



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP000037 - Addition to Single Family Home at 3106 Antrobus Cres

DEVELOPMENT PERMIT DP000037

THIS PERMIT, issued **OCTOBER 18, 2024**, is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*, 3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: ARSENAULT, NIKKI
ARSENAULT, RHEAL
3106 ANTROBUS CRES
VICTORIA BC V9B 5M7

(the "Permittee")

-
1. This Form and Character (Intensive Residential) Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 43, SECTION 76, ESQUIMALT LAND DISTRICT, PLAN VIP43852
3106 ANTROBUS CRES

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the Form and Character considerations for an addition to an existing one-family dwelling and associated site improvements are consistent with the design guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.

6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Site Plan & Architectural Drawings prepared by Randall Recinos – Design Consultant dated July 26th, 2024.
 - Schedule 2 Landscaping Plan prepared by Randall Recinos – Design Consultant dated July October 10th, 2024.
8. This Development Permit authorizes an addition to an existing one-family dwelling along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

FORM AND CHARACTER CONDITIONS

Building Features

- 8.1. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Randall Recinos – Design Consultant (Schedule 1).
- 8.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.3. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.
- 8.4. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

Landscaping

- 8.5. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Randall Recinos – Design Consultant (Schedule 2).

ISSUED ON THIS 18 DAY OF October, 2024



JOHN ROSENBERG, A.Sc.T.
DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES

Schedule 1

BC Land Surveyor's Site Plan Of: Lot 43, Section 76, Esquimalt District, Plan 43852, P.I.D. 004-541-871

Civic Address: 3106 Antrobus Crescent



Scale = 1:100

Dated this 21st day of June, 2024.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CYD28BC and derived from OCM 87H3403.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

LOT AREA 869.2 m² ZONING R-1

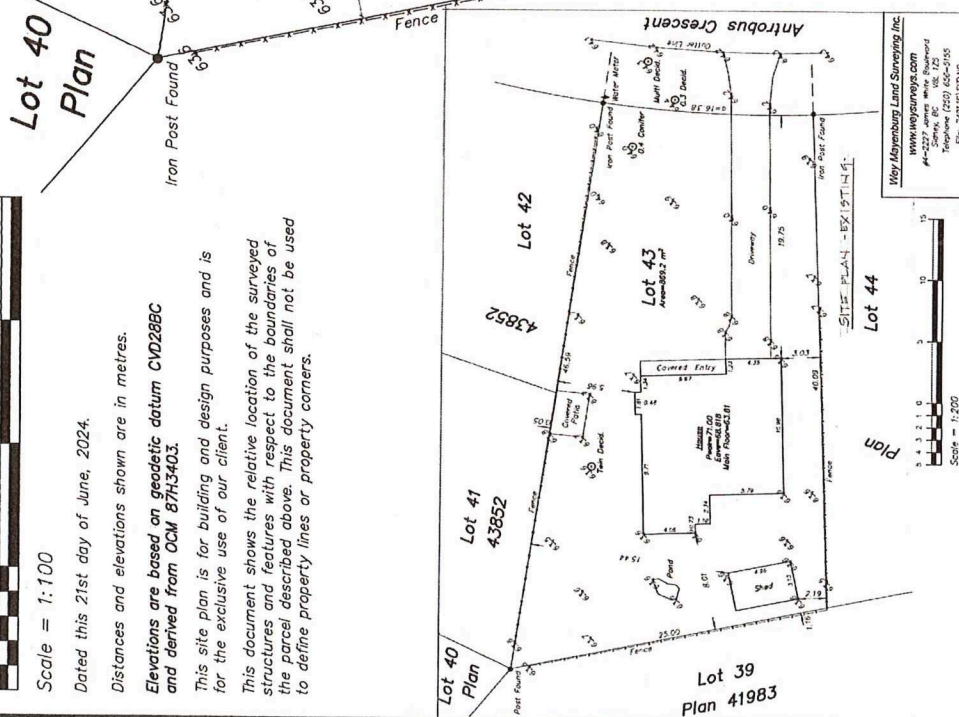
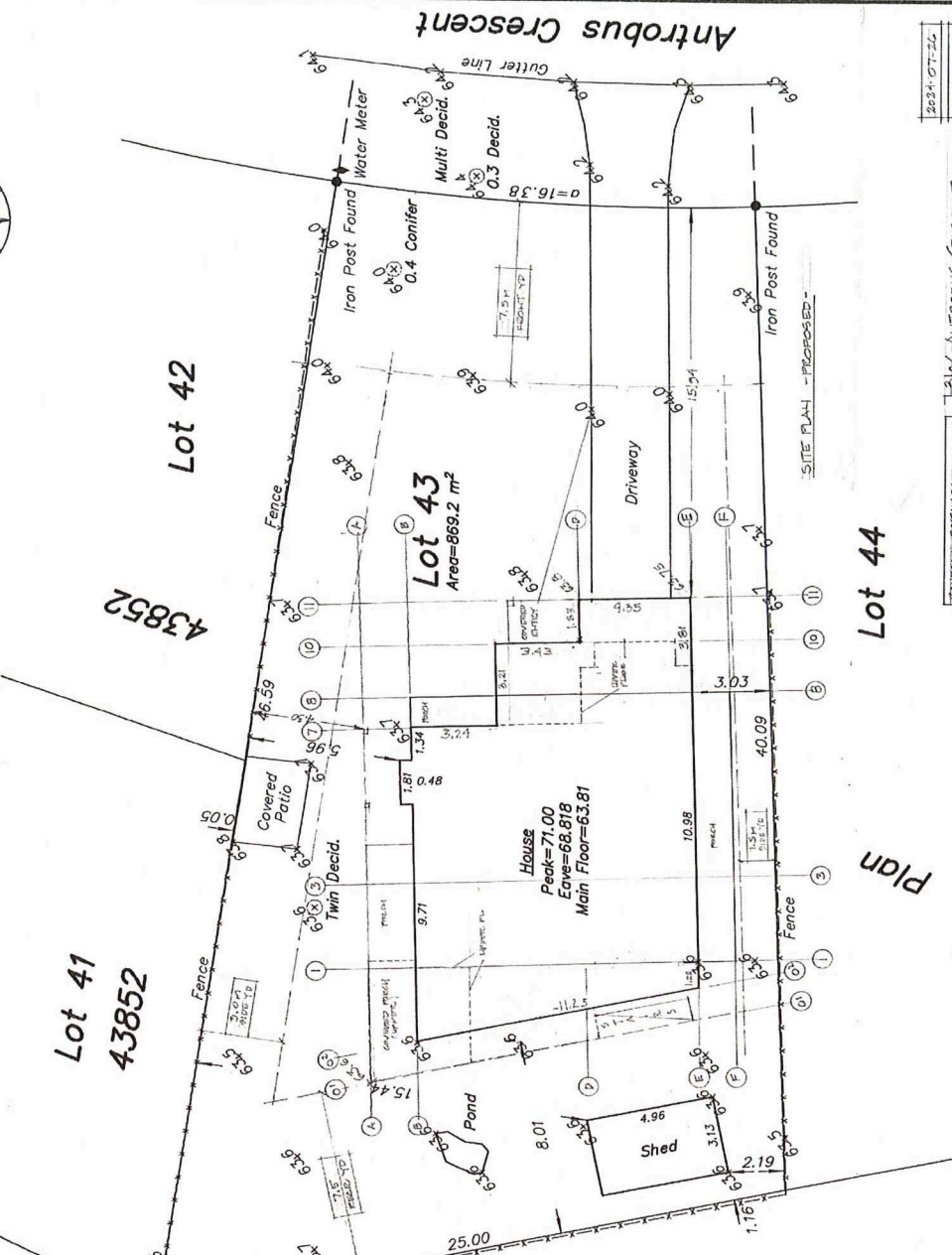
LOT COVERAGE ALLOWED 35% 304.22 m² SHOWN: 16.87% PROPOSED: 15.80% E 22.15%

FLOOR AREA RATIO ALLOWED 0.4 SHOWN: 0.40 FLOOR FLOOR 104.00 m² INTER FLOOR 242.82 m² 0.28

MAX. HEIGHT 4.57 m (15 ft) SHOWN: 4.57 m (15 ft) PROPOSED: 4.57 m (15 ft)

SETBACKS: FRONT 1.5 m SIDE 1.5 m REAR 1.5 m SHOWN: 1.5 m SIDE 1.5 m REAR 1.5 m

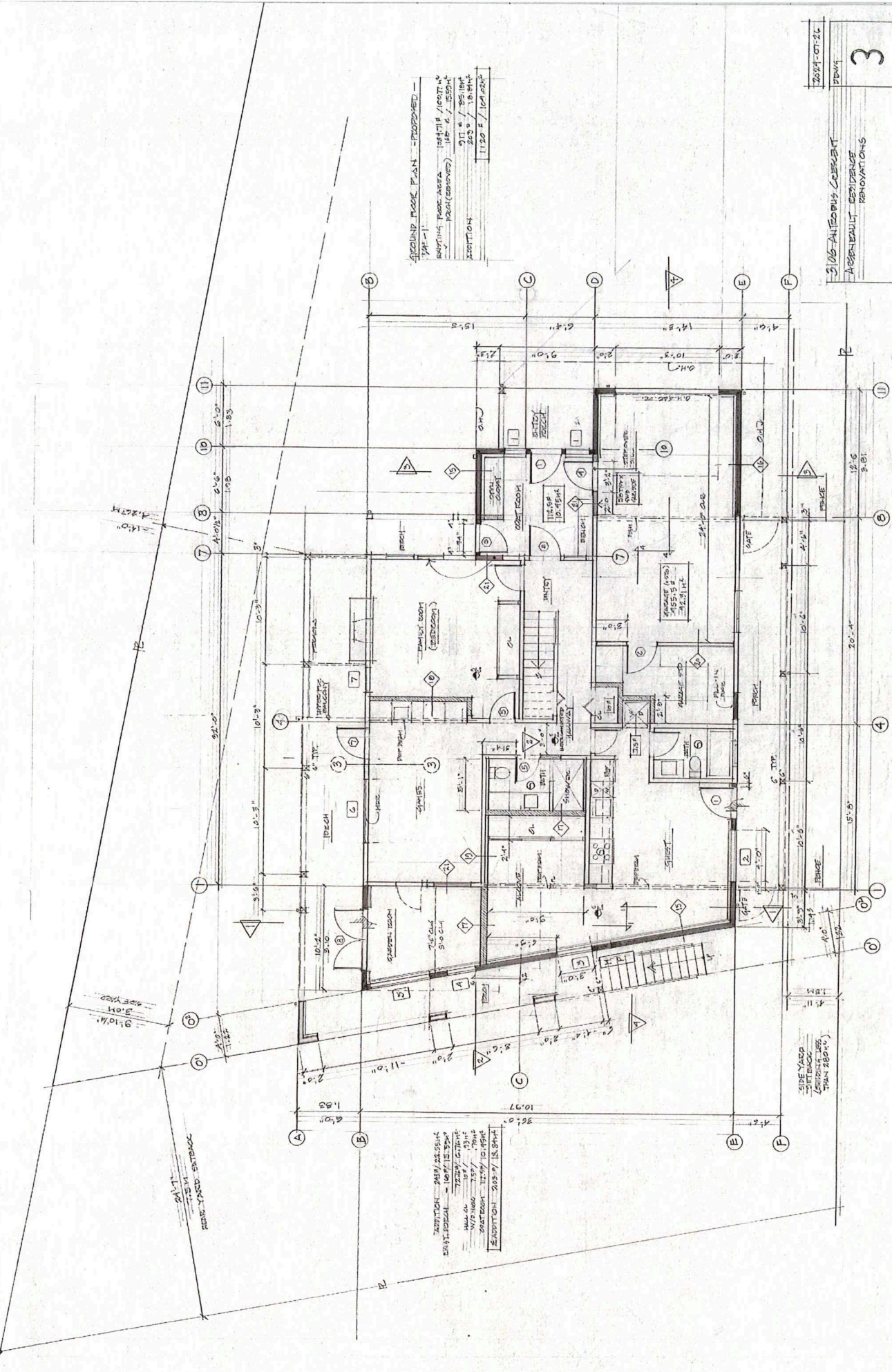
SCREENING ALLOWANCE 50% THIS PROPOSAL 42.21 m²



2024-07-24	PRVA
1	
3106 ANTROBUS CRESCENT ESQUIMALT, BRITISH COLUMBIA CANADA V8L 2E1	
RENOVATIONS	
SITE PLAN - PROPOSED	

Wey Mayenburg Land Surveying Inc.
 www.weylandsurveying.com
 41-2277 James White Boulevard
 Esquimalt, BC V8L 2E1
 Telephone (250) 654-2155
 Fax (250) 654-2150

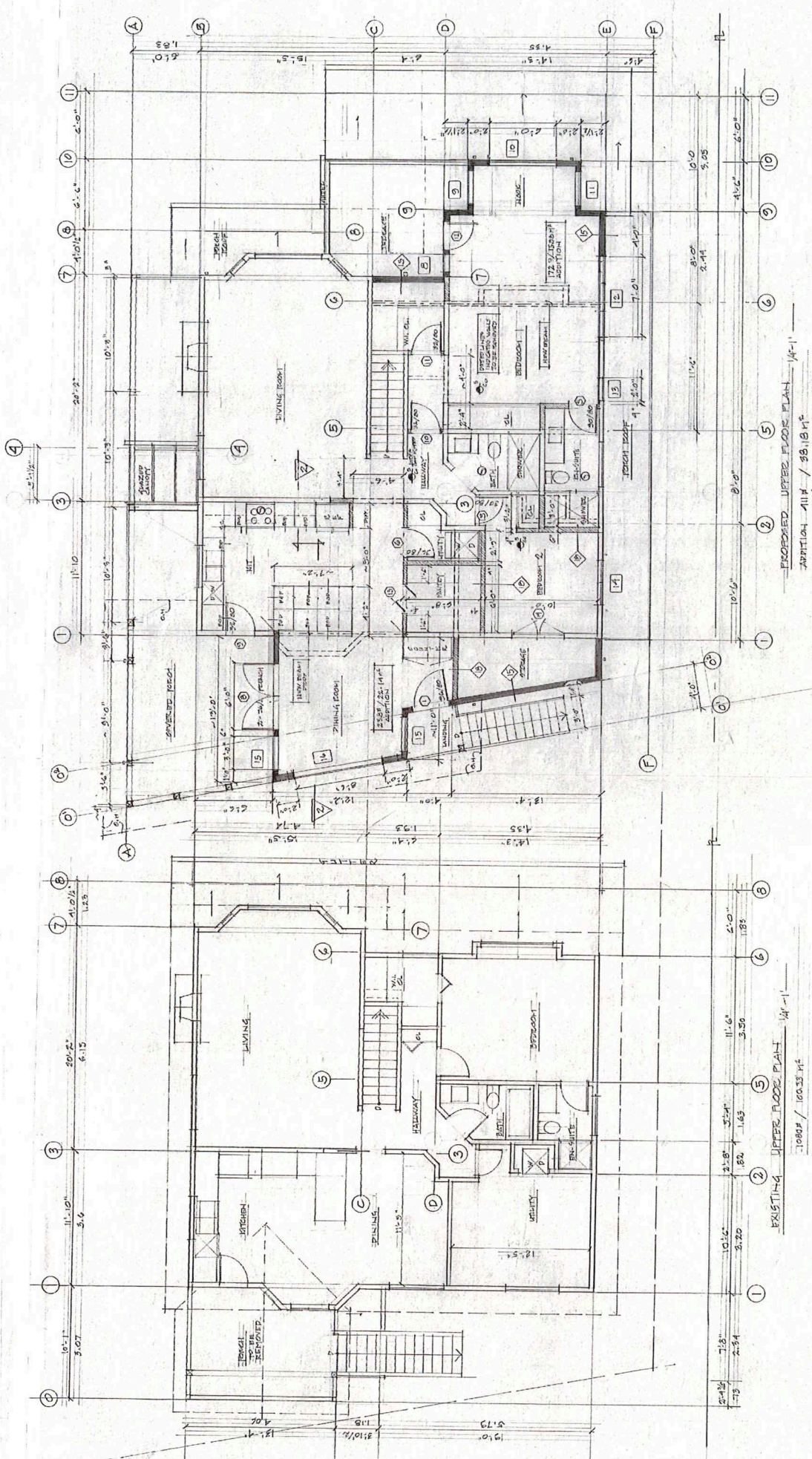
The subject property is affected by the following registered documents: R51139, R69159.



GROUND FLOOR PLAN - PROPOSED -
 1st Fl -
 FINISHING FLOOR AREA 1887 SF / 100%
 FINISHING FLOOR AREA 1887 SF / 100%
 FINISHING FLOOR AREA 1887 SF / 100%
 FINISHING FLOOR AREA 1887 SF / 100%
 FINISHING FLOOR AREA 1887 SF / 100%

ADDITION 2019 / 2020
 FINISHING FLOOR AREA 1887 SF / 100%
 FINISHING FLOOR AREA 1887 SF / 100%
 FINISHING FLOOR AREA 1887 SF / 100%
 FINISHING FLOOR AREA 1887 SF / 100%

2024-07-26
 3
 3106 ANTIQUE COURT
 APARTMENT RENOVATIONS



3106 ANTIPOLIS CRESCENT
 APARTMENT RENOVATION
 DWG 4
 DATE: 07-26

PROPOSED UPPER FLOOR PLAN - 1/4" = 1'-0"
 APARTMENT 1114 / 38.18 SF
 1111 / 138.81 SF

EXISTING UPPER FLOOR PLAN - 1/4" = 1'-0"
 1088 SF / 100.33 SF

Schedule 2

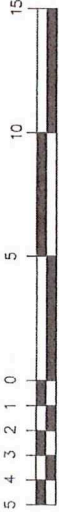
BC Land Surveyor's Site Plan Of:

Lot 43, Section 76,

Esquimalt District, Plan 43852.

P.I.D. 004-541-871

Civic Address: 3106 Antrabus Crescent



Scale = 1:100

Dated this 21st day of June, 2024.

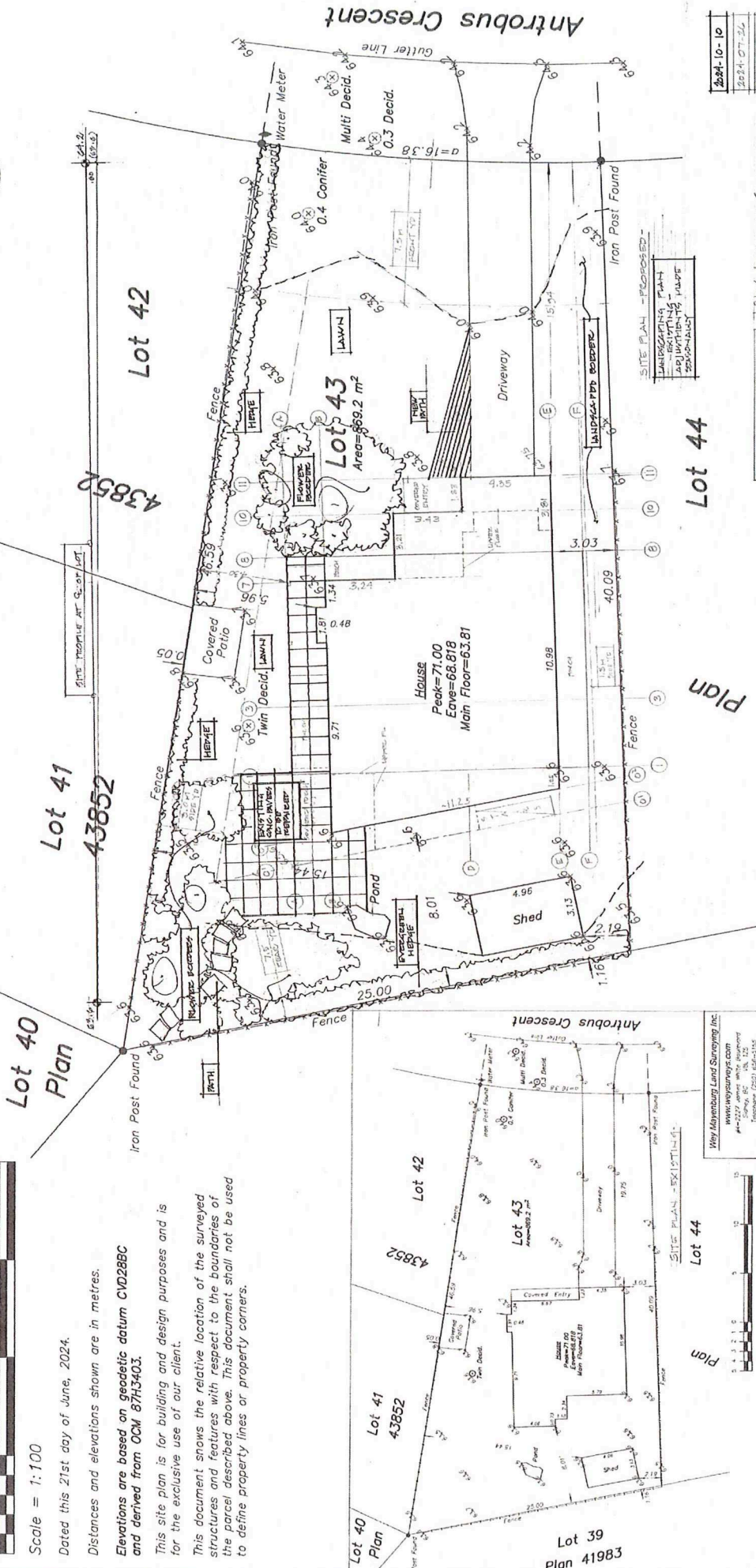
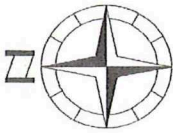
Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD288C and derived from OCM 87H3403.

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LOT AREA 869.2 m² 76-114 B-1
 LOT COVERAGE ALLOWED 35% 304.22 m² SHOWN 16.57% 1437.5 m² PERMITS 25.00% 2172.55 m²
 FLOOR AREA RATIO ALLOWED 0.11 SHOWN 0.11 138.81 m² 242.83 m² 0.28
 BLOCK HEIGHT MAX HEIGHT 43.164 7.23M (70 PERMITS)
 SIDE YDS. (FRONT, REAR, TRAIL) 28.00M 1.5 + 5 + 4.5
 REAR YS 7.5 M SHOWN 7.5
 FRONT YS 7.5 M SHOWN 7.5
 SETBACK ALLOWANCE SIDE TRAIL 12.21M



2024-07-24	PRV4
2024-07-24	PRV4
2024-10-10	PRV4

3106 ANTRABUS CRESCENT
 ESCQUIMALT RENOVATIONS

Way Mayberry Land Surveying Inc.
 www.waymayberrysurveying.com
 400-750-1111
 2200-10th St. N.E.
 Victoria, BC V8N 2Z1
 Telephone: (250) 624-1358
 Fax: (250) 624-1359

The subject property is affected by the following registered documents: **R51139, R69159.**