



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP000034 - Single Family Dwellings with Suites at Temperate PI (Lots 18-27)

DEVELOPMENT PERMIT DP000034

THIS PERMIT, issued NOVEMBER 26, 2024 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: ROYAL BAY HOLDINGS NO 2 LTD
PO BOX 49221 STN BENTALL CENTRE
VANCOUVER BC V7X 1L2

(the "Permittee")

-
1. This Form and Character Intensive Residential) Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 18, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 19, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 20, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 21, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 22, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 23, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 24, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 25, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 26, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484
LOT 27, SECTION 40, ESQUIMALT LAND DISTRICT, PLAN EPP113484, & SEC 41
3581 TEMPERATE PL
3583 TEMPERATE PL
3585 TEMPERATE PL
3587 TEMPERATE PL
3589 TEMPERATE PL
3591 TEMPERATE PL

3593 TEMPERATE PL
3595 TEMPERATE PL
3597 TEMPERATE PL
3599 TEMPERATE PL

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the *"Colwood Land Use Bylaw, 1989"* (Bylaw No. 151), to ensure the Form and Character considerations for the development of ten single family homes with secondary suites and associated site improvements are consistent with the design guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Architectural Plans prepared by Victoria Design Group for Lots 18-21 dated November 4, 2024, for Lots 22-24 dated November 14, 2024, for Lot 25 dated November 25, 2024, and for Lot 26 dated November 5, 2024, and for Lot 27 dated November 15, 2024
 - Schedule 2 Landscape Plans prepared by Verity Construction for Lots 18-20 dated November 1, 2024, for Lot 21 dated November 4, 2024, for Lots 22-25 dated November 14, 2024, for Lot 26 dated November 5, 2024, and for Lot 27 dated November 18, 2024.
8. This Development Permit authorizes the development of ten single family homes with secondary suites along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

GENERAL

- 8.1. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within the Section 219 covenants registered as "CA8439553", "CB201032", "CB201034", "CB201038", and "CB201040" and as amended.

FORM AND CHARACTER CONDITIONS


Building Features

- 8.2. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Victoria Design Group (Schedule 1).
- 8.3. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.
- 8.5. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

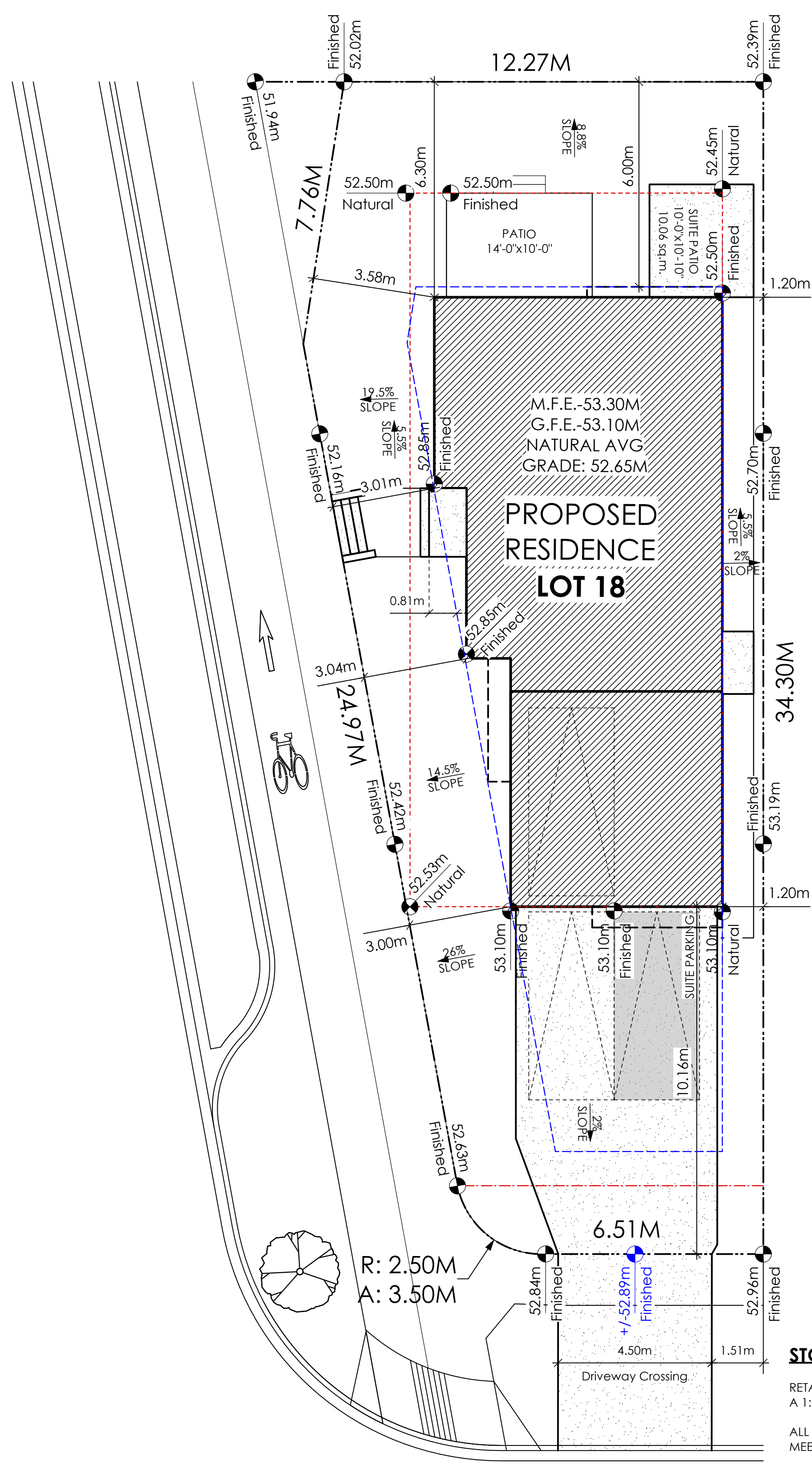
Landscaping

- 8.6. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Verity Construction (Schedule 2).

ISSUED ON THIS 26 DAY OF NOVEMBER 2024.



JOHN ROSENBERG, A.Sc.T.
DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES



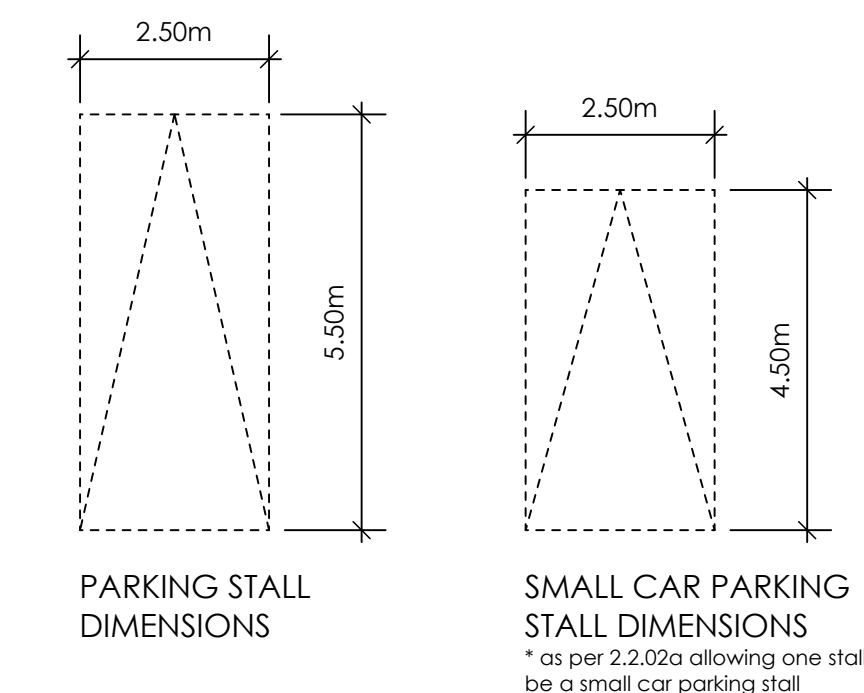
TEMPERATE PLACE - LOT 18

SITE DATA	CD28 (Area 10)	
	PERMITTED	PROPOSED
LOT AREA	278 sq.m.	391.54 sq.m.
LOT COVERAGE	50.00 %	33.07 %
BUILDING HEIGHT	9.50 m.	7.26 m.
LOT WIDTH	9.00 m.	9.98 m.
SETBACKS		
- FRONT	4.50 m.	10.16 m.
- FRONT (GARAGE)	6.00 m.	10.16 m.
- REAR	6.00 m.	6.00 m.
- SIDE	1.20 m.	1.20 m.
- SIDE	3.00 m.	3.00 m.
PROPOSED FLOOR AREA		
- UPPER		128.53 sq.m.
- MAIN		90.40 sq.m.
- GARAGE		39.04 sq.m.
SUB-TOTAL G.F.A.		257.97 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-39.04 sq.m.
GROSS FLOOR AREA		218.93 sq.m.
F.A.R.		0.56 TO 1.0
SECONDARY SUITE		
SECONDARY SUITE (%)	40.00 %	25.44 %
SECONDARY SUITE (SQ.M.)	90.00 sq.m.	55.70 sq.m.

AVERAGE NATURAL GRADE CALCULATION
 $52.53 \text{ m.} + 53.10 \text{ m.} + 52.45 \text{ m.} + 52.50 \text{ m.} = 210.58 \text{ m.}$
 divided by 4 = ave. grade 52.65 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

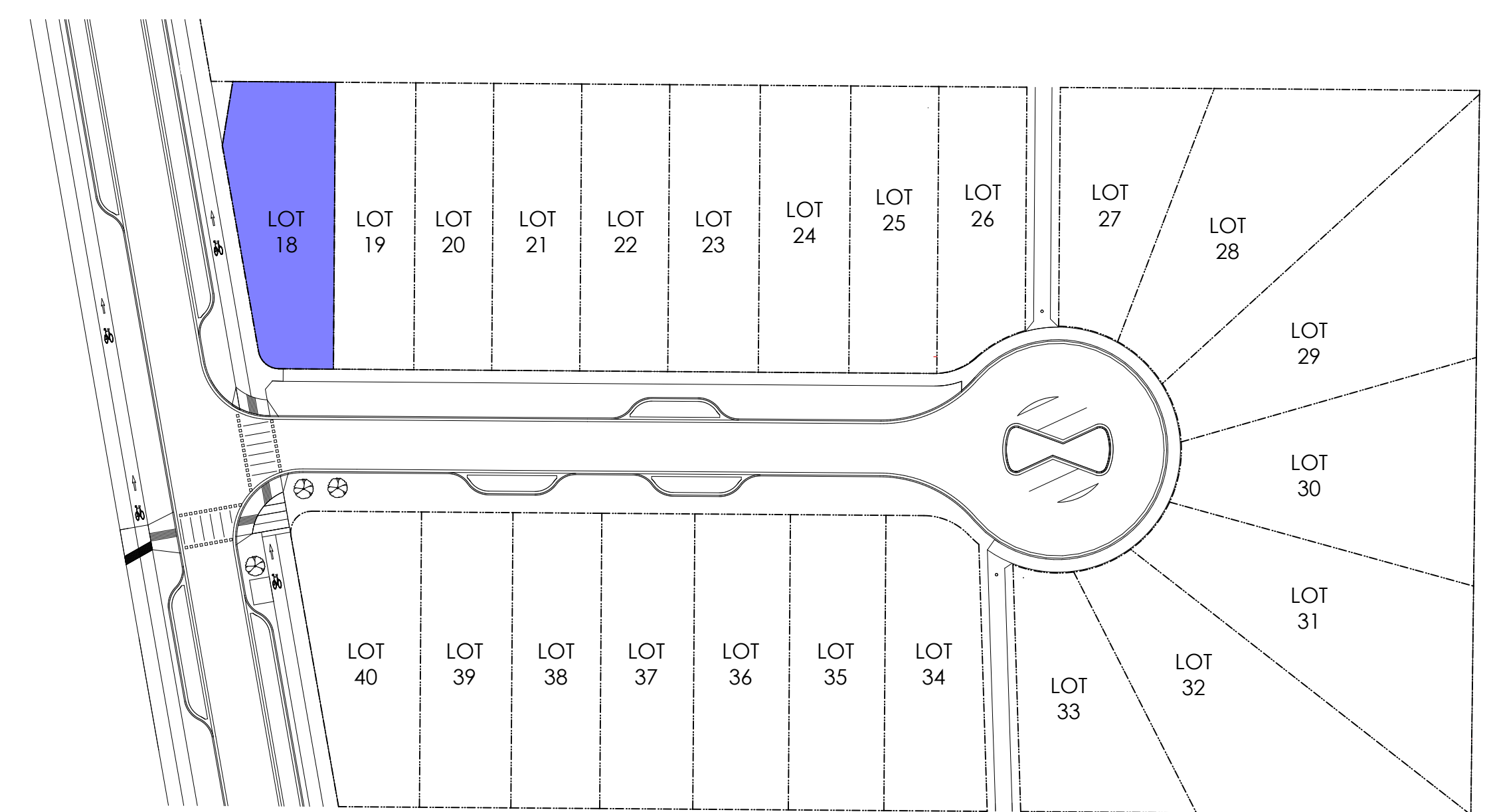
ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

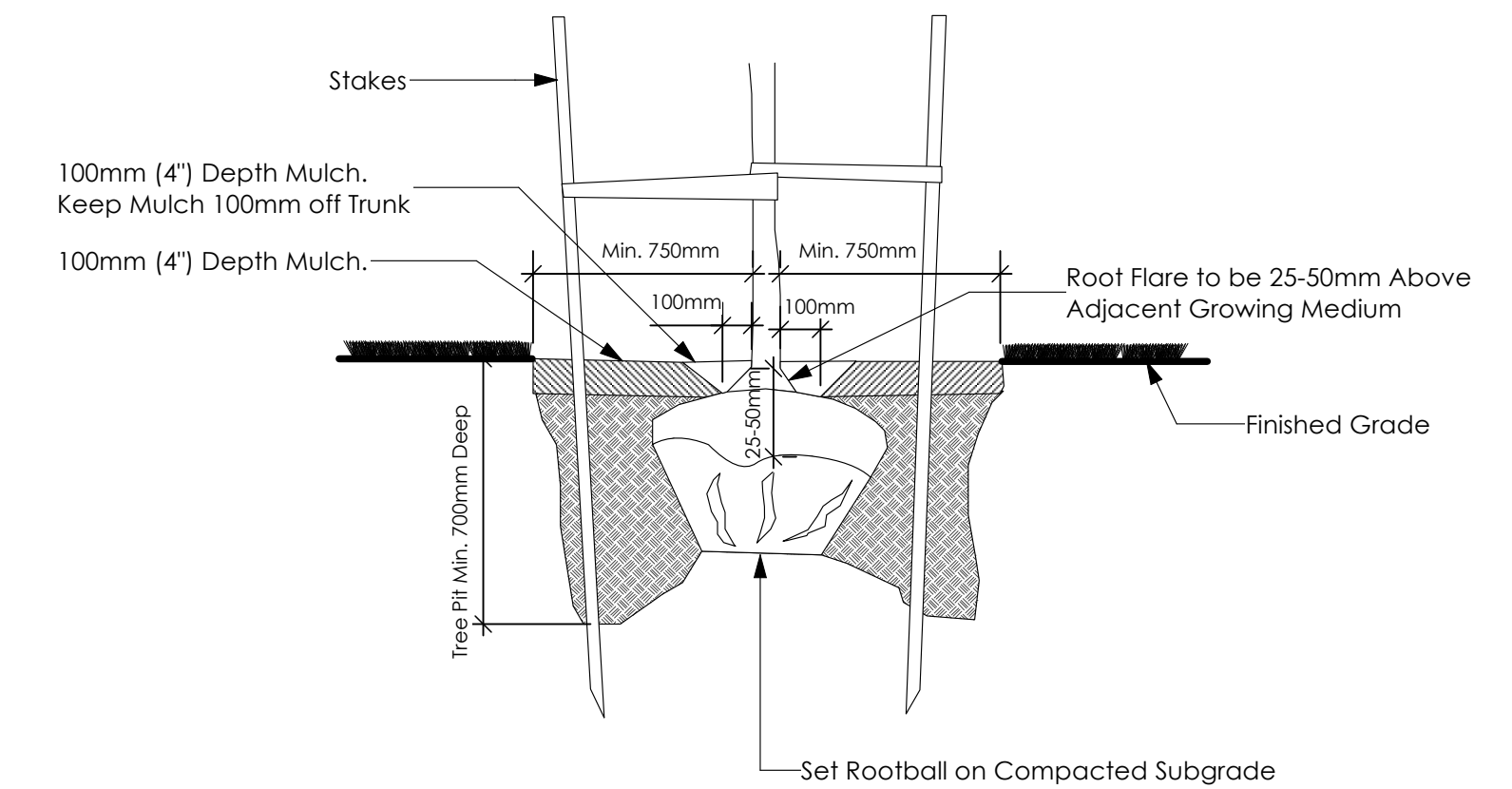
THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

CONTRACTOR TO ENSURE A MINIMUM 2% SLOPE SIDE YARD SWALING (BOTH SIDES) MAY BE REQUIRED

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS



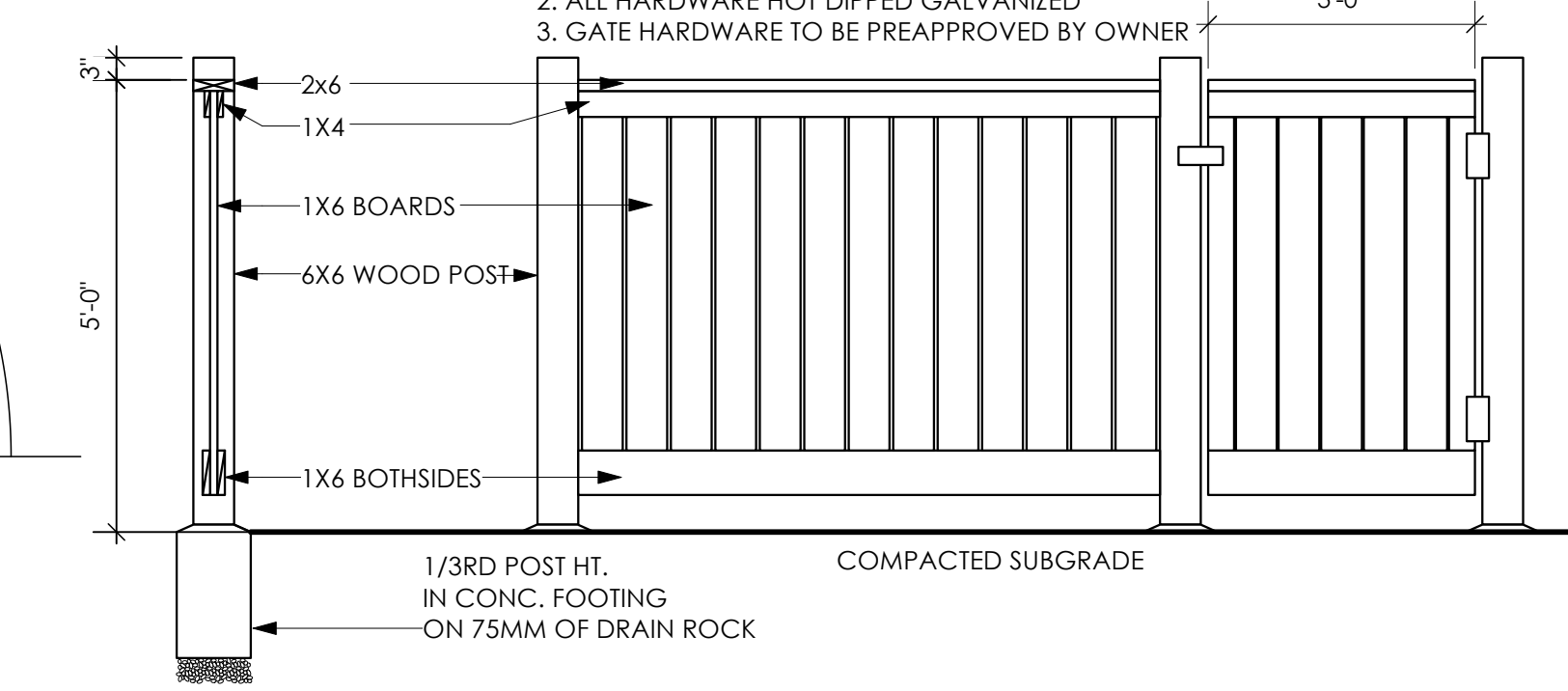
2 Key Plan
 A2 Scale: Not To Scale



3 Tree Planting Detail
 A2 Scale: Not To Scale

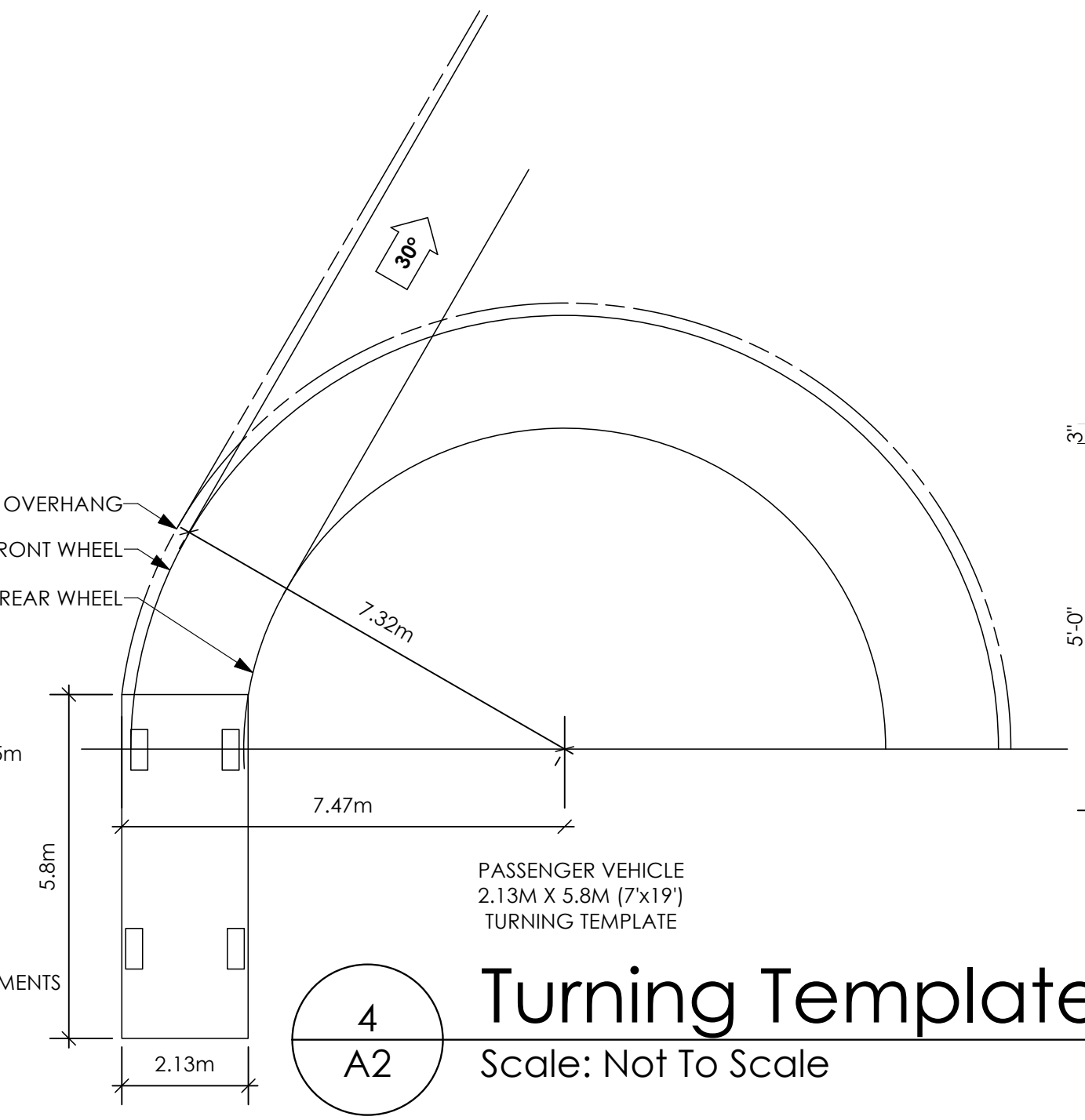
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

- TYPICAL FENCE NOTES:
1. ALL WOOD P.T. HEM FIR.
 2. ALL HARDWARE HOT DIPPED GALVANIZED
 3. GATE HARDWARE TO BE PREAPPROVED BY OWNER



5 Typical Fence Detail
 A2 Scale: Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



4 Turning Template
 A2 Scale: Not To Scale

1 Siteplan
 A2 Scale: 1:100

Date
 Nov 4, 2024

Project Address
 3581 Temperate Place
 Lot 18 - Royal Bay
 Colwood, B.C.
 Prepared for
 Verity Construction

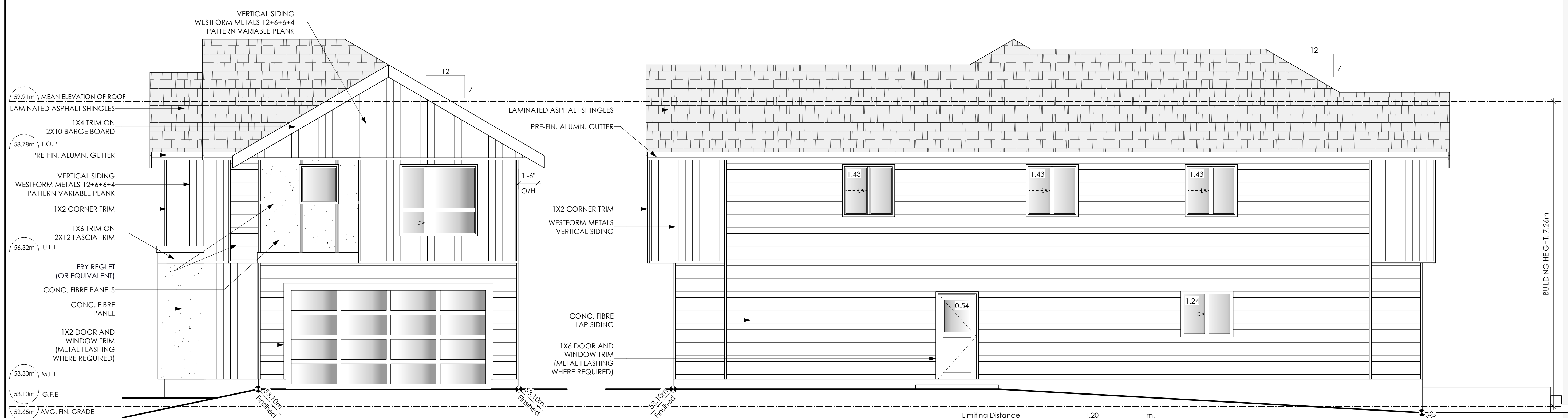
Project #
 8298-18

Scale
 As Noted

Drawn By
 MRB

BASEPLAN B
 TYPE A

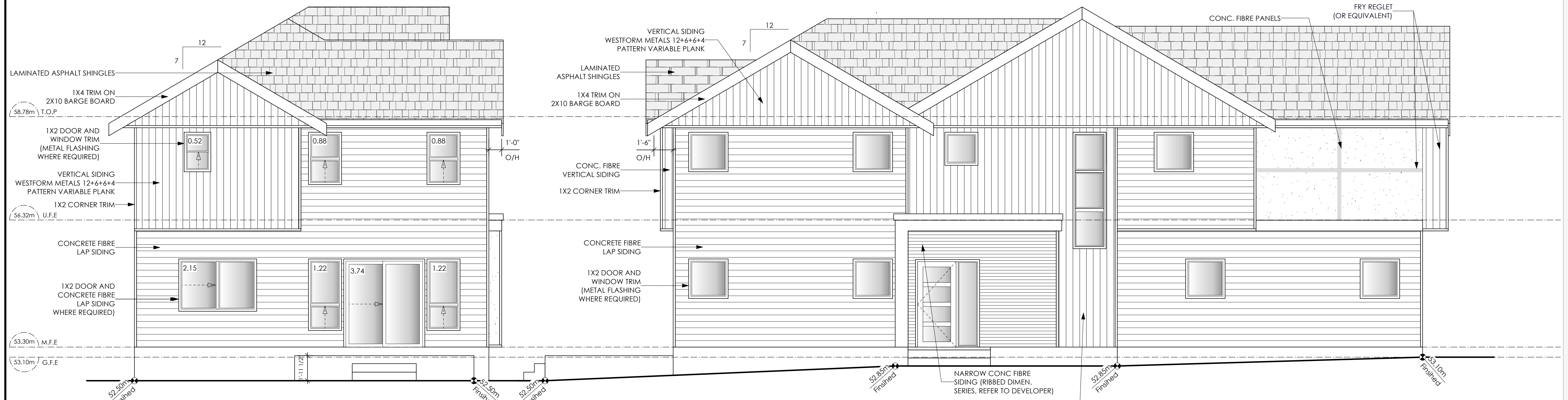
Development Permit Presentation



1 **Front Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.

2 **Right Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	110.33	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.72	sq.m.
Proposed Openings	6.07	sq.m.



3 **Rear Elevation**
Scale: 1/4" = 1'-0"

4 **Left Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	6.0	m.
Exposed Building Face	52.96	sq.m.
Allowable Openings	57.0	%
Allowable Opening Area	30.19	sq.m.
Proposed Openings	10.61	sq.m.

Development Permit Presentation

Date
Nov 4, 2024

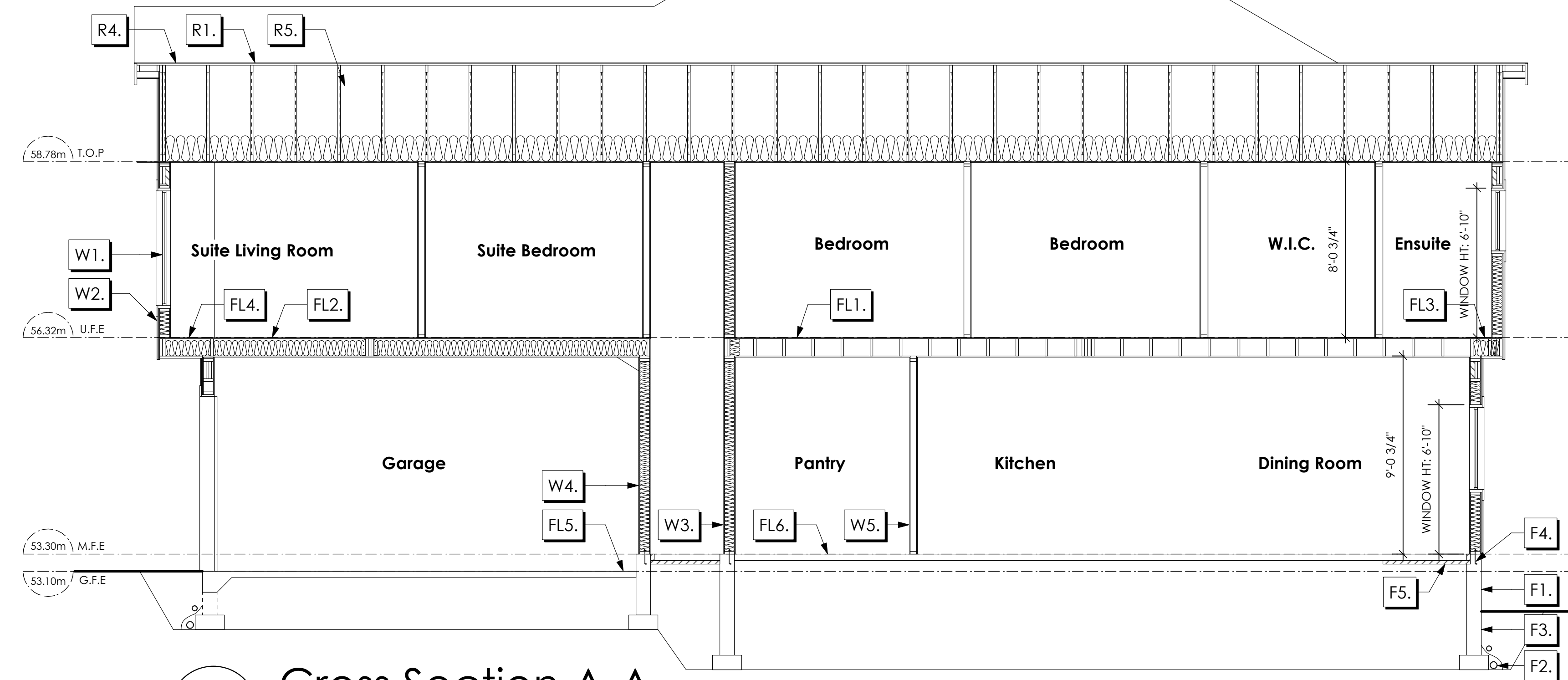
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Lot 18 - Royal Bay
Colwood, B.C.
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Project #
8298-18

Scale
As Noted

Drawn By
MRB

BASEPLAN B
TYPE A



1 **Cross Section A-A**
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED
GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.[9]

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. 2 PLY S.B.S.MODIFIED BITUMEN FULLY ADHERED MEMBRANE (TO COMPLY WI, CGSB 37-GP-56M AND CGSB-37-6P-9MA) ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS 2x10 ROOF JOISTS @ 16" O/C VENTED SOFFIT
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.) (NOT SHOWN IN SECTION)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI, B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL4. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP 1 LAYER 1/2" X-TYPE GYPSUM BOARD VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL6. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"X10" LINTEL OVER (@ bearing walls only) (TYPICAL. WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W4. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 6 MIL. POLYN V.B. 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN GARAGE & SECONDARY SUITE)
- W5. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W6. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Date

Nov 4, 2024

Project Address

3581 Temperate Place
Lot 18 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-18

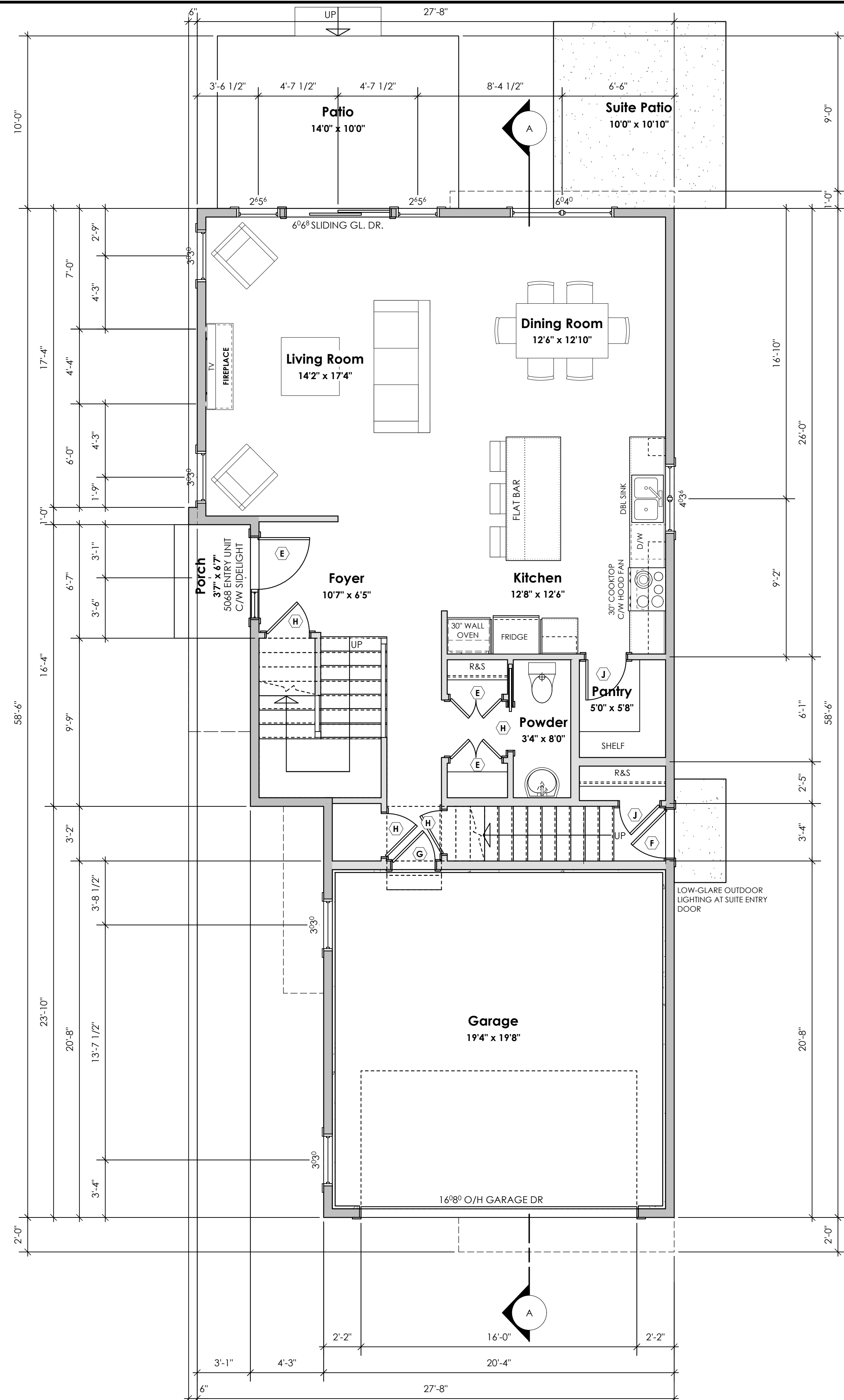
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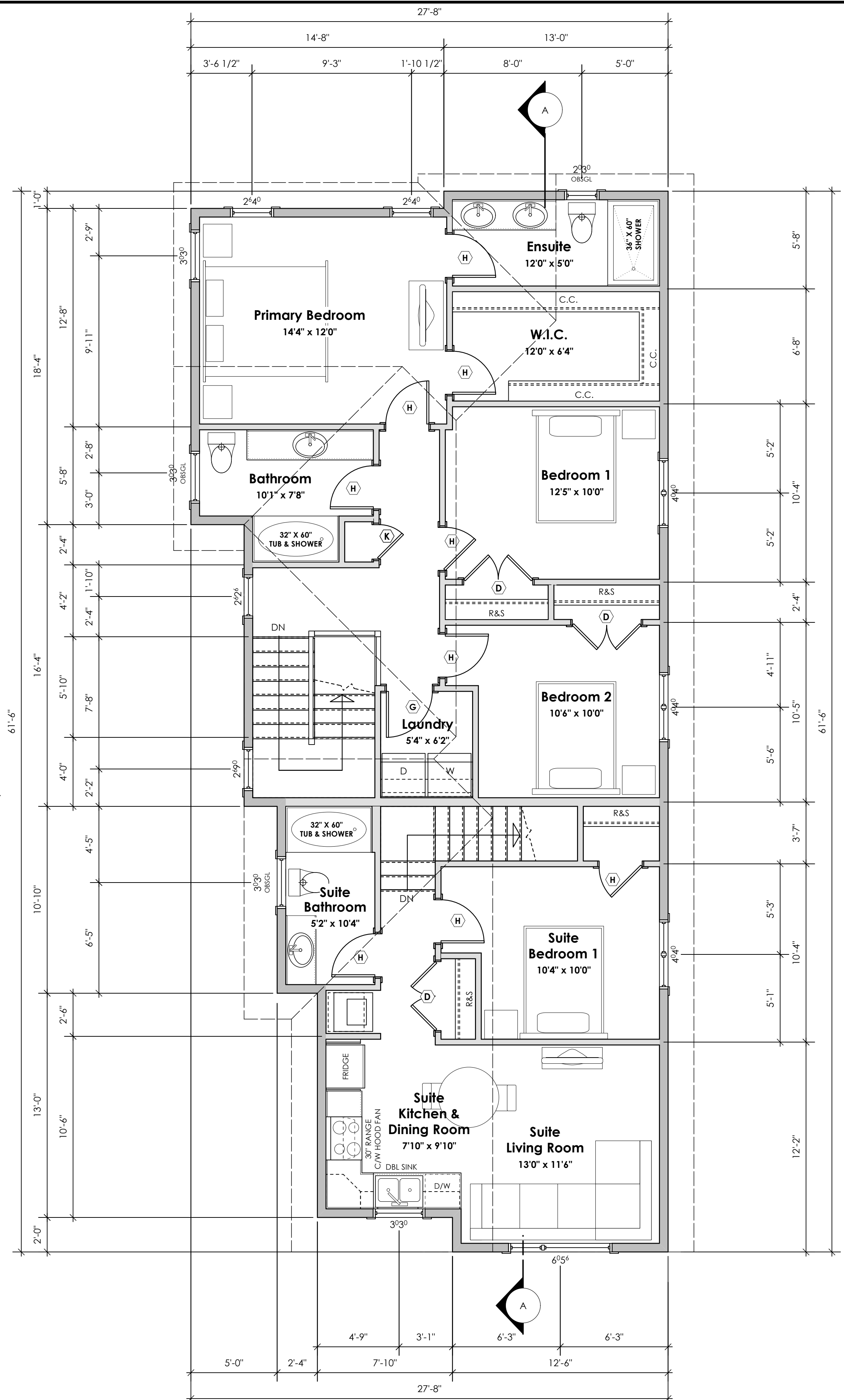
Drawn By

MRB

BASEPLAN B
TYPE A



1 Main Floor Plan Primary: 914.08 sq.ft. (84.92 sq.m.)
Suite: 58.98 sq.ft. (5.48 sq.m.)
Total: 973.06 sq.ft. (90.40 sq.m.)
Garage: 420.22 sq.ft. (39.04 sq.m.)
Scale: 1/4" = 1'-0"



2 Upper Floor Plan Primary: 842.93 sq.ft. (78.31 sq.m.)
Suite: 540.56 sq.ft. (50.22 sq.m.)
Total: 1383.49 sq.ft. (128.53 sq.m.)
Scale: 1/4" = 1'-0"

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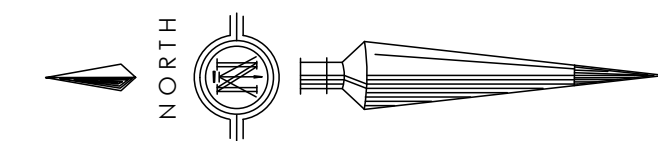
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BASEPLAN B
TYPE A

Development Permit Presentation



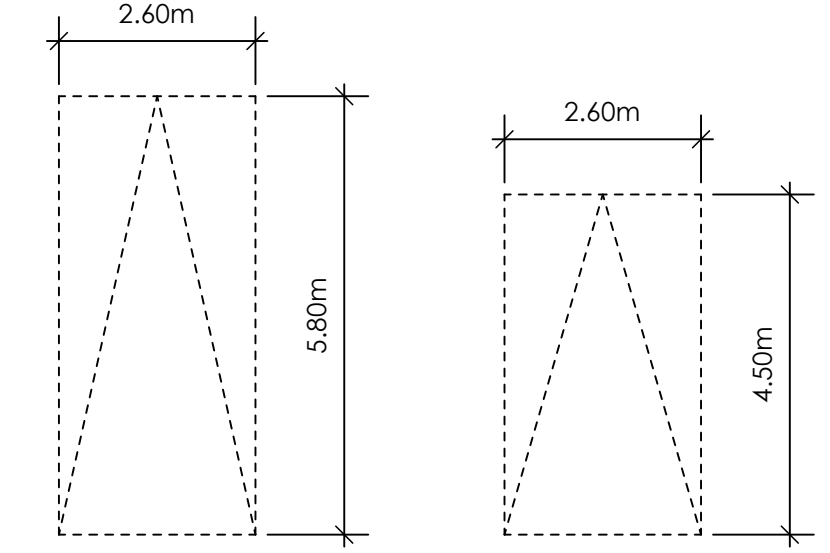
TEMPERATE PLACE - LOT 19

ITEMS	CD28 (Area 10)	
	PERMITTED	PROPOSED
LOT AREA	278 sq.m.	329.62 sq.m.
LOT COVERAGE	50.00 %	40.03 %
BUILDING HEIGHT	9.50 m.	6.83 m.
LOT WIDTH	9.00 m.	9.61 m.
SETBACKS		
- FRONT	4.50 m.	6.79 m.
- FRONT (GARAGE)	6.00 m.	6.79 m.
- REAR	6.00 m.	8.92 m.
- SIDE	1.20 m.	1.38 m.
- SIDE	1.20 m.	1.38 m.
PROPOSED FLOOR AREA		
- UPPER		131.97 sq.m.
- MAIN		93.28 sq.m.
- GARAGE		30.61 sq.m.
SUB-TOTAL G.F.A.		255.86 sq.m.
GARAGE ALLOWANCE	50.00 sq.m.	-30.61 sq.m.
GROSS FLOOR AREA		225.25 sq.m.
F.A.R.		0.68 TO 1.0
SECONDARY SUITE		
SECONDARY SUITE (%)	40.00 %	27.28 %
SECONDARY SUITE (SQ.M.)	90.00 sq.m.	61.45 sq.m.

AVERAGE NATURAL GRADE CALCULATION
53.25 m. + 53.25 m. + 52.65 m. + 52.60 m. = 211.75 m.
divided by 4 = ave. grade 52.94 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS
SMALL CAR PARKING STALL DIMENSIONS
* as per 2.2.02a allowing one stall to be a small car parking stall

STOP & READ
RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

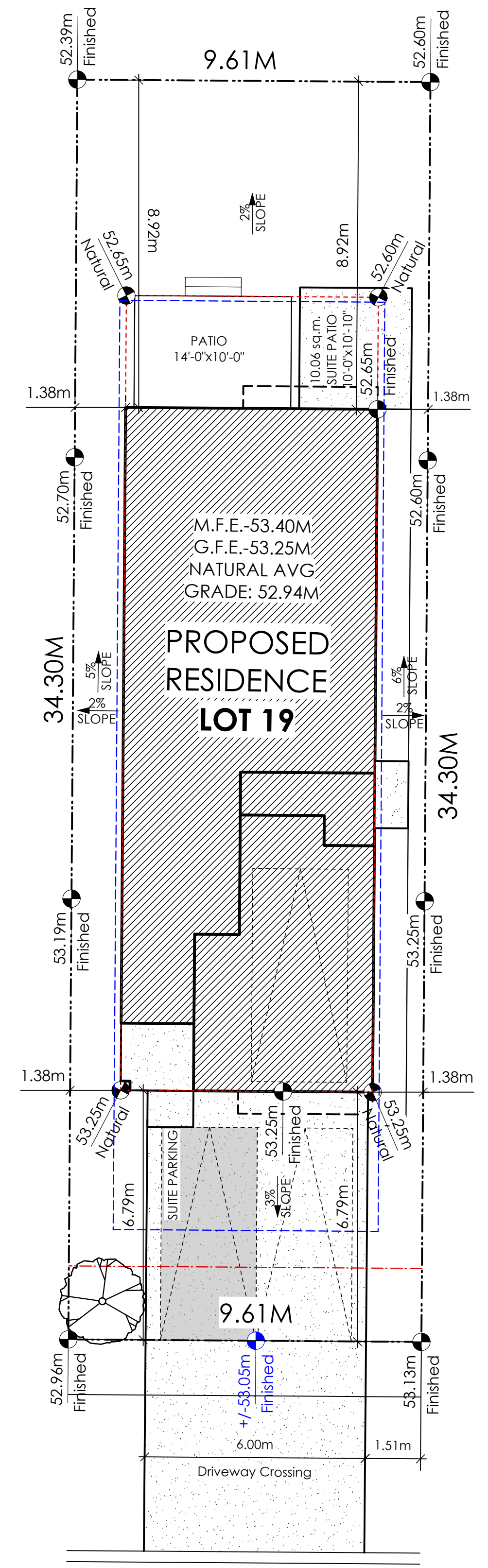
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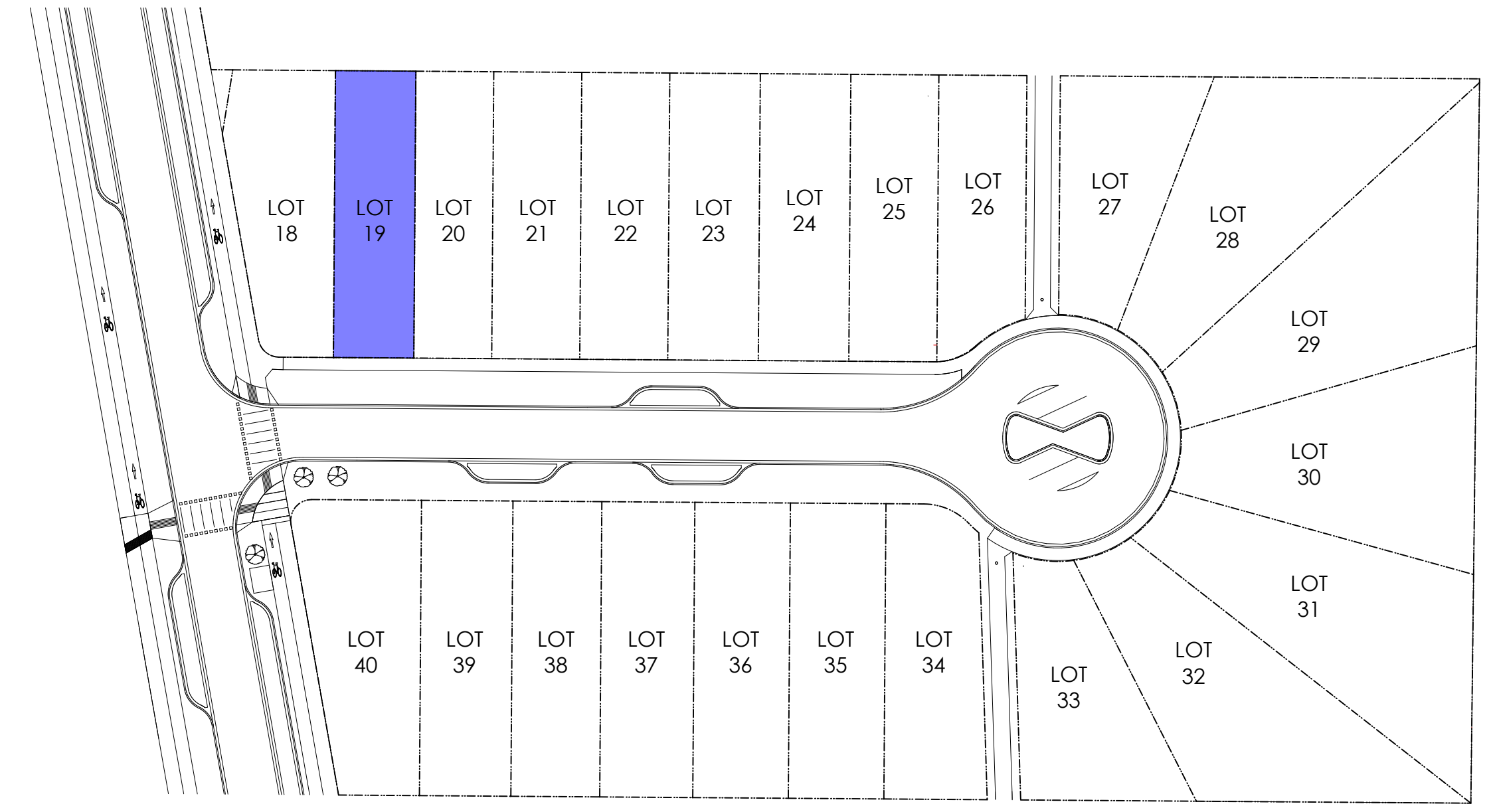
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CONTRACTOR TO ENSURE A MINIMUM 2% SLOPE SIDE YARD SWALING (BOTH SIDES) MAY BE REQUIRED

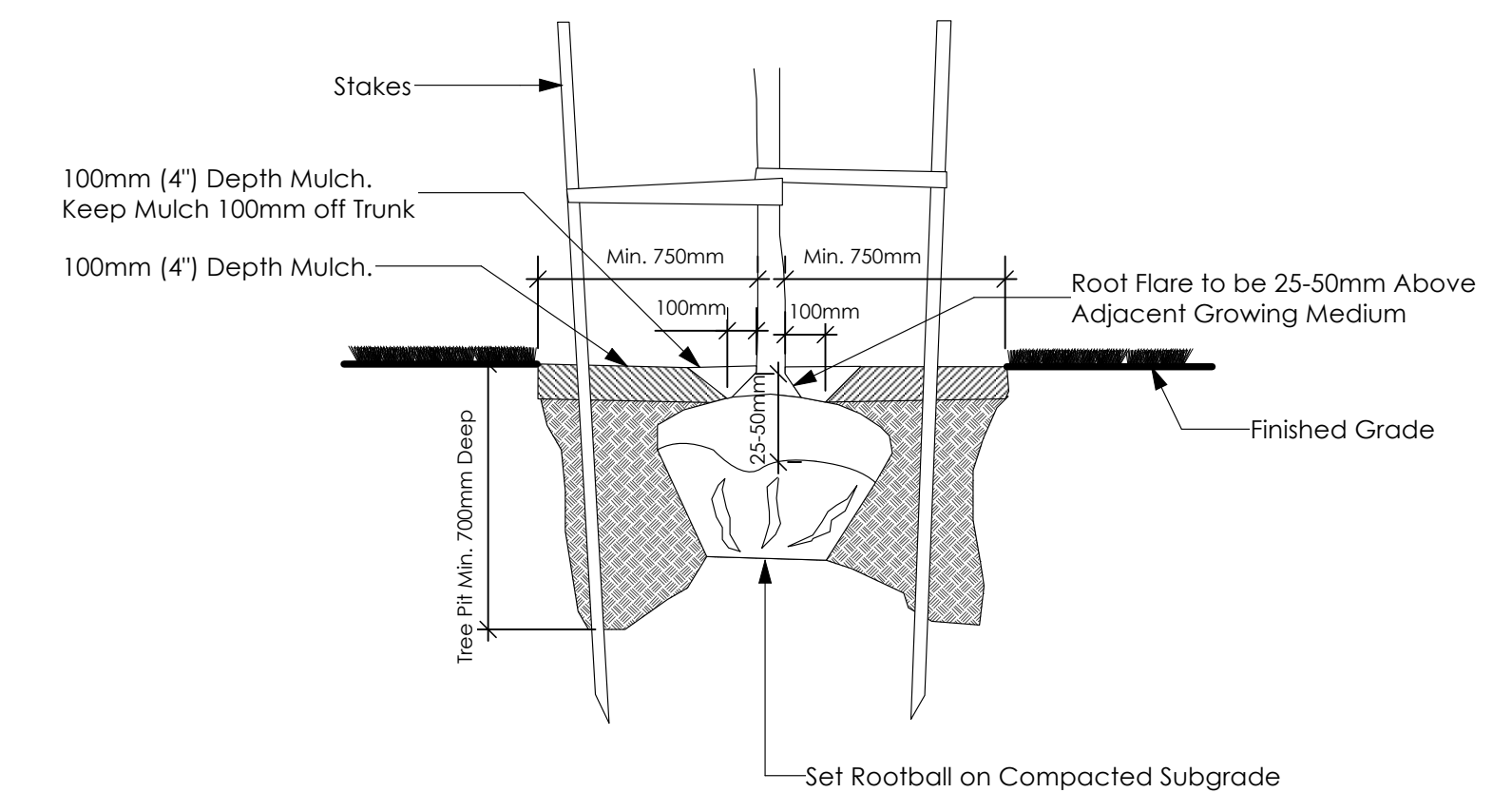
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1 A2 Siteplan
Scale: 1:100



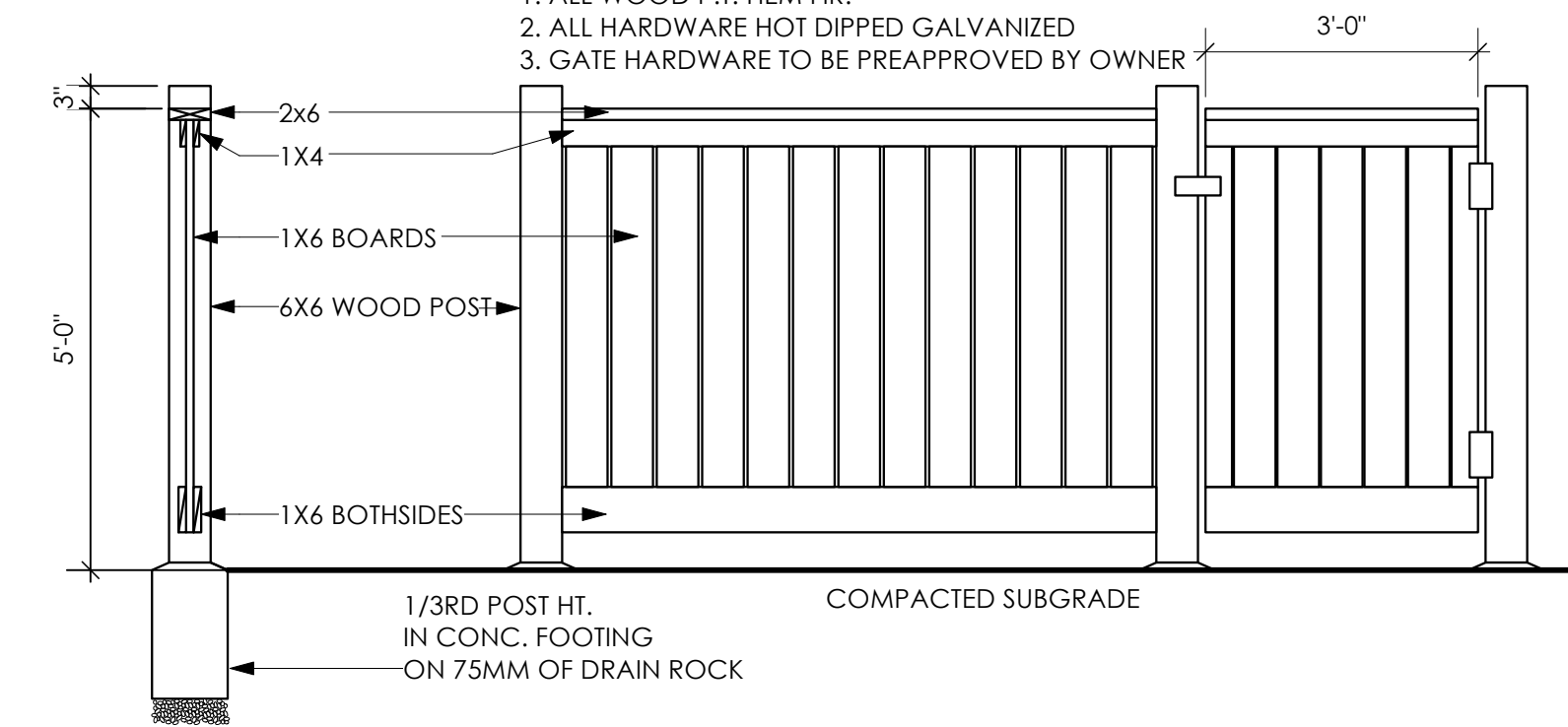
2 A2 Key Plan
Scale: Not to Scale



3 A2 Tree Planting Detail
Scale: Not to Scale

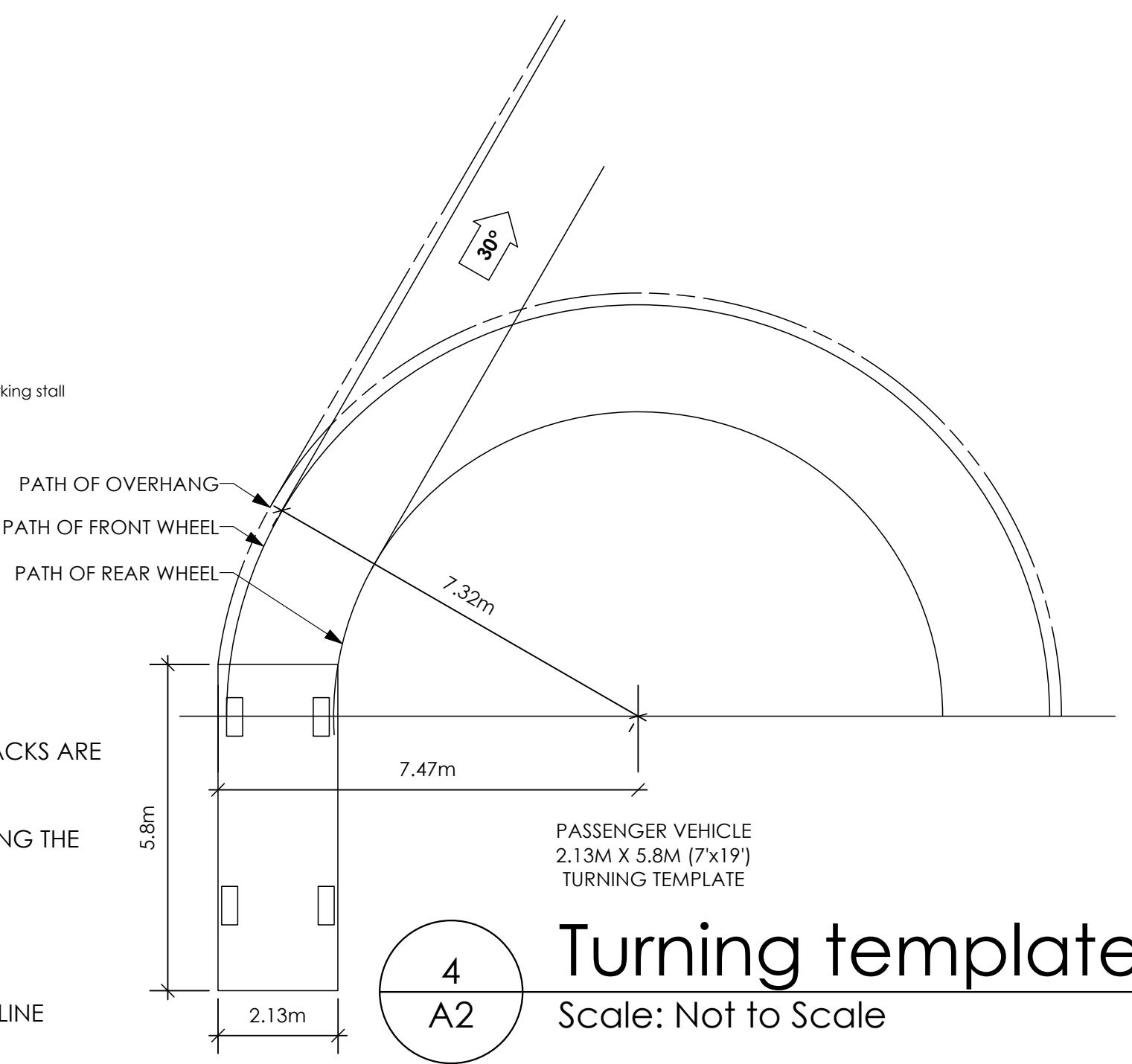
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TYPICAL FENCE NOTES:
1. ALL WOOD P.T. HEM FIR.
2. ALL HARDWARE HOT DIPPED GALVANIZED
3. GATE HARDWARE TO BE PREAPPROVED BY OWNER



5 A2 Typical Fence Detail
Scale: Not to Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



4 A2 Turning template
Scale: Not to Scale

Development Permit Presentation

Date

Nov 4, 2024

Project Address

3583 Temperate Place
Lot 19 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-19

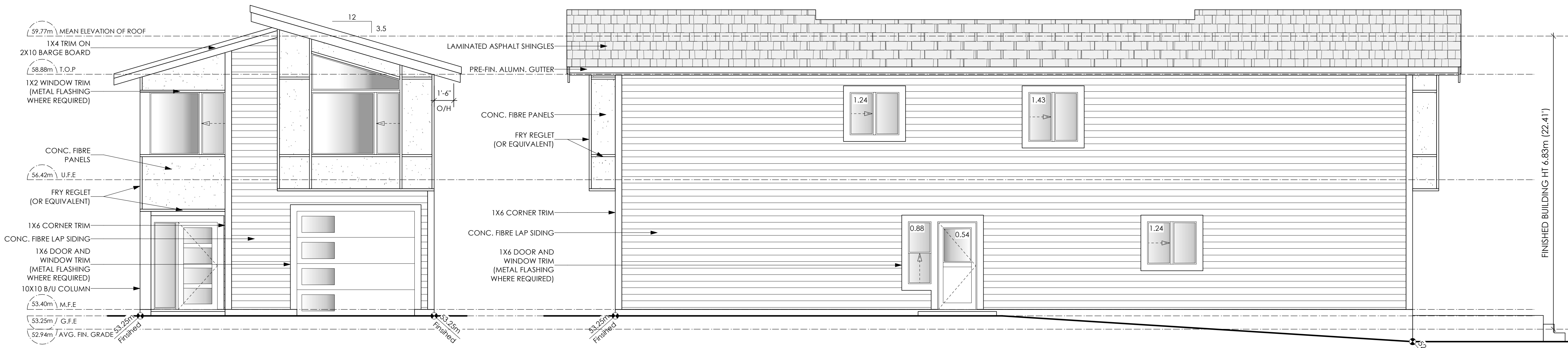
Scale

As Noted

Drawn By

MRB

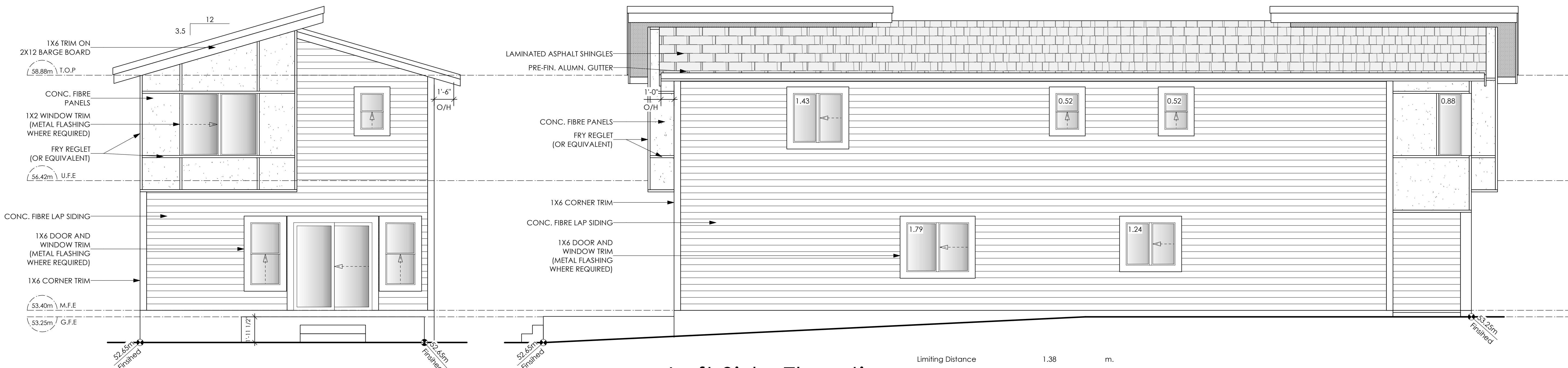
BASEPLAN A
TYPE A



1 **Front Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.

2 **Right Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.38	m.
Exposed Building Face	110.86	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.76	sq.m.
Proposed Openings	5.33	sq.m.



3 **Rear Elevation**
Scale: 1/4" = 1'-0"

4 **Left Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.38	m.
Exposed Building Face	106.97	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.49	sq.m.
Proposed Openings	6.38	sq.m.

Date
Nov 4, 2024

Project Address
3583 Temperate Place
Lot 19 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

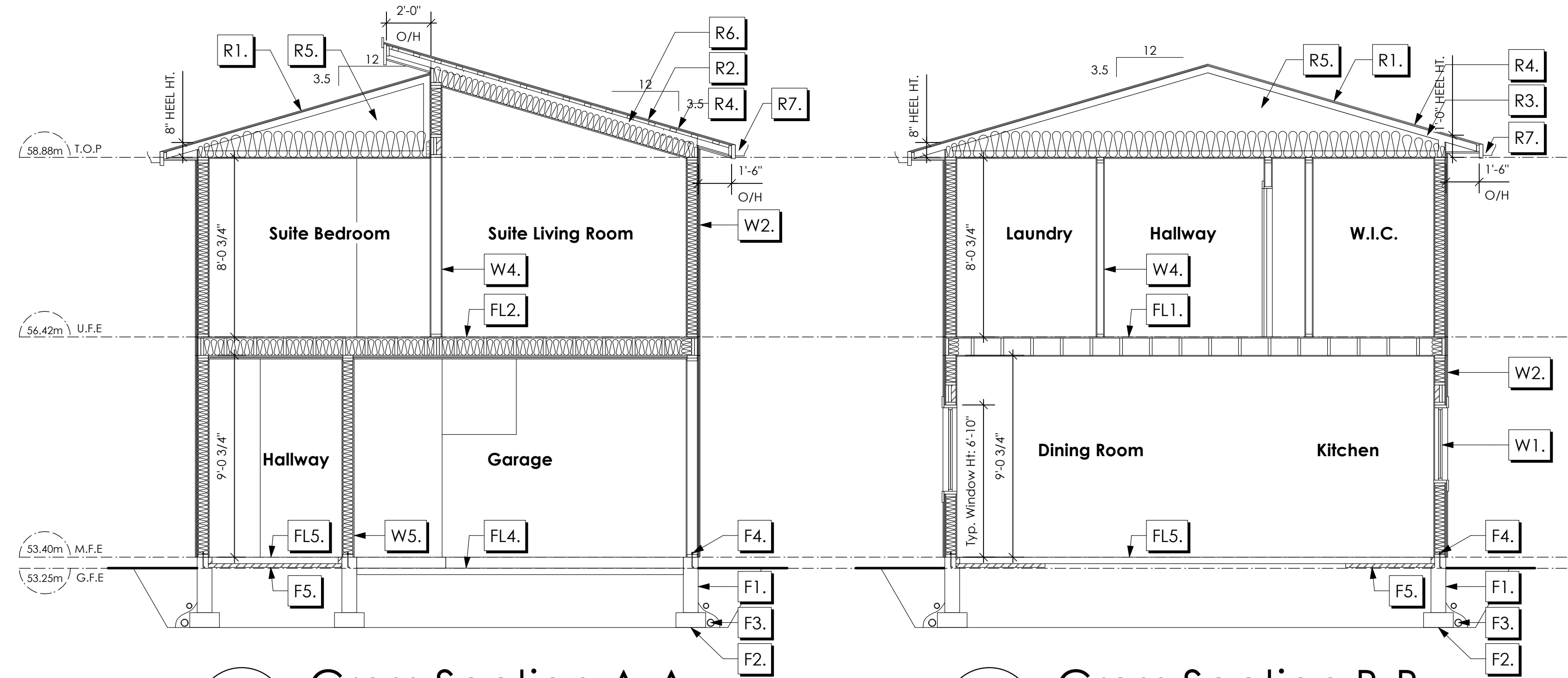
Project #
8298-19

Scale
As Noted

Drawn By
MRB

BASEPLAN A
TYPE A

Development Permit Presentation



1 Cross Section A-A
Scale: 1/4" = 1'-0"

2 Cross Section B-B
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED
GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.[3]

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS 2x4 STRAPPING @ 16" O/C ON 2x12 ROOF JOISTS @ 16" O/C R-31 BATT INSULATION 6 MIL POLYN V.B. 1/2" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 150 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR)
- R8. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND SLOPE MIN. 2% AWAY FROM BUILDING

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL, w/ 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATT 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Date

Nov 4, 2024

Project Address

3583 Temperate Place
Lot 19 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

Project

8298-19

Scale

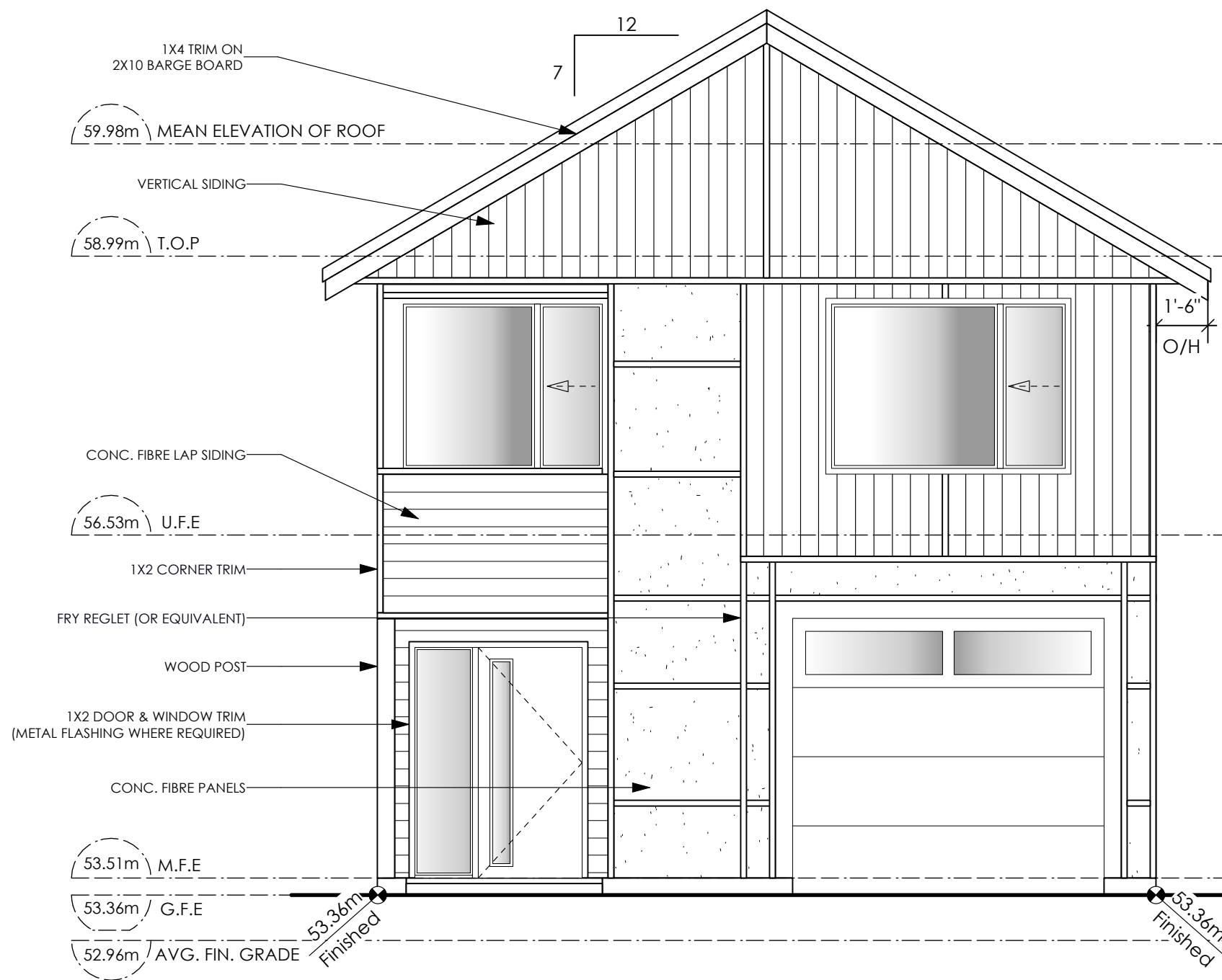
As Noted

Drawn By

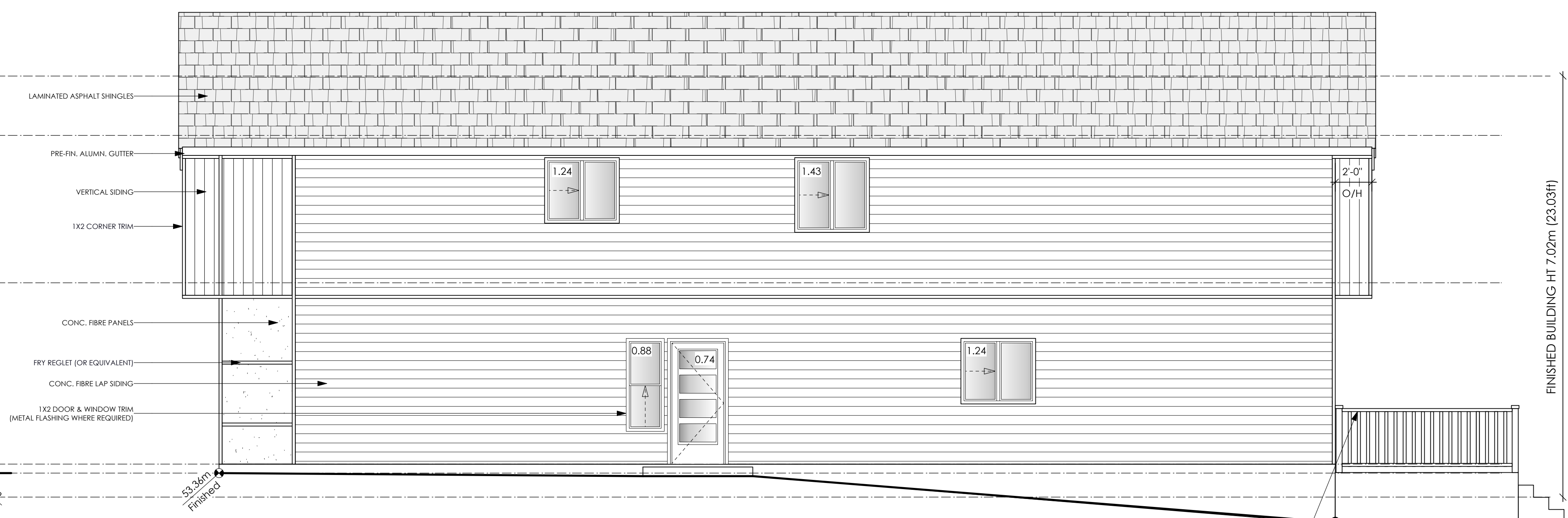
MRB

BASEPLAN A
TYPE A

Development Permit Presentation



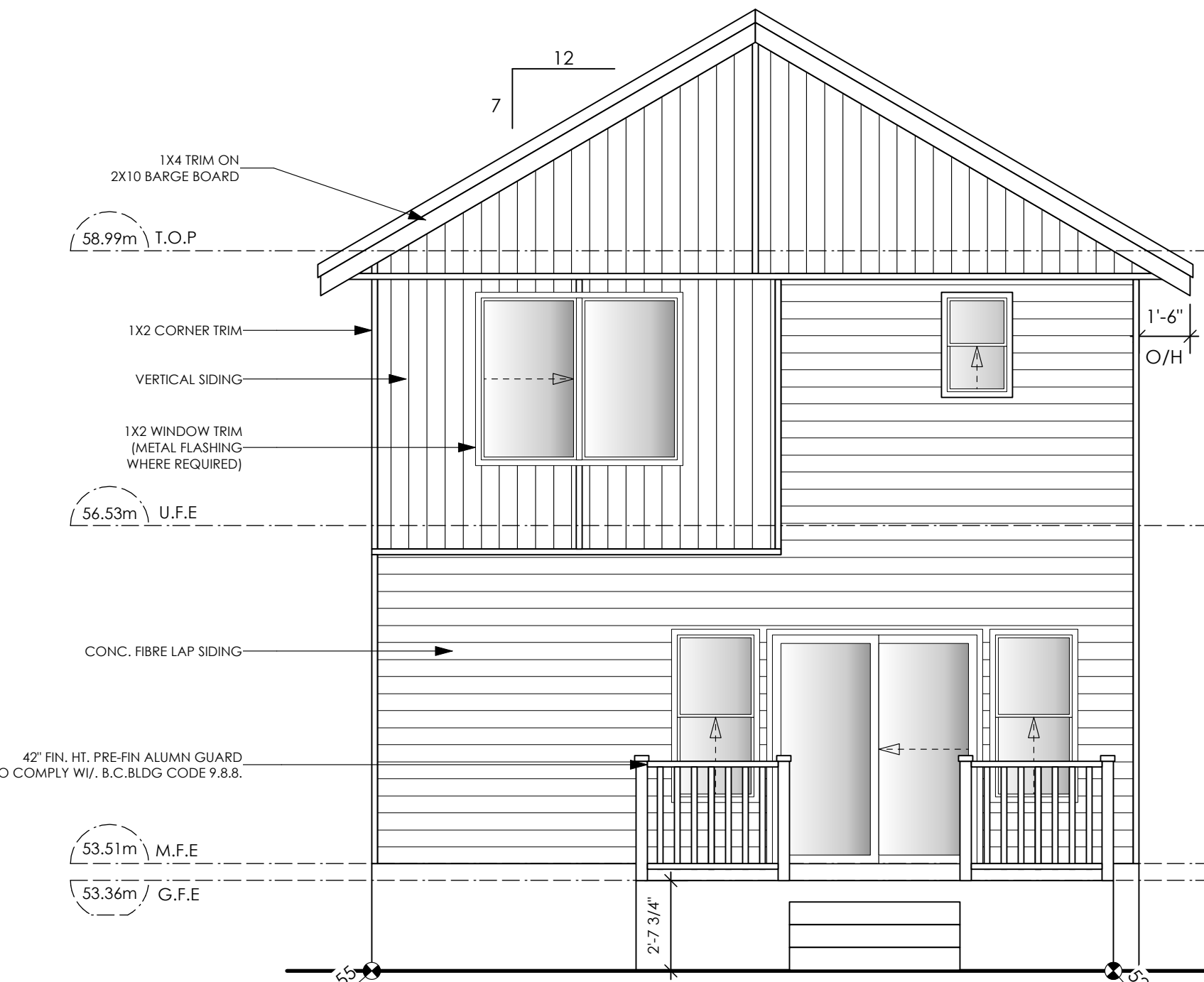
1 **Front Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.



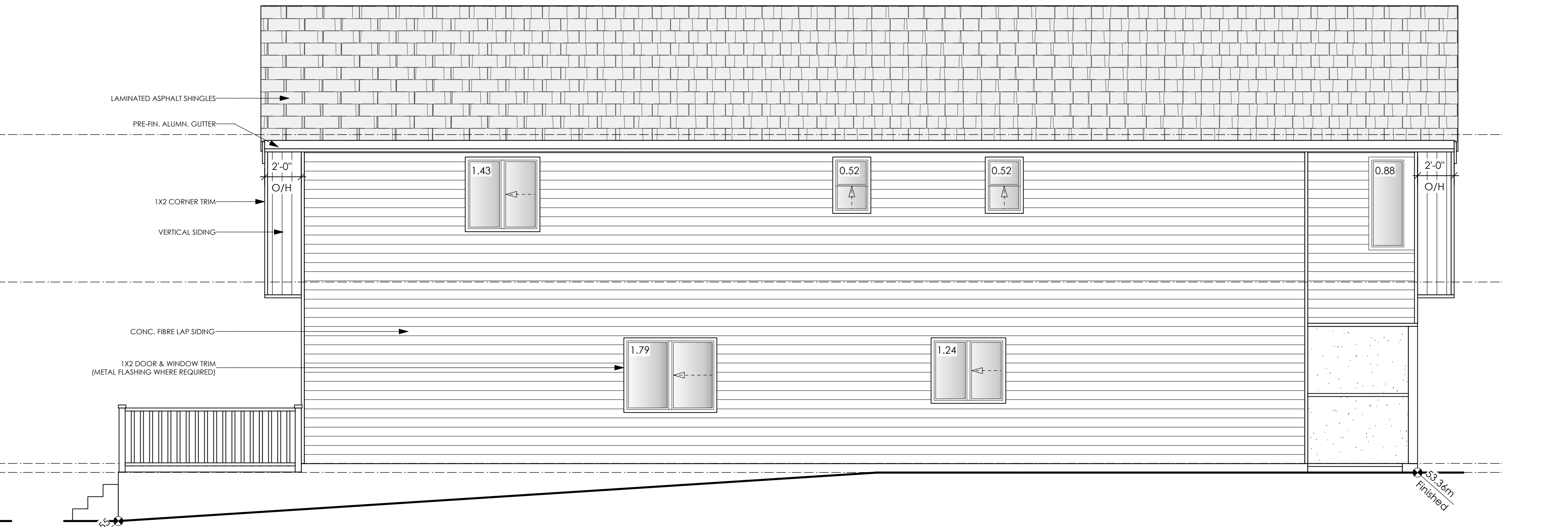
2 **Right Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.25	m.
Exposed Building Face	110.86	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.76	sq.m.
Proposed Openings	6.07	sq.m.

FINISHED BUILDING HT 7.02m (23.03ft)



3 **Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Left Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	110.22	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.72	sq.m.
Proposed Openings	6.38	sq.m.

Date
Nov 4, 2024

Project Address
3585 Temperate Place
Lot 20 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

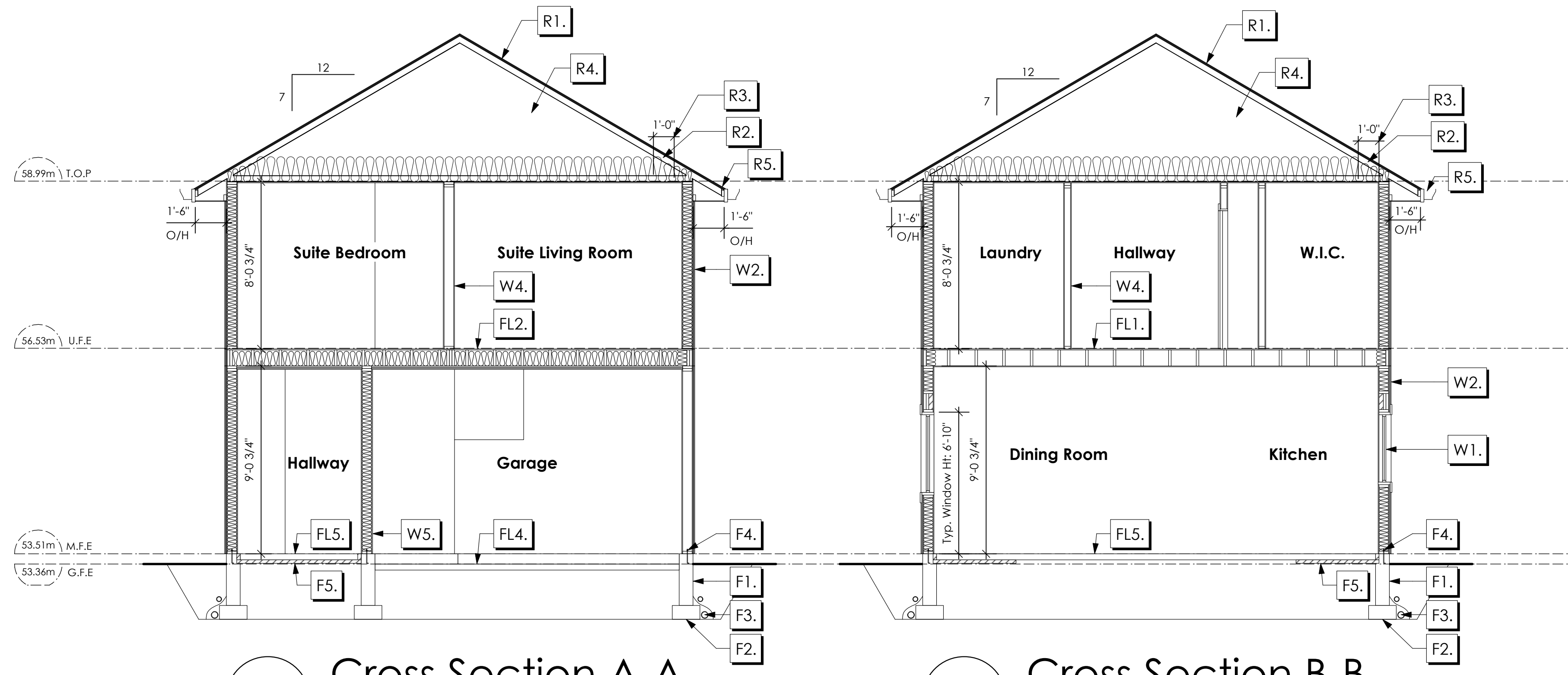
Project #
8298-20

Scale
As Noted

Drawn By
MIS

BASEPLAN A
TYPE B

Development Permit Presentation



1 Cross Section A-A
Scale: 1/4" = 1'-0"

2 Cross Section B-B
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED
GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.11)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
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- FL6. 3 1/2" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND SLOPE MIN. 2% AWAY FROM BUILDING

WALLS

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- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
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FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Date

Nov 4, 2024

Project Address

3585 Temperate Place
Lot 20 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-20

Scale

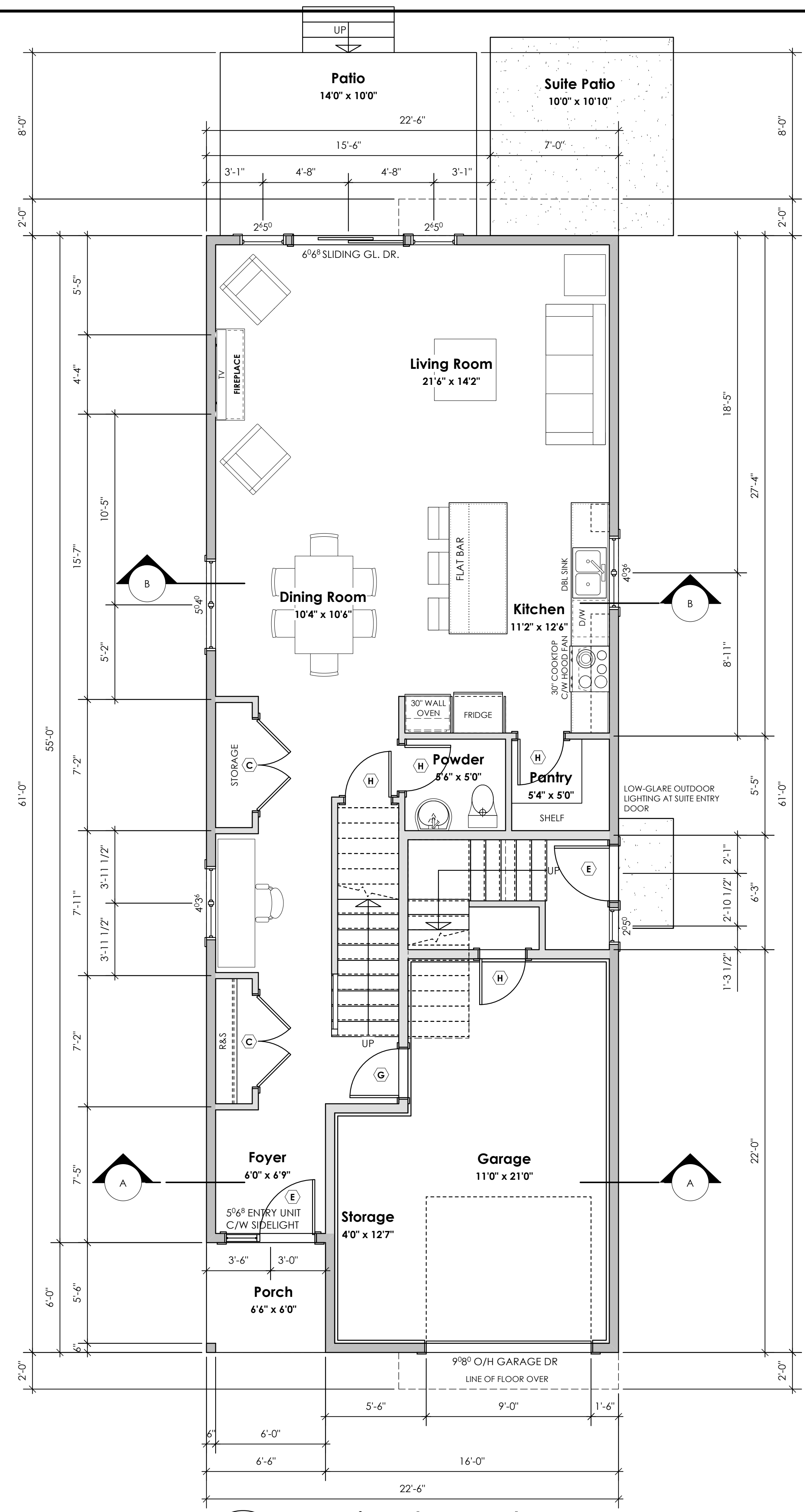
As Noted

Drawn By

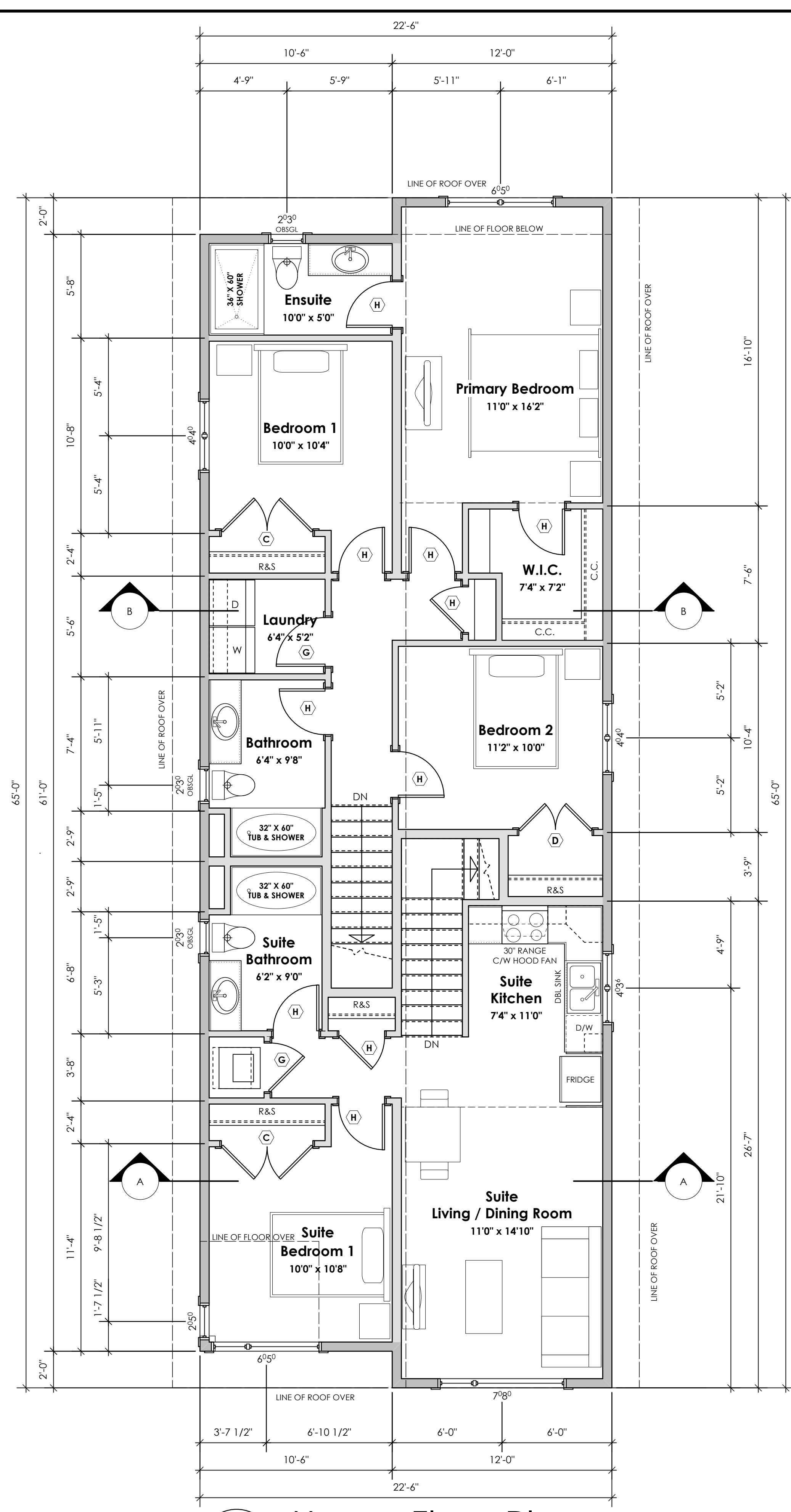
MIS

BASEPLAN A
TYPE B

Development Permit Presentation



1 Main Floor Plan
Scale: 1/4" = 1'-0"
Primary: 941.73 sq.ft. (87.49 sq.m.)
Suite: 62.33 sq.ft. (5.79 sq.m.)
Total: 1004.06 sq.ft. (93.28 sq.m.)
Garage: 329.44 sq.ft. (30.61 sq.m.)



2 Upper Floor Plan
Scale: 1/4" = 1'-0"
Primary: 821.38 sq.ft. (76.31 sq.m.)
Suite: 599.13 sq.ft. (55.66 sq.m.)
Total: 1420.51 sq.ft. (131.97 sq.m.)

Date
Nov 4, 2024

Project Address
3585 Temperate Place
Lot 20 - Royal Bay
Colwood, B.C.

Prepared for
Verity Construction

Project #
8298-20

Scale
As Noted

Drawn By
MIS

BASEPLAN A
TYPE B

Development Permit Presentation

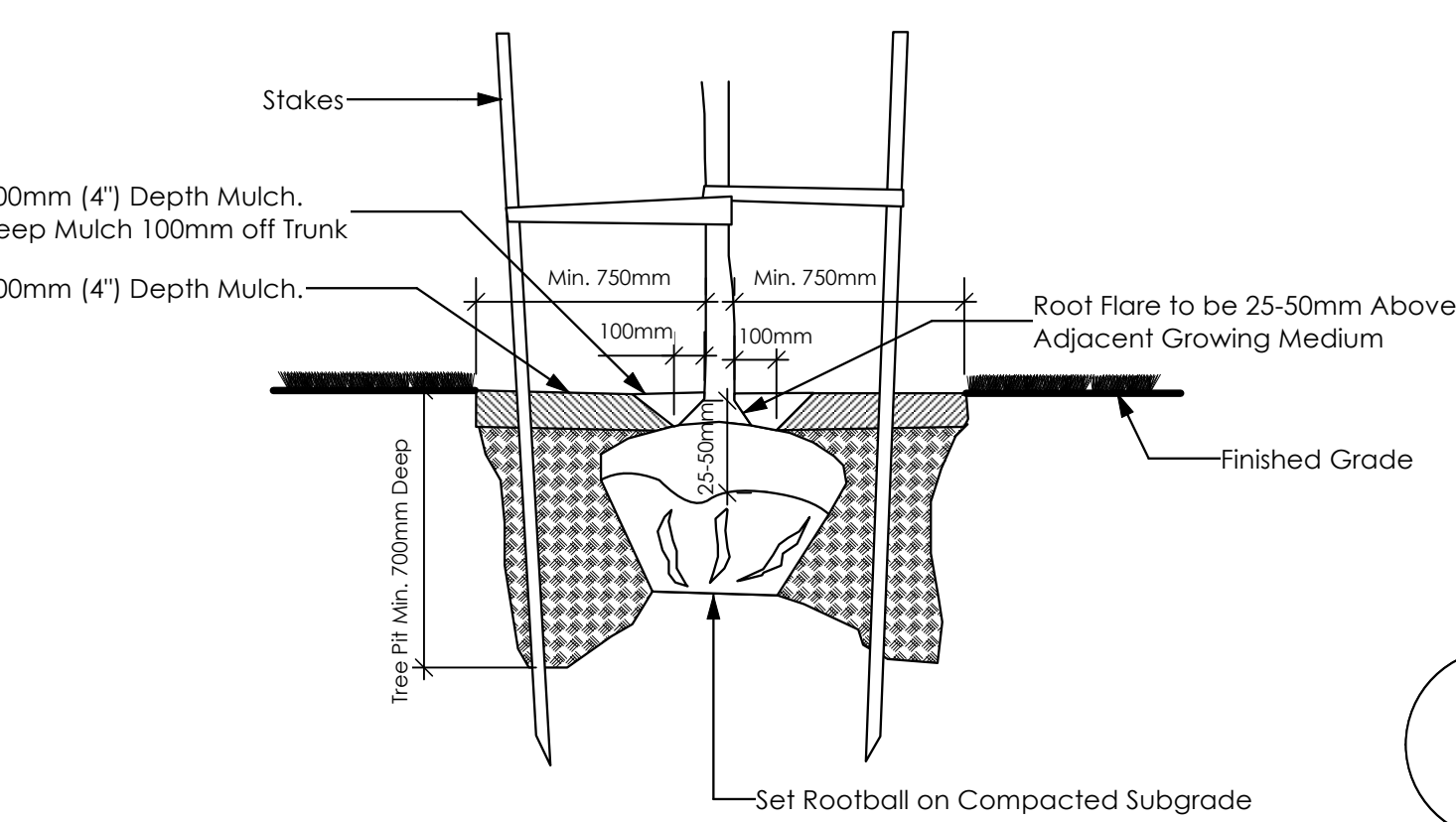
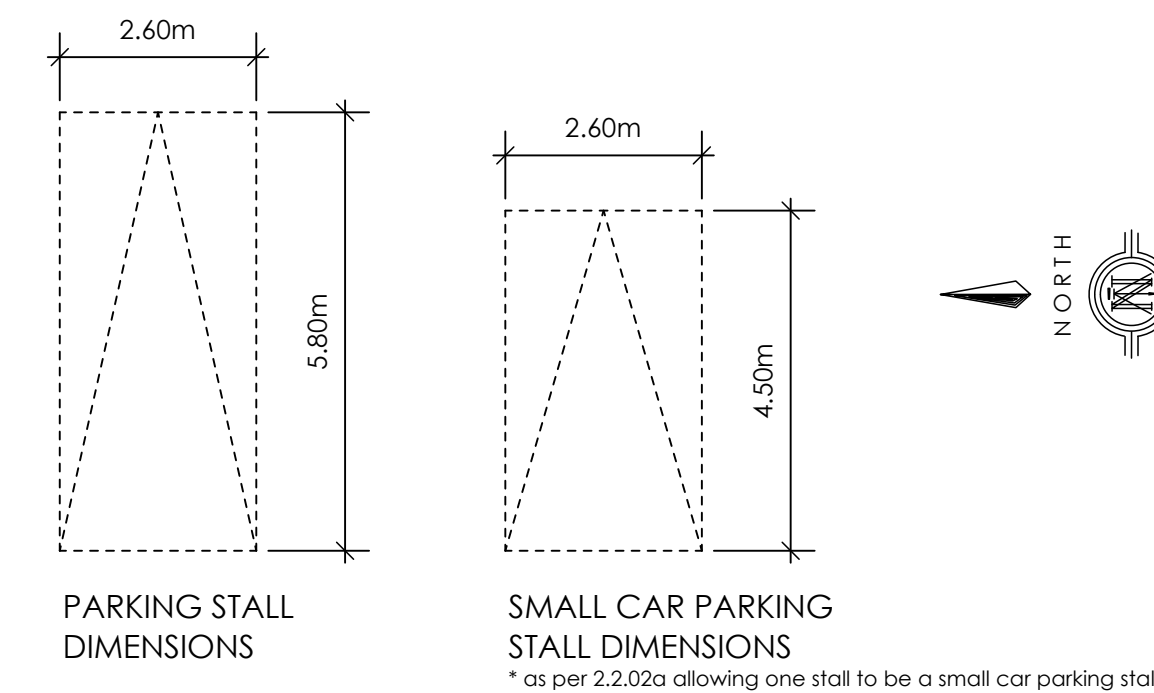
TEMPERATE PLACE - LOT 21

SITE DATA		CD28 - AREA 10	
ITEMS	PERMITTED	PROPOSED	
LOT AREA	278 sq.m.	360.84 sq.m.	
LOT COVERAGE	50.00 %	39.94 %	
BUILDING HEIGHT	9.50 m.	7.15 m.	
LOT WIDTH	9.00 m.	10.52 m.	
SETBACKS			
- FRONT	4.50 m.	7.72 m.	
- FRONT (GARAGE)	6.00 m.	7.72 m.	
- REAR	6.00 m.	9.05 m.	
- SIDE	1.20 m.	1.20 m.	
- SIDE	1.20 m.	1.24 m.	
PROPOSED FLOOR AREA			
- UPPER		144.08 sq.m.	
- MAIN		94.79 sq.m.	
- GARAGE		38.83 sq.m.	
SUB-TOTAL G.F.A.		277.70 sq.m.	
GARAGE ALLOWANCE	50.00 sq.m.	-38.83 sq.m.	
GROSS FLOOR AREA		238.87 sq.m.	
F.A.R.		0.66 TO 1.0	
SECONDARY SUITE			
SECONDARY SUITE (%)	40.00 %	28.30 %	
SECONDARY SUITE (\$Q.M.)	90.00 sq.m.	67.61 sq.m.	

AVERAGE NATURAL GRADE CALCULATION:
 $53.50m + 53.50m + 53.00m + 53.00 = 213.00/4 = 53.25m$

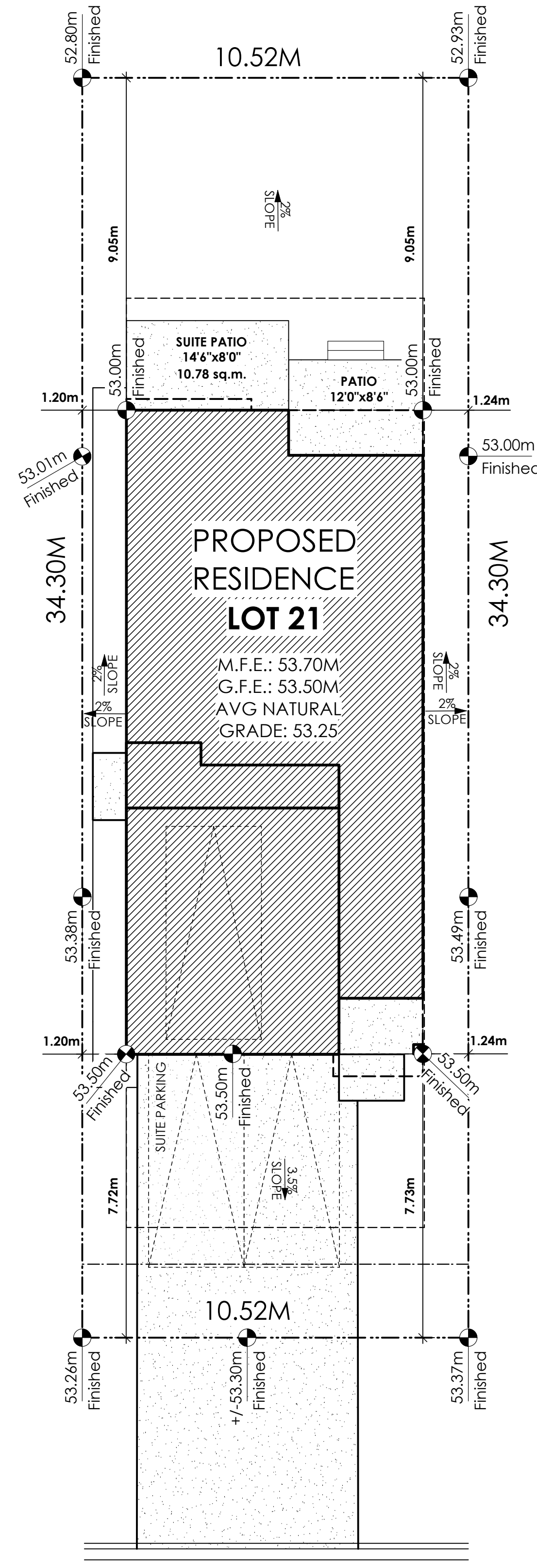
SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

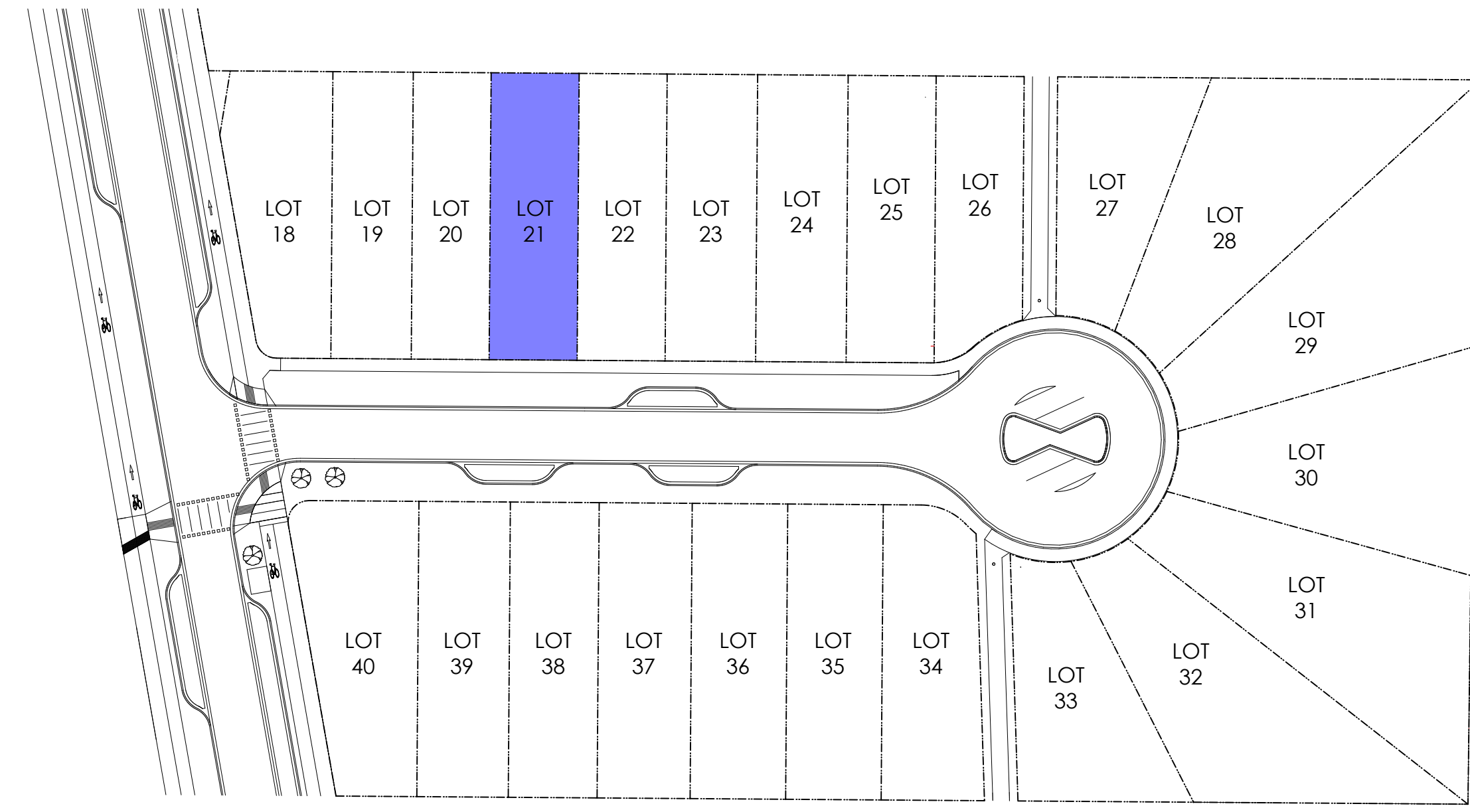


3 Tree Planting Detail
 Not To Scale

All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep



1 Site Plan
 Scale: 1:100



2 Key Plan
 1: 600

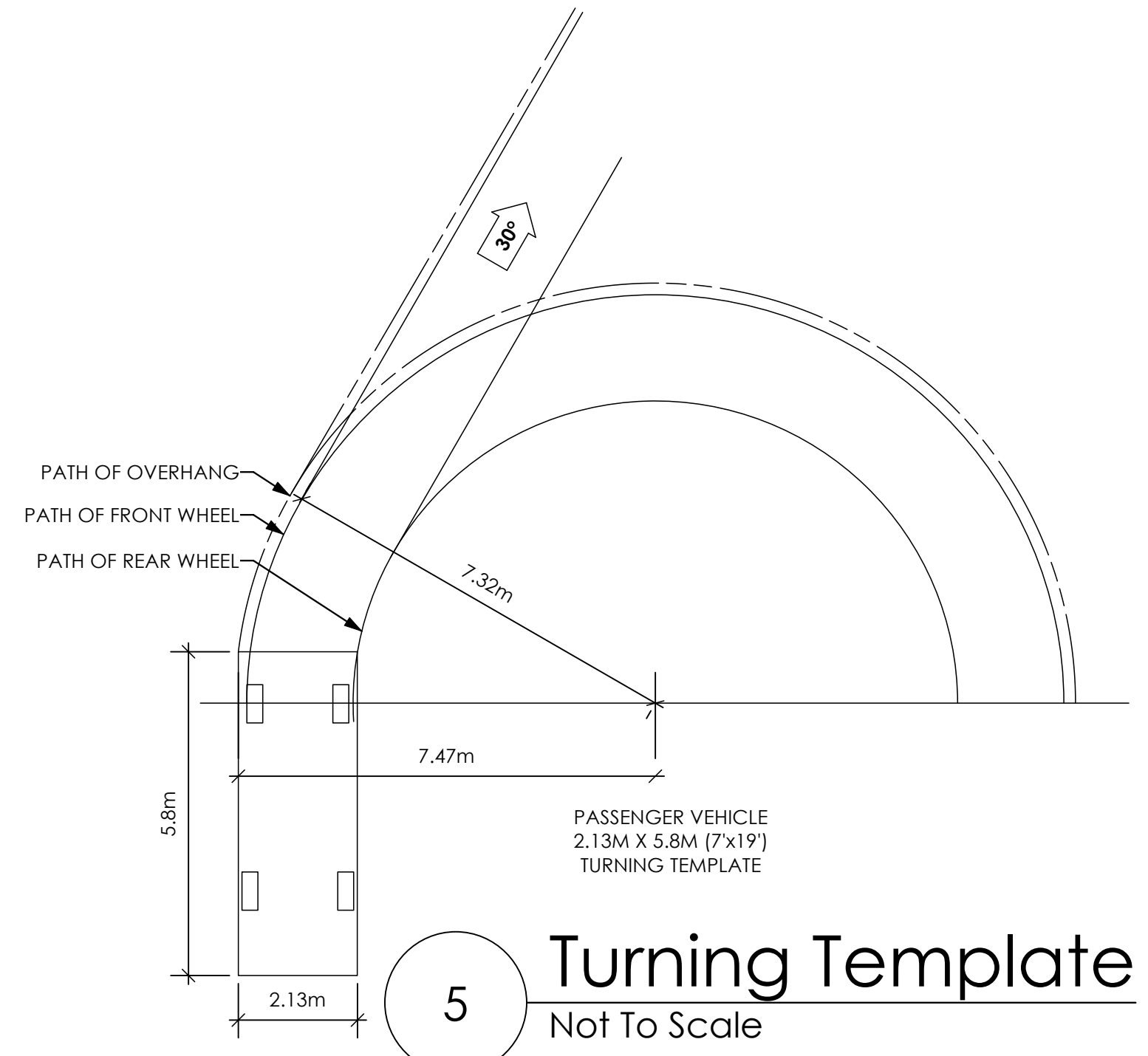
STOP & READ

RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

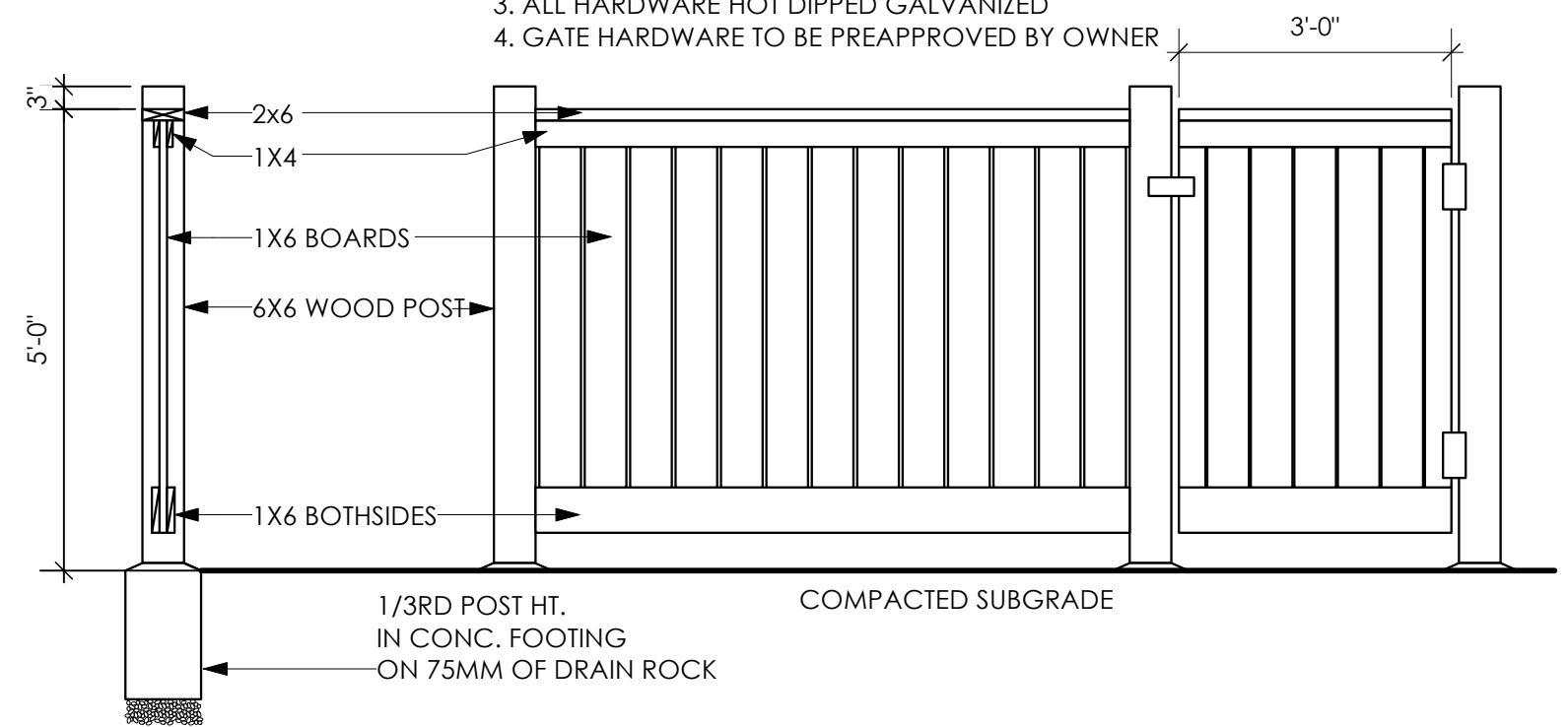
MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



TYPICAL FENCE NOTES:
 1. ALL WOOD P.T. HEM FIR.
 2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
 3. ALL HARDWARE HOT DIPPED GALVANIZED
 4. GATE HARDWARE TO BE PREAPPROVED BY OWNER



4 Typical Fence Detail
 Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

#105 - 859 ORONO AVENUE
 VICTORIA, B.C.
 V9B 2T9
 P. 250.382.7374
 F. 250.382.7364

Date
 Nov 4, 2024

Project Address
 3587 Temperate Place
 Lot 21 - Royal Bay
 Colwood, B.C.
Prepared for
 Verity Construction

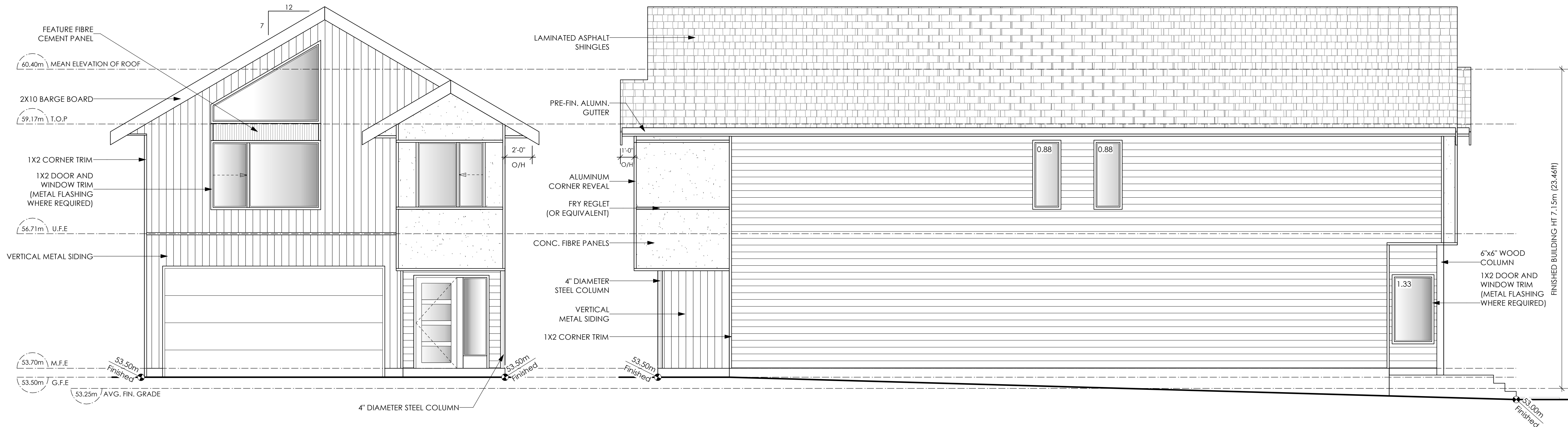
Project #
 8298-21

Scale
 As Noted

Drawn By
 MIS

BASEPLAN D
 TYPE B

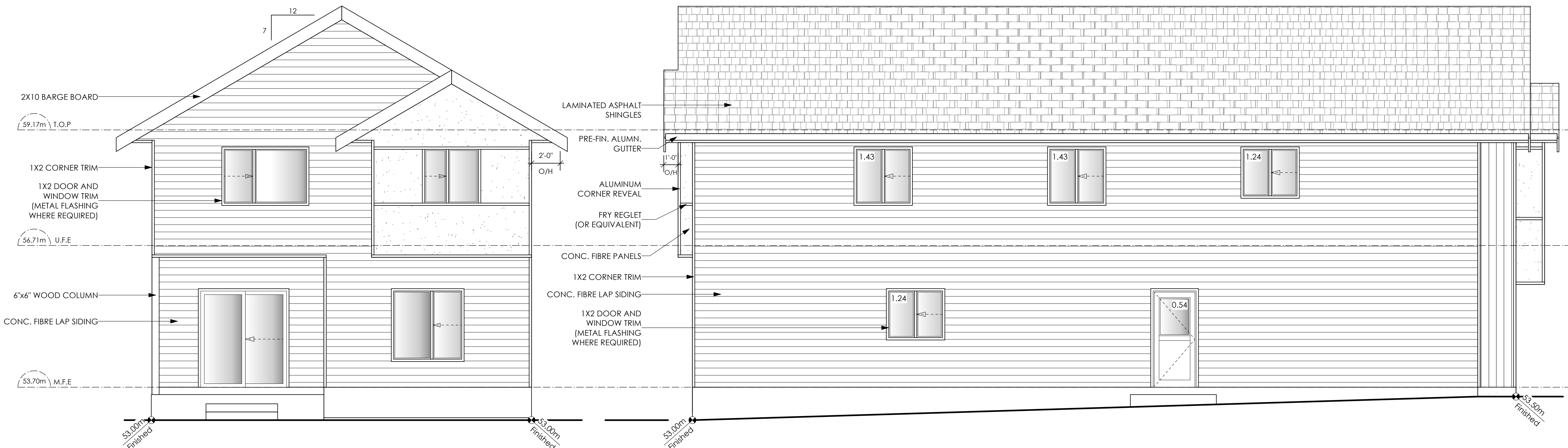
Development Permit Presentation



1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.

2 Right Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.24	m.
Exposed Building Face	106.02	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.42	sq.m.
Proposed Openings	3.09	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"

4 Left Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	106.41	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.45	sq.m.
Proposed Openings	5.88	sq.m.

Date
Nov 4, 2024

Project Address
3587 Temperate Place
Lot 21 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

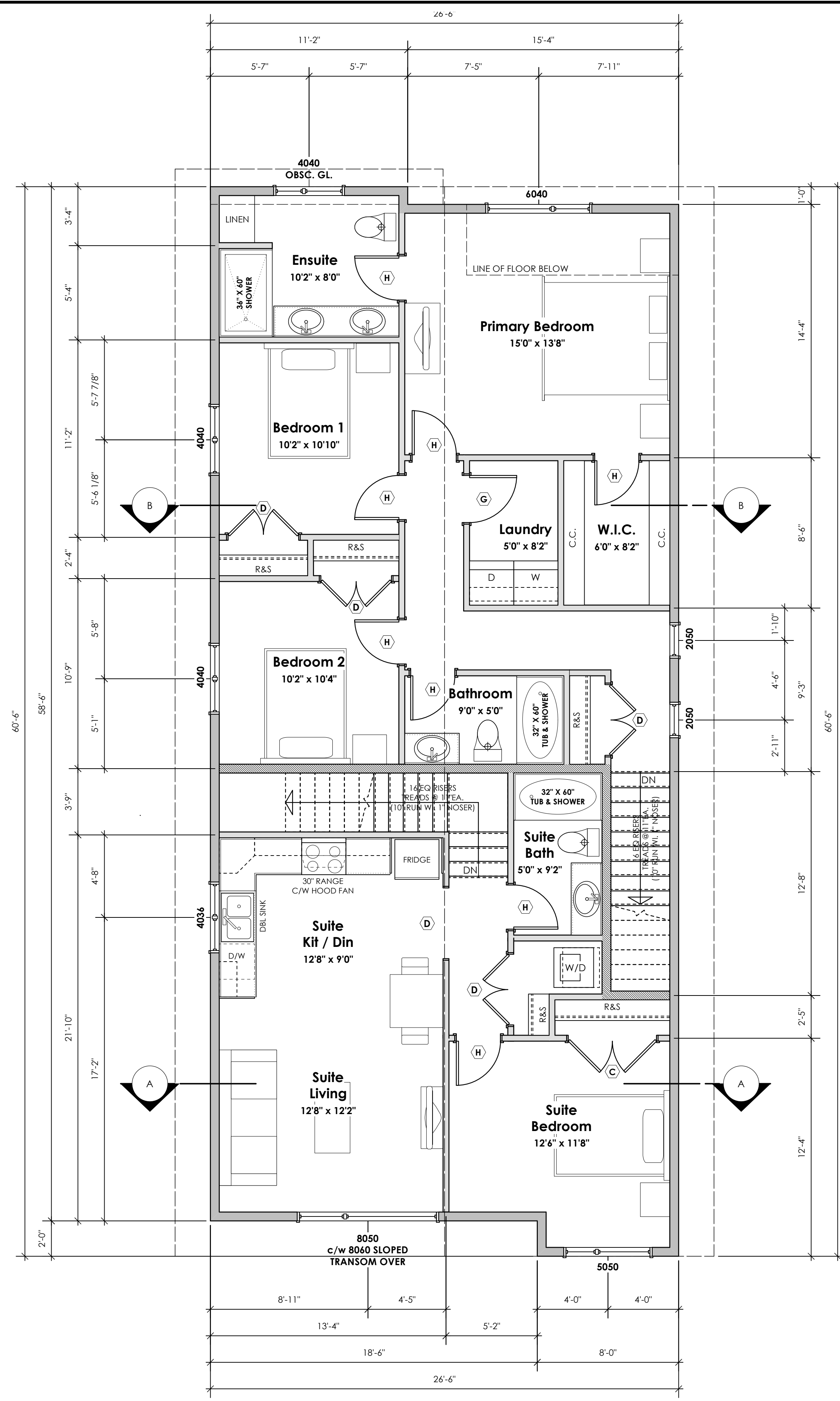
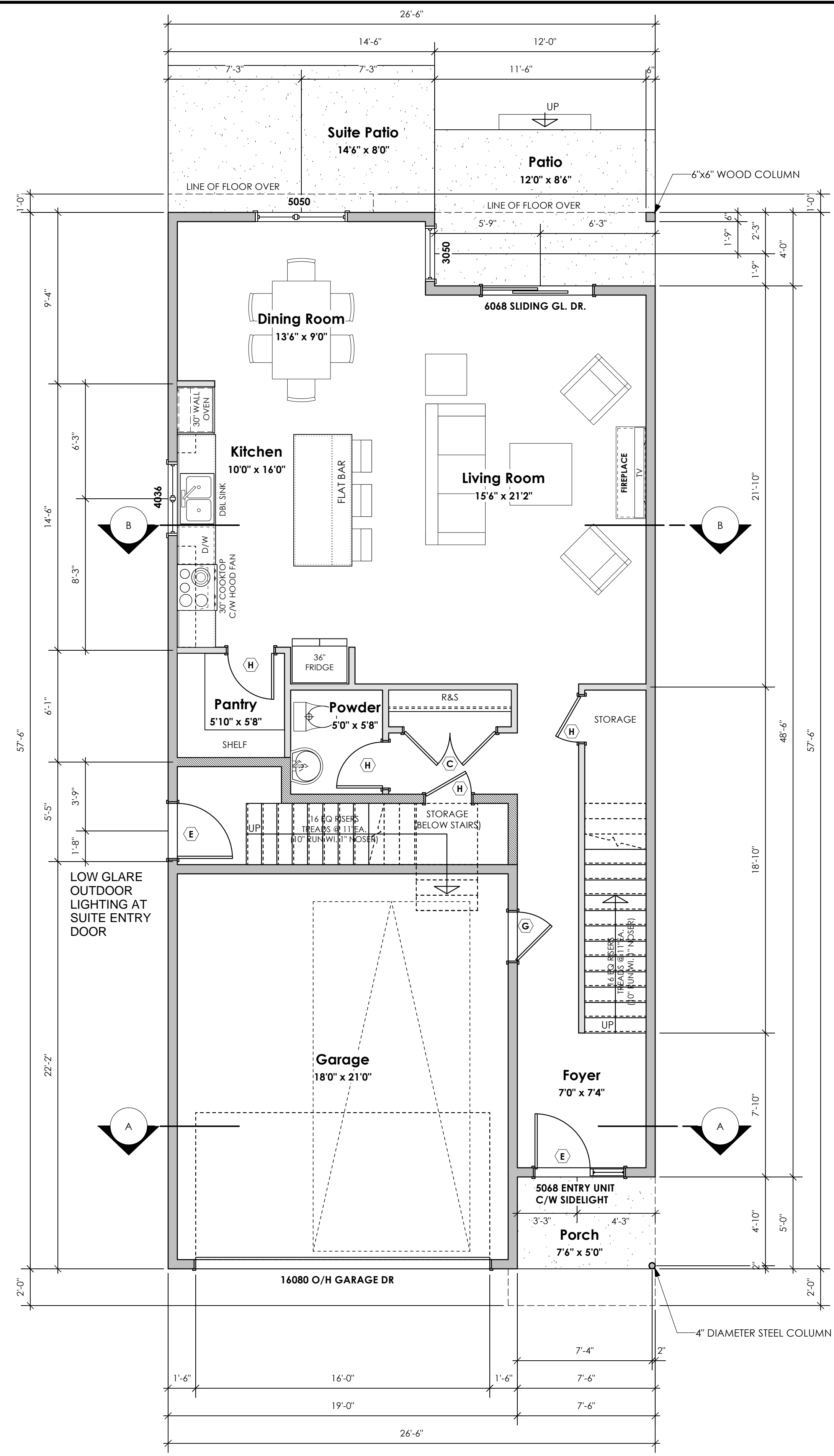
Project #
8298-21

Scale
As Noted

Drawn By
MIS

BASEPLAN D
TYPE B

Development Permit Presentation



1 **Main Floor Plan** Primary: 934.08 sq.ft. (86.78 sq.m.)
Suite: 86.17 sq.ft. (8.01 sq.m.)
Total: 1020.25 sq.ft. (94.79 sq.m.)
Garage: 418.00 sq.ft. (38.83 sq.m.)
Scale: 1/4" = 1'-0"

2 **Upper Floor Plan** Primary: 909.36 sq.ft. (84.48 sq.m.)
Suite: 641.56 sq.ft. (59.60 sq.m.)
Total: 1550.92 sq.ft. (144.08 sq.m.)
Scale: 1/4" = 1'-0"

Development Permit Presentation

Date
Nov 4, 2024

Project Address
3587 Temperate Place
Lot 21 - Royal Bay
Colwood, B.C.

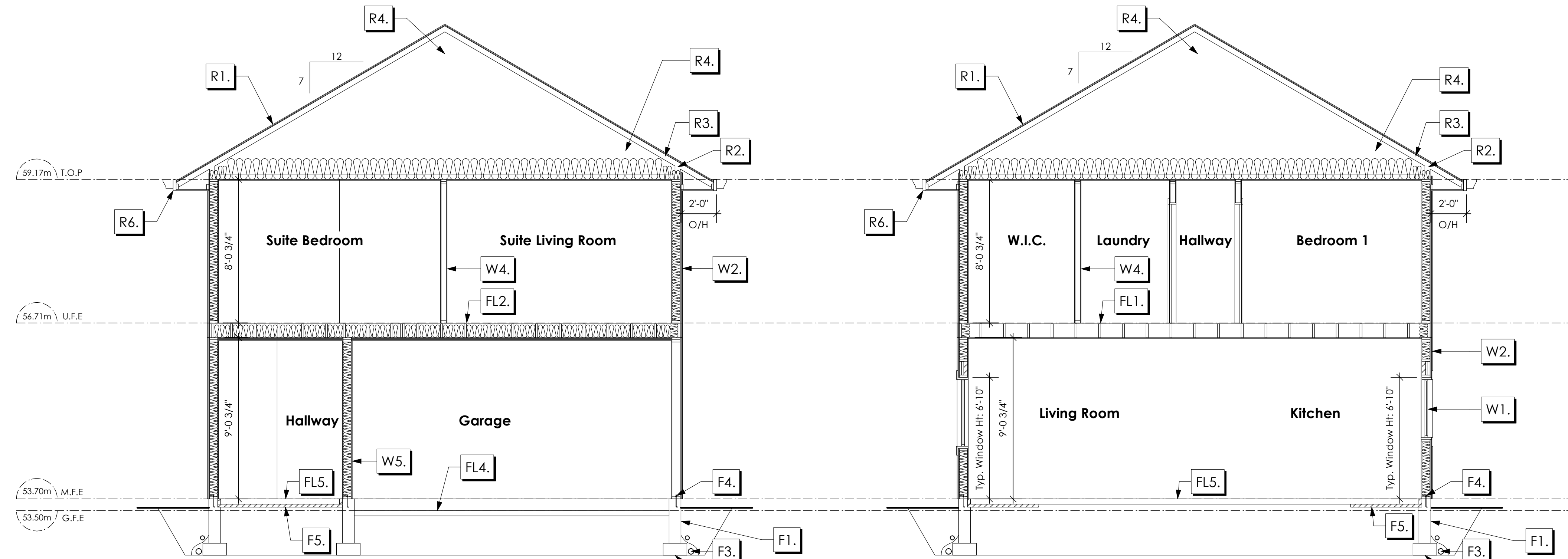
Prepared for
Verity Construction

Project #
8298-21

Scale
As Noted

Drawn By
MIS

BASEPLAN D
TYPE B



1 Cross Section A-A
Scale: 1/4" = 1'-0"

2 Cross Section B-B
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED
GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.I.C.
- FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND SLOPE MIN. 2% AWAY FROM BUILDING

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2 1/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL. WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP [A.B.] (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.I.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Date

Nov 4, 2024

Project Address

3587 Temperate Place
Lot 21 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

Project

8298-21

Scale

As Noted

Drawn By

MIS

BASEPLAN D
TYPE B

Development Permit Presentation

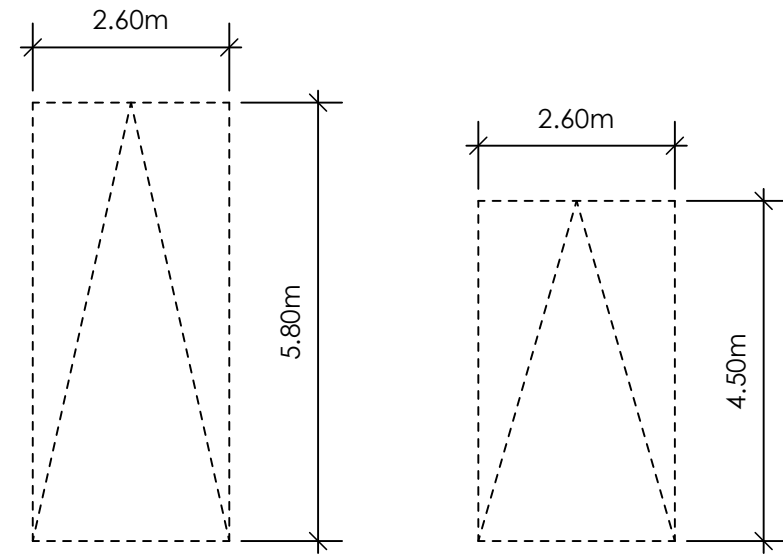
TEMPERATE PLACE - LOT 22

SITE DATA		CD28 - AREA 10	
ITEMS	PERMITTED	PROPOSED	
LOT AREA	278 sq.m.	360.84 sq.m.	Corrected Lot Area and Lot Coverage calculations
LOT COVERAGE	50.00 %	38.01 %	
BUILDING HEIGHT	9.50 m.	7.10 m.	
LOT WIDTH	9.00 m.	10.52 m.	
SETBACKS			
- FRONT	4.50 m.	7.73 m.	
- FRONT (GARAGE)	6.00 m.	7.73 m.	
- REAR	6.00 m.	8.44 m.	
- SIDE	1.20 m.	1.24 m.	
- SIDE	1.20 m.	1.20 m.	
PROPOSED FLOOR AREA			
- UPPER		150.03 sq.m.	
- MAIN		94.79 sq.m.	
- GARAGE		42.36 sq.m.	
SUB-TOTAL G.F.A.		287.18 sq.m.	Corrected Garage Allowance to match size of garage
GARAGE ALLOWANCE	50.00 sq.m.	-42.36 sq.m.	
GROSS FLOOR AREA		244.82 sq.m.	
F.A.R.		0.68 TO 1.0	
SECONDARY SUITE			
SECONDARY SUITE (%)	40.00 %	30.06 %	
SECONDARY SUITE (\$Q.M.)	90.00 sq.m.	73.59 sq.m.	

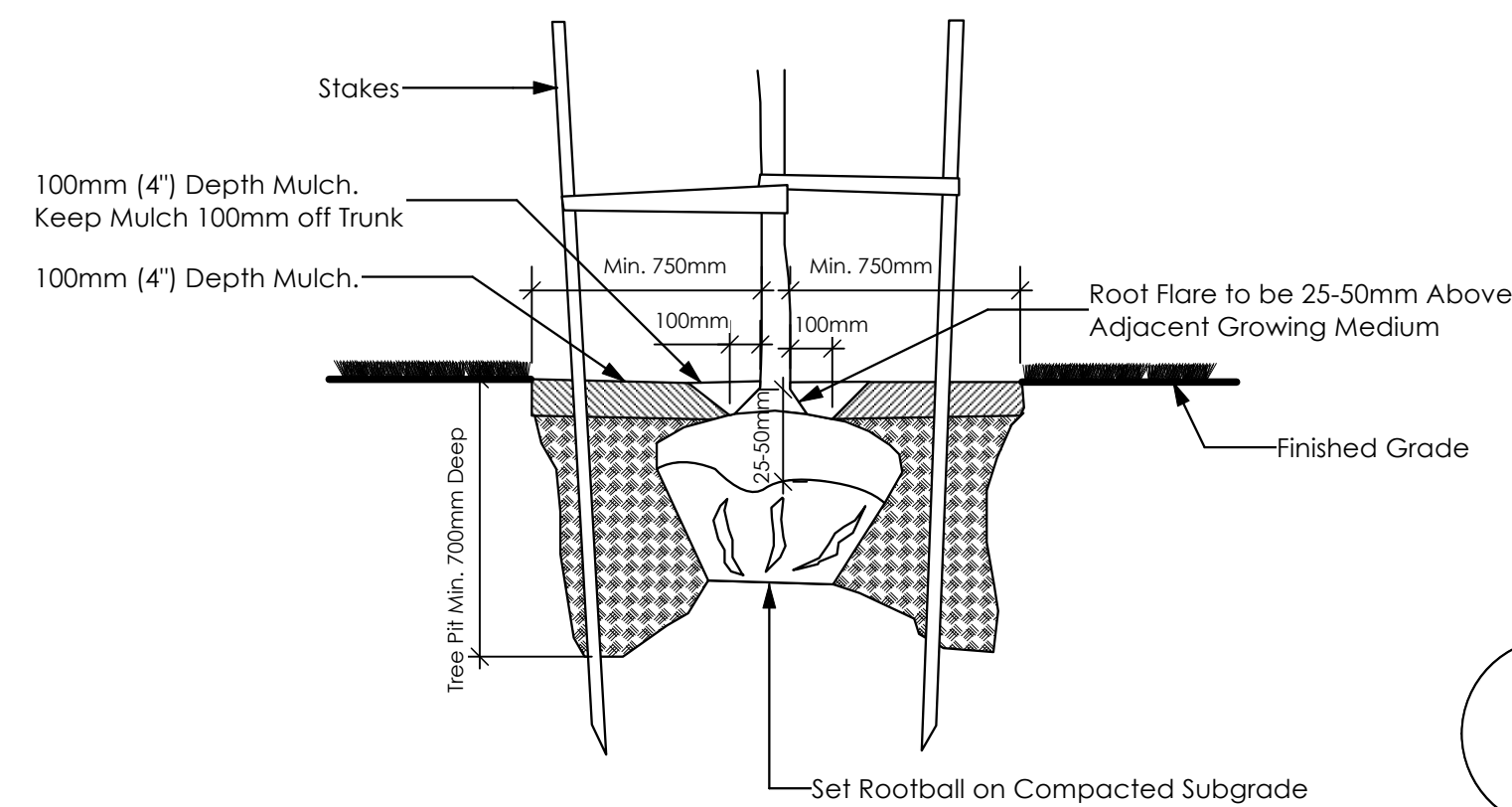
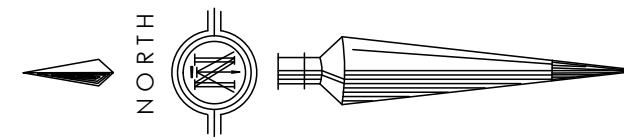
AVERAGE NATURAL GRADE CALCULATION:
 $53.60m + 53.60m + 53.10m + 53.10 = 213.40m / 4 = 53.35m$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

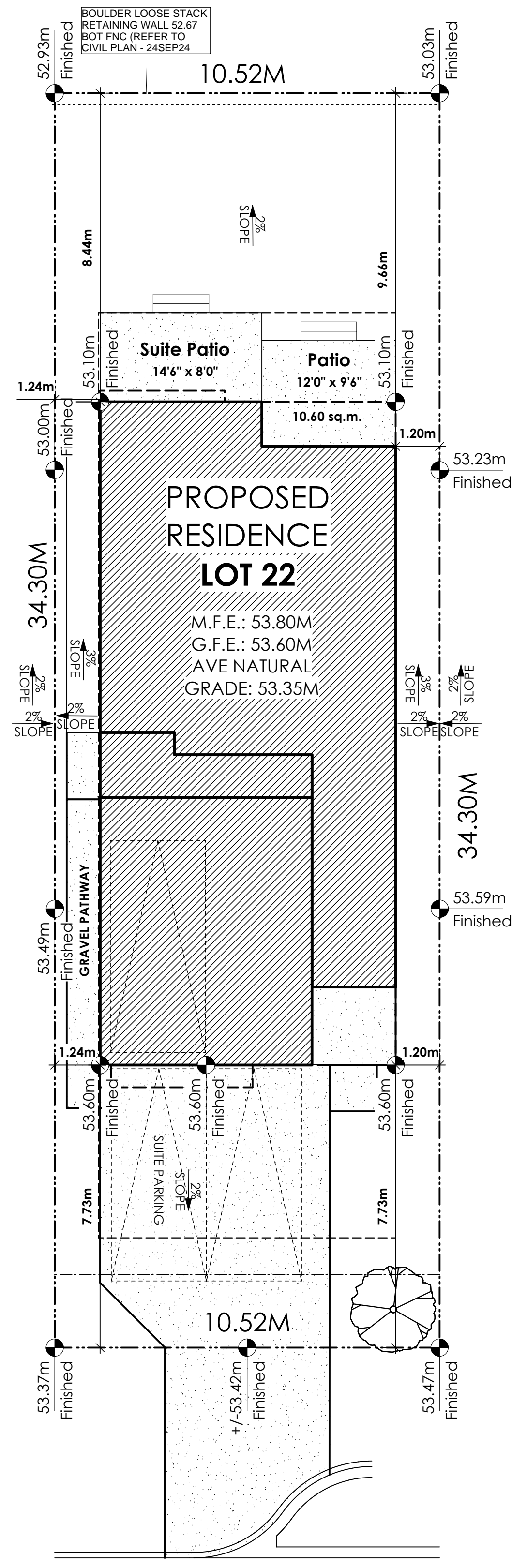


PARKING STALL DIMENSIONS
 SMALL CAR PARKING STALL DIMENSIONS
 * as per 2.2.02a allowing one stall to be a small car parking stall

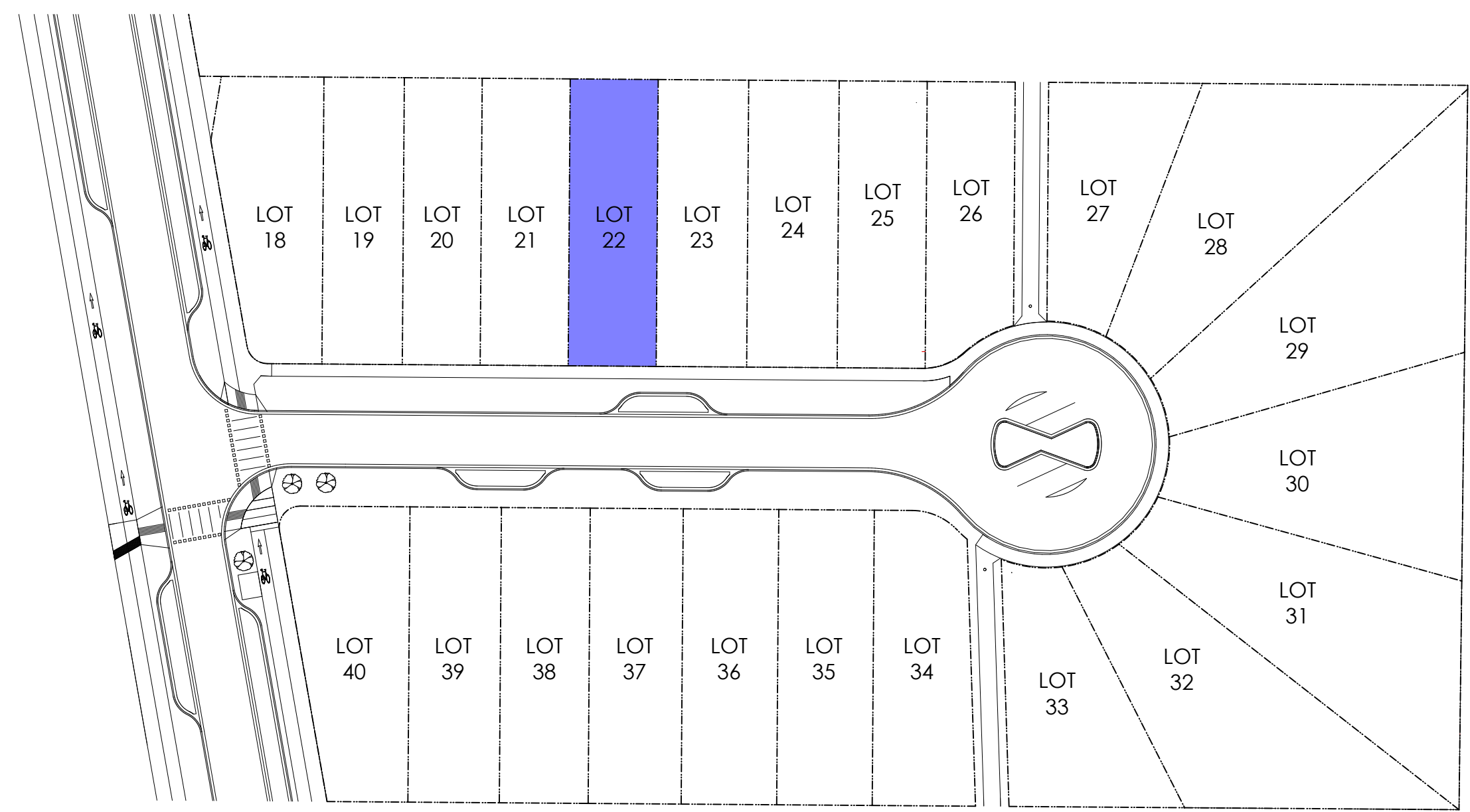


3 Tree Planting Detail
 Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep



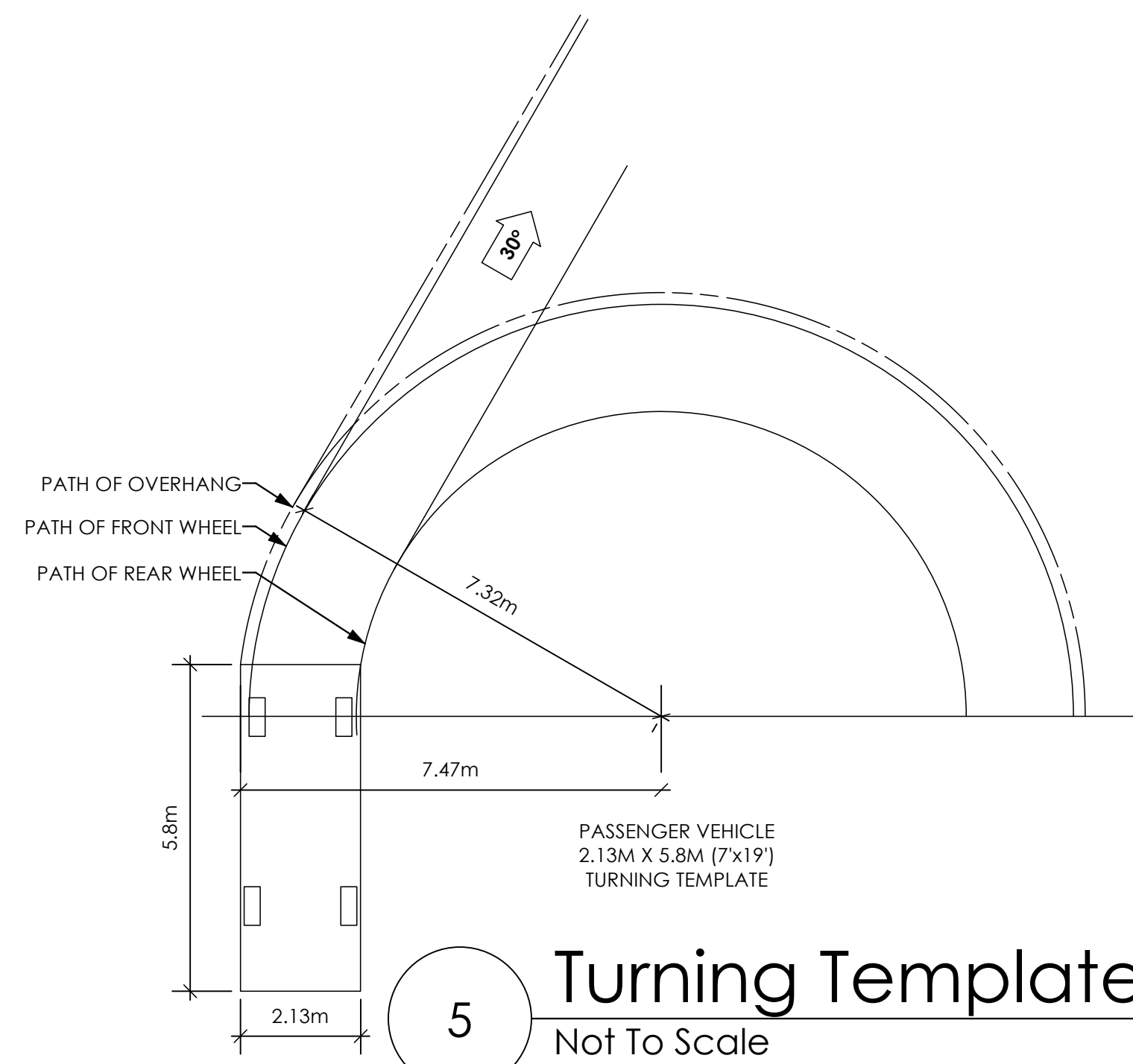
1 Site Plan
 Scale: 1:100



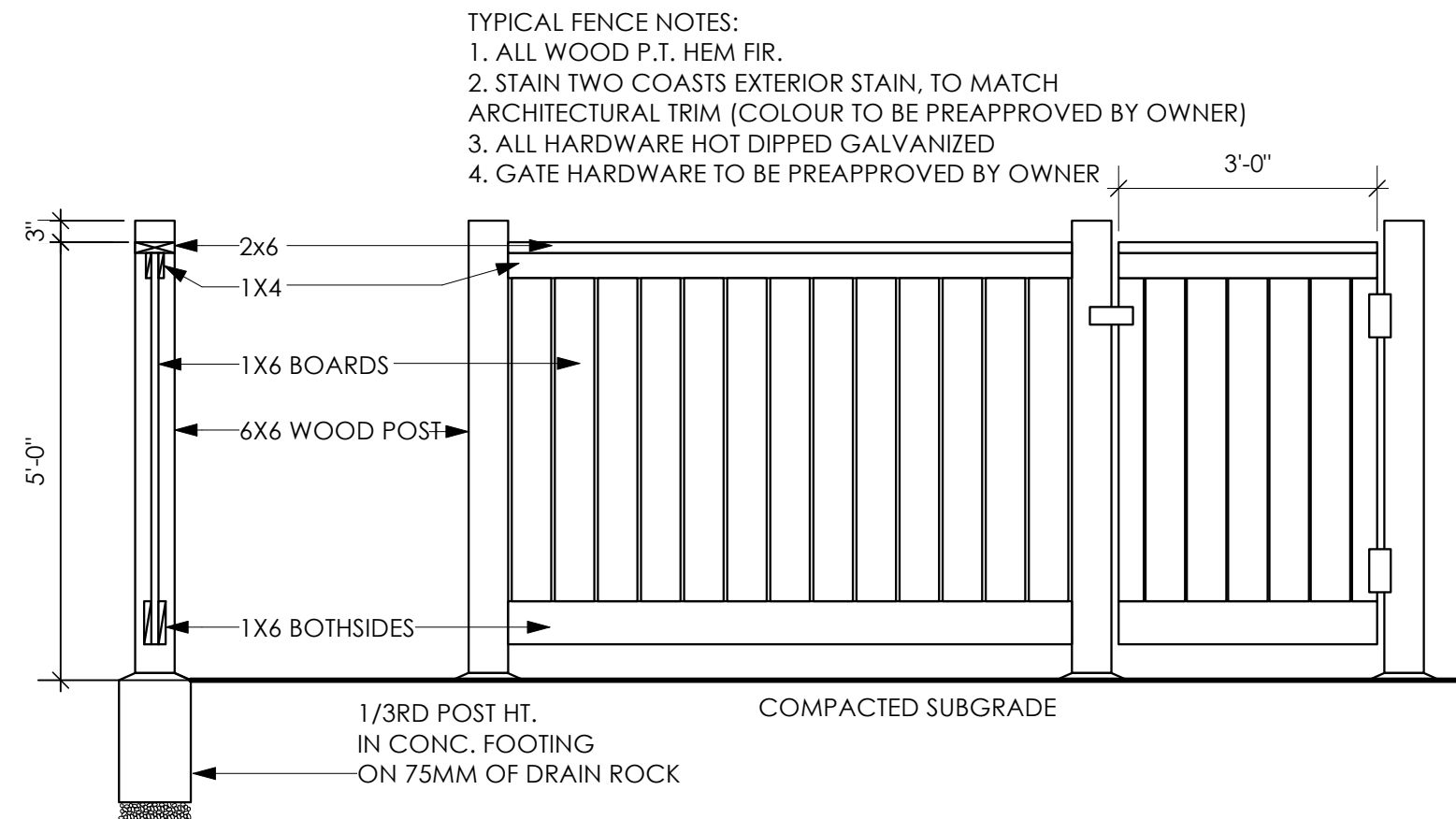
2 Key Plan
 1: 600

STOP & READ
 RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED
 MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.
 THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



5 Turning Template
 Not To Scale



4 Typical Fence Detail
 Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

Date
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Project Address
 3589 Temperate Place
 Lot 22 - Royal Bay
 Colwood, B.C.
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 Verity Construction

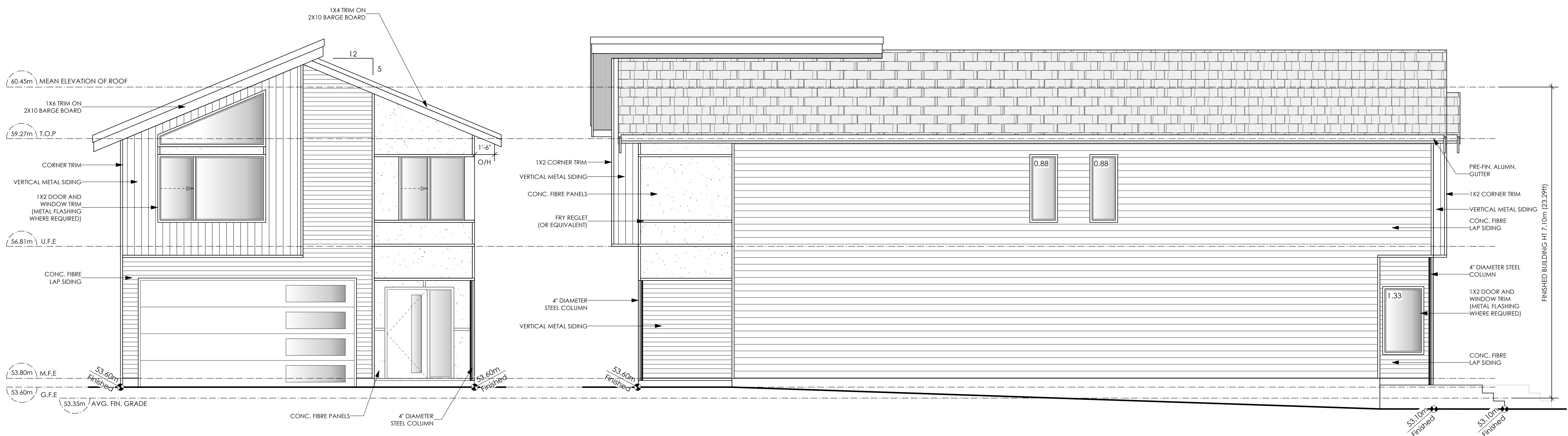
Project #
 8298-22

Scale
 As Noted

Drawn By
 MIS

BASEPLAN D
 TYPE D

Development Permit Presentation

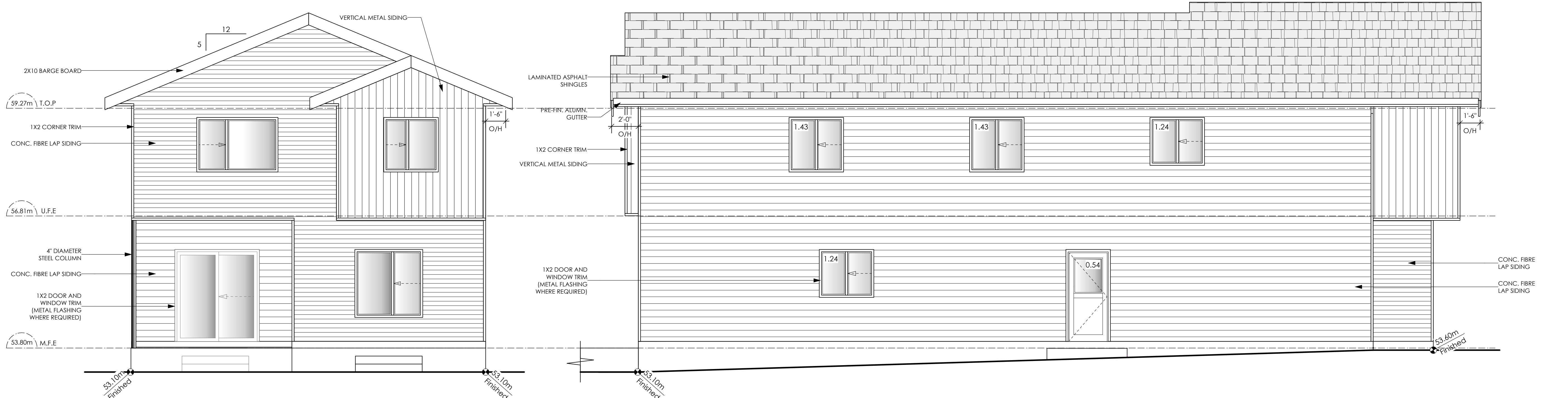


1 **Front Elevation**
Scale: 1/4" = 1'-0"

CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.

2 **Right Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	115.87	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	8.11	sq.m.
Proposed Openings	3.09	sq.m.



3 **Rear Elevation**
Scale: 1/4" = 1'-0"

4 **Left Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.24	m.
Exposed Building Face	112.95	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.90	sq.m.
Proposed Openings	5.88	sq.m.

Date
Nov 14, 2024

Project Address
3589 Temperate Place
Lot 22 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

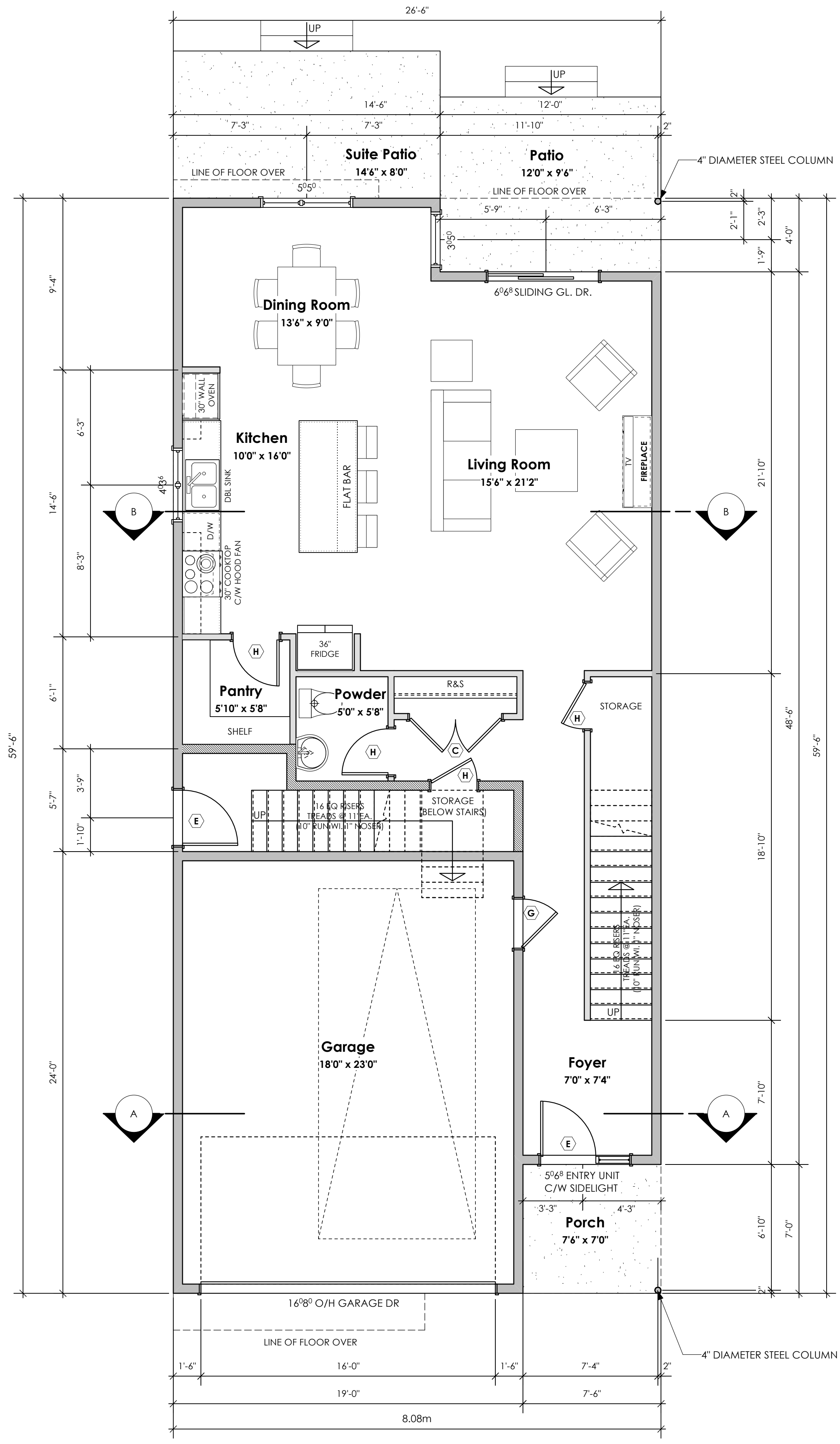
Project #
8298-22

Scale
As Noted

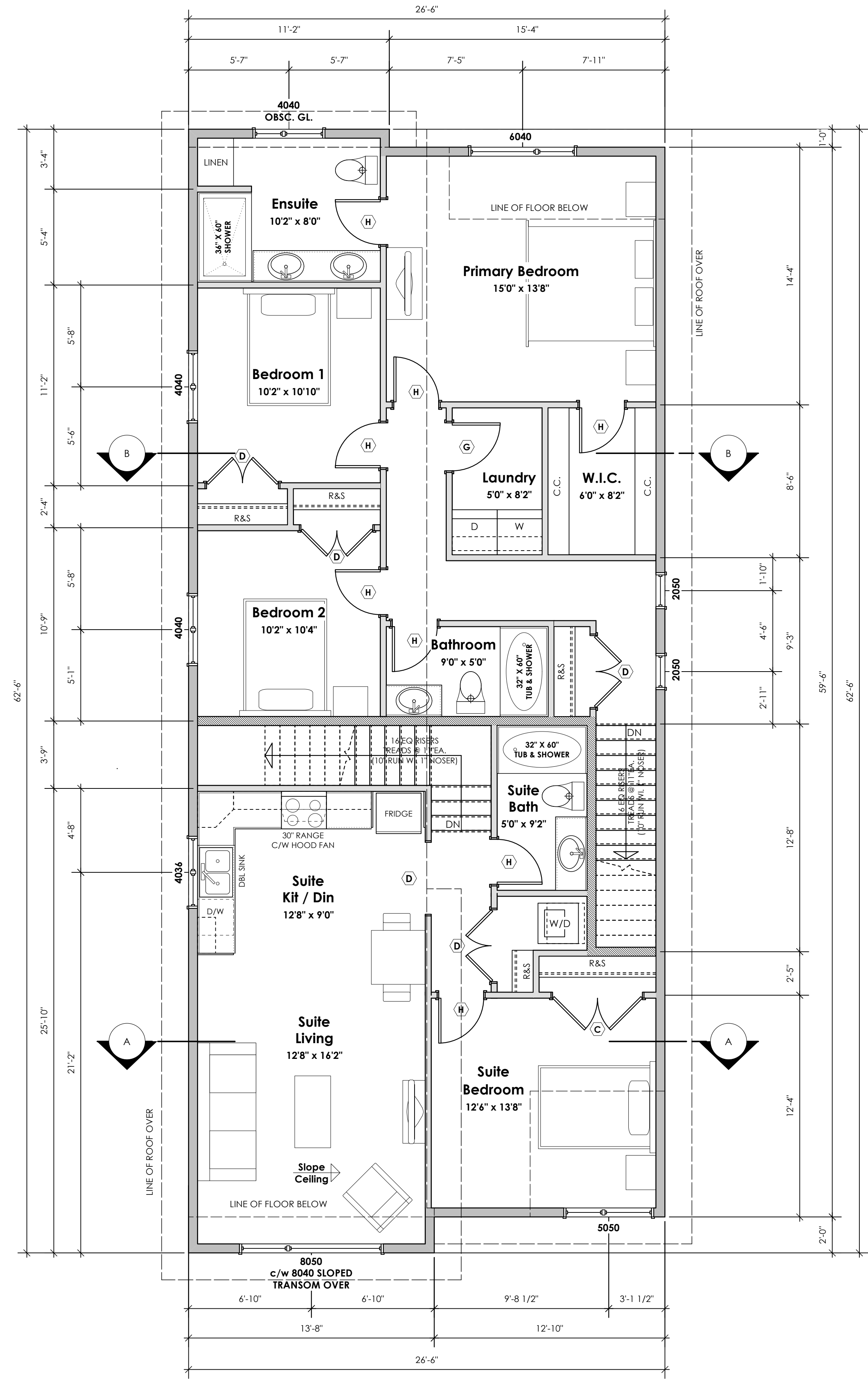
Drawn By
MIS

BASEPLAN D
TYPE D

Development Permit Presentation



1 Main Floor Plan Primary: 934.08 sq.ft. (86.78 sq.m.)
Suite: 86.17 sq.ft. (8.01 sq.m.)
Total: 1020.25 sq.ft. (94.79 sq.m.)
Garage: 455.96 sq.ft. (42.36 sq.m.)
Scale: 1/4" = 1'-0"



2 Upper Floor Plan Primary: 909.01 sq.ft. (84.45 sq.m.)
Suite: 705.90 sq.ft. (65.58 sq.m.)
Total: 1611.91 sq.ft. (150.03 sq.m.)
Scale: 1/4" = 1'-0"

Development Permit Presentation

Date
Nov 14, 2024

Project Address
3589 Temperate Place
Lot 22 - Royal Bay
Colwood, B.C.

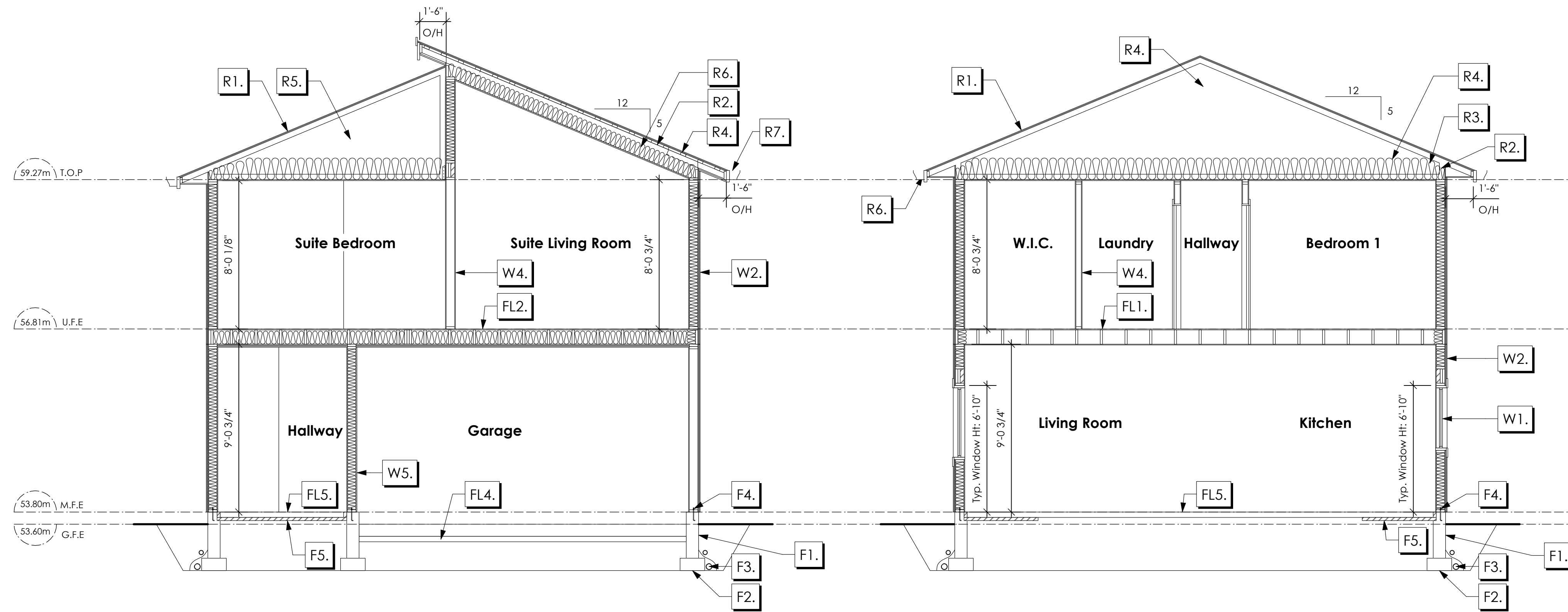
Prepared for
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Project #
8298-22

Scale
As Noted

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MIS

BASEPLAN D
TYPE D



1 **Cross Section A-A**
Scale: 1/4" = 1'-0"

2 **Cross Section B-B**
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED.

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYIN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.I.C.
- FL3. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYIN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYIN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND SLOPE MIN. 2% AWAY FROM BUILDING

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LUNTEL OVER (@ bearing walls only) (TYPICAL, wi. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATT 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.I.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYIN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Date

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Lot 22 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

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Scale

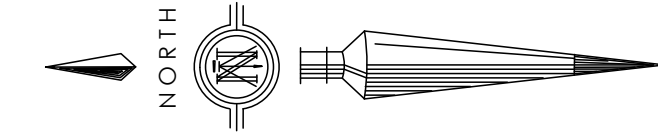
As Noted

Drawn By

MIS

BASEPLAN D
TYPE D

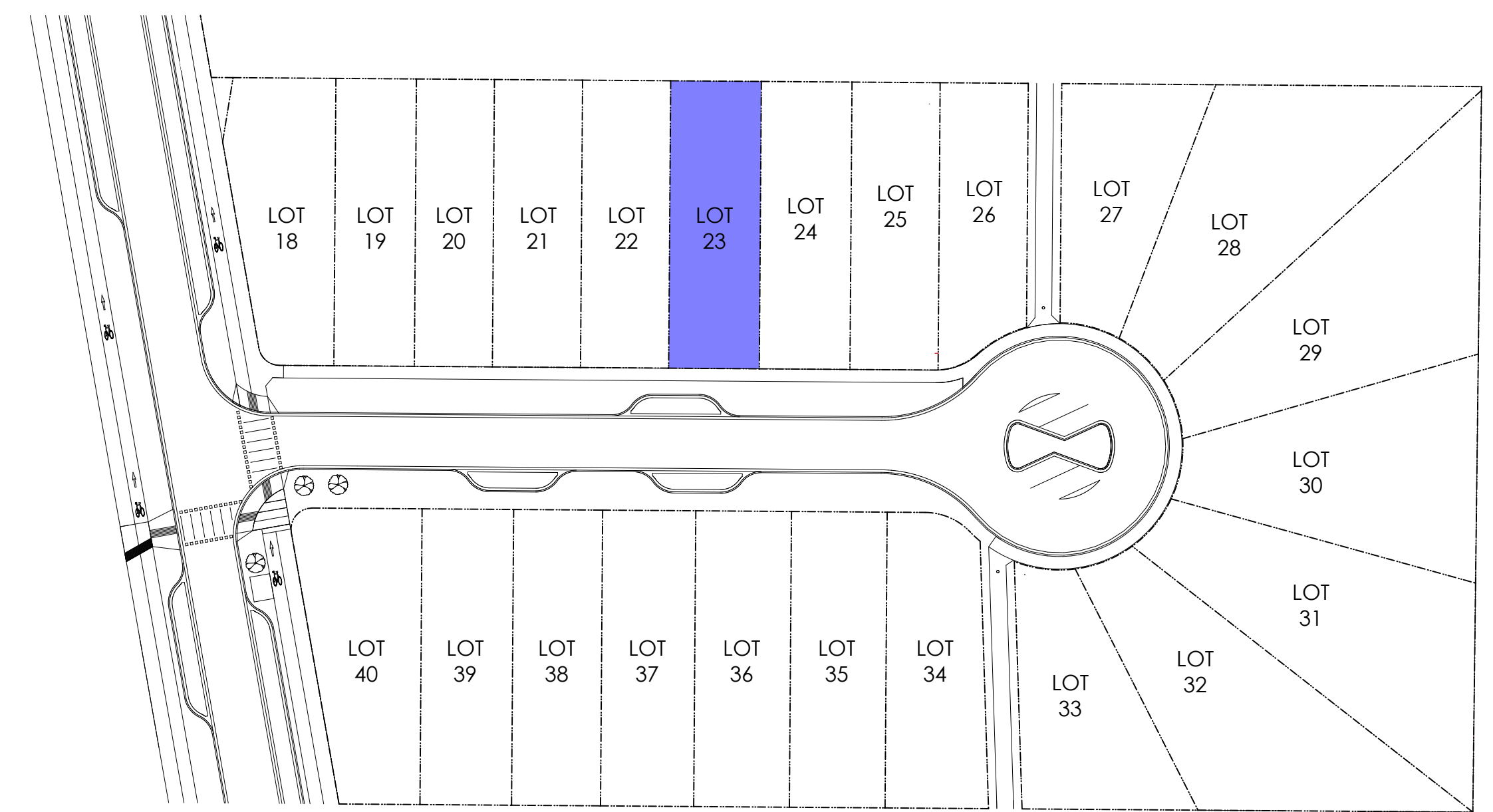
Development Permit Presentation



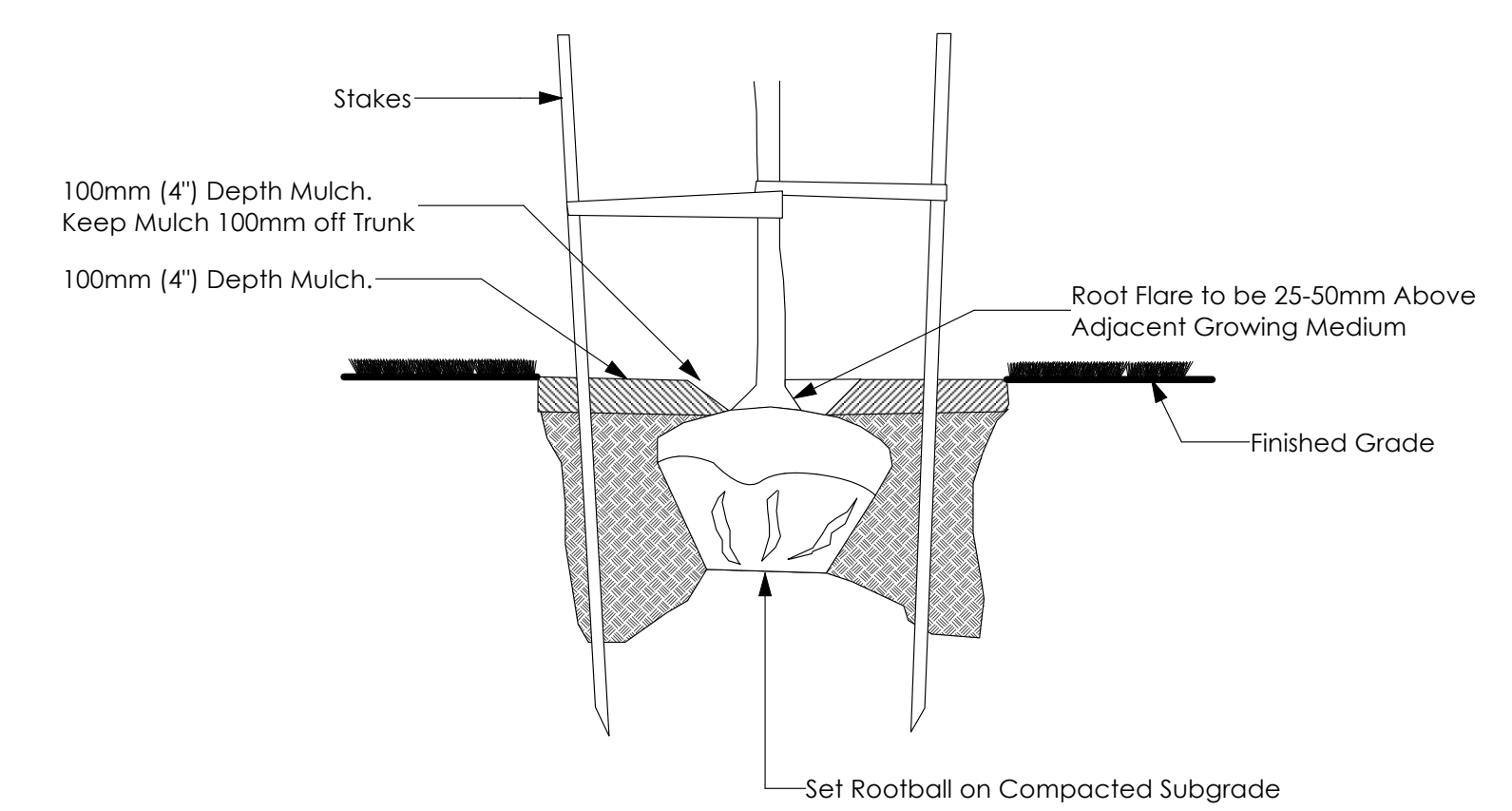
TEMPERATE PLACE - LOT 23

SITE DATA		CD28 - AREA 10	
ITEMS	PERMITTED	PROPOSED	
LOT AREA	278 sq.m.	371.13 sq.m.	
LOT COVERAGE	50.00 %	39.30 %	
BUILDING HEIGHT	9.50 m.	6.83 m.	
LOT WIDTH	9.00 m.	10.82 m.	
SETBACKS			
- FRONT	4.50 m.	7.12 m.	
- FRONT (GARAGE)	6.00 m.	7.73 m.	
- REAR	6.00 m.	9.05 m.	
- SIDE	1.20 m.	1.63 m.	
- SIDE	1.20 m.	1.87 m.	
PROPOSED FLOOR AREA			
- UPPER		145.79 sq.m.	
- MAIN		94.79 sq.m.	
- GARAGE		38.83 sq.m.	
SUB-TOTAL G.F.A.		279.41 sq.m.	
GARAGE ALLOWANCE	50.00 sq.m.	-38.83 sq.m.	
GROSS FLOOR AREA		240.58 sq.m.	
F.A.R.		0.65 TO 1.0	
SECONDARY SUITE			
SECONDARY SUITE (%)	40.00 %	28.76 %	
SECONDARY SUITE (SQ.M.)	90.00 sq.m.	69.19 sq.m.	

Corrected Sideyard Setback



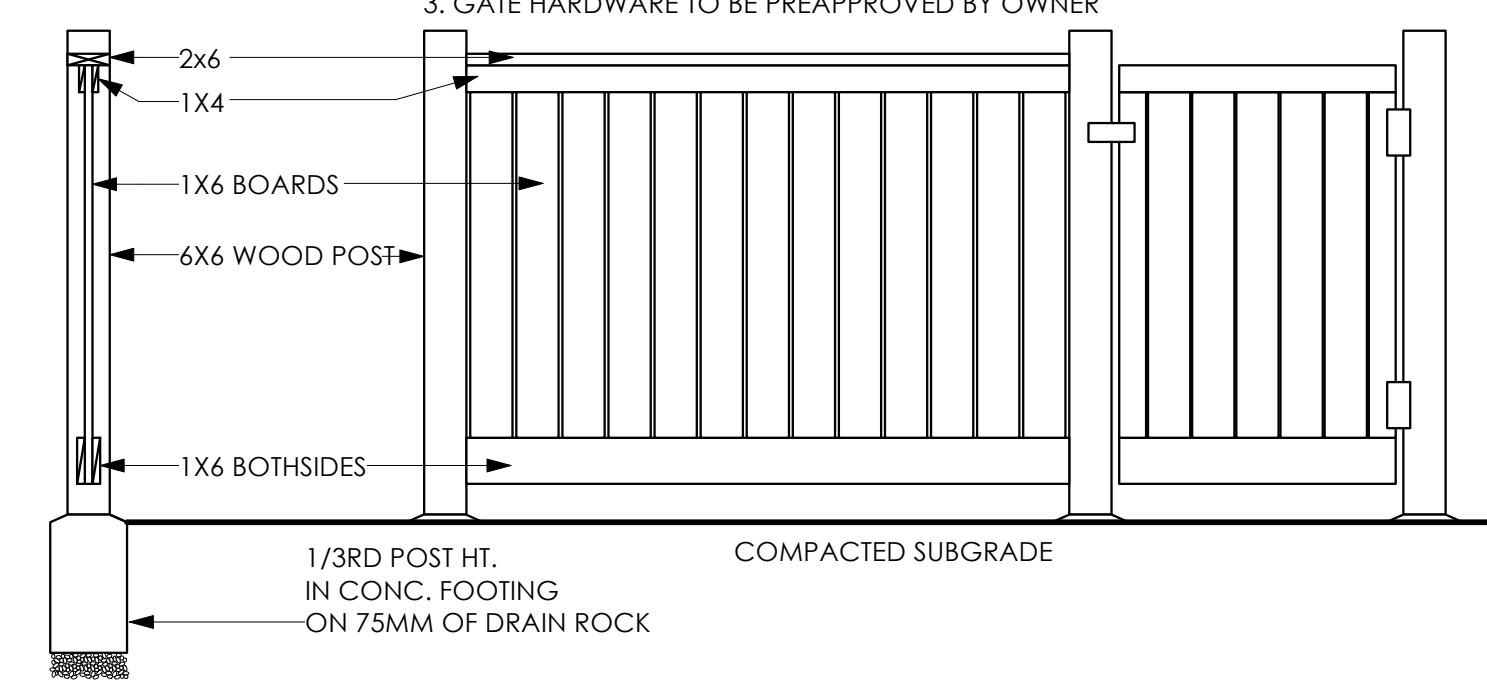
2 Key Plan
Not To Scale



3 Tree Planting Detail
Not To Scale

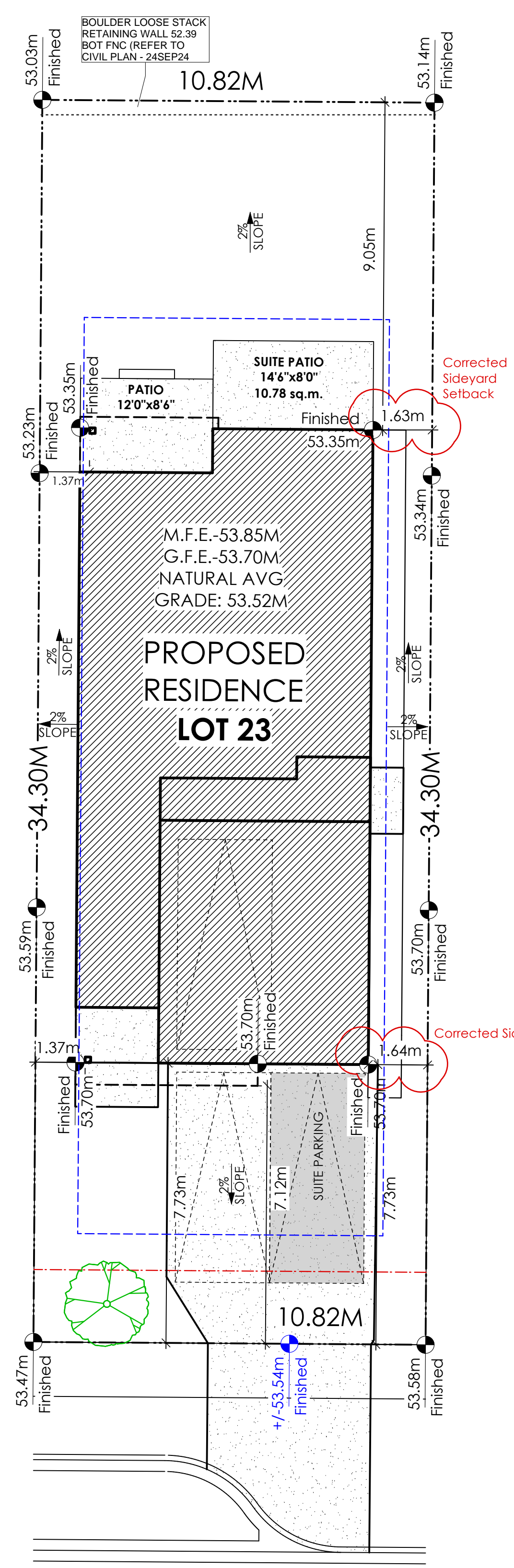
All trees and plants by the home owner to be planted in minimum 10m³ of fertile topsoil, 700mm Deep

- TYPICAL FENCE NOTES:
1. ALL WOOD P.T. HEM FIR.
 2. ALL HARDWARE HOT DIPPED GALVANIZED.
 3. GATE HARDWARE TO BE PREAPPROVED BY OWNER



5 Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

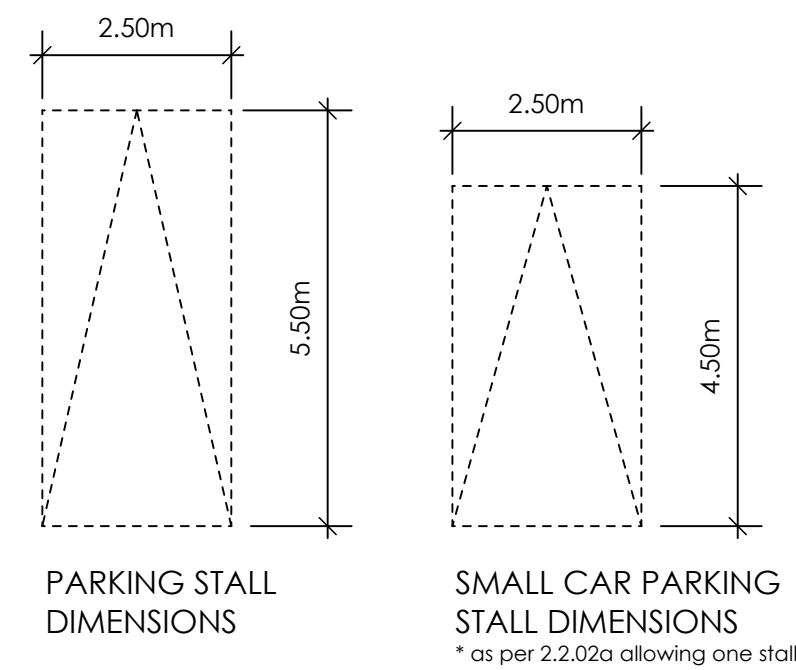


1 Siteplan
Scale: 1:100

AVERAGE NATURAL GRADE CALCULATION
53.70 m. + 53.70 m. + 53.35 m. + 53.35 m. = 214.10 m.
divided by 4 = ave. grade 53.52 m.

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
- TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
- ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



STOP & READ
RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

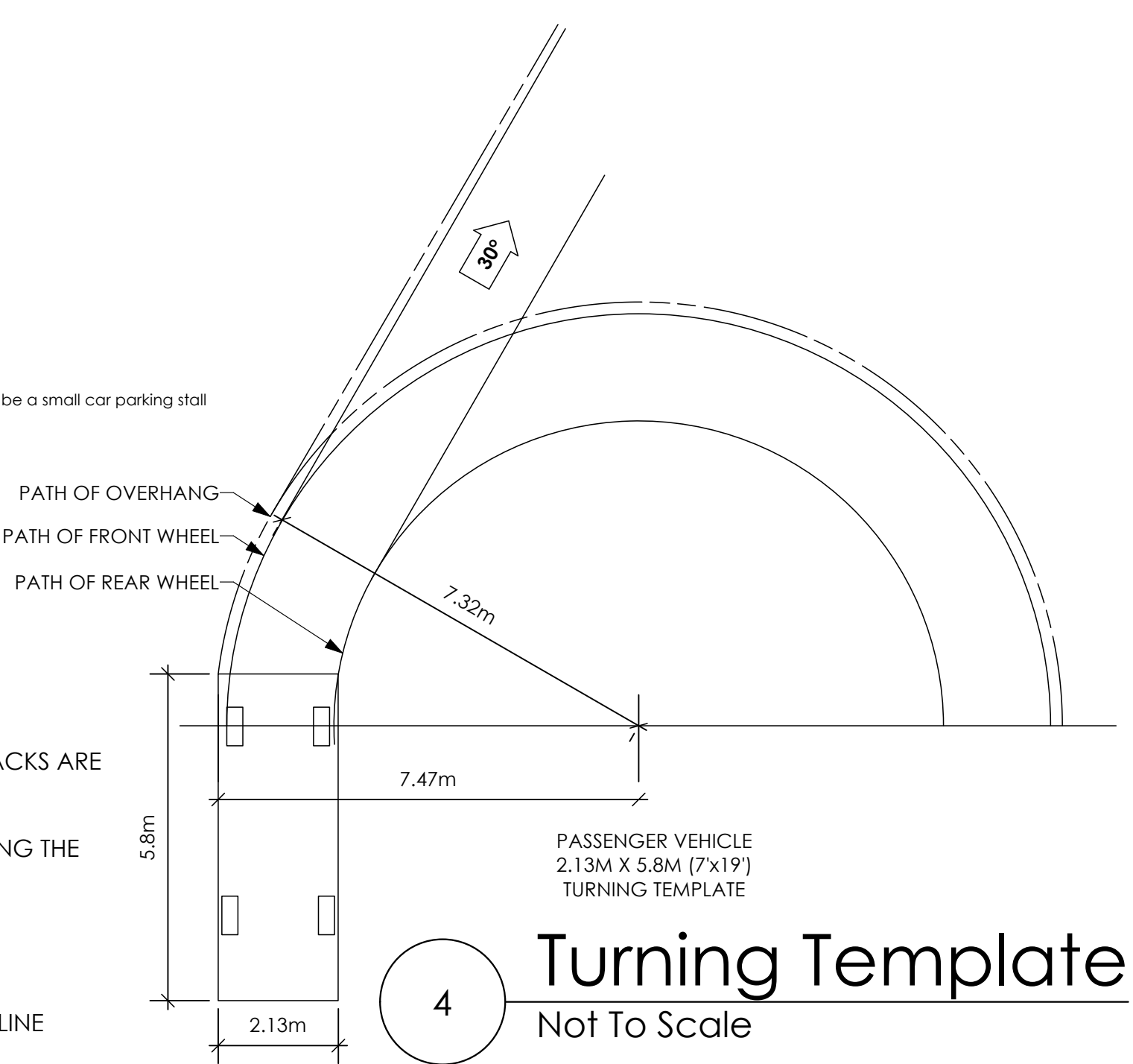
ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.

THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

CONTRACTOR TO ENSURE A MINIMUM 2% SLOPE
SIDE YARD SWALING (BOTH SIDES) MAY BE REQUIRED

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET GUIDELINE REQUIREMENTS



4 Turning Template
Not To Scale

Development Permit Presentation

Date
Nov 14, 2024

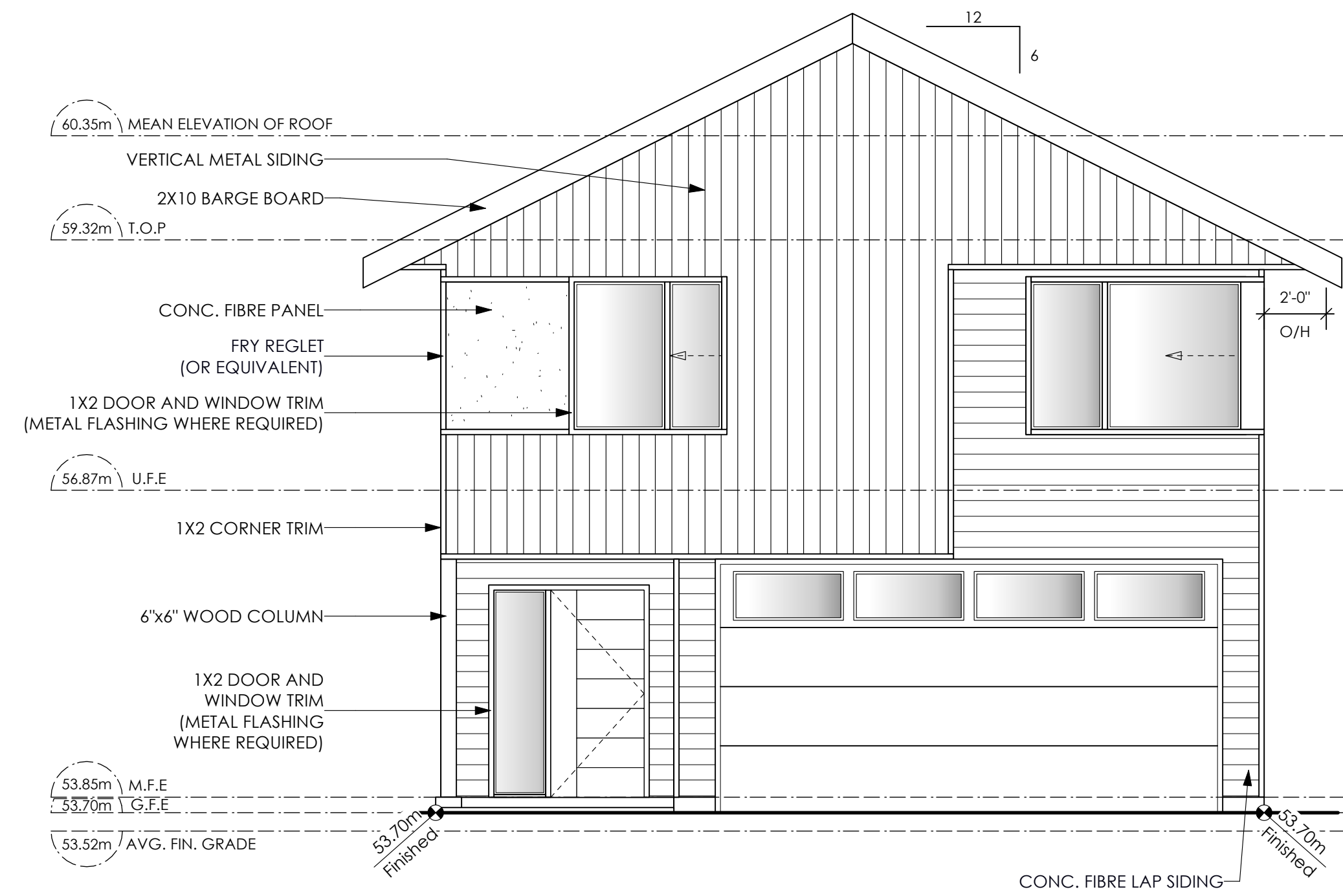
Project Address
3591 Temperate Place
Lot 23 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-23

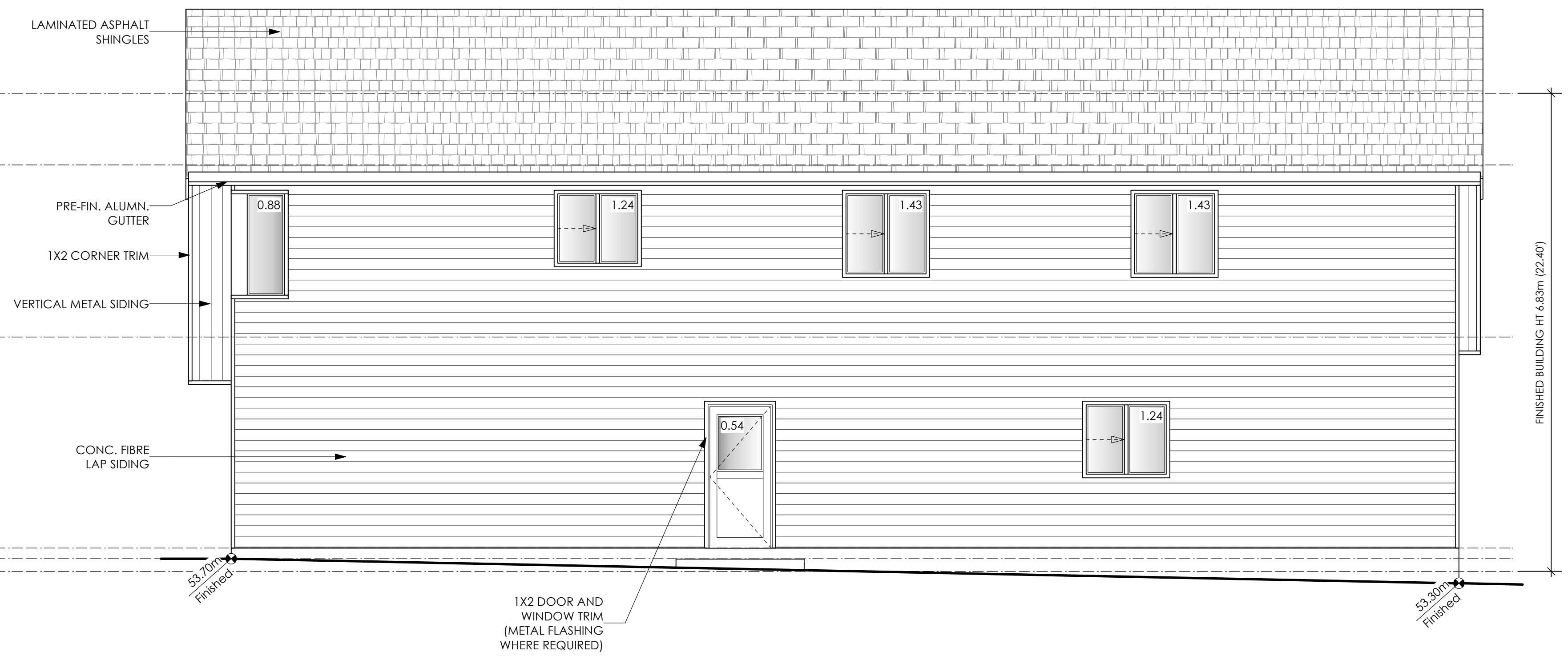
Scale
As Noted

Drawn By
NS

BASEPLAN D
TYPE C

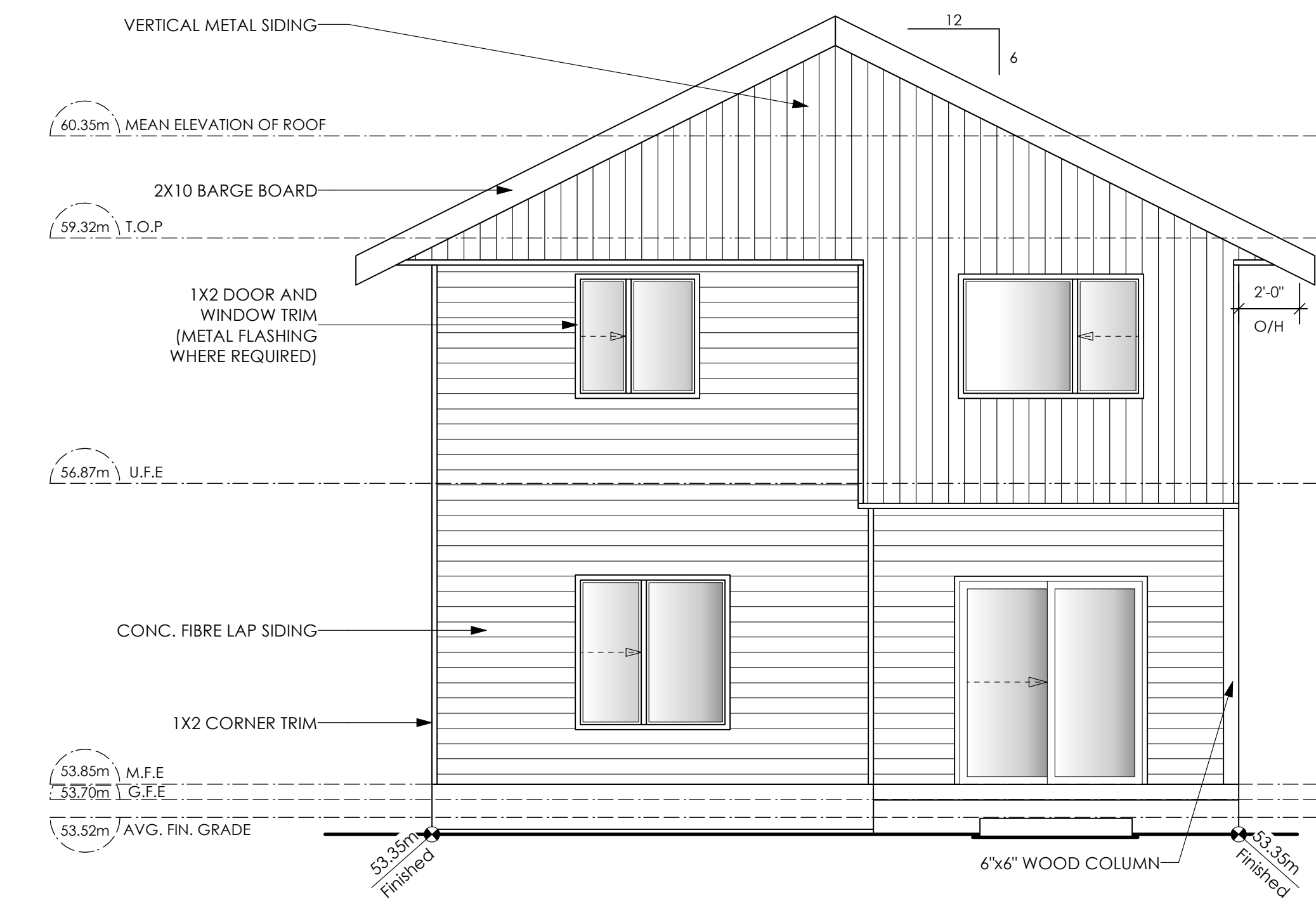


1 **Front Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.

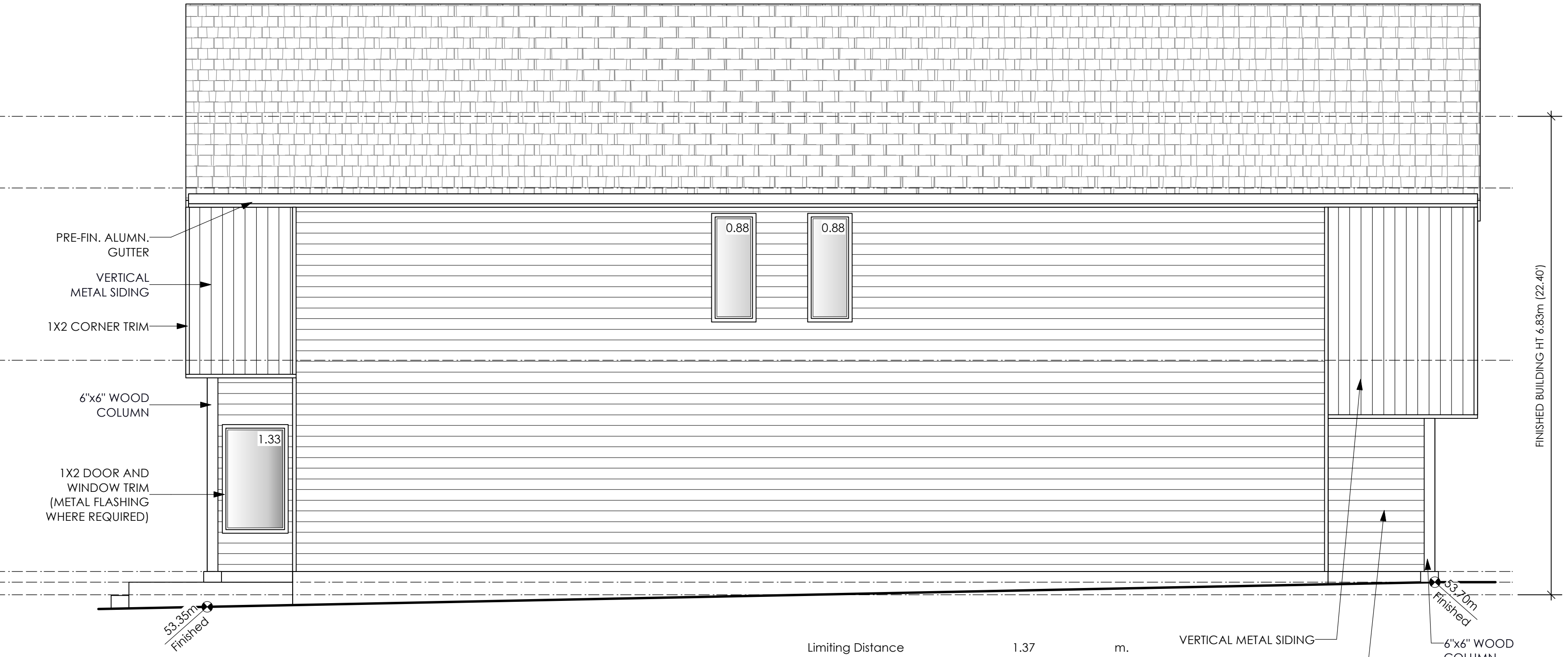


2 **Right Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.37	m.
Exposed Building Face	102.05	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.14	sq.m.
Proposed Openings	6.76	sq.m.



3 **Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Left Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.37	m.
Exposed Building Face	100.99	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.07	sq.m.
Proposed Openings	3.09	sq.m.

Date
Nov 14, 2024

Project Address
3591 Temperate Place
Lot 23 - Royal Bay
Colwood, B.C.
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Verity Construction

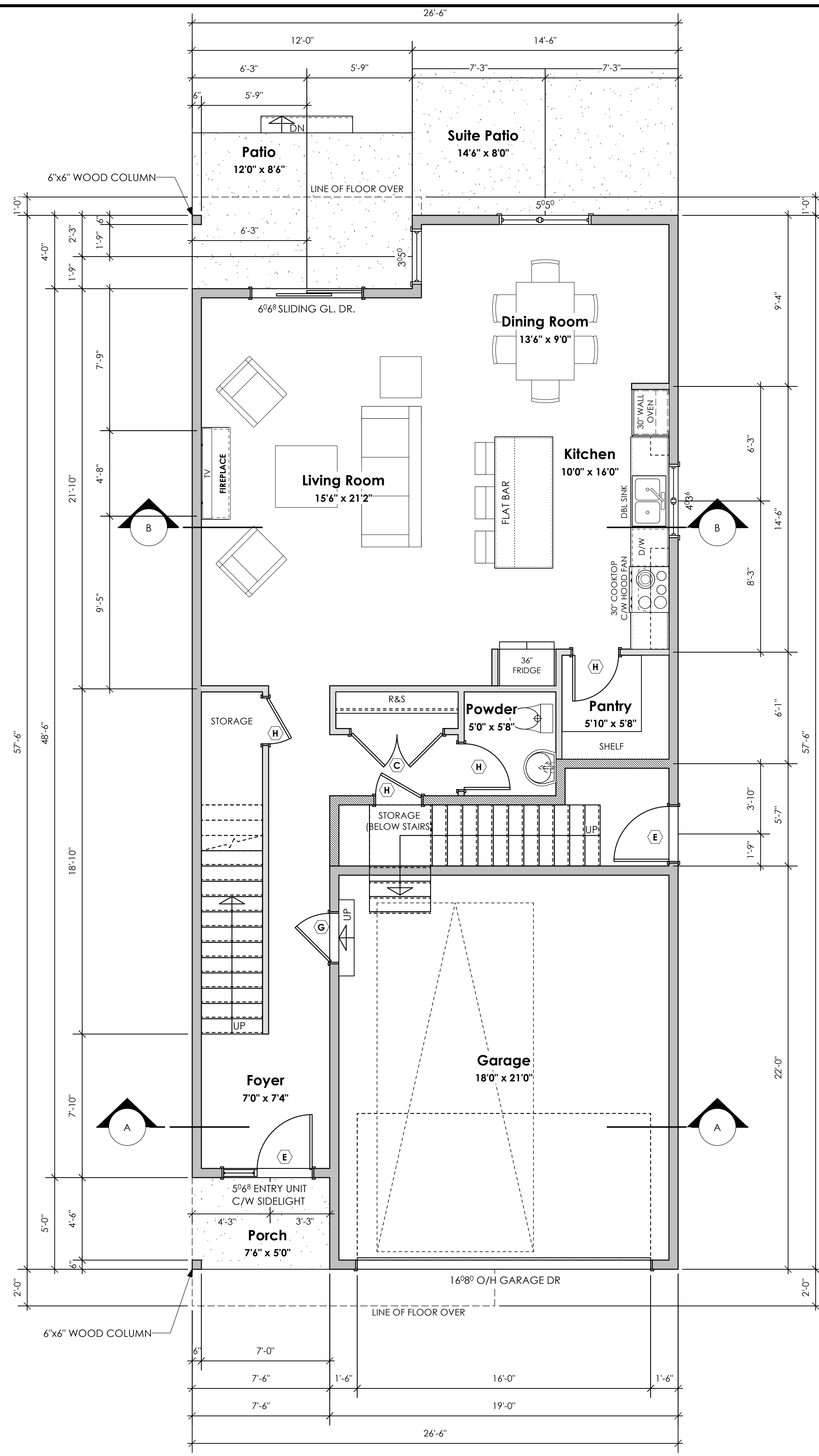
Project #
8298-23

Scale
As Noted

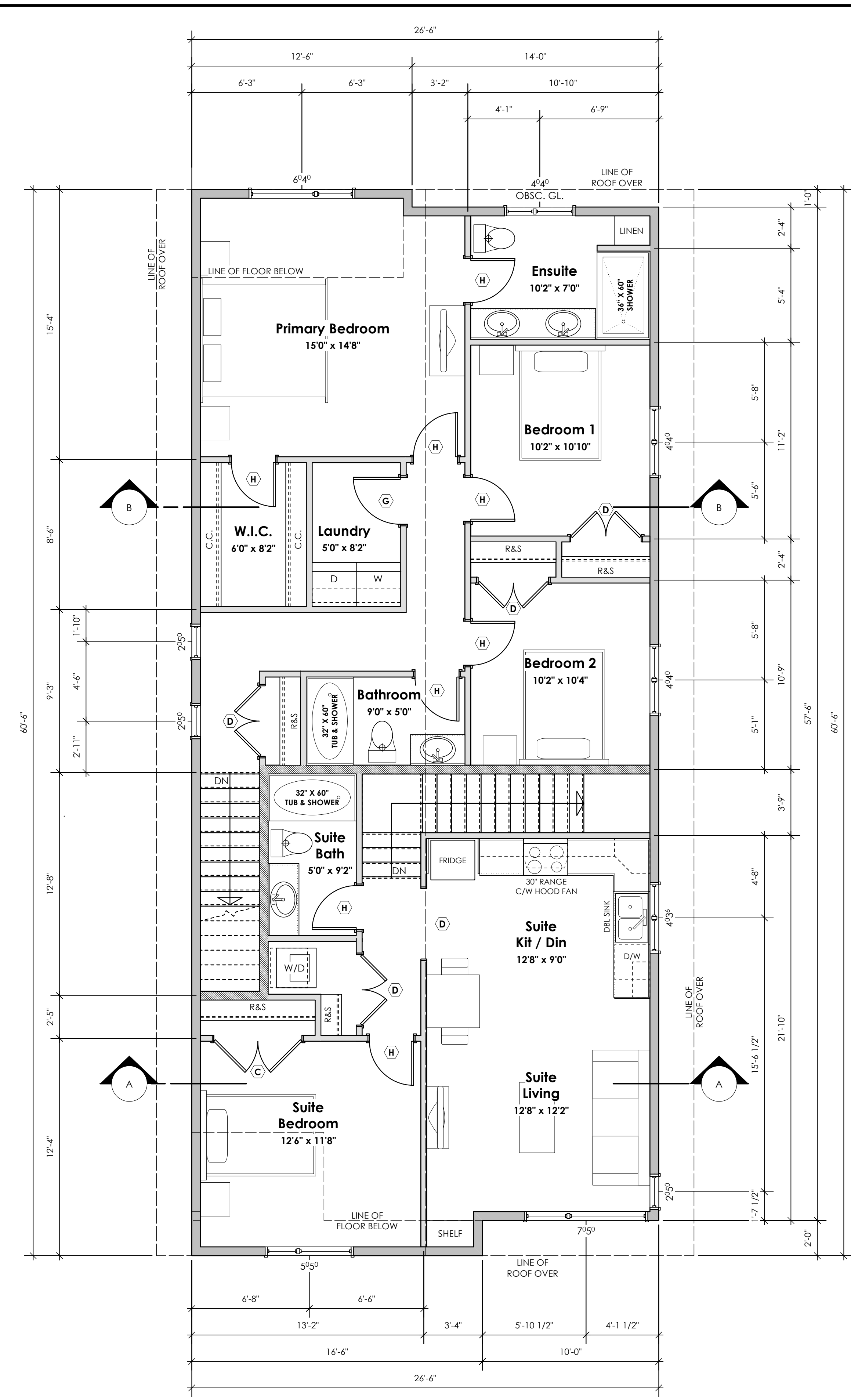
Drawn By
NS

BASEPLAN D
TYPE C

Development Permit Presentation



1 **Main Floor Plan** Primary: 934.08 sq.ft. (86.78 sq.m.)
Suite: 86.17 sq.ft. (8.01 sq.m.)
Total: 1020.25 sq.ft. (94.79 sq.m.)
Garage: 418.00 sq.ft. (38.83 sq.m.)
Scale: 1/4" = 1'-0"



2 **Upper Floor Plan** Primary: 910.69 sq.ft. (84.61 sq.m.)
Suite: 658.56 sq.ft. (61.18 sq.m.)
Total: 1569.25 sq.ft. (145.79 sq.m.)
Scale: 1/4" = 1'-0"

Development Permit Presentation

Date
Nov 14, 2024

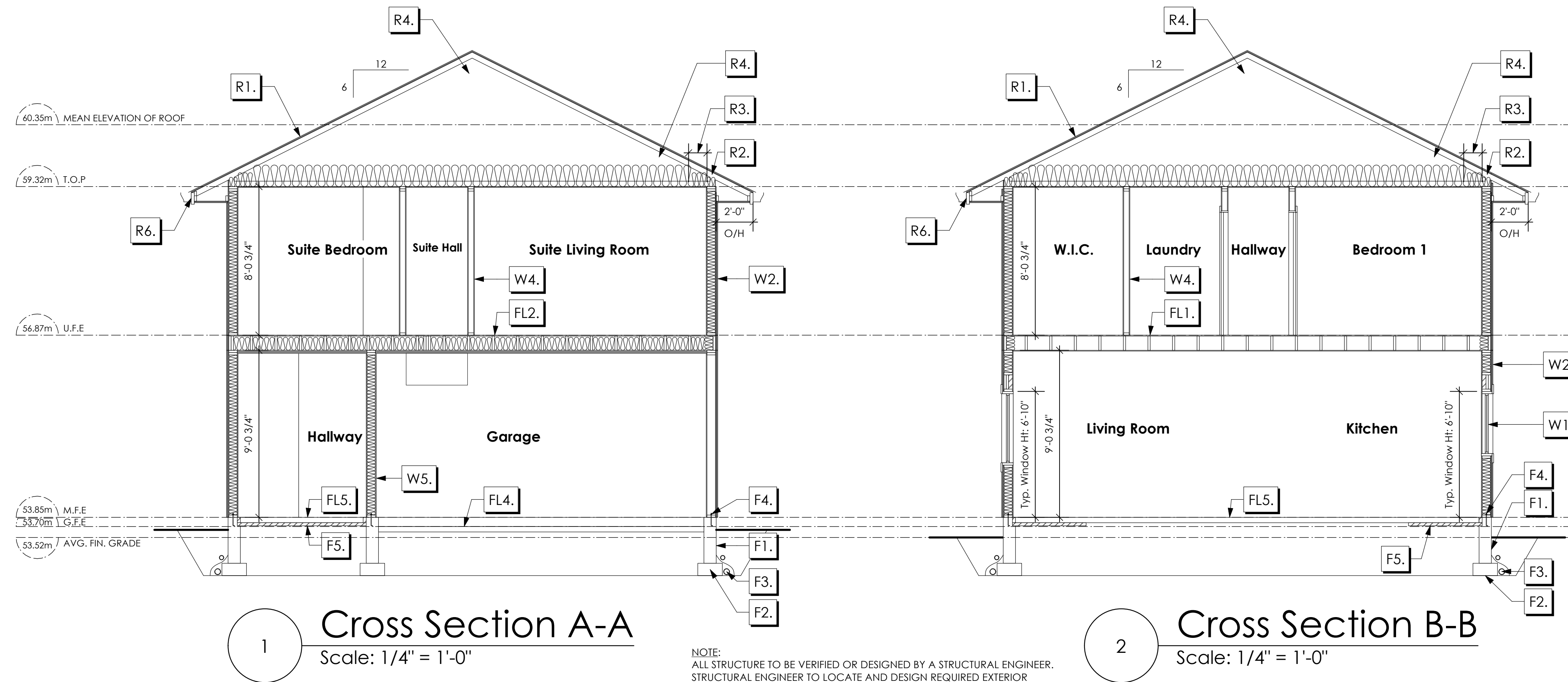
Project Address
3591 Temperate Place
Lot 23 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-23

Scale
As Noted

Drawn By
NS

BASEPLAN D
TYPE C



1 **Cross Section A-A**
Scale: 1/4" = 1'-0"

2 **Cross Section B-B**
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED
GROUND LEVEL SHALL BE PRESERVE TREATED WITH A PRESERVATIVE
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS	FLOORS	WALLS	FOUNDATION
<p>R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)</p> <p>R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)</p> <p>R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.</p> <p>R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)</p> <p>R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)</p> <p>R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)</p>	<p>FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD</p> <p>FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.</p> <p>FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)</p> <p>FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"</p> <p>FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND</p> <p>FL6. 3 1/2" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND SLOPE MIN. 2% AWAY FROM BUILDING</p>	<p>W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 22"x10" LINTEL OVER @ bearing walls only) (TYPICAL. WI. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))</p> <p>W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD</p> <p>W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)</p> <p>W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)</p> <p>W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)</p>	<p>F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W</p> <p>F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)</p> <p>F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK</p> <p>F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS</p> <p>F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)</p>

Development Permit Presentation

Date
Nov 14, 2024

Project Address
3591 Temperate Place
Lot 23 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-23

Scale
As Noted

Drawn By
NS

BASEPLAN D
TYPE C

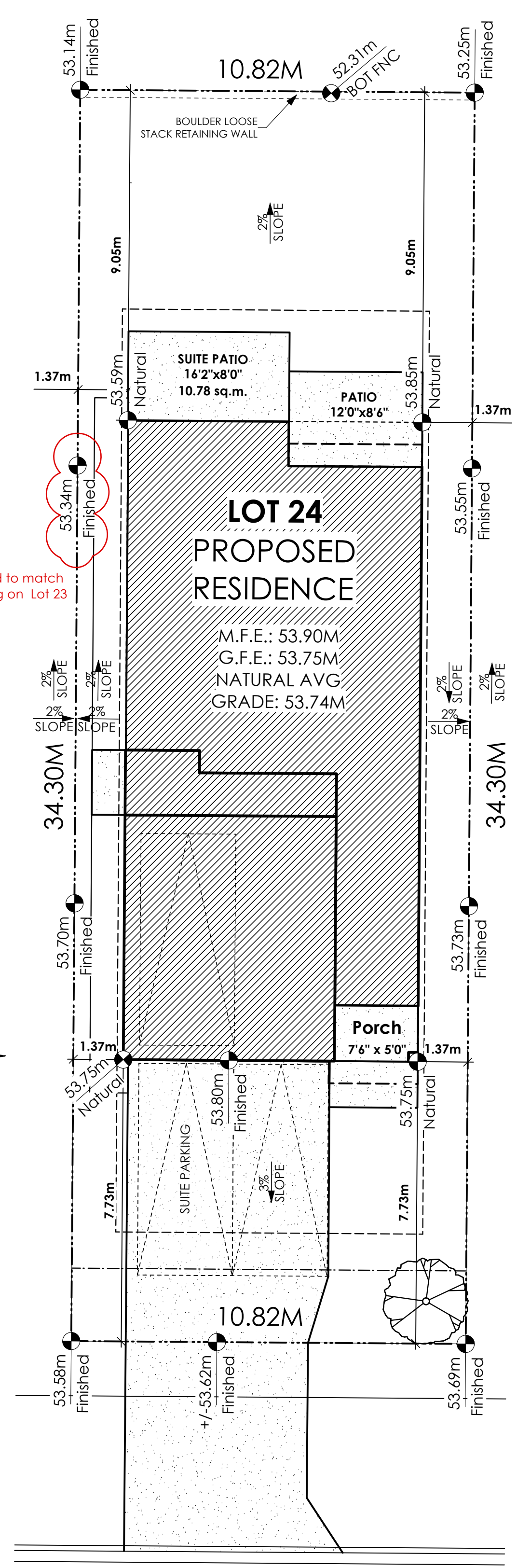
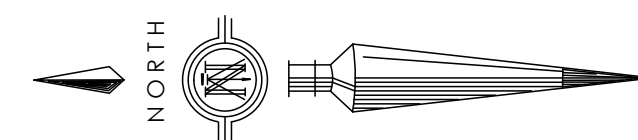
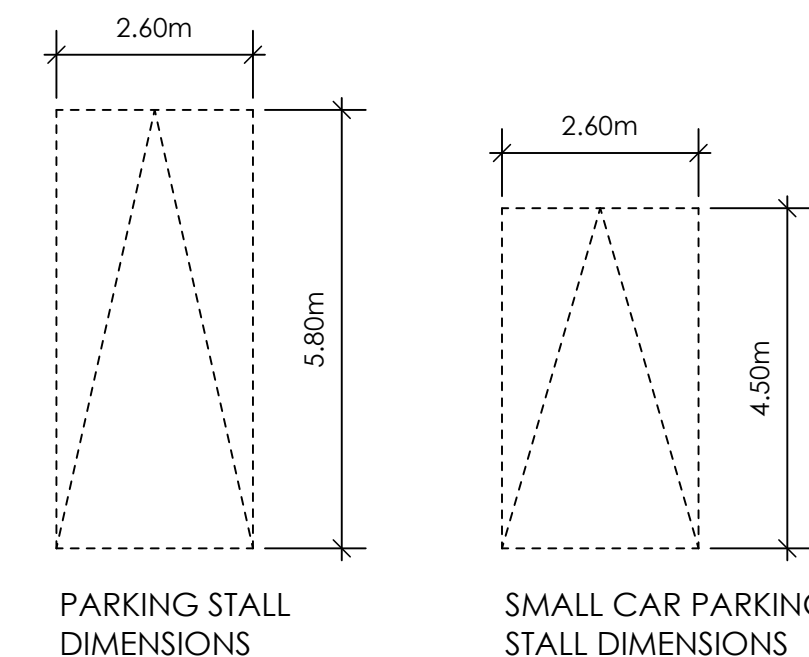
TEMPERATE PLACE - LOT 24

SITE DATA		CD28 - AREA 10	
ITEMS	PERMITTED	PROPOSED	
LOT AREA	278 sq.m.	371.13 sq.m.	
LOT COVERAGE	50.00 %	38.79 %	
BUILDING HEIGHT	9.50 m.	6.98 m.	
LOT WIDTH	9.00 m.	10.82 m.	
SETBACKS			
- FRONT	4.50 m.	7.73 m.	
- FRONT (GARAGE)	6.00 m.	7.73 m.	
- REAR	6.00 m.	9.05 m.	
- SIDE	1.20 m.	1.37 m.	
- SIDE	1.20 m.	1.37 m.	
PROPOSED FLOOR AREA			
- UPPER		143.05 sq.m.	
- MAIN		94.79 sq.m.	
- GARAGE		38.83 sq.m.	
SUB-TOTAL G.F.A.		276.67 sq.m.	
GARAGE ALLOWANCE	50.00 sq.m.	-38.83 sq.m.	
GROSS FLOOR AREA		237.84 sq.m.	
F.A.R.		0.64 TO 1.0	
SECONDARY SUITE			
SECONDARY SUITE (%)	40.00 %	28.43 %	
SECONDARY SUITE (SQ.M.)	90.00 sq.m.	67.61 sq.m.	

AVERAGE NATURAL GRADE CALCULATION:
 $53.75m + 53.75m + 53.85m + 53.59m = 214.94m/4 = 53.74m$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

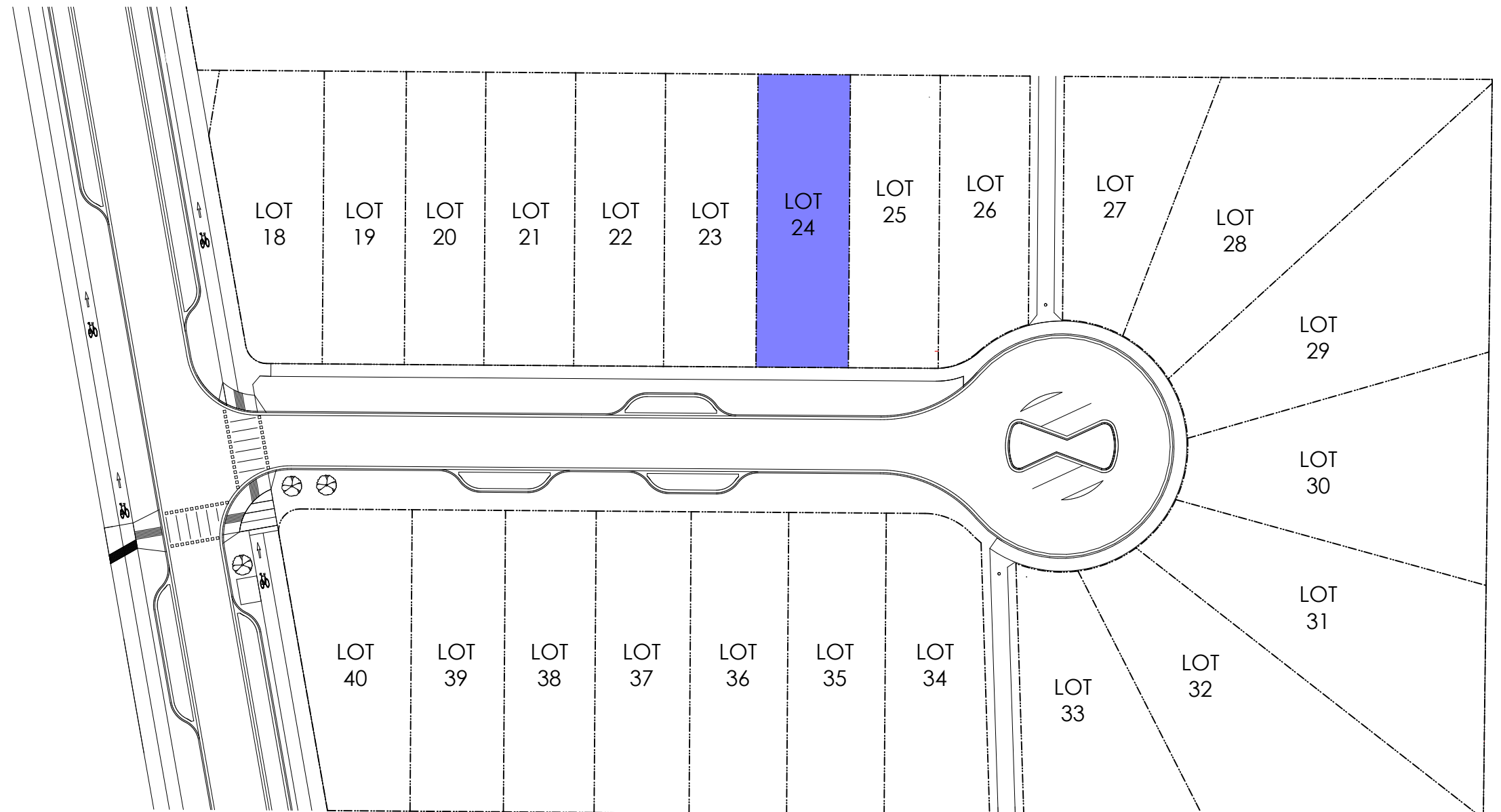
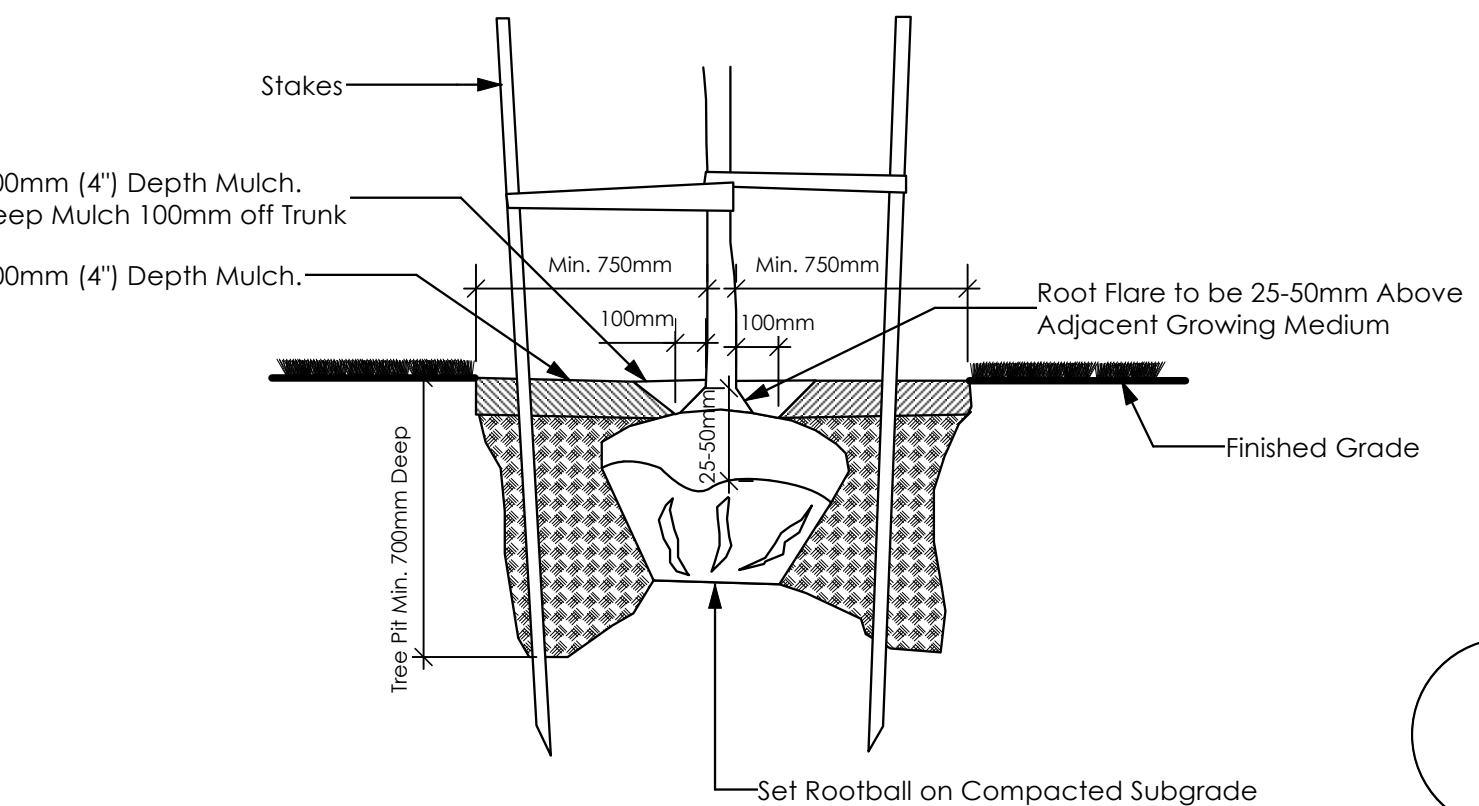
RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



1 Site Plan
 Scale: 1:100

3 Tree Planting Detail
 Not To Scale

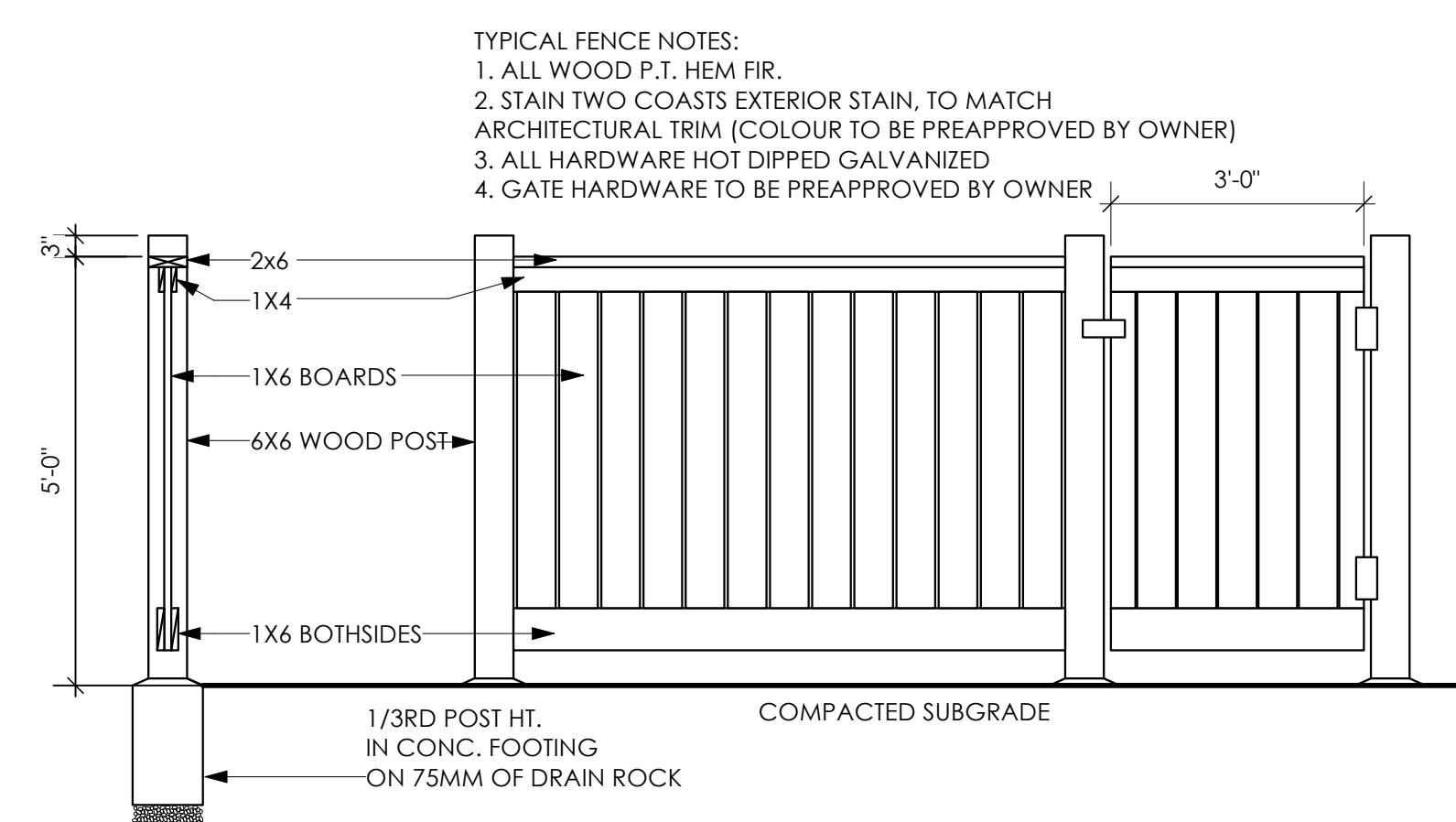
All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep



2 Key Plan
 1: 600

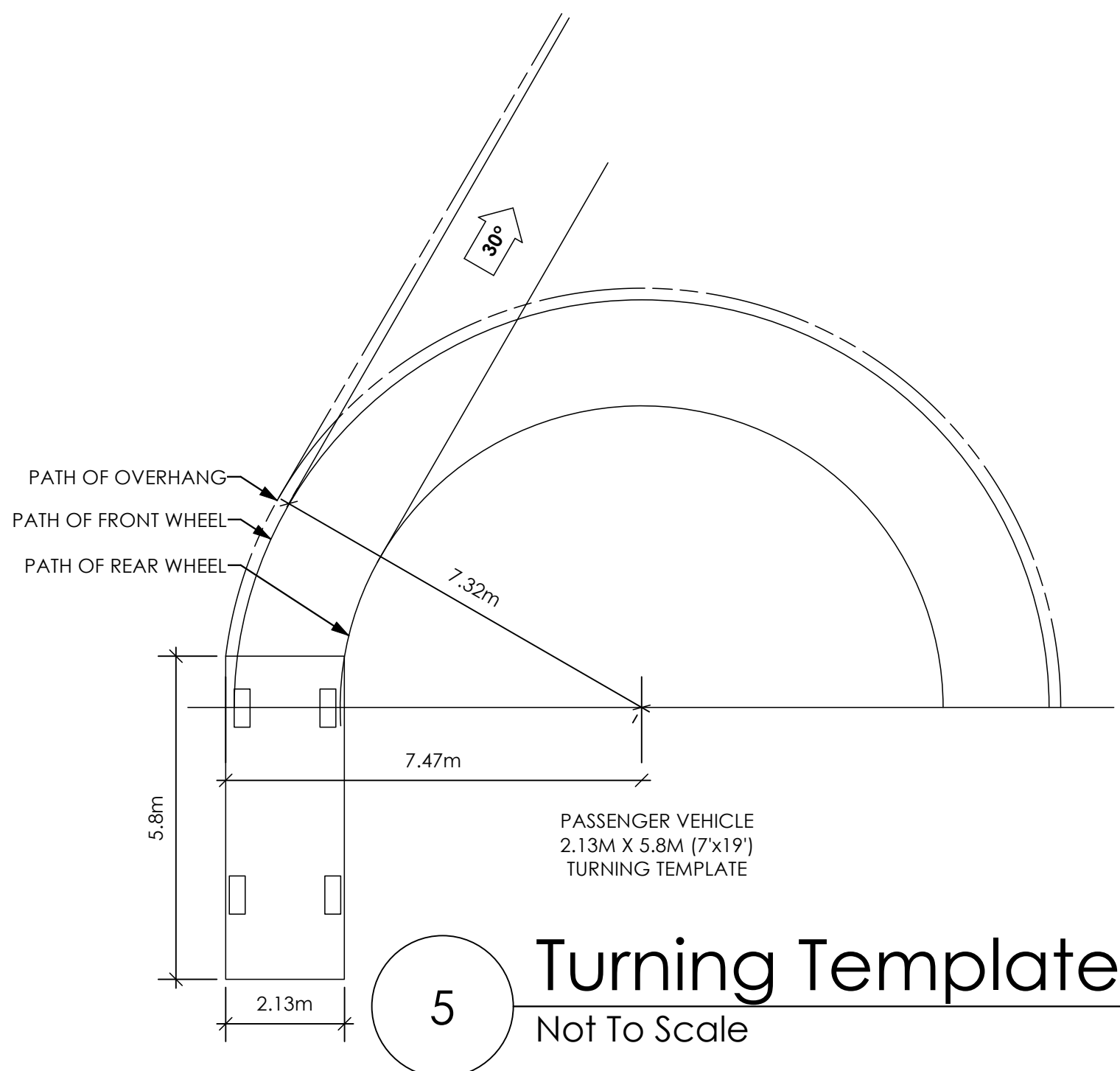
STOP & READ
 RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED
 MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.
 THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH

ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



4 Typical Fence Detail
 Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



#105 - 859 ORONO AVENUE
 VICTORIA, B.C.
 V9B 2T9
 P. 250.382.7374
 F. 250.382.7364

Date
 Nov 14, 2024

Project Address
 3593 Temperate Place
 Lot 24 - Royal Bay
 Colwood, B.C.
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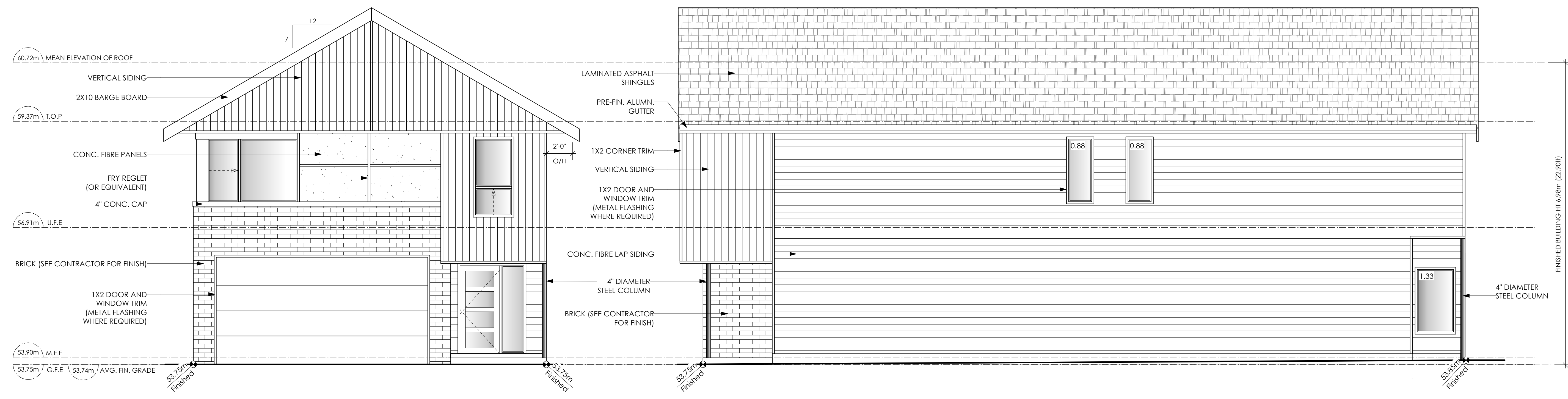
Project #
 8298-24

Scale
 As Noted

Drawn By
 MIS

BASEPLAN D
 TYPE A

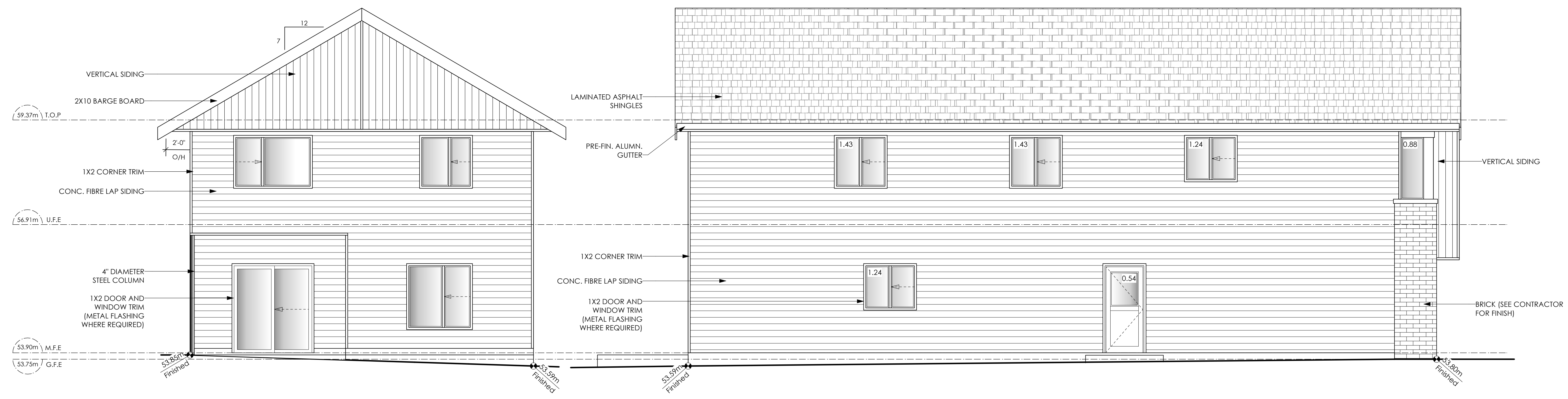
Development Permit Presentation



1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.

2 Right Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.37	m.
Exposed Building Face	92.86	sq.m.
Allowable Openings	7.50	%
Allowable Opening Area	6.96	sq.m.
Proposed Openings	3.09	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"

4 Left Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.37	m.
Exposed Building Face	102.45	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.17	sq.m.
Proposed Openings	6.76	sq.m.

Date
Nov 14, 2024

Project Address
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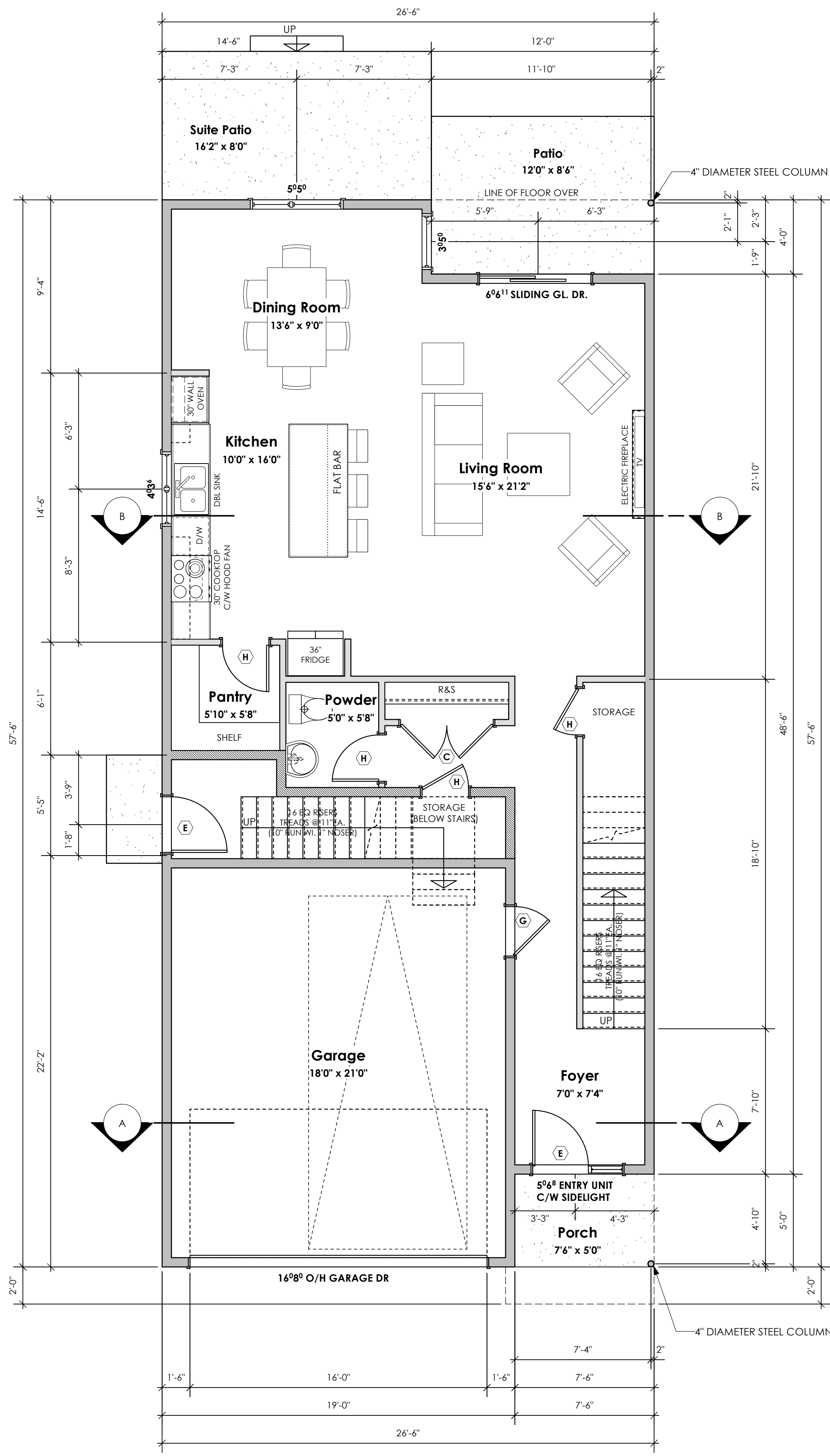
Project #
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Scale
As Noted

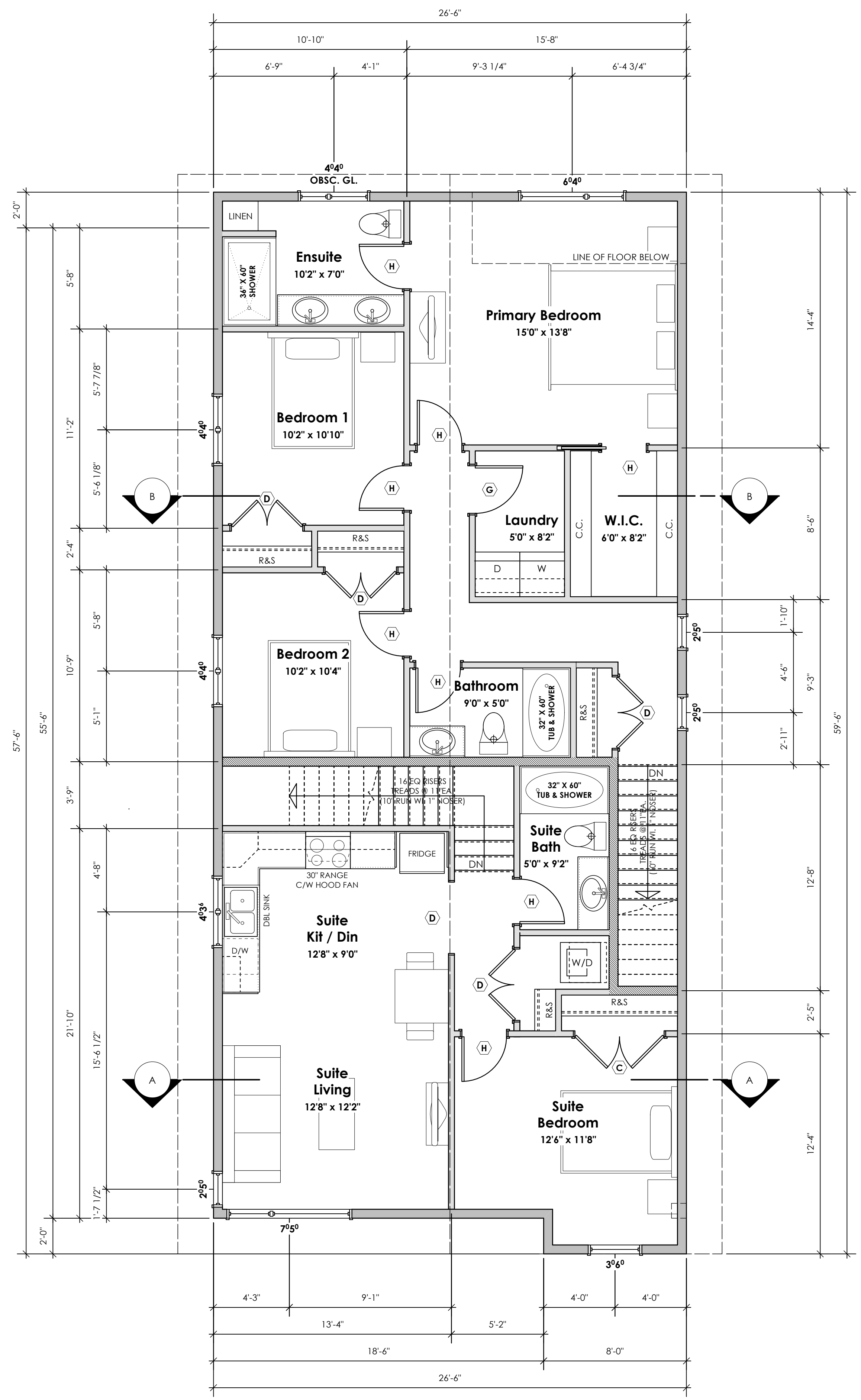
Drawn By
MIS

BASEPLAN D
TYPE A

Development Permit Presentation



1 **Main Floor Plan** Primary: 934.08 sq.ft. (86.78 sq.m.)
 Suite: 86.17 sq.ft. (8.01 sq.m.)
 Total: 1020.25 sq.ft. (94.79 sq.m.)
 Garage: 418.00 sq.ft. (38.83 sq.m.)
 Scale: 1/4" = 1'-0"



2 **Upper Floor Plan** Primary: 898.19 sq.ft. (83.45 sq.m.)
 Suite: 641.56 sq.ft. (59.60 sq.m.)
 Total: 1539.75 sq.ft. (143.05 sq.m.)
 Scale: 1/4" = 1'-0"

Development Permit Presentation

Date
 Nov 14, 2024

Project Address
 3593 Temperate Place
 Lot 24 - Royal Bay
 Colwood, B.C.

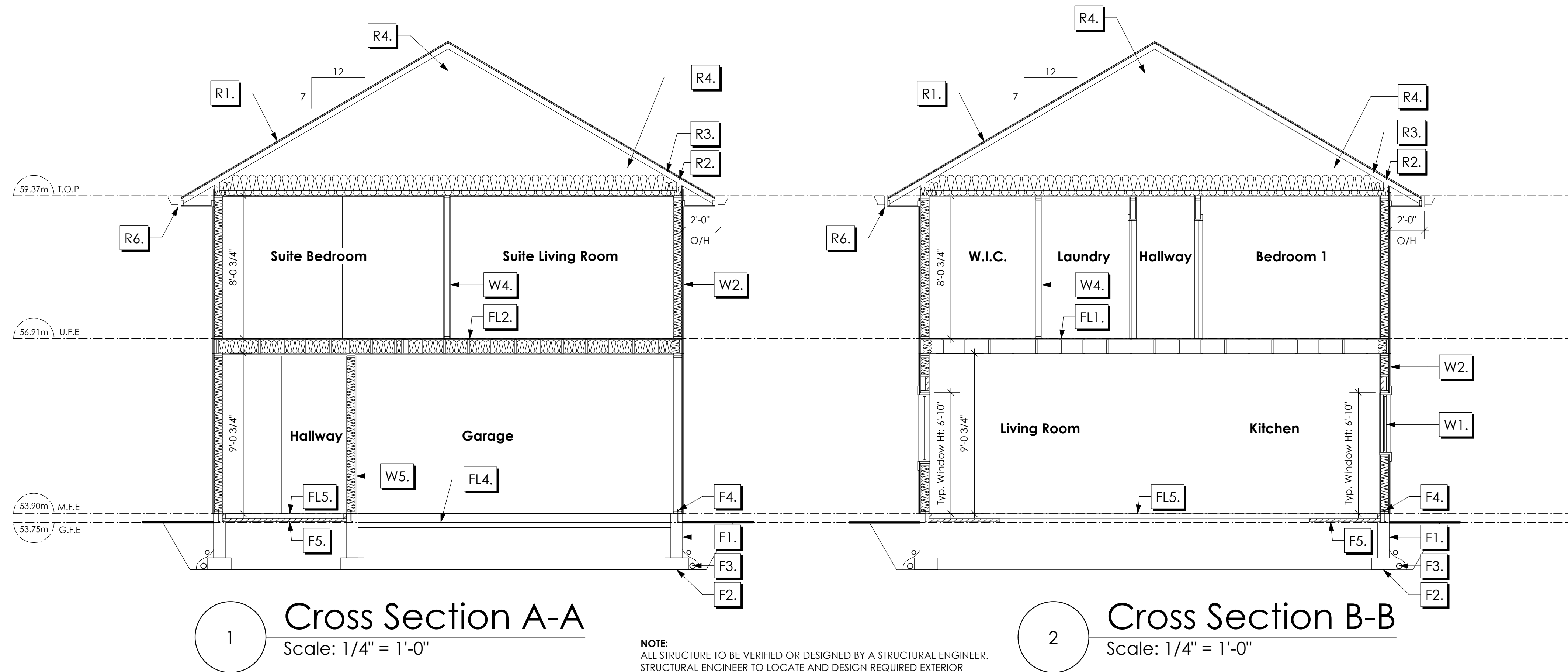
Prepared for
 Verity Construction

Project #
 8298-24

Scale
 As Noted

Drawn By
 MIS

BASEPLAN D
 TYPE A



1 Cross Section A-A
Scale: 1/4" = 1'-0"

2 Cross Section B-B
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED
GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WL B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND SLOPE MIN. 2% AWAY FROM BUILDING

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL. WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Date

Nov 14, 2024

Project Address

3593 Temperate Place
Lot 24 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-24

Scale

As Noted

Drawn By

MIS

BASEPLAN D
TYPE A

Development Permit Presentation

TEMPERATE PLACE - LOT 25

SITE DATA		CD28 - AREA 10	
ITEMS	PERMITTED	PROPOSED	
LOT AREA	278 sq.m.	360.83 sq.m.	
LOT COVERAGE	50.00 %	39.94 %	
BUILDING HEIGHT	9.50 m.	6.87 m.	
LOT WIDTH	9.00 m.	10.52 m.	
SETBACKS			
- FRONT	4.50 m.	7.73 m.	
- FRONT (GARAGE)	6.00 m.	7.73 m.	
- REAR	6.00 m.	9.04 m.	
- SIDE	1.20 m.	1.20 m.	
- SIDE	1.20 m.	1.24 m.	
PROPOSED FLOOR AREA			
- UPPER		144.08 sq.m.	
- MAIN		94.79 sq.m.	
- GARAGE		38.83 sq.m.	
SUB-TOTAL G.F.A.		277.70 sq.m.	
GARAGE ALLOWANCE	50.00 sq.m.	-38.83 sq.m.	
GROSS FLOOR AREA		238.87 sq.m.	
F.A.R.		0.66 TO 1.0	
SECONDARY SUITE			
SECONDARY SUITE (%)	40.00 %	28.30 %	
SECONDARY SUITE (\$Q.M.)	90.00 sq.m.	67.61 sq.m.	

Corrected to building height to match Elevations

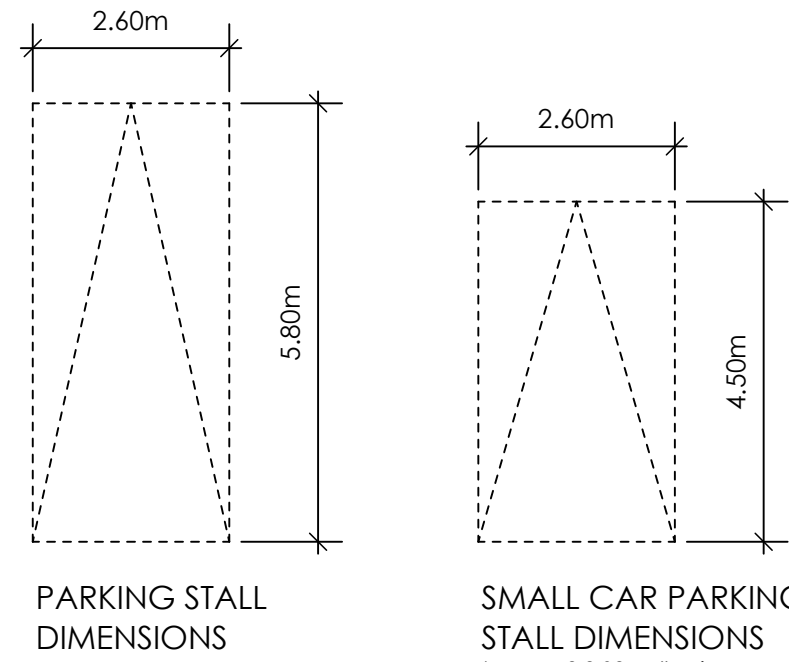
Corrected to match grading on Lot 24

Corrected to match grading on Lot 24

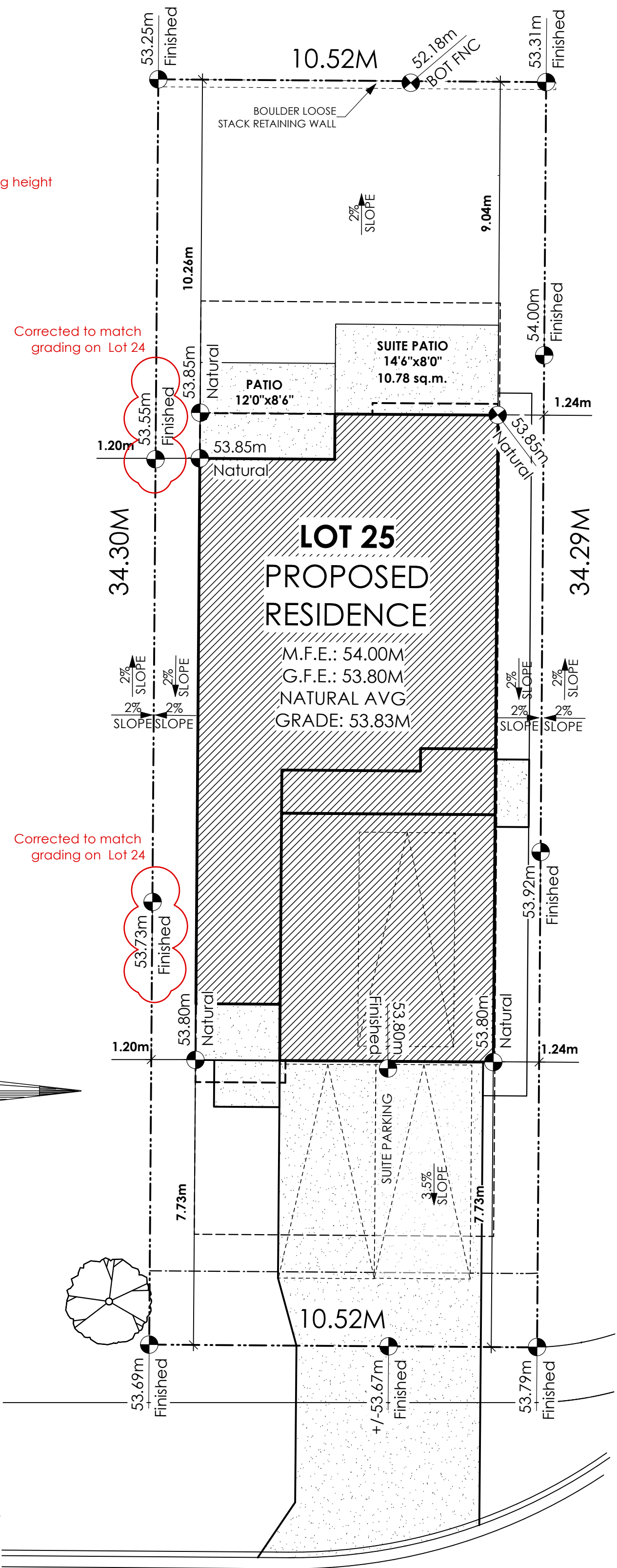
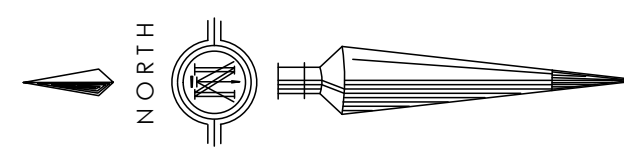
AVERAGE NATURAL GRADE CALCULATION:
 $53.80m + 53.80m + 53.85m + 53.85 = 215.30m / 4 = 53.83m$

SEE LANDSCAPING PLAN FOR TREE SCHEDULE

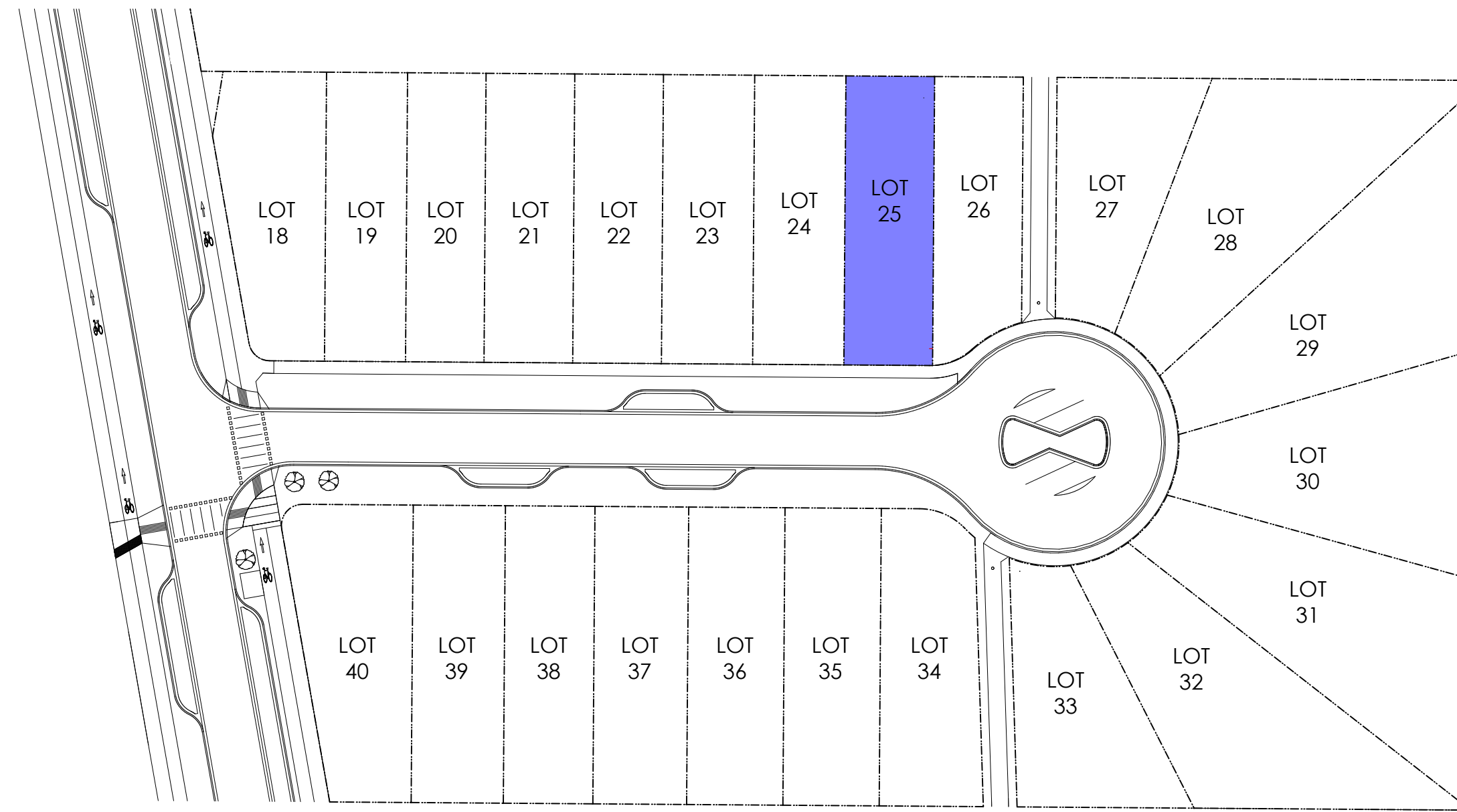
RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT, VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED



PARKING STALL DIMENSIONS
 SMALL CAR PARKING STALL DIMENSIONS
 *as per 2.2.02a allowing one stall to be a small car parking stall

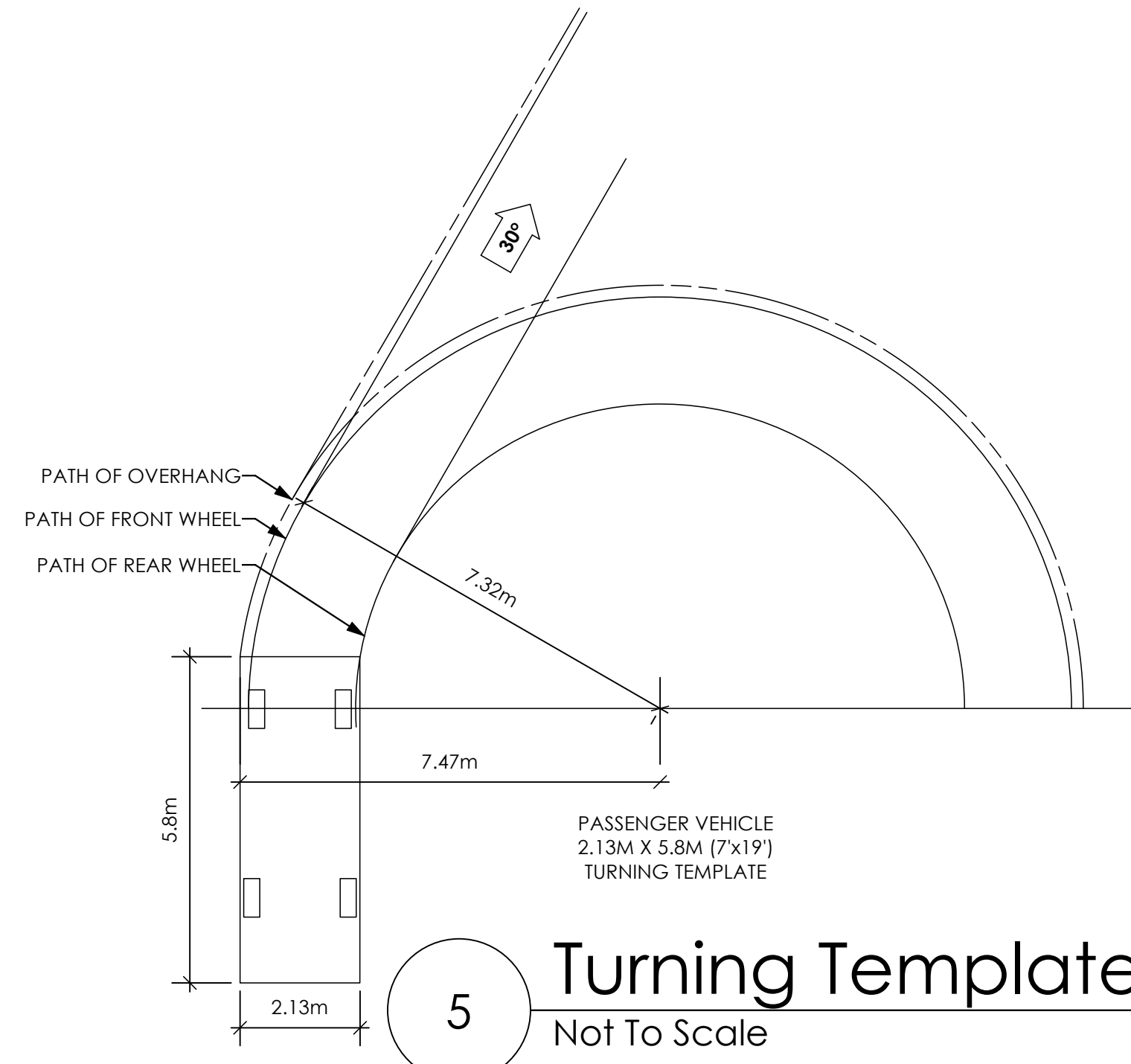


1 Site Plan
 Scale: 1:100

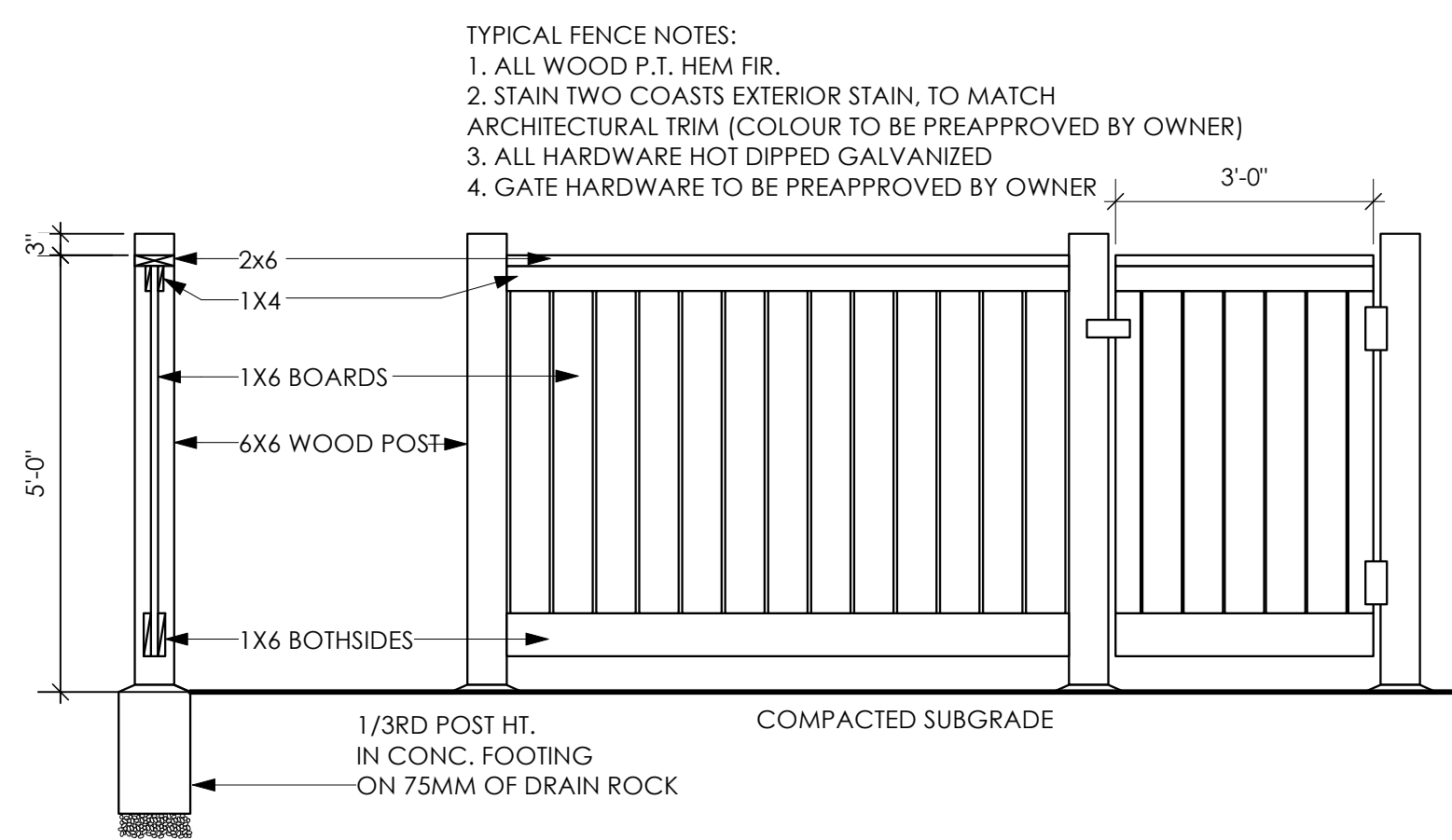


2 Key Plan
 1: 600

STOP & READ
 RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED
 MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.
 THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH
 ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



5 Turning Template
 Not To Scale



4 Typical Fence Detail
 Not To Scale

3 Tree Planting Detail
 Not To Scale
 All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

TYPICAL FENCE NOTES:
 1. ALL WOOD P.T. HEM FIR.
 2. STAIN TWO COASTS EXTERIOR STAIN, TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
 3. ALL HARDWARE HOT DIPPED GALVANIZED
 4. GATE HARDWARE TO BE PREAPPROVED BY OWNER

Development Permit Presentation

Date
 Nov 25, 2024

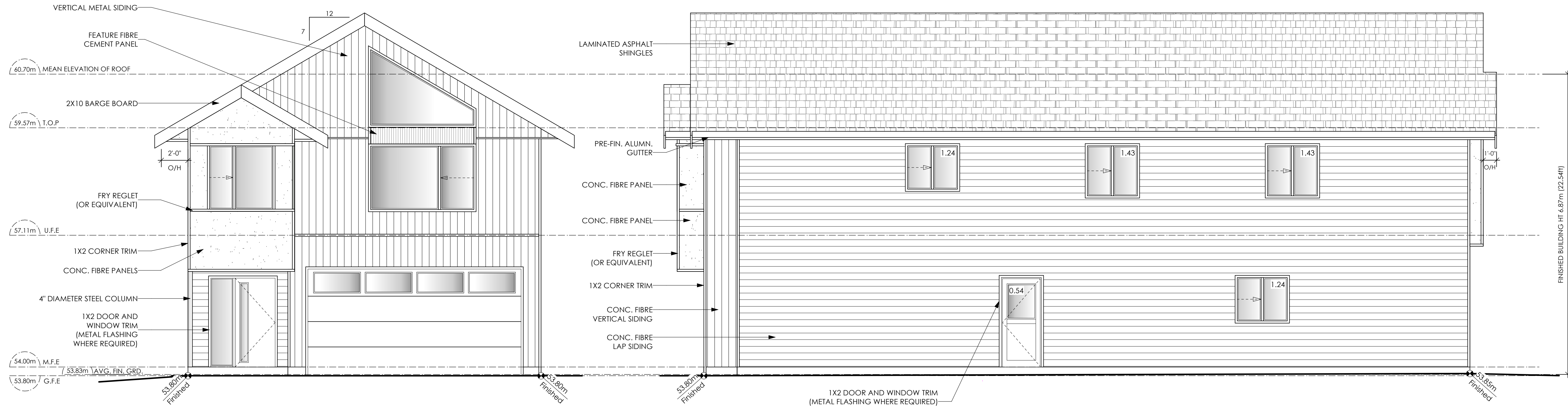
Project Address
 3595 Temperate Place
 Lot 25 - Royal Bay
 Colwood, B.C.
 Prepared for
 Verity Construction

Project #
 8298-25

Scale
 As Noted

Drawn By
 MIS/NS

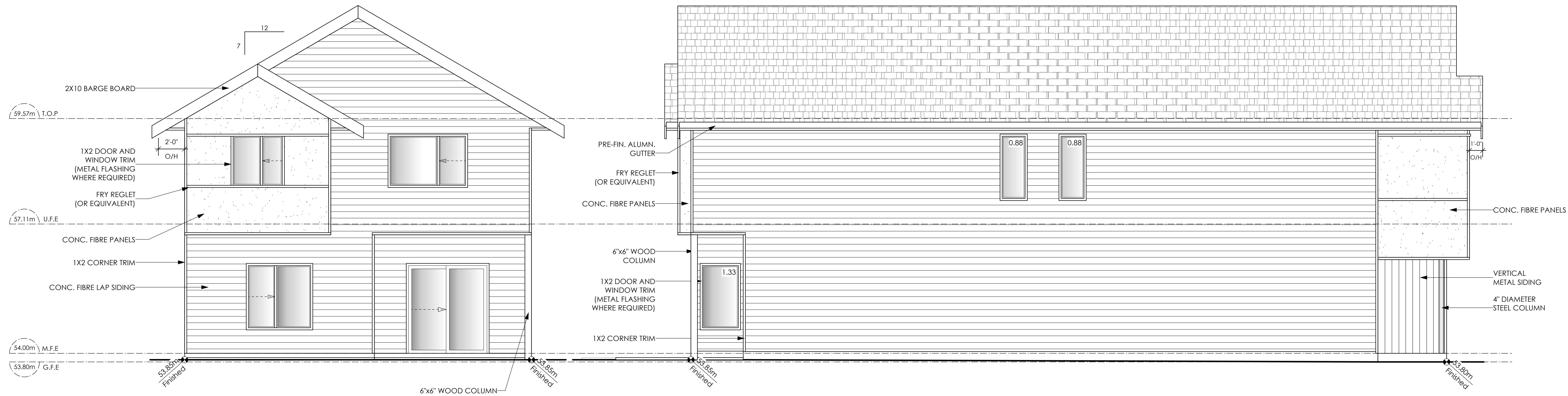
BASEPLAN D
 TYPE B



1 Front Elevation
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.

2 Right Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.24	m.
Exposed Building Face	96.65	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	6.77	sq.m.
Proposed Openings	5.88	sq.m.



3 Rear Elevation
Scale: 1/4" = 1'-0"

4 Left Side Elevation
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	103.34	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.23	sq.m.
Proposed Openings	3.09	sq.m.

Date
Nov 25, 2024

Project Address
3595 Temperate Place
Lot 25 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

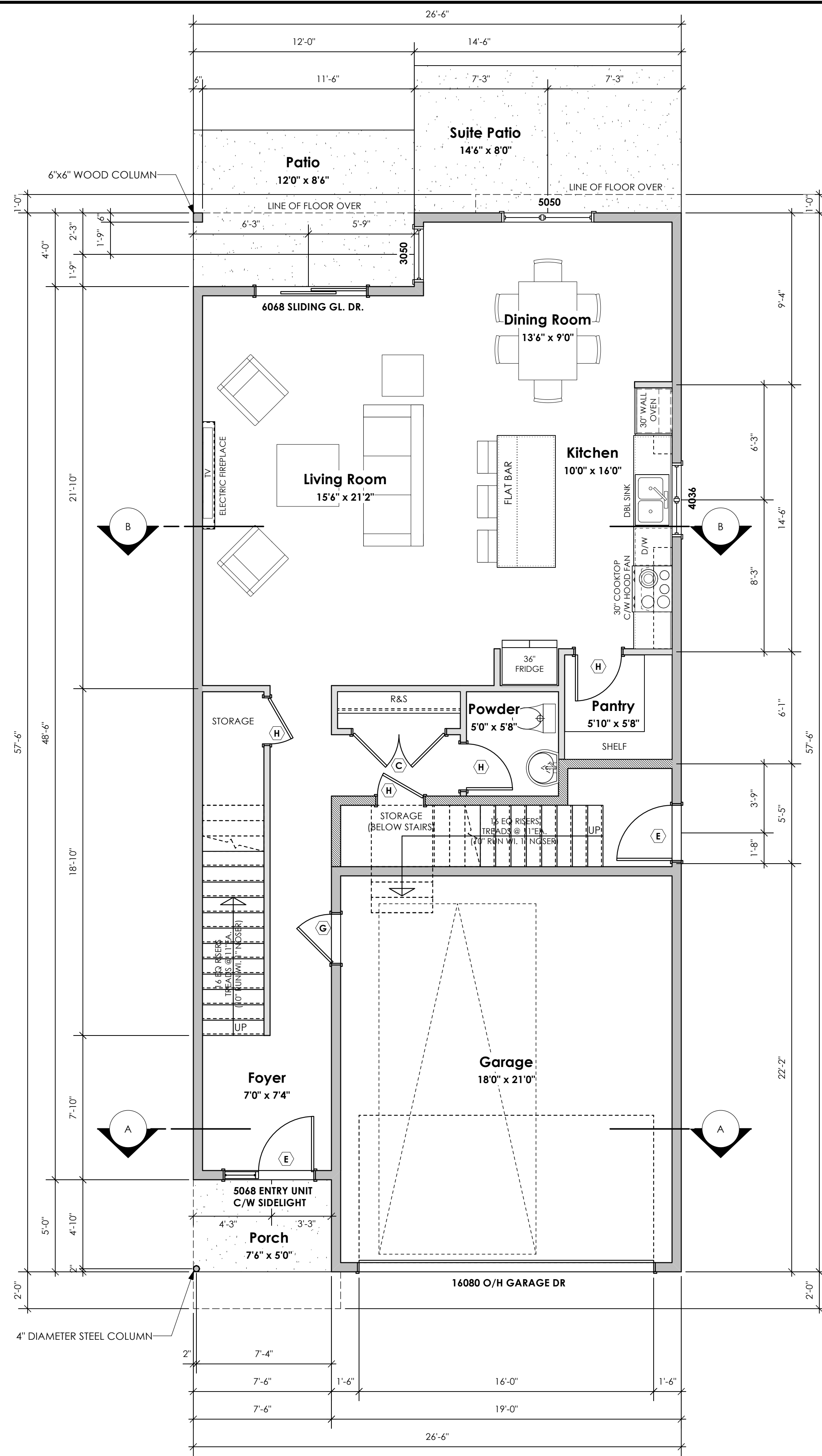
Project #
8298-25

Scale
As Noted

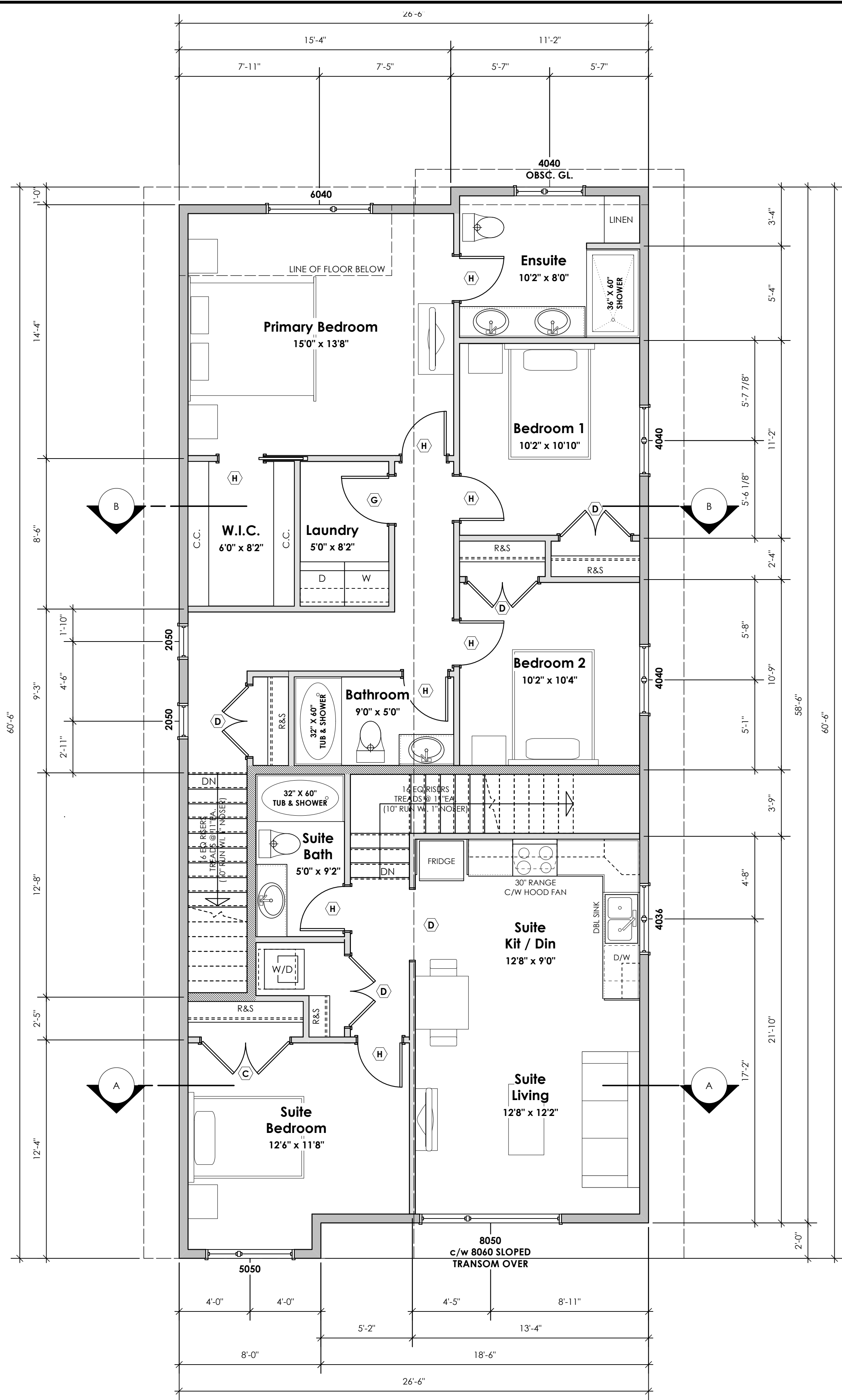
Drawn By
MIS/NS

BASEPLAN D
TYPE B

Development Permit Presentation



1 Main Floor Plan Primary: 934.08 sq.ft. (86.78 sq.m.)
Suite: 86.17 sq.ft. (8.01 sq.m.)
Total: 1020.25 sq.ft. (94.79 sq.m.)
Garage: 418.00 sq.ft. (38.83 sq.m.)
Scale: 1/4" = 1'-0"



2 Upper Floor Plan Primary: 909.36 sq.ft. (84.48 sq.m.)
Suite: 641.56 sq.ft. (59.60 sq.m.)
Total: 1550.92 sq.ft. (144.08 sq.m.)
Scale: 1/4" = 1'-0"

Development Permit Presentation

Date
Nov 25, 2024

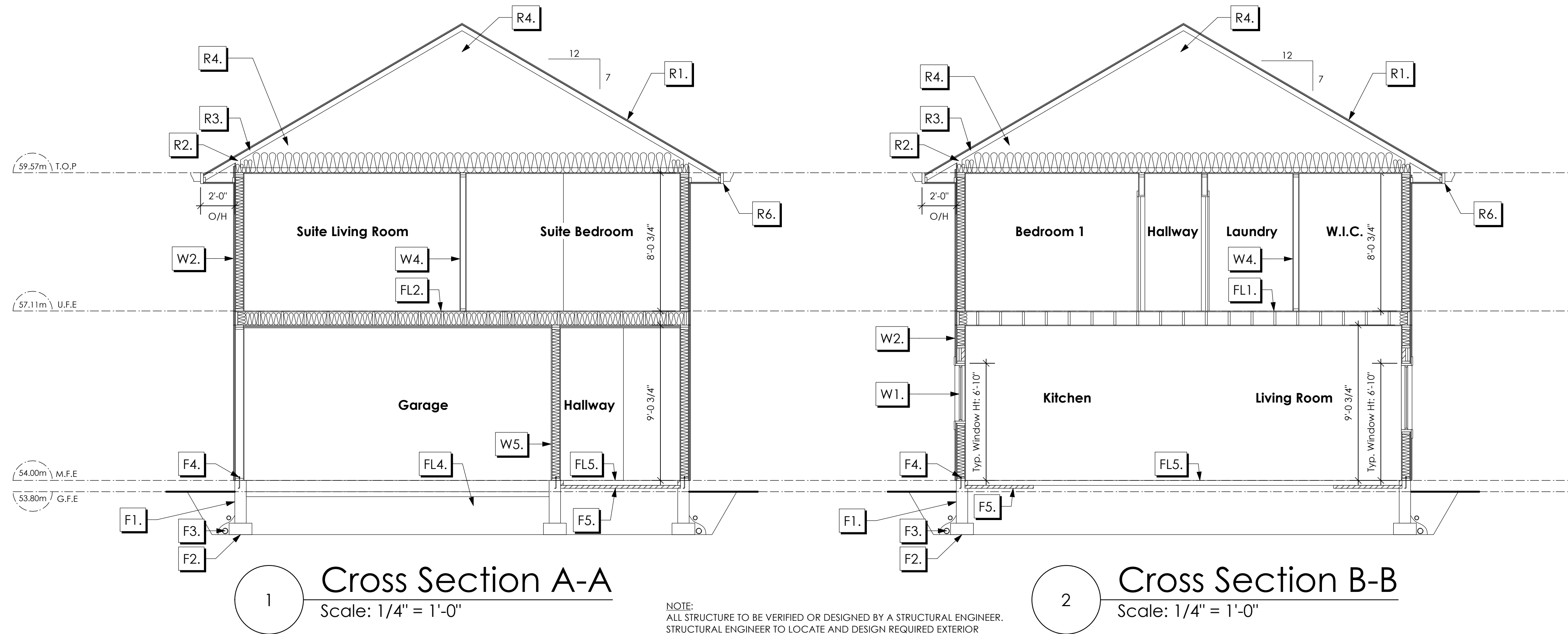
Project Address
3595 Temperate Place
Lot 25 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-25

Scale
As Noted

Drawn By
MIS/NS

BASEPLAN D
TYPE B



1 Cross Section A-A
Scale: 1/4" = 1'-0"

2 Cross Section B-B
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED
GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLYN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R5. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.I.C.
- FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND SLOPE MIN. 2% AWAY FROM BUILDING

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL. WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP [A.B.] (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATTIS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.I.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Date

Nov 25, 2024

Project Address

3595 Temperate Place
Lot 25 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

Project

8298-25

Scale

As Noted

Drawn By

MIS/NS

BASEPLAN D
TYPE B

Development Permit Presentation

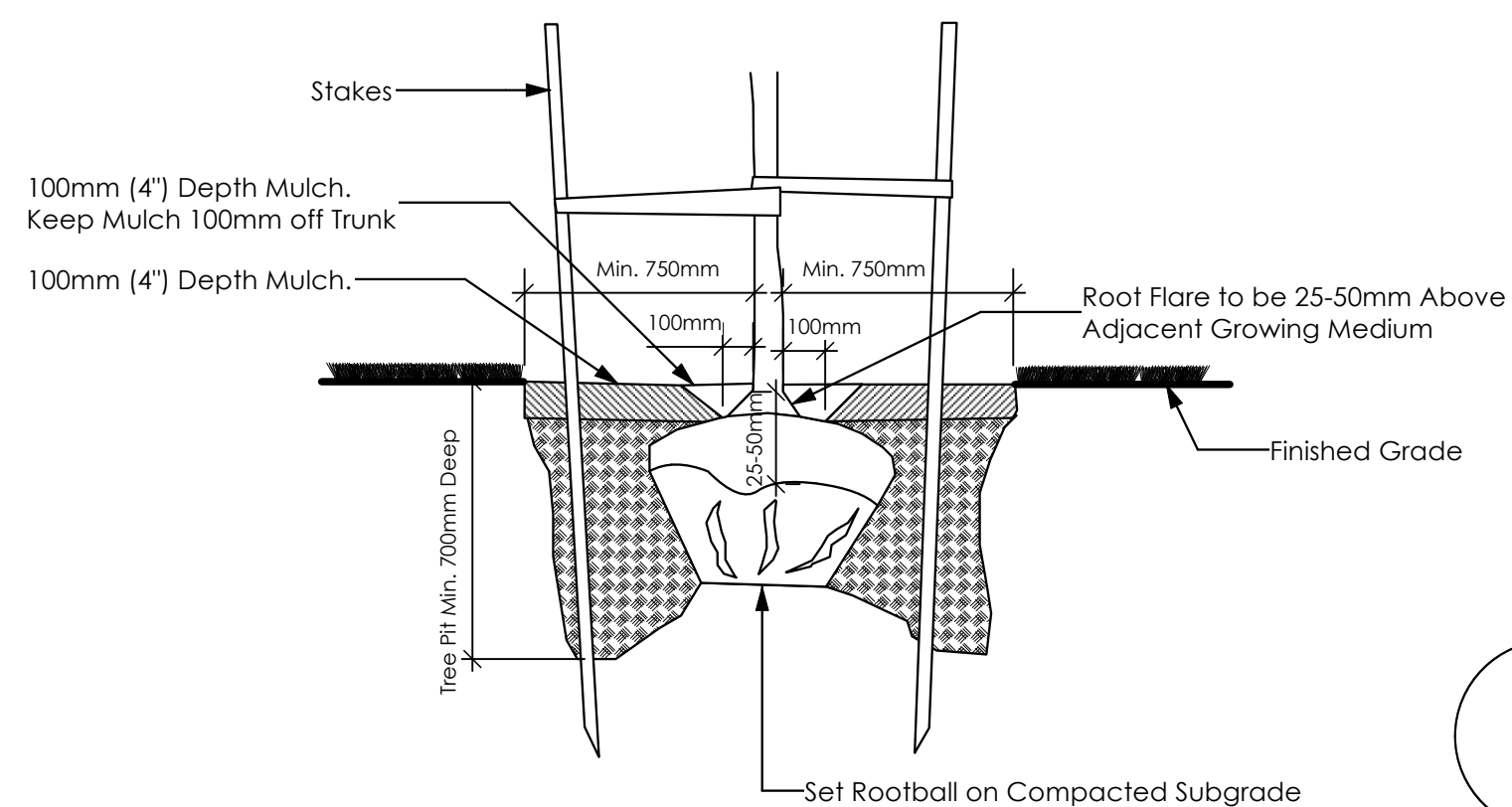
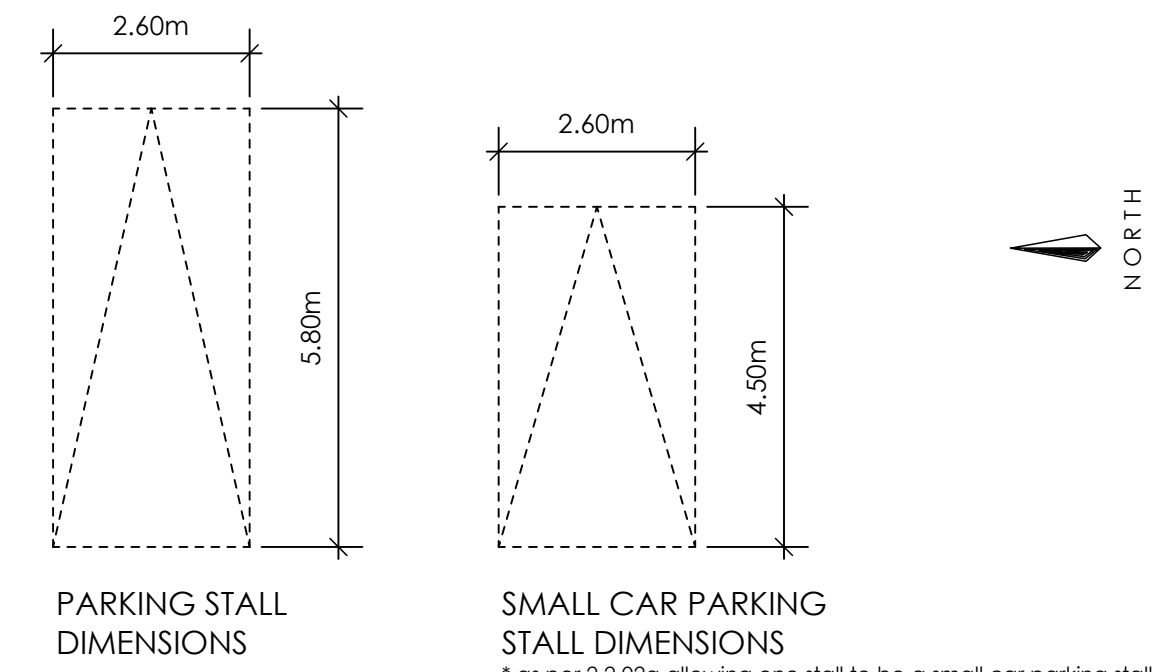
TEMPERATE PLACE - LOT 26

SITE DATA		CD28 - AREA 10	
ITEMS	PERMITTED	PROPOSED	
LOT AREA	278 sq.m.	335.08 sq.m.	
LOT COVERAGE	50.00 %	43.01 %	
BUILDING HEIGHT	9.50 m.	6.85 m.	
LOT WIDTH	9.00 m.	10.52 m.	
SETBACKS			
- FRONT	4.50 m.	5.60 m.	
- FRONT (GARAGE)	6.00 m.	6.00 m.	
- REAR	6.00 m.	6.00 m.	
- SIDE	1.20 m.	1.20 m.	
- SIDE	1.20 m.	1.24 m.	
PROPOSED FLOOR AREA			
- UPPER		145.96 sq.m.	
- MAIN		92.51 sq.m.	
- GARAGE		40.89 sq.m.	
SUB-TOTAL G.F.A.		279.36 sq.m.	
GARAGE ALLOWANCE	50.00 sq.m.	-40.89 sq.m.	
GROSS FLOOR AREA		238.47 sq.m.	
F.A.R.		0.71 TO 1.0	
SECONDARY SUITE			
SECONDARY SUITE (%)	40.00 %	28.61 %	
SECONDARY SUITE (SQ.M.)	90.00 sq.m.	68.22 sq.m.	

AVERAGE NATURAL GRADE CALCULATION:
 $53.90m + 53.90m + 53.90m + 53.70m = 215.40m / 4 = 53.85m$

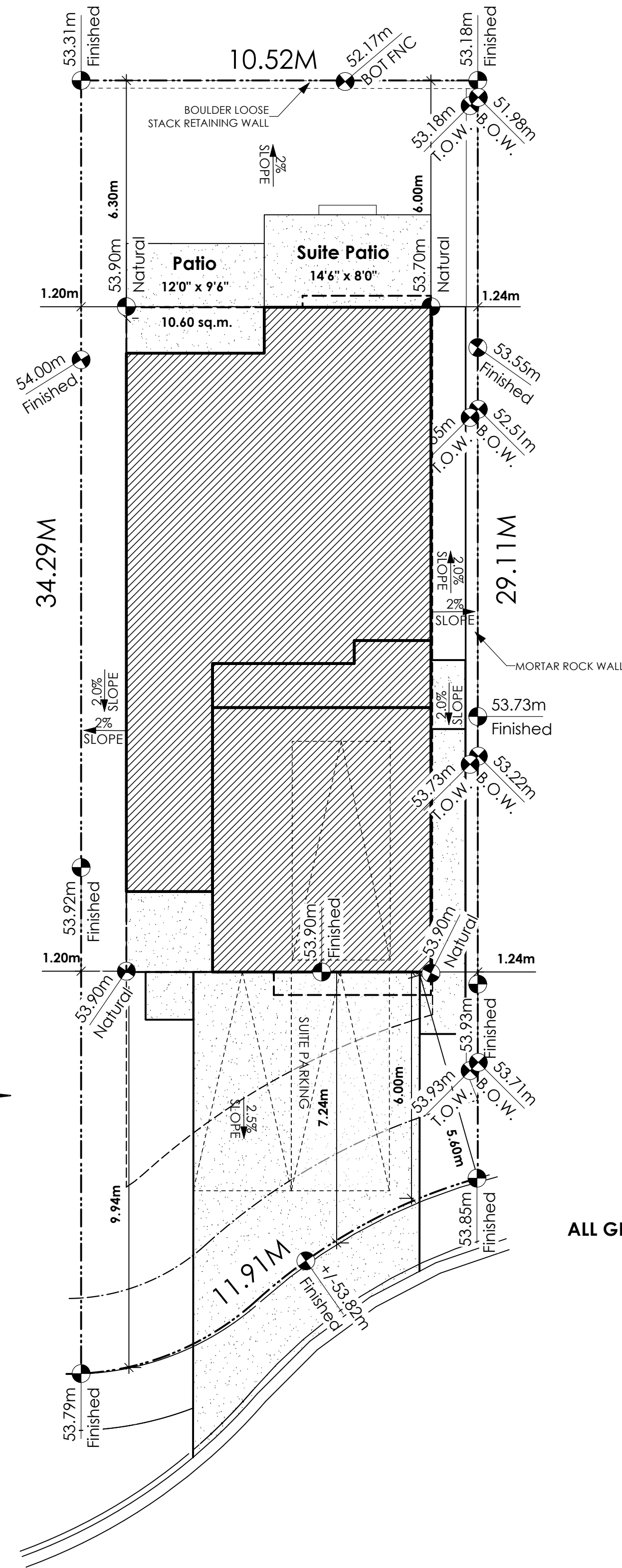
SEE LANDSCAPING PLAN FOR TREE SCHEDULE

RETAINING WALLS
 XX.Xm = DESIGNER APPROXIMATE HEIGHT MEASUREMENT. VERIFY ON SITE
 - TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS)
 - ALL LANDSCAPE RETAINING WALLS TO HAVE A 1.2m MAX. EXPOSED HT OR A MAX. 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED

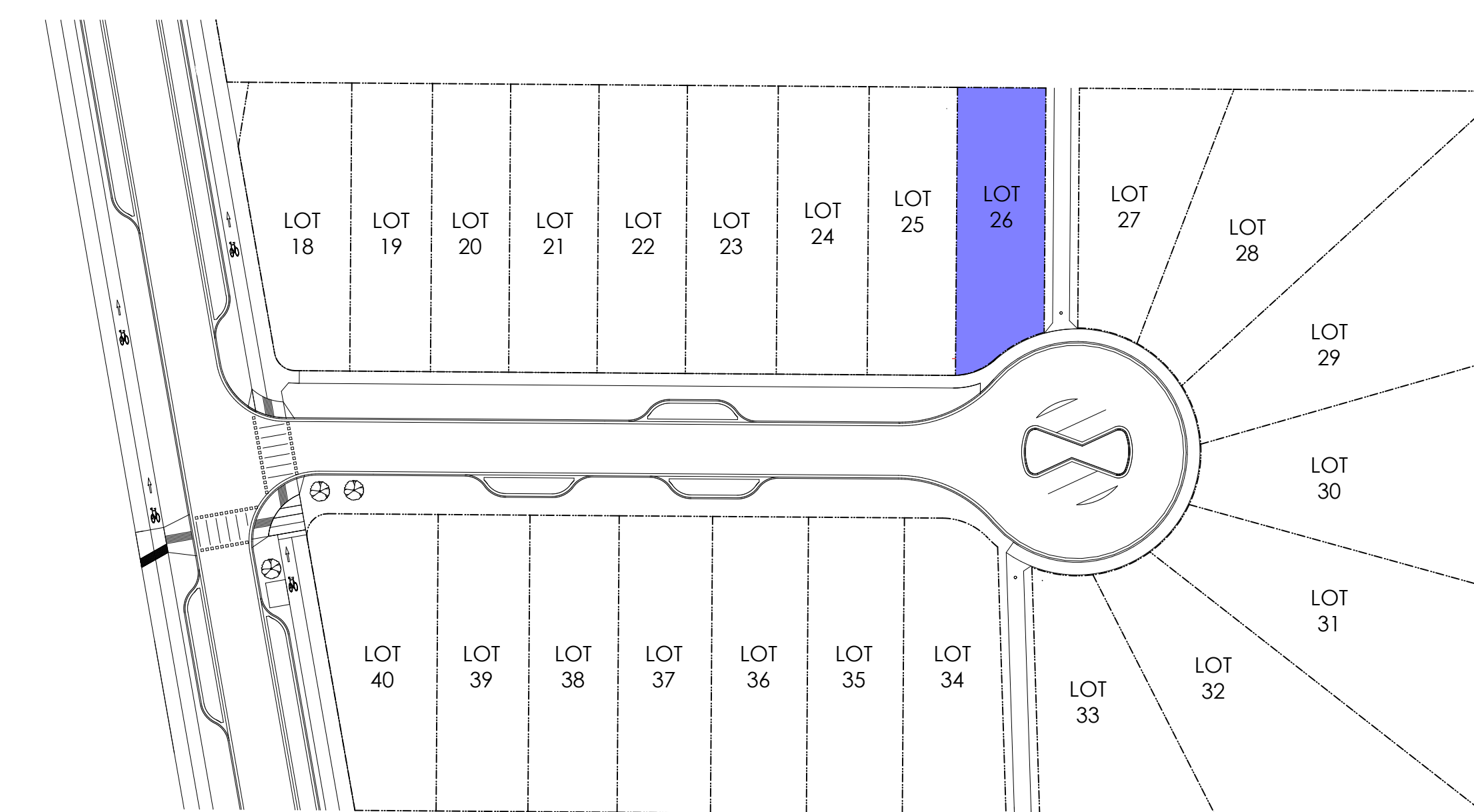


3 Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

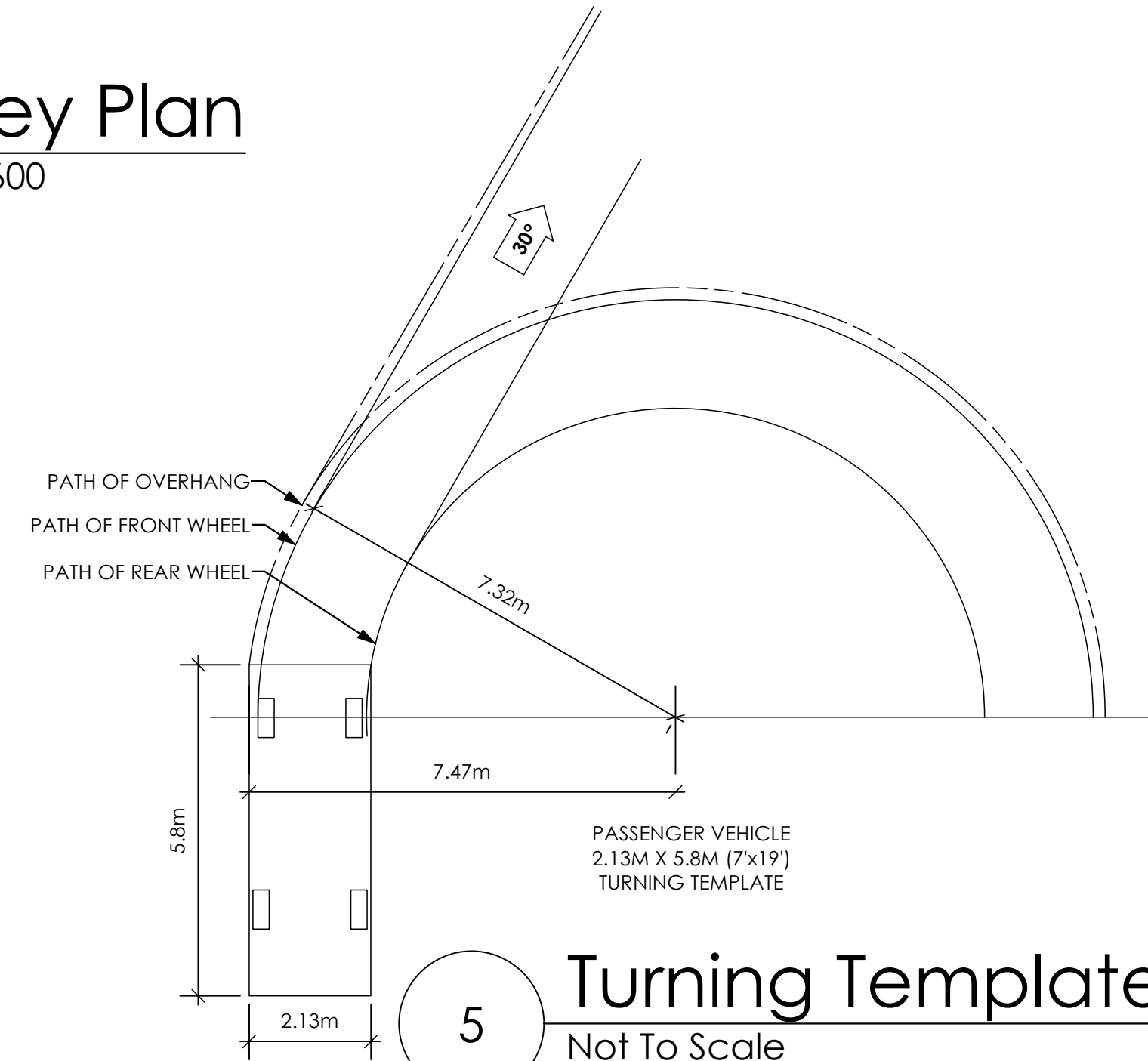


1 Site Plan
Scale: 1:100

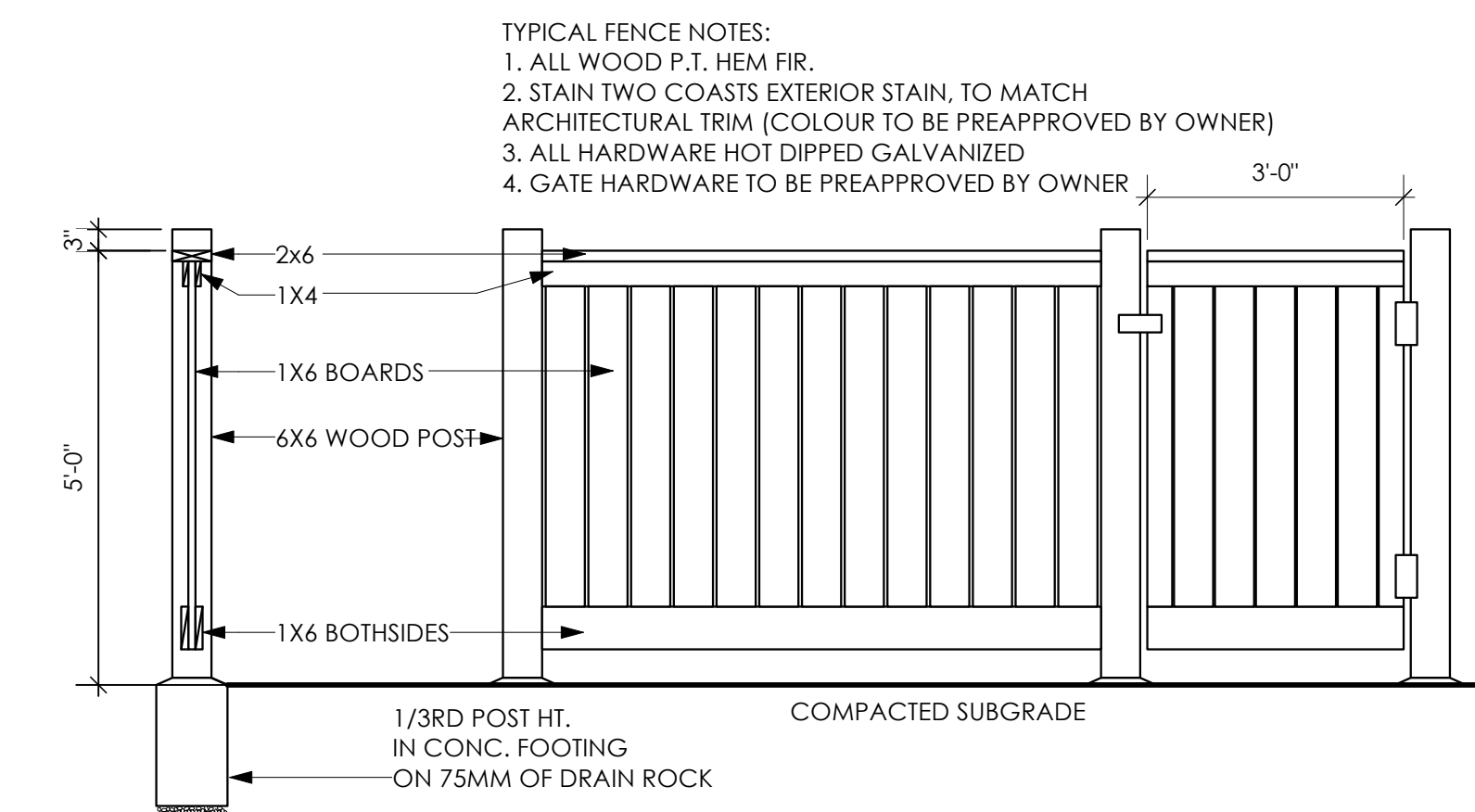


2 Key Plan
1: 600

STOP & READ
 RETAINING WALLS MAY NOT EXCEED 1.2m IN HEIGHT OR A 1:1 RATIO OF HEIGHT TO HORIZONTAL SEPARATION IF TERRACED
 MAXIMUM PROJECTIONS / CANTILEVERS / OVERHANGS INTO SETBACKS ARE 0.65m IN YARDS OF LESS THAN 3.0m AND 1.0m IN YARDS OF 3.0m+.
 THE WIDTH OF THE DRIVEWAY ACCESS (AT PROPERTY LINE - CROSSING THE CITY BOULEVARD) MAY NOT EXCEED 7.0m IN WIDTH
 ALL GRADES TO BE CONFIRMED ON SITE PRIOR TO STARTING CONSTRUCTION



5 Turning Template
Not To Scale



4 Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/L1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21

Date

Nov 5, 2024

Project Address

3597 Temperate Place
 Lot 26 - Royal Bay
 Colwood, B.C.
 Prepared for

Verity Construction

Project #

8298-26

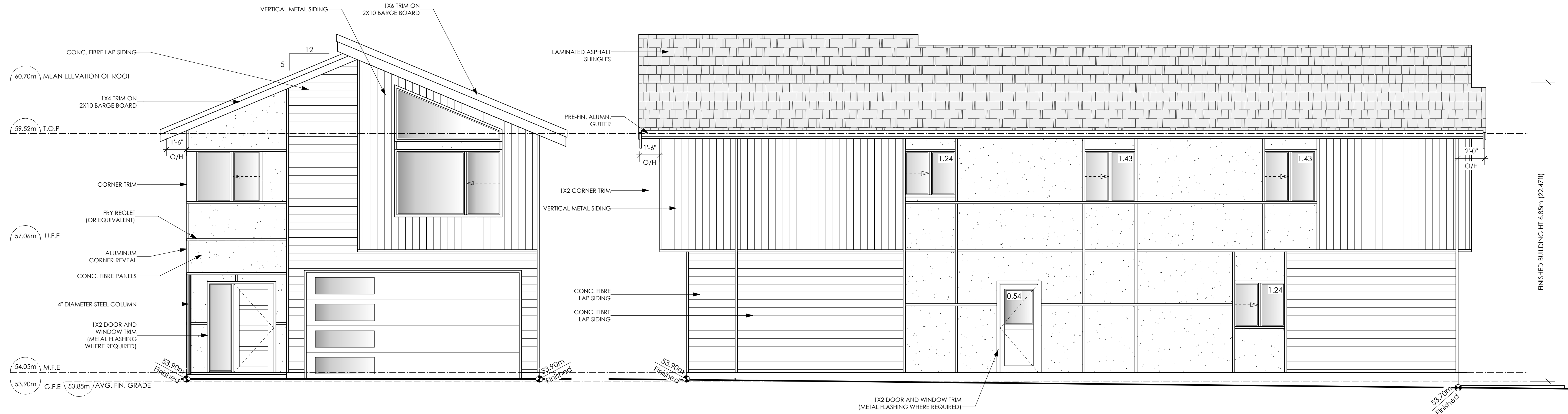
Scale

As Noted

Drawn By

MIS

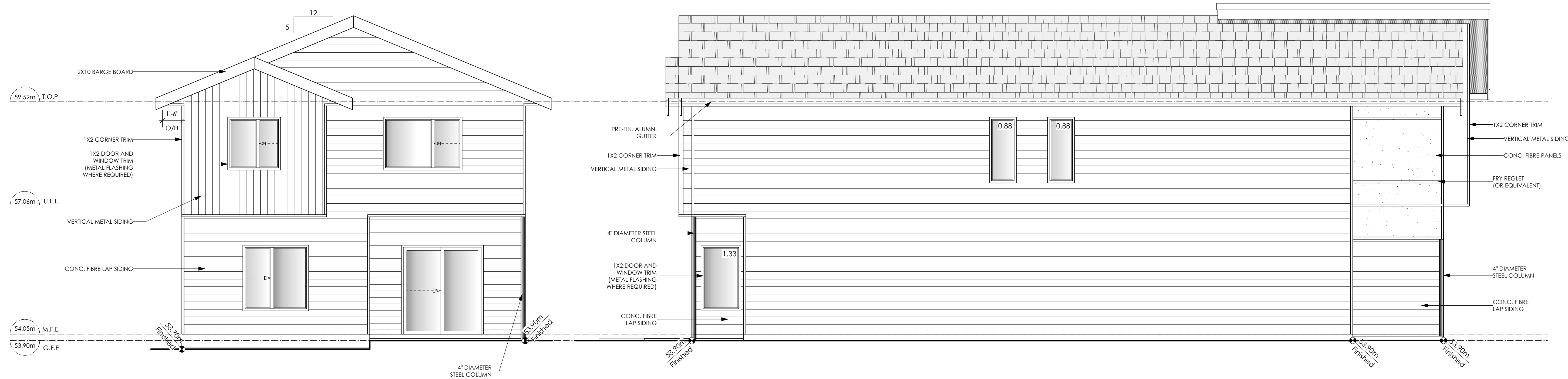
BASEPLAN D
 TYPE D



1 **Front Elevation**
Scale: 1/4" = 1'-0"
CONTRACTOR TO ENSURE ALL REQUIRED FLASHING ARE NON-GALVANISED.

2 **Right Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.24	m.
Exposed Building Face	104.91	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.34	sq.m.
Proposed Openings	5.88	sq.m.



3 **Rear Elevation**
Scale: 1/4" = 1'-0"

4 **Left Side Elevation**
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	102.85	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.20	sq.m.
Proposed Openings	3.09	sq.m.

Date

Nov 5, 2024

Project Address

3597 Temperate Place
Lot 26 - Royal Bay
Colwood, B.C.
Prepared for

Verity Construction

Project #

8298-26

Scale

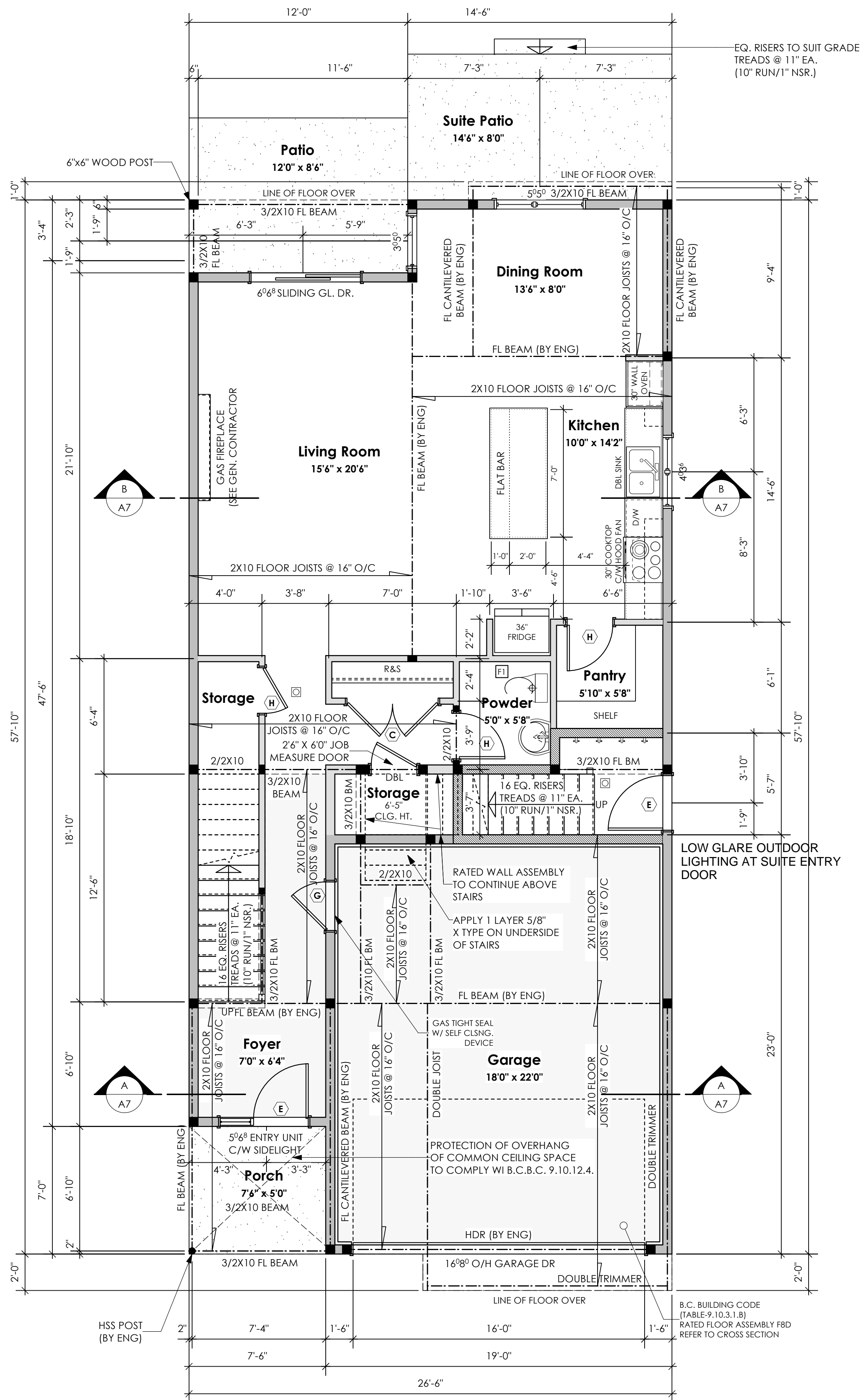
As Noted

Drawn By

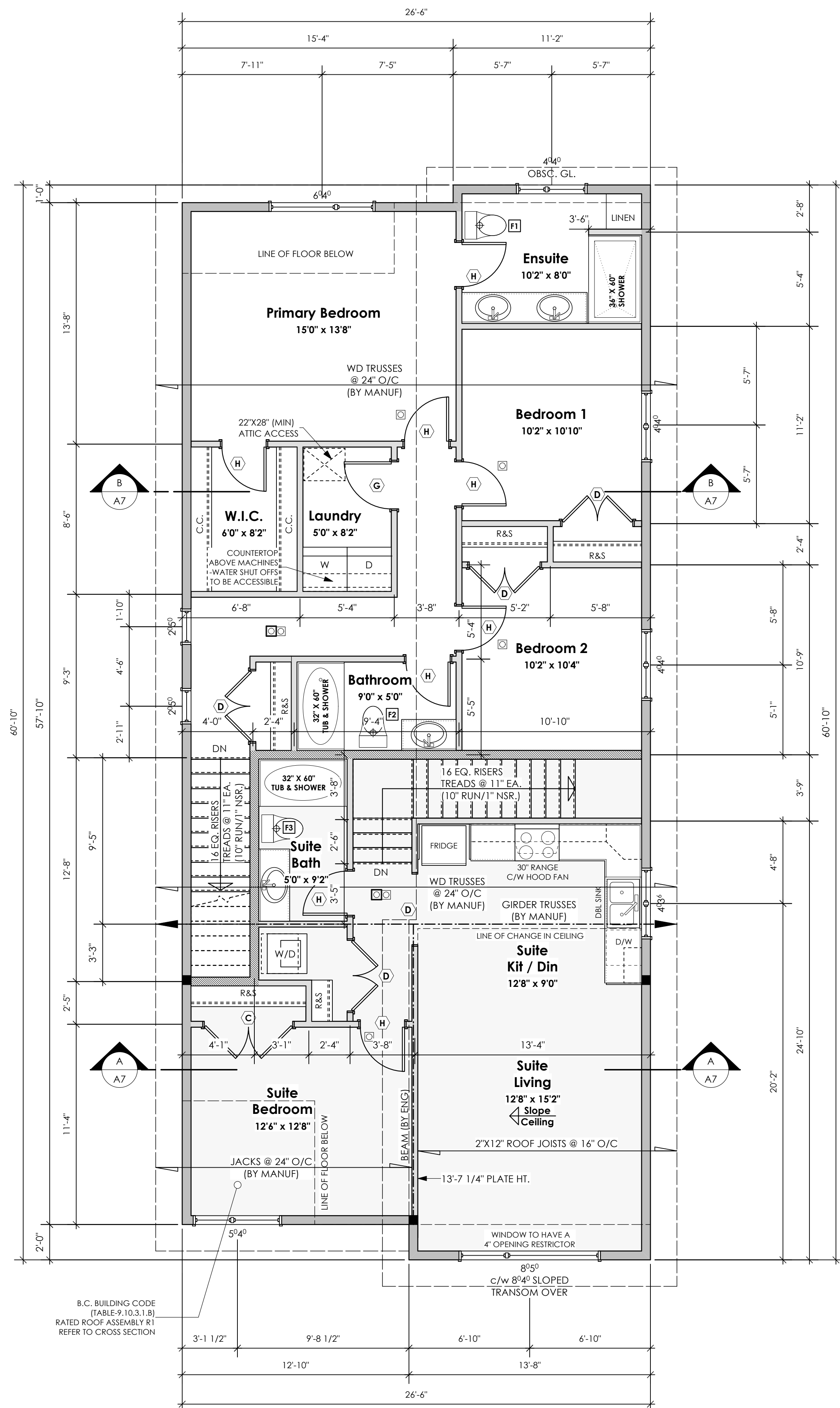
MIS

BASEPLAN D
TYPE D

Development Permit Presentation



1 Main Floor Plan Primary: 940.83 sq.ft. (87.41 sq.m.)
Suite: 54.94 sq.ft. (5.10 sq.m.)
Total: 995.47 sq.ft. (92.51 sq.m.)
Garage: 437.00 sq.ft. (40.89 sq.m.)
Scale: 1/4" = 1'-0"



2 Upper Floor Plan Primary: 891.69 sq.ft. (82.84 sq.m.)
Suite: 679.39 sq.ft. (63.12 sq.m.)
Total: 1571.08 sq.ft. (145.96 sq.m.)
Scale: 1/4" = 1'-0"

Date

Nov 5, 2024

Project Address

3597 Temperate Place
Lot 26 - Royal Bay
Colwood, B.C.
Prepared for

Verity Construction

Project #

8298-26

Scale

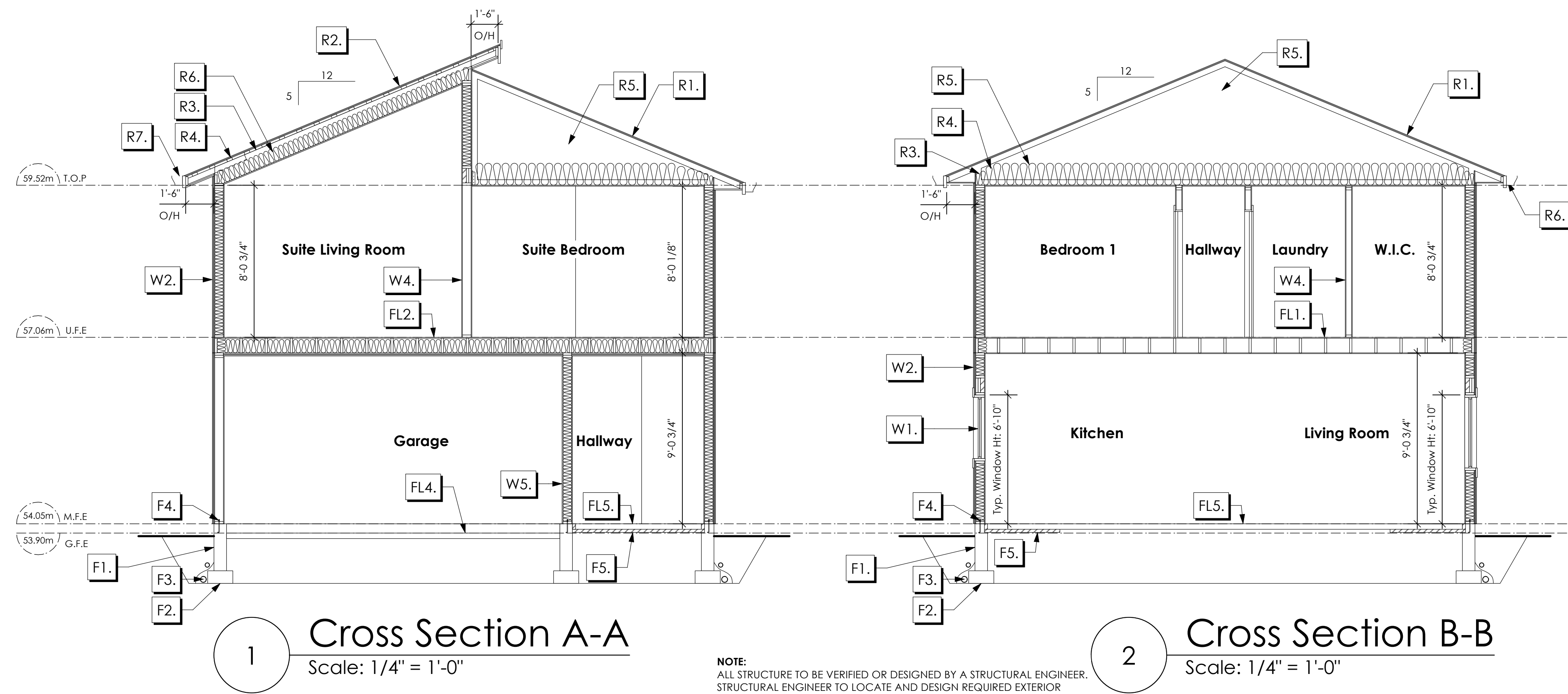
As Noted

Drawn By

MIS

BASEPLAN D
TYPE D

Development Permit Presentation



1 Cross Section A-A
Scale: 1/4" = 1'-0"

2 Cross Section B-B
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED
GROUND LEVEL SHALL BE PRESURE TREATED WITH A PRESERVATIVE
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLAS LOOSE FILL INSULATION 4 MIL POLYN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS 2x4 STRAPPING @ 16" O/C ON 2x12 ROOF JOISTS @ 16" O/C C/W R-32 FIBRE GLAS BATT INSULATION 4 MIL POLYN V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 150 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)
- R8. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE-9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 11/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)
- FL4. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL5. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND SLOPE MIN. 2% AWAY FROM BUILDING

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (bearing walls only) (TYPICAL. WI. 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLAS SOUND BATT 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)

Date

Nov 5, 2024

Project Address

3597 Temperate Place
Lot 26 - Royal Bay
Colwood, B.C.
Prepared for

Verity Construction

Project #

8298-26

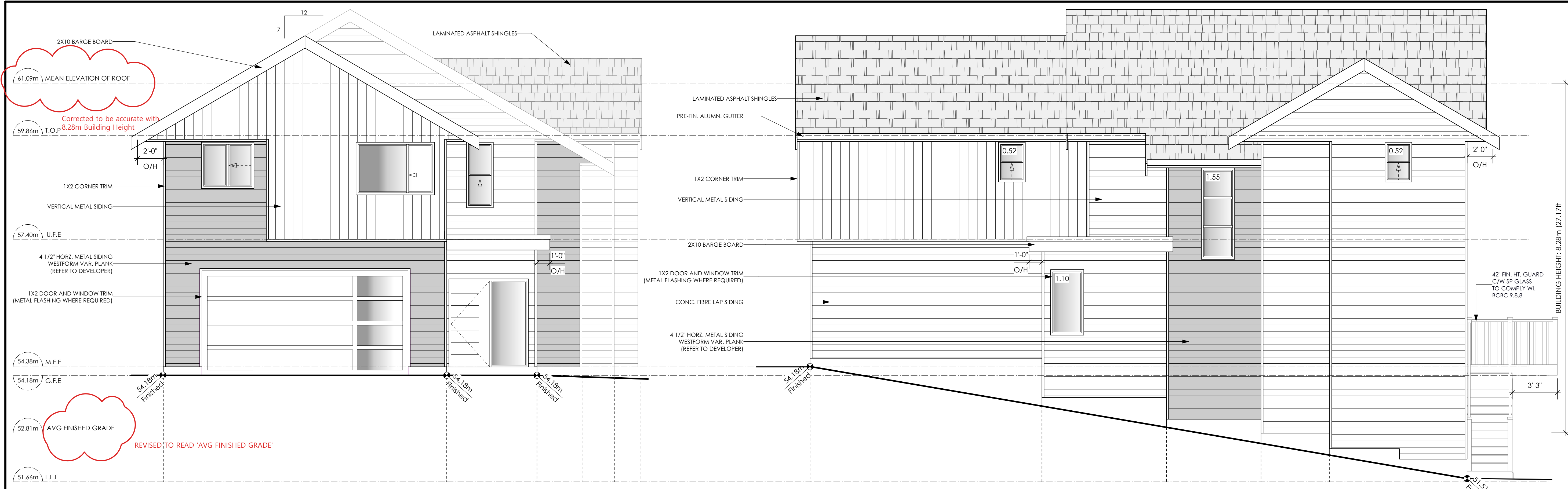
Scale

As Noted

Drawn By

MIS

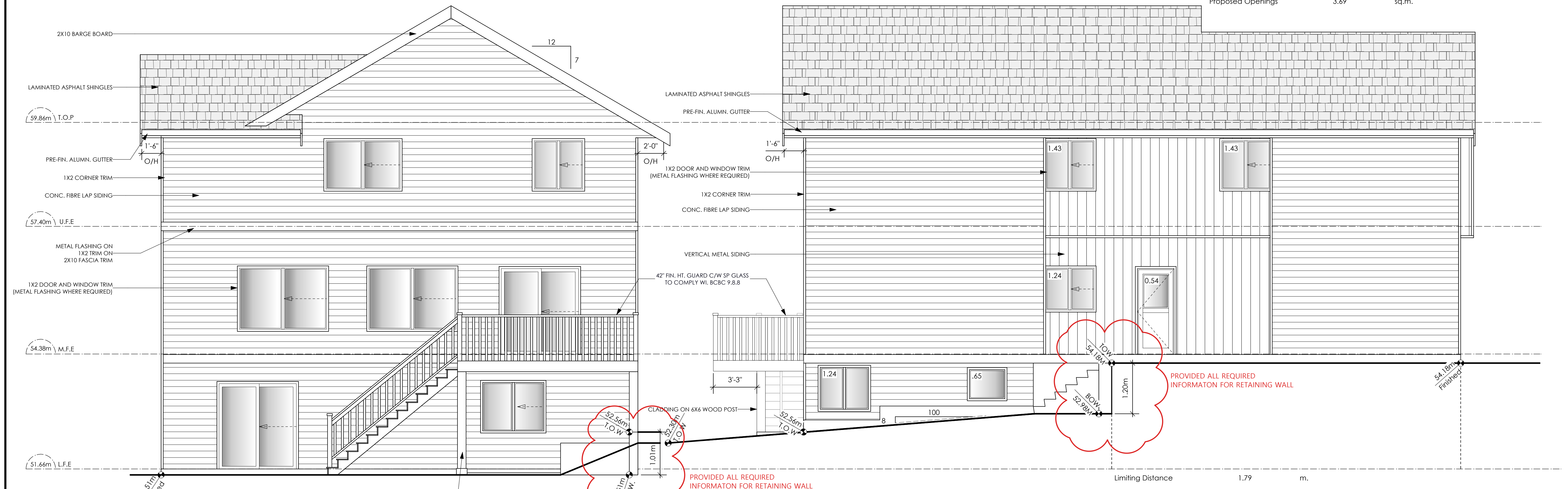
BASEPLAN D
TYPE D



1 Front Elevation
 Scale: 1/4" = 1'-0"

2 Right Side Elevation
 Scale: 1/4" = 1'-0"

Limiting Distance	1.25	m.
Exposed Building Face	110.27	sq.m.
Allowable Openings	7.0	%
Allowable Opening Area	7.72	sq.m.
Proposed Openings	3.69	sq.m.



3 Rear Elevation
 Scale: 1/4" = 1'-0"

4 Left Side Elevation
 Scale: 1/4" = 1'-0"

Limiting Distance	1.79	m.
Exposed Building Face	102.00	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	7.14	sq.m.
Proposed Openings	6.53	sq.m.

Development Permit Presentation

Date
 Nov 15, 2024

Project Address
 3599 Temperate Place
 Lot 27 - Royal Bay
 Colwood, B.C.
 Prepared for
 Verity Construction

Project #
 8298-27

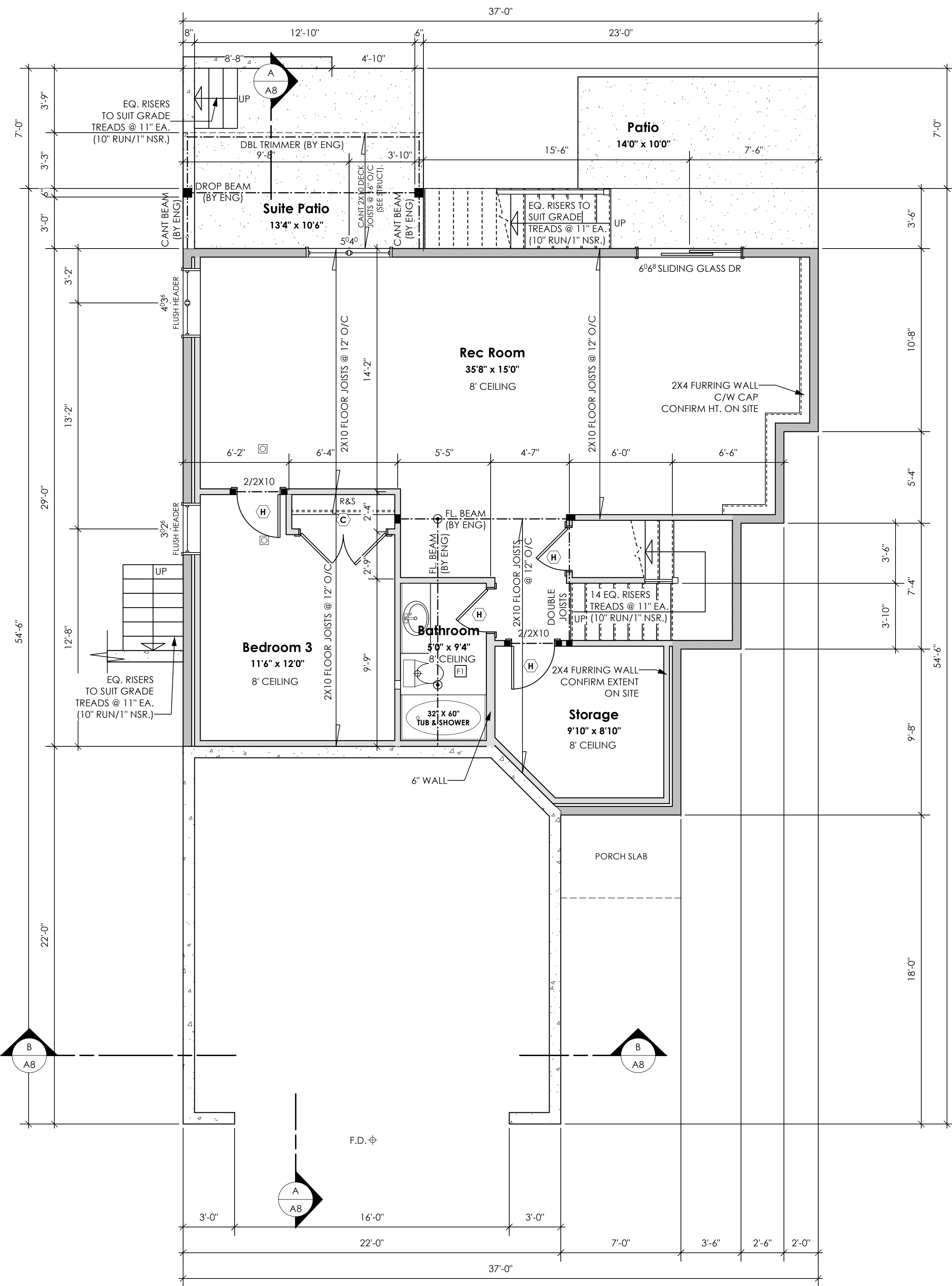
Scale
 As Noted

Drawn By
 MDK

BASE PLAN E
 TYPE A

ADDED FLOOR PLAN
BACK INTO DP PACKAGE

#103 - 891 ATTREE AVENUE
VICTORIA, B.C.
V9B 0A6
P. 250.382.7374
F. 250.382.7364



1 Lower Floor Plan
Scale: 1/4" = 1'-0"
Primary: 1019.19 sq.ft. (94.69 sq.m.)

Development Permit Presentation

Date

Nov 15, 2024

Project Address

3599 Temperate Place
Lot 27 - Royal Bay
Colwood, B.C.

Prepared for

Verity Construction

Project #

8298-27

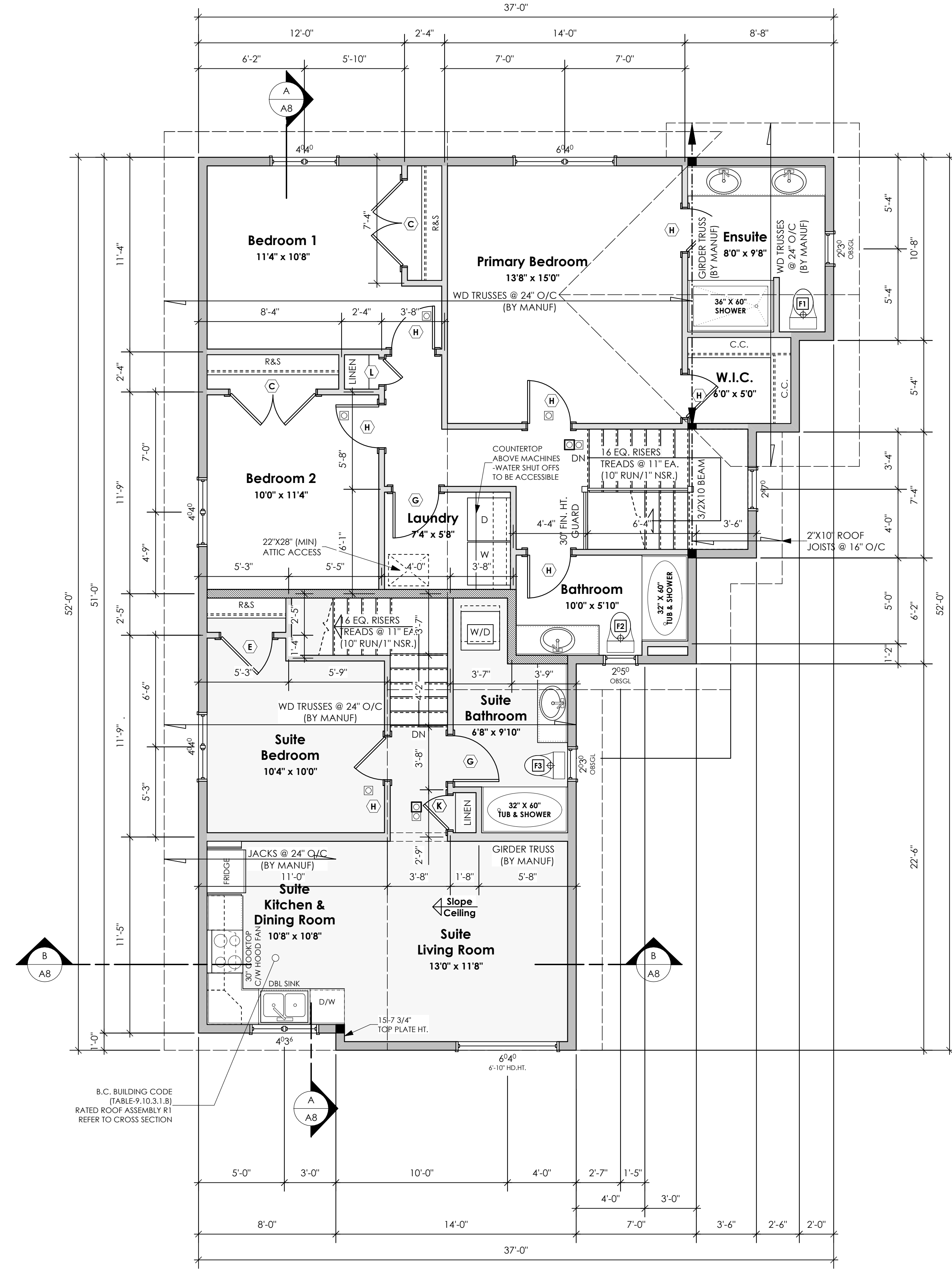
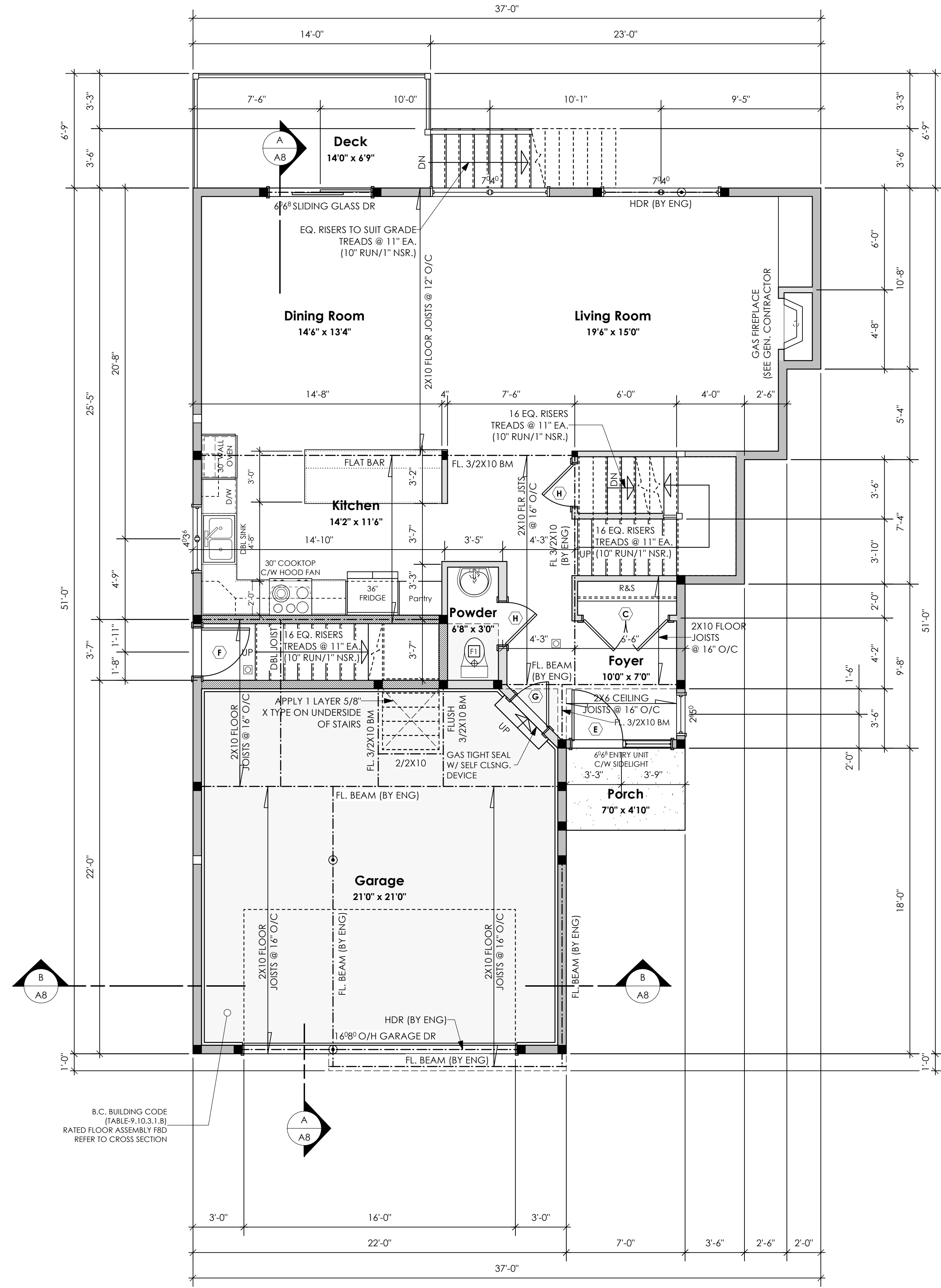
Scale

As Noted

Drawn By

MDK

BASE PLAN E
TYPE A



Date
Nov 15, 2024

Project Address
3599 Temperate Place
Lot 27 - Royal Bay
Colwood, B.C.
Prepared for
Verity Construction

Project #
8298-27

Scale
As Noted

Drawn By
MDK

BASE PLAN E
TYPE A

Development Permit Presentation



1 Cross Section A-A
Scale: 1/4" = 1'-0"

2 Cross Section B-B
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13, AND SUPPLY DETAILS IF REQUIRED.

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD OR 5/8" X-TYPE GYPSUM BOARD 45 MINUTE RATED F.R.R. (OVER SECONDARY SUITE)
- R2. 2 PLY S.B.S. MODIFIED BITUMEN FULLY ADHERED MEMBRANE (TO COMPLY W/ CGSB 37-GP-56M AND CGSB-37-6P-9MA) ON 7/16" ORIENTED STRAND BOARD C/W "H" CLIPS 2x10 ROOF JOISTS @ 16" O/C VENTED SOFFIT (NOT IN SECTION)
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.) (NOT SHOWN IN SECTION)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)
- R7. PRE-FIN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (SEE CONTRACTOR) (NOT SHOWN IN SECTION)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY F8D FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 6 MIL. POLYETHYLENE VAPOUR BARRIER 1 LAYERS 5/8" X-TYPE GYPSUM BOARD 30 MINUTE F.R.R., 50 S.T.C.
- FL3. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)
- FL4. FINISHED FLOORING ON 1 1/16" ORIENTED STRAND BOARD (FASTENED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W BUILDING WRAP 1/2" ORIENTED STRAND BOARD VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS (NOT SHOWN IN SECTION)

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2 1/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL. W/ 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP))
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATS 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C (BETWEEN PRIMARY LIVING & SECONDARY SUITE)

FOUNDATION

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"X 8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD RESILIENT METAL CHANNELS @ 24" O/C 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND BATS 6 MIL. POLY'N V.B 1 LAYER 1/2" X-TYPE GYPSUM BOARD 45 MIN. F.R.R. 43 S.T.C (BETWEEN GARAGE & SECONDARY SUITE)
- F7. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- F8. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)
- F9. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.JE)

Date
Nov 15, 2024

Project Address
3599 Temperate Place
Lot 27 - Royal Bay
Colwood, B.C.
Prepared for

Verity Construction

Project #
8298-27

Scale
As Noted

Drawn By
MDK

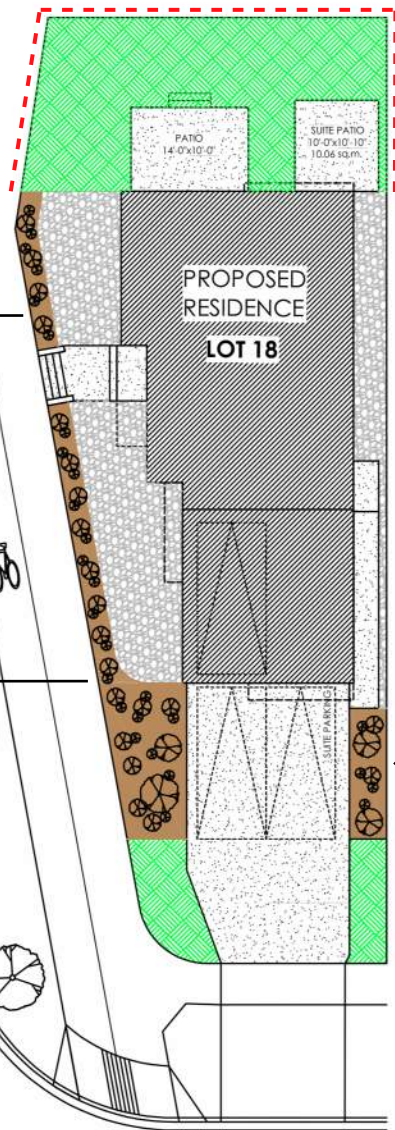
BASE PLAN E
TYPE A

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

ITEM	AREA (sf)	%
GARDEN BED	367	13%
GRAVEL	630	22%
CONCRETE	1,038	37%
SOD	782	28%
TOTAL	2,817	100%

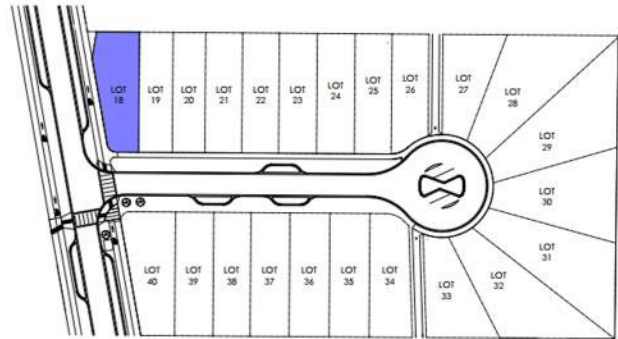
LEGEND	
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

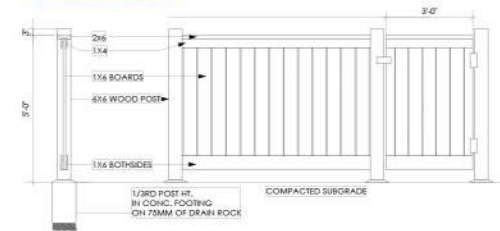
LANDSCAPE PLAN
NOT TO SCALE

Schedule 2

KEY PLAN
NOT TO SCALE

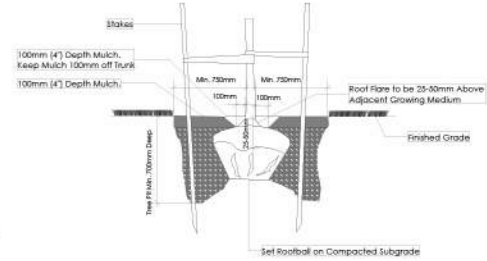


LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES



Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

MM/DD/YY	ISSUED/REVISED	DATE	PROJECT
01	05/03/24	FOR APPROVAL	LANDSCAPING PLAN LOT 18, 3581 TEMPERATE PL. ROYAL BAY, SECTOR 7 CITY OF COLWOOD
02	10/22/24	SITE PLAN UPDATE	
03	11/01/24	SITE PLAN REVISION	



QUALITY CONSTRUCTION. TRUSTED SERVICE.

106 - 1039 Langford Parkway
Victoria, B.C. V9B 0A6

P: 250.474.1039

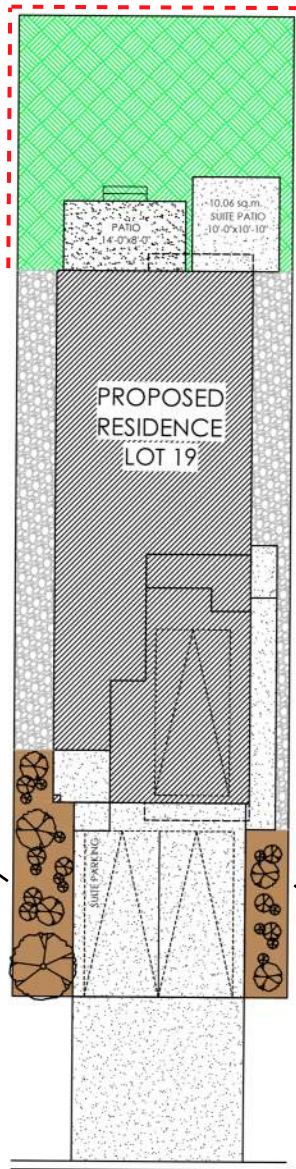
www.verityconstruction.ca

ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only. Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval. Retaining wall location and types may vary and are subject to municipal, engineering or developer discretion. Subject to change without notice. Furniture as shown on plans are for layout purposes only and are not included in the sale.

KEY PLAN
NOT TO SCALE



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

ITEM	AREA (sf)	%
GARDEN BED	276	12%
GRAVEL	440	20%
CONCRETE	797	36%
SOD	702	32%
TOTAL	2,215	100%

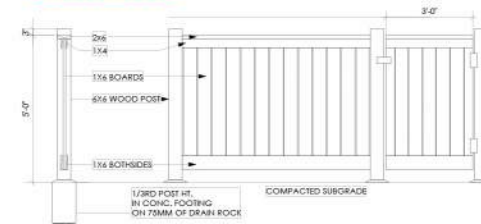
LEGEND	
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL



PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

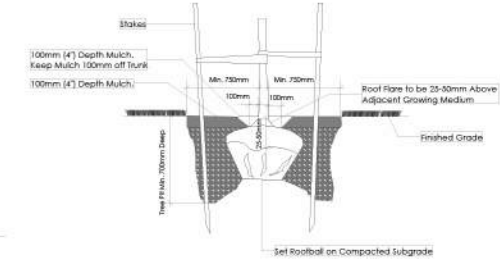
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	05/03/24	FOR APPROVAL
02	10/16/24	SITE PLAN UPDATE
03	11/01/24	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN
LOT 19, 3583 TEMPERATE PL.
ROYAL BAY, SECTOR 7
CITY OF COLWOOD



QUALITY CONSTRUCTION. TRUSTED SERVICE.

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ALL FENCING, RETAINING AND LANDSCAPING MUST MEET THE GUIDELINE REQUIREMENTS

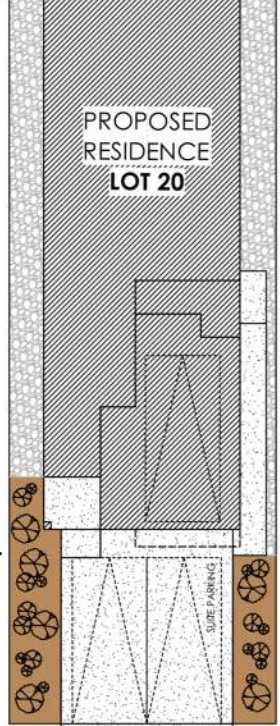
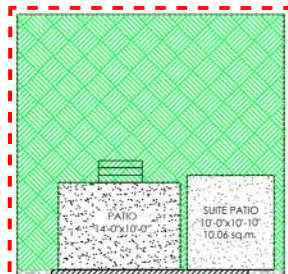
ALL RETAINING WALLS ARE TO BE STAND ALONE STRUCTURES (THEY MUST TERMINATE AT PROPERTY LINE) AND MUST NOT CONNECT TO RETAINING WALLS LOCATED ON ADJACENT PRIVATE PROPERTIES

ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS



PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

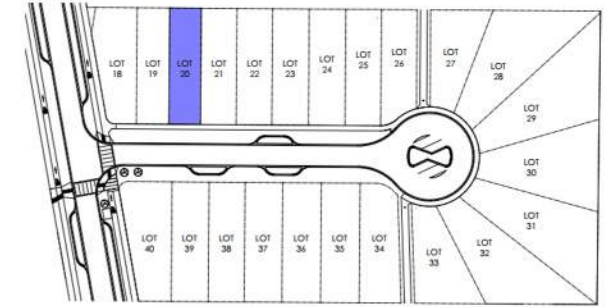


ITEM	AREA (sf)	%
GARDEN BED	251	12%
GRAVEL	382	18%
CONCRETE	826	39%
SOD	645	31%
TOTAL	2,104	100%

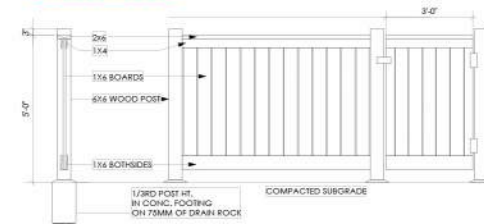
LEGEND	
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

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KEY PLAN
NOT TO SCALE

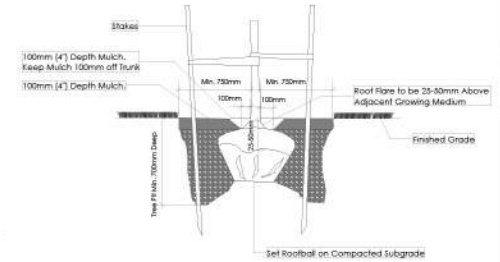


LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail
Not To Scale

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ADDITIONAL NOTES:
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LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	05/29/24	FOR APPROVAL
02	10/16/24	SITE PLAN UPDATE
03	11/01/24	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN
LOT 20, 3585 TEMPERATE PL.
ROYAL BAY, SECTOR 7
CITY OF COLWOOD



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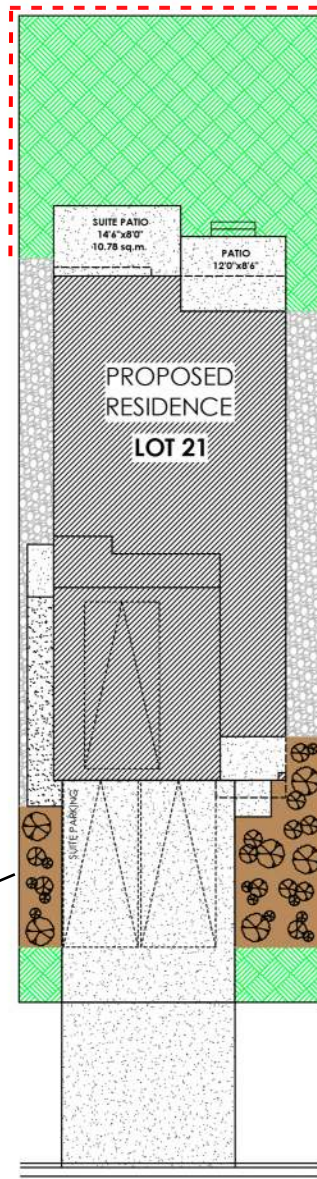
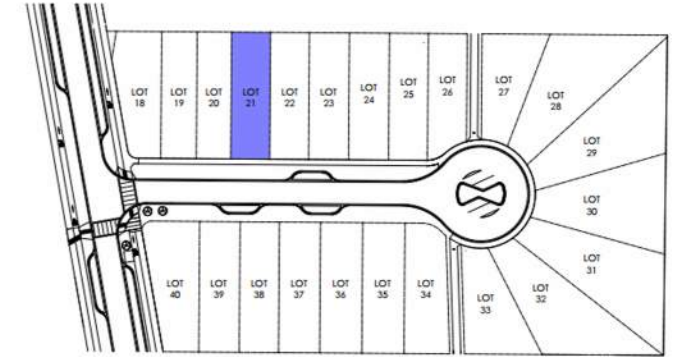
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KEY PLAN
NOT TO SCALE



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

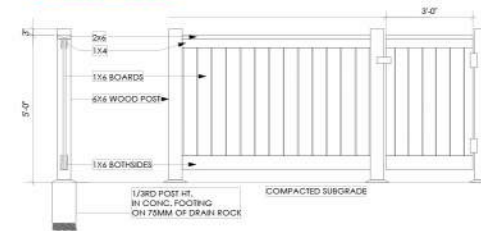
ITEM	AREA (sf)	%
GARDEN BED	270	11%
GRAVEL	354	15%
CONCRETE	864	35%
SOD	956	39%
TOTAL	2,444	100%

LEGEND	
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

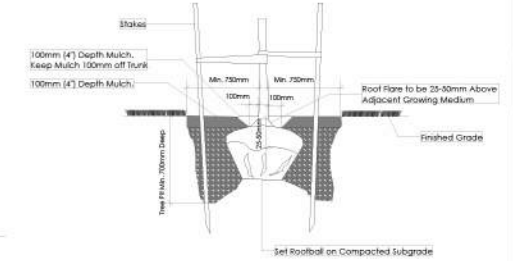
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	06/17/24	FOR APPROVAL
02	10/15/24	SITE PLAN UPDATE
03	11/04/24	SITE PLAN REVISION

PROJECT

LANDSCAPING PLAN
LOT 21, 3587 TEMPERATE PL.
ROYAL BAY
CITY OF COLWOOD



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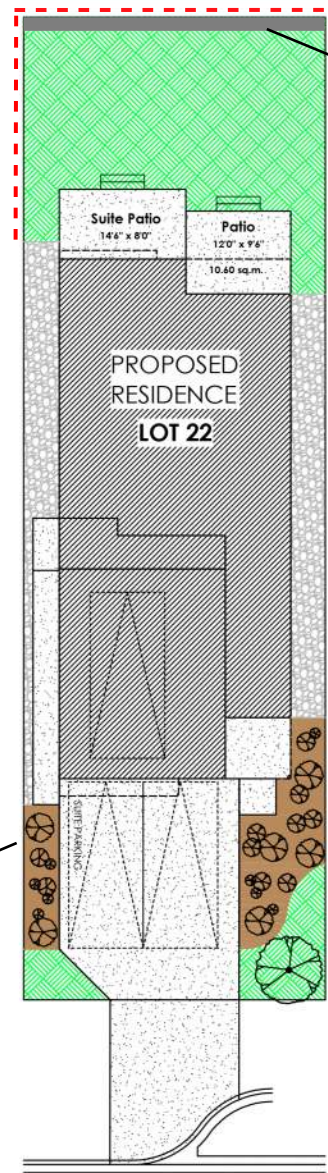
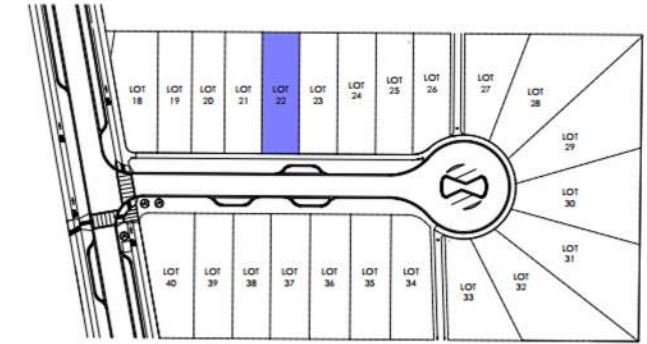
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KEY PLAN
NOT TO SCALE



BOULDER LOOSE STACK RETAINING WALL (REFER TO CIVIL PLAN - 24SEP24)

ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

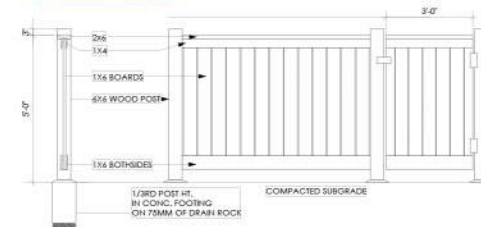
ITEM	AREA (sf)	%
GARDEN BED	229	10%
GRAVEL	355	15%
CONCRETE	903	37%
SOD	920	38%
TOTAL	2,407	100%

LEGEND	
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL
	- 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

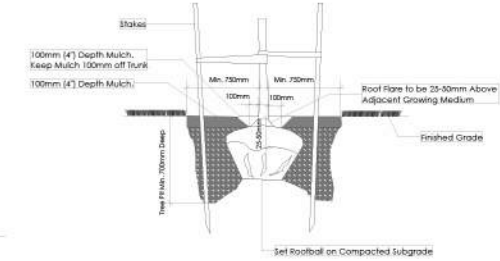
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

*TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	06/04/24	FOR APPROVAL
02	10/15/24	SITE PLAN UPDATE
03	11/04/24	SITE PLAN REVISION
04	11/14/24	BOULDER WALL INCLUDED

PROJECT

LANDSCAPING PLAN
LOT 22, 3589 TEMPERATE PL.
ROYAL BAY
CITY OF COLWOOD



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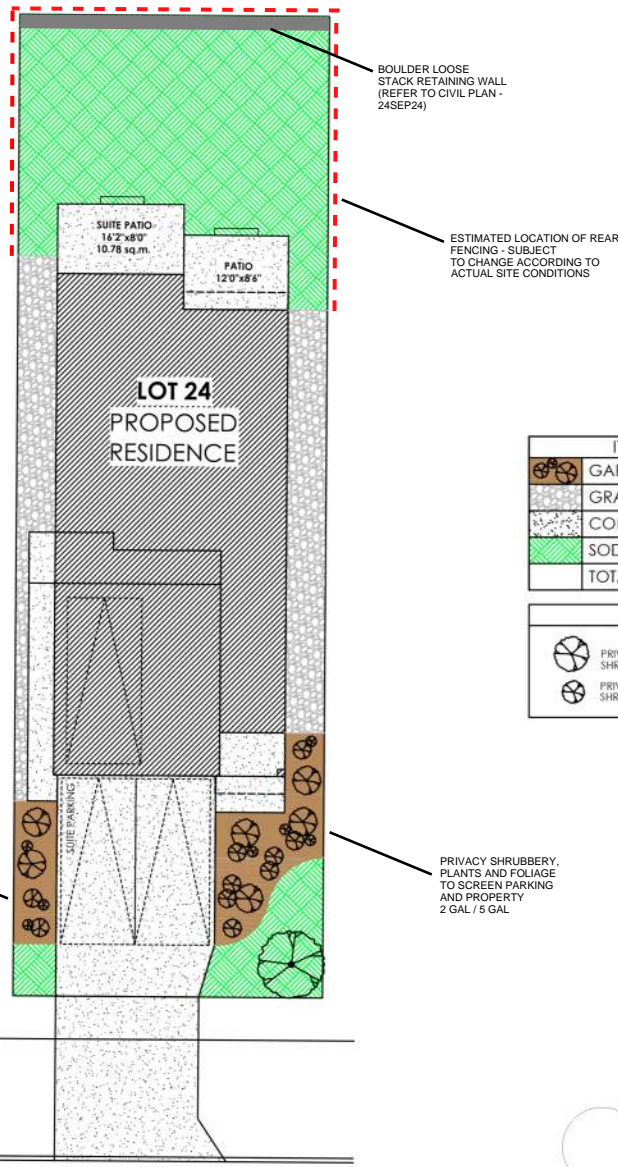
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KEY PLAN
NOT TO SCALE

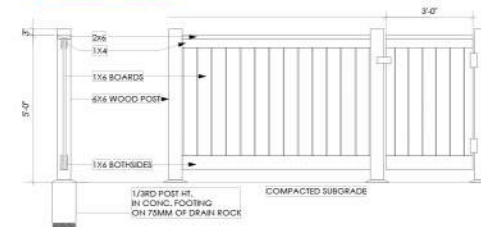


ITEM	AREA (sf)	%
GARDEN BED	248	10%
GRAVEL	407	16%
CONCRETE	837	33%
SOD	1,064	41%
TOTAL	2,556	100%

LEGEND	
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
	- 2 GAL / 5 GAL

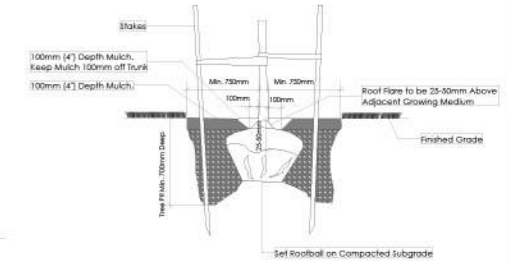


LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail
Not To Scale

All trees and plants by the home owner to be planted in minimum 10m² of fertile topsoil, 700mm Deep

ADDITIONAL NOTES:
PROPERTY TO BE IRRIGATED
6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	06/13/24	FOR APPROVAL
02	10/15/24	SITE PLAN UPDATE
03	11/05/24	SITE PLAN REVISION
04	11/14/24	BOULDER WALL INCLUDED

PROJECT

LANDSCAPING PLAN
LOT 24, 3593 TEMPERATE PL.
ROYAL BAY
CITY OF COLWOOD



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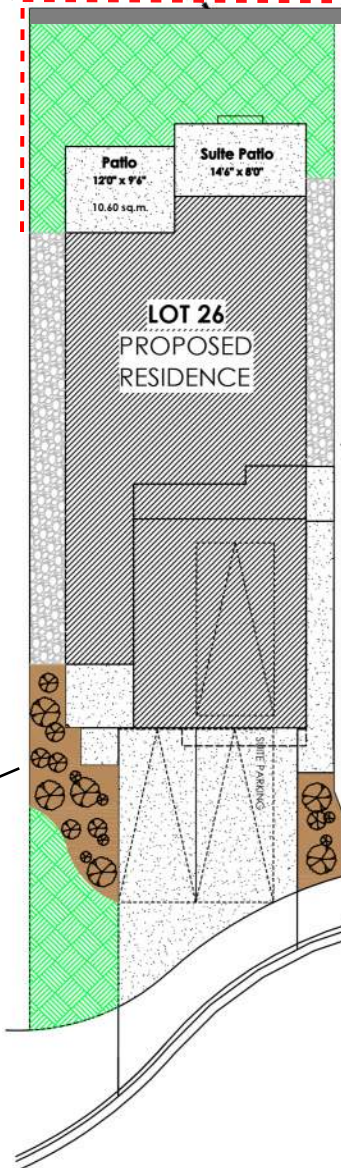
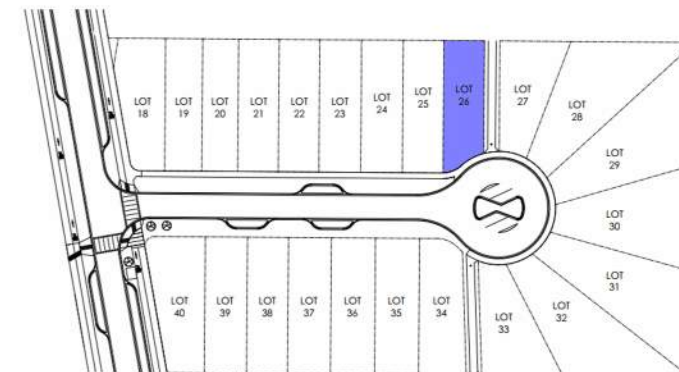
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BOULDER LOOSE STACK RETAINING WALL (REFER TO CIVIL PLAN - 24SEP24)

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KEY PLAN NOT TO SCALE



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

MORTAR ROCK WALL

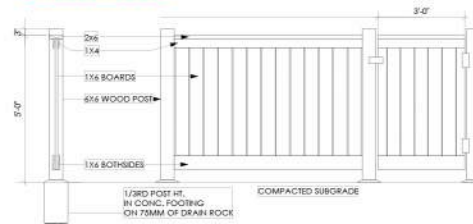
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY 2 GAL / 5 GAL

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY 2 GAL / 5 GAL

ITEM	AREA (sf)	%
GARDEN BED	207	10%
GRAVEL	285	14%
CONCRETE	878	43%
SOD	676	33%
TOTAL	2,046	100%

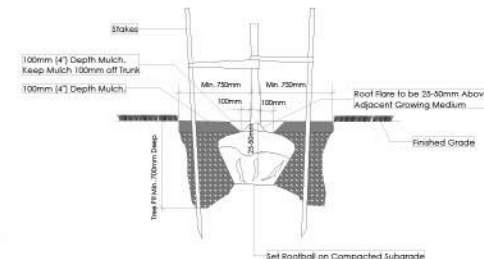
LEGEND	
	PRIVACY SHRUBBERY
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE - 2 GAL
	UPGRADE SHRUBBERY, PLANTS AND FOLIAGE - 5 GAL

LOCATION INDICATED BY



Typical Fence Detail Not To Scale

TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/1 FROM ROYAL BAY DESIGN GUIDELINES PAGE 21



Tree Planting Detail Not To Scale

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ADDITIONAL NOTES:
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6" PIPE FOR DRIVEWAY SLEEVES TO BE INSTALLED FOR CITY IRRIGATION LINES

LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	06/06/24	FOR APPROVAL
02	10/21/24	SITE PLAN UPDATE
03	11/05/24	SITE PLAN REVISION

PROJECT
LANDSCAPING PLAN
LOT 26, 3597 TEMPERATE PL.
ROYAL BAY
CITY OF COLWOOD



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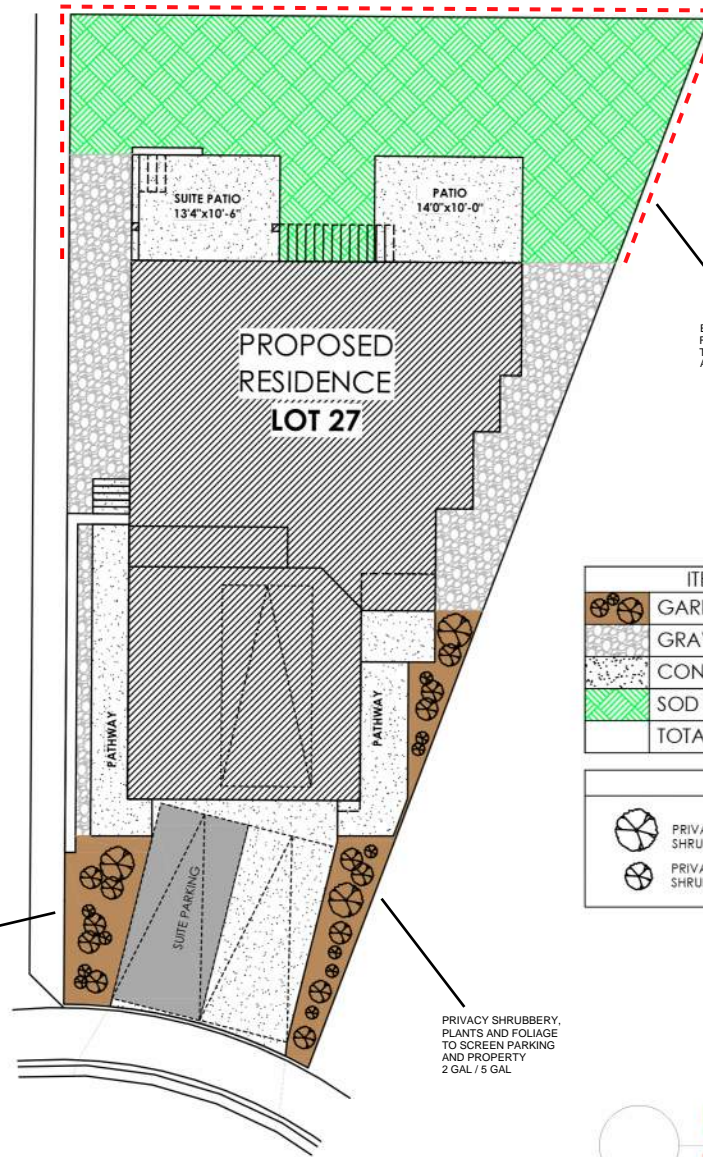
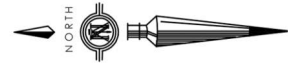
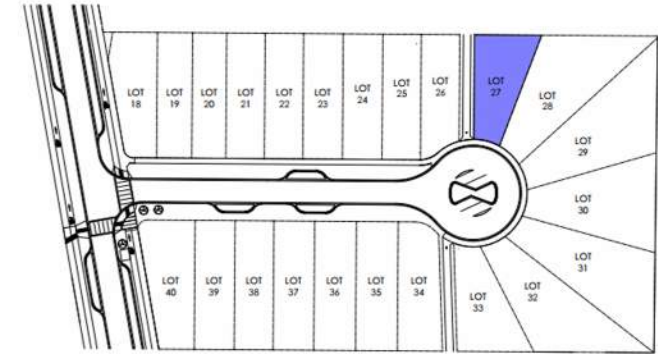
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KEY PLAN
NOT TO SCALE



ESTIMATED LOCATION OF REAR FENCING - SUBJECT TO CHANGE ACCORDING TO ACTUAL SITE CONDITIONS

ITEM	AREA (sf)	%
GARDEN BED	241	10%
GRAVEL	439	17%
CONCRETE	890	35%
SOD	957	38%
TOTAL	2,527	100%

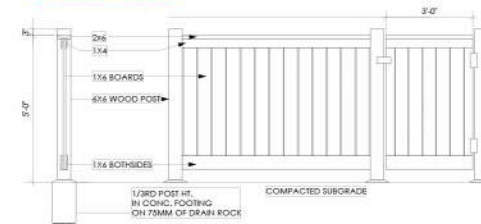
LEGEND

- PRIVACY SHRUBBERY
- UPGRADE SHRUBBERY, PLANTS AND FOLIAGE
- 2 GAL
- 5 GAL
- PRIVACY SHRUBBERY

PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

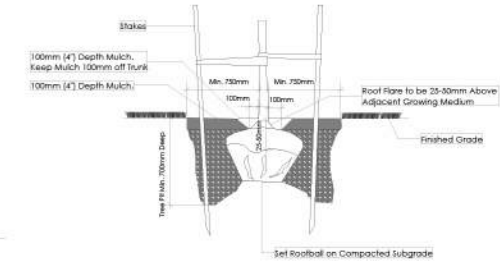
PRIVACY SHRUBBERY, PLANTS AND FOLIAGE TO SCREEN PARKING AND PROPERTY
2 GAL / 5 GAL

LOCATION INDICATED BY



Typical Fence Detail
Not To Scale

TYPICAL FENCE DETAIL BASED OFF FENCE DETAIL 1/13 FROM ROYAL BAY DESIGN GUIDELINES, PAGE 21



Tree Planting Detail
Not To Scale

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ADDITIONAL NOTES:
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LANDSCAPE PLAN
NOT TO SCALE

MM/DD/YY	ISSUED/REVISED	DATE
01	06/28/24	FOR APPROVAL
02	07/30/24	SITE PLAN REVISION
03	09/04/24	SITE PLAN REVISION
04	11/05/24	SITE PLAN REVISION
05	11/18/24	CITY COMMENTS

PROJECT
LANDSCAPING PLAN
LOT 27, 3599 TEMPERATE PL.
ROYAL BAY
CITY OF COLWOOD



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