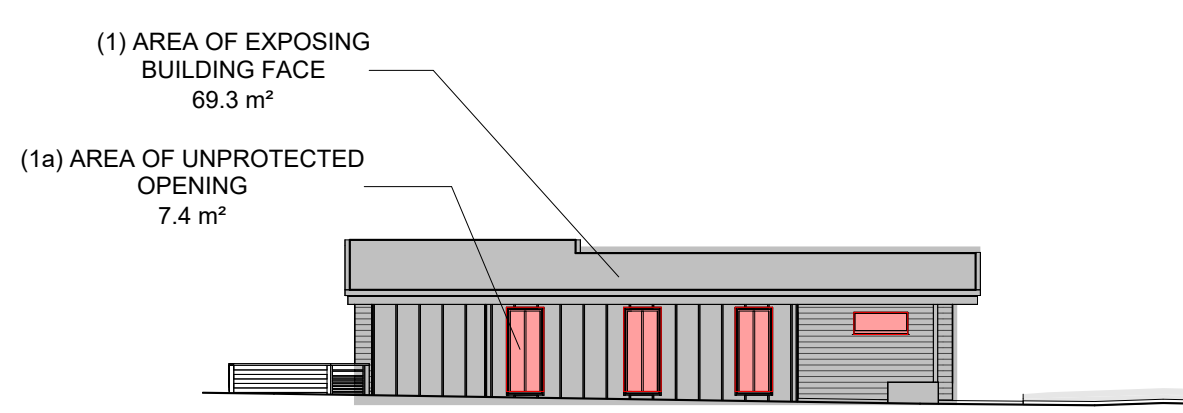
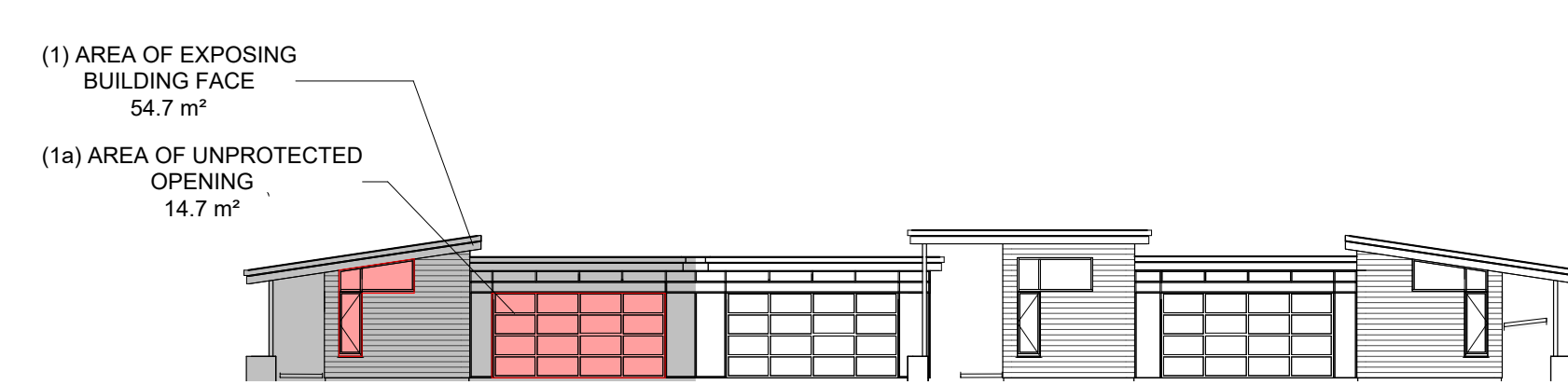


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	1.86	10.82	69.3	7.4	10.67

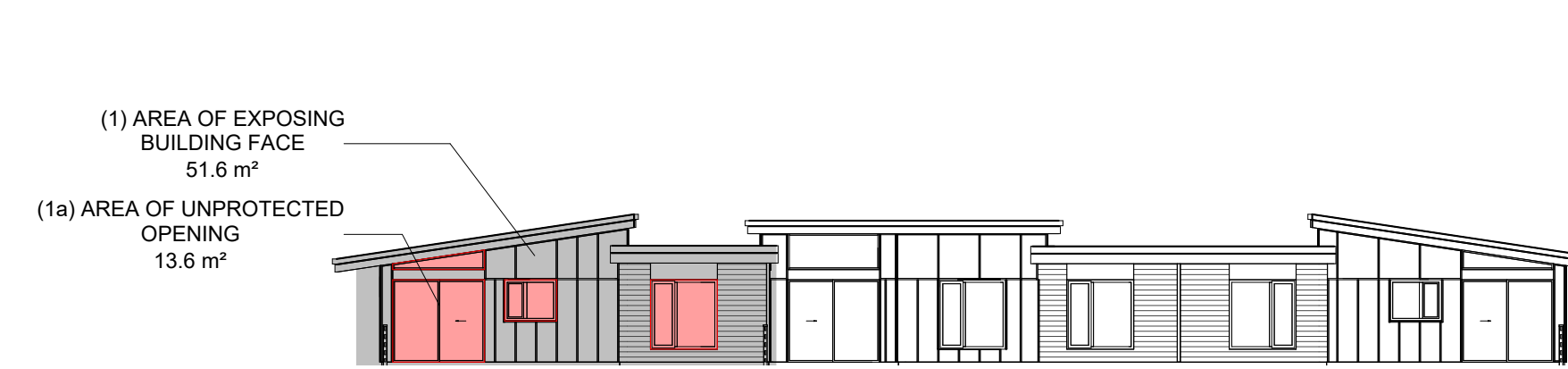
1 Villa Side Elevation  
SCALE = 1 : 200



CALCULATIONS DONE BY COMPARTMENT

TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	4.34 m	37.83	54.7	14.7	26.87

2 Villa Rear Elevation  
SCALE = 1 : 200



CALCULATIONS DONE BY COMPARTMENT

TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	5.42 m	47.97	51.6	13.6	26.36

3 Villa Front Elevation  
SCALE = 1 : 200

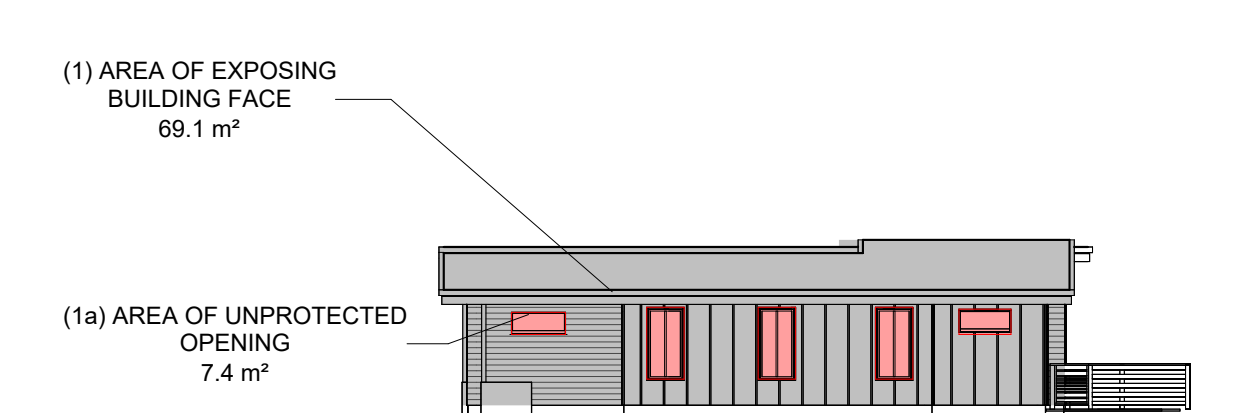


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	1.86 m	10.83	69.1	7.4	10.71

4 Villa Side Elevation 2  
SCALE = 1 : 200

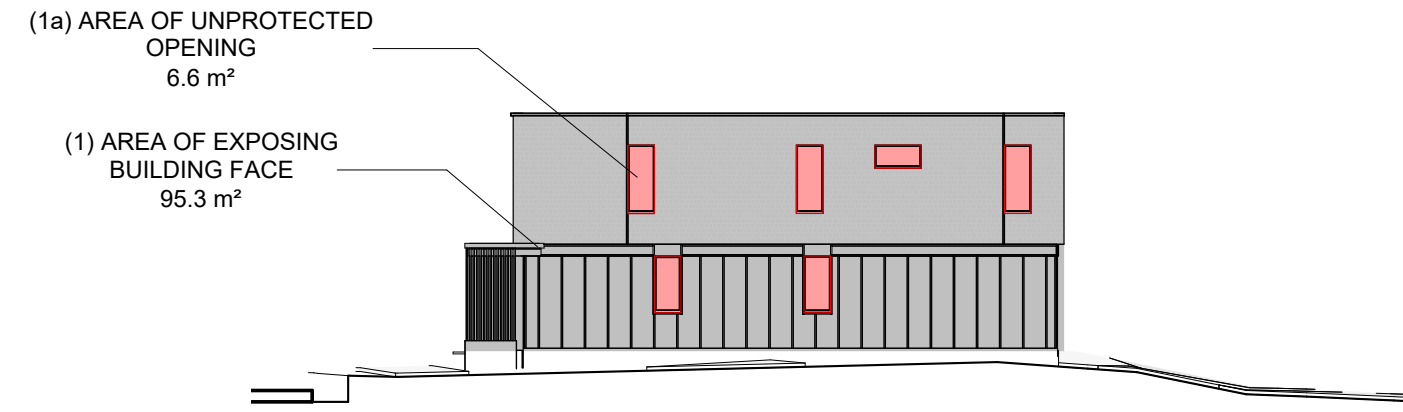
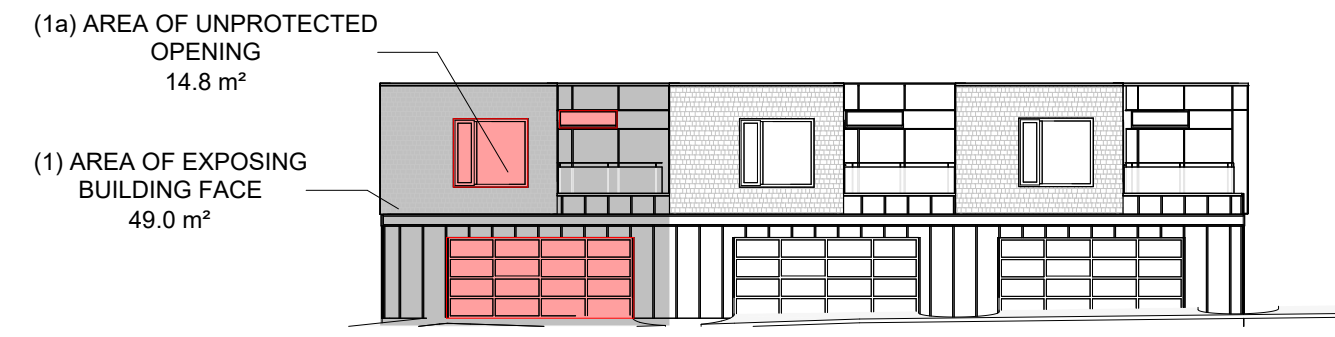


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	3.27 m	21.56	95.3	6.6	13.47

5 Piper Side Elevation  
SCALE = 1 : 200



CALCULATIONS DONE BY COMPARTMENT

TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	4.71 m	38.98	49	14.8	30.204

6 Piper Rear Elevation  
SCALE = 1 : 200

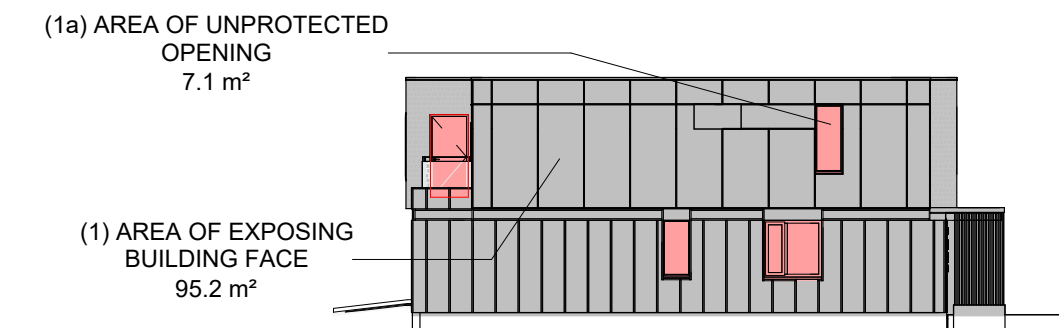
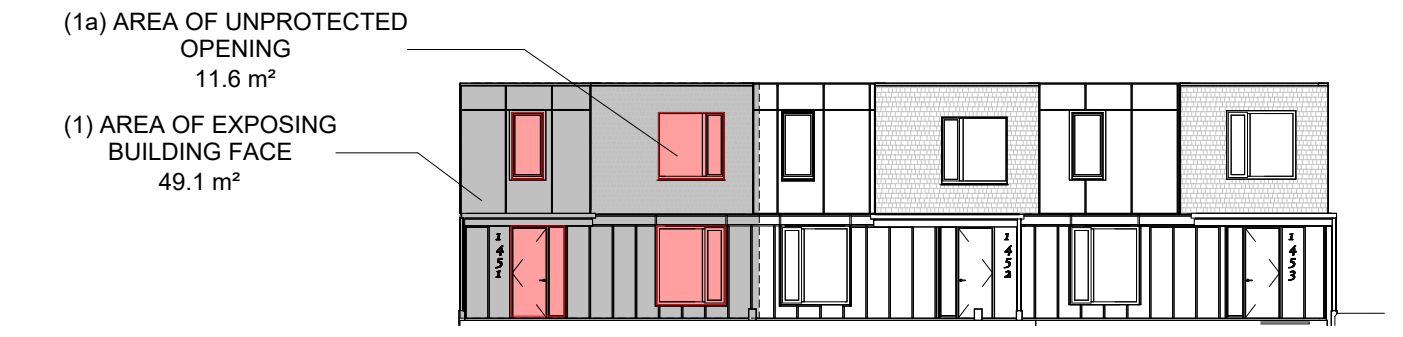


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	3.325	30.39	95.2	7.1	7.46

7 Piper Side Elevation 2  
SCALE = 1 : 200



CALCULATIONS DONE BY COMPARTMENT

TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	5.73 m	54.105	49.1	11.6	23.63

8 Piper Front Elevation  
SCALE = 1 : 200

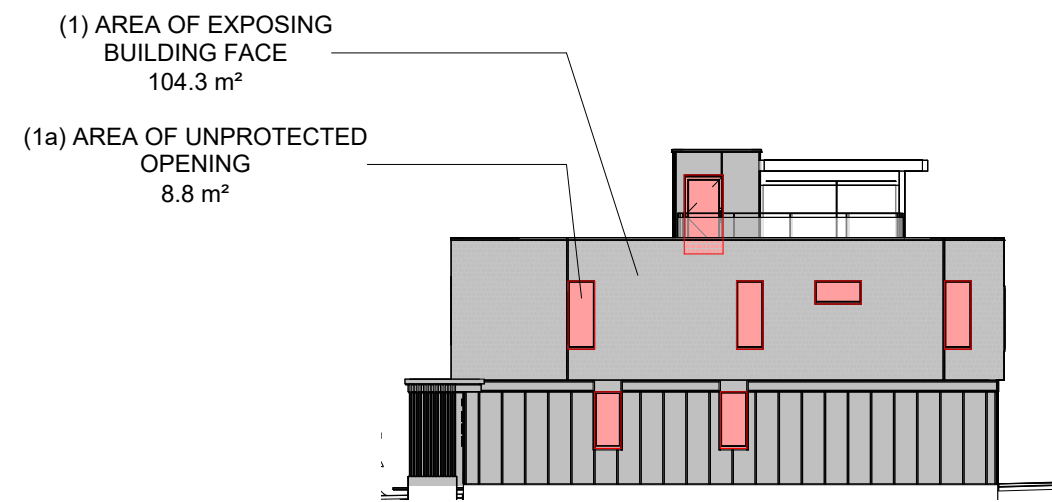


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	3.27	13.07	104.3	8.8	8.4

9 Piper with roof top Side Elevation  
SCALE = 1 : 200

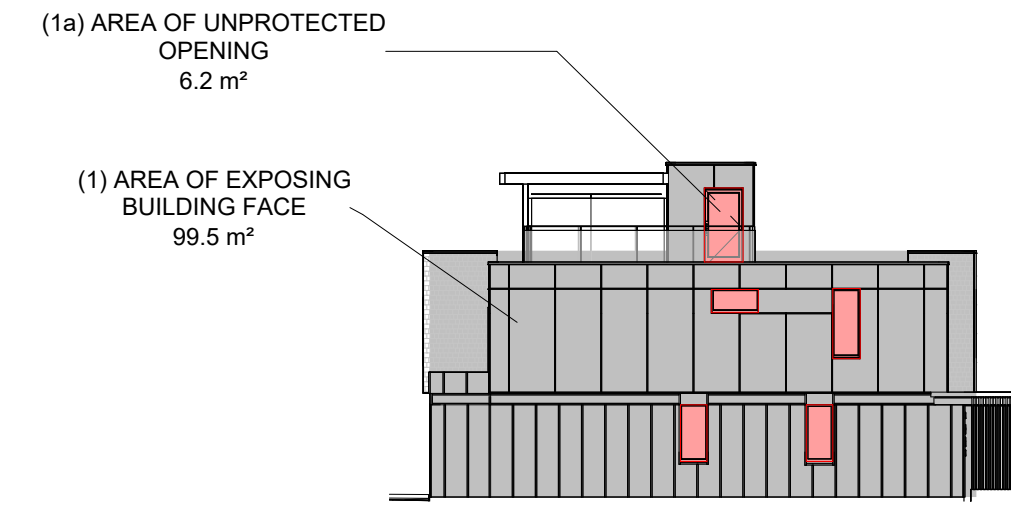


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	4.71 m	23.83	99.5	6.2	6.23

10 Piper with roof top Side Elevation 2  
SCALE = 1 : 200



NO.	DESCRIPTION	DATE



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
Spatial Separations

Date  
03/28/2024

Scale  
As indicated

Project #  
2312

Revision  
28/03/2024

Sheet #  
1

A102

2024-04-05

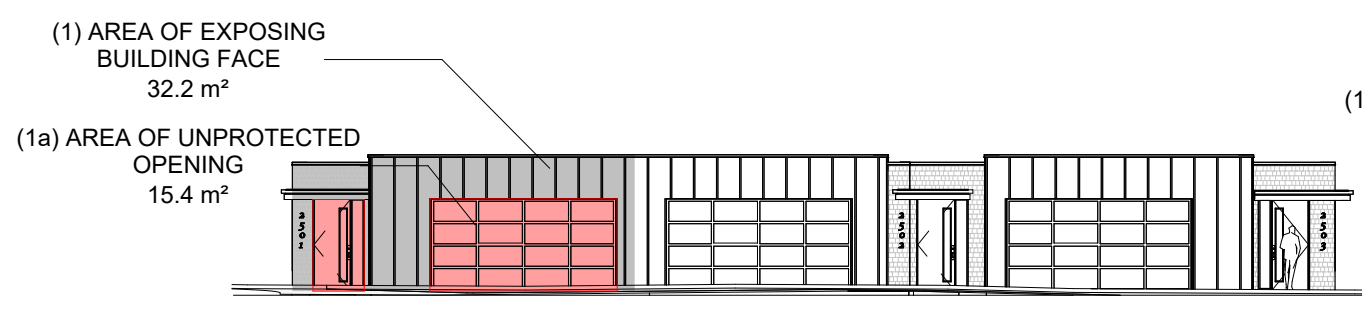


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	4.7	53.69	32.2	15.4	47.83

11 Walkout Front Elevation  
SCALE = 1 : 200

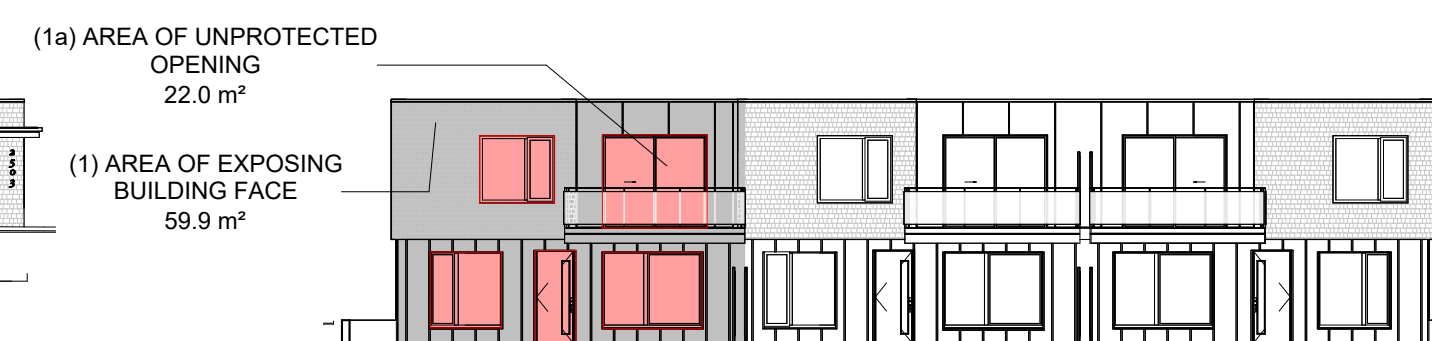


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	4.7	43.65	59.9	19.4	36.73

12 Walkout Rear Elevation  
SCALE = 1 : 200

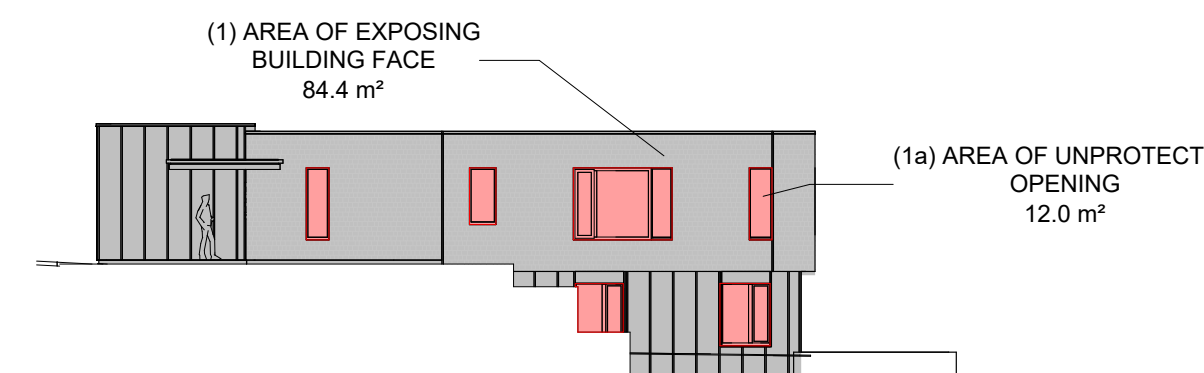


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	2.05 m	21.59	84.4	12	14.22

13 Walkout Side Elevation  
SCALE = 1 : 200

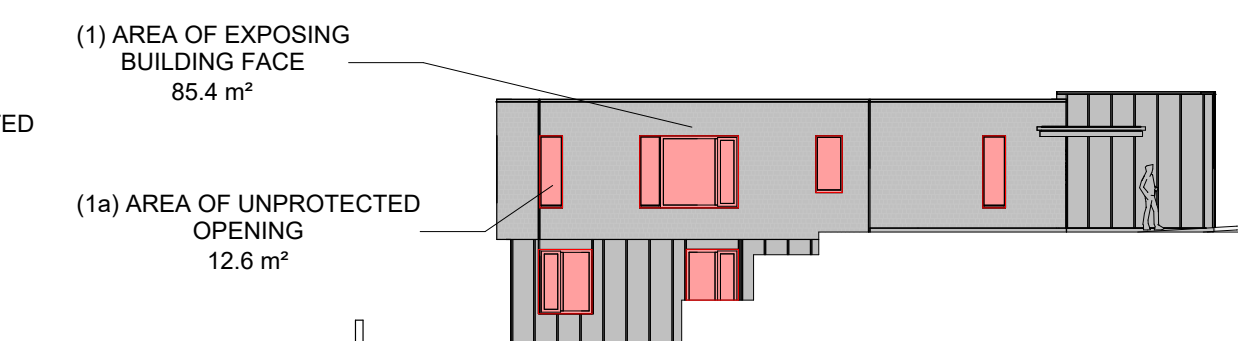
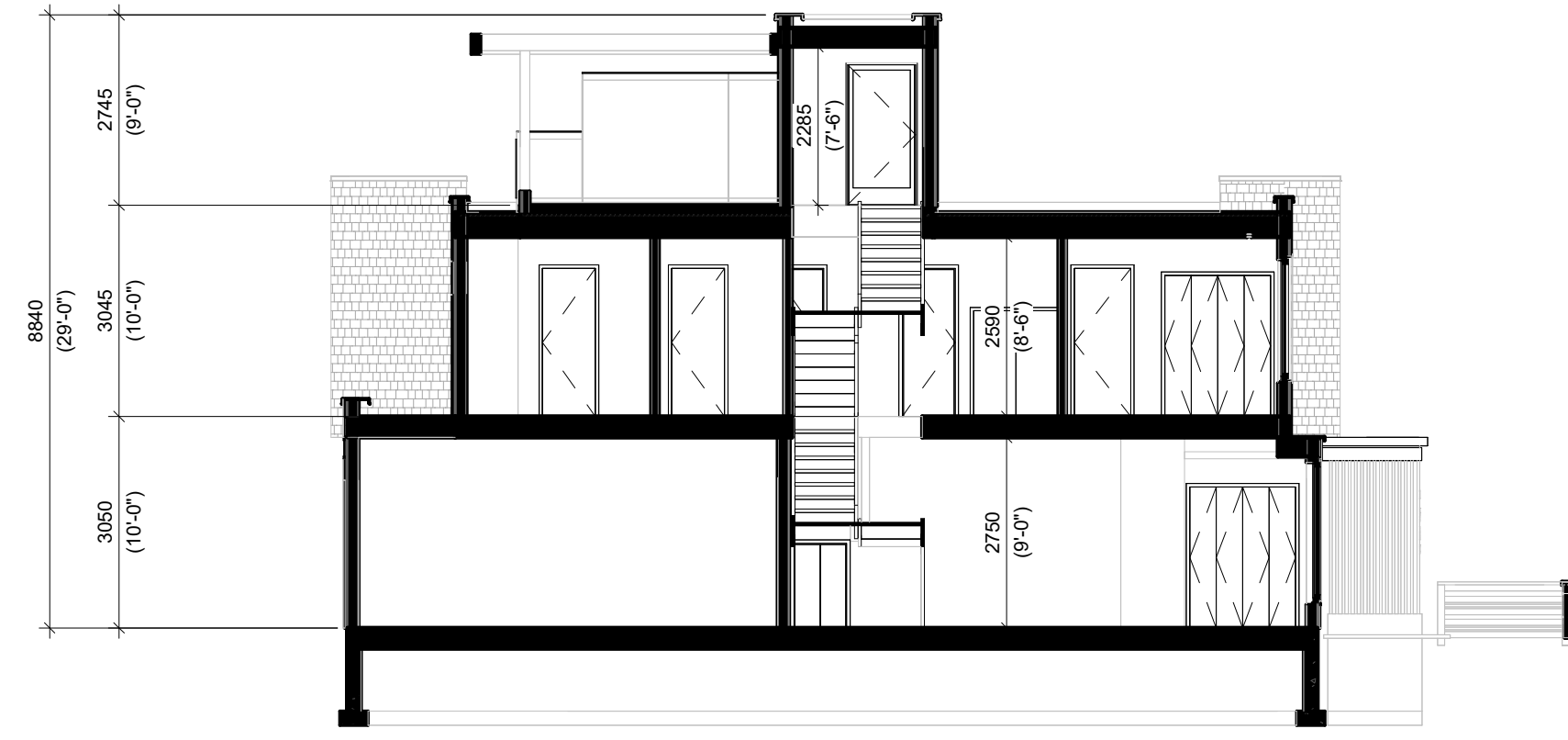


TABLE 9.10.15.4	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	2.05 m	21.39	85.4	14.8	14.75

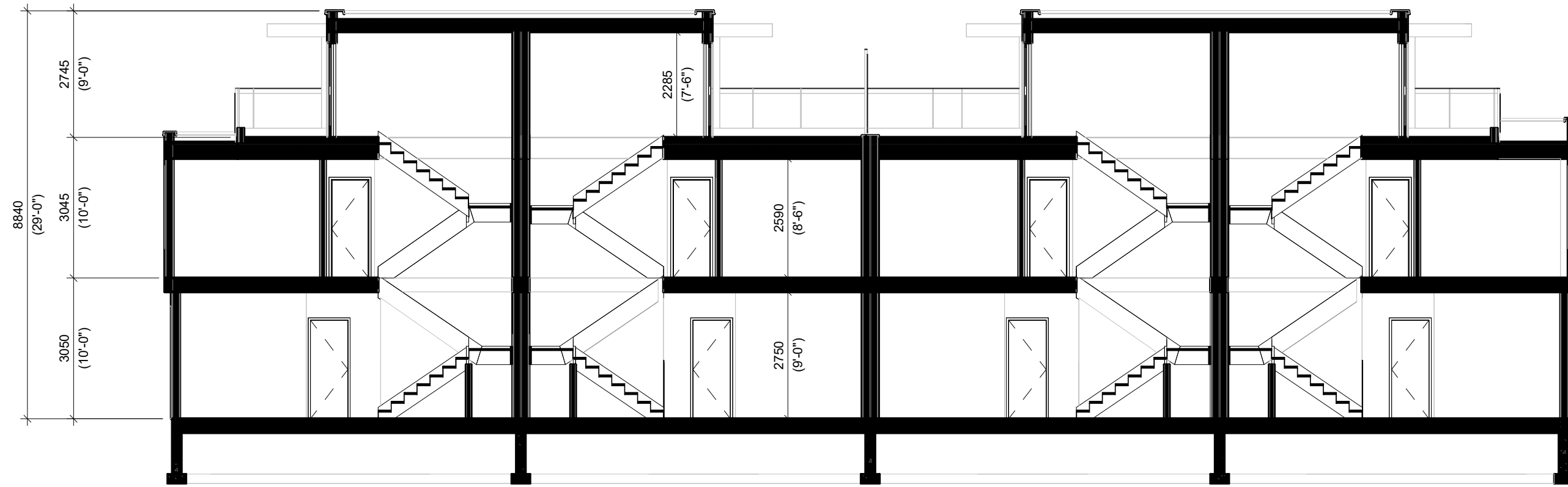
14 Walkout Side Elevation 2  
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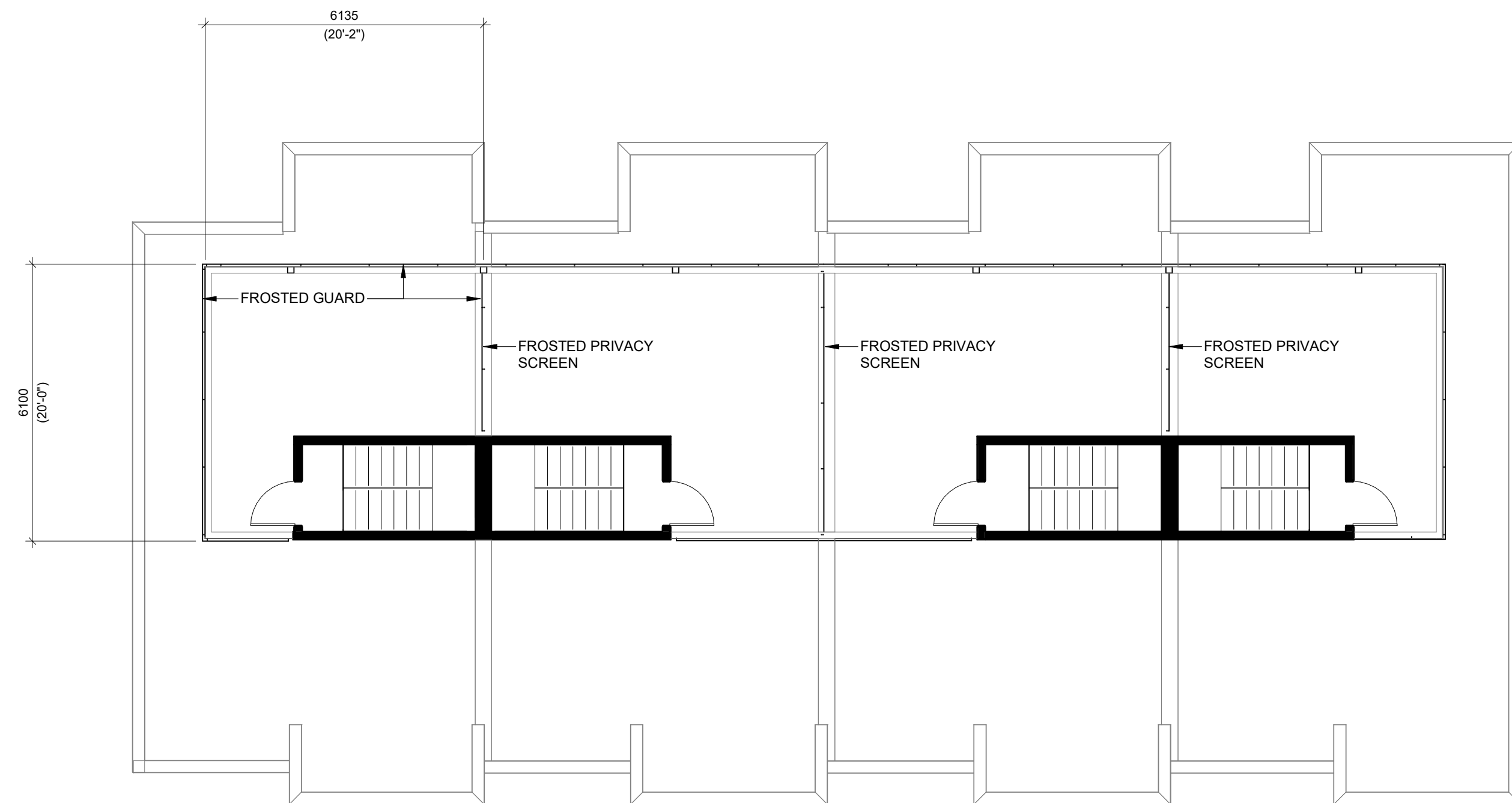




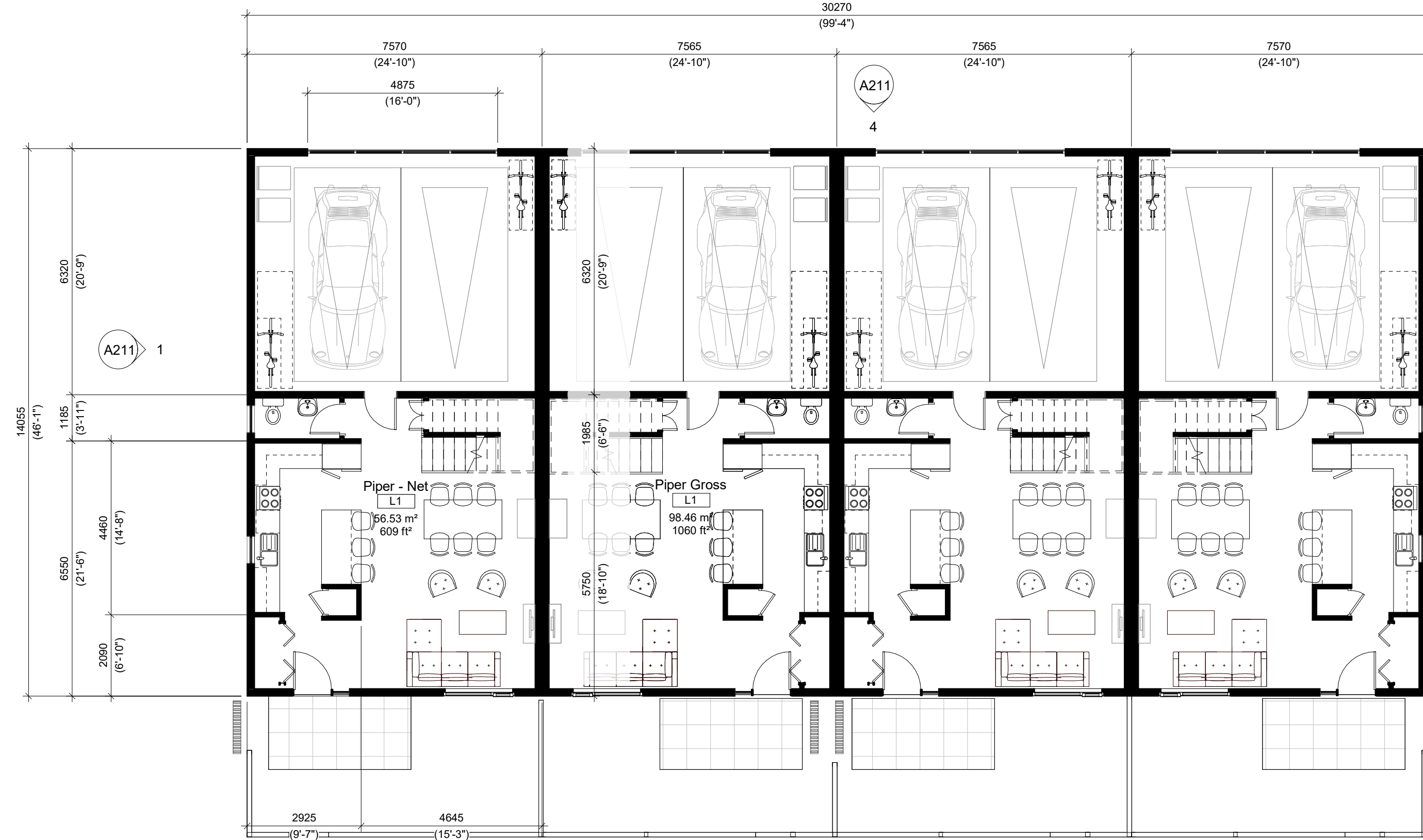
1 Building Section 1 - Piper (Quad w/ Rooftop)  
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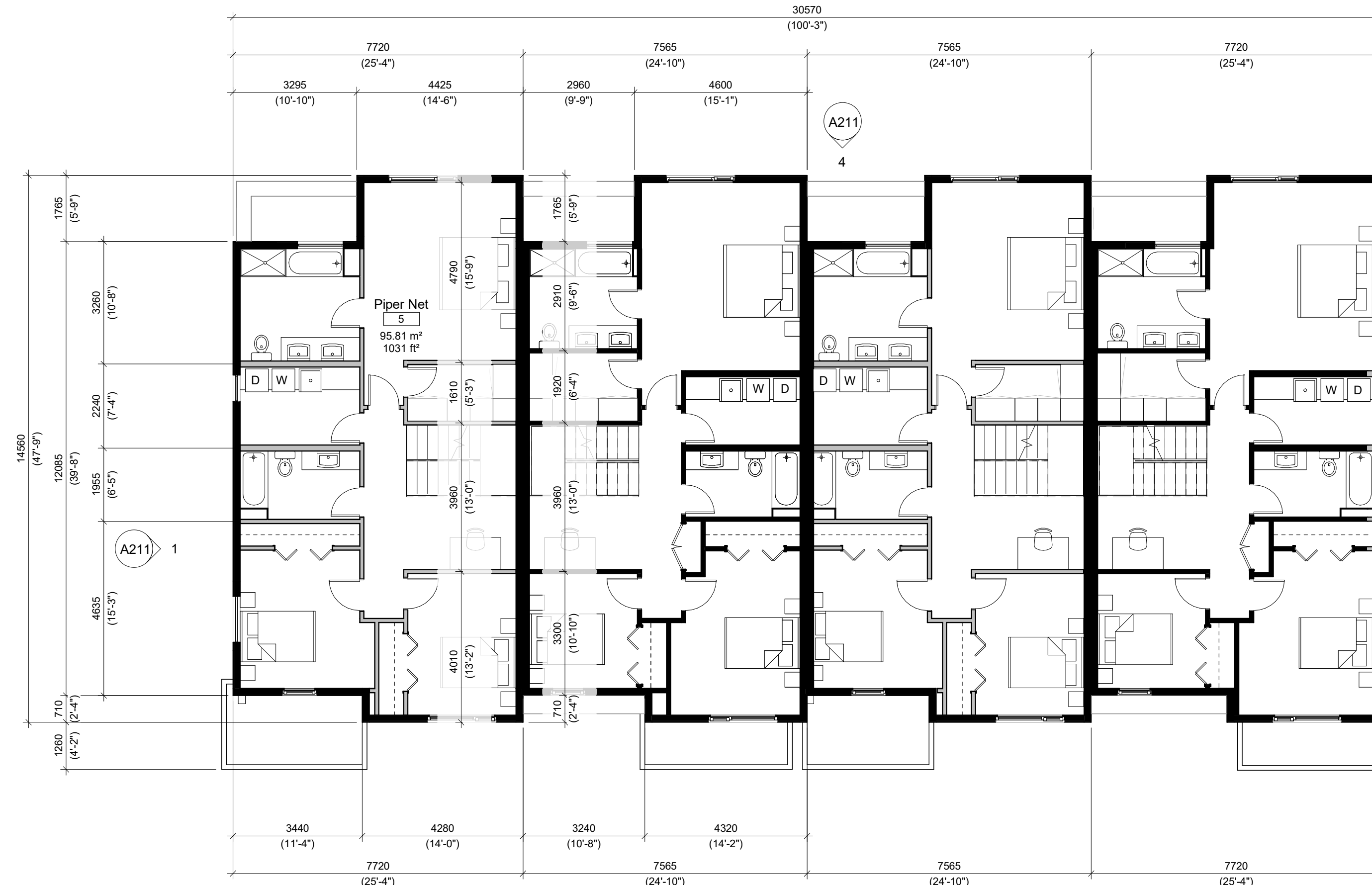
2 Building Section 2 - Piper (Quad w/ Rooftop)  
SCALE = 1 : 100



4 Piper (Quad w/ Rooftop) L3  
SCALE = 1 : 100



3 Piper (Quad w/ Rooftop) L1  
SCALE = 1 : 100



5 Piper (Quad w/ Rooftop) L2  
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
1	Issued for DP Resubmission	03/28/2024



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
Plans & Sections - Piper 4  
w/ Rooftop

Date  
03/28/2024

Scale  
1 : 100

Project #  
2312

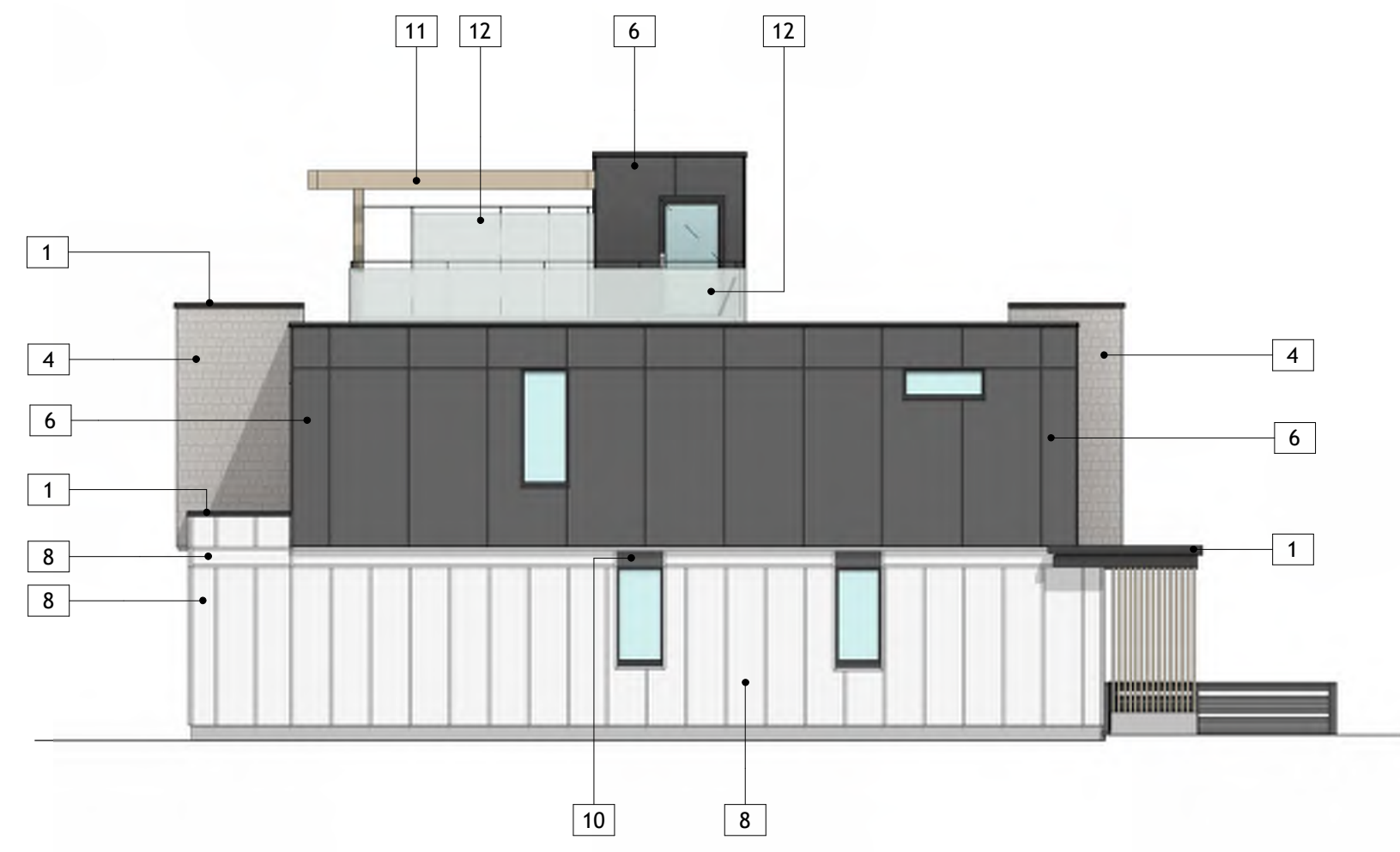
Revision  
3/28/2024

Sheet #  
1

A210

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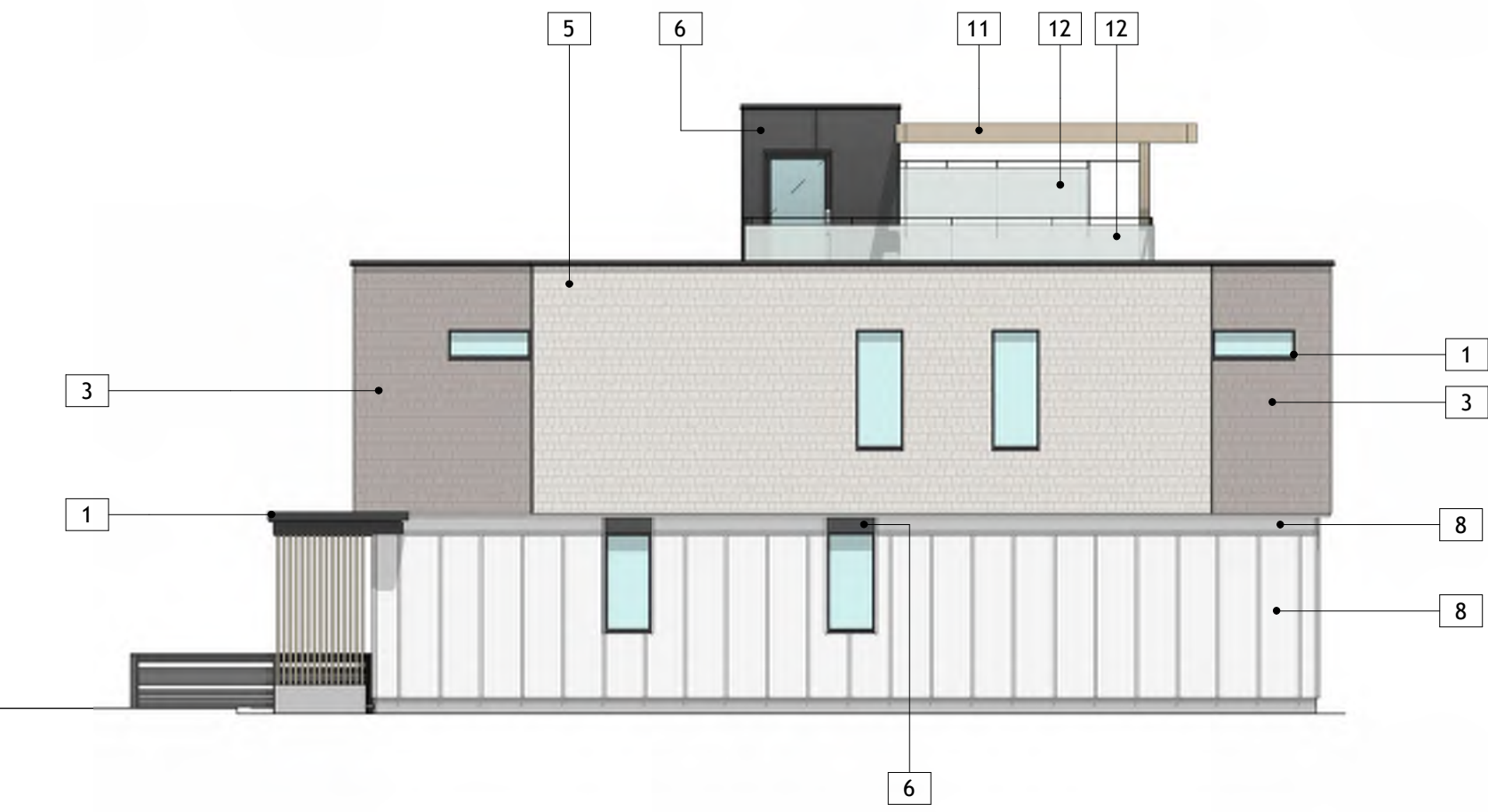




1 Left Elevation (Quad w/ Rooftop)  
SCALE = 1 : 100



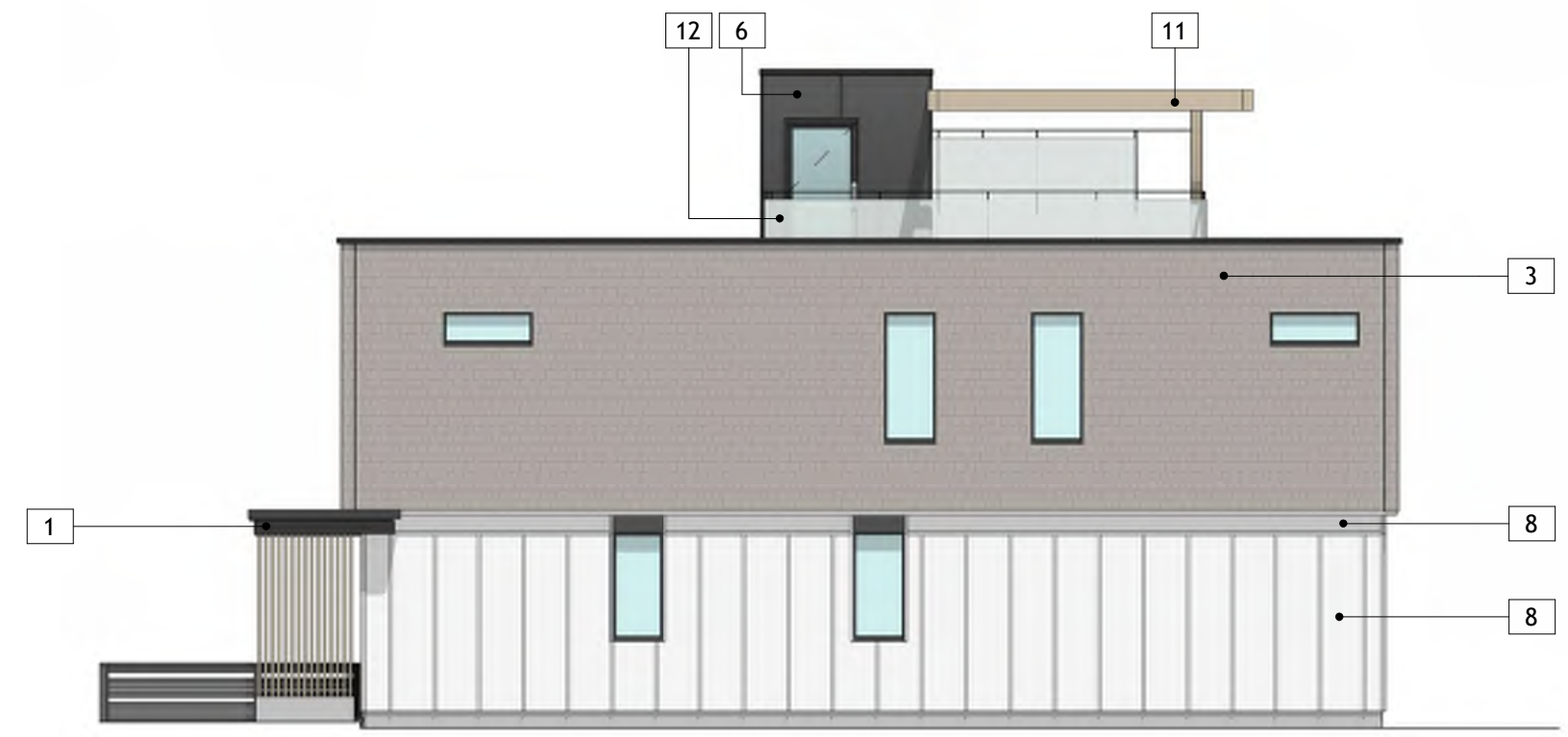
2 Front Elevation (Quad w/ Rooftop) Option 1  
SCALE = 1 : 100



3 Right Elevation (Quad w/ Rooftop)  
SCALE = 1 : 100



4 Rear Elevation (Quad w/ Rooftop) Option 1  
SCALE = 1 : 100



5 Right Elevation (Quad w/ Rooftop) Outside Face  
SCALE = 1 : 100



6 Front Elevation (Quad w/ Rooftop) Option 2  
SCALE = 1 : 100  
Building: 3



7 Rear Elevation (Quad w/ Rooftop) Option 2  
SCALE = 1 : 100  
Building: 3

MATERIALS LEGEND

- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
CARIBOU TRAILS
- 3 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE GRANITE
- 4 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE RAPIDS
- 5 HARDIE SHINGLE SIDING  
RUSTIC SERIES  
ARCTIC WHITE
- 6 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 7 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 8 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE
- 9 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 10 PRIVACY FENCE  
REFER TO LANDSCAPE
- 11 SCREEN FEATURE
- 12 FROSTED GLASS GUARDRAIL w/ BALUSTERS
- 13 ICF - INSULATED CONCRETE FORMS

3	Issued for DP Resubmission - Revisions	04/24/2024
2	Issued for DP Resubmission - Revisions	04/12/2024
1	Issued for DP Resubmission	04/05/2024
1	Issued for DP	12/01/2023
NO.	DESCRIPTION	DATE



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

Sheet Name  
**Elevations - Piper 4 w/  
Rooftop**

Date  
4/25/2024 2:49:24 PM

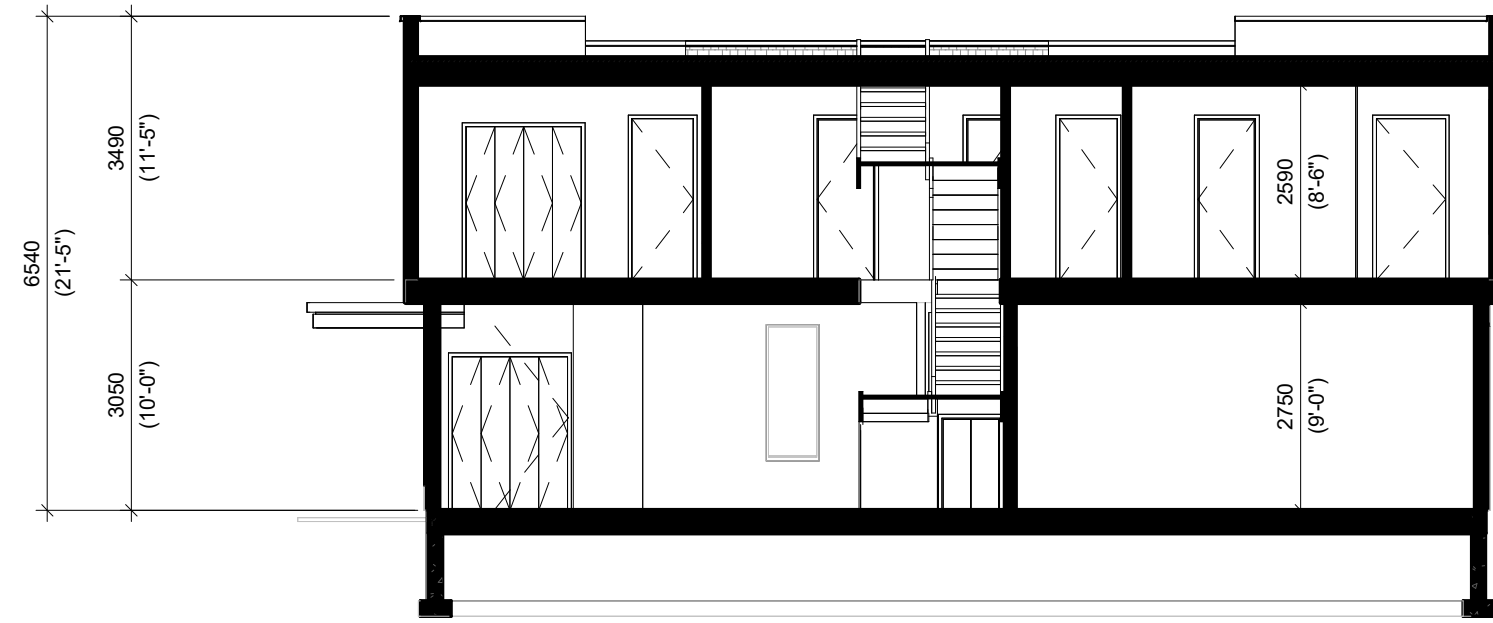
Scale  
As indicated

Project #  
2312

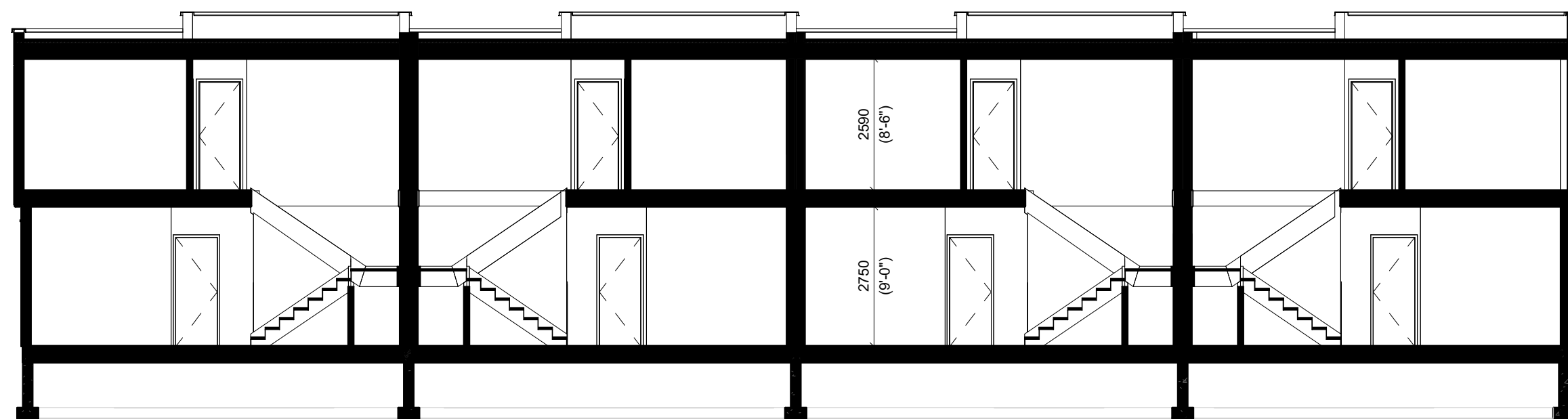
Revision  
04/24/2024 **3**

Sheet #  
**A211**

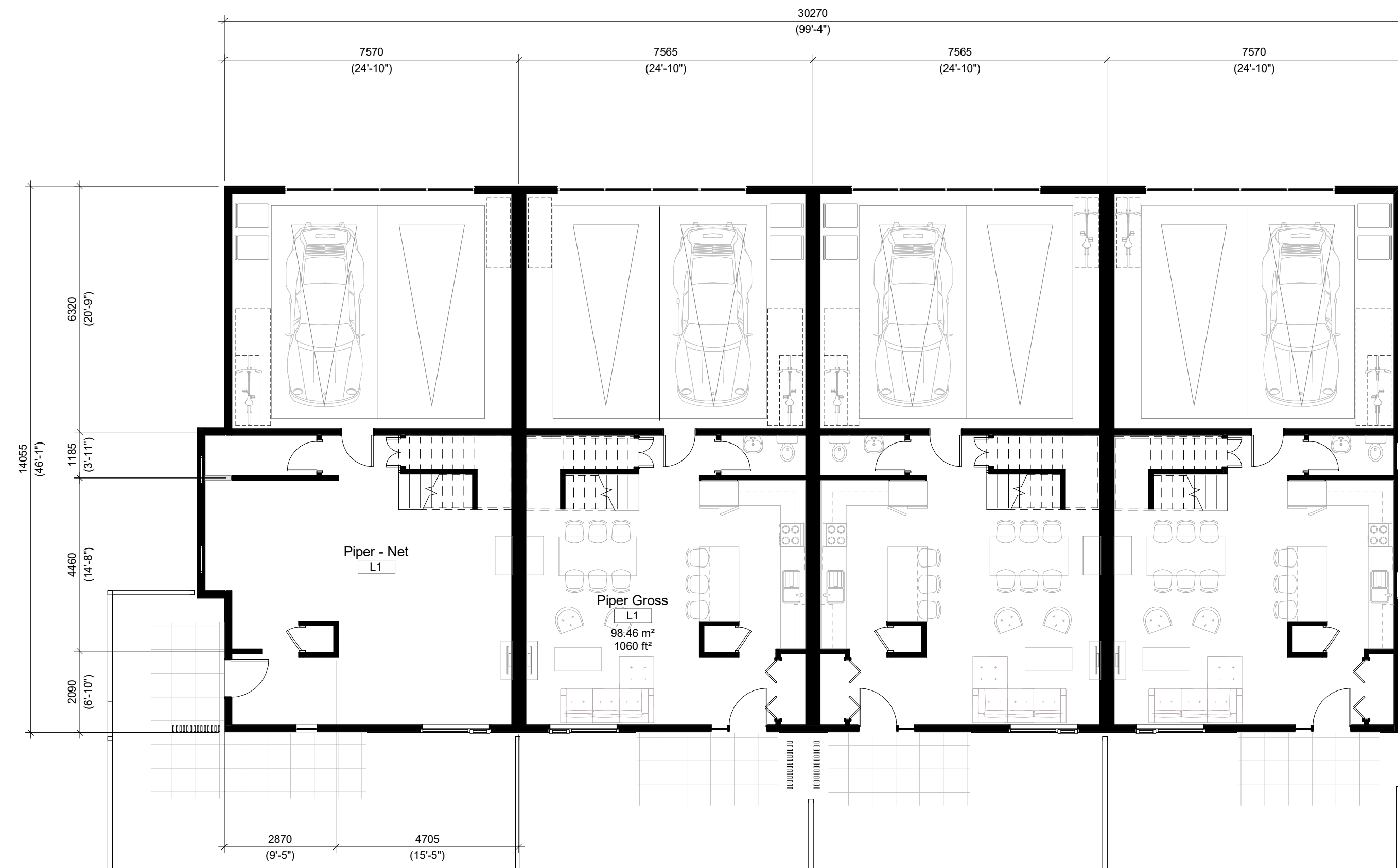




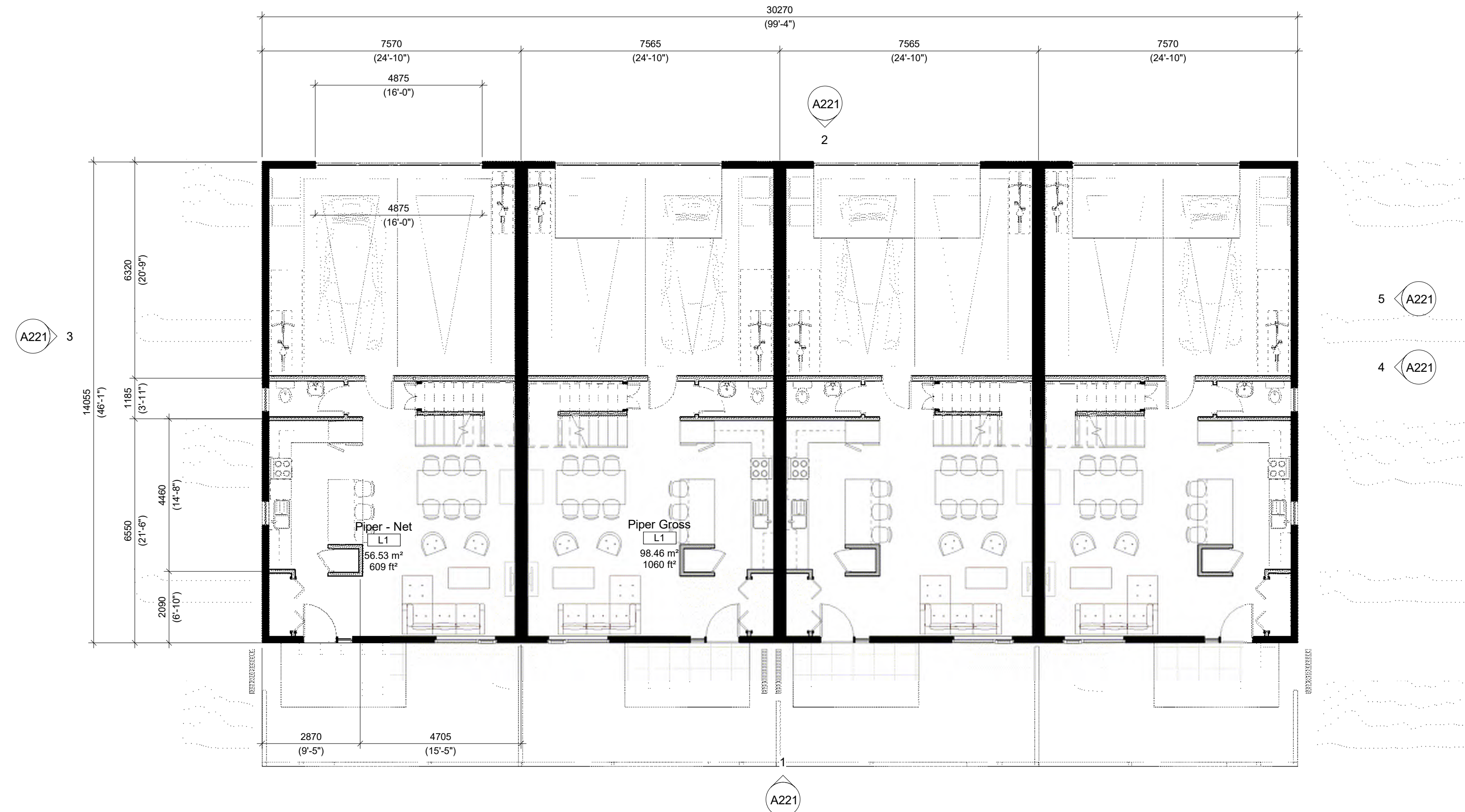
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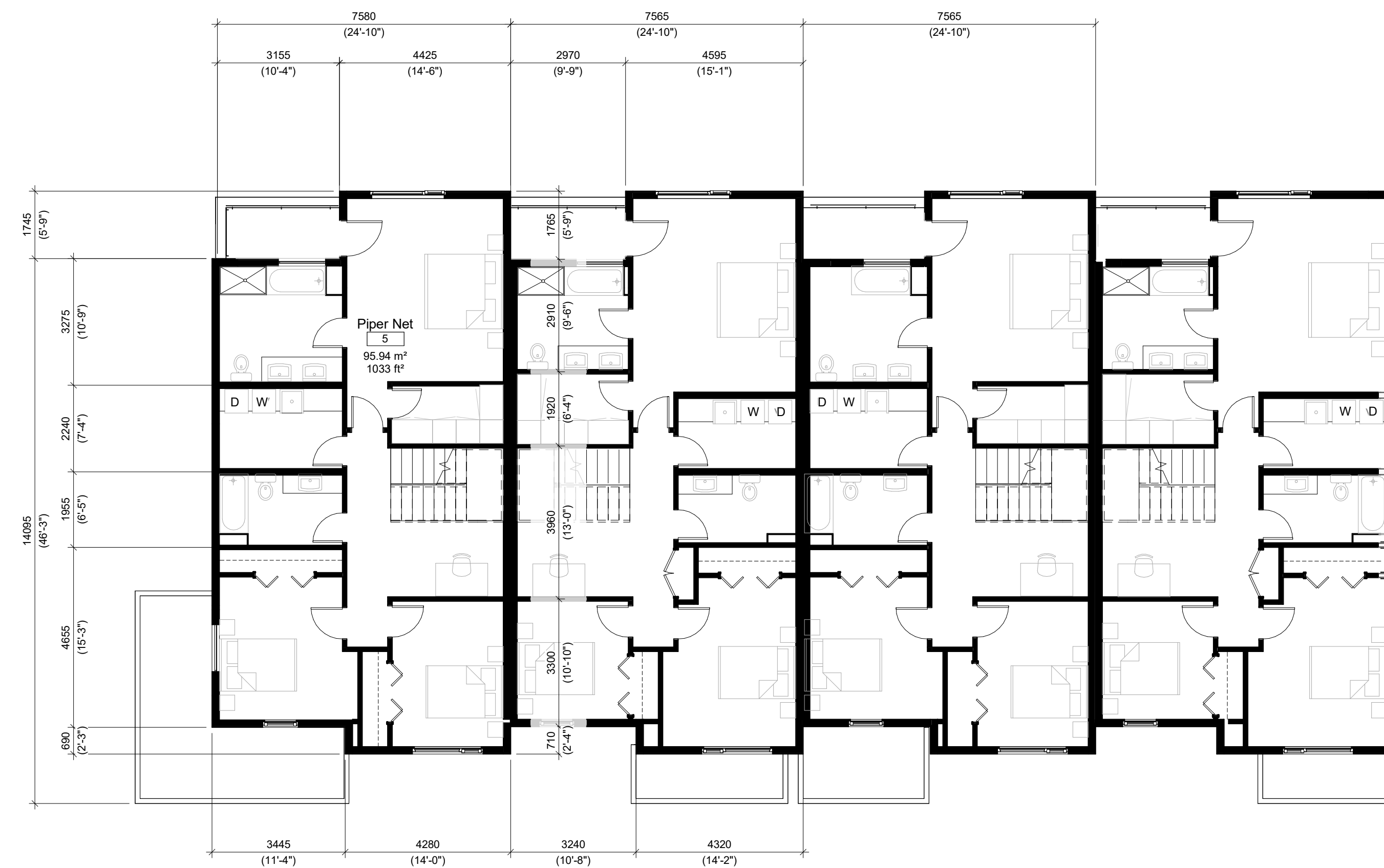
2 Building Section 2 - Piper (Quad)  
SCALE = 1 : 100



4 Floor Plan - Piper (Quad) Side Entry L1  
SCALE = 1 : 100

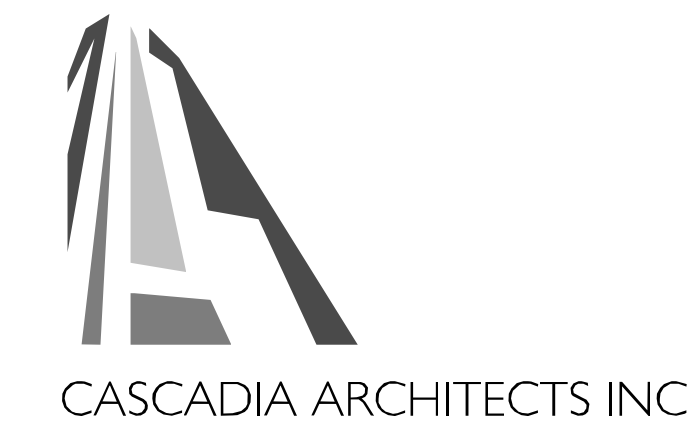


3 Piper (Quad) L1  
SCALE = 1 : 100



5 Floor Plan - Piper (Quad) L2  
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
2	Issued for DP Resubmission - Revised	04/12/2024
1	Issued for DP Resubmission	04/05/2024



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
Plans & Sections - Piper 4

Date  
4/11/2024 4:09:26 PM

Scale  
1 : 100

Project #  
2312

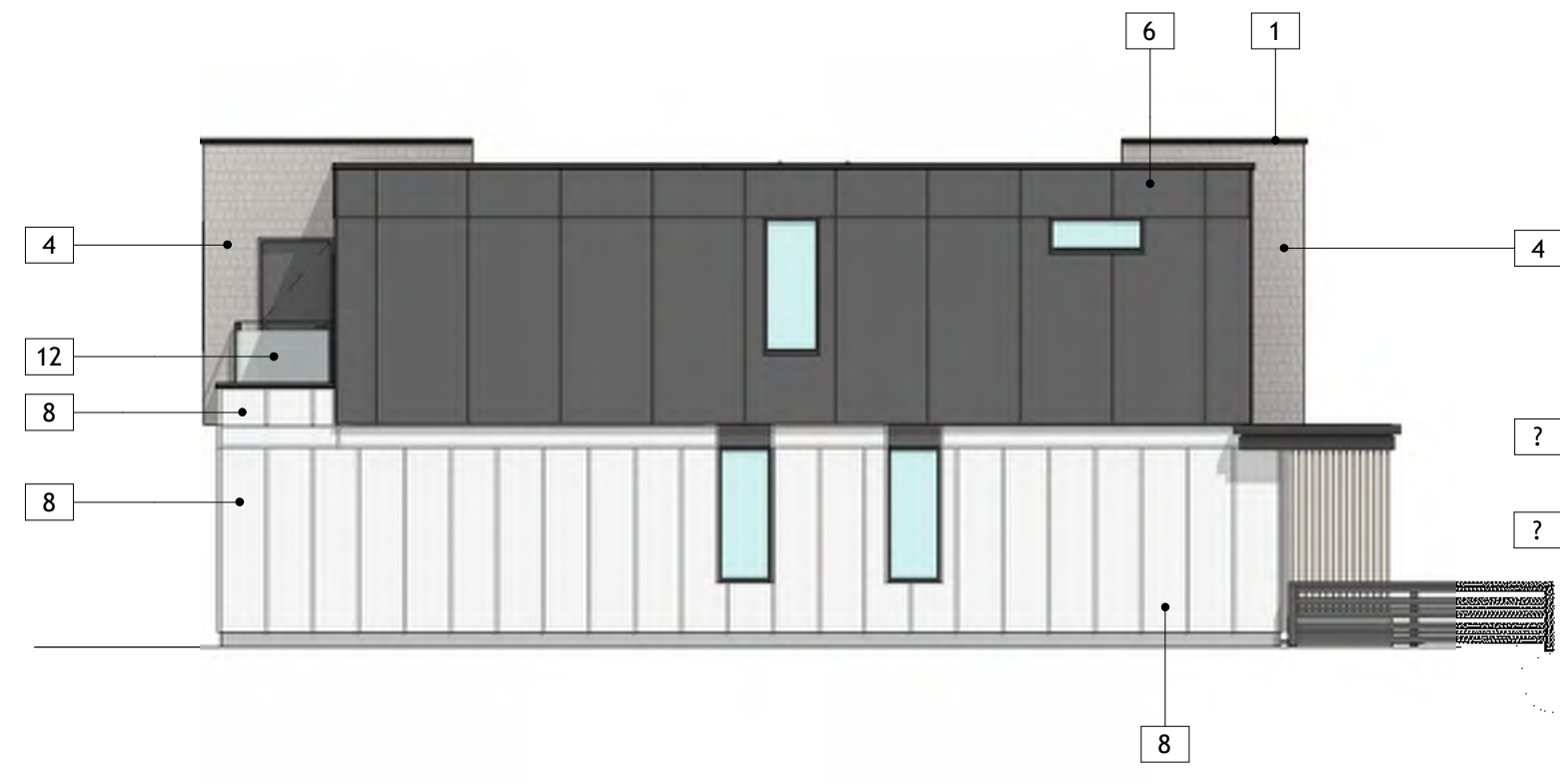
Revision  
4/10/2024

Sheet #  
2

A220

2024-04-12

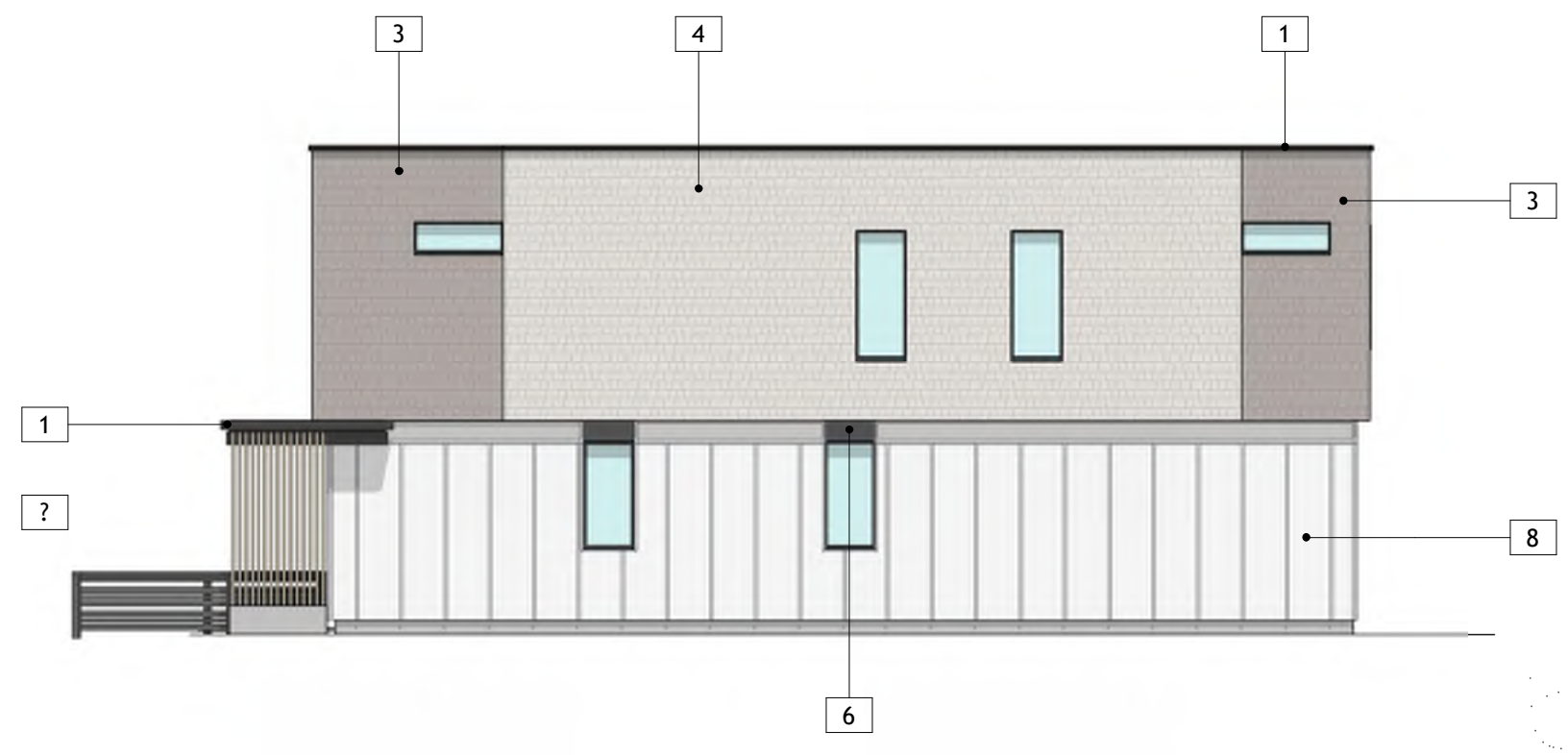




1 Left Elevation (Quad)  
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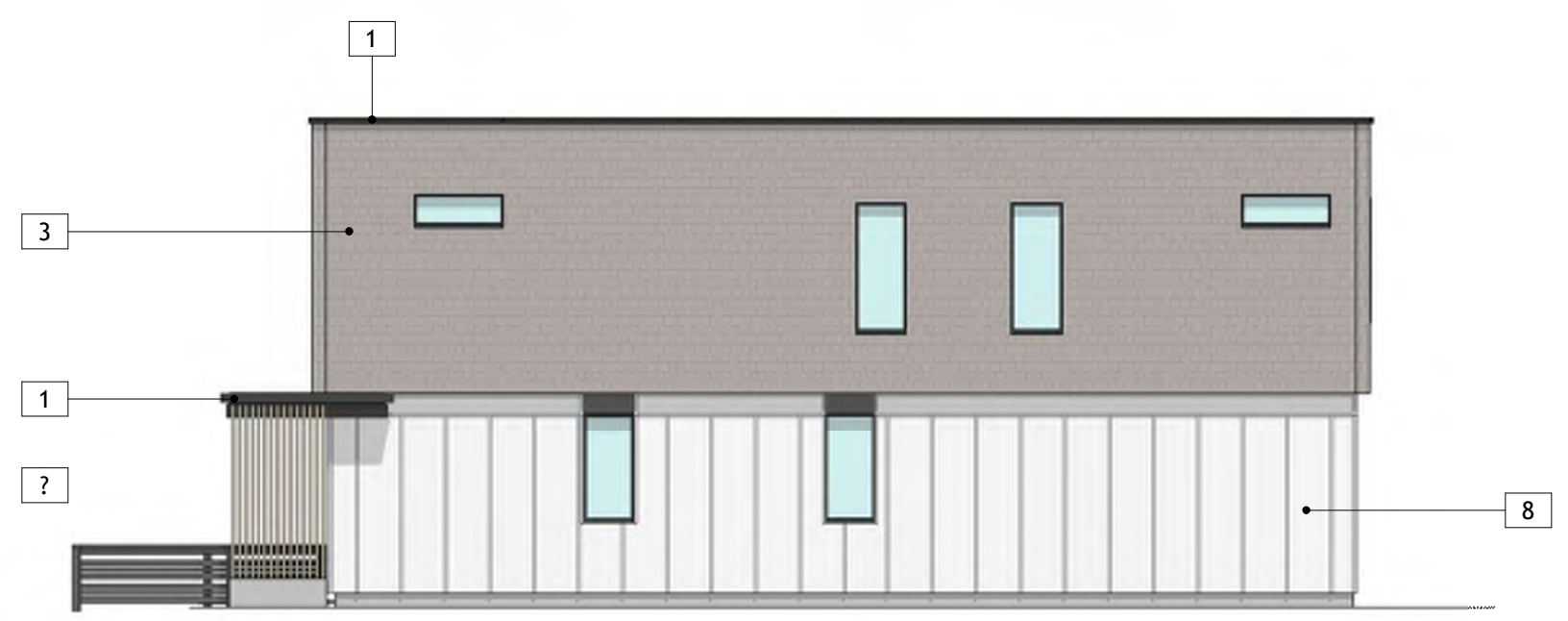
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3 Right Elevation (Quad)  
SCALE = 1 : 100



4 Rear Elevation (Quad) Option 1  
SCALE = 1 : 100



5 Right Elevation (Quad) Outside Face  
SCALE = 1 : 100



6 Front Elevation (Quad) Option 2  
SCALE = 1 : 100  
Buildings: 1 & 14



7 Rear Elevation (Quad) Option 2  
SCALE = 1 : 100  
Buildings: 1 & 14

**MATERIALS LEGEND**

- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
CARIBOU TRAILS
- 3 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE GRANITE
- 4 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE RAPIDS
- 5 HARDIE SHINGLE SIDING  
RUSTIC SERIES  
ARCTIC WHITE
- 6 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 7 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 8 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE
- 9 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 10 PRIVACY FENCE  
REFER TO LANDSCAPE
- 11 SCREEN FEATURE
- 12 FROSTED GLASS GUARDRAIL w/ BALUSTERS
- 13 ICF - INSULATED CONCRETE FORMS

NO.	DESCRIPTION	DATE
3	Issued for DP Resubmission - Revisions	04/24/2024
2	Issued for DP Resubmission - Revisions	04/12/2024
1	Issued for DP Resubmission	04/05/2024
	Issued for DP	12/01/2023



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

Sheet Name  
**Elevations - Piper 4**

Date  
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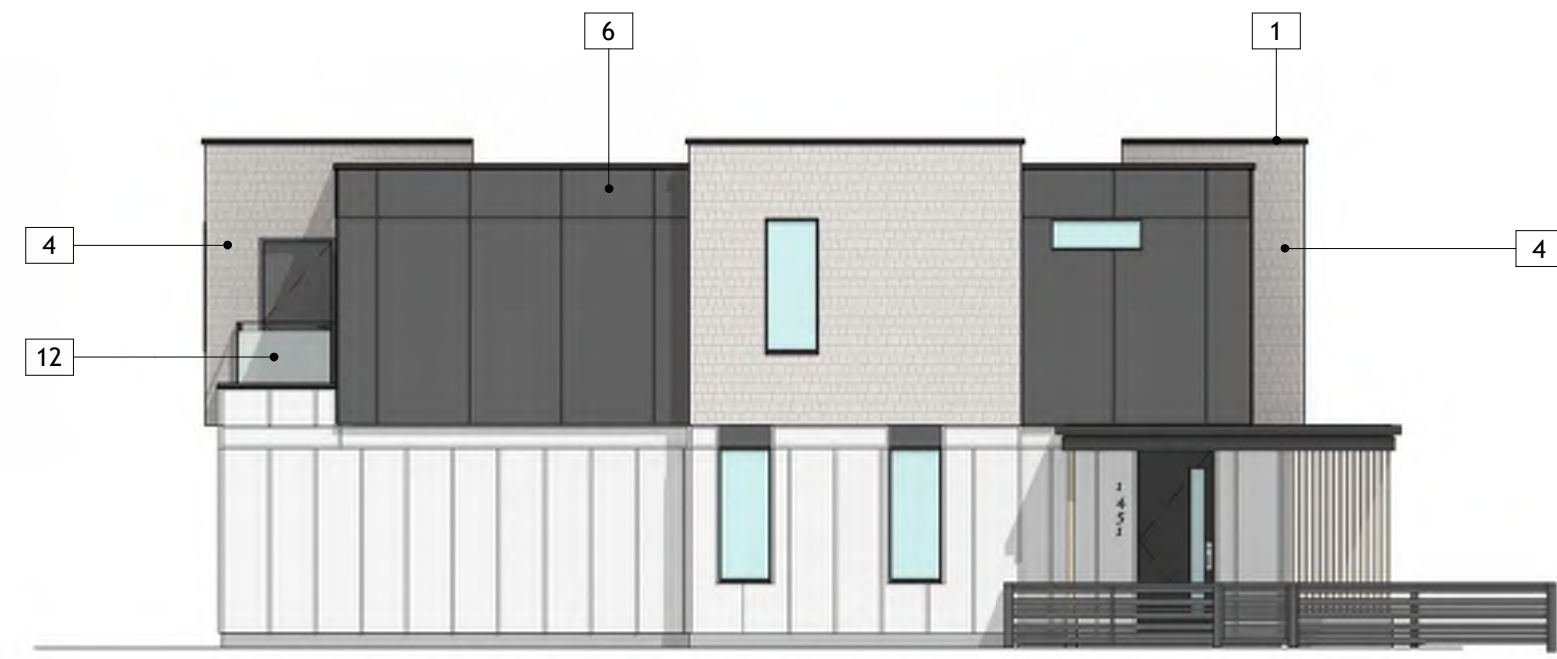
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Project #  
2312

Revision  
04/24/2024 **3**

Sheet #  
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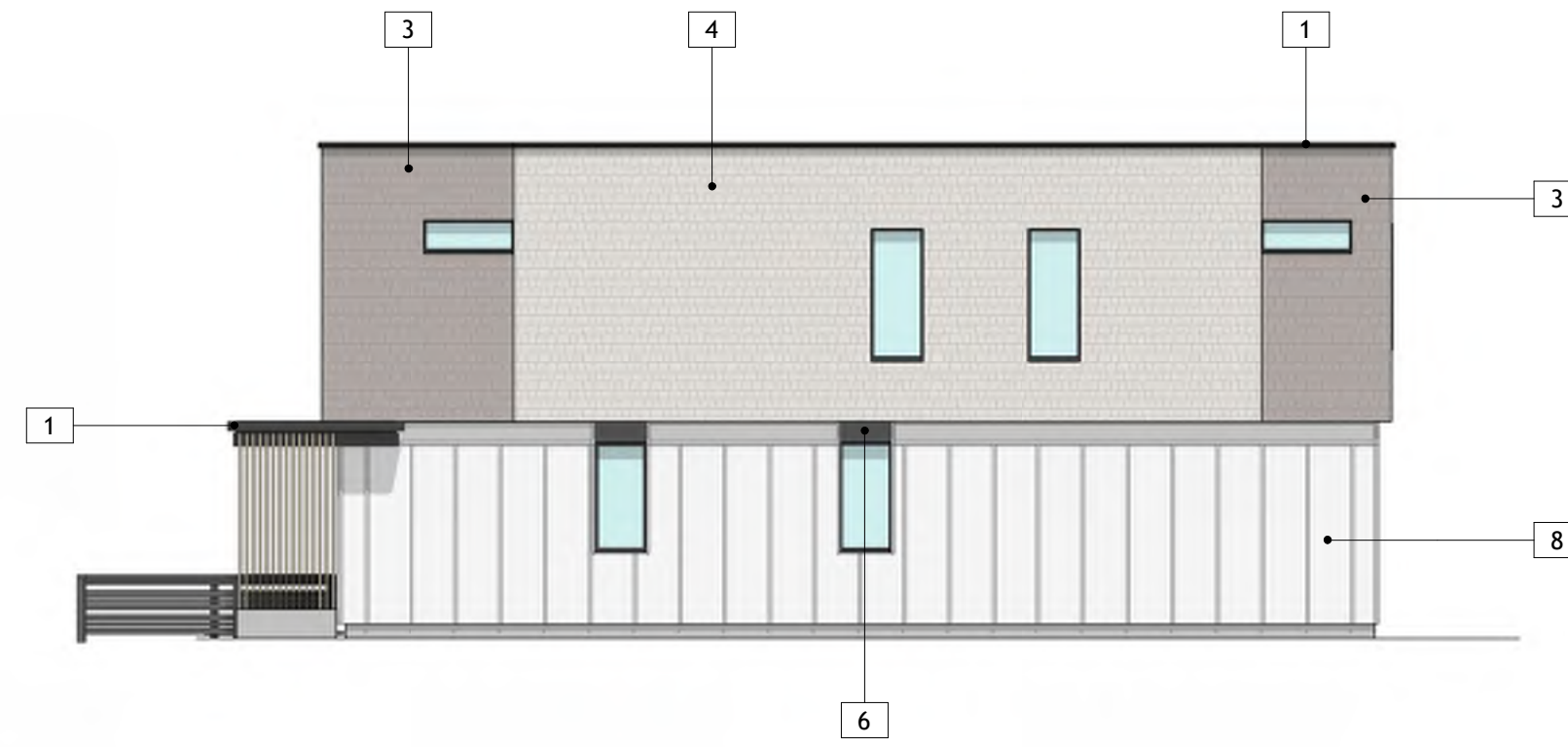




1 Left Elevation (Bldg. 6)  
SCALE = 1 : 100



2 Front Elevation (Bldg. 6)  
SCALE = 1 : 100



3 Right Elevation (Bldg. 6)  
SCALE = 1 : 100



4 Rear Elevation (Bldg. 6)  
SCALE = 1 : 100

**MATERIALS LEGEND**

- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
CARIBOU TRAILS
- 3 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE GRANITE
- 4 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE RAPIDS
- 5 HARDIE SHINGLE SIDING  
RUSTIC SERIES  
ARCTIC WHITE
- 6 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 7 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 8 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE
- 9 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 10 PRIVACY FENCE  
REFER TO LANDSCAPE
- 11 SCREEN FEATURE
- 12 FROSTED GLASS GUARDRAIL w/ BALUSTERS
- 13 ICF - INSULATED CONCRETE FORMS

3	Issued for DP Resubmission - Revisions	04/24/2024
2	Issued for DP Resubmission - Revisions	04/12/2024
1	Issued for DP Resubmission	04/05/2024
	Issued for DP	12/01/2023
NO.	DESCRIPTION	DATE



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

Sheet Name  
**Elevations - Bldg. 6**

Date  
4/25/2024 2:50:44 PM

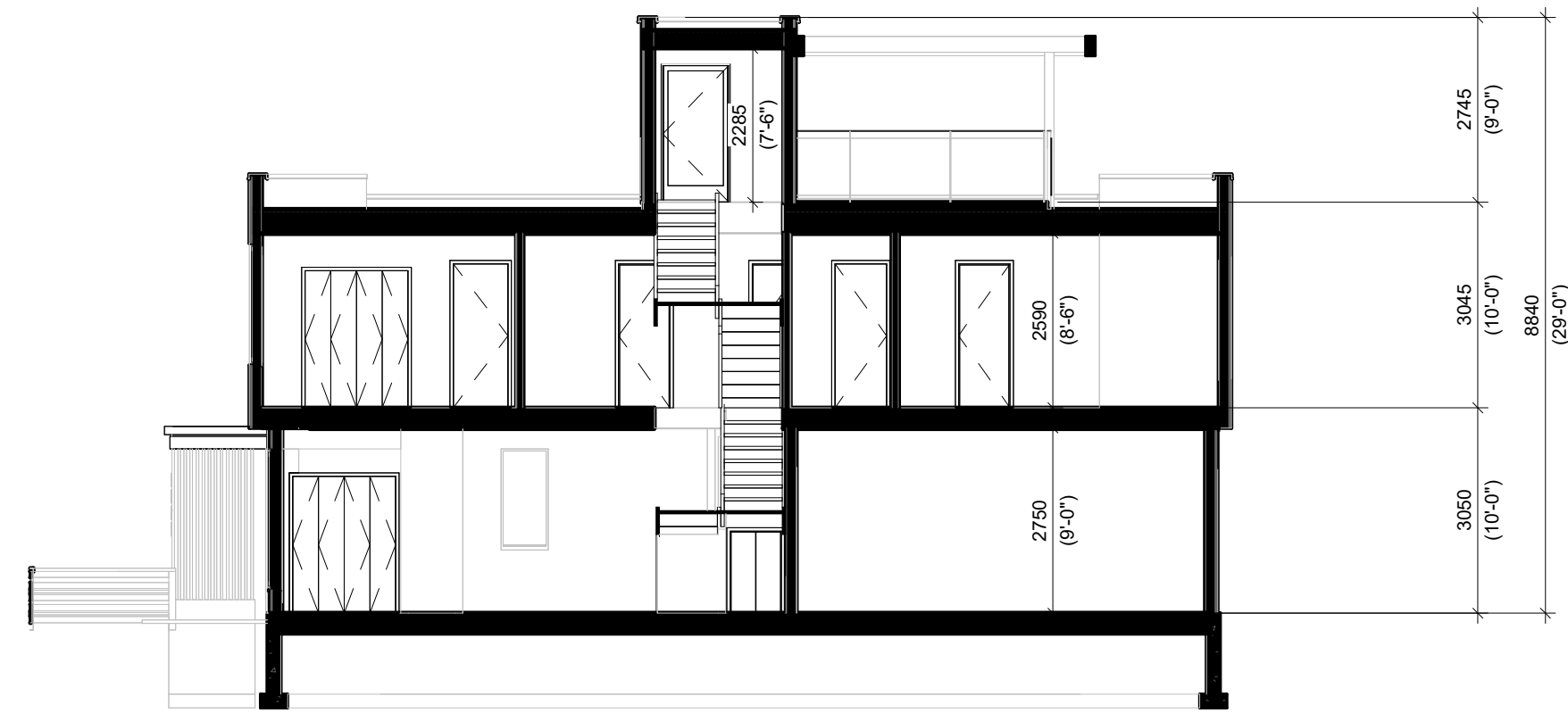
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Project #  
2312

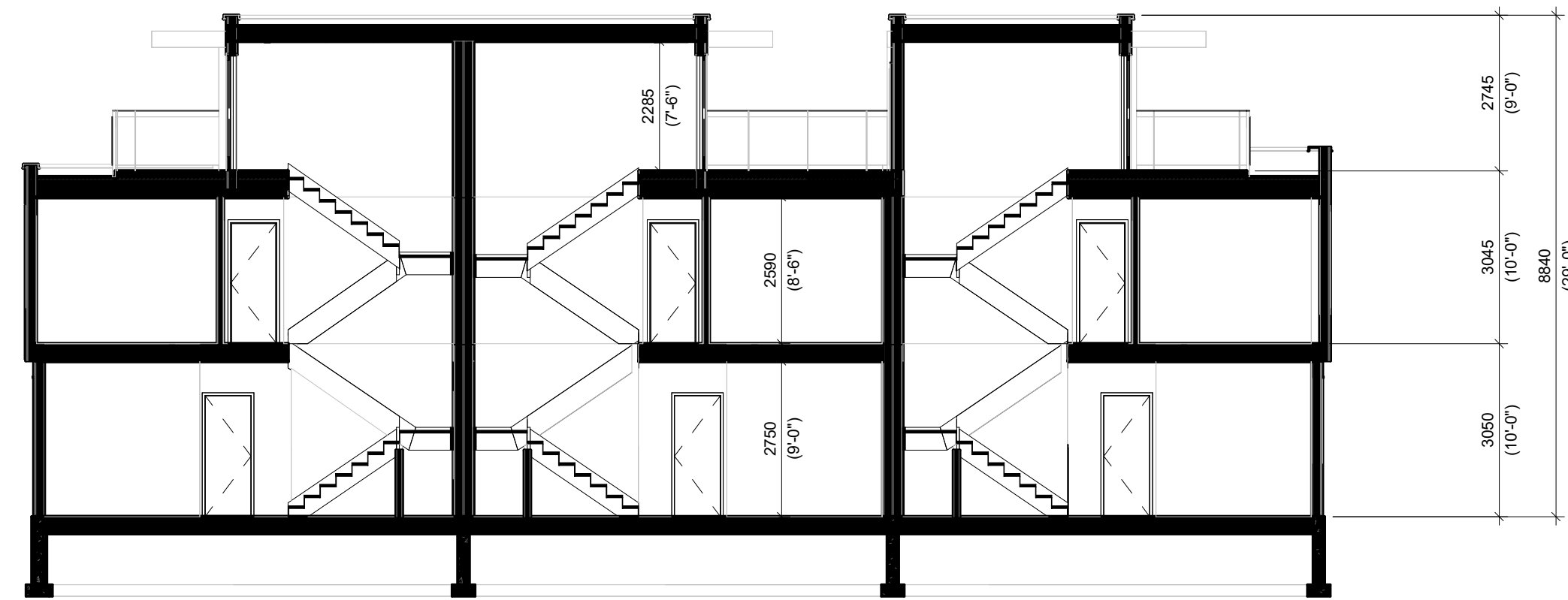
Revision  
04/24/2024 **3**

Sheet #  
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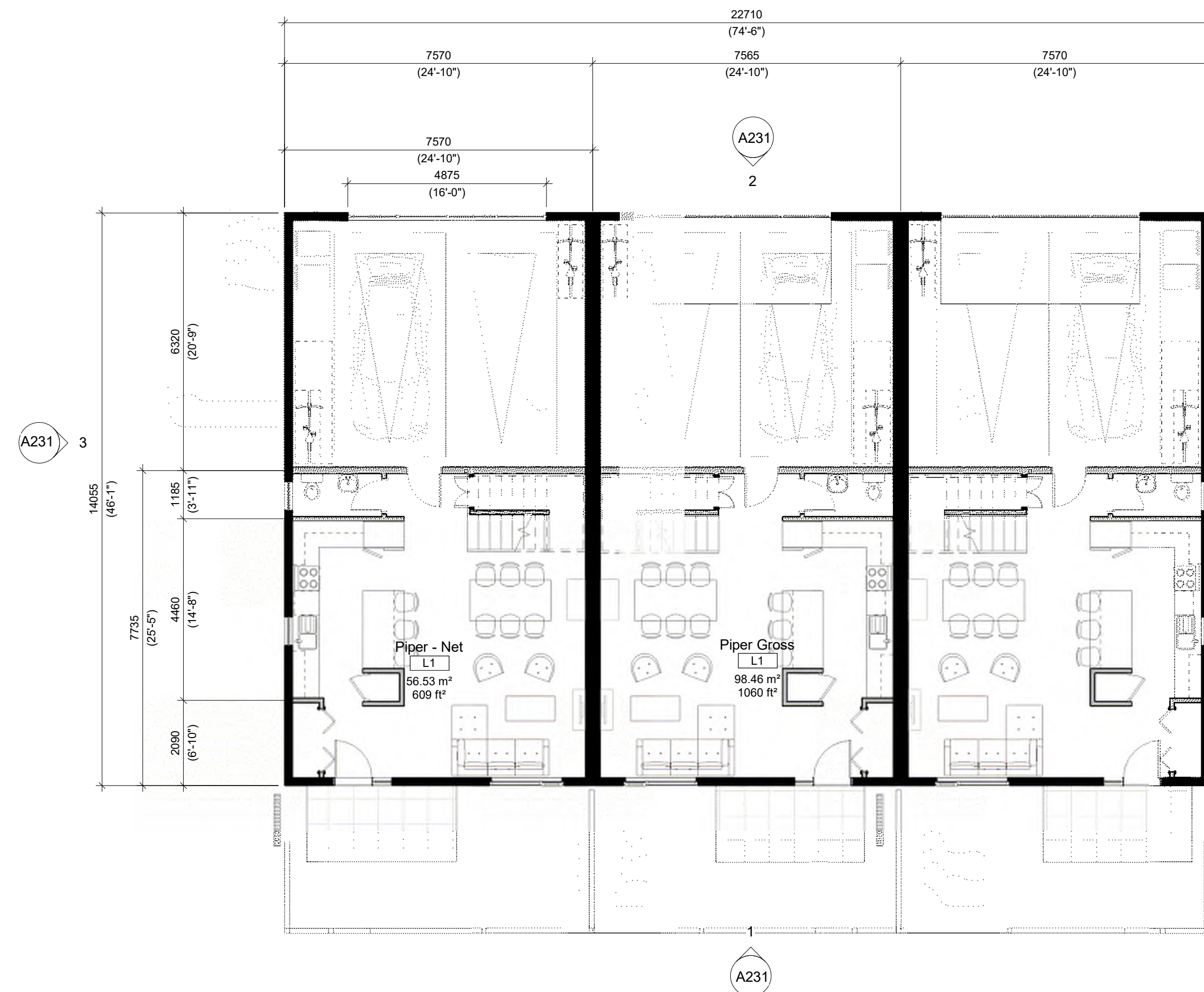




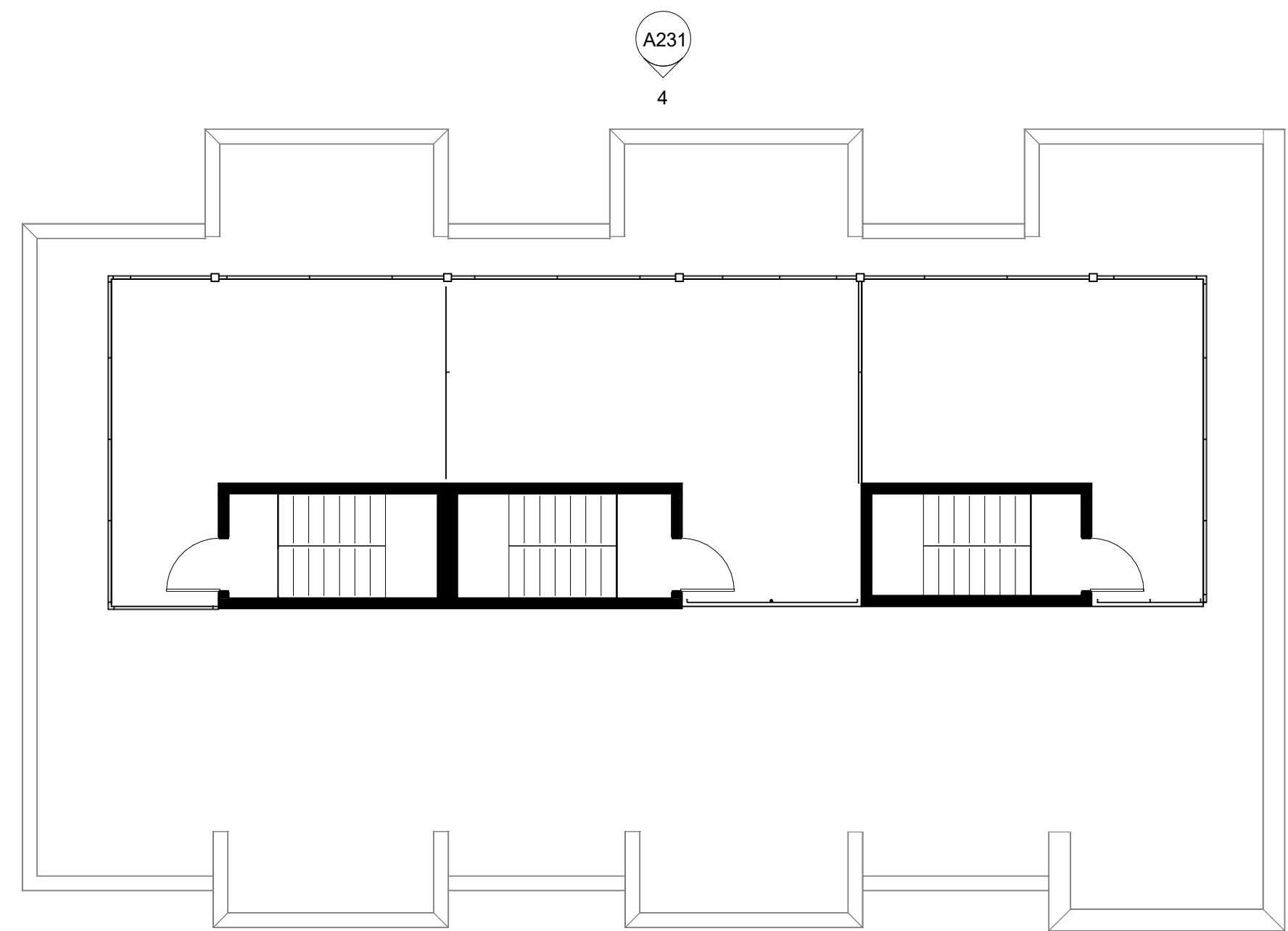
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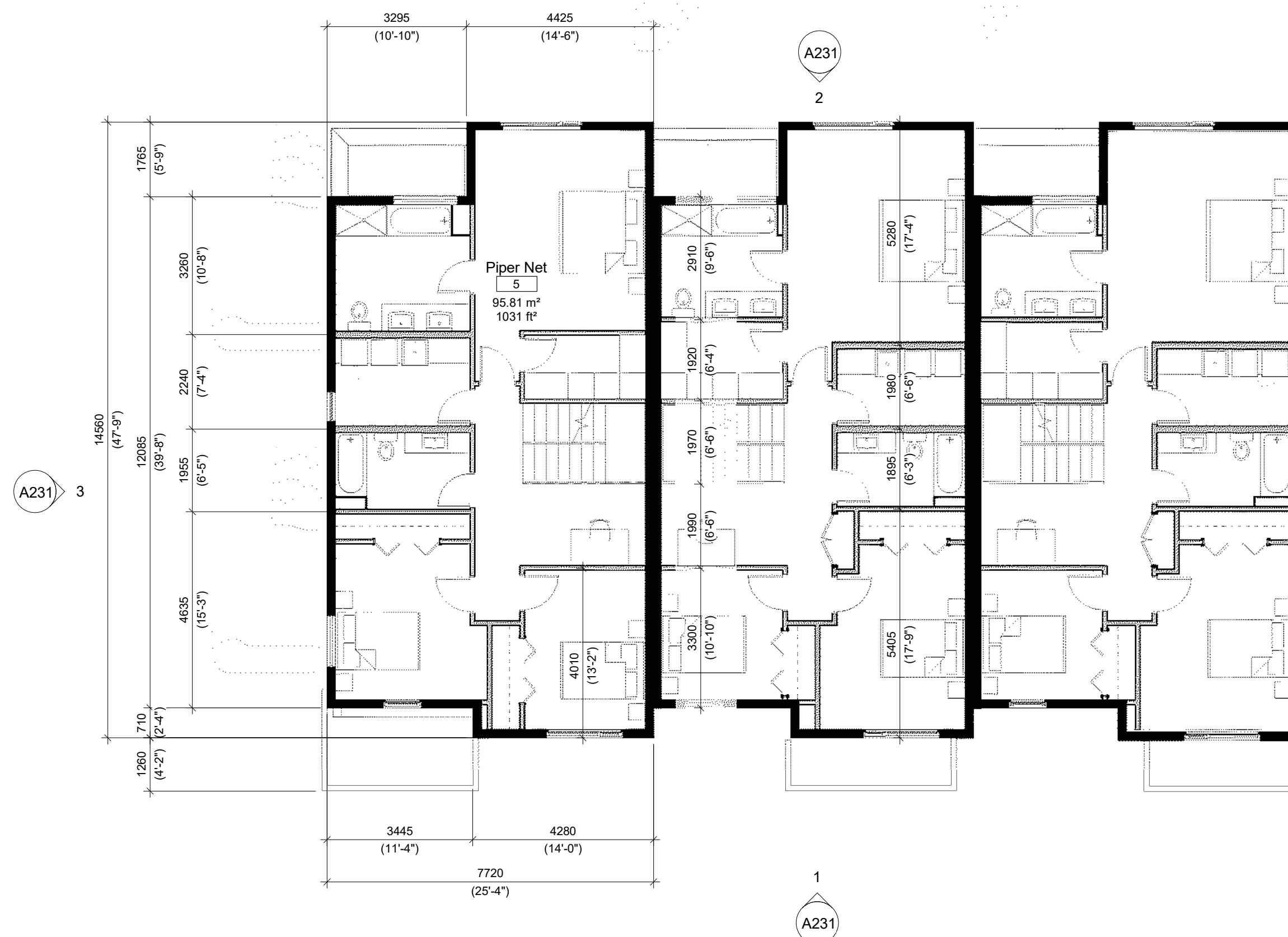
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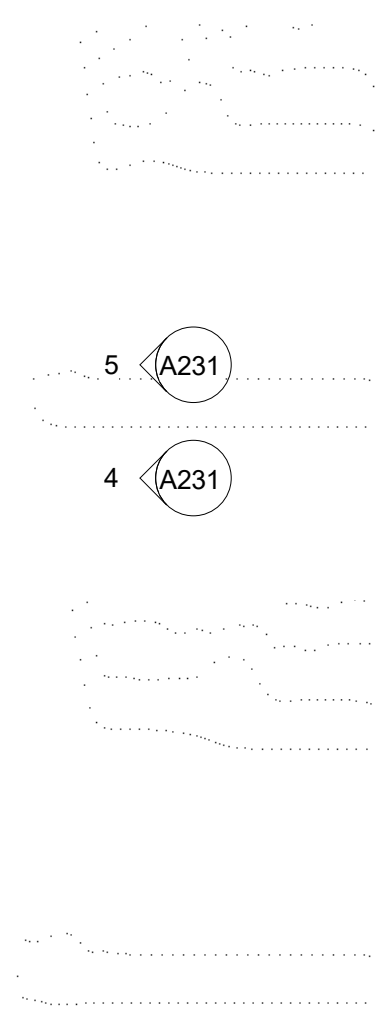
3 Piper (Triplex w Rooftop) L1  
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4 Piper (Triplex w/ Rooftop) L3  
SCALE = 1 : 100



5 Piper (Triplex w Rooftop) L2  
SCALE = 1 : 100



NO.	DESCRIPTION	DATE
1	Issued for DP Resubmission	03/28/2024



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
Plans & Sections - Piper 3  
w/ Rooftop

Date  
03/28/2024

Scale  
1 : 100

Project #  
2312

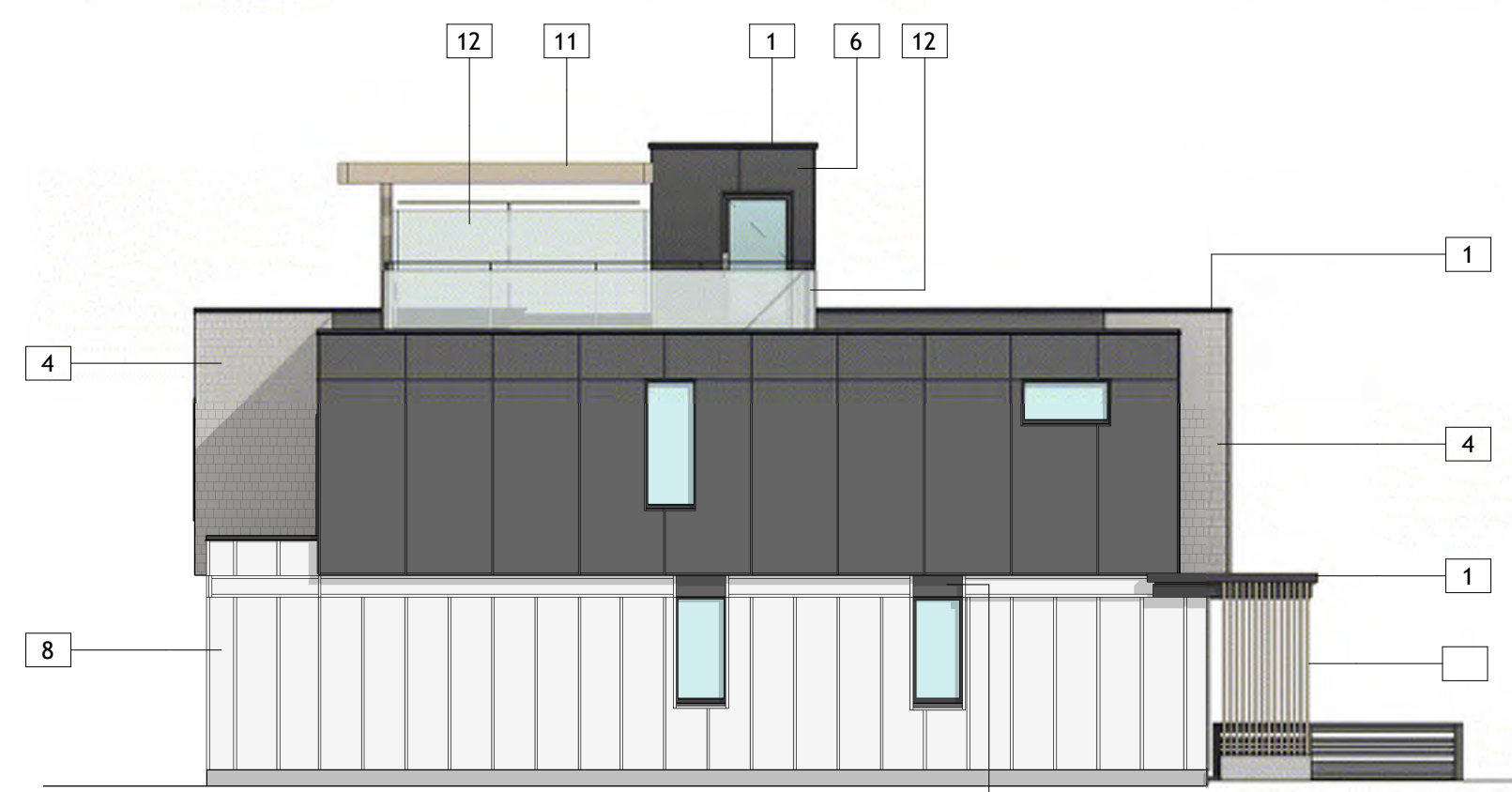
Revision  
3/28/2024

Sheet #  
1

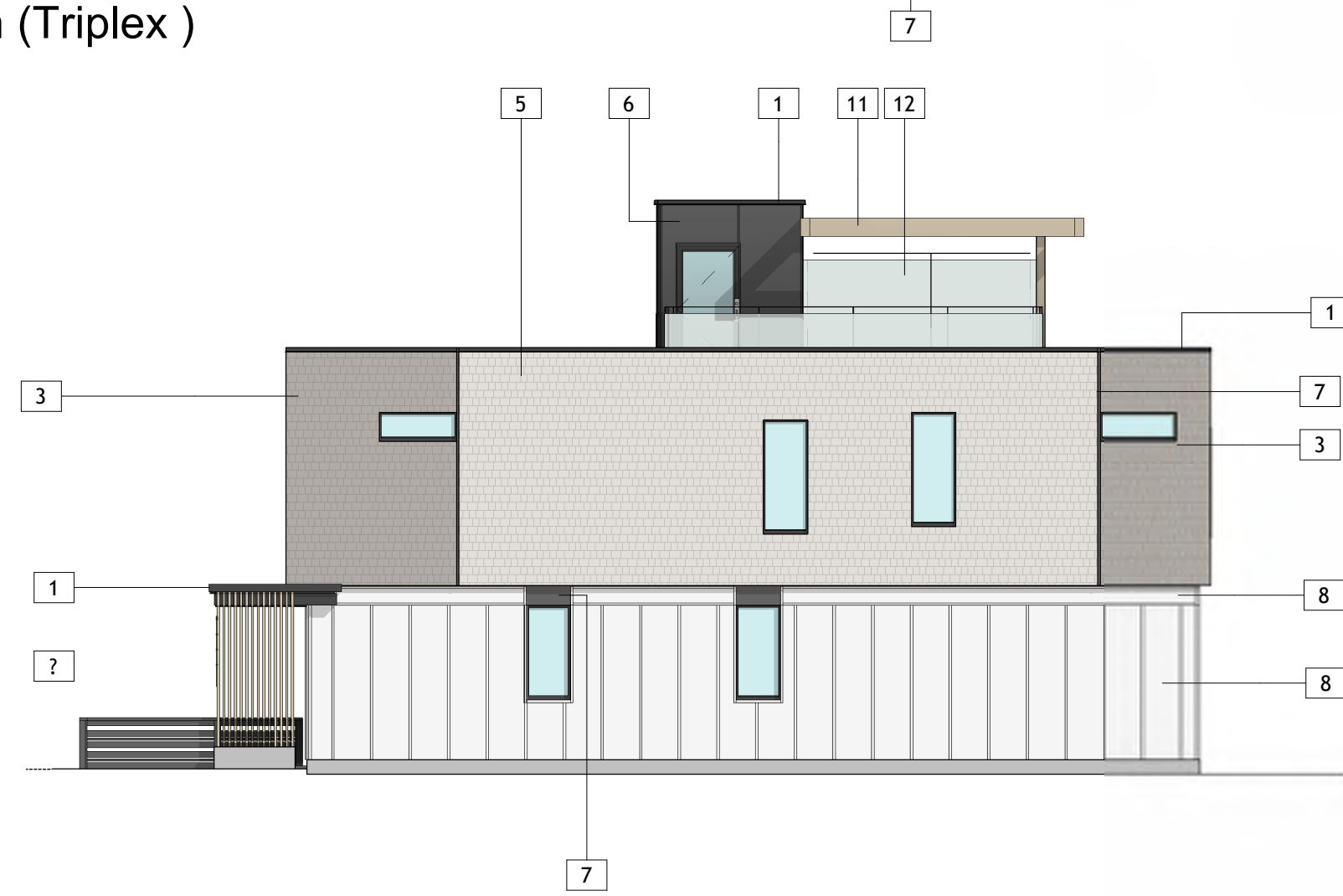
2024-04-05

2024-04-05 7:06:02 PM

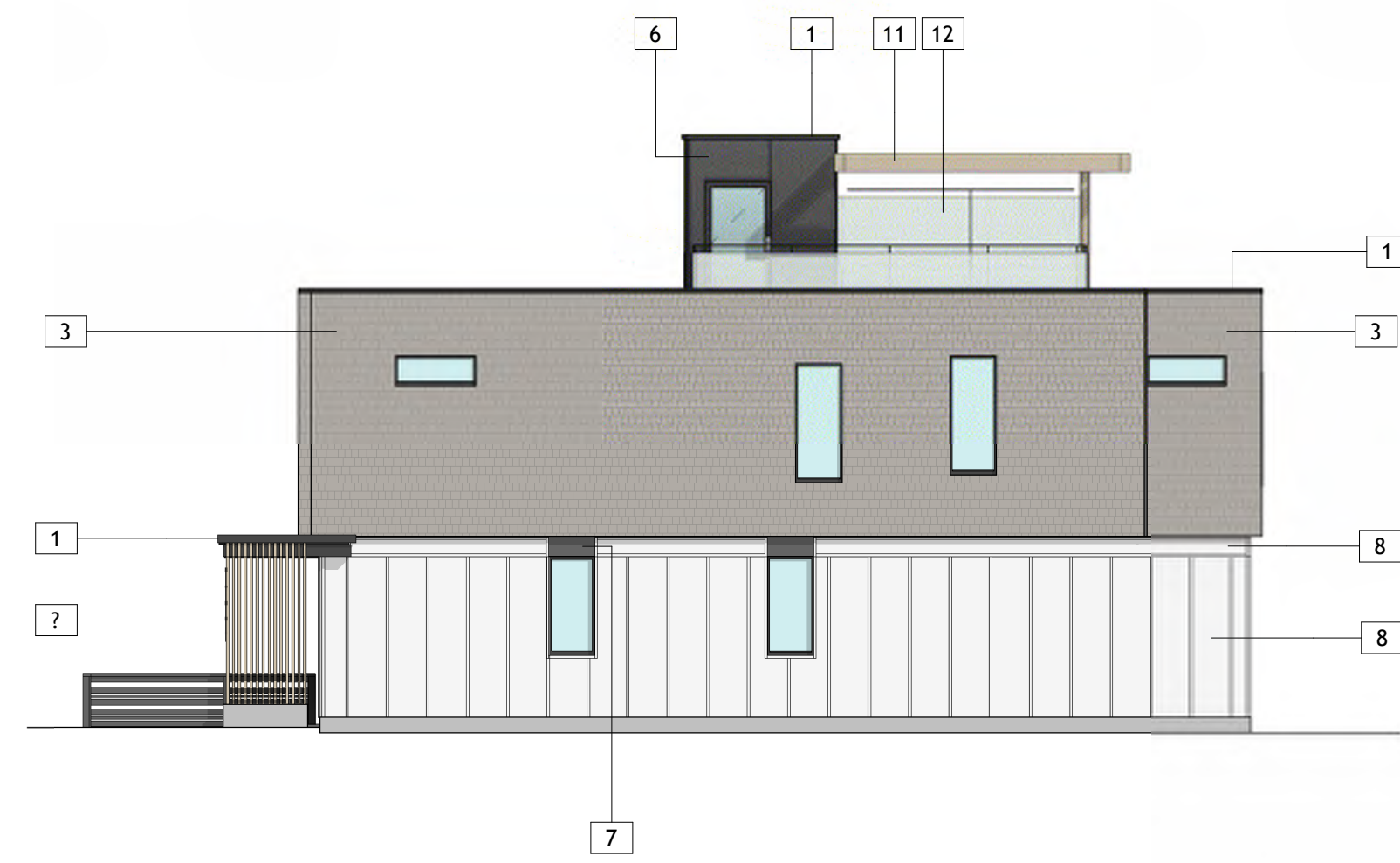




1 Left Elevation (Triplex)  
SCALE = 1 : 100



3 Right Elevation (Triplex)  
SCALE = 1 : 100



5 Right Elevation (Triplex) Outside Face  
SCALE = 1 : 100



2 Front Elevation (Triplex)  
SCALE = 1 : 100



4 Rear Elevation (Triplex)  
SCALE = 1 : 100

**MATERIALS LEGEND**

- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
CARIBOU TRAILS
- 3 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE GRANITE
- 4 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE RAPIDS
- 5 HARDIE SHINGLE SIDING  
RUSTIC SERIES  
ARCTIC WHITE
- 6 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 7 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 8 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE
- 9 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 10 PRIVACY FENCE  
REFER TO LANDSCAPE
- 11 SCREEN FEATURE
- 12 FROSTED GLASS GUARDRAIL w/ BALUSTERS

NO.	DESCRIPTION	DATE
1	Issued for DP Resubmission	03/28/2024



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

Sheet Name  
**Elevations - Piper 3 w/  
Rooftop**

Date  
03/28/2024

Scale  
As indicated

Project #  
2312

Revision  
3/28/2024

Sheet #  
**1**

Sheet #  
**A231**

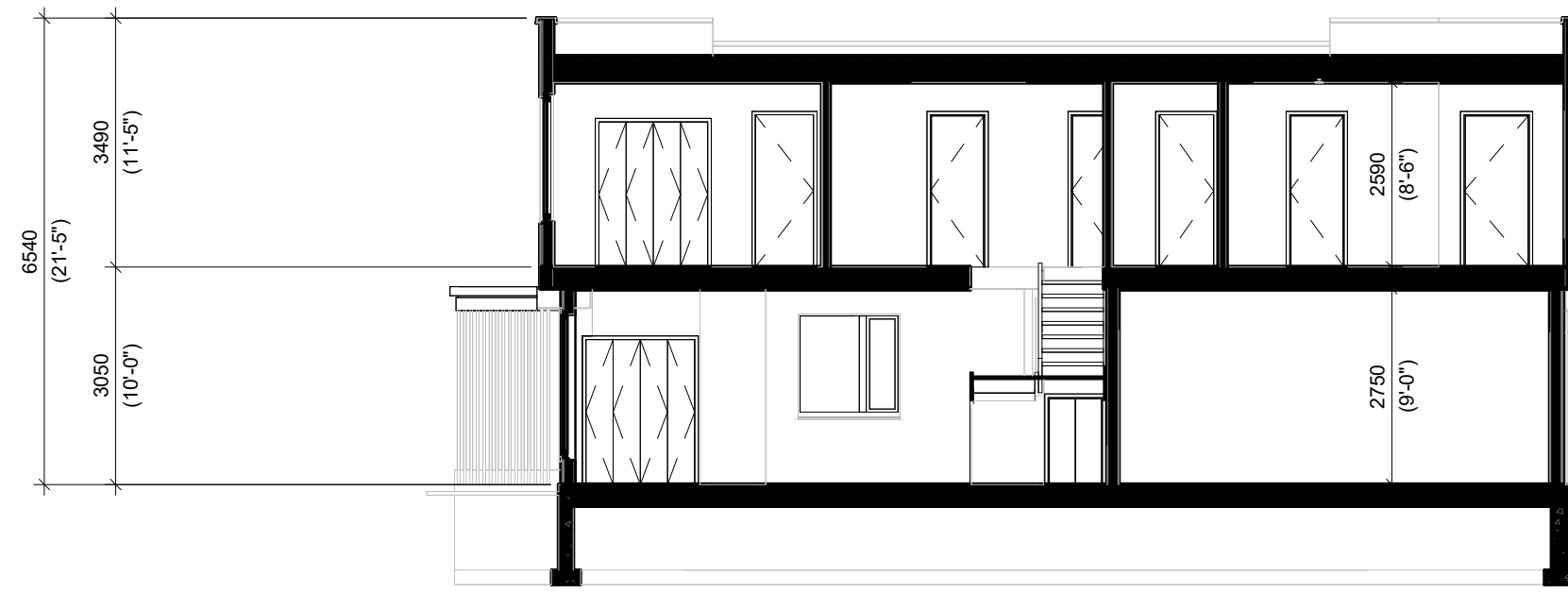
2024-04-05

2024-04-05 7:06:13 PM

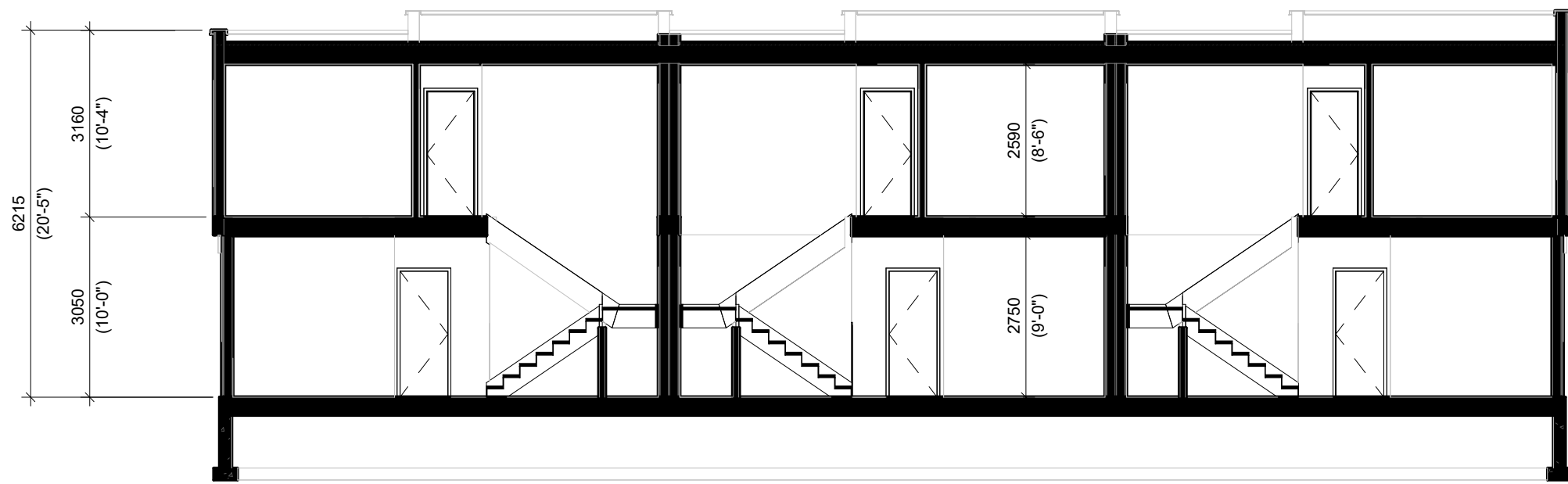


10/13/23 Royal Bay Townhouses - RENT CENTRAL FILE BUILDING PERMIT MODEL/RENDERING/PHOTO/PLAN/SECTION/DETAILS/EXHIBIT/BOOK/OF/4/Booktop (Information) (R/W) (1)

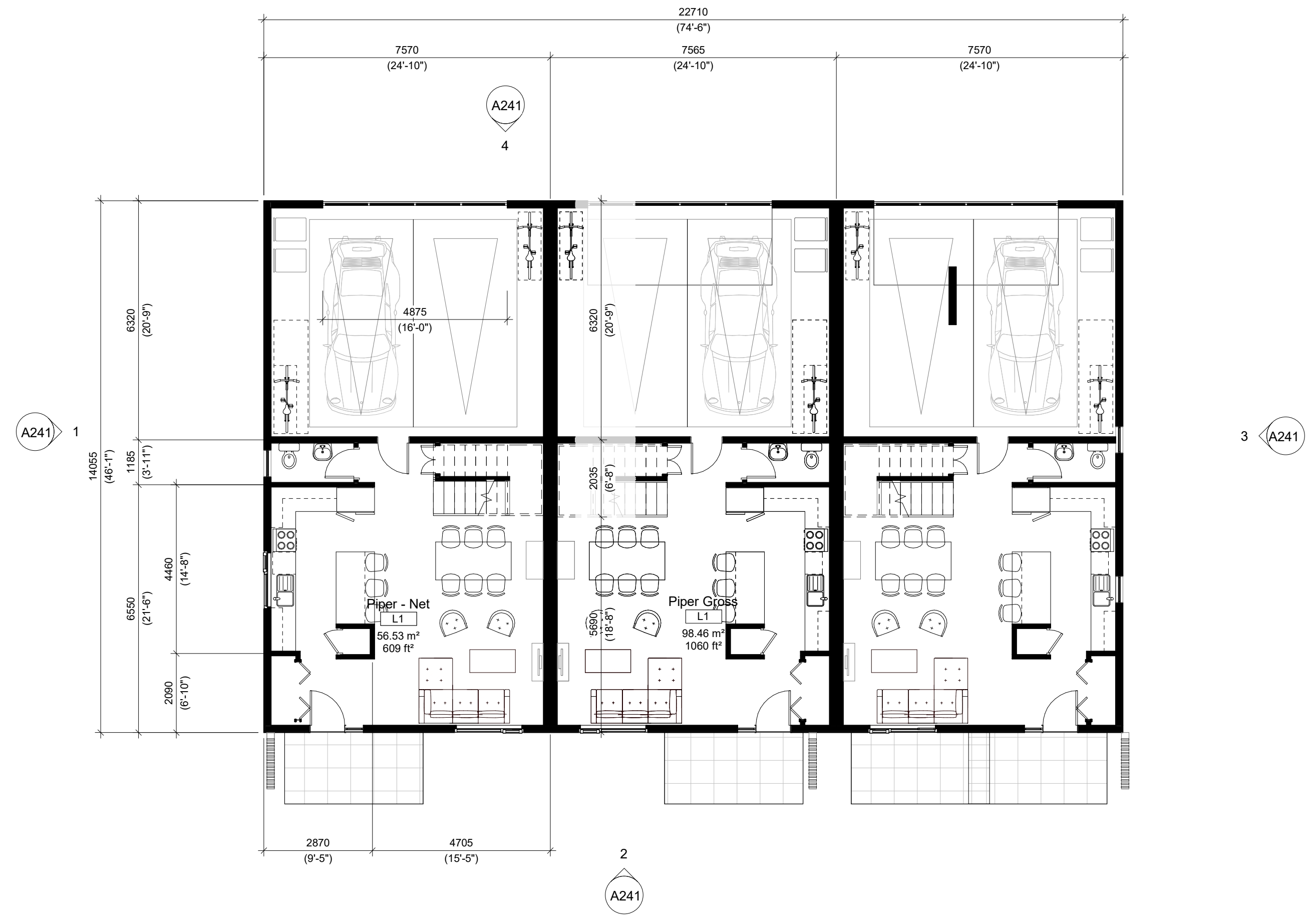




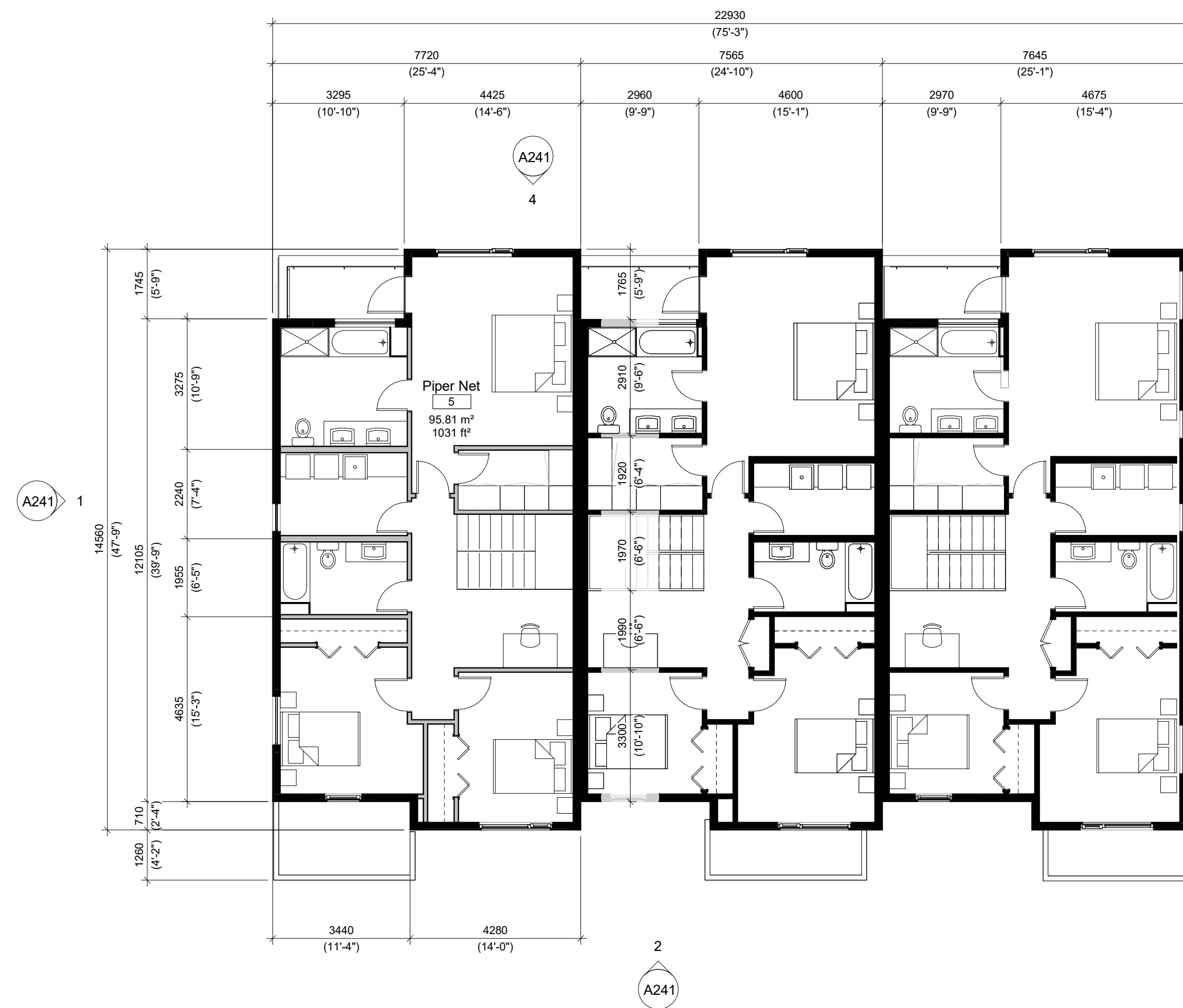
1 Building Section 1 - Piper (Triplex)  
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2 Section 2 (Triplex)  
SCALE = 1 : 100



3 Floor Plan - Piper (Triplex) L1  
SCALE = 1 : 100



4 Floor Plan - Piper (Triplex) L2  
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
1	Issued for DP Resubmission	03/28/2024



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Plans - Piper 3

Date 03/28/2024

Scale 1 : 100 Project # 2312

Revision 3/28/2024 1

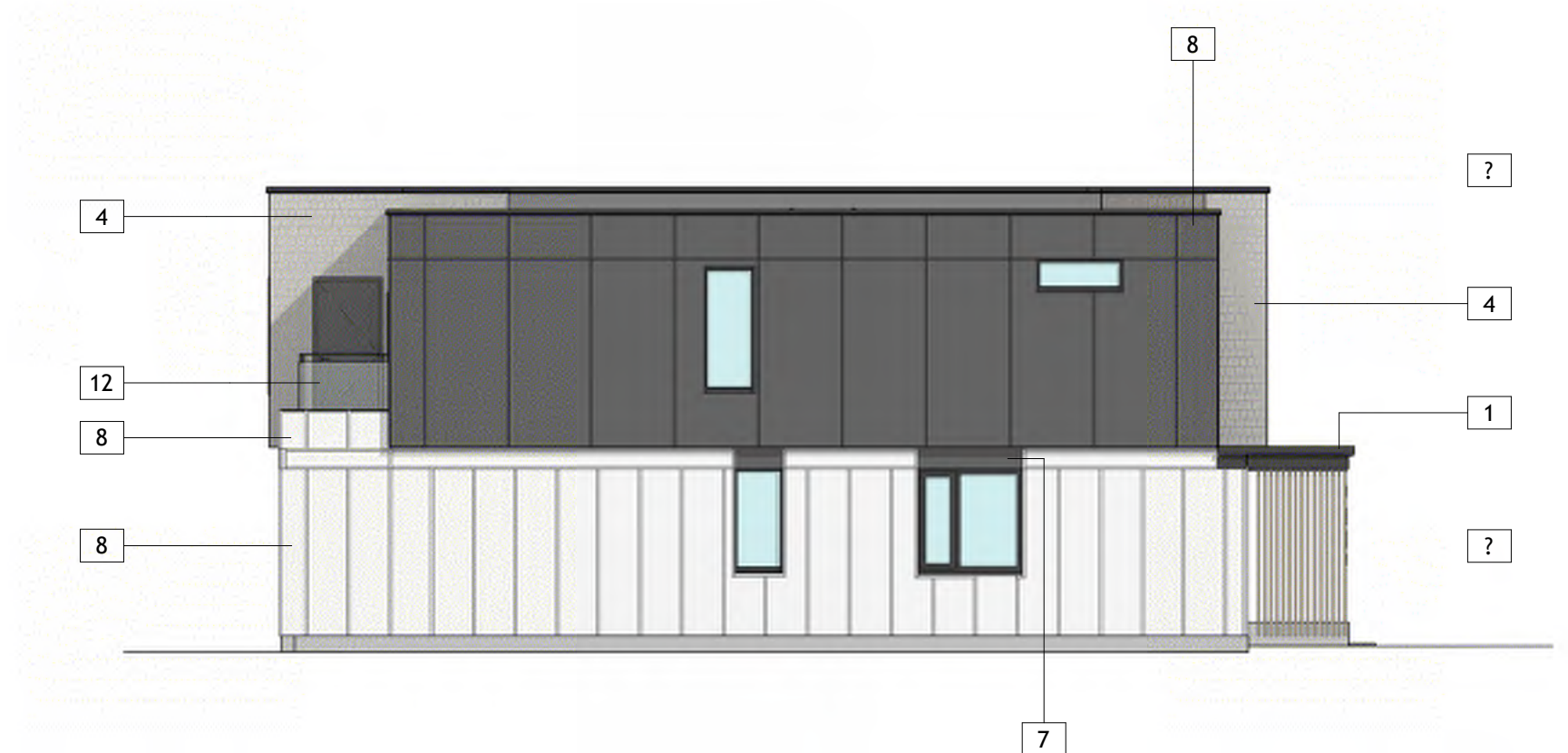
Sheet # A240

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2024-04-05

2024-04-05 7:06:13 PM

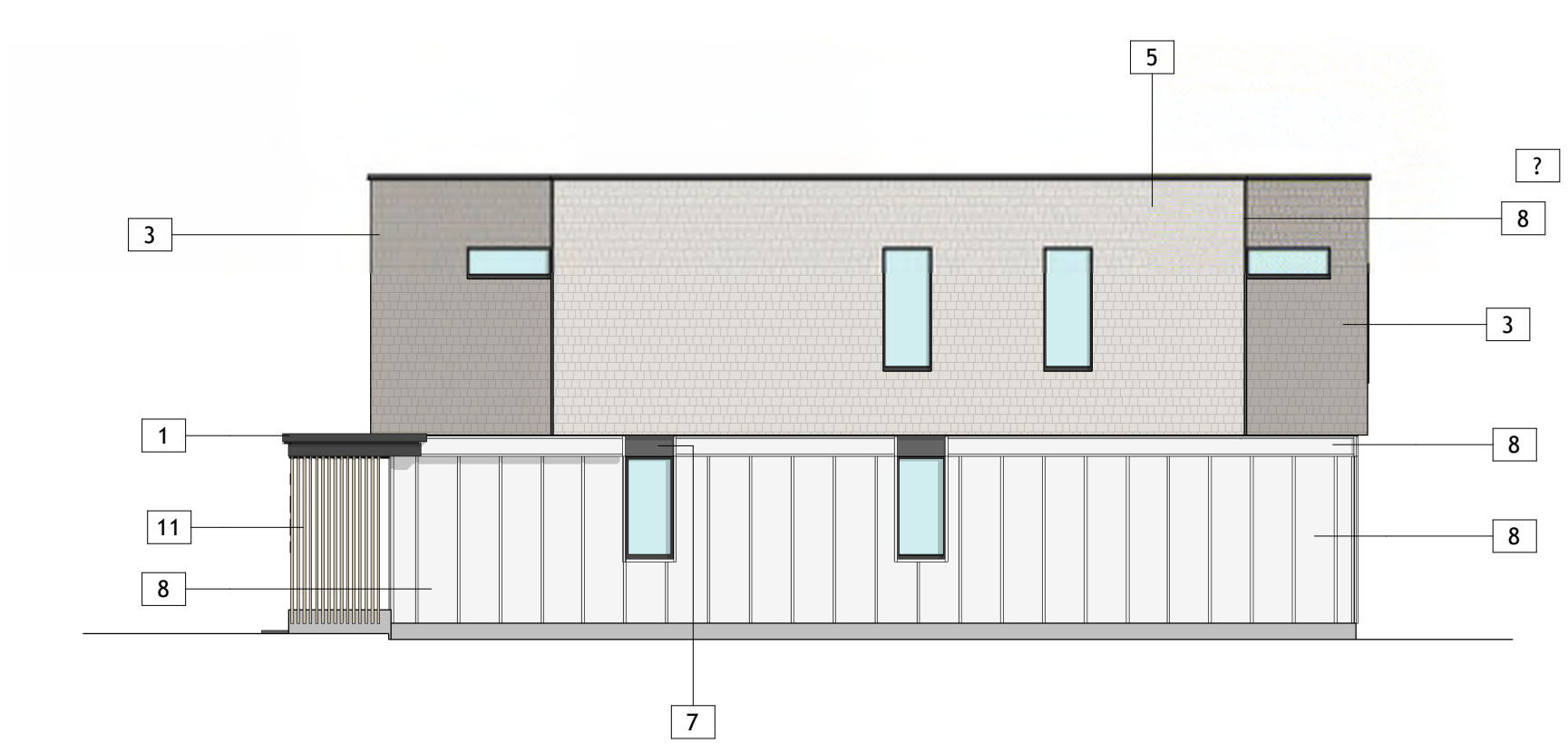




1 Left Elevation (Triplex)  
SCALE = 1 : 100



2 Front Elevation (Triplex)  
SCALE = 1 : 100



3 Right Elevation (Triplex)  
SCALE = 1 : 100



4 Rear Elevation (Triplex)  
SCALE = 1 : 100

RENDERING UPDATED

MATERIALS LEGEND

- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
CARIBOU TRAILS
- 3 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE GRANITE
- 4 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE RAPIDS
- 5 HARDIE SHINGLE SIDING  
RUSTIC SERIES  
ARCTIC WHITE
- 6 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 7 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 8 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE
- 9 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 10 PRIVACY FENCE  
REFER TO LANDSCAPE
- 11 SCREEN FEATURE
- 12 FROSTED GLASS GUARDRAIL w/ BALUSTERS

NO.	DESCRIPTION	DATE
1	Issued for DP Resubmission	03/28/2024

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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
Elevations - Piper 3

Date  
03/28/2024

Scale  
As indicated

Project #  
2312

Revision  
3/28/2024  
1

Sheet #  
A241

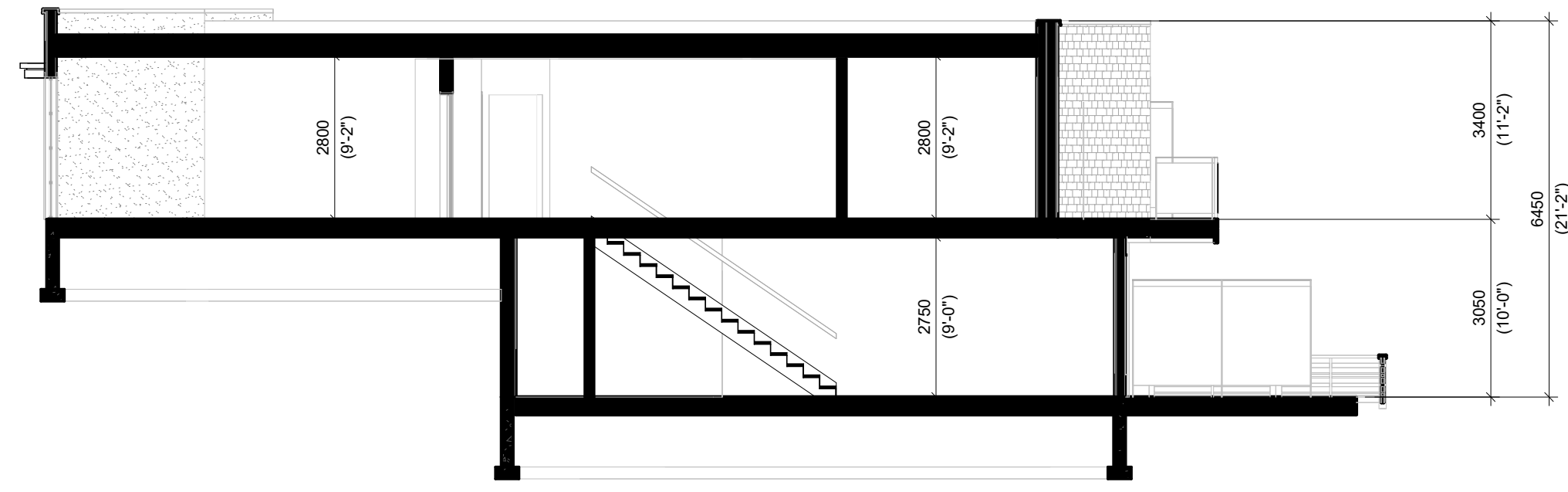
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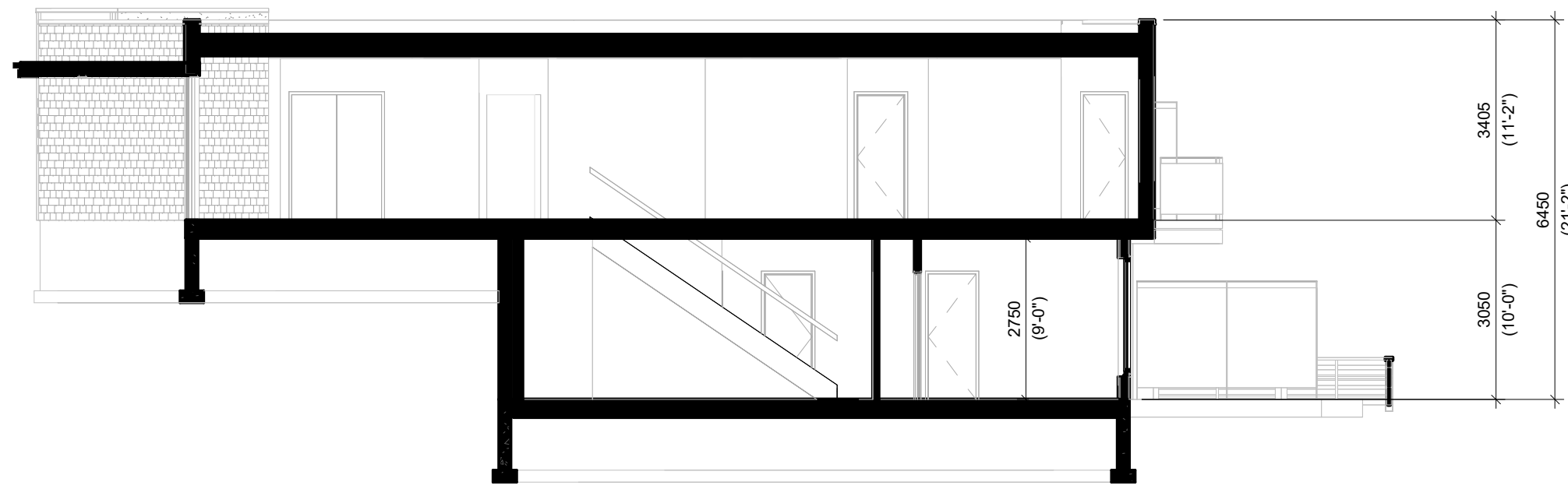


P:\0312 Royal Bay Townhouses\REVIT CENTRAL FILEBUILDING FRONT MODEL\RENDER\Phase 4 Piper - Back of A - Render (interior).rvt

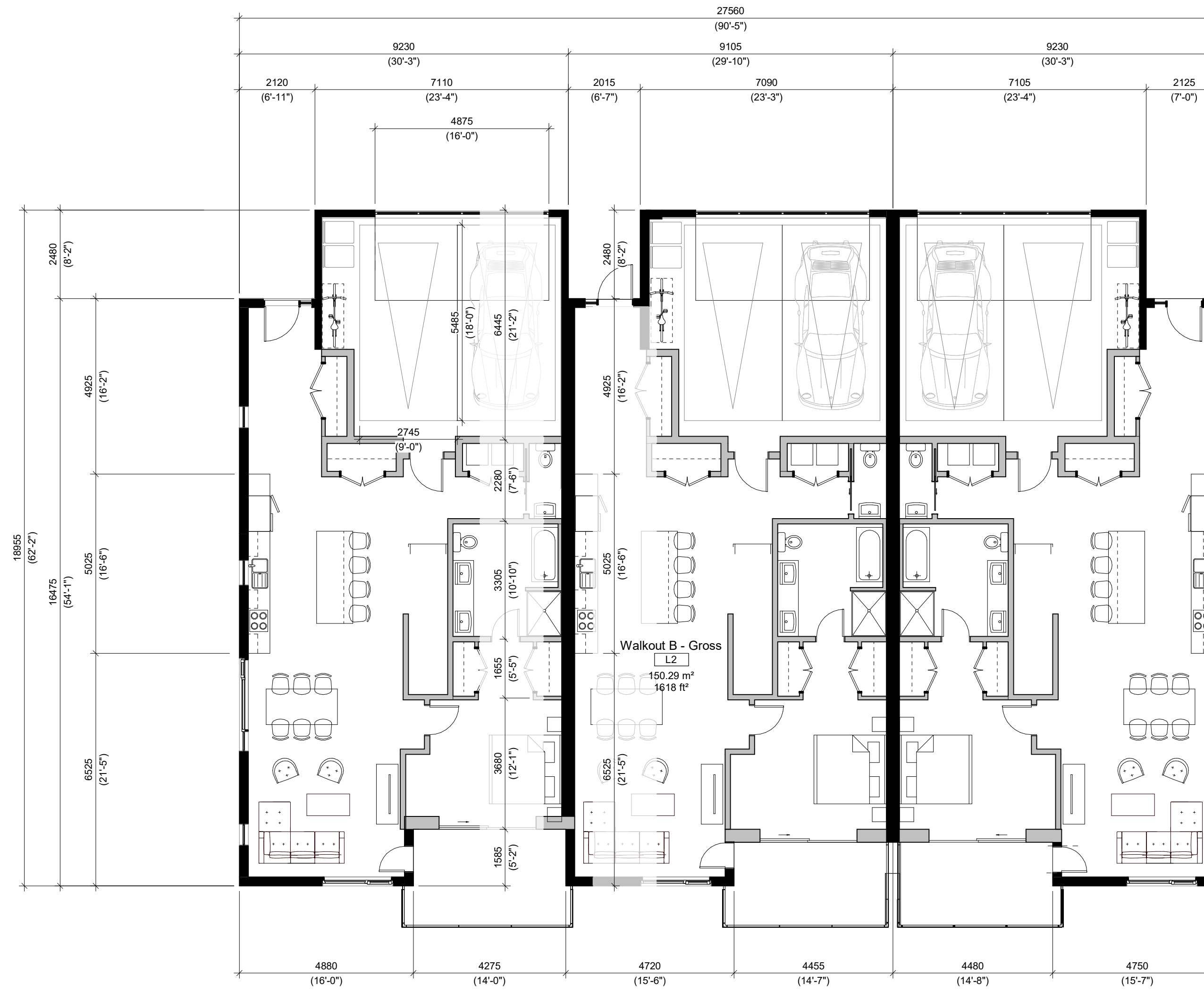




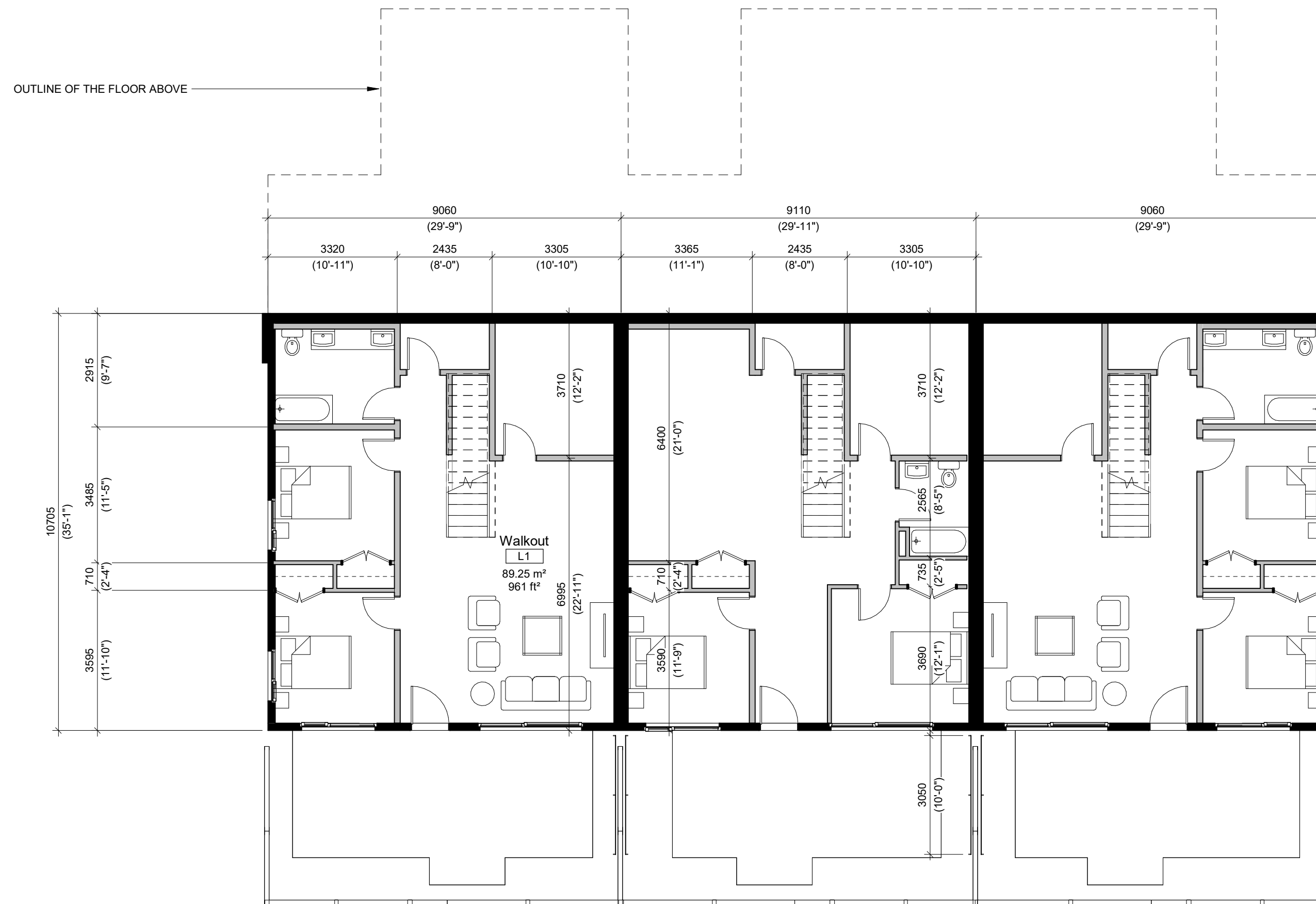
1 Building Section 1 - Walkout (Block of 3)  
SCALE = 1 : 100



2 Building Section 2 - Walkout 3 (Block of 3)  
SCALE = 1 : 100



3 Floor Plan - Walkout (Block of 3) L2  
SCALE = 1 : 100



4 Floor Plan - Walkout (Block of 3) L1  
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
3	Issued For DP Resubmission - Revisions	04/24/2024
2	Issued For DP Resubmission - Revisions	04/12/2024
1	Issued For DP Resubmission	04/05/2024
	Issued for DP	12/01/2023



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
Plans & Sections - Walkout  
(Block of 3)

Date  
03/28/2024

Scale  
1 : 100

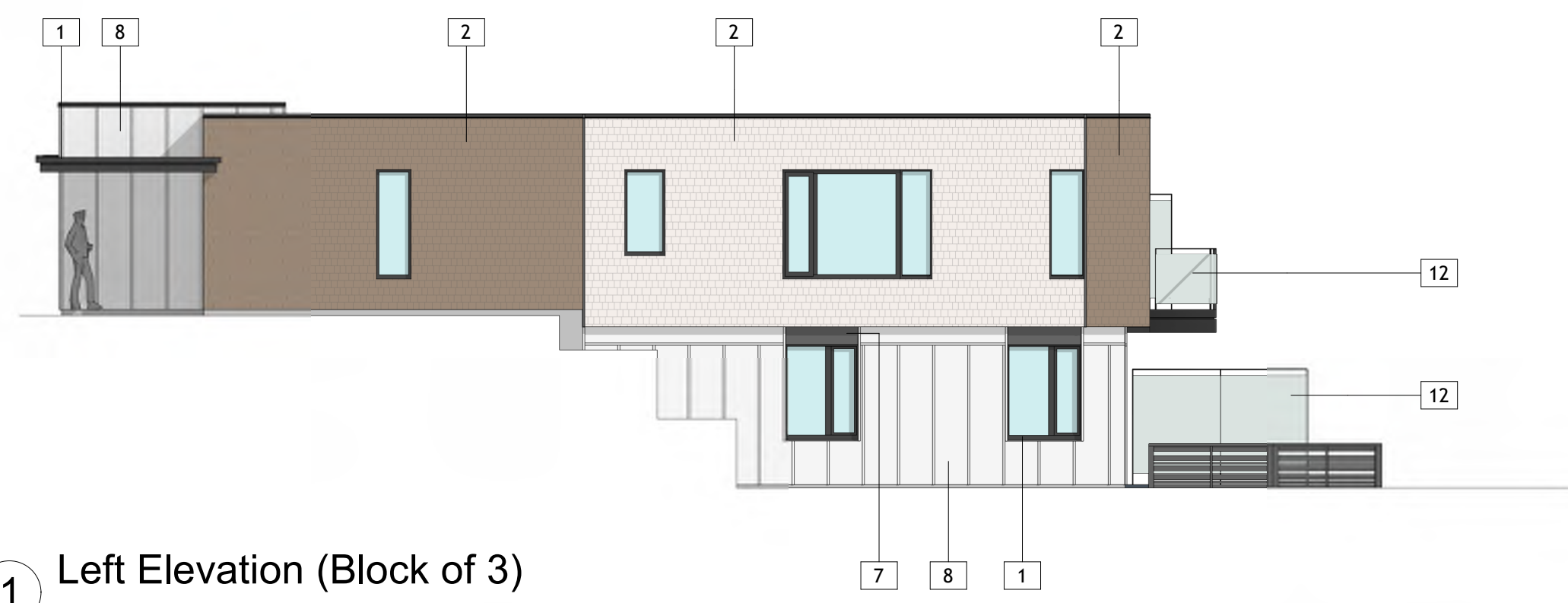
Project #  
2312

Revision  
03/28/2024

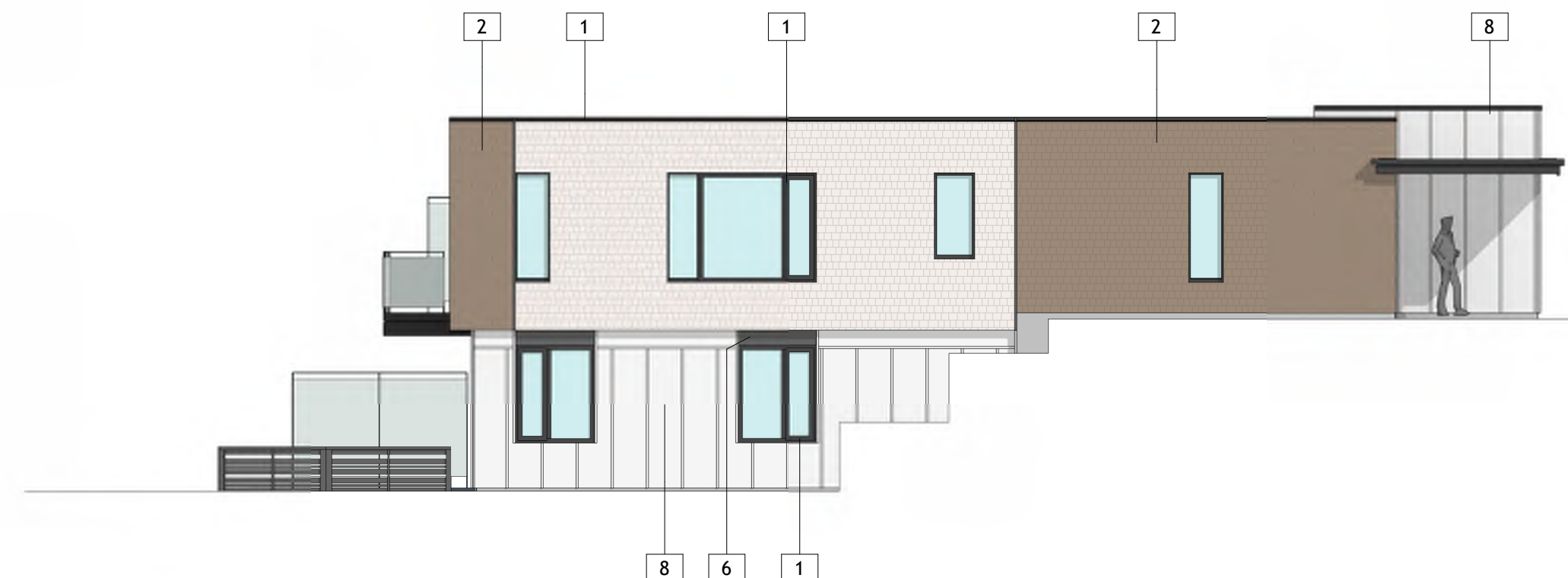
Sheet #  
A250

4/25/2024 1:10:15 PM





1 Left Elevation (Block of 3)  
SCALE = 1 : 100



2 Right Elevation (Block of 3)  
SCALE = 1 : 100



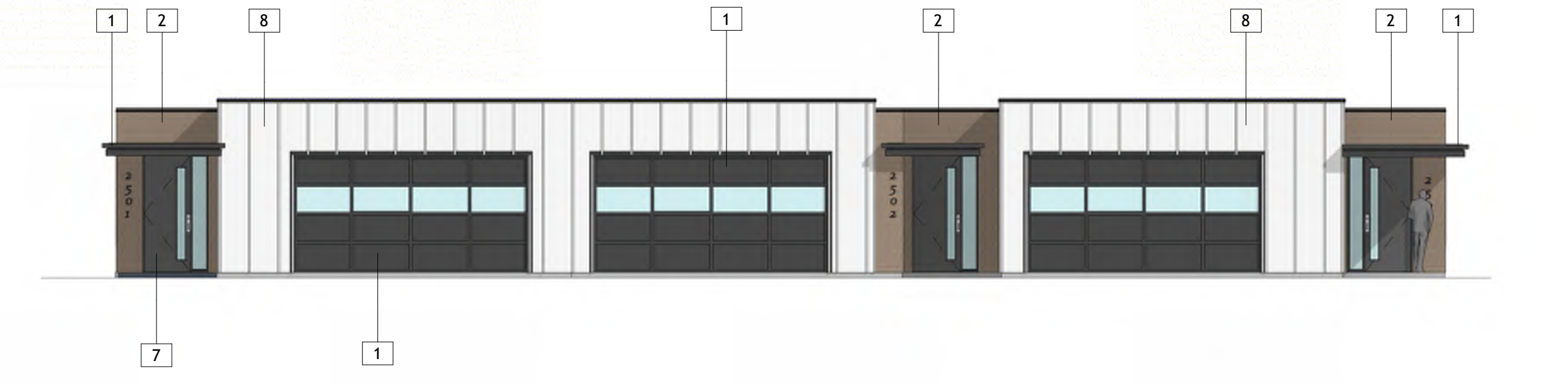
3 Left Elevation (Block of 3) Outside Face  
SCALE = 1 : 100



5 Right Elevation (Block of 3) Outside Face  
SCALE = 1 : 100



6 Front Elevation (Block of 3) Option 1  
SCALE = 1 : 100



7 Rear Elevation (Block of 3) Option 1  
SCALE = 1 : 100



8 Front Elevation (Block of 3) Option 2  
SCALE = 1 : 100 Buildings: 8 & 19



9 Rear Elevation (Block of 3) Option 2  
SCALE = 1 : 100 Buildings: 8 & 19

**MATERIALS LEGEND**

- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
CARIBOU TRAILS
- 3 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE GRANITE
- 4 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE RAPIDS
- 5 HARDIE SHINGLE SIDING  
RUSTIC SERIES  
ARCTIC WHITE
- 6 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 7 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 8 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE
- 9 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 10 PRIVACY FENCE  
REFER TO LANDSCAPE
- 11 SCREEN FEATURE
- 12 FROSTED GLASS GUARDRAIL w/ BALUSTERS

3	Issued for DP Resubmission - Revisions	04/24/2024
2	Issued for DP Resubmission - Revisions	04/12/2024
1	Issued for DP Resubmission	03/28/2024
	Issued for DP	12/01/2023
NO.	DESCRIPTION	DATE



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

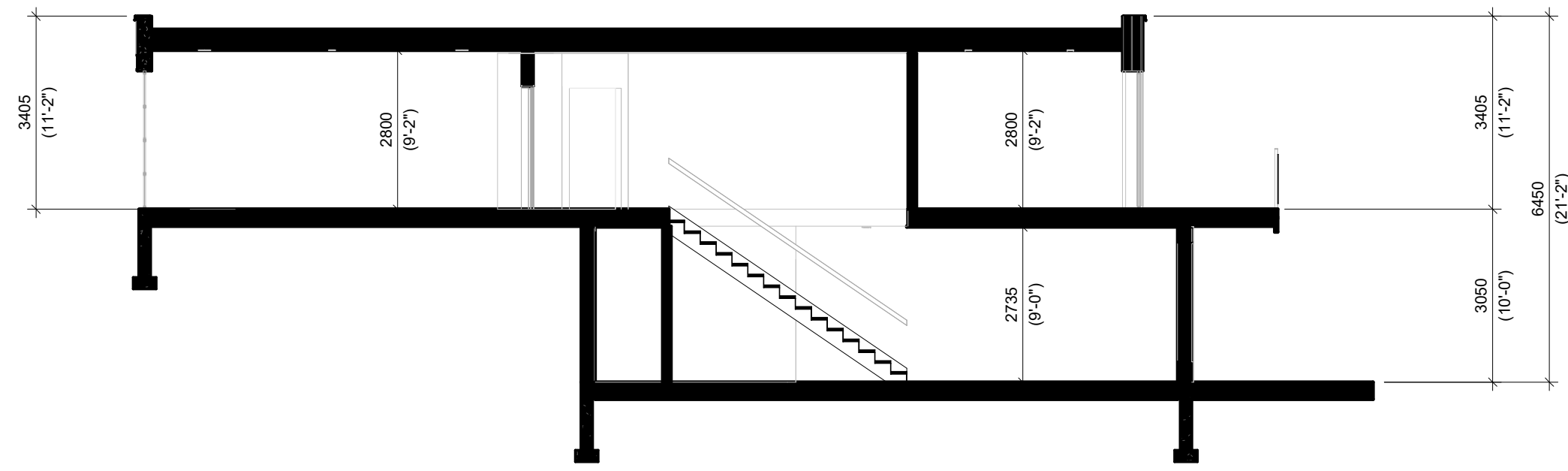
Sheet Name  
**Elevations - Walkout (Block of 3)**

Date	03/28/2024
Scale	As indicated
Project #	2312
Revision	3
Date	04/24/2024
Sheet #	<b>A251</b>

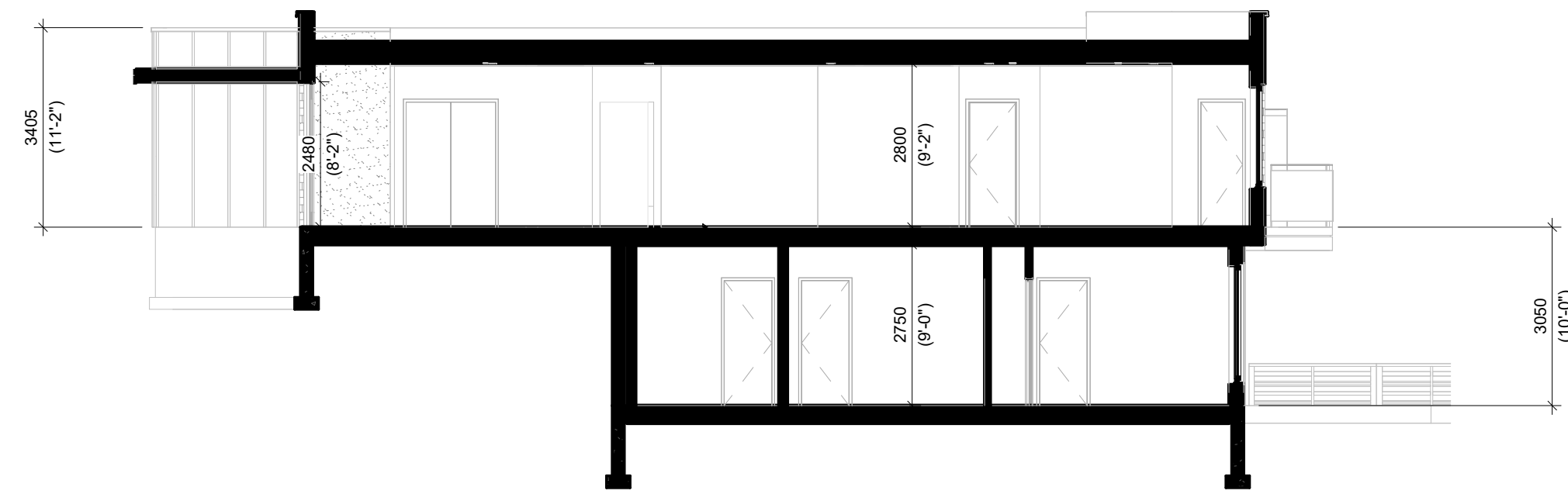


Description: Road 3 - Piper & Walkouts  
Note: Cladding Finish Colour Varies

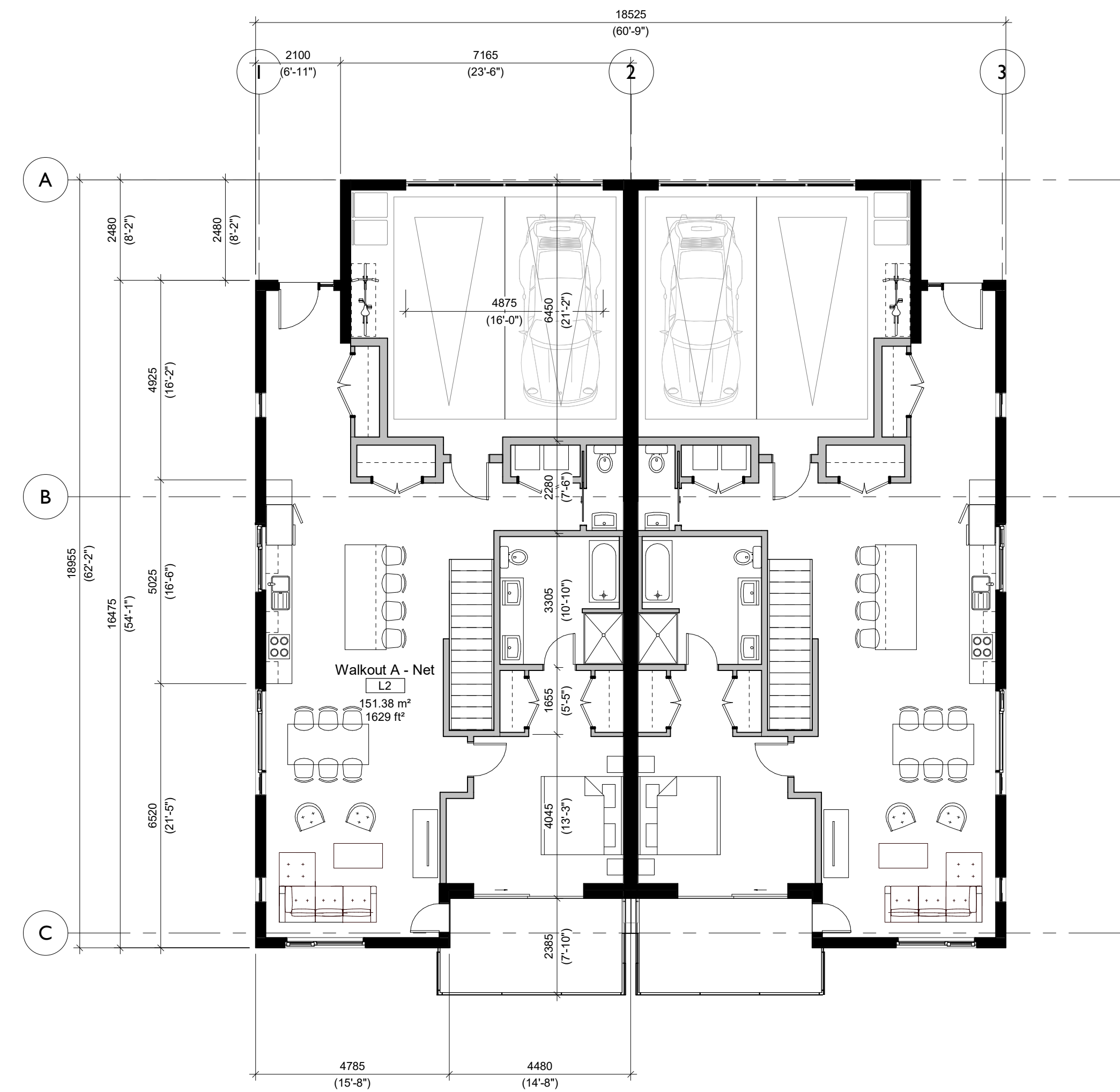




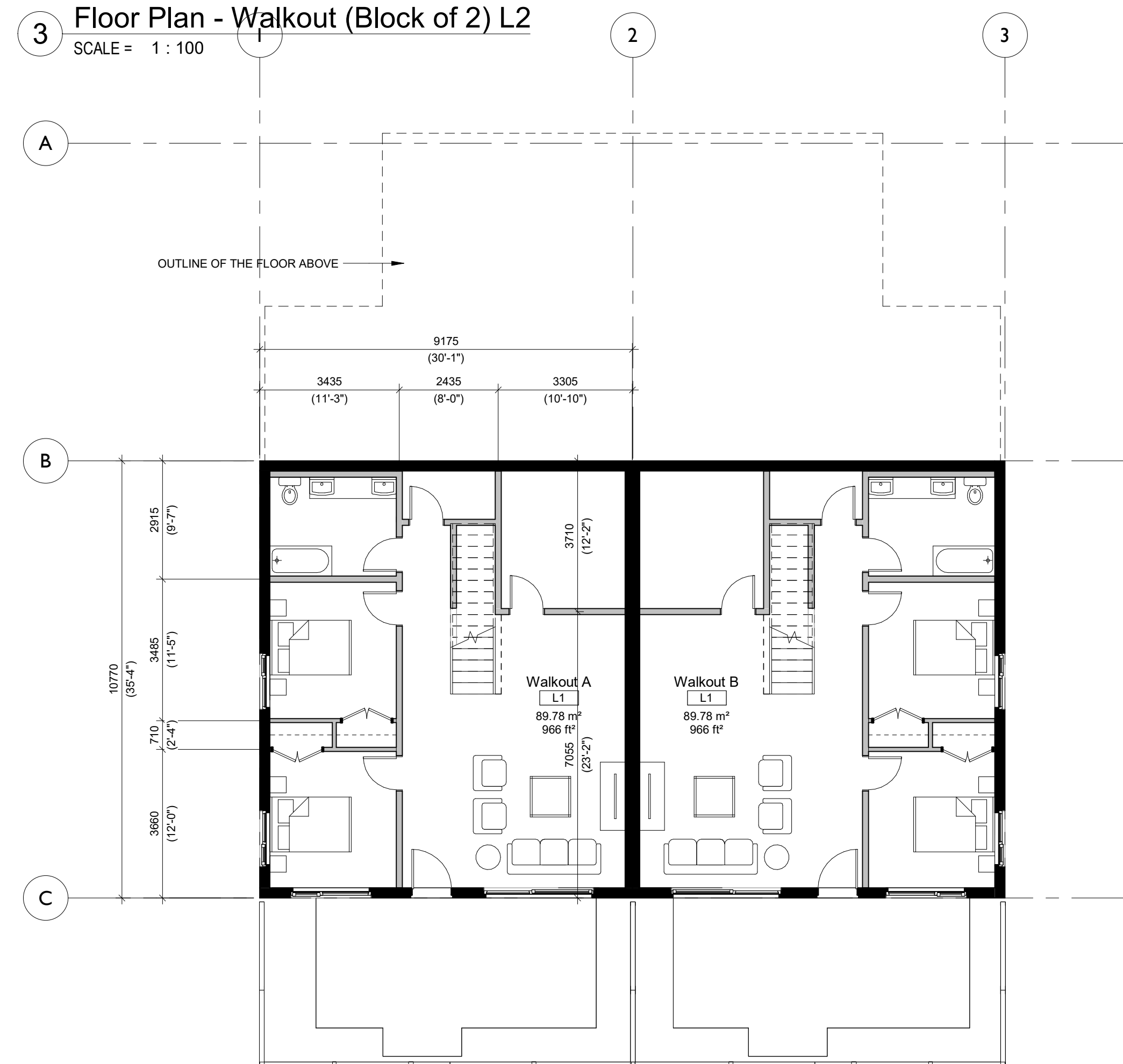
1 Building Section 1 - Walkout (Block of 2)  
SCALE = 1 : 100



2 Building Section 2 - Walkout (Block of 2)  
SCALE = 1 : 100



3 Floor Plan - Walkout (Block of 2) L2  
SCALE = 1 : 100



4 Floor Plan - Walkout (Block of 2) L1  
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
3	Issued for DP Resubmission - Revisions	04/24/2024
2	Issued for DP Resubmission - Revisions	04/12/2024
1	Issued for DP Resubmission	03/28/2024
	Issued for DP	12/01/2023



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
Plans & Sections - Walkout  
(Block of 2)

Date  
03/28/2024

Scale  
1 : 100

Project #  
2312

Revision  
04/24/2024

Sheet #  
A260



**MATERIALS LEGEND**

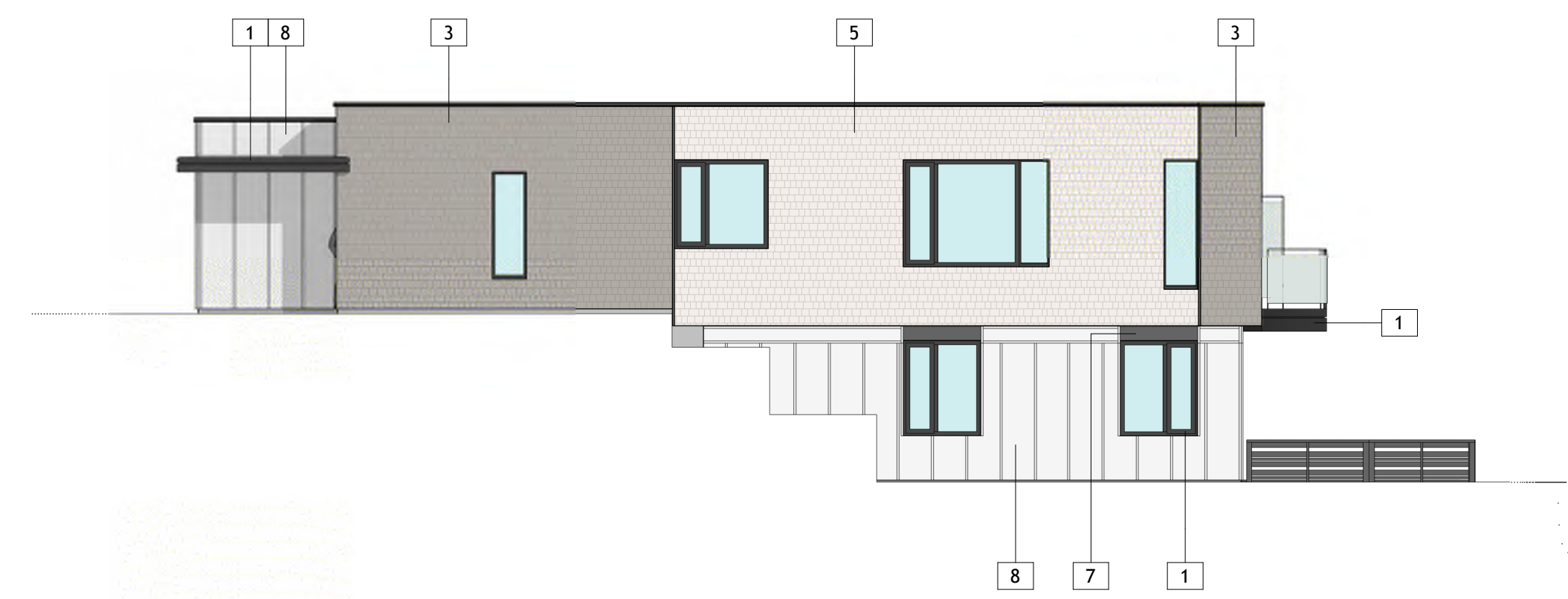
- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
CARIBOU TRAILS
- 3 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE GRANITE
- 4 HARDIE SHINGLE SIDING  
WOOD TONE RUSTIC SERIES  
WHITE RAPIDS
- 5 HARDIE SHINGLE SIDING  
RUSTIC SERIES  
ARCTIC WHITE
- 6 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 7 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 8 REVERSE BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE
- 9 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 10 PRIVACY FENCE  
REFER TO LANDSCAPE
- 11 SCREEN FEATURE
- 12 FROSTED GLASS GUARDRAIL w/ BALUSTERS

3	Issued for DP Resubmission - Revisions	04/24/2024
2	Issued for DP Resubmission - Revisions	04/12/2024
1	Issued for DP Resubmission	03/28/2024
	Issued for DP	12/01/2023
NO.	DESCRIPTION	DATE



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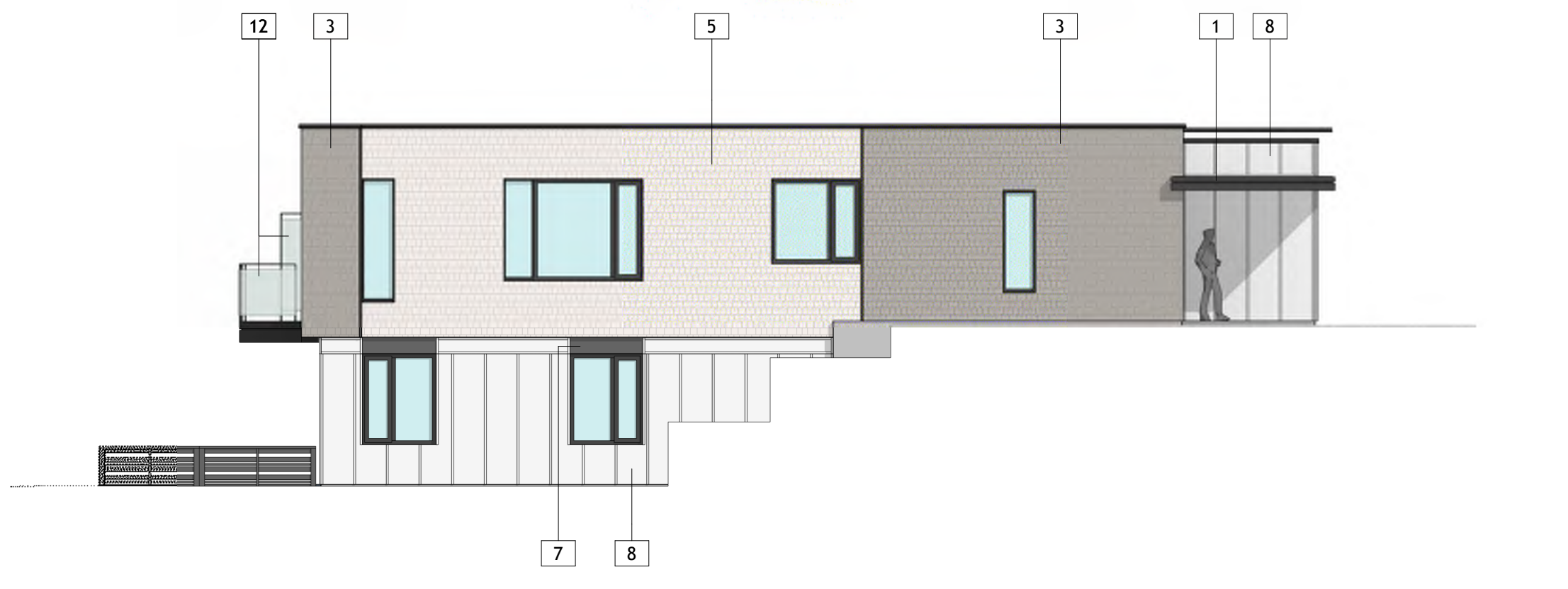
<b>Phase 5 West - Royal Bay Town Houses</b>		PCRE
Sheet Name <b>Elevations - Walkout (Block of 2)</b>		
Date 03/28/2024		
Scale As indicated	Project # 2312	
	Revision 04/24/2024	
	Sheet # <b>A261</b>	



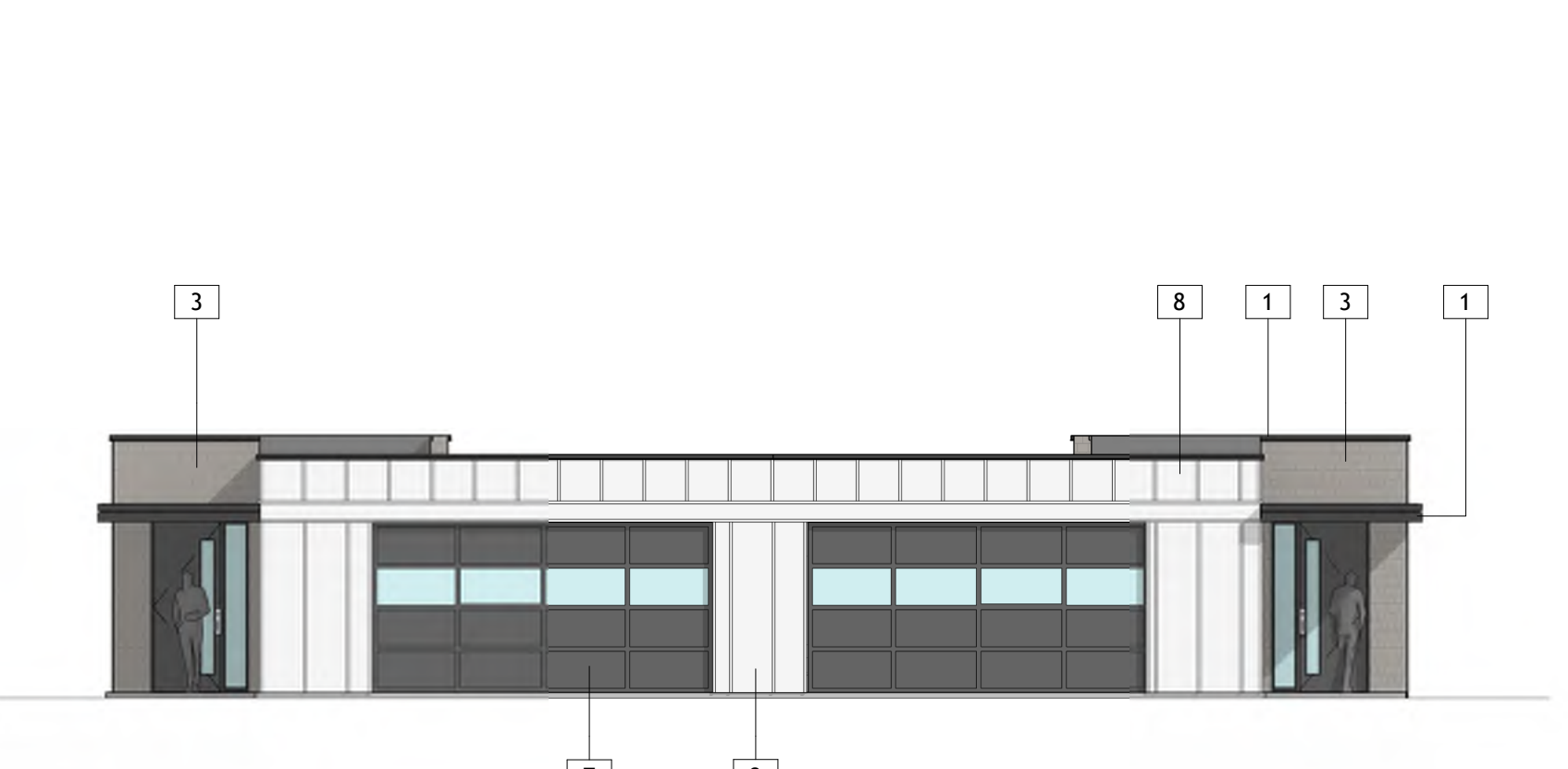
1 Left Elevation (Block of 2)  
SCALE = 1 : 100



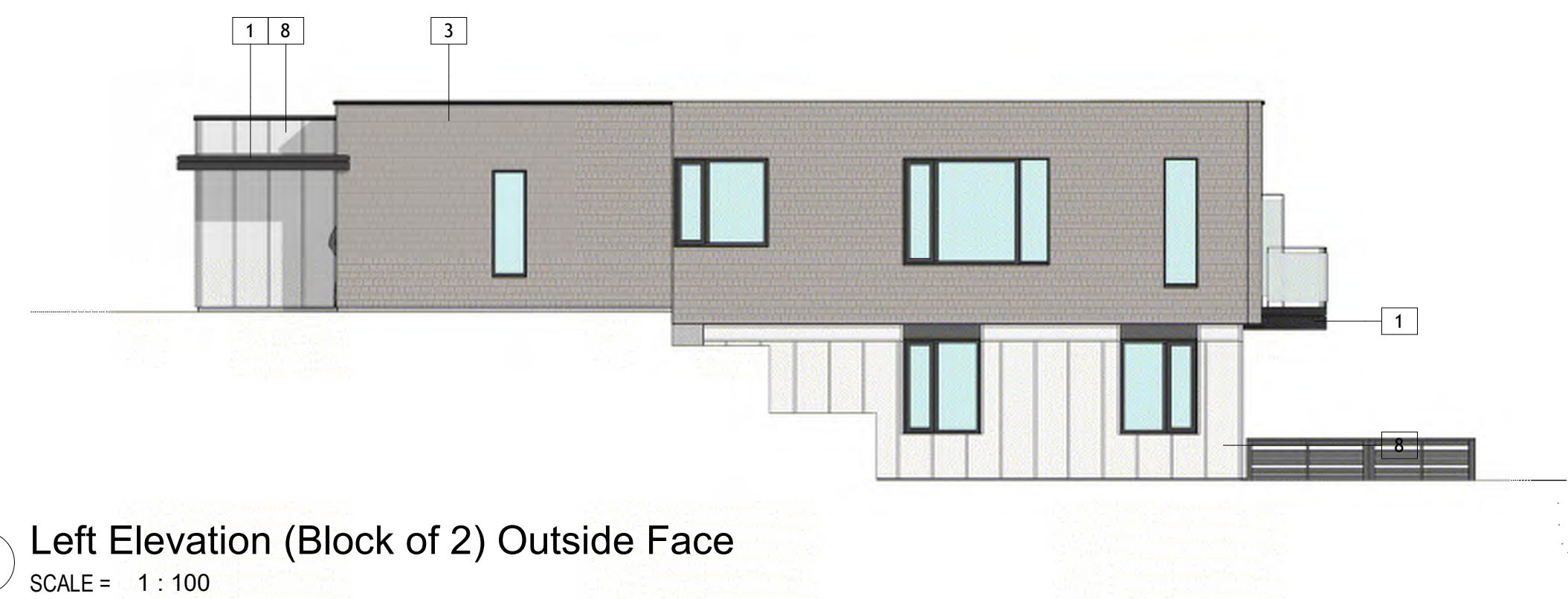
2 Front Elevation (Block of 2) Option 1  
SCALE = 1 : 100



3 Right Elevation (Block of 2)  
SCALE = 1 : 100



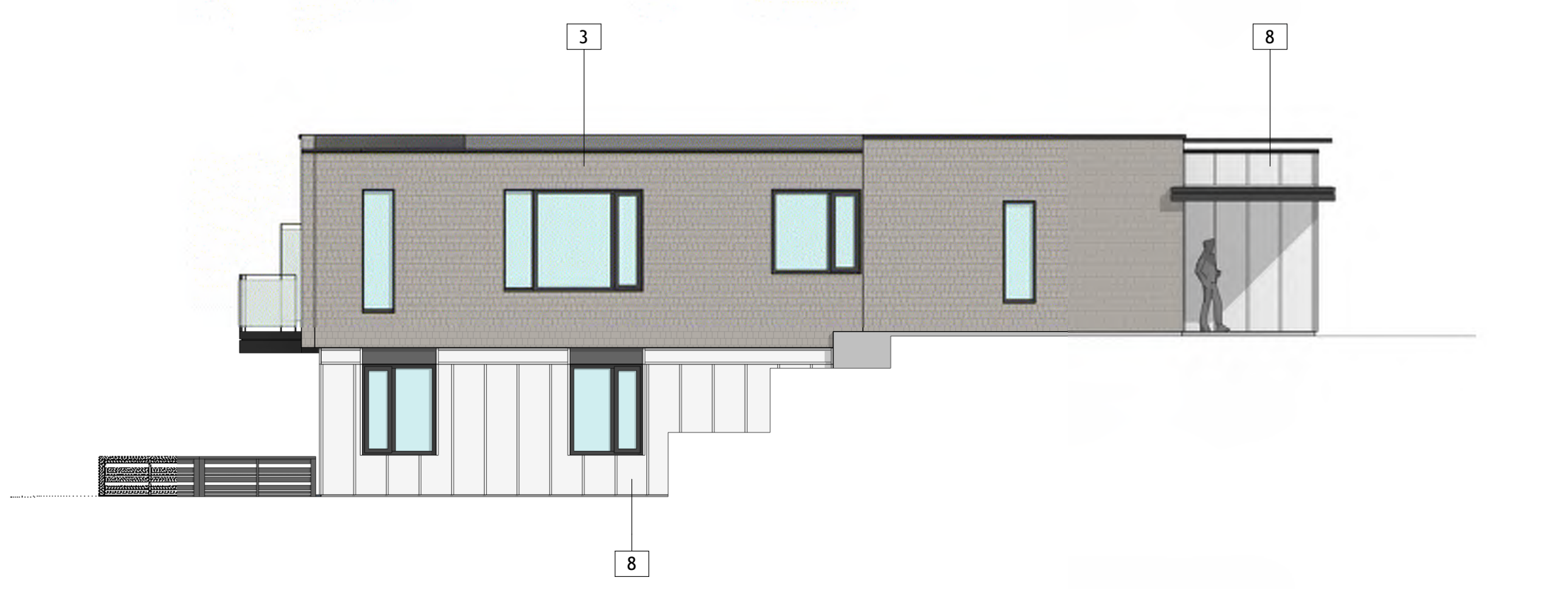
4 Rear Elevation (Block of 2) Option 1  
SCALE = 1 : 100



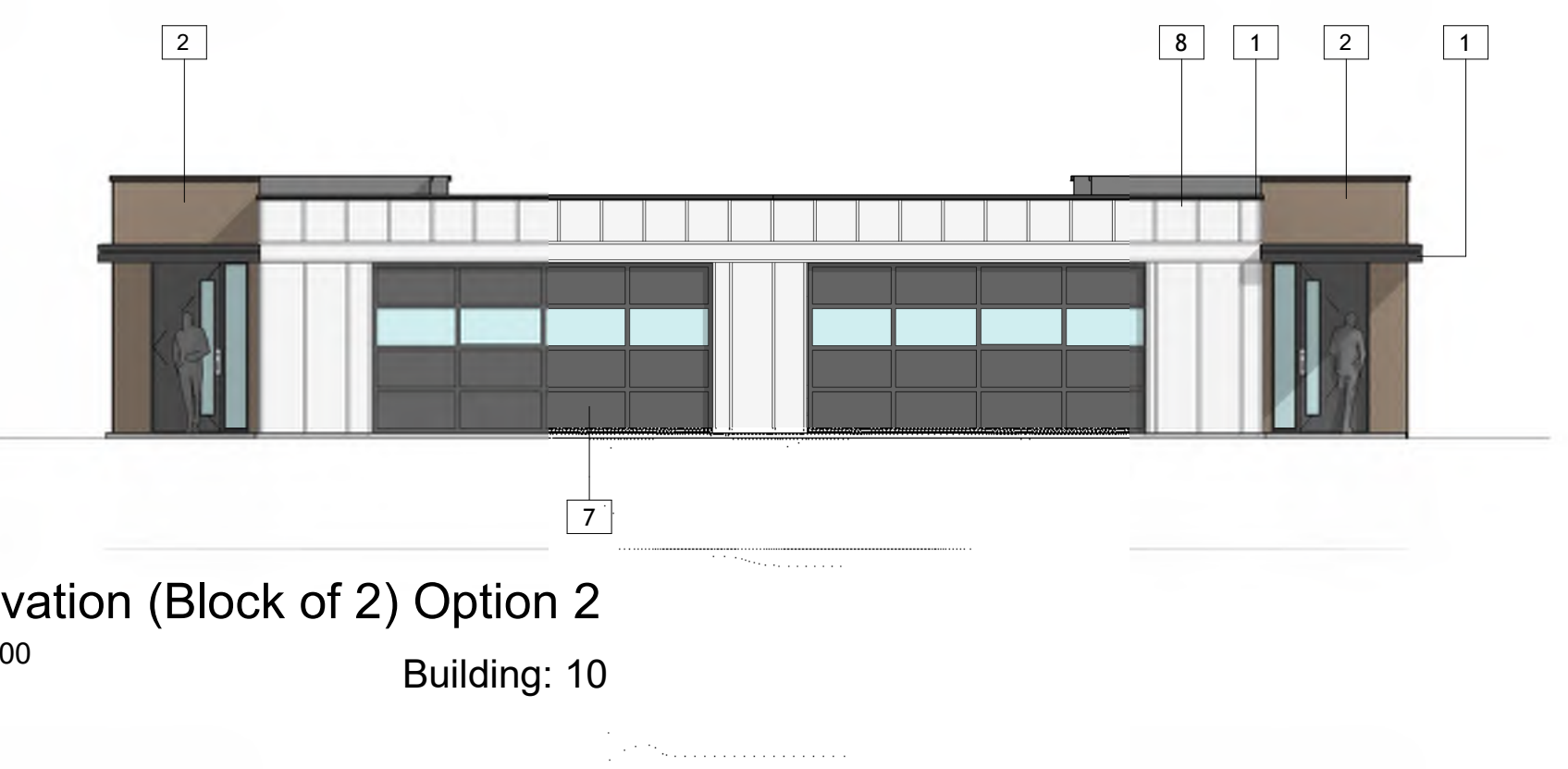
5 Left Elevation (Block of 2) Outside Face  
SCALE = 1 : 100



6 Front Elevation (Block of 2) Option 2  
SCALE = 1 : 100  
Building: 10



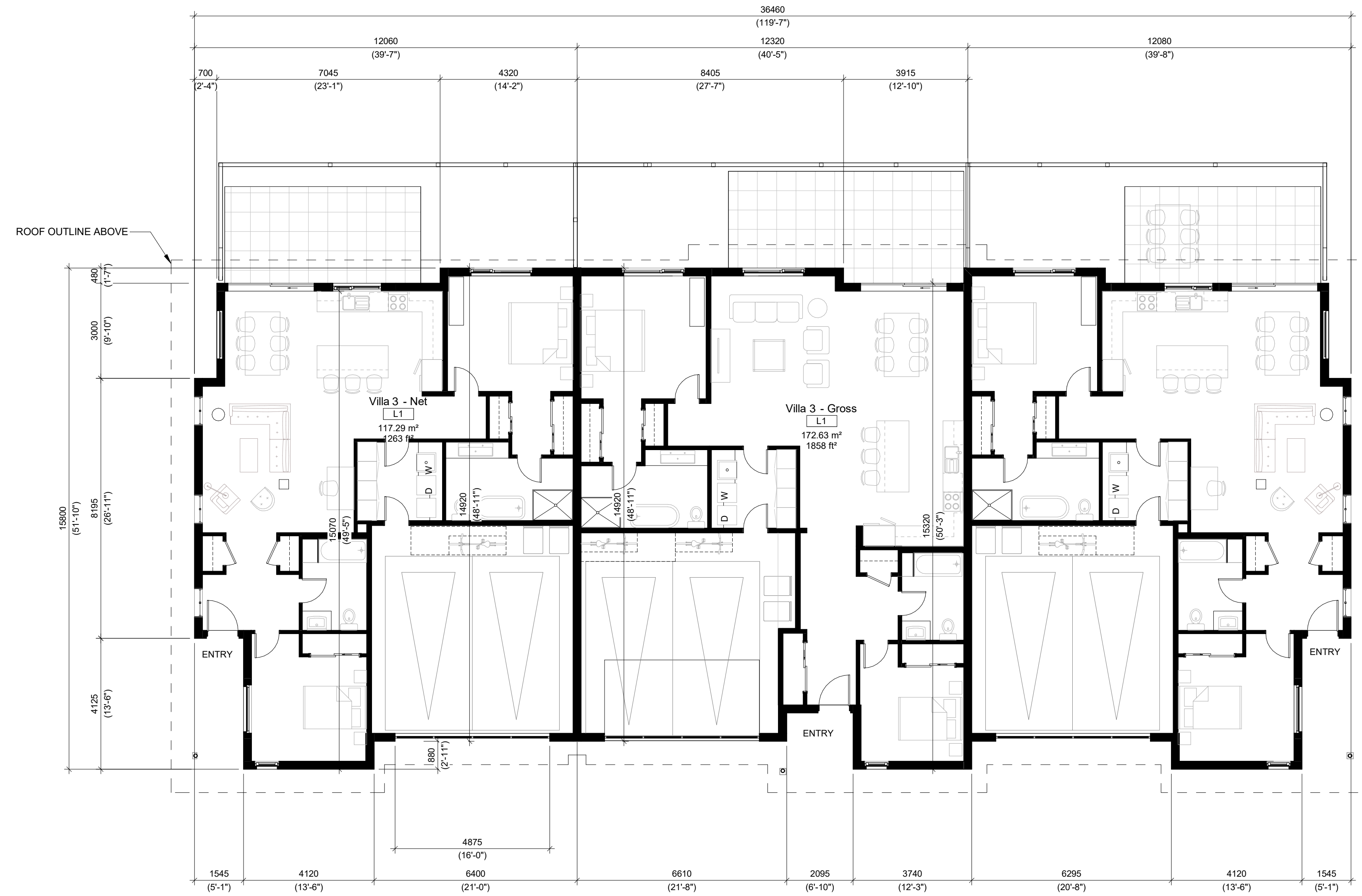
7 Right Elevation (Block of 2) Outside Face  
SCALE = 1 : 100



8 Rear Elevation (Block of 2) Option 2  
SCALE = 1 : 100  
Building: 10

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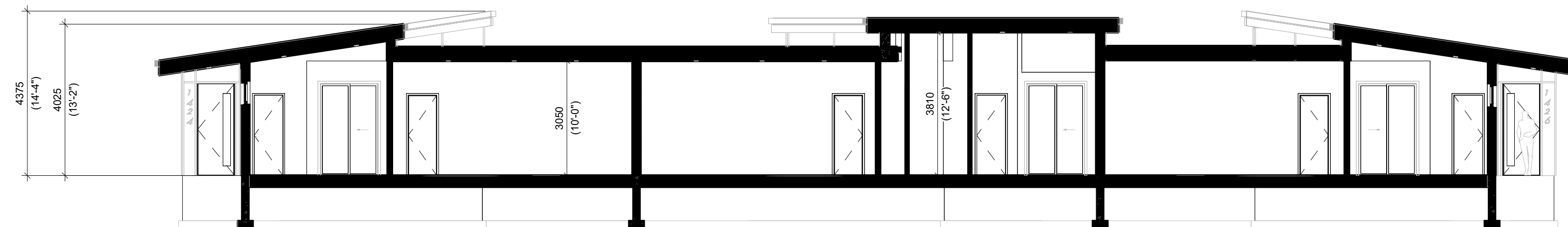




1 Villa (Block of 3) L1  
SCALE = 1 : 100



2 Section 1 (Block of 3)  
SCALE = 1 : 100



3 Section 2 (Block of 3)  
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
3	Issued For DP Resubmission - Revisions	04/24/2024
2	Issued For DP Resubmission - Revisions	04/12/2024
1	Issued For DP Resubmission	04/05/2024
	Issued for DP	12/01/2023



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name  
Villa 3 Unit Plans &  
Sections

Date  
03/28/2024

Scale  
1 : 100

Project #  
2312

Revision  
04/05/2024

3

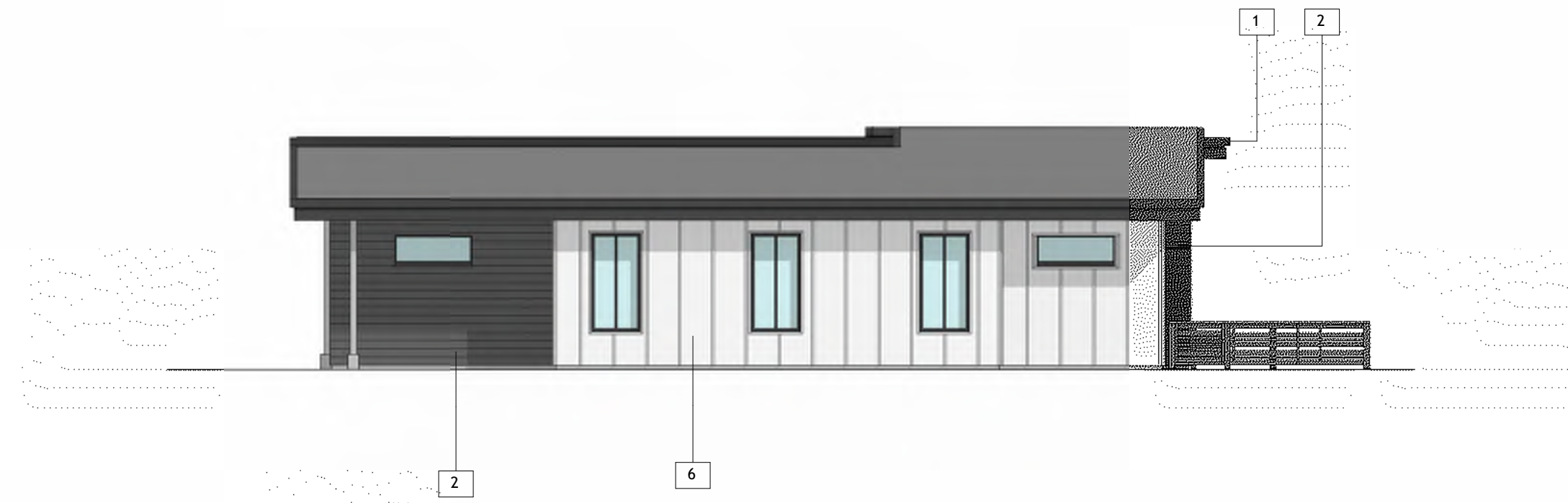
Sheet #  
A270



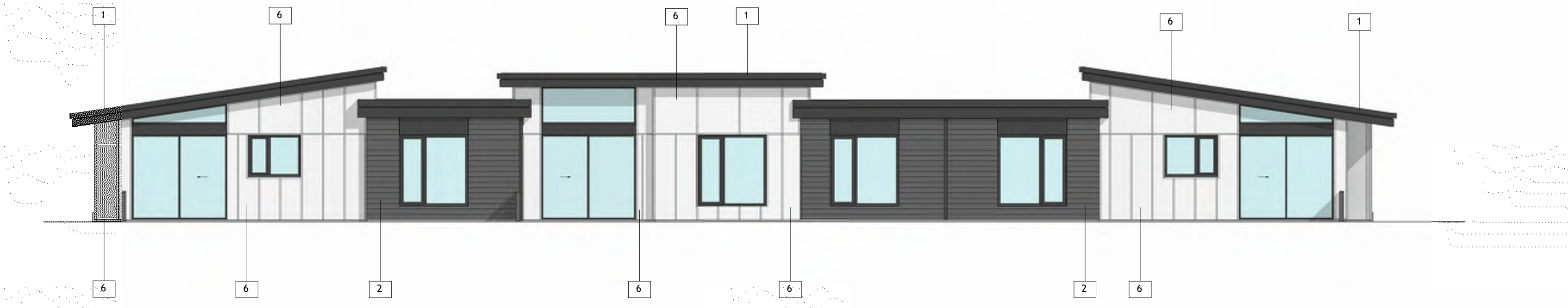
**MATERIALS LEGEND**

VILLA 2 & 3 Unit

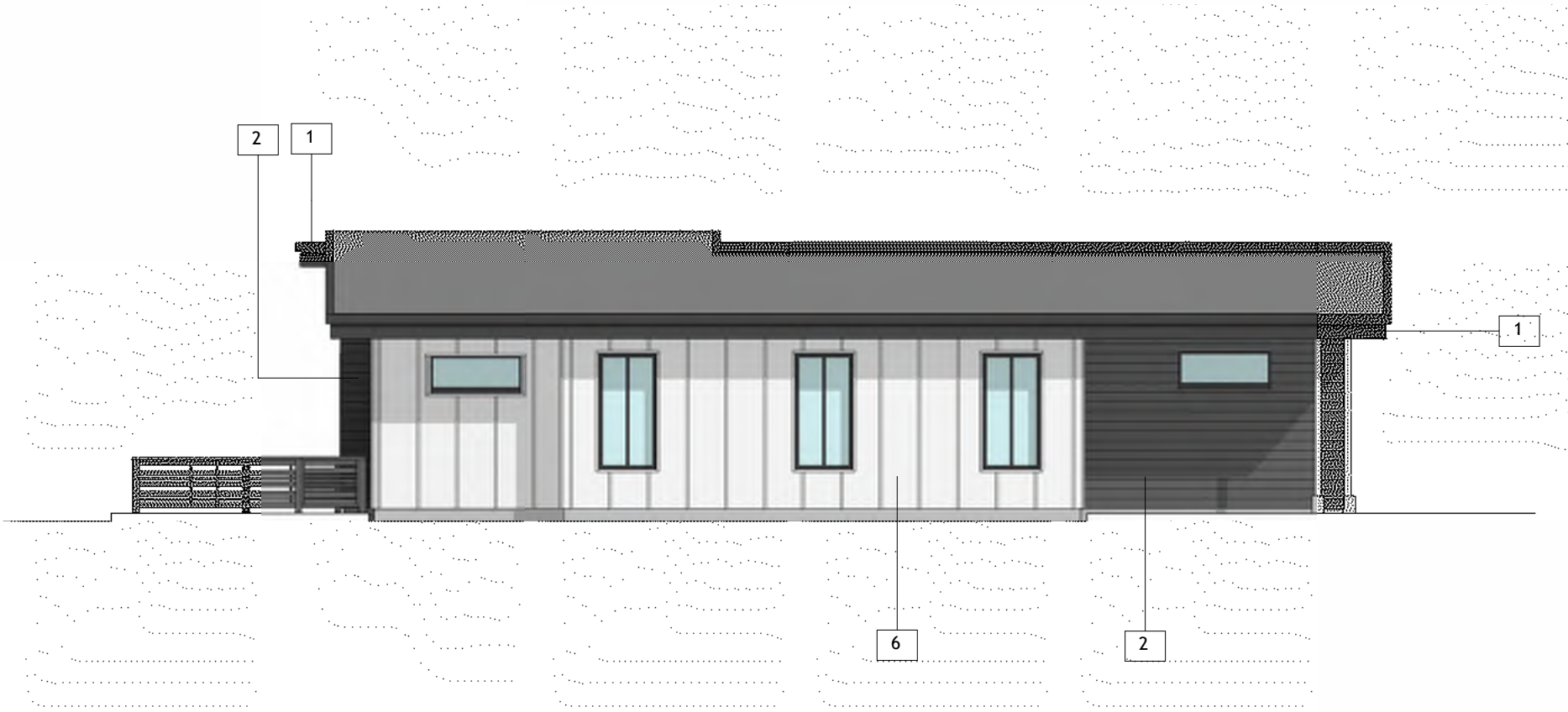
- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 LAP SIDING  
5" HARDIEPLANK LAP SIDING  
WOODTONE RUSTIC SERIES  
NIGHT GRAY
- 3 BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 4 BOARD & BATTEN  
WOOD TONE HARDIE PANEL  
SELECT CEDARMILL SIDING  
MOUNTAIN CEDAR
- 5 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 6 BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE  
24" & 48" per ELEVATIONS
- 7 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 8 CEDAR PRIVACY FENCE  
REFER TO LANDSCAPE
- 9 CEDAR WOOD FEATURE



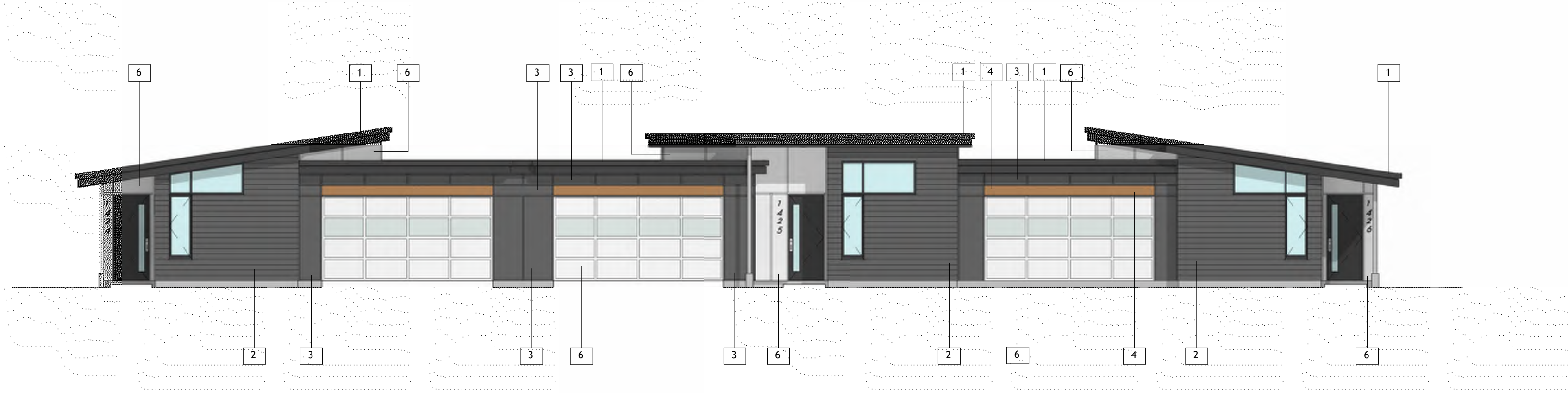
1 Left Elevation (Block of 3)  
SCALE = 1 : 100



2 Front Elevation (Block of 3)  
SCALE = 1 : 100



3 Right Elevation (Block of 3)  
SCALE = 1 : 100

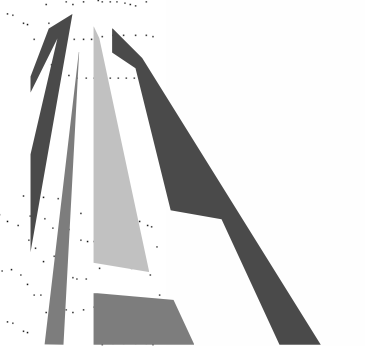


4 Rear Elevation (Block of 3)  
SCALE = 1 : 100



DESCRIPTION: ROAD 5 - VILLA 3 UNITS

NO.	DESCRIPTION	DATE
1	Issued For DP Resubmission	28/03/2024



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Phase 5 West - Royal Bay  
Town Houses  
PCRE

Sheet Name:  
Elevations - Villa (Block of 3)

Date: 03/28/2024

Scale: As indicated Project #: 2312

Revision: 1

Date: 03/2024

Sheet #: A271

Date: 2024-04-05

Date: 4/2/2024 8:14:38 PM







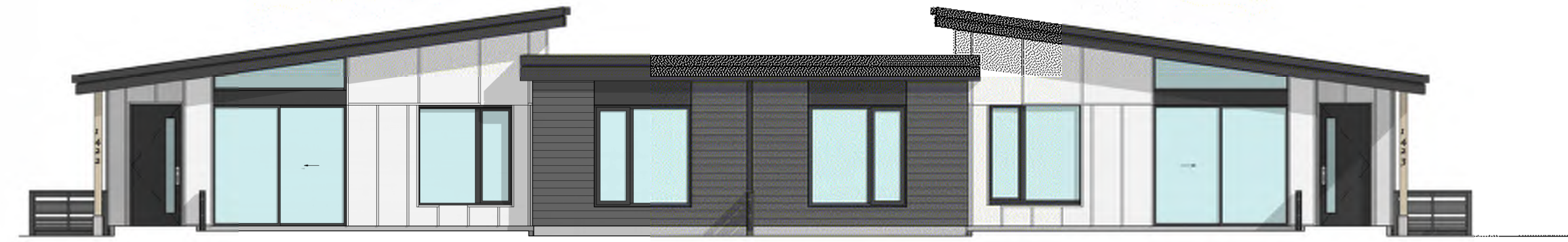
**MATERIALS LEGEND**

VILLA 2 & 3 Unit

- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 LAP SIDING  
5" HARDIEPLANK LAP SIDING  
WOODTONE RUSTIC SERIES  
NIGHT GRAY
- 3 BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDAR/MILL SIDING  
AGED PEWTER
- 4 BOARD & BATTEN  
WOOD TONE HARDIE PANEL  
SELECT CEDAR/MILL SIDING  
MOUNTAIN CEDAR
- 5 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 6 BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE  
24" & 48" per ELEVATIONS
- 7 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 8 CEDAR PRIVACY FENCE  
REFER TO LANDSCAPE
- 9 CEDAR WOOD FEATURE



1 Left Elevation (Block of 2)  
SCALE = 1 : 100



2 Front Elevation (Block of 2)  
SCALE = 1 : 100



4 Right Elevation (Block of 2)  
SCALE = 1 : 100



3 Rear Elevation (Block of 2)  
SCALE = 1 : 100



Description: Restoration Way - Villa 2 Units at Central Green

2	Issued for DP Resubmission - Revised	04/12/2024
1	Issued for DP Resubmission	04/05/2024
NO.	DESCRIPTION	DATE



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

Sheet Name  
**Elevations - Villa (Block of 2)**

Date  
04/15/2024

Scale  
As indicated

Project #  
2312

Revision  
04/12/2024

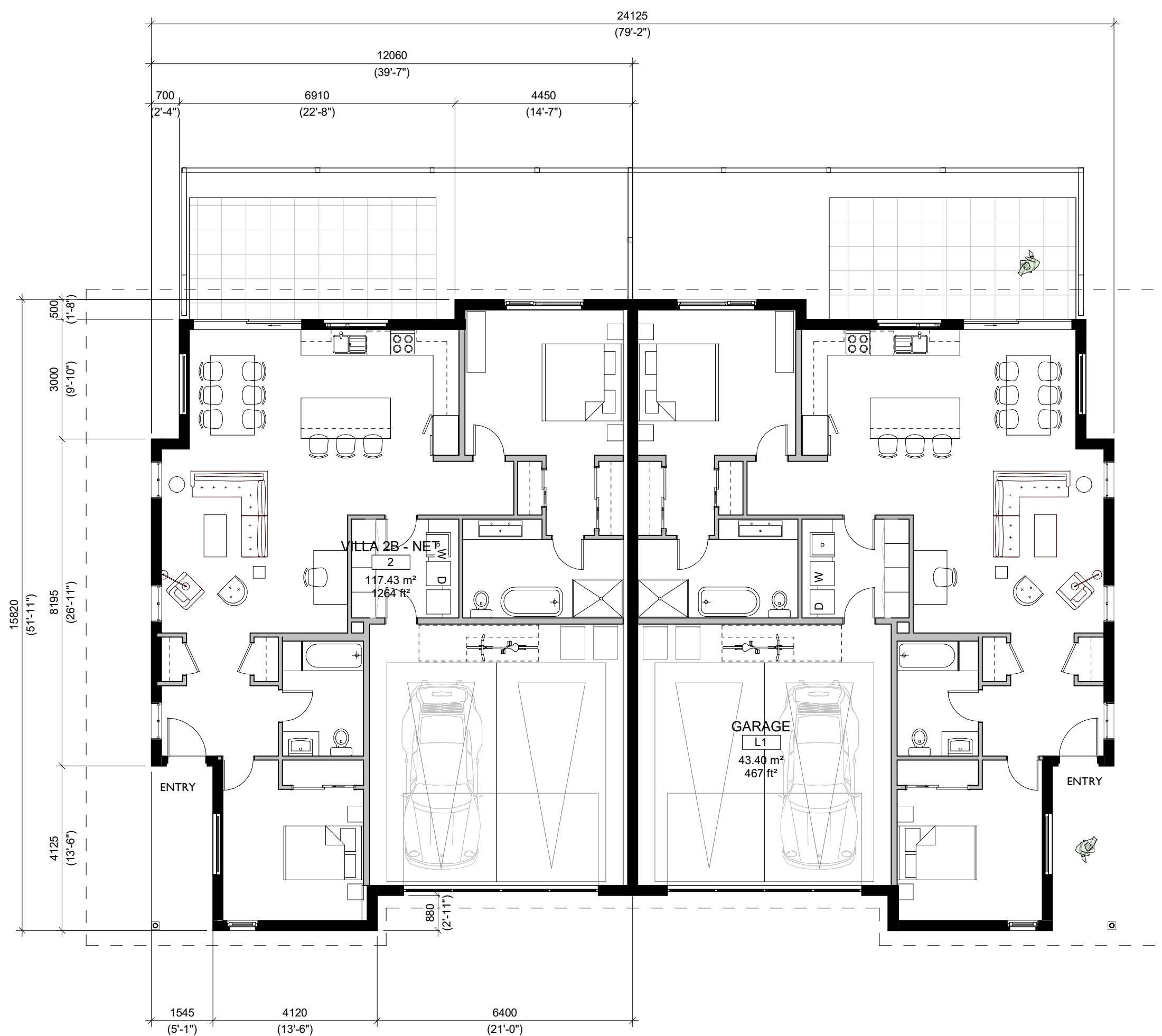
2

Sheet #

**A281**







1 Floor Plan - Villa 2 Unit B - Garage Entry L1  
SCALE = 1 : 100

**MATERIALS LEGEND**

VILLA 2 & 3 Unit

- 1 FASCIA  
PREPAINTED ALUMINUM  
CASCADIA METALS  
CHARCOAL
- 2 LAP SIDING  
5" HARDIEPLANK LAP SIDING  
WOODTONE RUSTIC SERIES  
NIGHT GRAY
- 3 BOARD & BATTEN  
HARDIEPANEL  
SELECT CEDARMILL SIDING  
AGED PEWTER
- 4 BOARD & BATTEN  
WOOD TONE HARDIE PANEL  
SELECT CEDARMILL SIDING  
MOUNTAIN CEDAR
- 5 FLASHING  
PREPAINTED ALUMINUM  
CASCADIA METALS  
SLATE GRAY
- 6 BOARD & BATTEN  
HARDIEPANEL  
SMOOTH VERTICAL SIDING  
ARCTIC WHITE  
24" & 48" per ELEVATIONS
- 7 PREPAINTED ALUMINUM  
CASCADIA METALS  
POPLAR WHITE
- 8 CEDAR PRIVACY FENCE  
REFER TO LANDSCAPE
- 9 CEDAR WOOD FEATURE

NO.	DESCRIPTION	DATE
3	Issued For DP Resubmission - Revisions	04/24/2024
2	Issued For DP Resubmission - Revisions	04/12/2024
1	Issued For DP Resubmission	04/05/2024
	Issued for DP	12/01/2023



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**Phase 5 West - Royal Bay  
Town Houses**  
PCRE

Sheet Name  
**Elevations - Villa 2 Unit B -  
Garage Entry**

Date  
03/28/2024

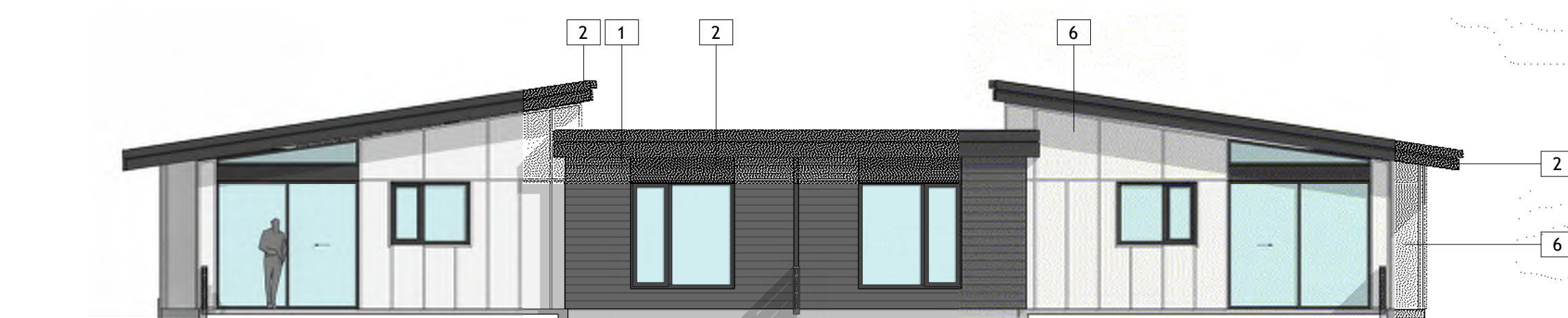
Scale  
As indicated

Project #  
2312

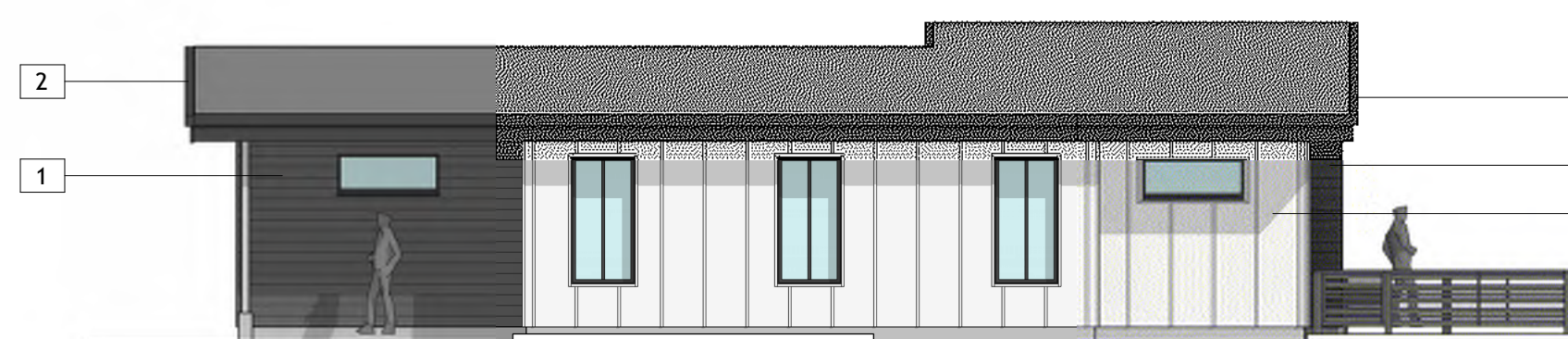
Revision  
04/24/2024

Sheet #  
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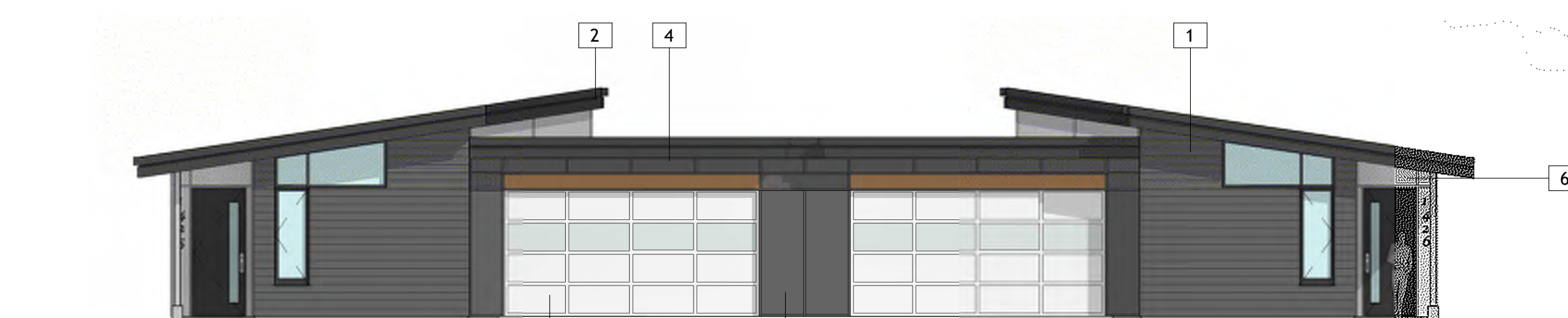
4/25/2024 2:19:55 PM



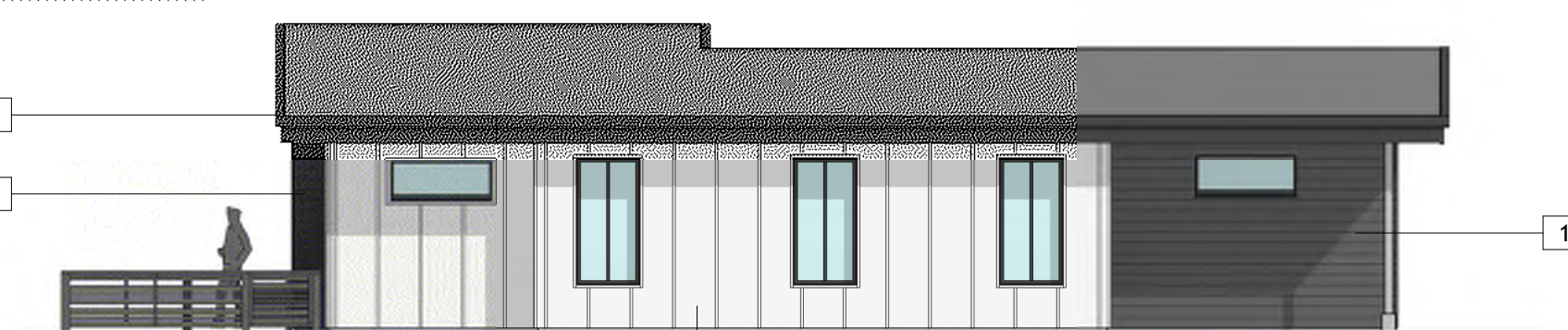
5 Elevation - Front (Block of 2B)  
SCALE = 1 : 100



6 Elevation - Left (Block of 2B)  
SCALE = 1 : 100

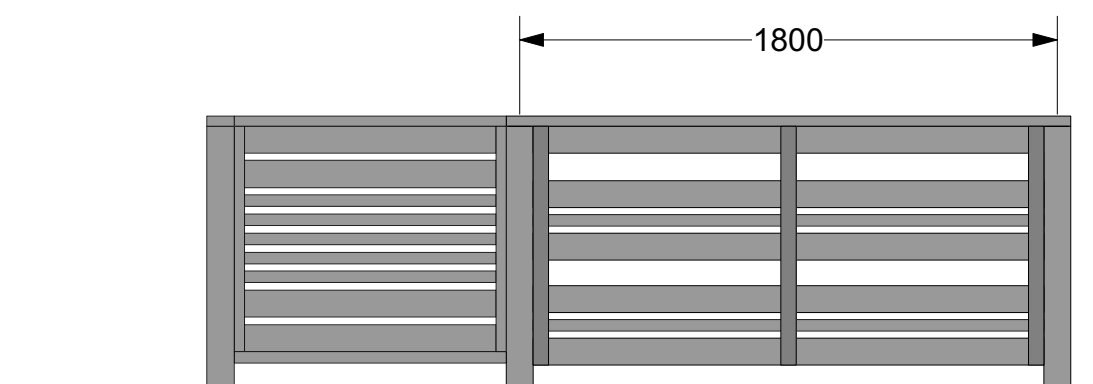


7 Elevation - Rear (Block of 2B)  
SCALE = 1 : 100

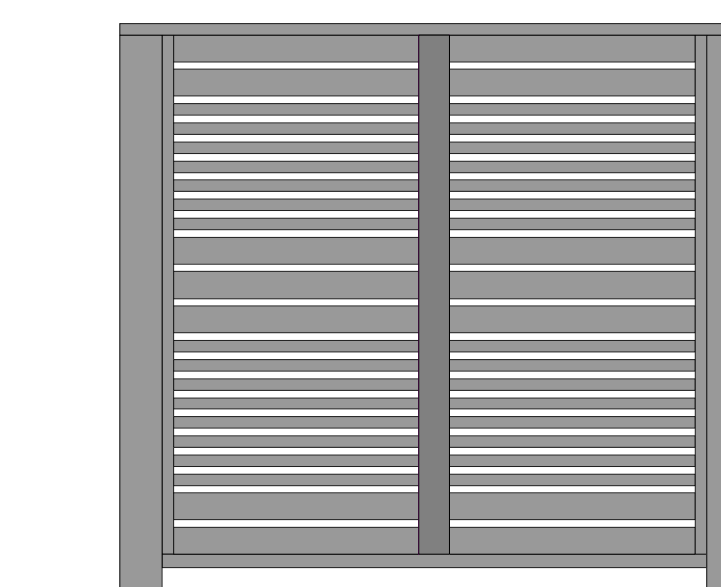


8 Elevation - Right (Block of 2B)  
SCALE = 1 : 100





1 3'-0" (0.9M) Ht. Wood Fence  
Scale: 1:25



2 6'-0" (1.8M) Ht. Wood Divider Fence

**Recommended Nursery Stock**

**Trees**

Total: 205

Botanical Name	Common Name	Size
Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	6cm Cal.
Acer rubrum 'Autumn Flame'	Autumn Flame Scarlet Maple	6cm Cal.
Acer rubrum 'Karpick'	Karpick Maple	6cm Cal.
Acer rubrum 'October Glory'	October Glory Red Maple	6cm Cal.
Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	6cm Cal.
Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	6cm Cal.
Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	6cm Cal.
Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	6cm Cal.
Magnolia 'Daybreak'	Daybreak Magnolia	6cm Cal.
Quercus garryana	Garry Oak	6cm Cal.

**Large Shrubs**

Total: 268

Botanical Name	Common Name	Size
Ceanothus thyrsiflorus 'Victoria'	Victoria Ceanothus (California Lilac)	#5 Pot
Holodiscus discolor	Oceanspray	#5 Pot
Oemleria cerasiformis	Indian Plum	#5 Pot
Physocarpus opulifolius 'Center Glow'	Pacific Ninebark 'Center Glow'	#5 Pot
Vaccinium ovatum	Evergreen Huckleberry	#5 Pot

**Medium Shrubs**

Total: 1,955

Botanical Name	Common Name	Size
Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#3 Pot
Mahonia aquifolium	Tall Oregon Grape	#3 Pot
Rhododendron macrophyllum	Pacific Rhododendron	#3 Pot
Rhododendron 'Rosa Mundi'	Rosa Mundi Rhododendron	#3 Pot
Ribes sanguineum	Red Flowering Currant	#3 Pot
Symphoricarpos albus	Snowberry	#3 Pot

**Small Shrubs**

Total: 2,483

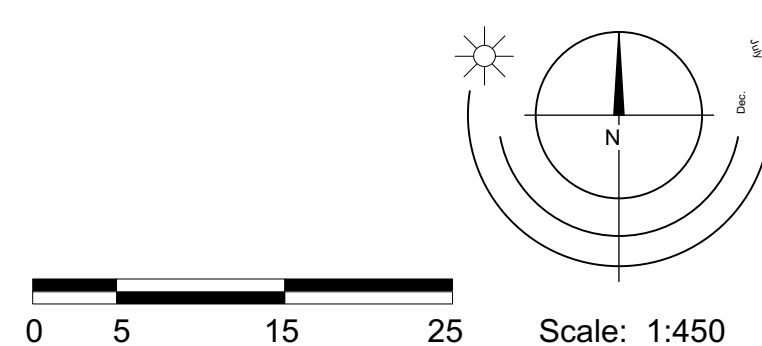
Botanical Name	Common Name	Size
Azalea japonica 'Herbert'	Herbert Evergreen Azalea	#1 Pot
Gaultheria shallon	Salal	#1 Pot
Lavandula stoechas 'Otto Quast'	Spanish Lavender	#1 Pot
Mahonia repens	Creeping Oregon Grape	#1 Pot
Nandina domestica 'Fire Power'	Fire Power Heavenly Bamboo	#2 Pot
Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	#1 Pot
Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#1 Pot

**Perennials, Annuals and Ferns**

Total: 1,436

Botanical Name	Common Name	Size
Blechnum spicant	Deer Fern	#1 Pot
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 Pot
Deschampsia caespitosa	Tufted Hair Grass	#1 Pot
Salvia mainacht	May Night Sage	#1 Pot
Stipa tenuissima	Mexican Feather Grass	#1 Pot

- Notes:**
- All work to be completed to current CSLA Landscape Standards
  - All soft landscape to be irrigated with an automatic irrigation system



# Landscape Concept Plan - Royal Bay Phase 5 West

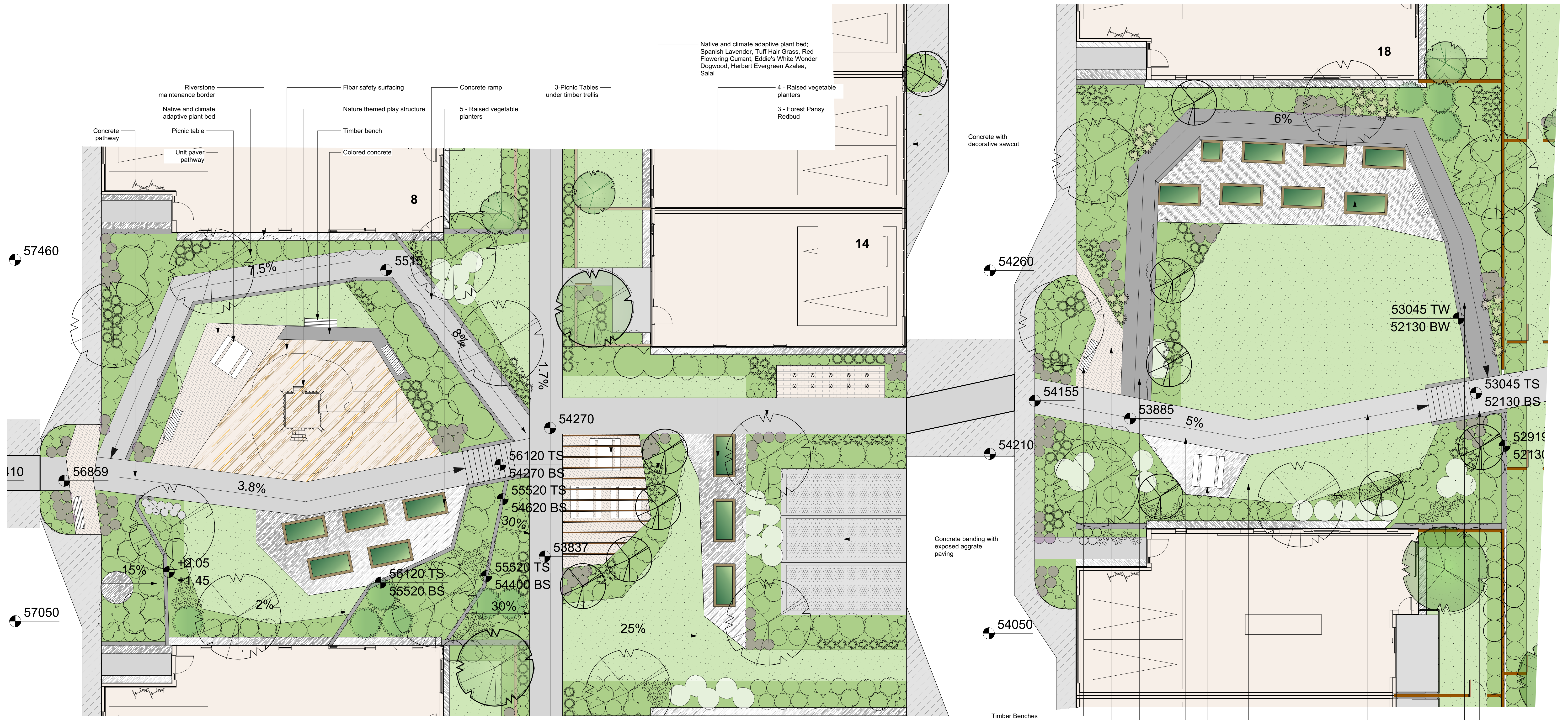


Project No: 2305 8 Nov 2023

#3-864 Queens Ave. Victoria B.C. V8T 1M5  
Phone: (250) 598-0105

Revision C: May 13/24  
Revision B: May 2/24  
Revision A: April 3/24





1 Landscape Schematic Plan  
Scale: 1:100



Playground



Timber Trellis



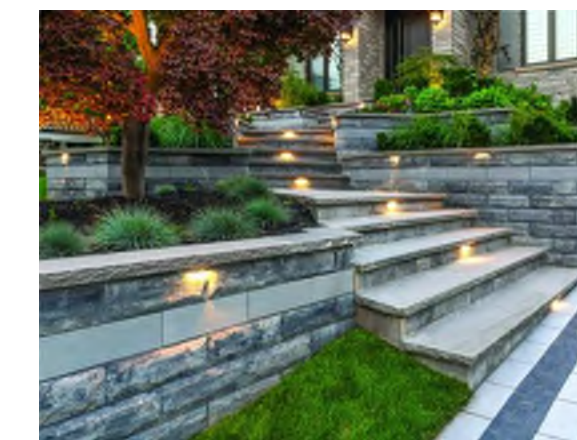
Timber Benches



Timber Picnic Tables



Timber Planters



Garden Walls

CHARACTER IMAGES

Revision C: May 13/24  
Revision B: May 2/24  
Revision A: April 3/24

# Landscape Central Greens Plan - Royal Bay Phase 5



Project No: 2305 8 Nov 2023

#3-864 Queens Ave. Victoria B.C. V8T 1M5  
Phone: (250) 598-0105

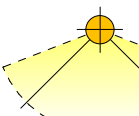
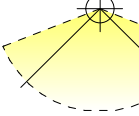


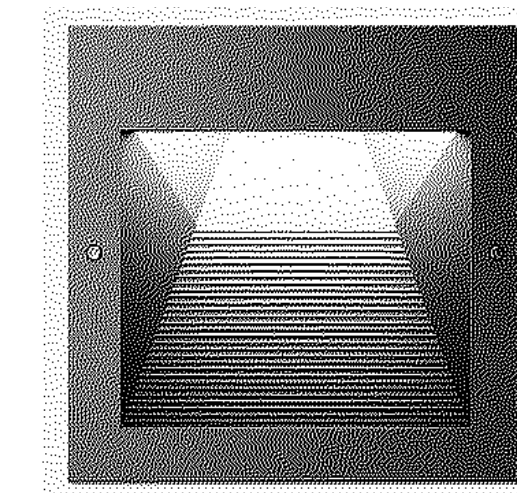


**Soil Depth Legend:**

- 0.225m Soil Depth over Subgrade (Grass Lawn)
- 0.6m Soil Depth over Subgrade
- 0.7m Soil Depth (Trees)
- 1.0m Soil Depth

**LIGHTING LEGEND**

-  Bollard Lighting (Refer to Electrical)
-  Wall Recessed Lighting (Refer to Electrical)



Recessed Wall Lights



Bollard Lights

# Landscape Soil Volume Plan - Royal Bay Phase 5 West




 #3-864 QUEENS AVE  
 VICTORIA, BC  
 V8T 1M5

 P. 250.598.0105  
 ADMIN@LADRLA.CA  
 WWW.LADRLA.CA

## Royal Bay Phase 5 West: Landscape Budget Estimate

A. SOFT LANDSCAPE	Quantity	Units	Price	Extension
<b>1. PLANTS</b>				
Trees (6 cm caliper)	205	each	\$525.00	\$107,625.00
Shrubs (#5 pot)	268	each	\$75.00	\$20,100.00
Shrubs (#3 pot)	1955	each	\$57.00	\$111,435.00
Shrubs (#1 and #2 pot)	2483	each	\$16.50	\$40,969.50
Perennials, Annuals, Ferns (#1 pot)	1436	each	\$16.50	\$23,694.00
<b>SUB-TOTAL PLANTS</b>				<b>\$303,823.50</b>
<b>2. GRASS</b>				
Sod	4359	m.sq.	\$14.50	\$63,205.50
<b>3. SOIL</b>				
Soil	3537	m.cu.	\$32.00	\$113,184.00
Mulch	396	m.cu.	\$40.00	\$15,840.00
<b>SUBTOTAL SOFT LANDSCAPE</b>				<b>\$496,053.00</b>
<b>B. HARD LANDSCAPE</b>				
<b>1. IRRIGATION ALLOWANCE</b>				\$95,000.00
<b>2. SURFACING</b>				
Decorative Concrete Pavers	94	m.sq.	\$135.00	\$12,690.00
Wood fibre safety surface (200mm depth)	15	m.cu.	\$50.00	\$750.00
Aggregate (155mm depth)	120	m.cu.	\$75.00	\$9,000.00
<b>3. SITE FEATURES</b>				
Inverted 'U' Bicycle Racks	12	each	\$700.00	\$8,400.00
Picnic Tables	4	each	\$2,300.00	\$9,200.00
Raised Planters	16	each	\$500.00	\$8,000.00
Benches	7	each	\$1,200.00	\$8,400.00
<b>4. FENCING</b>				
900mm Timber Fence	1081	l.m.	\$100.00	\$108,100.00
1800mm Timber Fence	155	l.m.	\$137.00	\$21,235.00
Wood Pergolas Allowance				\$10,000.00
<b>SUBTOTAL HARD LANDSCAPE</b>				<b>\$290,775.00</b>
<b>TOTAL LANDSCAPE BUDGET ESTIMATE</b>				<b>\$786,828.00</b>
				<b>Exclusive of GST</b>
Prices include labour and materials. For bonding purposes only; this is not a construction estimate.				
Prepared by LADR Landscape Architects				10-May-24