



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP000020 - Rental Apartments at 2054-2076 Sooke Rd

DEVELOPMENT PERMIT DP000020

THIS PERMIT, issued **December 2, 2024**, is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: 1449550 BC LTD
111-2036 ISLAND HWY S
CAMPBELL RIVER BC V9W 0E8

(the "Permittee")

-
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 16, SECTION 101, ESQUIMALT LAND DISTRICT, PLAN VIP32178, EXCEPTPLAN EPP135468
LOT 17, SECTION 101, ESQUIMALT LAND DISTRICT, PLAN VIP32178, EXCEPTPLAN EPP135468
LOT 1, SECTION 101, ESQUIMALT LAND DISTRICT, PLAN VIP6399, EXCEPTPLAN 32178, & EXC PL
EPP135468

LOT B, SECTION 101, ESQUIMALT LAND DISTRICT, PLAN VIP14811, EXCEPTPLAN EPP135468
LOT 1, SECTION 101, ESQUIMALT LAND DISTRICT, PLAN VIP32147, EXCEPTPLAN EPP135468
2054 SOOKE RD
2056 SOOKE RD
2060 SOOKE RD
2070 SOOKE RD
2076 SOOKE RD

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the *"Colwood Land Use Bylaw, 1989"* (Bylaw No. 151), to ensure the Form and Character considerations for the development of two six-storey rental apartment buildings and associated

site improvements are consistent with the design guidelines for areas designated as "Transit Growth Area" and "Neighbourhood" in the City of Colwood Official Community Plan (Bylaw No. 1700).

3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this Permit:
 - Schedule 1 Architectural Drawings prepared by Union Architecture dated October 2, 2024.
 - Schedule 2 Landscape Plans prepared by CTQ Consultants Ltd. dated September 27, 2024.
 - Schedule 3 Landscape Cost Estimate prepared by CTQ Consultants Ltd. dated September 27, 2024.
 - Schedule 4 Tree Management Plan prepared by Bartlett Tree Experts dated September 25, 2024.
8. This Development Permit authorizes the development of two six-storey rental apartment buildings along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

GENERAL

- 8.1. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within the Section 219 covenants registered as "CB1241235" and as amended.

FORM AND CHARACTER CONDITIONS

Building Features

- 8.2. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Union Architecture (Schedule 1).
- 8.3. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents

shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.

- 8.5. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

Signage

- 8.6. This Development Permit does not include any signage approvals. A separate Sign Permit will be required for any marketing signage.

Site Lighting

- 8.7. The site lighting shall be in accordance with the lighting details included in the Architectural Drawings prepared by Union Architecture (Schedule 1).

Landscaping

- 8.8. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plans prepared by CTQ Consultants Ltd. (Schedule 2).
- 8.9. Prior to the issuance of a Building Permit, the Permittee shall provide the City with a written letter of engagement from a registered landscape architect agreeing to:
 - 8.9.1. Supervise and install the landscape work in accordance with the approved Landscape Plans prepared by CTQ Consultants Ltd. (Schedule 2); and
 - 8.9.2. Perform a final inspection and submit an inspection report to the City confirming substantial compliance with the approved landscape plan.
- 8.10. Prior to the issuance of a Building Permit, the Permittee shall obtain a one-year warranty of the landscape works from the landscape contractor. This warranty shall be transferrable to subsequent owners of the property within the warranty period. The warranty must include provision for a further one-year warranty on materials.
- 8.11. Prior to the issuance of a Building Permit, the Permittee must provide to the City in the form of an irrevocable letter of credit or certified cheque, security in the amount of \$120,305.90 based on 110% of the Landscape Cost Estimate prepared by CTQ Consultants Ltd. (Schedule 3), which amount, or a portion therefore, as the case may be, shall be returned, no sooner than 1 year from the date of planting, upon receipt of a signed statement of substantial completion from a registered landscape architect, to the satisfaction of the Director of Development Services.

ENVIRONMENTAL CONDITIONS

General

- 8.12. Clearing of the lot prior to issuance of a Building Permit shall be limited to the minimum area required for construction.

Tree Management

- 8.13. Trees located on the Lands shall be managed in accordance with the approved Tree Management Plan prepared by Bartlett Tree Experts (Schedule 4) and only varied with written consent from the Director of Development Services. This Development Permit authorizes the removal of ten (10) on-site bylaw protected trees. Removal of off-site protected trees requires a Tree Management Permit and authorization from the owners of properties where the trees are located.
- 8.14. Protected trees are required to be replaced at a ratio of 2:1. As a condition of this Development Permit, a deposit of \$5,000 (\$250 per required replacement tree) has been collected as cash-in-lieu of replanting in accordance with the Colwood Urban Forest Bylaw (no. 1735).
- 8.15. Trees removed shall be under the observation of a Qualified Arborist. As a condition of this Development Permit, the Permittee has provided the City with a written undertaking from a certified Arborist agreeing to oversee tree removal on the site and provide a final inspection report to the City.
- 8.16. As a condition of this Development Permit, protective fencing as described in the Tree Management Plan (or in Section 10.2 of the Urban Forest Bylaw) has been installed to temporarily protect off-site trees until a Tree Management Permit addressing their removal has been issued.

Nesting and Migratory Birds

- 8.17. It is the property owner's responsibility to ensure that physical works are compliant with the federal Migratory Birds Convention Act, 1994 and the provincial Wildlife Act with respect to bird nests. Both of these acts prohibit the disturbance or destruction of active nests and eggs.

ISSUED ON THIS 2nd DAY OF DECEMBER 2024.



JOHN ROSENBERG, A.Sc.T.
DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES

Schedule 1



2054-2076 SOOKE ROAD

MULTI-FAMILY RENTAL

ISSUED FOR DEVELOPMENT PERMIT

CIVIC ADDRESS:

2054-2076 SOOKE ROAD, COLWOOD, BC, V9B 1W3

LEGAL DESCRIPTION:

LOT 1, PLAN 32147, LOT B, PLAN 14811, REMAINDER LOT 1, PLAN 6399, EXCEPT PART IN PLAN 32178, AND LOTS 16 AND 17, PLAN 32178, ALL IN SECTION 101, ESQUIMALT DISTRICT



CONCEPTUAL RENDERING

GENERAL NOTES

- THIS DRAWING SET SHALL BE READ IN ITS ENTIRETY IN CONJUNCTION WITH THE SPECIFICATIONS INCLUDING DOCUMENTS PREPARED BY ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, BIO/TECHNICAL, LANDSCAPE, BUILDING DEVELOPMENT, DESIGN MODEL, AND INTERIOR DESIGN.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST STANDARD TRADE PRACTICES, WITH SPECIAL CONSIDERATION TO CORRECT EDITIONS OF THE BRITISH COLUMBIA BUILDING CODE, THE REQUIREMENTS OF THE APPLICABLE MUNICIPAL JURISDICTION AND ALL MUNICIPAL, PROVINCIAL, FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS, ANY IDENTIFIED DISCREPANCIES, VARIATIONS, INCONVENIENCES, OR UNUSUAL CIRCUMSTANCES TO BE REPORTED TO UNION ARCHITECTURE INC. PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CHECK ALL DIMENSIONS AND CONTROL ALL PROPERTY LINE DIMENSIONS AND BEARINGS WITH LEGAL SURVEY. ANY DISCREPANCIES WITH OR UNUSUAL OR SITE CONDITIONS SHALL BE REPORTED TO UNION ARCHITECTURE INC. FOR CLARIFICATION PRIOR TO EXCAVATION. SURVEYOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE GIVEN TO OUTERMOST FACE OF CONCRETE, FACE OF PLUMBING SHEATHING, FACE OF INTERIOR STUD AND CENTERLINE OF PARTY WALLS UNLESS NOTED OTHERWISE.
- DRAWINGS SHALL NOT BE SCALED.
- ALL WORK IS SUBJECT TO REVIEW BY CONSULTANTS AT THEIR DISCRETION AND AS REQUIRED BY THE LETTERS OF ASSURANCE.
- THE CONTRACTOR IS TO MAINTAIN A RECORD AND RETAIN COPIES OF THE AUTHORITY HAVING JURISDICTION INSPECTION REPORTS AND PROVIDE COPIES TO THE CONSULTANTS FOR THEIR RECORDS.
- SHOP DRAWINGS FOR PRE-FABRICATED ELEMENTS SHALL BE SUBMITTED FOR CONSULTANTS REVIEW PRIOR TO FABRICATION. A LIST OF REQUIRED SHOP DRAWINGS WILL BE PROVIDED AT THE SITE START-UP MEETING.
- GENERAL CONTRACTOR (GC) SHALL NEVER SHOP DRAWINGS PRIOR TO SUBMITTING TO THE CONSULTANTS AND SHALL INDICATE SUCH REVIEW ON THE SUBMITTALS.
- CONTRACTOR SHALL ALLOW A MINIMUM OF 10 WORKING DAYS FOR THE ARCHITECTS, CONSULTANTS SHOP DRAWING REVIEW.
- ALL REQUESTED ALTERATIONS TO BE PROVIDED IN WRITING TO UNION ARCHITECTURE INC. FOR APPROVAL PRIOR TO CONSTRUCTION. ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW.
- GENERAL CONTRACTOR SHALL NOTIFY THE UNION ARCHITECTURE INC. A MINIMUM OF 2 BUSINESS DAYS PRIOR TO REQUIRED ARCHITECTURAL REVIEW. A LIST OF REQUIRED FIELD REVIEWS WILL BE PROVIDED AT THE SITE START-UP MEETING.



PROJECT STATISTICS 2054-2076 SOOKE RD

SITE INFORMATION		DATE	
CIVIC ADDRESS		2054-2076 Sooke Road, Colwood BC	
EXISTING		PROPOSED	
ZONING	R1	M41	
CITY AREA	1,307 m ² 13,000 SF	4,811 m ² 51,780 SF	
FLOOR AREA RATIO (FAR)	MAX. 2.3	38.4%	
SITE COVERAGE	50.0%	38.4%	
BUILDING HEIGHT		REQUIRED	PROPOSED
MAXIMUM BUILDING STRUCTURE		4.00 m (13ft)	4.00 m (13ft)
PARKING & RAMP SETBACKS		FRONT (SOOKE RD)	2.00 m (6ft) 9.84 m (32ft) 2.00 m (6ft)
		REAR (NORTH)	2.00 m (6ft) 9.84 m (32ft) 2.00 m (6ft)
		SIDE (EAST)	2.00 m (6ft) 9.84 m (32ft) 2.00 m (6ft)
		SIDE (WEST)	2.00 m (6ft) 9.84 m (32ft) 2.00 m (6ft)
BUILDING SETBACKS		FRONT (SOOKE RD)	2.00 m (6ft) 9.84 m (32ft) 2.00 m (6ft)
		FRONT (WEST ST) REAR	2.62 m (8ft) 11.00 m (36ft) 2.62 m (8ft)
		REAR (NORTH)	2.00 m (6ft) 24.67 m (81ft) 0.94 m (3ft)
		SIDE (EAST)	4.00 m (13ft) 13.12 m (43ft) 4.00 m (13ft)
		SIDE (WEST)	4.00 m (13ft) 13.12 m (43ft) 4.00 m (13ft)
BUILDING DATA		TOTAL GROSS AREA	
BUILDING A	DESCRIPTION	# OF UNITS	GROSS AREA
UNIT A	1BR-1BA/1H	35	43 m ² 475 SF
UNIT B	2BR-2BA/1H	23	83 m ² 895 SF
UNIT C	STUDIO	13	29 m ² 318 SF
UNIT D	STUDIO	6	33 m ² 358 SF
TOTAL		77	4,811 m ² 51,780 SF
BUILDING B	DESCRIPTION	# OF UNITS	GROSS AREA
UNIT A	1BR-1BA/1H	28	43 m ² 475 SF
UNIT B	1BR-1BA/1H	6	58 m ² 629 SF
UNIT C	2BR-2BA/1H	17	83 m ² 895 SF
UNIT D	STUDIO	16	29 m ² 318 SF
UNIT F	STUDIO	6	38 m ² 411 SF
TOTAL		73	4,177 m ² 45,011 SF
GRAND TOTAL		149	8,988 m ² 96,791 SF
FLOOR AREAS BELOW GRADE		GROSS AREA	
PACKAGE PI		3,017 m ² 32,788 SF	
TOTAL		3,017 m ² 32,788 SF	
ABOVE GRADE		GROSS AREA	
BUILDING A			
LEVEL 1		960 m ² 10,426 SF	
LEVEL 2		960 m ² 10,426 SF	
LEVEL 3		960 m ² 10,426 SF	
LEVEL 4		960 m ² 10,426 SF	
LEVEL 5		960 m ² 10,426 SF	
LEVEL 6		960 m ² 10,426 SF	
TOTAL		5,808 m ² 62,456 SF	
BUILDING B			
LEVEL 1		870 m ² 9,347 SF	
LEVEL 2		885 m ² 9,529 SF	
LEVEL 3		885 m ² 9,529 SF	
LEVEL 4		885 m ² 9,529 SF	
LEVEL 5		885 m ² 9,529 SF	
LEVEL 6		885 m ² 9,529 SF	
TOTAL		5,304 m ² 57,092 SF	
GRAND TOTAL		11,112 m ² 119,548 SF	
BUILDING FOOTPRINT AREA			
BUILDING A		960 m ² 10,426 SF	
BUILDING B		870 m ² 9,347 SF	
TOTAL		1,830 m ² 19,773 SF	
PARKING DATA		REQUIRED	PROPOSED
PARKING TYPE		100%	100%
TOTAL PARKING		Required	Proposed
		176	176
		Standard Stall	50
		Small Car Stall (0.75 Max)	50
		Walker Stall (0.5 Spaces Per Unit)	76
		Accessibility Stall	0
BIKE/PARKING		REQUIRED	PROPOSED
LONG TERM		Required	Proposed
		87	87
		Standard	87
		Short Term (5% of required)	4
TOTAL		91	91
SHORT TERM		0	0

- CONSULTANT LIST**
- CLIENT:**
WESTURBAN DEVELOPMENTS LTD.
111-2036 ISLAND HIGHWAY 5
CAMPBELL RIVER, BC
V9W 0E8
- ARCHITECT:**
UNION ARCHITECTURE LTD
315-2848 PEATT RD
VICTORIA, BC
V9B 1V4
- CIVIL:**
ONPOINT ENGINEERING
111-957 LANGFORD PARKWAY
VICTORIA, BC
V9B 1A5
- LANDSCAPE:**
CTO CONSULTANTS LTD
1334 ST. PAUL STREET
KELOWNA, BC
V1Y 2E1
- GEOTECHNICAL:**
RIZUL GEOTECHNICAL
6-40 CADILLAC AVE
VICTORIA, BC
V8Z 1T2

- DRAWINGS - ARCHITECTURAL**
- SP01 COVER SHEET
 - SP02 SITE PLAN
 - SP03 FLOOR PLAN - FINANCE PI
 - SP04 BUILDING A FLOOR PLAN - LEVEL 1
 - SP05 BUILDING A FLOOR PLAN - LEVEL 2
 - SP06 BUILDING A FLOOR PLAN - LEVEL 3
 - SP07 BUILDING A FLOOR PLAN - LEVEL 4
 - SP08 BUILDING A FLOOR PLAN - LEVEL 5
 - SP09 BUILDING A FLOOR PLAN - LEVEL 6
 - SP10 BUILDING A REAR PLAN
 - SP11 BUILDING B FLOOR PLAN - LEVEL 1
 - SP12 BUILDING B FLOOR PLAN - LEVEL 2
 - SP13 BUILDING B FLOOR PLAN - LEVEL 3
 - SP14 BUILDING B FLOOR PLAN - LEVEL 4
 - SP15 BUILDING B FLOOR PLAN - LEVEL 5
 - SP16 BUILDING B FLOOR PLAN - LEVEL 6
 - SP17 BUILDING B REAR PLAN
 - SP18 UNIT PLANS
 - SP19 BUILDING A ELEVATION - WEST
 - SP20 BUILDING A ELEVATION - WEST
 - SP21 BUILDING A ELEVATION - NORTH
 - SP22 BUILDING A ELEVATION - NORTH
 - SP23 BUILDING A ELEVATION - WEST
 - SP24 BUILDING A ELEVATION - NORTH
 - SP25 BUILDING A SECTION
 - SP26 TRAILHEAD SITE PLANS
 - SP27 PARKING PLAN
- DRAWINGS - LANDSCAPE**
- L1 LANDSCAPE PLANT PLAN
 - L2 LANDSCAPE MASSING
 - L3 LANDSCAPE
 - L4 DIMENSIONS/CONSTRUCTION PLAN
 - L5 LANDSCAPE PLANT PLAN
 - L6 LANDSCAPE SPECIFICATIONS

UNION ARCHITECTURE

315-2848 PEATT RD, LANGFORD, BC, V9B 1A4
info@unionarchitect.com
www.unionarchitect.com



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DATE: 2024-02-12
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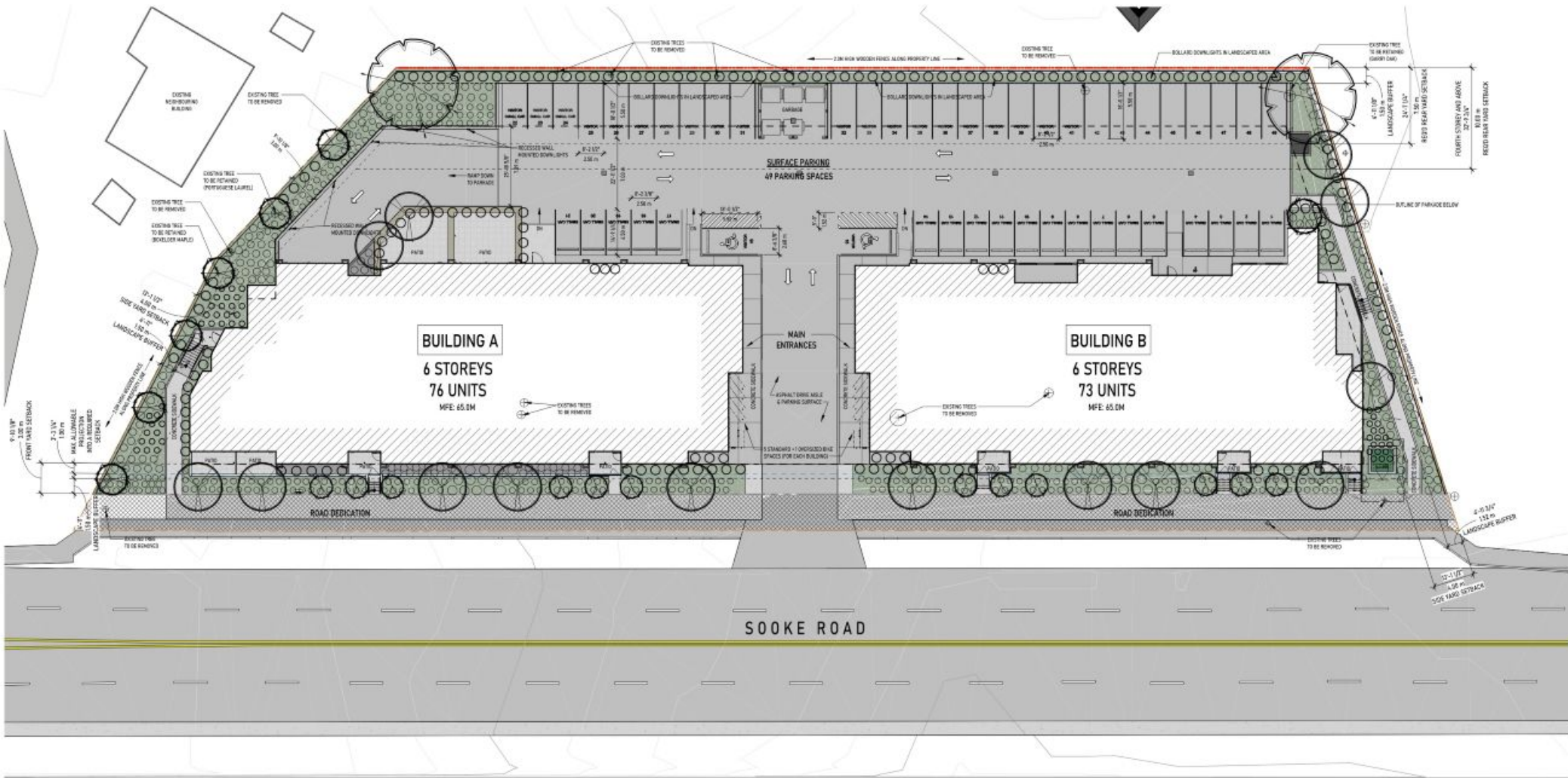
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WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
COVER SHEET

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP01



1 SITE PLAN
1:200
NOTE: ALL SITE LIGHTING TO BE DARK SKIES COMPLIANT

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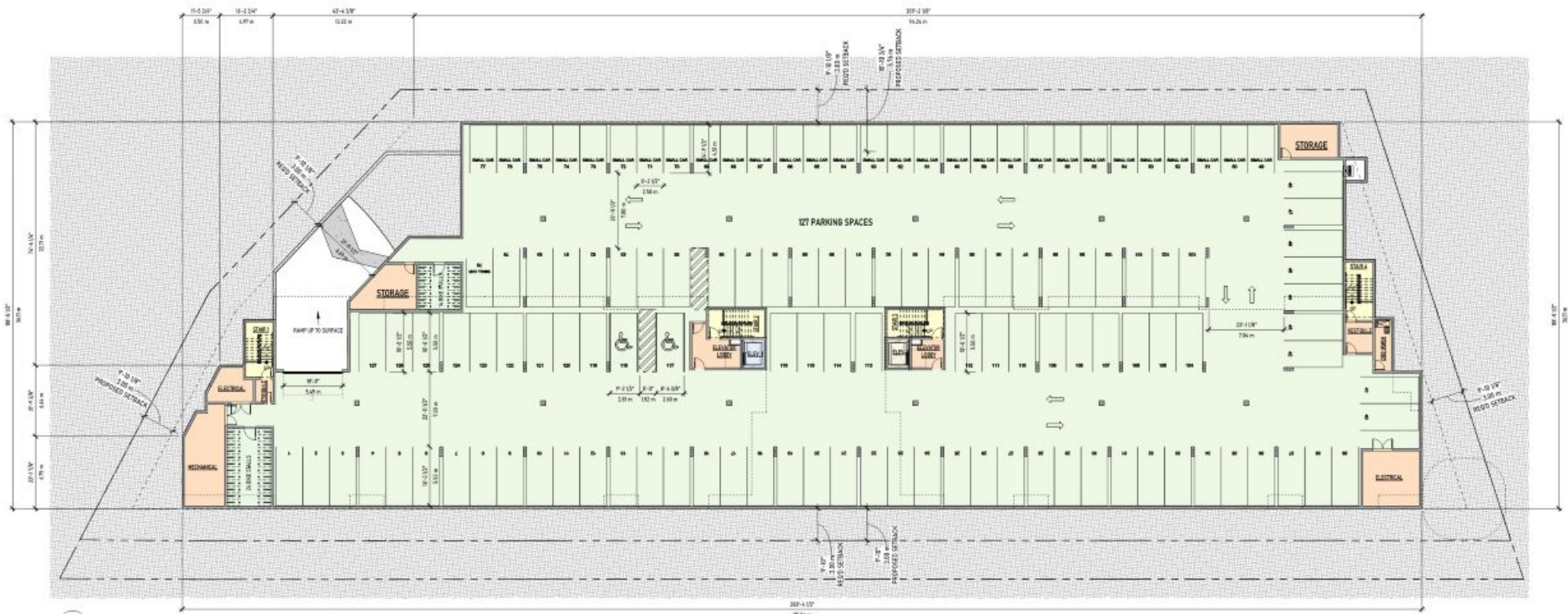
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WESTURBAN DEVELOPMENTS

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2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
SITE PLAN

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP02



2 PARKADE P1 FLOOR PLAN
 ABB 1:300

SEAL:



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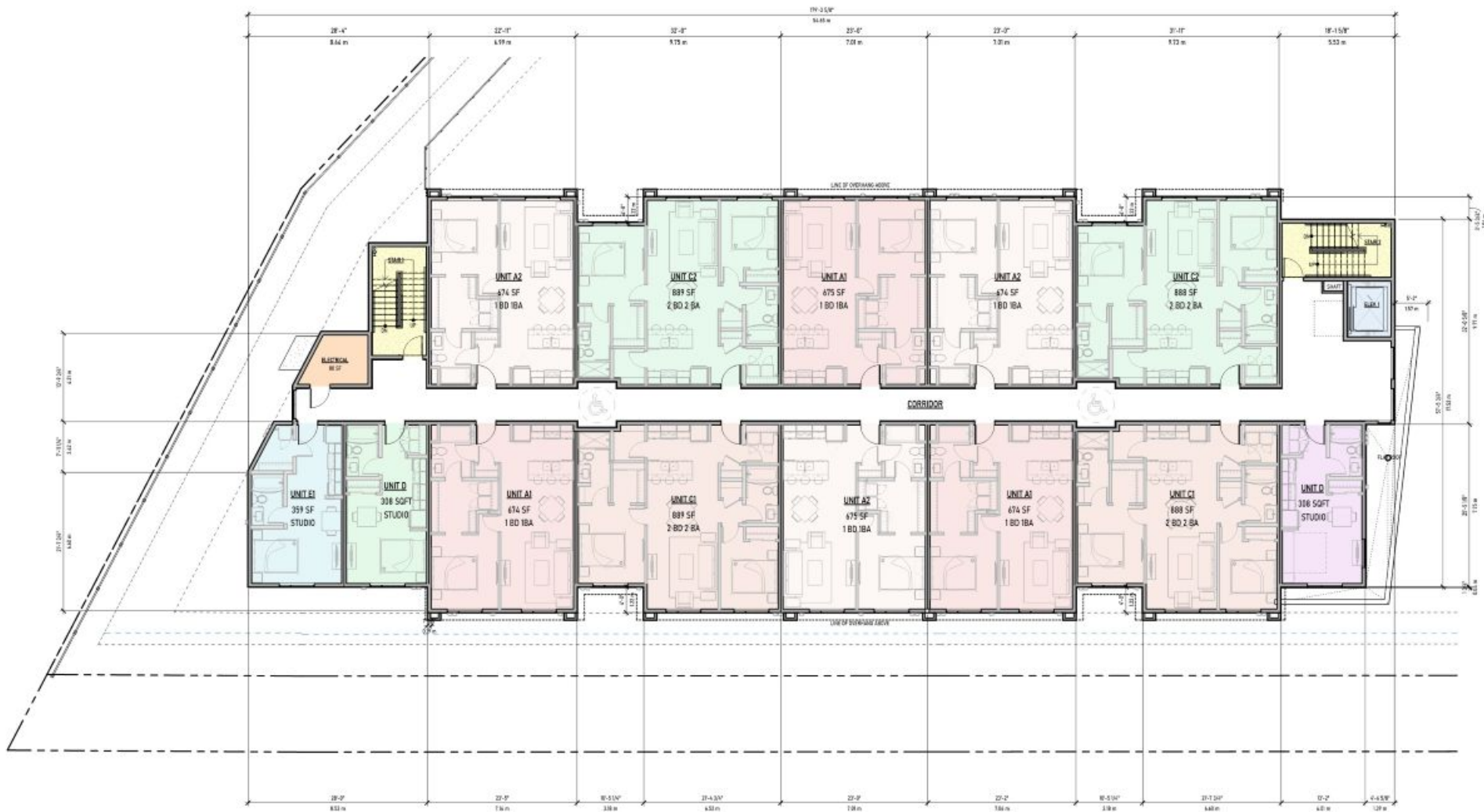
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DRAWING TITLE:
 FLOOR PLAN - PARKADE P1

PROJECT NO: 23011 DRAWN: JE
 SCALE: REVIEWED: RP

DWG NO: **DP03**



1 BUILDING A - SECOND FLOOR PLAN
AER 1.00

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PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
**BUILDING A FLOOR PLAN -
LEVEL 2**

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: **DP05**



1 BUILDING A - THIRD FLOOR PLAN
1:50

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www.unionarchitect.ca

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CONSEIL DES ARCHITECTES
DES COLONIES BRITANNIQUES
PROFESSEUR DE LA SALLE D'ARTS ET DES SCIENCES
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PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING A FLOOR PLAN -
LEVEL 3

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP06



1 BUILDING A - FOURTH FLOOR PLAN
1:80

SEAL:



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DATE: 2024-02-12
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PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING A FLOOR PLAN -
LEVEL 4

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP07



1 480 BUILDING A - FIFTH FLOOR PLAN
1:100

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PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING A FLOOR PLAN - LEVEL 5

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: **DP08**



1 BUILDING A - SIXTH FLOOR PLAN
A20 1:100

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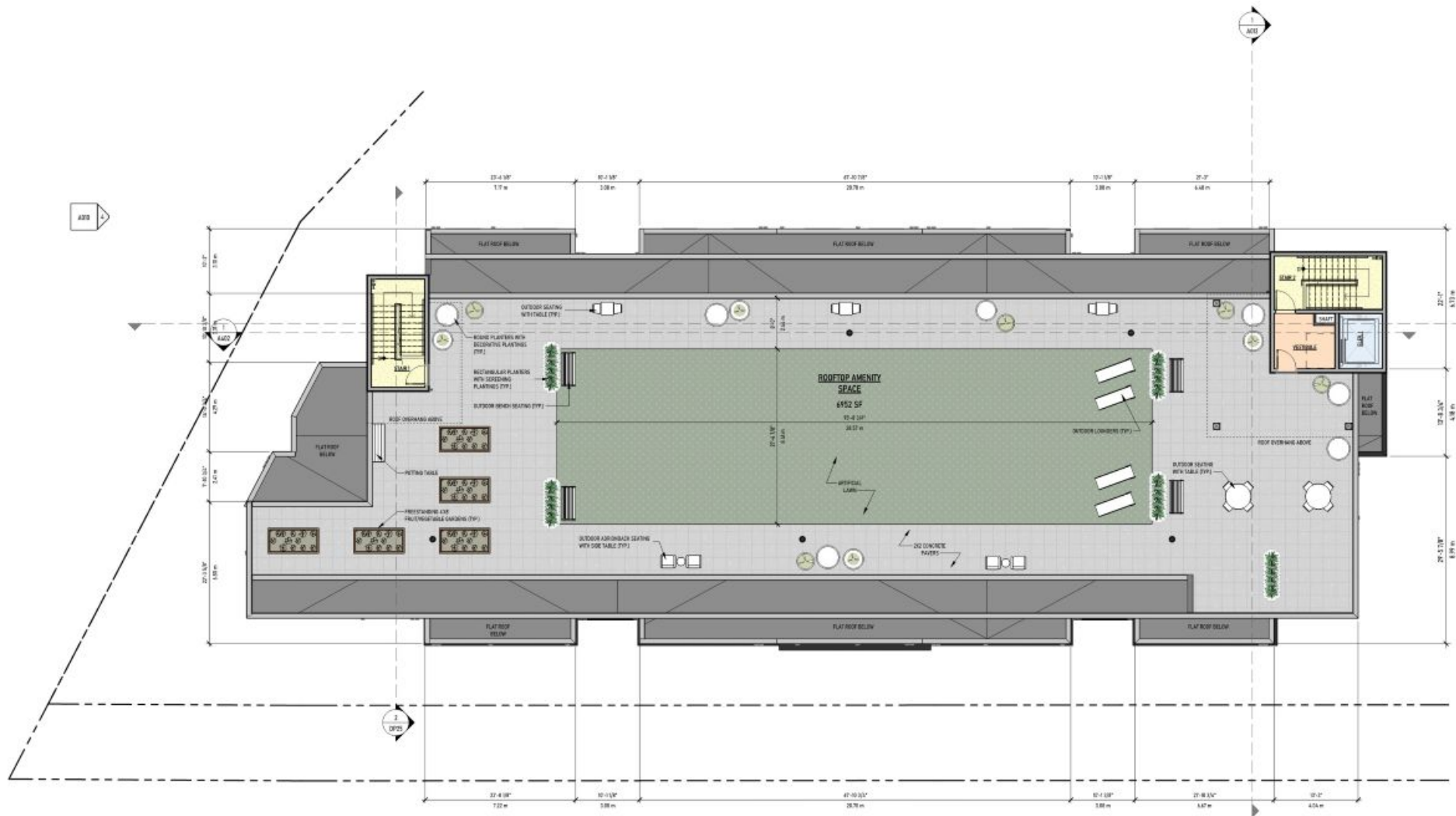
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WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING A FLOOR PLAN -
LEVEL 6

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP09



1 BUILDING A - ROOF PLAN
1:100

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info@unionarchitecture.ca
www.unionarchitecture.ca

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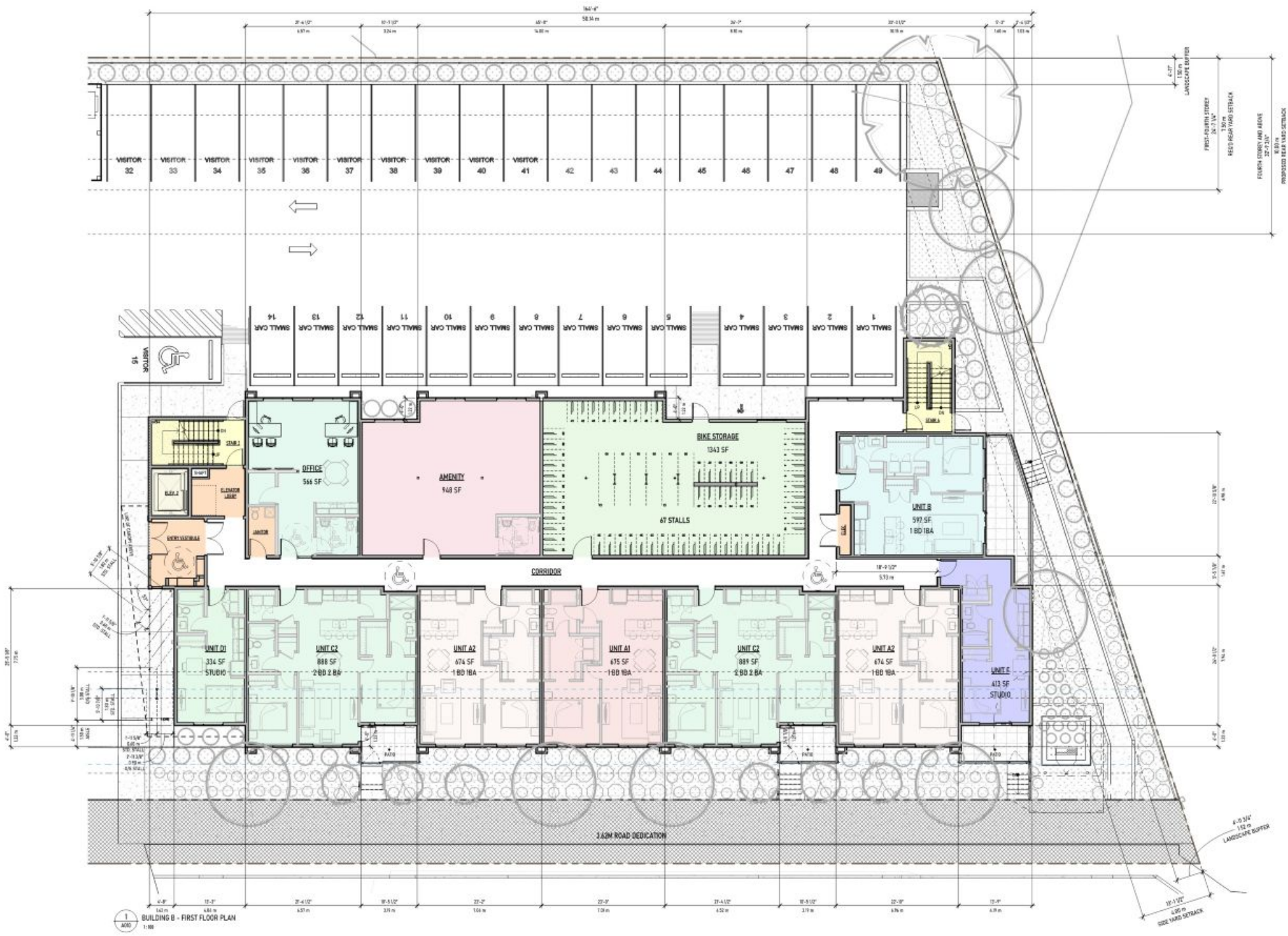
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WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING A ROOF PLAN

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP10



1 BUILDING B - FIRST FLOOR PLAN
1:88

SEAL:



NO. ISSUED FOR: 1
DATE: 2024-03-12



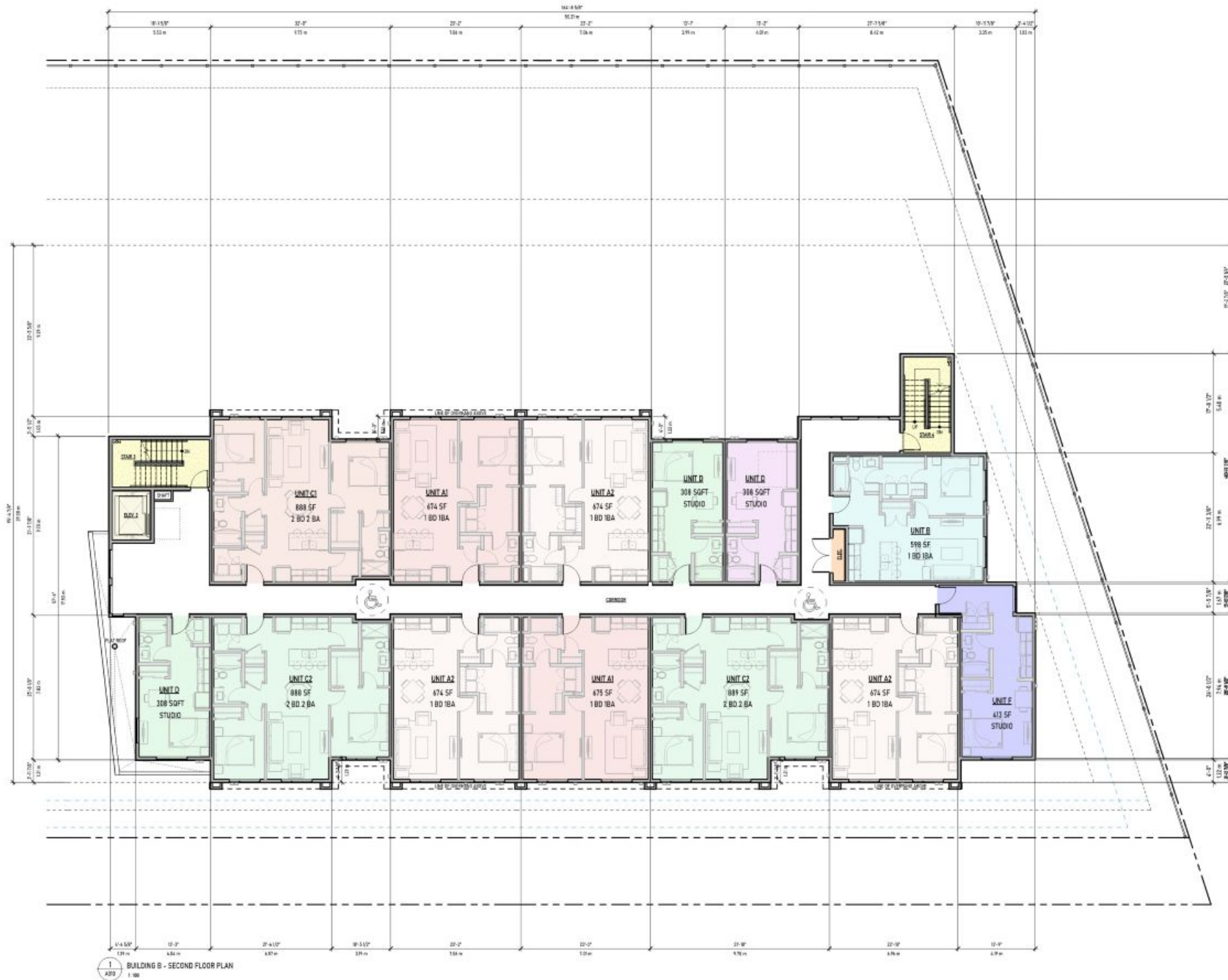
PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING B FLOOR PLAN - LEVEL 1

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP11



1 BUILDING B - SECOND FLOOR PLAN
A20 1:50

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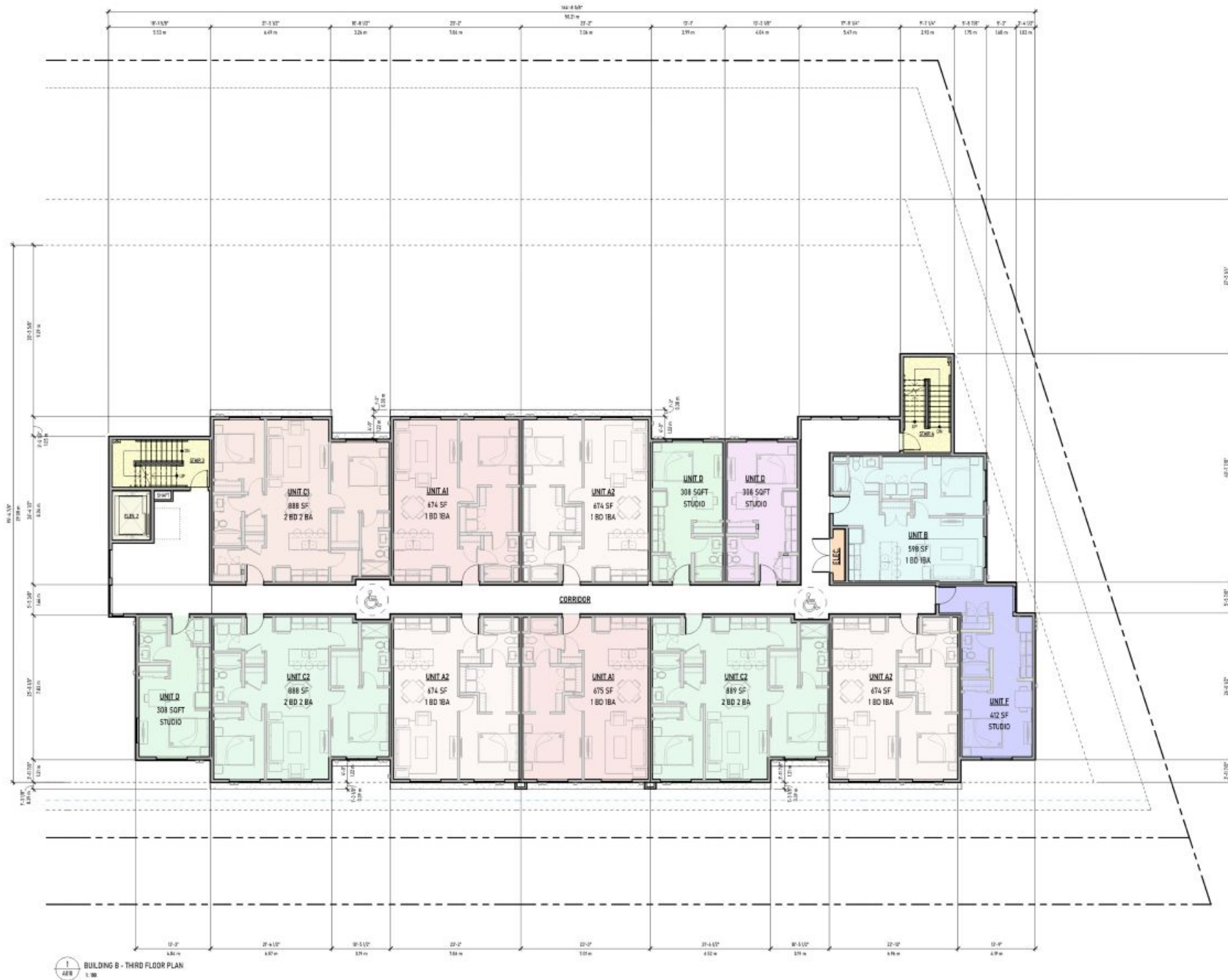
PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
**BUILDING B FLOOR PLAN -
LEVEL 2**

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: **DP12**



1
A/B BUILDING B - THIRD FLOOR PLAN
1:50

SEAL:



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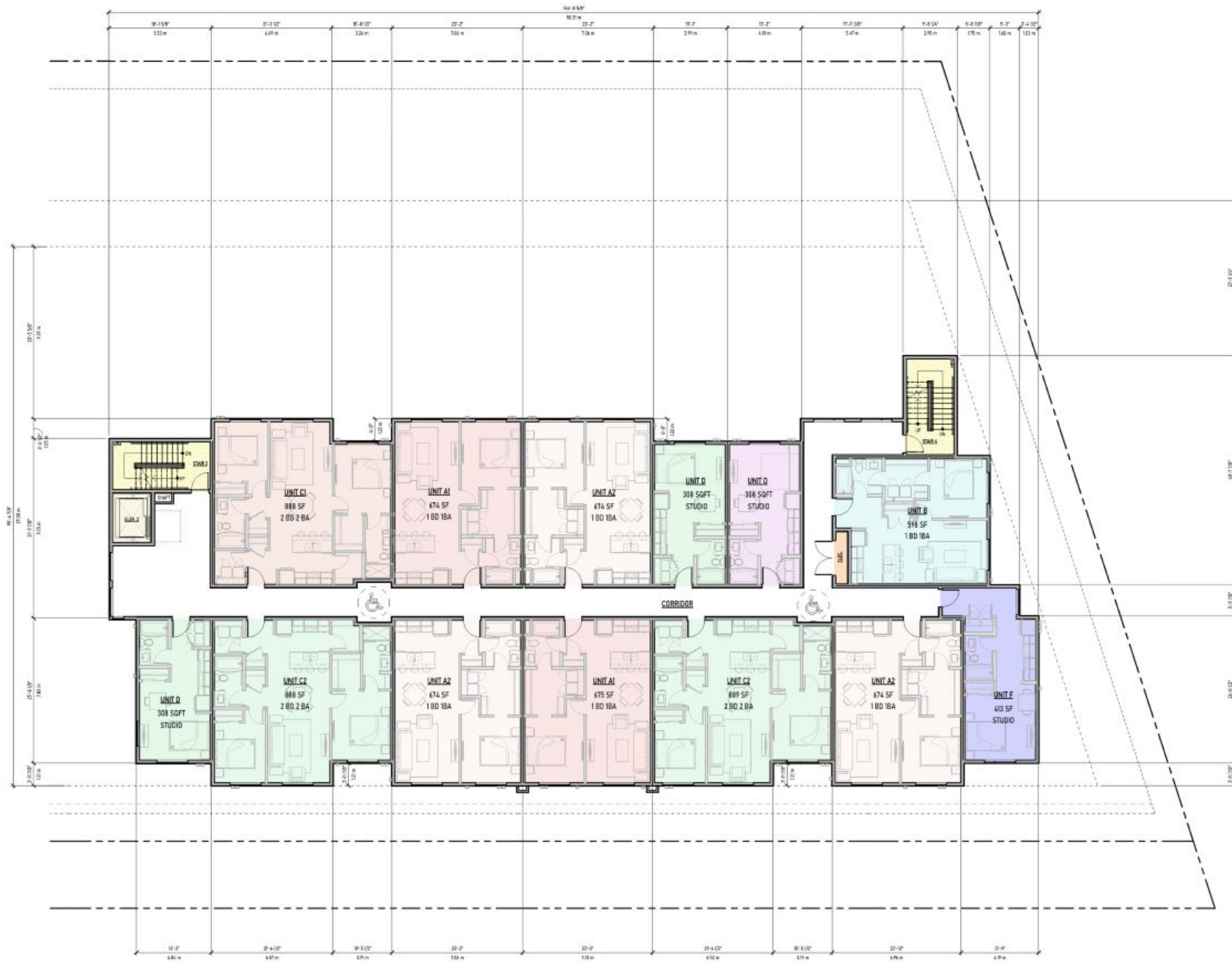
PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING B FLOOR PLAN -
LEVEL 3

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: **DP13**



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www.unionarchitect.com

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PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING B FLOOR PLAN - LEVEL 4

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: **DP14**

1
AER BUILDING B - FOURTH PARTIAL FLOOR PLAN
1:500



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ARCHITECTURE

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www.unionarchitecture.ca

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1 ISSUED FOR DEVELOPMENT PERMIT 2024-02-01
2 RE-ISSUED FOR DEVELOPMENT PERMIT 2024-08-01



PROJECT NAME:
WESTURBAN DEVELOPMENTS

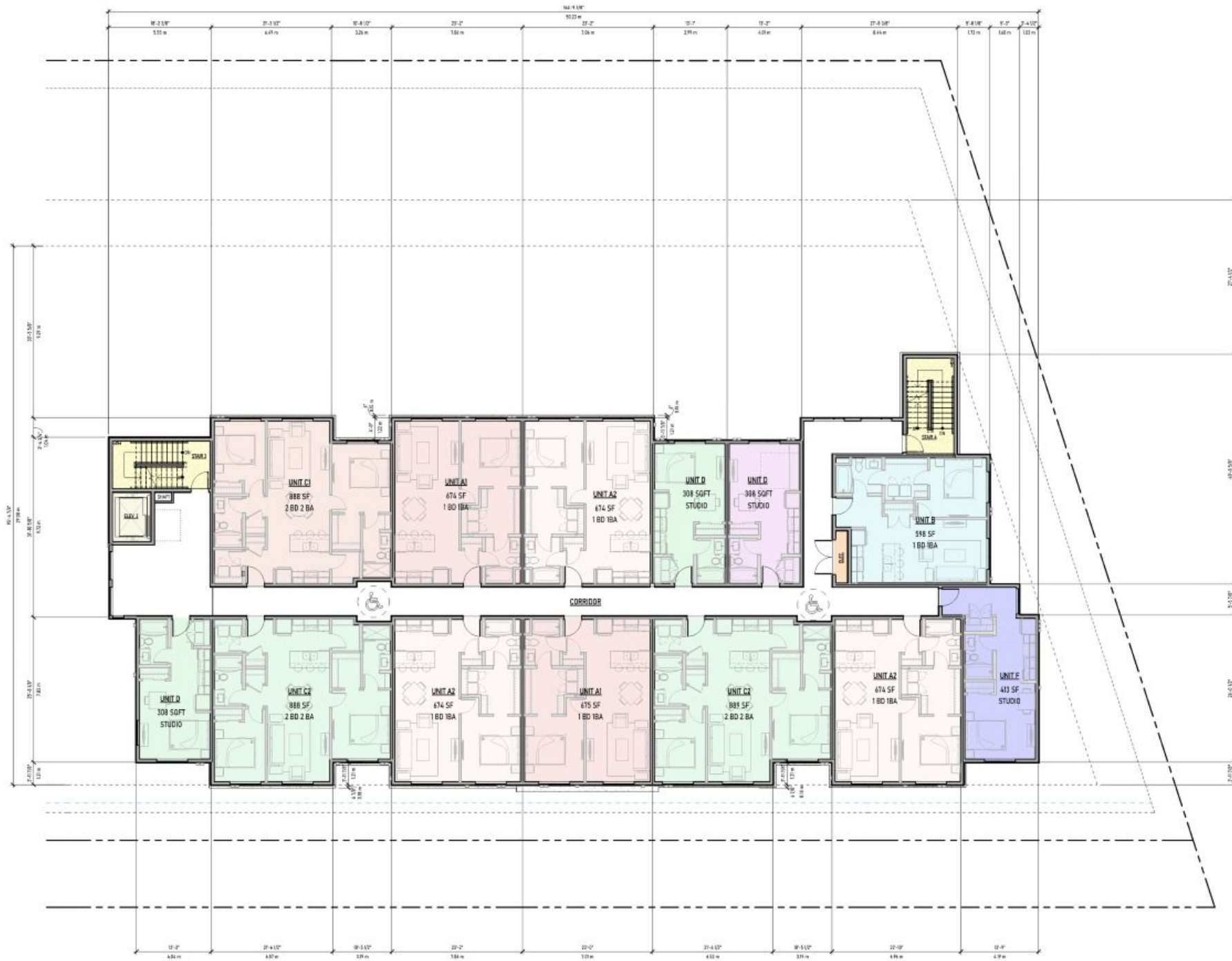
PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
**BUILDING B FLOOR PLAN -
LEVEL 5**

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: **DP15**

1 BUILDING B - FIFTH FLOOR PLAN
1/800



1 ADD BUILDING B - SIXTH FLOOR PLAN
1:80

SEAL:



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2 RE-ISSUED FOR DEVELOPMENT PERMIT 2024-08-01



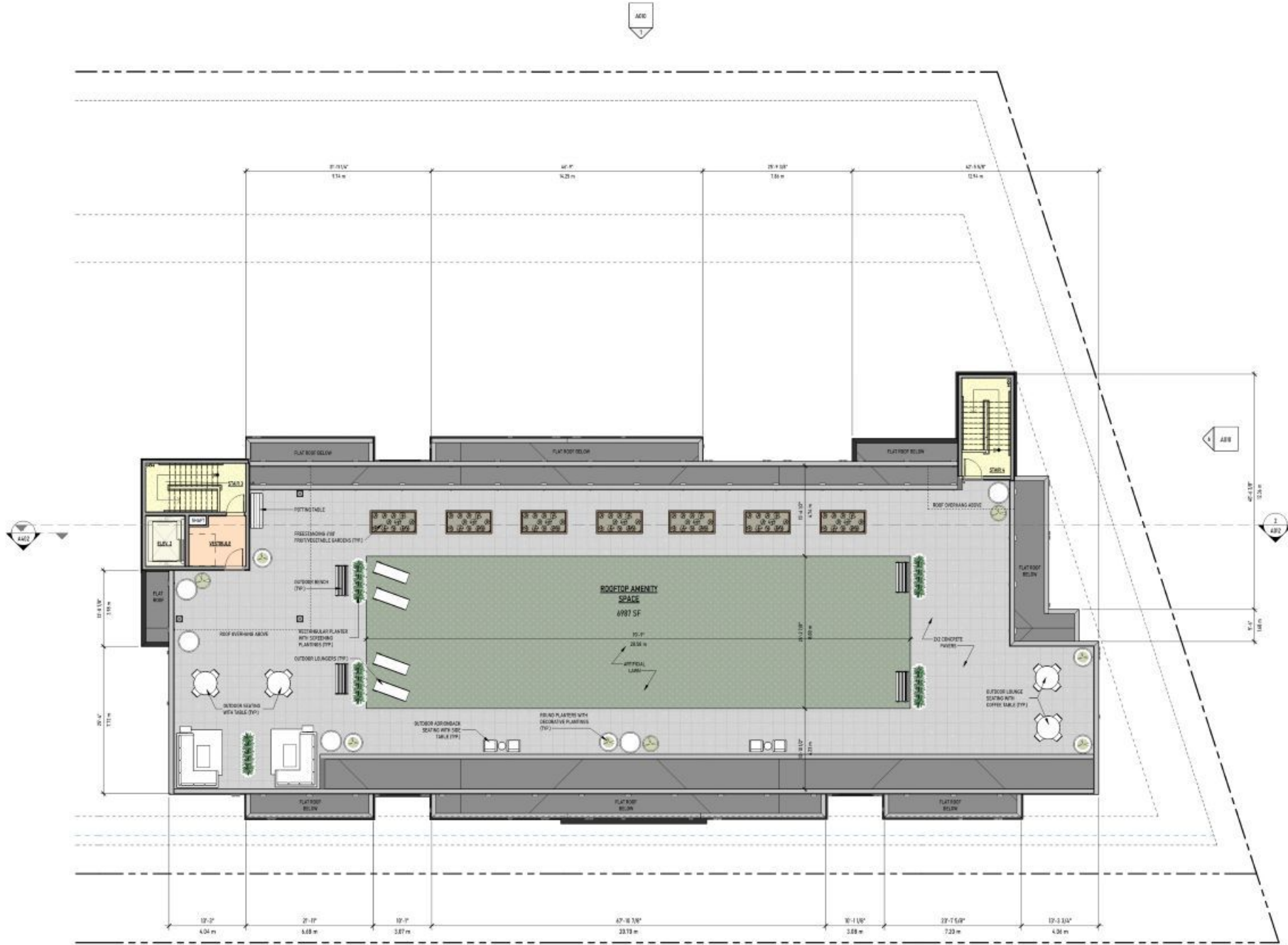
PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING B FLOOR PLAN -
LEVEL 6

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: **DP16**



SEAL:



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1 ISSUED FOR DEVELOPMENT PERMIT 2024-02-12
2 RE-ISSUED FOR DEVELOPMENT PERMIT 2024-08-01



PROJECT NAME:
WESTURBAN DEVELOPMENTS

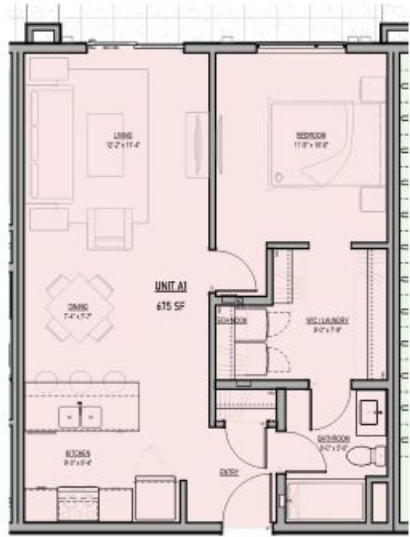
PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING B ROOF PLAN

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP17

BUILDING B - ROOF PLAN
1:50



1 UNIT TYPE A
1:30



2 UNIT TYPE B
1:30



3 UNIT TYPE C
1:30



4 UNIT TYPE D
1:30



5 UNIT TYPE E
1:30



6 UNIT TYPE F
1:30

UNIT SCHEDULE				
Name	Unit Occupancy	Total Area	Count	Percentage
unit type A	180 BA	4274 m ²	48	48%
unit type B	210 F BA	2338 m ²	38	38%
unit type C	270 G BA	2392 m ²	38	38%
Total Unit Count: 124		8994 m ²		

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PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
UNIT PLANS

PROJECT NO: 23011 DRAWN: JE

SCALE: REVIEWED: RP

DWG NO: DP18



1 BUILDING A - SOUTH ELEVATION
1:50



01 PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)
COLOUR: OFF WHITE



02 PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)
COLOUR: WEATHERED ZINC



03 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: LIGHT GREY



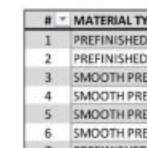
04 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: DARK GREY



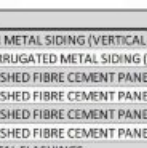
05 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: CHARCOAL



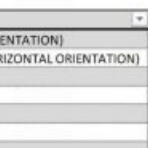
06 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: MATCHED LIGHT GREY



07 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: MATCHED DARK GREY



08 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: MATCHED CHARCOAL



09 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: MATCHED LIGHT GREY



10 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: MATCHED CHARCOAL



11 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: DARK RED



12 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: LIGHT GREY



13 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: DARK GREY



14 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: CHARCOAL



15 WALL MOUNTED DOWN LIGHT
- ABOVE EXTERIOR DOOR



16 WALL MOUNTED DOWN LIGHT
- AT MAIN FLOOR PATIO DOORS



17 SOFFIT MOUNTED RECESSED DOWNLIGHT
- ABOVE ENTRY DOOR



18 RECESSED WALL MOUNTED DOWNLIGHT
- EAST & PARKADE RAMP WALL

#	MATERIAL TYPE	COLOUR
1	PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)	OFF WHITE
2	PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)	WEATHERED ZINC
3	SMOOTH PREFINISHED FIBRE CEMENT PANEL	RED
4	SMOOTH PREFINISHED FIBRE CEMENT PANEL	LIGHT GREY
5	SMOOTH PREFINISHED FIBRE CEMENT PANEL	DARK GREY
6	SMOOTH PREFINISHED FIBRE CEMENT PANEL	CHARCOAL
7	PREFINISHED METAL FLASHINGS	COLOUR MATCHED LIGHT GREY
8	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED LIGHT GREY
9	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED LIGHT GREY
10	PREFINISHED METAL FLASHINGS	COLOUR MATCHED CHARCOAL
11	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED CHARCOAL
12	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED CHARCOAL
13	VINYL WINDOW/DOOR	BLACK FRAME
14	ALUMINIUM STOREFRONT WINDOW/DOOR	BLACK FRAME
15	PAINTED ALUMINIUM EXTERIOR DOOR	CHARCOAL
16	PICKET FASCIA MOUNTED ALUMINIUM RAILING	POWDER-COATED BLACK
17	6" HIGH WOOD FENCING	CEDARTONE
18	GLAZED ALUMINIUM PRIVACY SCREEN	BLACK FRAME/FROSTED GLAZING

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SEAL:



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PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

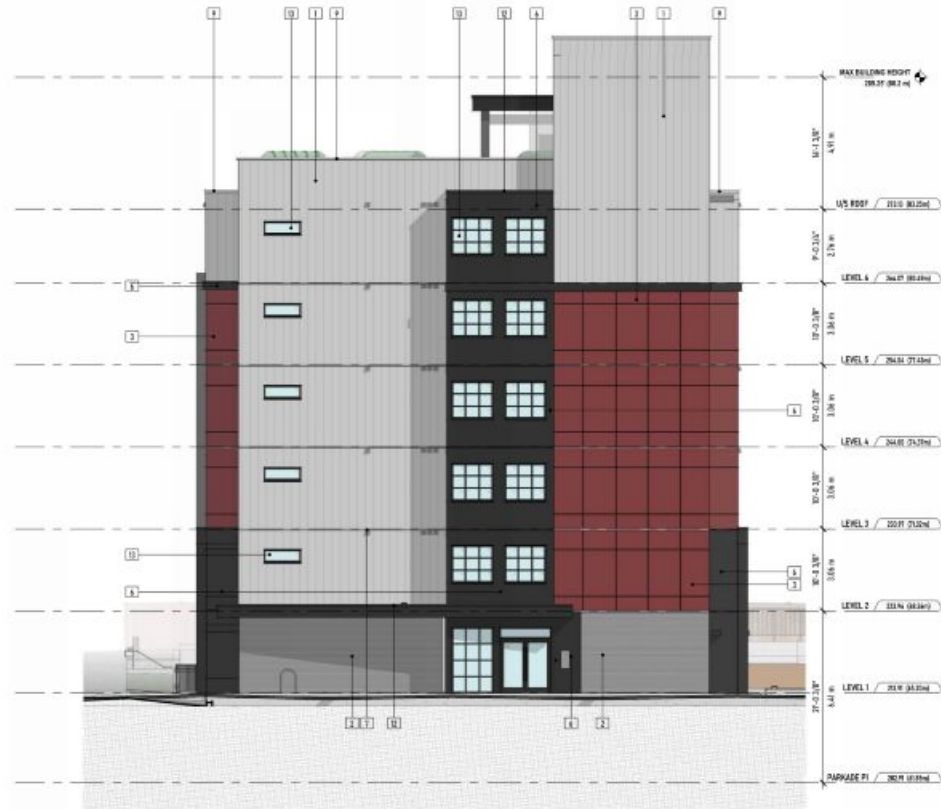
DRAWING TITLE:
BUILDING A ELEVATION - SOUTH

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP19



1 BUILDING A - WEST ELEVATION
1:50



2 BUILDING A - EAST ELEVATION
1:50



01 PREFINISHED PBR METAL SIDING
COLOUR: OFF WHITE



02 PREFINISHED CORRUGATED METAL SIDING
COLOUR: WEATHERED ZINC



03 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: POWDER COATED /
PREFINISHED METAL, COLOUR: BLACK



04 6x6 WOOD FENCING
COLOUR: CEDAR TONE



WALL MOUNTED DOWN LIGHT
- ABOVE DOOR



WALL MOUNTED DOWN LIGHT
- AT MAIN FLOOR PATIO DOORS



05 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: RED



06 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: LIGHT GREY



07 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: DARK GREY



08 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: CHARCOAL



SOFFIT MOUNTED RECESSED DOWNLIGHT
- ABOVE DOOR



RECESSED WALL MOUNTED DOWNLIGHT
- EAST & PARKADE RAMP WALL

#	MATERIAL TYPE	COLOUR
1	PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)	OFF WHITE
2	PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)	WEATHERED ZINC
3	SMOOTH PREFINISHED FIBRE CEMENT PANEL	RED
4	SMOOTH PREFINISHED FIBRE CEMENT PANEL	LIGHT GREY
5	SMOOTH PREFINISHED FIBRE CEMENT PANEL	DARK GREY
6	SMOOTH PREFINISHED FIBRE CEMENT PANEL	CHARCOAL
7	PREFINISHED METAL FLASHINGS	COLOUR MATCHED LIGHT GREY
8	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED LIGHT GREY
9	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED LIGHT GREY
10	PREFINISHED METAL FLASHINGS	COLOUR MATCHED CHARCOAL
11	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED CHARCOAL
12	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED CHARCOAL
13	VINYL WINDOW/DOOR	BLACK FRAME
14	ALUMINIUM STOREFRONT WINDOW/DOOR	BLACK FRAME
15	PAINTED ALUMINIUM EXTERIOR DOOR	CHARCOAL
16	PICKET FASCIA MOUNTED ALUMINIUM RAILING	POWDER-COATED BLACK
17	6" HIGH WOOD FENCING	CEDAR TONE
18	GLAZED ALUMINIUM PRIVACY SCREEN	BLACK FRAME/FROSTED GLAZING

SEAL:



CONSULTANT:
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PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING A ELEVATION -
WEST

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP20

SEAL:



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PROJECT NAME:
 WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
 2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING A ELEVATION - NORTH

PROJECT NO: 23011 DRAWN: JE
 SCALE: REVIEWED: RP

DWG NO: **DP21**



1 BUILDING A - NORTH ELEVATION
 1:50

01 PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION) COLOUR: OFF WHITE	02 PREFINISHED CORRUGATED METAL SIDING COLOUR: WEATHERED ZINC	03 SMOOTH PREFINISHED FIBRE CEMENT PANEL COLOUR: RED	04 SMOOTH PREFINISHED FIBRE CEMENT PANEL COLOUR: LIGHT GREY	05 SMOOTH PREFINISHED FIBRE CEMENT PANEL COLOUR: DARK GREY	06 SMOOTH PREFINISHED FIBRE CEMENT PANEL COLOUR: CHARCOAL	07 PREFINISHED METAL FLASHINGS COLOUR: MATCHED LIGHT GREY	08 PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS COLOUR: MATCHED LIGHT GREY	09 PREFINISHED METAL PARAPET CAP COLOUR: MATCHED LIGHT GREY	10 PREFINISHED METAL FLASHINGS COLOUR: MATCHED CHARCOAL	11 PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS COLOUR: MATCHED CHARCOAL	12 PREFINISHED METAL PARAPET CAP COLOUR: MATCHED CHARCOAL	13 VINYL WINDOW/DOOR BLACK FRAME	14 ALUMINIUM STOREFRONT WINDOW/DOOR BLACK FRAME	15 PAINTED ALUMINIUM EXTERIOR DOOR CHARCOAL	16 PICKET FASCIA MOUNTED ALUMINIUM RAILING POWDER-COATED BLACK	17 6\"/>

#	MATERIAL TYPE	COLOUR
1	PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)	OFF WHITE
2	PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)	WEATHERED ZINC
3	SMOOTH PREFINISHED FIBRE CEMENT PANEL	RED
4	SMOOTH PREFINISHED FIBRE CEMENT PANEL	LIGHT GREY
5	SMOOTH PREFINISHED FIBRE CEMENT PANEL	DARK GREY
6	SMOOTH PREFINISHED FIBRE CEMENT PANEL	CHARCOAL
7	PREFINISHED METAL FLASHINGS	COLOUR MATCHED LIGHT GREY
8	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED LIGHT GREY
9	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED LIGHT GREY
10	PREFINISHED METAL FLASHINGS	COLOUR MATCHED CHARCOAL
11	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED CHARCOAL
12	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED CHARCOAL
13	VINYL WINDOW/DOOR	BLACK FRAME
14	ALUMINIUM STOREFRONT WINDOW/DOOR	BLACK FRAME
15	PAINTED ALUMINIUM EXTERIOR DOOR	CHARCOAL
16	PICKET FASCIA MOUNTED ALUMINIUM RAILING	POWDER-COATED BLACK
17	6\"/>	
18	GLAZED ALUMINIUM PRIVACY SCREEN	BLACK FRAME/FROSTED GLAZING



1 BUILDING B - SOUTH ELEVATION
EPT 1:100



01 PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)
COLOUR: OFF WHITE



02 PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)
COLOUR: WEATHERED ZINC



03 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: BLACK



04 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: LIGHT GREY



05 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: DARK GREY



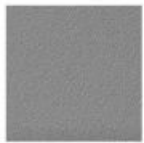
06 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: CHARCOAL



07 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: RED



08 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: LIGHT GREY



09 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: DARK GREY



10 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: CHARCOAL



11 6' HIGH WOOD FENCING
COLOUR: CEDARTONE



12 GLAZED ALUMINIUM PRIVACY SCREEN
BLACK FRAME/FROSTED GLAZING



13 WALL MOUNTED DOWN LIGHT
- ABOVE EXTERIOR DOORS



14 WALL MOUNTED DOWN LIGHT
- AT BALCONY/DOOR PATIO DOORS



15 SOFFIT MOUNTED RECESSED DOWNLIGHT
- ABOVE EXTERIOR DOORS
- ABOVE PARADE DECK



16 RECESSED WALL MOUNTED DOWNLIGHT
- CASE IN PARADE DECK WALL

#	MATERIAL TYPE	COLOUR
1	PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)	OFF WHITE
2	PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)	WEATHERED ZINC
3	SMOOTH PREFINISHED FIBRE CEMENT PANEL	RED
4	SMOOTH PREFINISHED FIBRE CEMENT PANEL	LIGHT GREY
5	SMOOTH PREFINISHED FIBRE CEMENT PANEL	DARK GREY
6	SMOOTH PREFINISHED FIBRE CEMENT PANEL	CHARCOAL
7	PREFINISHED METAL FLASHINGS	COLOUR MATCHED LIGHT GREY
8	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED LIGHT GREY
9	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED LIGHT GREY
10	PREFINISHED METAL FLASHINGS	COLOUR MATCHED CHARCOAL
11	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED CHARCOAL
12	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED CHARCOAL
13	VINYL WINDOW/DOOR	BLACK FRAME
14	ALUMINIUM STOREFRONT WINDOW/DOOR	BLACK FRAME
15	PAINTED ALUMINIUM EXTERIOR DOOR	CHARCOAL
16	PICKET FASCIA MOUNTED ALUMINIUM RAILING	POWDER-COATED BLACK
17	6' HIGH WOOD FENCING	CEDARTONE
18	GLAZED ALUMINIUM PRIVACY SCREEN	BLACK FRAME/FROSTED GLAZING

SEAL:



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1 ISSUED FOR DEVELOPMENT PERMIT 2024-03-12
2 RE-ISSUED FOR DEVELOPMENT PERMIT 2024-08-01

PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING B ELEVATION - SOUTH

PROJECT NO: 23011 DRAWN: JE

SCALE: REVIEWED: RP

DWG NO: DP22



1 BUILDING B - WEST ELEVATION
1:100

2 BUILDING B - EAST ELEVATION
1:100



01 PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)
COLOUR: OFF WHITE



02 PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)
COLOUR: WEATHERED ZINC



03 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: BLACK



04 6x6 WOOD FENCING
COLOUR: CEDARTONE



05 WALL MOUNTED DOWN LIGHT
- ABOVE EXTERIOR DOOR



06 WALL MOUNTED DOWN LIGHT
- AT MAX FLOOR FINISH DOORS



07 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: RED



08 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: LIGHT GREY



09 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: DARK GREY



10 SMOOTH PREFINISHED FIBRE CEMENT PANEL
COLOUR: CHARCOAL



11 RECESSED WALL MOUNTED DOWN LIGHT
- ABOVE EXTERIOR DOOR
- ABOVE PARADE DECK



12 RECESSED WALL MOUNTED DOWN LIGHT
- CASE & PARADE RAMP WALL

#	MATERIAL TYPE	COLOUR
1	PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)	OFF WHITE
2	PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)	WEATHERED ZINC
3	SMOOTH PREFINISHED FIBRE CEMENT PANEL	RED
4	SMOOTH PREFINISHED FIBRE CEMENT PANEL	LIGHT GREY
5	SMOOTH PREFINISHED FIBRE CEMENT PANEL	DARK GREY
6	SMOOTH PREFINISHED FIBRE CEMENT PANEL	CHARCOAL
7	PREFINISHED METAL FLASHINGS	COLOUR MATCHED LIGHT GREY
8	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED LIGHT GREY
9	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED LIGHT GREY
10	PREFINISHED METAL FLASHINGS	COLOUR MATCHED CHARCOAL
11	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED CHARCOAL
12	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED CHARCOAL
13	VINYL WINDOW/DOOR	BLACK FRAME
14	ALUMINIUM STOREFRONT WINDOW/DOOR	BLACK FRAME
15	PAINTED ALUMINIUM EXTERIOR DOOR	CHARCOAL
16	PICKET FASCIA MOUNTED ALUMINIUM RAILING	POWDER-COATED BLACK
17	6" HIGH WOOD FENCING	CEDARTONE
18	GLAZED ALUMINIUM PRIVACY SCREEN	BLACK FRAME/FROSTED GLAZING

SEAL:



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NO. ISSUED FOR: DATE:
1 ISSUED FOR DEVELOPMENT PERMIT 2024-03-12
2 RE-ISSUED FOR DEVELOPMENT PERMIT 2024-08-01



PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING B ELEVATION -
WEST

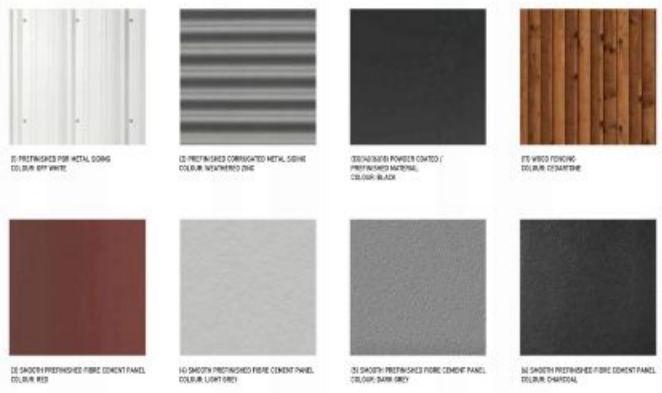
PROJECT NO: 23011 DRAWN: JE

SCALE: REVIEWED: RP

DWG NO: DP23



1 BUILDING B - NORTH ELEVATION
1:100



#	MATERIAL TYPE	COLOUR
1	PREFINISHED PBR METAL SIDING (VERTICAL ORIENTATION)	OFF WHITE
2	PREFINISHED CORRUGATED METAL SIDING (HORIZONTAL ORIENTATION)	WEATHERED ZINC
3	SMOOTH PREFINISHED FIBRE CEMENT PANEL	RED
4	SMOOTH PREFINISHED FIBRE CEMENT PANEL	LIGHT GREY
5	SMOOTH PREFINISHED FIBRE CEMENT PANEL	DARK GREY
6	SMOOTH PREFINISHED FIBRE CEMENT PANEL	CHARCOAL
7	PREFINISHED METAL FLASHINGS	COLOUR MATCHED LIGHT GREY
8	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED LIGHT GREY
9	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED LIGHT GREY
10	PREFINISHED METAL FLASHINGS	COLOUR MATCHED CHARCOAL
11	PREFINISHED METAL TRIM FOR FIBRE CEMENT PANELS	COLOUR MATCHED CHARCOAL
12	PREFINISHED METAL PARAPET CAP	COLOUR MATCHED CHARCOAL
13	VINYL WINDOW/DOOR	BLACK FRAME
14	ALUMINIUM STOREFRONT WINDOW/DOOR	BLACK FRAME
15	PAINTED ALUMINIUM EXTERIOR DOOR	CHARCOAL
16	PICKET FASCIA MOUNTED ALUMINIUM RAILING	POWDER-COATED BLACK
17	6" HIGH WOOD FENCING	CEDARTONE
18	GLAZED ALUMINIUM PRIVACY SCREEN	BLACK FRAME/FROSTED GLAZING

UNION
ARCHITECTURE

30-2840 PEATTY RD, LANGFORD, BC V1E 2H4
info@unionarchitect.com
www.unionarchitect.com

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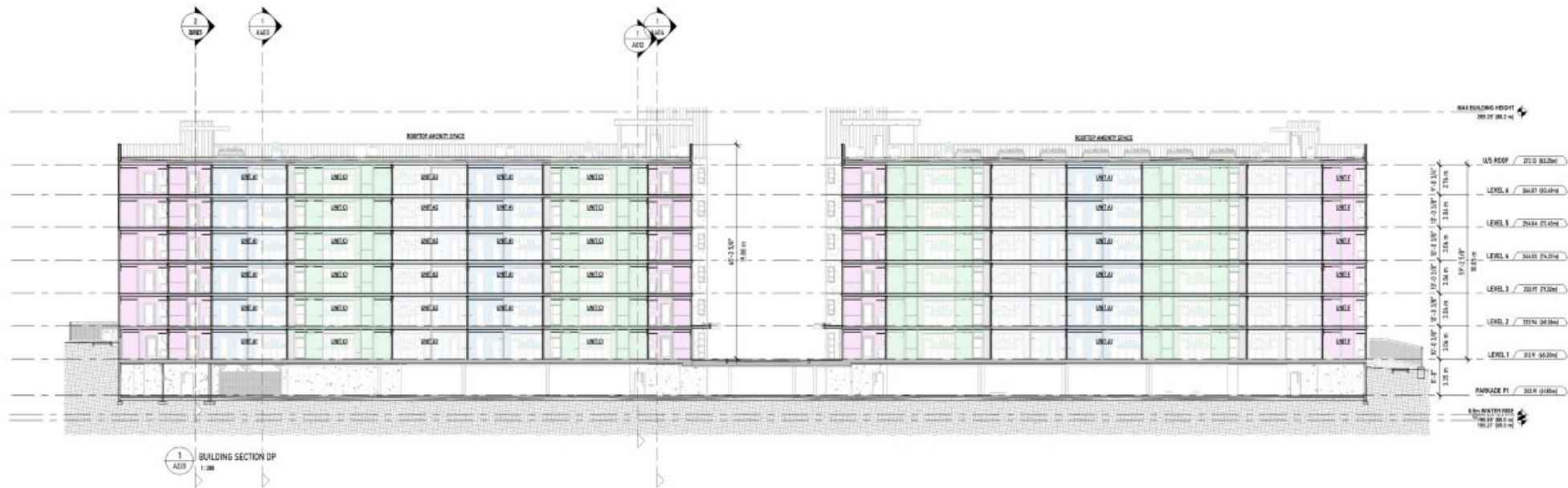
PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

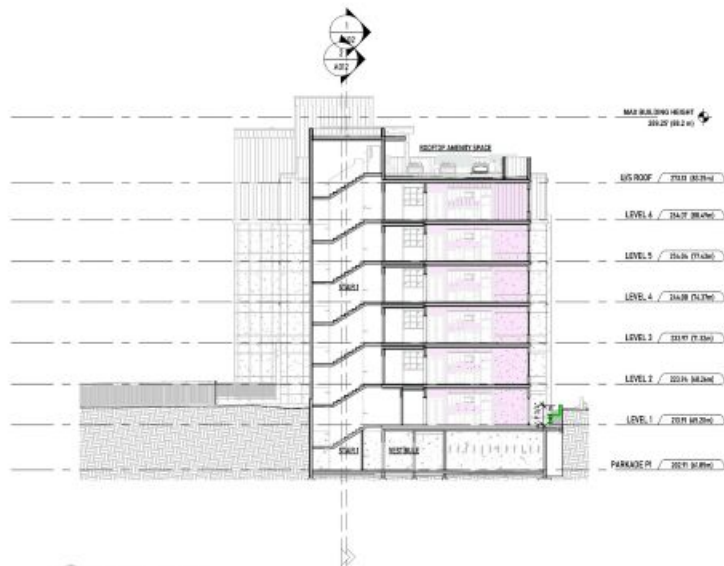
DRAWING TITLE:
BUILDING B ELEVATION - NORTH

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP24



1 BUILDING SECTION DP
1:200



2 BUILDING A SECTION 1 DP
1:200



3 BUILDING B SECTION 1 DP
1:200

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PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
BUILDING SECTIONS

PROJECT NO: 23011 DRAWN: JE
SCALE: REVIEWED: RP

DWG NO: DP25



1 SOUTHEAST AXONOMETRIC



2 SOUTHWEST AXONOMETRIC



3 NORTHEAST AXONOMETRIC



4 NORTHWEST AXONOMETRIC

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PROJECT NAME:
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PROJECT ADDRESS:
 2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
 3D MODEL ORTHO VIEWS

PROJECT NO: 23011	DRAWN: JE
SCALE:	REVIEWED: RP

DWG NO: **DP26**



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PROJECT NAME:
WESTURBAN DEVELOPMENTS

PROJECT ADDRESS:
2054-2076 SOOKE ROAD, COLWOOD BC

DRAWING TITLE:
RENDERINGS

PROJECT NO: 23011 | DRAWN: JE
SCALE: | REVIEWED: RP

DWG NO: **DP27**

Schedule 2

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- NOTES:**
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS.
 2. THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE DEVELOPMENT PERMIT AREA DESIGN GUIDELINES OF CAMPBELL RIVER FOR LANDSCAPE DEVELOPMENT AND IRRIGATION WATER CONSERVATION.
 3. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 4. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 5. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH GROWING MEDIUM PLACEMENT. TREES TO RECEIVE A MINIMUM 1.0M DEPTH GROWING MEDIUM PLACEMENT.
 6. TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF APPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.



PLANT LIST:

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
Trees Deciduous					
3	AJ	<i>Acer x freemanii 'Jefferson'</i>	Autumn Blaze Maple	5cm Cal	B&B
4	AN	<i>Acer negundo</i>	Bowleder Maple	5cm Cal	B&B
3	AC	<i>Acer rubrum 'Columbian'</i>	Columbian Red Maple	5cm Cal	B&B
12	PT	<i>Populus tremula 'Erecta'</i>	Columbian Swedish Aspen	30cm Cal	B&B
15	QA	<i>Quercus garryana</i>	Garry Oak	5cm Cal	B&B
Shrubs					
88	BT	<i>Berberis thunbergii 'Gentry'</i>	Royal Burgundy Barberry	#02	Potted
100	BG	<i>Buxus 'Green Velvet'</i>	Green Velvet Boxwood	#02	Potted
39	PN	<i>Picea abies 'Little Gem'</i>	Little Gem Norway Spruce	#02	Potted
88	SJ	<i>Spirea japonica 'Goldkissum'</i>	Goldkissum Spiraea	#02	Potted
100	TR	<i>Taxus x media 'Yukon'</i>	Yukon Red Cedar	#02	Potted
Ornamental Grasses					
38	CA	<i>Calamagrostis x acutiflora 'Yari Koestar'</i>	Karl Forester Feather Reed Grass	#01	Potted
35	FO	<i>Pennisetum orientale 'Korley Rose'</i>	Korley Rose Fountain Grass	#01	Potted
Perennials					
46	AJ	<i>Asplenium 'Peach Blossom'</i>	Peach Blossom Asplenium	#01	Potted
46	HO	<i>Hosta 'Springtime'</i>	Springtime Hosta	#01	Potted
67	LA	<i>Lavandula angustifolia 'Yukon'</i>	Yukon English Lavender	#01	Potted
67	HI	<i>Helianthus 'Autumn Fire'</i>	Autumn Fire Coneflower	#01	Potted
67	SA	<i>Sedum spectabile 'Autumn Fire'</i>	Autumn Fire Stonecrop	#01	Potted



ISSUE	DESCRIPTION	DATE
2	ISSUED FOR DEVELOPMENT PERMIT	2024-08-27
1	ISSUED FOR REVIEW	2024-08-23

CLIENT NAME:
WESTURBAN DEVELOPMENTS

PROJECT NAME:
2054-2076 SOOKE ROAD

DRAWING TITLE:
CONCEPTUAL LANDSCAPE PLAN

DRAWN	DATE	DRAWING NO.:
NAM		LDP1
CHECKED	NAM	
PROJECT NO.:	24066-100	
SCALE:	1:200	

Schedule 3



ENGINEERING ▪ LANDSCAPE ARCHITECTURE ▪ URBAN PLANNING

Friday, September 27, 2024

District of Sooke
Land Development
2205 Otter Point Road
Sooke, BC V9Z 1J2

Attention: Land Development

Re: 2076 Sooke Road, Development Permit

As per our client's request, CTQ Consultants Ltd., estimates a landscape development cost of **\$109,369.00** excluding applicable taxes for the above noted property. This price includes landscape materials and installation (turf, trees, planting, topsoil, mulch, and irrigation).

Should you require any explanation of this letter, please contact the undersigned.

Sincerely,

CTQ CONSULTANTS LTD.

A handwritten signature in black ink that reads 'Natalie Martin'.

Natalie Martin, AALA BCSLA CSLA
Landscape Architecture | Placemaking | Sustainability | Urban Design

cc: Frank Limshue, WestUrban Developments

Estimate of Probable Construction Costs

prepared for

WestUrban Developments

2054 Sooke Road

Conceptual Landscape Plan Dated September 21, 2024

prepared on: 24.09.21

prepared by: MC

Hydroseed Area	0	m ²			
Turf Area	26	m ²			
Planting Area	730	m ²			
Total	756	m²		8138	ft²

Item #	Description	Qty	Unit	Cost	Item Total	Subtotal
A	Topsoil & Mulch					
1.	Topsoil, turf areas (0.15m depth)	4	m ³	\$90.00	\$351.00	
2.	Topsoil, planting areas (0.3m depth)	219	m ³	\$90.00	\$19,710.00	
3.	Topsoil, hydroseed areas (0.05m depth)	0	m ³	\$90.00	\$0.00	
4.	Topsoil, trees (1.0m cu.m. per tree)	37	m ³	\$90.00	\$3,330.00	
5.	Wood Mulch, planting areas (0.075m depth)	55	m ³	\$100.00	\$5,475.00	
						\$28,866.00
C	Planting					
1.	Trees, 6cm Cal.	37	ea.	\$800.00	\$29,600.00	
6.	Shrubs, Grasses, Perennials, #01 Cont.	357	ea.	\$18.00	\$6,426.00	
7.	Shrubs, Grasses, Perennials, #02 Cont.	703	ea.	\$25.00	\$17,575.00	
10.	Hydroseeding	0	m ²	\$3.00	\$0.00	
11.	Root Barrier	0	lm	\$70.00	\$0.00	
						\$53,601.00
D	Turf					
1.	Turf from Sod	26	m ²	\$12.00	\$312.00	
						\$312.00
E	Irrigation					
1.	Irrigation System, turf areas	26	m ²	\$40.00	\$1,040.00	
2.	Irrigation System, planting areas	730	m ²	\$35.00	\$25,550.00	
						\$26,590.00
G	Total Construction Costs					\$109,369.00

The above items, amounts, quantities, and related information are based on CTQ's judgment at this level of document preparation and is offered only as reference data. CTQ has no control over construction quantities, costs and related factors affecting costs, and advises the client that significant variation may occur between this estimate of probable construction costs and actual construction prices.



Schedule 4



2054 - 2076 Sooke Road Tree Management Plan

PREPARED FOR:

WestUrban Developments Ltd.
21- 3318 Oak Street
Victoria, BC V8X 2S9

PREPARED BY:

Peter McAra
Field Consulting Arborist
ISA Certified Arborist #PN-7521A
ISA Tree Risk Assessment Qualified

PROVIDED BY:

Trent Skaar
Arborist Representative
ISA Certified Arborist #PN-5533A
ISA Tree Risk Assessment Qualified



Bartlett Tree Experts
4370 Interurban Road
Victoria, BC V9E 2C4
250-479-3873
www.bartlett.com

Tree Management Plan Report
2054 – 2076 Sooke Road
Colwood, BC V9B 1W3
September 25, 2024

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Background

WestUrban Developments Ltd. contacted Bartlett Tree Experts (BTE or Bartlett) to provide a tree management plan for the five properties, 2054-2076 Sooke Road. The tree management plan is in conjunction with a tree inventory that was conducted on January 20, 2023, and documented trees within proximity to the proposed development. A second inventory of additional trees was conducted September 25, 2024. This second inventory was to include the five European beech (*Fagus sylvatica*) trees #4034, and #4036 - #4039 located along the eastside of the property line within the Hatley Memorial Gardens. Four other off-site trees (OS-101 to #OS-104) were added to the north side of the site. These four additional trees are situated at the property line between the site and the 2838 Acacia Drive property.

The City of Colwood (COC) requires the contractor have a Tree Management Plan for the site, based on the plans involved and the trees proximity to the project. Field Consulting Arborist Peter McAra was tasked with this responsibility.

The proposed scope of work includes the following:

- Excavating the area below grade for the building foundation and parking. Depth of excavation is anticipated to be approximately 3.4m to 4m below the existing grade and requiring shoring for the two level subgrade parkade and building foundation.
- Construction of two six-storied buildings.
- Redesigning the landscape after construction is complete.

Purpose

The intended purpose of this report is to provide management recommendations for the trees on site, based on their suitability for retention from impacts of the proposed project, and the measures required to protect any retained trees during the construction.

Limits of the Assignment

Information regarding the trees included in this report was obtained from:

- the physical inventory conducted by BTE.
- emailed plans from WestUrban Developments Ltd.:
 - Union Architecture Site Plan (dated March 13, 2024, and drawn by JE)
 - Eora Landscape Plan (dated March 13, 2024, and drawn by PH)

An inventory of the trees on and off the property was completed to assess how they may be impacted by the proposed development. A visual inspection was performed of these trees and a numbering system was assigned. Individual trees/ and or tree groupings were affixed with a blue aluminum tag for identification purposes.

Data collected in the field included species, diameter at breast height (DBH measured at 1.4m), approximate height, and the overall tree condition. Critical Root Zone radii were determined using the *Best Management Practices* and the Tree Protection Distance Table in Appendix IV.

The weather conditions were overcast with mild temperatures at the time of the assessment. This tree inventory was not a tree risk assessment. As such, no trees were assessed for risk in accordance with industry standards, nor are there any tree risk ratings or risk mitigation recommendations provided within this preservation plan.

All recommendations made in this report are based on our interpretation of the plans provided and our email communication with the client. **A review of the project and the management recommendations of the trees may need to be modified if the scope of work and/or project details are revised.**

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.

Illustrations, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.

Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plans of the property in question may not arise in the future.

Methods

The original inventory was conducted on January 20, 2023 and additional trees added on September 25, 2024. The assessment included all trees 15cm and greater in diameter on the site. The following list of criteria was included within our inventory:



Photo 1. View of some of the off-site beech trees on the memorial gardens property to the east of the site. (01/20/2023)

1. Affix a sequentially numbered tag to the main trunk of each on the site tree(only one tree was tagged per grouping; trees on neighbouring property were not physically tagged unless already affixed with aluminum tree identification numbers);
2. Identifying the species of tree;
3. Measuring the trunk diameter at 1.4 m above grade;
4. Evaluating the health and structural condition, and assigning an overall condition of Good, Fair, Poor or Dead, based on the following criteria:

Good A healthy tree that may have a slight decline in vigor, small amount of twig dieback, minor structural defects that could be corrected;

Fair Tree with moderate vigor, moderate twig and small branch dieback, thinning of crown, poor leaf color, moderate structural defects that might be mitigated with regular care;

Poor Tree in decline, epicormic growth, extensive dieback of medium to large branches, significant structural defects that cannot be abated;

Dead

Tree Preservation Regulations

The City of Colwood (Urban Tree Bylaw) #1735, 2018 and amendment 1735-01 (July 15, 2020) protects tree species as follows:

- (i) any Arbutus(*Arbutus menziesii*), Garry oak (*Quercus garryana*), Pacific Dogwood(*Cornus nuttallii*), and Pacific yew (*Taxus brevifolia*) 2m or greater in height or 4cm or greater in diameter;
- (ii) any Douglas fir (*Pseudotsuga menziesii*), grand fir (*Abies grandis*), Big Leaf Maple (*Acer macrophyllum*), or western red cedar (*Thuja plicata*) 30cm in diameter or more;
- (iii) any tree greater than 60cm in diameter or more at chest height;
- (iv) a retained tree identified on a tree protection plan;
- (v) a replacement tree identified on a tree replacement plan;
- (vi) a wildlife tree (with nesting birds or animals);

The City of Colwood Urban Bylaw requires replacement trees be planted on the same lot as the tree removals. When removing one to five trees, they must be replaced at a 1:1 ratio. When removing more than five trees, they must be replaced at a 2:1 ratio.

A security deposit of \$250 per replacement tree is required. Security deposits are reimbursed in full with confirmation that the replacement tree has been planted and survived for at least one year.

Replacement trees must be at least 1.5m in height and a native species found in Coastal Douglas fir ecosystem. The list of Tree Species Native to the Coastal Douglas Fir Zone are as follows:

- Arbutus (*Arbutus menziesii*)
- Black cottonwood (*Populus trichocarpa*)
- Big Leaf maple (*Acer macrophyllum*)
- Douglas fir (*Pseudotsuga menziesii*)
- Garry oak (*Quercus garryana*)
- Grand fir (*Abies grandis*)
- Shore pine (*Pinus contorta*)
- Pacific crab apple (*Malus fusca*)
- Pacific dogwood (*Cornus nuttallii*)
- Western yew (*Taxus brevifolia*)
- Red alder (*Alnus rubra*)
- Western red cedar (*Thuja plicata*)
- Western white pine (*Pinus monticola*)
- Western hemlock (*Tsuga heterophylla*)

If replacement trees cannot be planted on the same lot, the \$250 cash in lieu replacement tree is required to plant trees elsewhere in the community.

Effects of construction on trees

Tree root systems are generally confined to the uppermost 1m of the soil profile. Construction activities can cause profound changes to the area surrounding a tree's root system. Access traffic, storage of materials, grading, and trenching can result in soil compaction, crushing or severing of roots, injury to aboveground portions (trunk and branches), and drainage changes.

Cutting of roots reduces a tree's ability to supply itself with water and nutrients necessary to produce the sugars and carbohydrates necessary for sustaining life. Compaction of the soil reduces air pockets in the soil and makes it more difficult for roots to grow through it. It also slows or even prevents drainage of irrigation or storm water, which can result in excessively wet conditions, leading to root rot. Breakage and injury to a tree's trunk and branches reduce its aesthetic value, but more importantly, can leave entry points for pests and diseases.

The issues above often do not appear immediately after the area surrounding a tree has been disturbed. It can be years after the project has been completed that stress signs become apparent. Reduced growth, changes in color or leaf size, branch dieback, or even tree death can follow large disturbances.

Tree Impacts

To accommodate the construction of the proposed development, all site trees will require removal. The depth of excavation required (3.4m - 4m below grade) and the anticipated shoring required to secure one sublevel parking and building foundation and is likely to require the majority of the five sites be cleared. Based on the proposed footprint of the development on site tree retention is not feasible.

However, during the demolition of the existing structures, all the bylaw protected trees will require a tree protection fence. Tree Protection requirements must be adhered to unless the City of Colwood waives this requirement.

The proposed development site contains ten protected trees under the City of Colwood Urban Tree Bylaw. These trees are as follows:

- #287 – Garry oak (*Quercus garryana*)
- #291 – Pacific dogwood (*Cornus nuttallii*)
- #292 – English walnut (*Juglans regia*)
- #293 – Garry oak (*Quercus garryana*)
- #294 – Garry oak (*Quercus garryana*)
- #296 – Grand fir (*Abies grandis*) *neighbours tree
- #300 – Garry oak (*Quercus garryana*)
- #308 – Garry oak (*Quercus garryana*)
- #315 – Paper birch (*Betula papyrifera*)
- #316 – Pacific dogwood (*Cornus nuttallii*)

The neighbouring properties have contains six additional protected trees under the City of Colwood Urban Tree Bylaw. These trees are as follows:

- #OS - 101 Douglas fir (*Pseudotsuga menziesii*)
- #OS - 102 Western red cedar (*Thuja plicata*)



Photo 2: Garry oak #287 at northeast corner of proposed development site (01/20/2023)

- #OS - 103 Leyland cypress (*Cupressus x leylandii*)
- #4034 – European beech (*Fagus sylvatica*)
- #4036 – European beech (*Fagus sylvatica*)
- #4038 – European beech (*Fagus sylvatica*)

Based on the City of Colwood tree bylaw the removal of these trees requires a 2:1 replacement ratio. This means that trees are to be installed. If the trees cannot be installed on site; each replacement tree would require a \$250 deposit.

There are five mature European beech (*Fagus sylvatica*) trees #4034, #4036 - #4039 located to the east side of the proposed project on the Hatley Memorial Gardens grounds. These trees are situated at the property line and are likely impacted by the proposed construction project. This species of beech trees are intolerant of significant construction impacts and root loss. Mature trees are particularly intolerant to these impacts. The required excavation and pit sloping of 1:1 (once below 1.4m grade) being conducted to a depth of 3.4m -4m below grade for the structure is going to slope to the property line. The beech trees are likely to incur significant root loss and impacts and are being recommended for removal. A signed permission from the tree owners as well as permits will be required prior to these trees being removed. If these trees were to be retained, a concern for tree destabilization from significant weather conditions.

Similarly, the four additional trees on neighbouring properties including #OS - 101 Douglas fir (*Pseudotsuga menziesii*), #OS - 102 Western red cedar (*Thuja plicata*), #OS - 103 Leyland cypress (*Cupressus x leylandii*) and unprotected #OS - 104 sweet cherry (*Prunus avium*) are recommended for removal. All four trees are 1m or less from the property line. These are all likely to incur significant root loss and could become destabilized. These trees were not physically tagged with aluminum ID tree tag numbers. Tree #OS-101 is situated less than 1m north of the property line and approximately 2m northeast of tree #296. Tree #OS-102 is located less than 1m west of tree #296. Trees #OS-103 and #OS-104 are situated less than 1m northwest of tree #297.

To protect the retained trees from construction impacts, I recommend following the Tree Preservation Guidelines provided in this report.

Tree Preservation Guidelines

Tree preservation is intended to not only foster tree survival during development, but also to promote maintenance of tree health and beauty into the future. Retained trees that are injured or damaged during construction or are insufficiently maintained afterward become a liability rather than an asset. How an individual tree responds to disturbances will depend on the extent of excavation and grading, the care with which demolition is undertaken, and

the construction methods employed. Coordinating any construction activity inside the Tree Protection Zone (TPZ) can minimize these impacts.

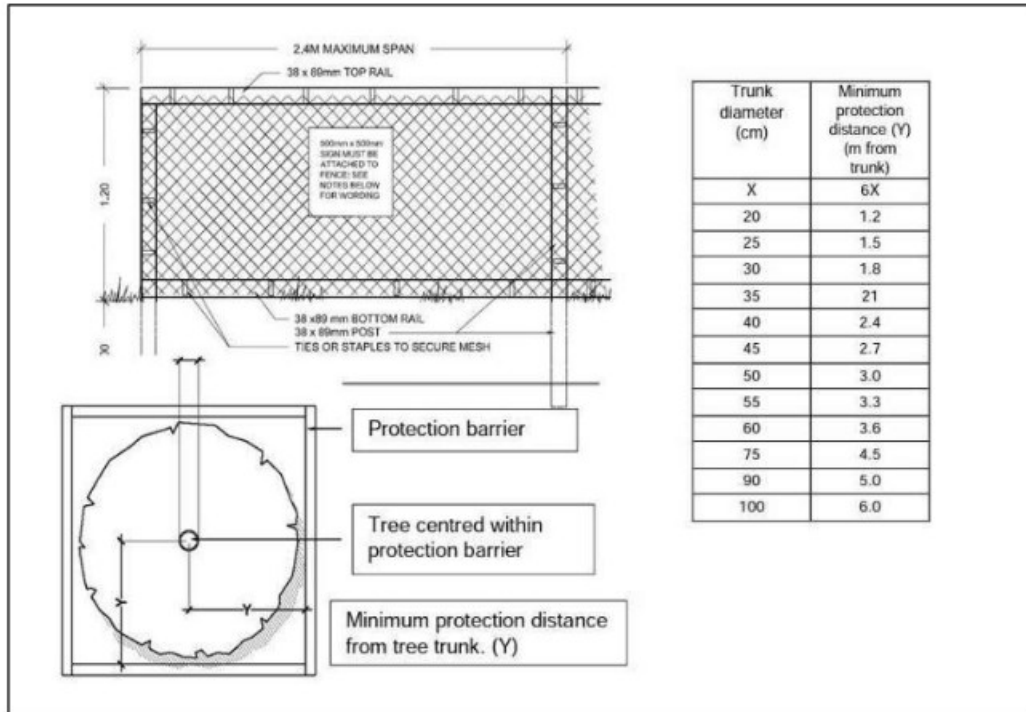
The following recommendations may help to reduce impacts to trees from development and maintain and improve their health and vitality through the clearing, grading and construction phases.

Design Recommendations

1. Any changes to the plans involving the trees should be reviewed by the Project Arborist with regard to tree impacts. These include, but are not limited to: site plans, improvement plans, utility and drainage plans, grading plans, landscape and irrigation plans, and demolition plans.
2. Obtain written permission from the tree owners of trees #OS-101 - #OS-104, #4034, #4036 - #4039 to remove.
3. **Tree Preservation Guidelines** prepared by the Project Arborist, which include specifications for tree protection during construction, should be included on all plans.

Tree Protection Zone

1. **A TREE PROTECTION ZONE** shall be identified for each bylaw protected tree to be preserved during the demolition phase of the project. Fencing should be constructed to the trees dripline (unless otherwise stated) and any work conducted within the trees vicinity shall be monitored by the Project Arborist.
2. Tree protection fences shall be installed to encompass the **TREE PROTECTION ZONE**. As detailed in this image (taken from the City of Colwood's Urban Tree Bylaw) below:



- Fences must be installed prior to the beginning of and must remain until the demolition phase is complete. The fencing may be removed once the tree removal permits are in the contractor's possession.

Pre-demolition / Pre-construction Treatments and Recommendations

- The construction superintendents shall meet with the Project Arborist before beginning work to review all work procedures, access routes, storage areas, and tree protection measures.
- Fence all trees to completely enclose the Tree Protection Zone prior to any demolition, grubbing or grading. Fences are to remain until all grading and construction is completed.
- Retained trees may require building clearance prior to demolition and construction. Pruning must be provided by an ISA certified arborist in good standing.

Recommendations for Tree Protection during Construction

- All contractors shall conduct operations in a manner that will prevent damage to trees to be preserved.

2. Tree protection devices are to remain until all site work has been completed within the work area. Fences or other protection devices may not be relocated or removed without permission of the Project Arborist.
3. Construction trailers, traffic and storage areas must remain outside **TREE PROTECTION ZONE** at all times.
4. Any root pruning required for construction purposes shall receive the prior approval of and be performed by the Project Arborist. Roots should be cut with a saw to provide a flat and smooth cut. Removal of roots larger than 2 cm in diameter should be avoided. Only the Project Arborist may prune the any of the trees roots. A report of the process will be written by the Project Arborist prior to the root pruning and the client must forward to the City of Colwood for approval.
5. Prior to grading or trenching, trees may require root pruning outside the **TREE PROTECTION ZONE**. Any root pruning required for construction purposes shall receive the prior approval of, and be conducted by, the Project Arborist. A post root-pruning arborist memorandum will be written by the Project Arborist, and the client must forward to the City of Colwood once received.
6. If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Project Arborist so that appropriate treatments can be applied.
7. No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the **TREE PROTECTION ZONE**.
8. Any tree pruning needed for clearance during construction must be performed by an ISA Certified Arborist and not by construction personnel.

Maintenance of Impacted Trees

Preserved trees will experience a physical environment different from that of the pre-development conditions. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. In addition, provisions for monitoring both tree health and structural stability following construction must be made a priority. Inspect trees annually and following major storms to identify conditions requiring treatment to manage risk associated with tree failure.

Our procedures included assessing trees for observable defects in structure. This is not to say that trees without significant defects will not fail. Failure of apparently defect-free trees does occur, especially during storm events. Wind forces, for example, can exceed the strength of defect-free wood causing branches and trunks to break. Wind forces coupled with rain can saturate soils, reducing their ability to hold roots, and blow over defect-free

trees. Although we cannot predict all failures, identifying those trees with observable defects is a critical component of enhancing public safety.

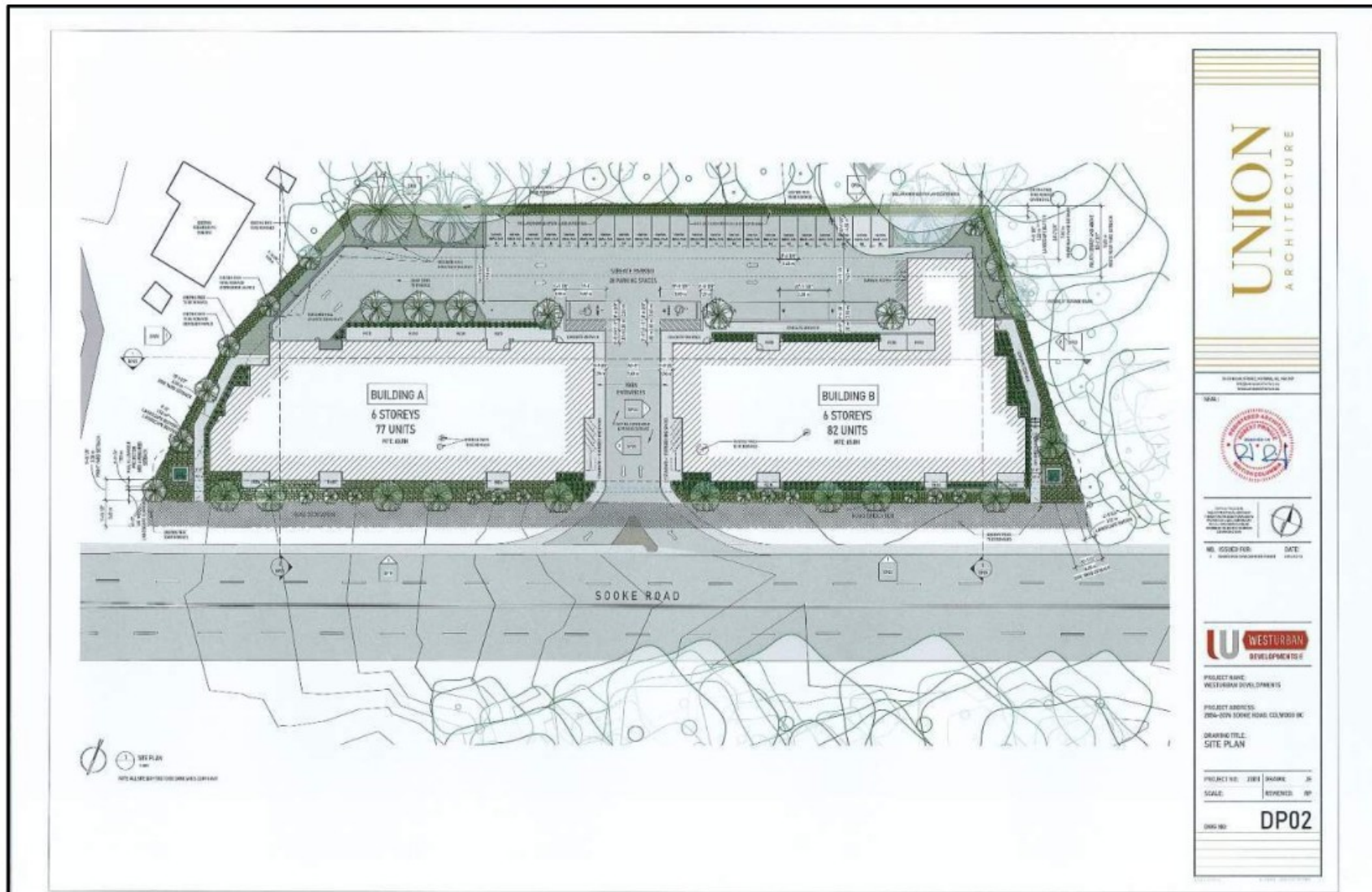
Furthermore, trees change over time. Our inspections represent the condition of the tree at the time of inspection. As trees age, the likelihood of failure of branches or entire trees increases. Annual tree inspections are recommended to identify changes to tree health and structure. In addition, trees should be inspected after storms of unusual severity to evaluate damage and structural changes. Initiating these inspections is the responsibility of the client and/or tree owner.

If you have any questions about my observations or recommendations, please contact me: Peter McAra at pmcara@bartlett.com

Appendix I – Site Map



Appendix II – Site Plan



Site Plan

Appendix III – Landscape Plan



Landscape Plan

Appendix IV – Tree Inventory Table

Tree ID	Species	DBH ¹ (cm)	Crown Radius (m)	Structural Condition	Health Condition	TPZ ² (m)	Protection Status	Relative Construction Tolerance	Suitability for Preservation ³	Recommendations
OS-101	Douglas fir (<i>Pseudotsuga menziesii</i>)	66	6.0	Good	Fair	9.9	Protected	Poor - moderate	Low	Remove – permit required. Signed permission from the trees owner must be obtained prior to permit issuing.
OS-102	Western red cedar (<i>Thuja plicata</i>)	36	6.0	Fair	Good	5.4	Protected	Poor - moderate	Low	Remove – permit required. Signed permission from the trees owner must be obtained prior to permit issuing.
OS-103	Leyland cypress (<i>Cupressus x leylandii</i>)	66	6.0	Good	Good	5.3	Protected	Good	Low	Remove – permit required. Signed permission from the trees owner must be obtained prior to permit issuing.
OS-104	Sweet cherry (<i>Prunus avium</i>)	38	4.0	Fair	Fair	4.6	Unprotected	Moderate	Low	Remove – permit required. Signed permission from the trees owner must be obtained prior to permit issuing.
281	Weeping willow (<i>Salix babylonica</i>)	27	4.0	Fair	Fair	3.2	Unprotected	Moderate - Good	Low	Remove
282	English walnut (<i>Juglans regia</i>)	49	6.0	Fair	Fair	7.4	Unprotected	Poor	Low	Remove
283	Western hemlock (<i>Tsuga heterophylla</i>)	36	4.0	Good	Good	5.4	Unprotected	Poor	Low	Remove
284	Crabapple (<i>Malus species</i>)	15	2.5	Poor	Poor	1.8	Unprotected	Moderate	Low	Remove
285	Crabapple (<i>Malus species</i>)	18	2.5	Poor	Poor	2.2	Unprotected	Moderate	Low	Remove
286	Common apple (<i>Malus domestica</i>)	18	2.5	Poor	Poor	2.2	Unprotected	Good	Low	Remove
287	Garry oak (<i>Quercus garryana</i>)	117	10	Fair	Fair	14	Protected	Moderate	Low	Remove – permit required
288	European mountain ash (<i>Sorbus aucuparia</i>)	21, 15, 12	3.0	Poor	Poor	5.8	Unprotected	Moderate	Low	Remove

Tree ID	Species	DBH ¹ (cm)	Crown Radius (m)	Structural Condition	Health Condition	TPZ ² (m)	Protection Status	Relative Construction Tolerance	Suitability for Preservation ³	Recommendations
289	Leyland cypress (<i>Cupressus x leylandii</i>) (18 trees)	<29	6.0	Poor	Fair	2.4	Unprotected	Good	Low	Remove
290	Eastern arborvitae (<i>Thuja occidentalis</i>)	14, 14	1.0	Fair	Fair	1.9	Unprotected	Good	Low	Remove
291	Pacific dogwood (<i>Cornus nuttallii</i>)	45, 37, 26	3.5	Poor	Fair	16	Protected	Moderate	Low	Remove – permit required
292	English walnut (<i>Juglans regia</i>)	53, 43	6.0	Fair	Fair	14	Protected	Poor	Low	Remove – permit required
293	Garry oak (<i>Quercus garryana</i>)	47	6.0	Fair	Fair	5.6	Protected	Moderate	Low	Remove – permit required
294	Garry oak (<i>Quercus garryana</i>)	51	6.0	Fair	Fair	6.1	Protected	Moderate	Low	Remove – permit required
295	Lawson false-cypress (<i>Chamaecyparis lawsoniana</i>)	23, 22	2.5	Poor	Poor	6.8	Unprotected	Poor	Low	Remove
296	Grand fir (<i>Abies grandis</i>)	53	4.0	Good	Fair	6.4	Protected	Moderate	Low	Remove – permit required. Signed permission from the trees owner must be obtained prior to permit issuing.
297	Sweet cherry (<i>Prunus avium</i>)	31	6.0	Fair	Fair	3.7	Unprotected	Moderate	Low	Remove
298	Eastern arborvitae (<i>Thuja occidentalis</i>) (12 trees)	~5,5,5	1.0	Fair	Fair	1.2	Unprotected	Good	Low	Remove
299	Eastern arborvitae (<i>Thuja occidentalis</i>) (11 trees)	~5,5, 5	1.0	Fair	Fair	1.2	Unprotected	Good	Low	Remove
300	Garry oak (<i>Quercus garryana</i>)	55	8.0	Fair	Fair	6.6	Protected	Moderate	Low	Remove – permit required
301	Eastern arborvitae (<i>Thuja occidentalis</i>) (15 trees)	30cm or small er	1.0	Fair	Fair	2.4	Unprotected	Good	Low	Remove
302	Purple leaf plum (<i>Prunus cerasifera</i>)	25	3.5	Fair	Fair	3.0	Unprotected	Moderate	Low	Remove

Tree ID	Species	DBH ¹ (cm)	Crown Radius (m)	Structural Condition	Health Condition	TPZ ² (m)	Protection Status	Relative Construction Tolerance	Suitability for Preservation ³	Recommendations
303	Purple leaf plum (<i>Prunus cerasifera</i>)	39	3.5	Fair	Fair	4.7	Unprotected	Moderate	Low	Remove
304	Purple leaf plum (<i>Prunus cerasifera</i>)	30	3.0	Fair	Fair	3.6	Unprotected	Moderate	Low	Remove
305	Purple leaf plum (<i>Prunus cerasifera</i>)	43	3.0	Fair	Fair	5.2	Unprotected	Moderate	Low	Remove
306	Western red cedar 'Irish gold' (<i>Thuja plicata</i>) (5 trees)	13, 12	2.0	Fair	Fair	3.0	Unprotected	Poor - Moderate	Low	Remove
307	Giant redwood (<i>Sequoiadendron giganteum</i>)	36	3.0	Good	Fair	4.3	Unprotected	Moderate	Low	Remove
308	Garry oak (<i>Quercus garryana</i>)	57	6.0	Fair	Fair	6.8	Protected	Moderate	Low	Remove – permit required
309	English holly (<i>Ilex aquifolium</i>) (2 trees)	17	2.0	Fair	Good	1.1	Unprotected	Good	Low	Remove
310	Portuguese laurel (<i>Prunus lusitanica</i>) (4 trees)	15 or less	2.5	Good	Fair	1.8	Unprotected	Moderate	Low	Remove
311	Eastern arborvitae (<i>Thuja occidentalis</i>) (23 trees)	~5, 5, 5	1.0	Fair	Fair	1.2	Unprotected	Good	Low	Remove
312	Giant redwood (<i>Sequoiadendron giganteum</i>)	47	3.0	Good	Fair	5.6	Unprotected	Moderate	Low	Remove
313	Boxelder maple (<i>Acer negundo</i>)	24	4.0	Fair	Fair	2.0	Unprotected	Good	Low	Remove
314	Red maple (<i>Acer rubrum</i>)	28	3.0	Fair	Fair	3.4	Unprotected	Moderate - Good	Low	Remove
315	Paper birch (<i>Betula papyrifera</i>)	45, 45, 41	6.0	Fair	Fair	16	Protected	Poor - Moderate	Low	Remove – permit required
316	Pacific dogwood (<i>Cornus nuttallii</i>)	46	3.5	Poor	Fair	5.5	Protected	Moderate	Low	Remove – permit required

Tree ID	Species	DBH ¹ (cm)	Crown Radius (m)	Structural Condition	Health Condition	TPZ ² (m)	Protection Status	Relative Construction Tolerance	Suitability for Preservation ³	Recommendations
317	Portuguese laurel (<i>Prunus lusitanica</i>) (5 trees)	15 or less	2.0	Fair	Fair	1.8	Unprotected	Moderate	Low	Remove
4034	European beech (<i>Fagus sylvatica</i>)	60	6.0	Good	Good	9.0	Protected	Poor	Low	Remove – permit required. Signed permission from the trees owner must be obtained prior to permit issuing.
4036	European beech (<i>Fagus sylvatica</i>)	78	6.0	Fair	Fair	11.7	Protected	Poor	Low	Remove – permit required. Signed permission from the trees owner must be obtained prior to permit issuing.
4037	European beech (<i>Fagus sylvatica</i>)	75	8.0	Fair	Fair	11.3	Protected	Poor	Low	Remove – permit required. Signed permission from the trees owner must be obtained prior to permit issuing.
4038	European beech (<i>Fagus sylvatica</i>)	47	6.0	Fair	Fair	7.1	Unprotected	Poor	Low	Remove – Signed permission from the trees owner must be obtained prior to permit issuing.
4039	European beech (<i>Fagus sylvatica</i>)	30	6.0	Fair	Fair	4.5	Unprotected	Poor	Low	Remove – Signed permission from the trees owner must be obtained prior to permit issuing.

OS – off site and untagged tree

¹ DBH- Diameter at Breast Height measured at 1.4m above ground.

² CRZ/TPZ-critical root zone/tree protection zone-tree protection fence distance from the centre of the stem, measurements are based on the *Best Management Practices* and *ANSI A300 Part 5* standards for managing trees during constructions, calculated at 6 to 18 times the DBH relative to species tolerance to construction and maturity.

³ Suitability for Preservation- based on the species tolerance to construction, overall condition of the specimen, and location

Species Tolerance to Construction Damage	Relative Maturity	TPZ Multiplication Factor
High / Good	Young or semimature Mature Old	6 8 12
Medium/ Moderate	Young or semimature Mature Old	8 12 15
Low / Poor	Young or semimature Mature Old	12 15 18

Guidelines for determining tree protection zone radius for healthy, structurally sound trees (adapted from Matheny and Clark, 2023, and the British Standards Institute).

Appendix V - Assumptions and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is evaluated as though free and clear, under responsible ownership and competent management.

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Loss or alteration of any part of this report invalidates the entire report.

Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the persons to whom it is addressed, without the prior expressed written or verbal consent of the consultant.

This report, or any copy thereof, shall not be conveyed, in whole or in part, by anyone, including the client, to the public via any media type or outlet, without the prior expressed consent of the consultant specifically as to value conclusions, identity of the consultant, or any reference to any professional society or institute or to any initialed designation conferred upon the consultant as stated in his qualification.

This report and values expressed herein represent the opinion of the consultant, and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Illustrations, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.

Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plans or property in question may not arise in the future.

Appendix VI - Certificate of Performance

I, Peter McAra, certify that:

I have no current or prospective interest in the trees on the property, and have no personal interest or bias with respect to the parties involved;

The analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and facts;

My analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices;

No one provided significant professional assistance to me, except as indicated within this report;

My compensation is not contingent upon the reporting of a predetermined conclusion that factors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

I further certify that I am an International Society of Arboriculture (ISA) Certified Arborist #PN-7521A and am tree risk assessment qualified. I am a member in good standing of the ISA. I have been involved in the field of Arboriculture in a fulltime capacity for a period of 18 years.

Signed: *Peter McAra*

Date: September 25, 2024

