CITY OF COLWOOD



3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153 planning@colwood.ca | www.colwood.ca

File: DP000027 - Duplex at 3271 Galloway Road

DEVELOPMENT PERMIT DP000027

THIS PERMIT, issued August 9, 2024, is,

ISSUED BY:

CITY OF COLWOOD, a municipality incorporated under the Local Government Act,

3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO:

Section 490 of the Local Government Act , RSBC 2015, Chapter 1

ISSUED TO:

BLUENILE ENTERPRISES INC

804 SUMMERWOOD PL VICTORIA BC V8X 5C9

(the "Permittee")

1. This Form and Character (Intensive Residential) Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 28, SECTION 65, ESQUIMALT LAND DISTRICT, PLAN VIP11823 3271 GALLOWAY RD

(the "Lands")

- 2. This Development Permit regulates the development and alterations of the Land, and supplements the "Colwood Land Use Bylaw, 1989" (Bylaw No. 151), to ensure the Form and Character considerations for the development of a duplex with secondary suites and associated site improvements are consistent with the design guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
- 3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
- 4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.

- 5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
- 6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
- 7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:

Schedule 1 Architectural Plans prepared by Westcoast Design and Development

dated August 7, 2024.

Schedule 2 Landscape Plans prepared by New Roots Landscaping dated July 28,

2024.

8. This Development Permit authorizes the construction of a duplex with secondary suites along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

GENERAL

- 8.1. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within the Section 219 covenants registered as "CB1265099" and as amended.
- 8.2. British Columbia's archaeological sites are protected under the Heritage Conservation Act and shall not be altered or damaged without the required permits from the Provincial Archaeology Branch.

FORM AND CHARACTER CONDITIONS

Building Features

- 8.3. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Westcoast Design and Development Services (Schedule 1).
- 8.4. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.5. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.
- 8.6. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

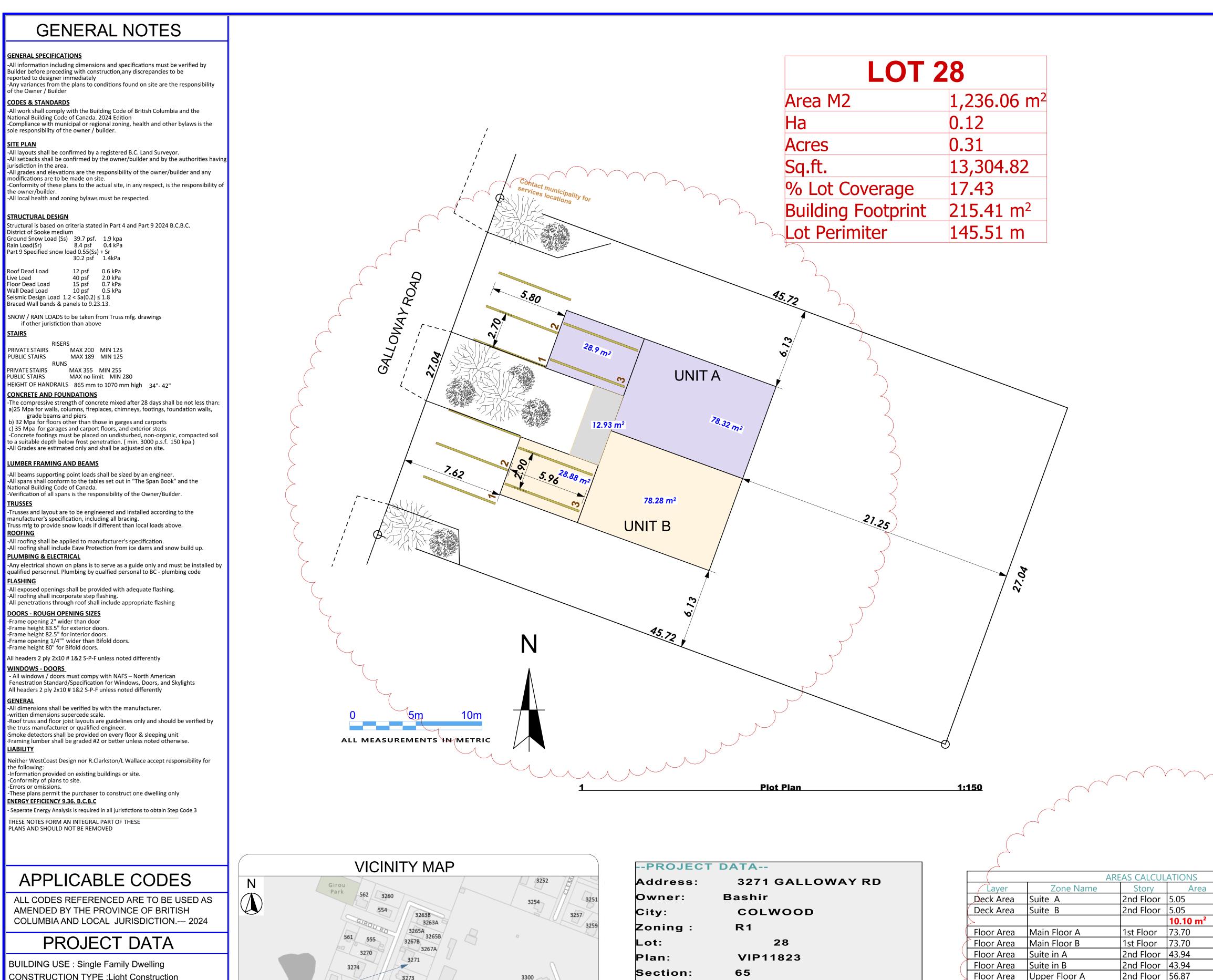
Landscaping

- 8.7. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by New Roots Landscaping (Schedule 2).
- 8.8. This Development Permit does not include approval for any tree removals. A separate Tree Management Permit will be required for the removal of any protected trees.

ISSUED ON THIS 9 DAY OF AUGUST, 2024.

JOHN ROSENEERG, A.Sc.T.

DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES



SYMBOLS LEGEND FIRE SEPERATIONS. WALLS F-1 FOUNDATION WALLS E12 ENERGY / INSULATION PRINCIPAL EXHAUST FAN HOT WATER TANK INTERMITTENT EXHAUST FAN CONTINUOUS EXHAUST FAN WALL FIRE SEPERATION FLOOR / CEILING FIRE SEPERATION LOAD BEARING BEAM ENGINEERED LOAD BEARING BEAM STRUCTURAL POST STUDS - BEARING NON LOAD BEARING MEMBER ATTIC ACCESS provide closed cell foam gasket CRAWLSPACE ACCESS SD to B.C.B.C 9.10.19 SMOKE ALARM - Interconnected to all smoke detectors /alarms within dwelling SD to B.C.B.C 9.10.19.5 -2(a) Suites INSULATED LOAD BEARING WALL TRUSS HANGERS / ALL TRUSSES

Sa.Ft.

54.41

54.41

108.82

793.29

793.29

472.95

472.95

612.14

612.14

3756.76

318.06

318.11

636.17

1.236.06 m² | 13304.82

13304.82

2nd Floor | 56.87

1st Floor | 29.55

1st Floor | 29.55

Plot Plan | 1,236.06

349.02 m²

59.10 m²

Volume (Net)

0.13

0.13

1.87

1.87

1.12

1.12

1.44

1.44

0.75

8.86 m³

1.50 m³

3,798.91

.798.91 m³

0.26 m³

Schedule 1

Ventilation and Insulation Energy Advisor Report Takes Precedence

Ventilation & Insulation notes

SYMBOL Mechanical, plumbing or Electrical system components (pipes, ducts, conduits, cabinets, chases, panels or recessed heaters) within or parallel to wall assembly must be insulated to the same effective insulation level

SD to B.C.B.C 9.10.19 Smoke / Heat / Co2 detector each bedroom and each floor

Interconnected to Suites Principal Ventilation System Exhaust fan: MAIN HOUSE 1405.43 sq ft total floor space-(principal dwelling) 3 number of bedrooms 28 L/S min. flow rate Capacity @ 50 Pascals Designed to run continuously Controlled by dedicated switch sound rating >1.0 sone Principal Ventilation System Exhaust fan: SUITE Per Unit 472.95 sq ft total floor space 1 number of bedrooms 14 L/S min. flow rate

Windows and doors must have a U-Value

@ 9 L/S all bathroom fans other than principal

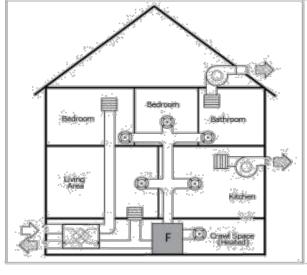
no greater than 1.6 Skylights 2.9

Hot Water Tanks must have a min. of 1.6 RSI $^{\prime}$ HWT must be installed indoors unless otherwise required by mfg. Proved drainpan under provide seismic restrains intermittent exhaust fan (hoodfan) @ 47 L/S (min. 100 CFM) Continuous exhaust fan

interior doors must be undercut minimum 12 mm above finished floor or provided with transfer grille with min. 100 sq mm

Door to Garage must have a min. U value => 1.1 and must be fume sealed with self closing hinges

Heat pump with electric furnace



9.32.3.4.(3) Using a ducted forced-air furnace in the principal ventilation system. The HRV may act as the principal ventilation exhaust fan and may exhaust from more than one location in the dwelling unit. In this case, the bathroom and kitchen fans are not part of the principal ventilation system.

All doors & windows to confrom to N.A.F.S. And Provide Certification of Compliance

	Principal Ve	ntilation System Exh	0.32.3.5. naust Fan Minimum A Clause 9.32.3.5.(1)	Air-flow Rate	
			Minimum Air-Flow Rate, L/s	1	
Floor Area, m ²			Number of Bedrooms		
	0-1	2-3	4-5	6-7	>7
< 140	14	21	28	35	42
140-280	21	28	35	42	49
281-420	28	35	42	49	56
421-560	35	42	49	56	64
561-700	42	49	56	64	71
> 700	49	56	64	71	78

PRINCIPAL VENTILATION AIR FLOW RATE Unit A = 28 SUITE VENTILATION AIR FLOW RATE Unit A = 14 PRINCIPAL VENTILATION AIR FLOW RATE Unit B = 28

SUITE VENTILATION AIR FLOW RATE Unit B = 14

Level 2 Passive Radon System

CLIENT

PROJECT DESCRIPTION

Lot 28

Section 65

PAGE CONTENT

Great care and effort have been taken in the making of this design and blueprint. Since building codes, municipal bylaws, weather onditions etc., WestCoast Design & Development Services cannot assume any esponsibility for damage as a result of erro or omissions. It is recommended that the owner and or builder consult a local enginee and check with you local building officials, prior to start of construction COPYRIGHT OF WEST COAST DESIGN 1" ACTUAL THE ABOVE DIMENSION DOE OT MEASURE ONE INCH XACTLY, THIS DRAWING WILL HA BEEN ENLARGED OR REDUCE FFECTING ALL LABELED SCALES. VRITTEN DIMENSIONS TA BY REVISIONS DATE 2024-08-07 Date: AS NOTED Scale: Drawn: file name Bashir - red bubble.pln Last Save: Laurie

WEST COAST DESIGN &

DEVELOPMENT SERVICES

Randy Clarkston

Laurie Wallace

Sooke,B.C.

250-642-8803

Key Plan, ALL AREAS, Plot Plan, Legend, Ventilation and insulation

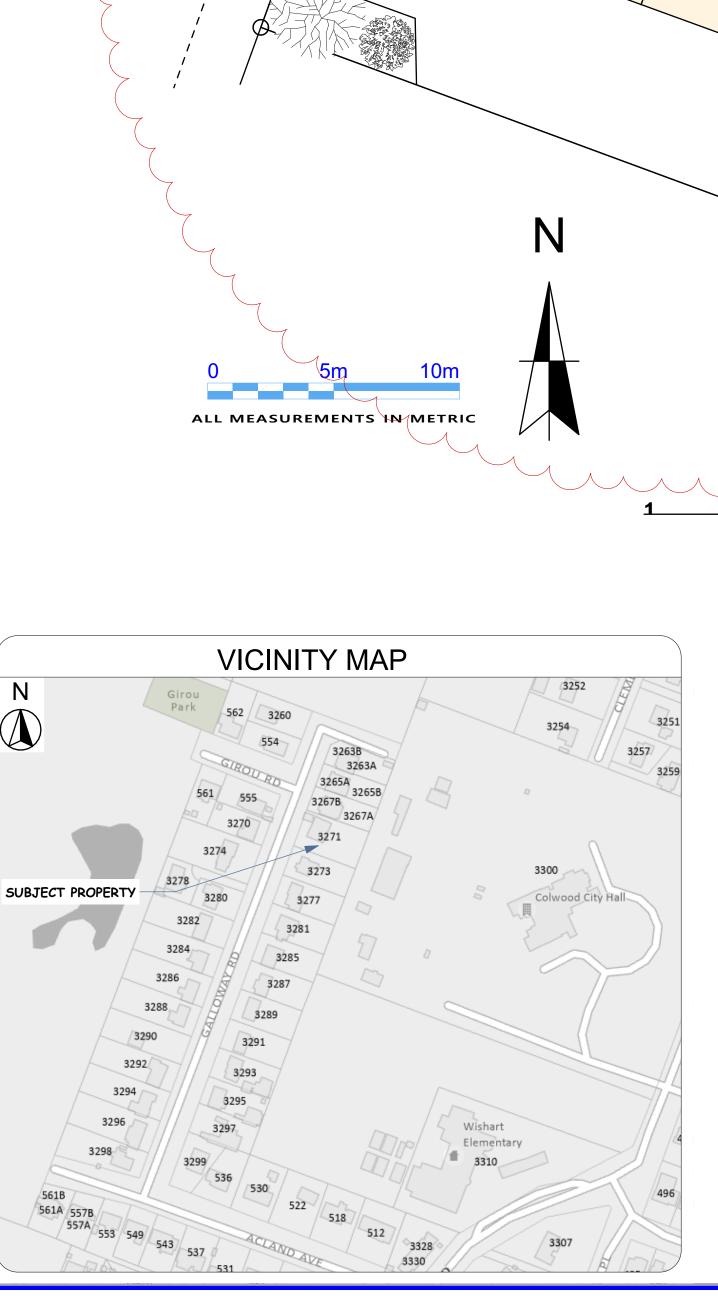
DUPLEX

Bashir

3271 GALLOWAY RD

Plan VIP11823

District COLWOOD PID 004883098



CONSTRUCTION TYPE :Light Construction

SEISMIC ZONE : SAR 1.2 < Sa(0.2) \le 1.8

COMPIANCE OPTION: Perscriptive

CLIMATE ZONE 4

Qualified Energy Advisor

STRUCTURAL ENGINEER:

SOILS & GEOTECHNICAL

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

SURVEYOR:

65 Section: District: COLWOOD **Bldg Height** 7.39 m 7.62m Setback Front Setback Rear 21.25m Setback Side

Setback Side

6.13 6.13 m

Floor Area Upper Floor A

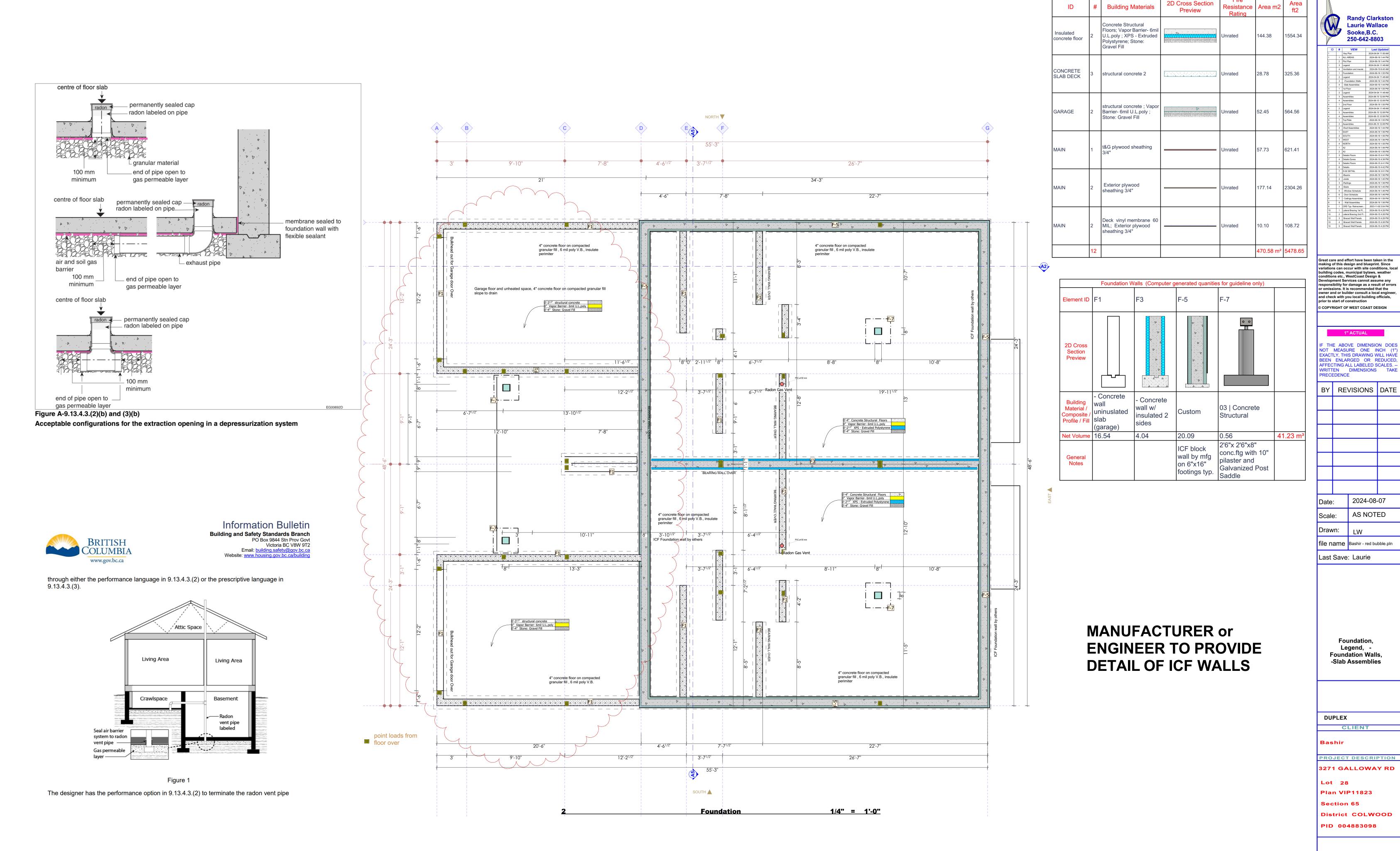
Floor Area Upper Floor B

LOT 28

Garage Area | Garage A

Garage Area | Garage B

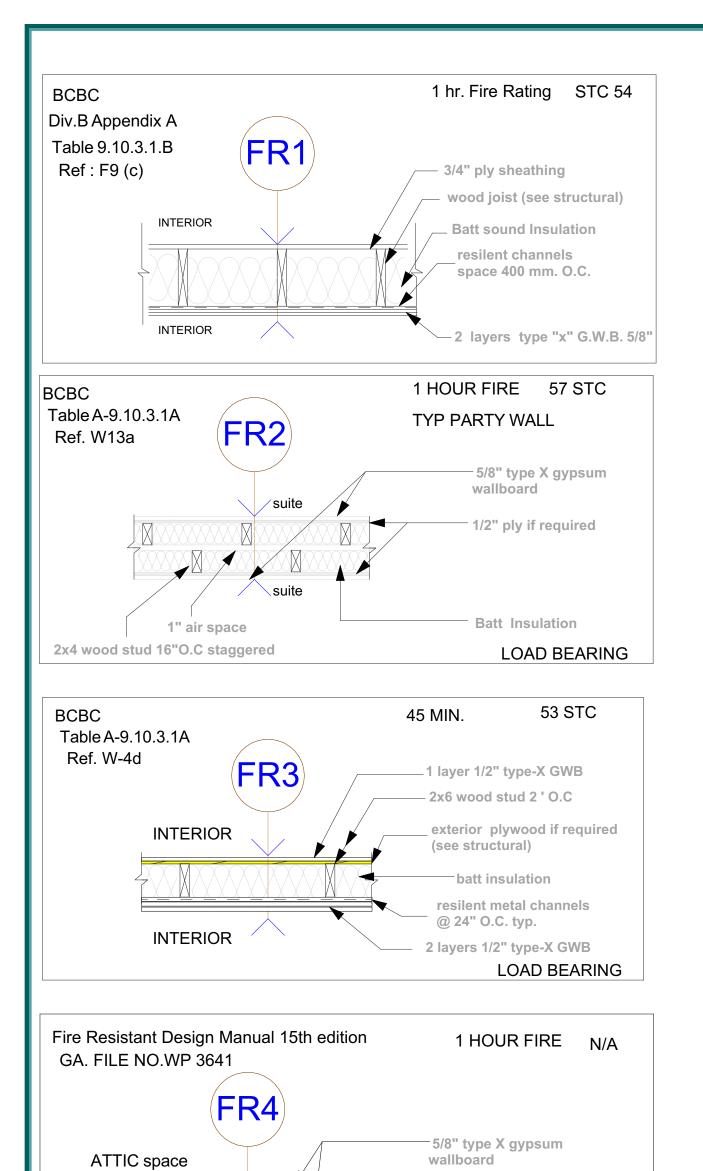
Lot Area



WEST COAST DESIGN & DEVELOPMENT **SERVICES**

Slab Assemblies

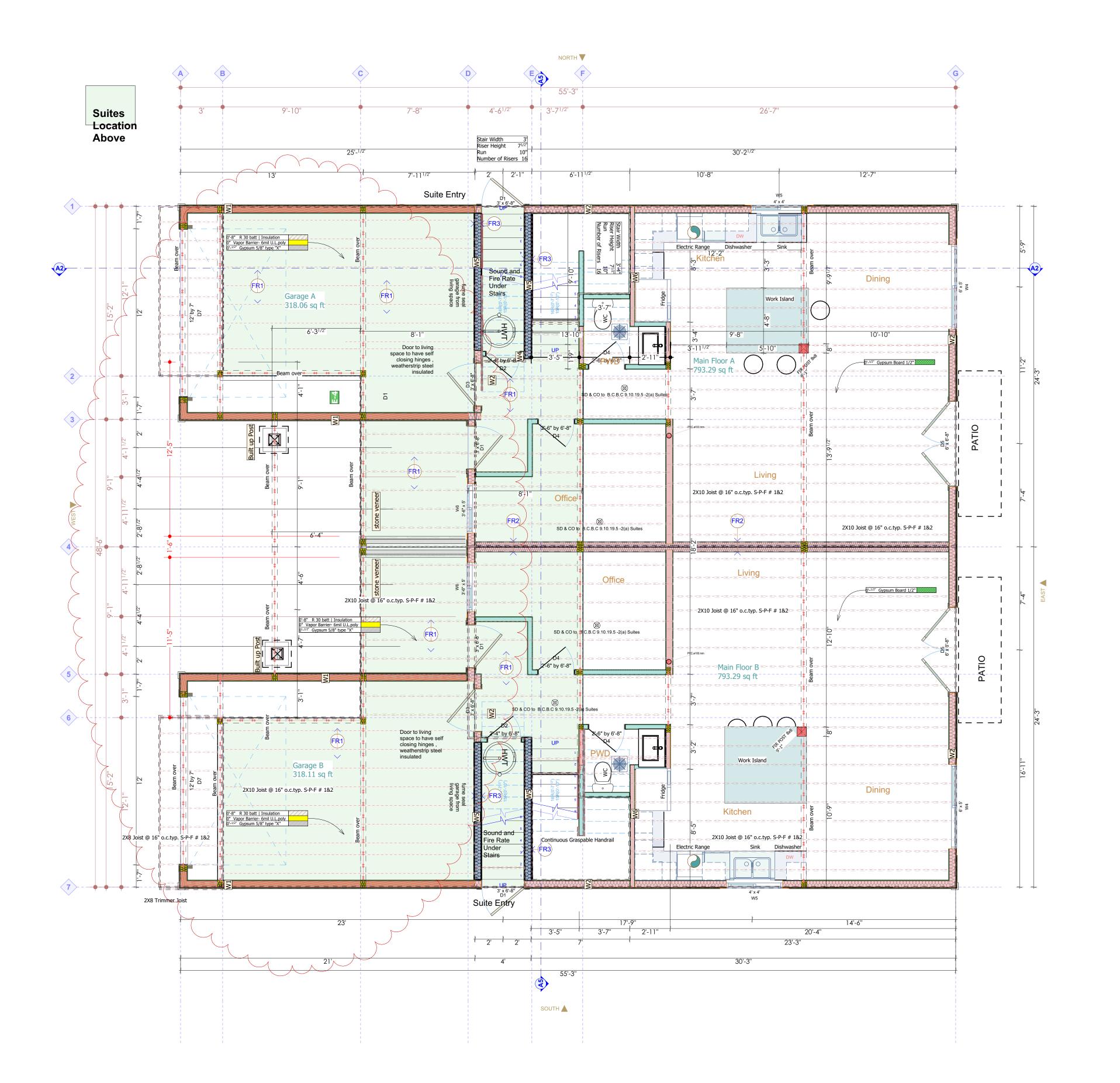
sibility for damage as a result of error



ATTIC space

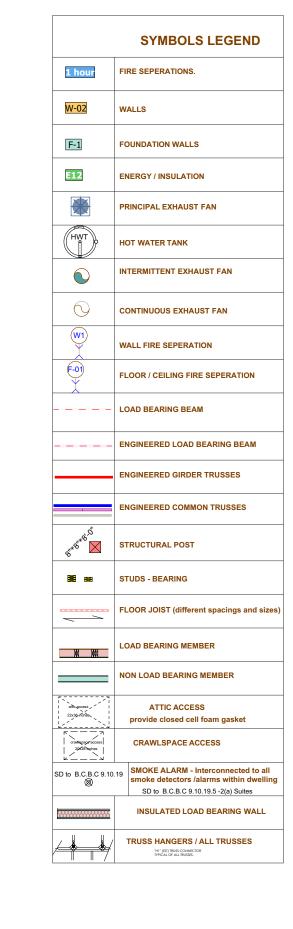
LOAD BEARING

Engineered truss (2x4 @ 24" OC)



1st Floor

1/4" = 1'-0"

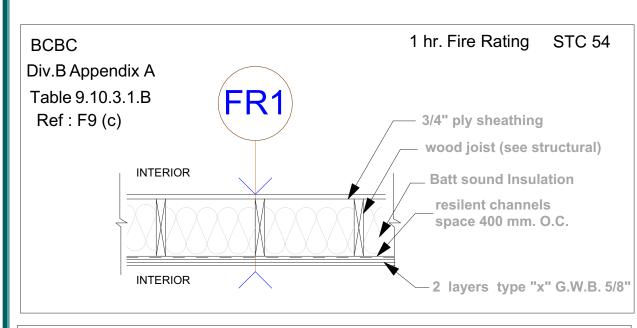


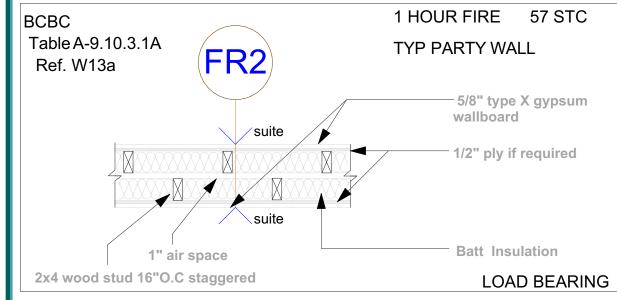
DEVELOPMENT SERVICES Randy Clarkston Laurie Wallace Sooke,B.C. 250-642-8803 Great care and effort have been taken in the making of this design and blueprint. Since variations can occur with site conditions, local building codes, municipal bylaws, weather conditions etc., WestCoast Design & Development Services cannot assume any nsibility for damage as a result of error or omissions. It is recommended that the owner and or builder consult a local engineer and check with you local building officials, © COPYRIGHT OF WEST COAST DESIGN 1" ACTUAL IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCEI AFFECTING ALL LABELED SCALES. -WRITTEN DIMENSIONS TAK PRECEDENCE BY REVISIONS DATE 2024-08-07 AS NOTED Scale: Drawn: file name Bashir - red bubble.pln Last Save: Laurie 1st Floor, Legend, Assemblies **DUPLEX** CLIENT Bashir PROJECT DESCRIPTION **3271 GALLOWAY RD** Lot 28 Plan VIP11823 Section 65 District COLWOOD PID 004883098

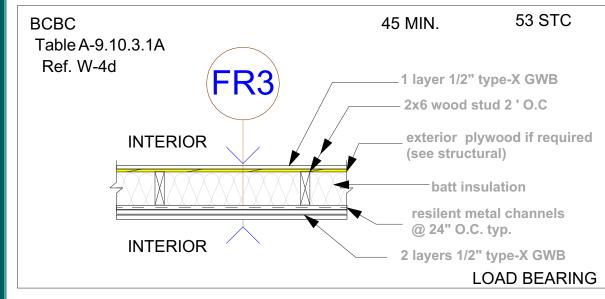
WEST COAST DESIGN &

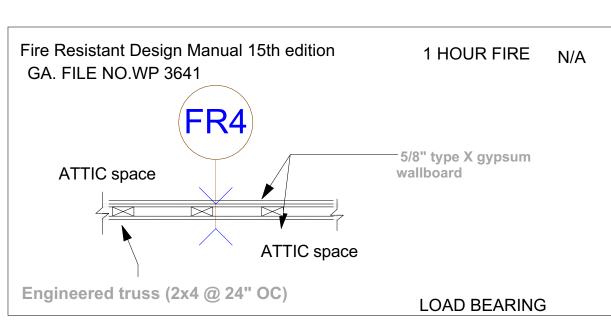
PAGE CONTENT

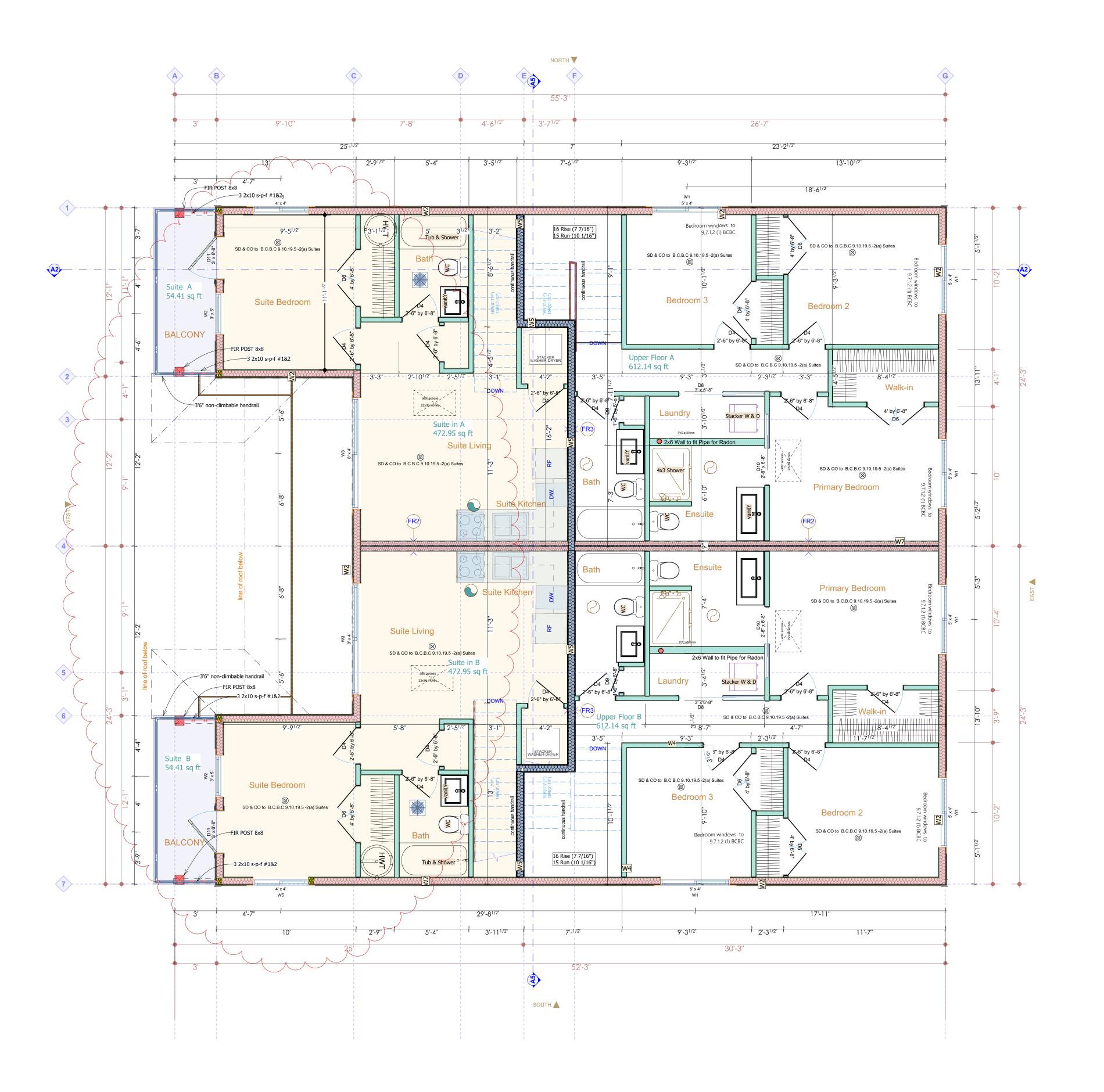
3











1/4" = 1'-0"

2nd Floor

W-02 WALLS F-1 FOUNDATION WALLS ENERGY / INSULATION PRINCIPAL EXHAUST FAN HOT WATER TANK CONTINUOUS EXHAUST FAN WALL FIRE SEPERATION FLOOR / CEILING FIRE SEPERATION - - - LOAD BEARING BEAM ENGINEERED LOAD BEARING BEAM STRUCTURAL POST STUDS - BEARING FLOOR JOIST (different spacings and sizes) (4) (40) ATTIC ACCESS provide closed cell foam gasket CRAWLSPACE ACCESS SD to B.C.B.C 9.10.19 SMOKE ALARM - Interconnected to all smoke detectors /alarms within dwelling SD to B.C.B.C 9.10.19.5 -2(a) Suites TRUSS HANGERS / ALL TRUSSES "H1" (SST) TRUSS CONNECTOR TYPICAL OF ALL TRUSSES.

WEST COAST DESIGN & SYMBOLS LEGEND

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DEVELOPMENT

SERVICES

Randy Clarkston Laurie Wallace

Sooke,B.C.

250-642-8803

AS NOTED Scale: Drawn: file name Bashir - red bubble.pln

2024-08-07

Last Save: Laurie

2nd Floor, Legend, Assemblies

DUPLEX

CLIENT

Bashir

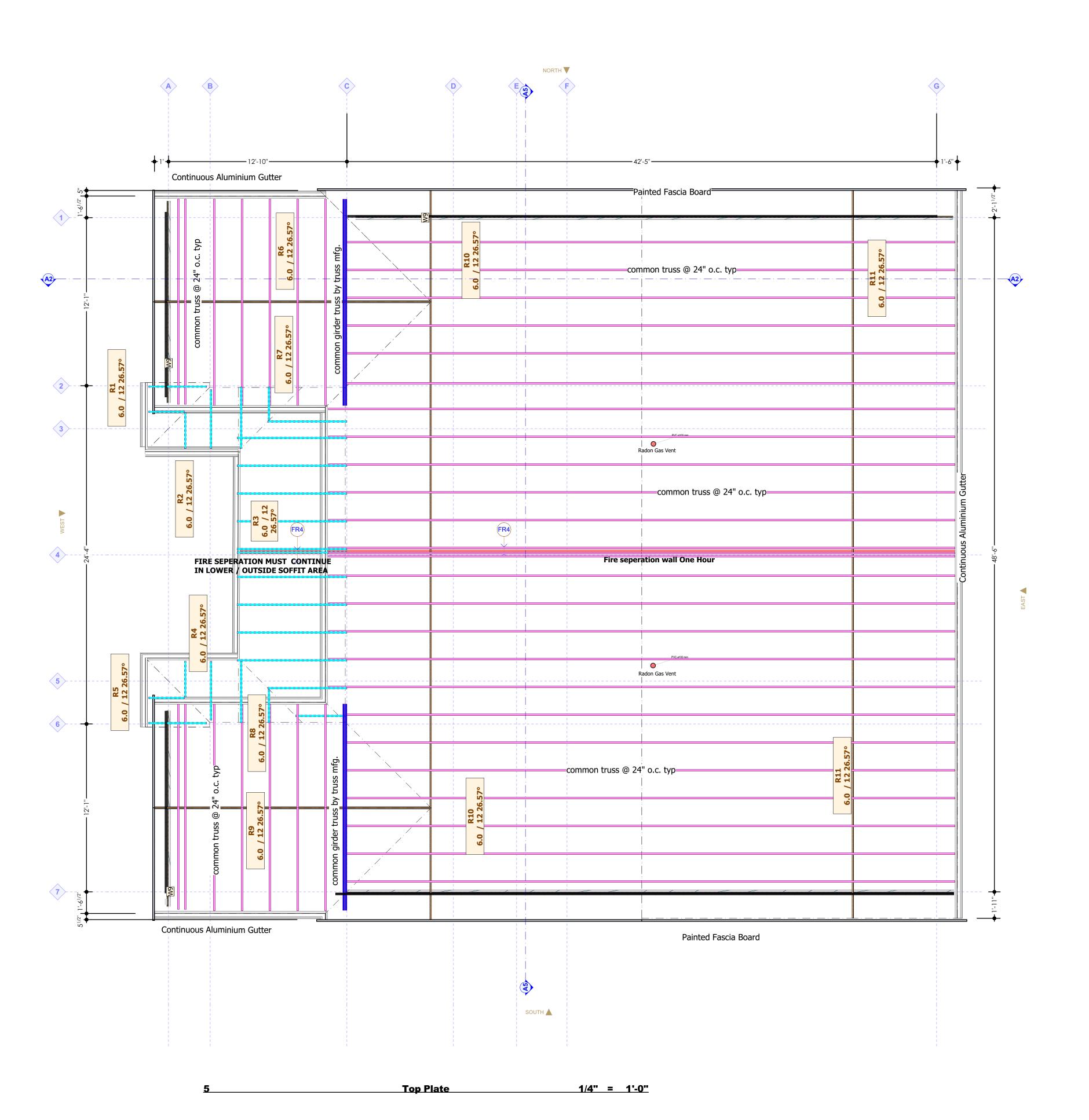
PROJECT DESCRIPTION **3271 GALLOWAY RD**

Lot 28

Plan VIP11823 Section 65

District COLWOOD PID 004883098

	R	OOF ASSE	MBLIES		
ID	Building Materials (All)	Slope	2D Cross Section Preview	M2	Ft 2
R1	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		1.28	13.74
R2	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		3.19	34.38
R3	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		19.24	207.13
R4	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		3.19	34.38
R5	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		1.28	13.74
R6	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		12.71	136.79
R7	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		12.71	136.79
R8	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		12.71	136.79
R9	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		12.70	136.72
R10	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		118.07	1270.84
R11	Roofing fiberglass laminated shingle; Exterior plywood sheathing 1/2"	6.0 / 12		123.62	1330.60
				320.70 m ²	3451.90



WEST COAST DESIGN & DEVELOPMENT SERVICES

Randy Clarkston
Laurie Wallace
Sooke,B.C.
250-642-8803

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1" ACTUAL

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BY REVISIONS DATE

Date: 2024-08-07

Scale: AS NOTED

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Last Save: Laurie

Top Plate, Assemblies, -Roof Assemblies

DUPLEX

5 - - **1**- **1**--

Bashir

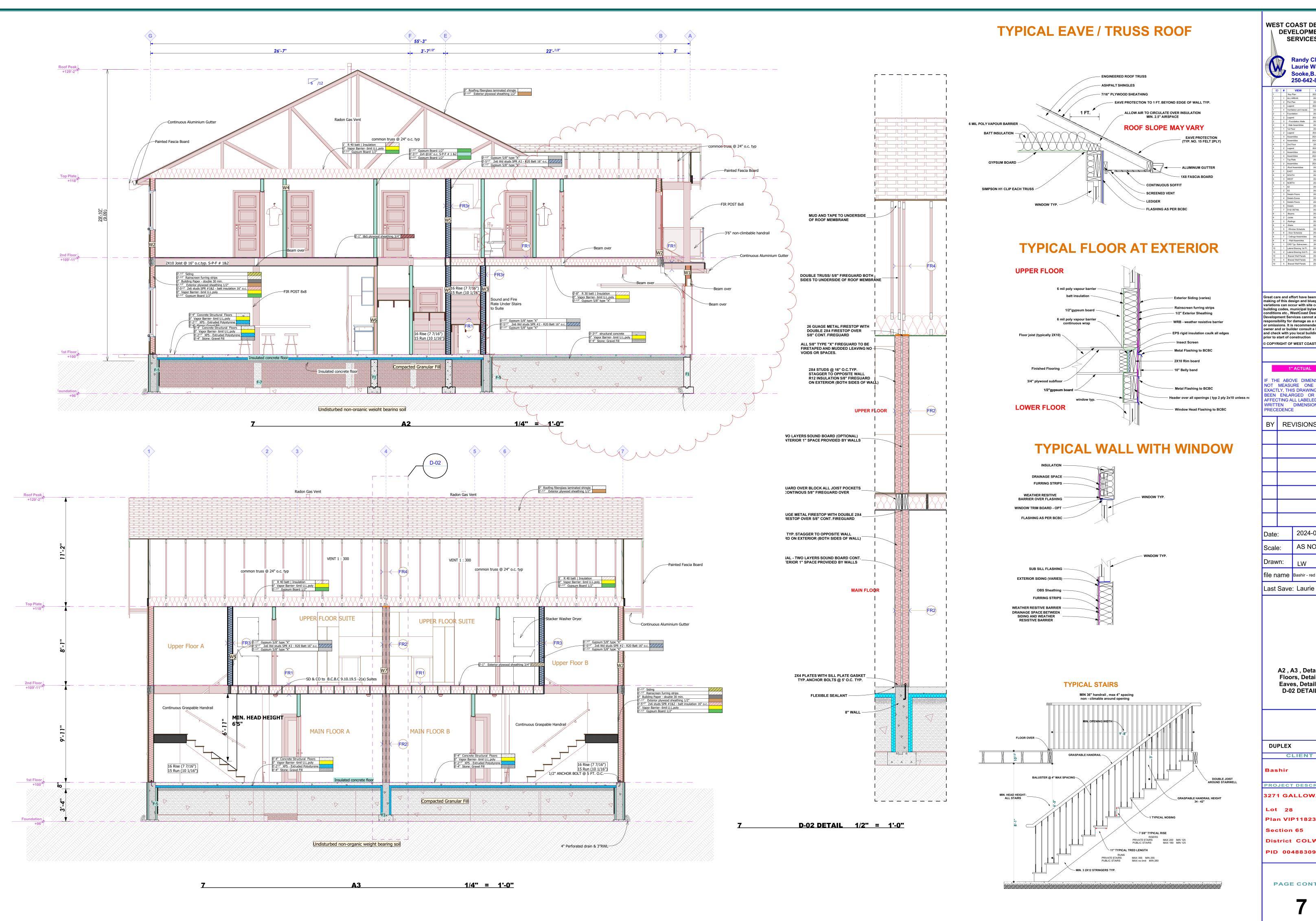
3271 GALLOWAY RD

Lot 28 Plan VIP11823

Section 65
District COLWOOD

PID 004883098





WEST COAST DESIGN & DEVELOPMENT SERVICES

Randy Clarkston Laurie Wallace Sooke,B.C. 250-642-8803
 ID
 #
 VIEW
 Last Updated

 1
 Key Plan
 2024-04-04 11:50 AM

 1
 1
 ALL AREAS
 2024-06-19 1:44 PM

1	2	Plot Plan	2024-06-19 1:44 Pf
1	3	Legend	2024-04-04 11:48 AI
1	4	Ventilation and insulat	2024-06-19 6:45 Al
2	1	Foundation	2024-06-19 1:55 Pf
2	2	Legend	2024-04-04 11:48 AI
2	3	-Foundation Walls	2024-06-19 1:44 Pf
2	4	-Slab Assemblies	2024-06-19 1:44 Pf
3	1	1st Floor	2024-06-19 1:55 Pf
3	2	Legend	2024-04-04 11:48 AI
3	3	Assemblies	2024-06-15 12:08 Pf
3	4	Assemblies	2024-06-15 12:08 Pf
4	1	2nd Floor	2024-06-19 1:55 Pf
4	2	Legend	2024-04-04 11:48 AI
4	3	Assemblies	2024-06-15 12:08 Pf
4	4	Assemblies	2024-06-15 12:08 Pf
5	1	Top Plate	2024-06-19 1:55 Pf
5	2	Assemblies	2024-06-15 12:08 Pf
5	3	-Roof Assemblies	2024-06-19 1:44 Pf
6	1	EAST	2024-06-19 1:56 Pf
6	2	SOUTH	2024-06-19 1:56 Pf
6	3	WEST	2024-06-19 1:56 Pf
6	4	NORTH	2024-06-19 1:56 Pf
7	1	A2	2024-06-19 1:56 Pf
7	2	A3	2024-06-19 1:56 Pf
7	3	Details Floors	2024-06-15 4:41 Pf
7	4	Details Eaves	2024-06-15 4:36 Pf
7	5	Details Floors	2024-06-15 4:41 Pf
7	6	Details	2024-06-15 4:42 Pf
7	7	D-02 DETAIL	2024-06-16 3:01 Pf
8	1	-Beams	2024-06-19 1:56 Pf
8	2	-Joists	2024-06-19 1:45 Pf
8	3	-Railings	2024-06-19 1:56 Pf
8	4	-Stairs	2024-06-19 1:45 Pf
8	5	-Window Schedule	2024-06-19 1:46 Pf
8	6	- Door Schedule	2024-06-19 1:46 Pf
8	7	- Ceilings Assemblies	2024-06-19 1:56 Pf
8	8	- Wall Assemblies	2024-06-19 1:56 Pf

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2024-08-07 AS NOTED Scale: Drawn: file name Bashir - red bubble.pln

> A2, A3, Details Floors, Details Eaves, Details,

D-02 DETAIL

DUPLEX

CLIENT

Bashir PROJECT DESCRIPTION

3271 GALLOWAY RD Lot 28 Plan VIP11823

Section 65 District COLWOOD

PID 004883098

		Railings		T	
ID	#	View	Length	Story	Height
3'6" non- climbable handrail	2		42'-1 7/8"	2nd Floor	3'-2"
Continuous Graspable Handrail	2		26'-5 1/16"	1st Floor	3'-6"
Continuous Graspable Handrail 3'6"	2		25'-1 7/8"	1st Floor	3'-6"
			93'-8 13/16"		

			Stairs		
ID	# Risers (total)	Run	Riser	Height (overall)	Required Headroom
Stair 0-7	16	10 1/16"	7 7/16"	9'-11"	6'-5"

Joists		
ID	#	Length
2X8 Joist @ 16" o.c.typ. S-P-F # 1&2	18	73'-2 5/8"
2X8 Trimmer Joist	9	62'-9 5/16"
2X10 Belly @ Gables	5	113'-8 7/16"
2X10 Joist @ 16" o.c.typ. S-P-F # 1&2	167	1597'-6 1/16"
2X10 Trimmer	34	455'-3 1/8"
	233	2302'-5 9/16"

Beams (Computer generated quanities for g	uidel	ine only)
ID	#	Length
3 2x10 s-p-f #1&2	5	15'-6 7/8"
Beam over	20	223'-7 1/4"
	25	239'-2 1/8"

			WALL	ASSEMBLIES				
ID	#	Name	Building Materials (All)	2D Plan Preview	FRR	STC	Const- Type	Sq.ft. wall
FR2	1	1 Hr Double 2x4 seperation wall	Gypsum 5/8" type "X"; 2x4 studs SPR #1&2 - batt insulation @ 16" O.C.; Vapor Barrier- 6mil U.L.poly; Air Space; Air Space; Vapor Barrier-6mil U.L.poly; 2x4 studs SPR #1&2 - batt insulation @ 16" O.C.; Gypsum 5/8" type "X"		45 minutes		Interior bearing walls	310.77
W1	6	2x6 Exterior wall (insulation optional)	Siding; Rainscreen furring strips; Building Paper - double 30 min.; Exterior plywood sheathing 1/2"; stud wall (2x6); Vapor Barrier- 6mil U.L.poly; Gypsum Board 1/2"		Unrated		Exterior bearing walls	1041.26
W2	16	2x6 Exterior Wall	Siding; Rainscreen furring strips; Building Paper - double 30 min.; Exterior plywood sheathing 1/2"; 2x6 studs SPR #1&2 - batt insulation 16" o.c.; Vapor Barrier- 6mil U.L.poly; Gypsum Board 1/2"		45 minutes		Exterior bearing walls	3057.77
W3	4	2x6 Interior Bearing Wall insulated	Gypsum Board 1/2"; 2x6 studs SPR #1&2 - batt insulation 16" o.c.; Gypsum Board 1/2"		Unrated		Interior bearing walls	97.03
W4	64	2x4 Interior wall	Gypsum Board 1/2"; 2x4 @16" o.c. S-P-F # 1 &2; Gypsum Board 1/2"		Unrated		Interior non-bearing walls and partitions	3521.64
W5	10	2x6 interior 45 min.	Gypsum 5/8" type "X"; 2x6 Wd studs SPR #2 - R20 Batt 16" o.c.; Gypsum 5/8" type "X"		45 minutes	53	Interior bearing walls	821.62
W6	2	2x6 Interior bearing	Gypsum Board 1/2"; Vapor Barrier- 6mil U.L.poly; 2x6 stud wall 2x6 @ 16" o.c. typ Bearing; Gypsum Board 1/2"		Unrated		Interior bearing walls	161.87
W6	8	2x4 Bearing Wall	Gypsum Board 1/2"; 2x6 stud wall 2x6 @ 16" o.c. typ Bearing R22 batt; Gypsum Board 1/2"		Unrated		Interior bearing walls	272.30
W7	1	1 Hr Double 2x4 seperation wall	Gypsum 5/8" type "X"; 2x4 studs SPR #1&2 - batt insulation @ 16" O.C.; Vapor Barrier- 6mil U.L.poly; Air Space; Air Space; Vapor Barrier-6mil U.L.poly; 2x4 studs SPR #1&2 - batt insulation @ 16" O.C.; Gypsum 5/8" type "X"		45 minutes		Interior bearing walls	339.73
W8	2	2x6 Non load Bearing Wall	Gypsum Board 1/2"; 2x6 @16" o.c. ; Gypsum Board 1/2"		Unrated		Interior non-bearing walls and partitions	145.20
W9	4	Sheathed and sided gable truss	Siding; Rainscreen furring strips; Building Paper - double 30 min.; Exterior plywood sheathing 1/2"; Truss Gable		Unrated		Undefined	482.78
					1			10251.95

					WINDOW SCHEDU	LE -					
Story	ID	#	WxH	2D	View	U	Window Type	Frame Material	Safety glass	Obscured	Notes
1st Floor	W4	2	6'×5'	4		>1.6	W Sliding2 27				
1st Floor	W5	2	4'×4'	4		>1.6	W Sliding2 27				
1st Floor	W6	2	3'-6"×5'	3:-6"		>1.6	W Sliding2 27				
6											
2nd Floor	W1	6	5'×4'	5		>1.6	W Sliding2 27				
2nd Floor	W2	2	3'×5'	3'-		>1.6	W Fixed 27				
2nd Floor	W3	2	8'×4'			>1.6	W Sliding2 27				
2nd Floor	W5	2	4'×4'	4		>1.6	W Sliding2 27				
12											
18											

	DOOR SCHEDULE								
Story	ID	Leaf Size	#	2D	View	U- value	Self Closing	Fume Seal	General Notes
1st Floor	D1	3'×6'-8"	4	3.4"					Weatherstrip, Entry door
1st Floor	D2	2'-4"×6'-8"	2	2.5"					Interior Doors undercut min 12 m
1st Floor	D3	3'×6'-8"	2	3:1"		>1.6			Weatherstrip, self closing hinges
1st Floor	D4	2'-6"×6'-8"	4	2.7"					Interior Doors undercut min 12 m
1st Floor	D5	6'×6'-8"	2			>1.6			Exterior entry, Entr Door, Weatherstrip safety glass,double drill
1st Floor	D7	12'×7'	2						Garage Door safet glass
			16						
2nd Floor	D4	2'-6"×6'-8"	17	2.7"					Interior Doors undercut min 12 m
2nd Floor	D6	4'×6'-8"	7	4:1"					Interior Doors undercut min 12 m
2nd Floor	D8	3'×6'-8"	2	D ====================================					Interior Doors undercut min 12 m
2nd Floor	D9	1'-6"×6'-8"	2	1.7"					Interior Doors undercut min 12 m
2nd Floor	D10	2'-6"×6'-8"	2	□ □ □ □ □					Interior Doors undercut min 12 m
2nd Floor	D11	3'×6'-8"	2	3:1"		>1.6			Weatherstrip, doul drill,safety glass
			32						
			-						

	Ceilings Schedule									
ID	#	Building Materials	Preview	Fire Resistance Rating	Pitch	Top Area Sloped	Ft 2	Top Area Flat	Ft 2	
Ceiling 1/2" gypsum	3	Gypsum Board 1/2"		Unrated				133.09	1663.22	
MAIN	1	R 30 batt Insulation ; Vapor Barrier- 6mil U.L.poly ; Gypsum 5/8" type "X"		Unrated				76.49	952.66	
MAIN	2	R 40 batt Insulation ; Vapor Barrier- 6mil U.L.poly ; Gypsum Board 1/2"		Unrated				197.47	2287.01	
						0.00 m ²	0.00	407.05 m ²	4902.88	

Randy Clarkston
Laurie Wallace
Sooke,B.C.
250-642-8803

Great care and effort have been taken in the making of this design and blueprint. Since variations can occur with site conditions, local building codes, municipal bylaws, weather conditions etc., WestCoast Design & Development Services cannot assume any responsibility for damage as a result of errors or omissions. It is recommended that the owner and or builder consult a local engineer, and check with you local building officials, prior to start of construction

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES. -- WRITTEN DIMENSIONS TAKE PRECEDENCE

BY REVISIONS DATE

Date: 2024-08-07
Scale: AS NOTED
Drawn: LW

file name Bashir - red bubble.pln

Last Save: Laurie

-Beams, -Joists, -Railings, -Stairs, -Window Schedule, - Door Schedule , -Ceilings Assemblies, - Wall Assemblies

DUPLEX

CLIENT

PROJECT DESCRIPTION

3271 GALLOWAY RD

Lot 28

Plan VIP11823

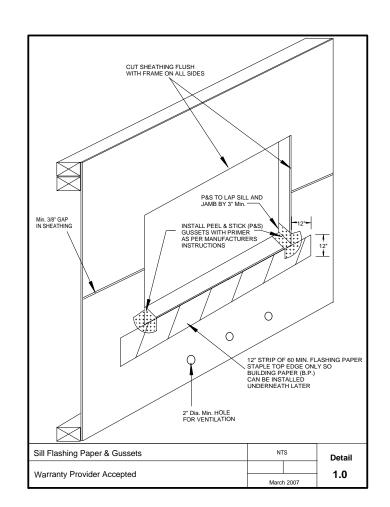
Section 65
District COLWOOD

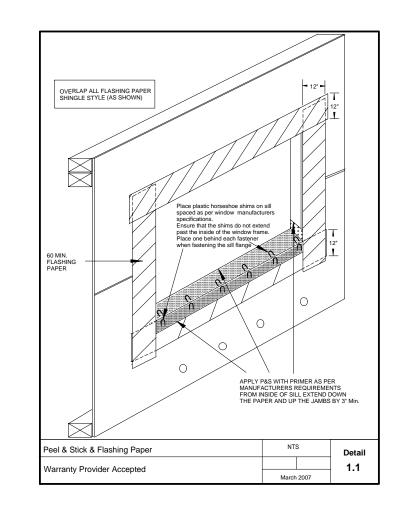
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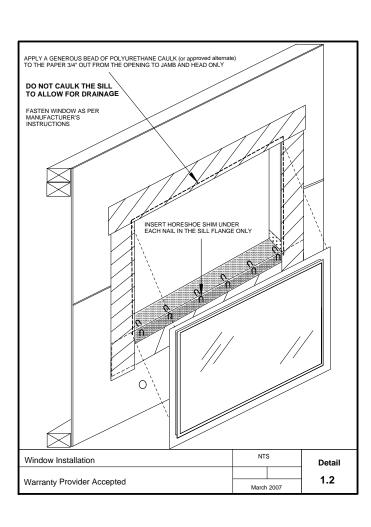
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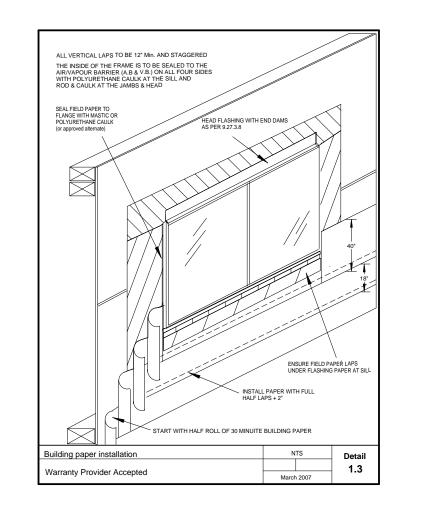
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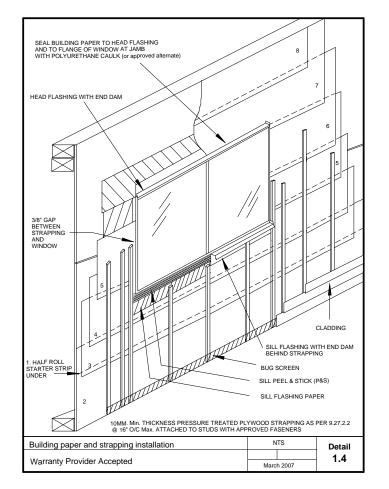
REFERENCE GUIDE OF TYPICAL RAINSCREEN WALL AND WINDOW DETAILS

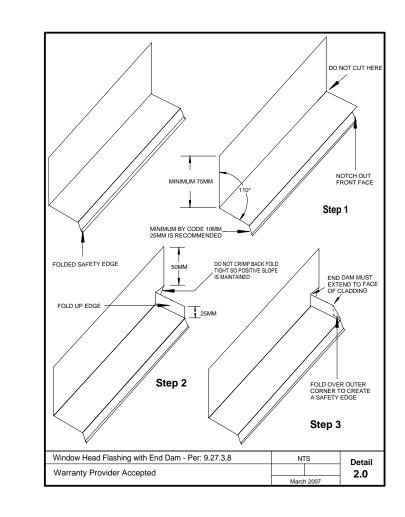


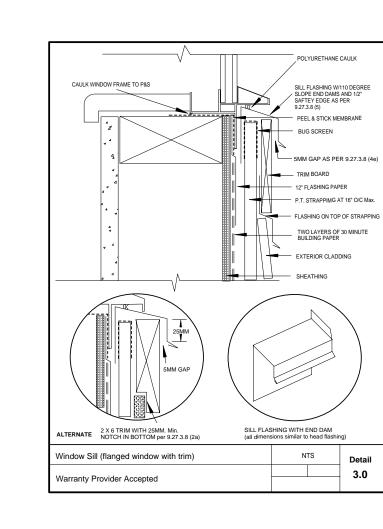


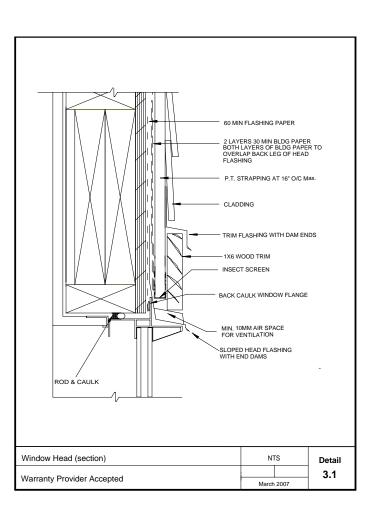


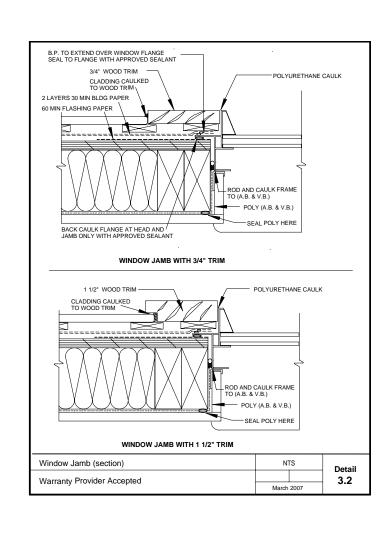


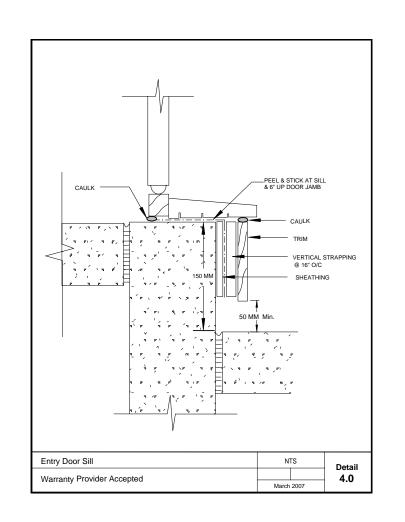


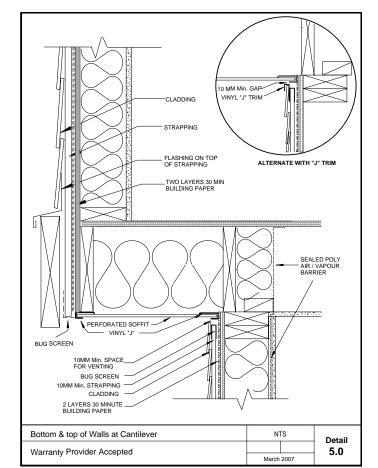


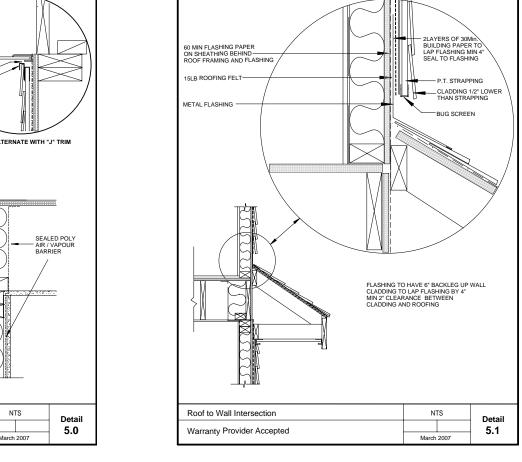


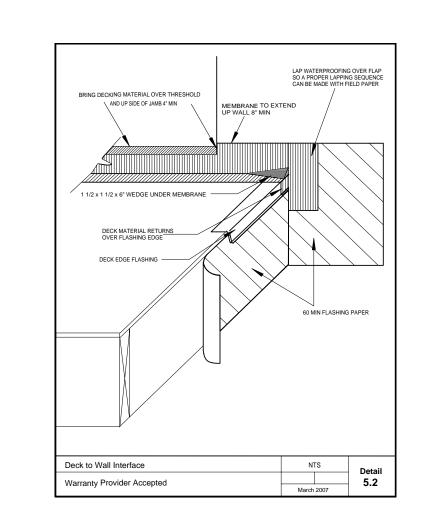


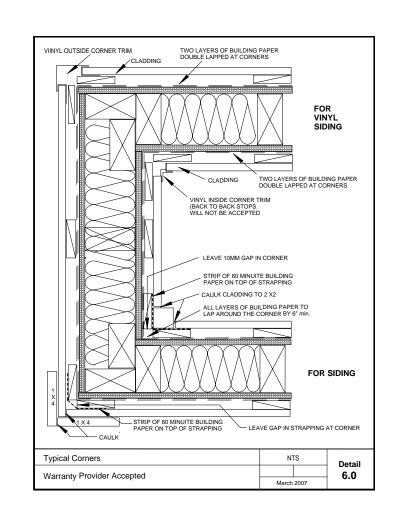


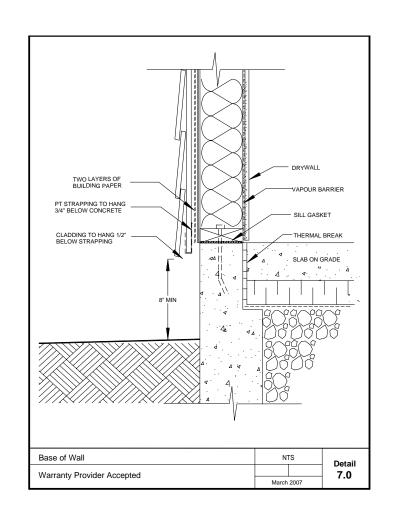


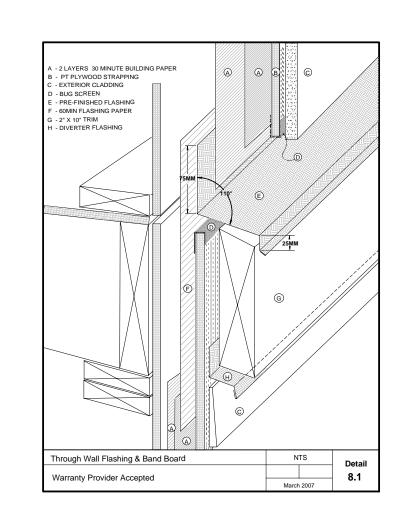


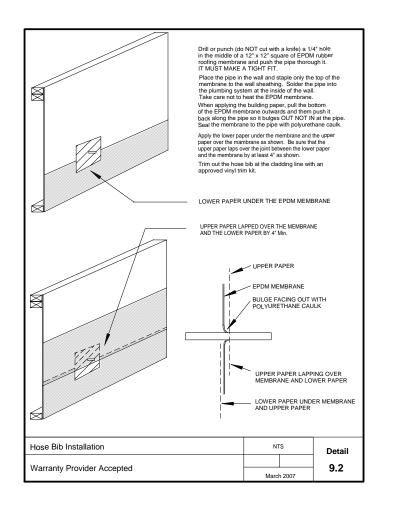


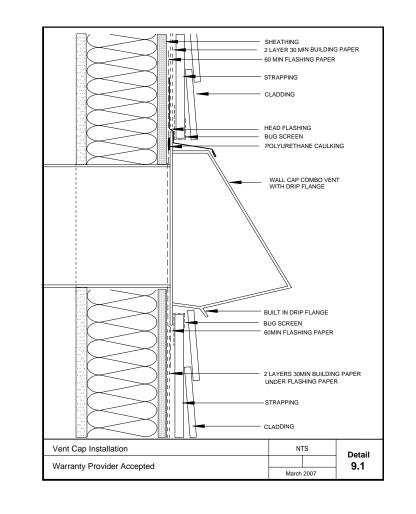


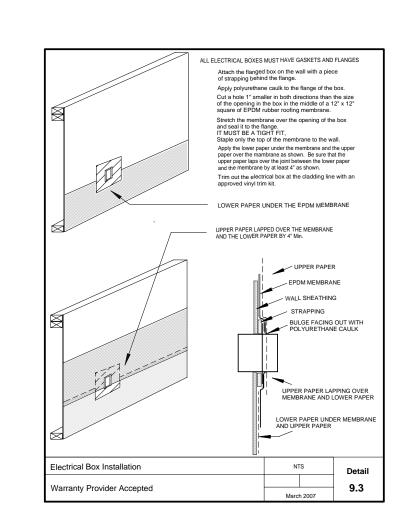












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THE READER IS ADVISED TO EVALUATE THE INFORMATION, MATERIALS AND TECHNIQUES CAUTIOUSLY AND TO CONSULT APPLICABLE BUILDING CODES AND GUIDELINES TO DETERMINE WHETHER THE INFORMATION, MATERIALS AND TECHNIQUES ARE SUITABLE IN EACH INSTANCE.

THE DRAWINGS AND TEXT ARE INTENDED AS A GENERAL REFERENCE GUIDE ONLY. PROJECT AND SITE SPECIFIC FACTORS INCLUDING CLIMATE, EXPOSURE, COMPLEXITY, AESTHETICS, ETC. MUST ALWAYS BE TAKEN INTO CONSIDERATION.

LIMITATIONS

THESE DETAILS ARE INTENDED AS A PRACTICAL REFERENCE GUIDE FOR ASSEMBLING THE BUILDING ENVELOPE IN WOOD FRAME CONSTRUCTION. IT IS NOT INTENDED TO REPLACE PROFESSIONAL ADVICE.

ENSURE THAT ALL PROPOSED PRODUCTS AND SYSTEMS ARE ACCEPTABLE TO THE BUILDING AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION.

THE INFORMATION PRESENTED HEREIN IS NOT EXCLUSIVE, MANY PRODUCTS AND METHODS MAY BE USED AS ALTERNATIVES TO SATISFY REGIONAL REQUIREMENTS, COST CONSIDERATIONS, AVAILABILITY AND SPECIFIC DESIGN REQUIREMENTS.

ENSURE THAT MATERIALS USED IN CONJUNCTION WITH ONE AND ANOTHER ARE COMPATIBLE.

WEST COAST DESIGN 8 DEVELOPMENT **SERVICES**

Laurie Wallace 250-642-8803

1	4	Ventilation and insulat	2024-06-19 6:45 AM
2	1	Foundation	2024-06-19 1:55 PM
2	2	Legend	2024-04-04 11:48 AM
2	3	-Foundation Walls	2024-06-19 1:44 PM
2	4	-Slab Assemblies	2024-06-19 1:44 PM
3	1	1st Floor	2024-06-19 1:55 PM
3	2	Legend	2024-04-04 11:48 AM
3	3	Assemblies	2024-06-15 12:08 PM
3	4	Assemblies	2024-06-15 12:08 PM
4	1	2nd Floor	2024-06-19 1:55 PM
4	2	Legend	2024-04-04 11:48 AM
4	3	Assemblies	2024-06-15 12:08 PM
4	4	Assemblies	2024-06-15 12:08 PM
5	1	Top Plate	2024-06-19 1:55 PM
5	2	Assemblies	2024-06-15 12:08 PM
5	3	-Roof Assemblies	2024-06-19 1:44 PM
6	1	EAST	2024-06-19 1:56 PM
6	2	SOUTH	2024-06-19 1:56 PM
6	3	WEST	2024-06-19 1:56 PM
6	4	NORTH	2024-06-19 1:56 PM
7	1	A2	2024-06-19 1:56 PM
7	2	A3	2024-06-19 1:56 PM
7	3	Details Floors	2024-06-15 4:41 PM
7	4	Details Eaves	2024-06-15 4:36 PM
7	5	Details Floors	2024-06-15 4:41 PM
7	6	Details	2024-06-15 4:42 PM
7	7	D-02 DETAIL	2024-06-16 3:01 PM
8	1	-Beams	2024-06-19 1:56 PM
8	2	-Joists	2024-06-19 1:45 PM
8	3	-Railings	2024-06-19 1:56 PM
8	4	-Stairs	2024-06-19 1:45 PM
8	5	-Window Schedule	2024-06-19 1:46 PM
8	6	- Door Schedule	2024-06-19 1:46 PM
8	7	- Ceilings Assemblies	2024-06-19 1:56 PM
8	8	- Wall Assemblies	2024-06-19 1:56 PM
9	1	CRD Typ. Rainscreen	2023-11-02 2:04 PM

making of this design and blueprint. Since evelopment Services cannot assume an or omissions. It is recommended that the owner and or builder consult a local engine and check with you local building officials COPYRIGHT OF WEST COAST DESIGN

1" ACTUAL IF THE ABOVE DIMENSION DOE NOT MEASURE ONE INCH (
EXACTLY, THIS DRAWING WILL HA BEEN ENLARGED OR REDUCE AFFECTING ALL LABELED SCALES. WRITTEN DIMENSIONS TAI BY REVISIONS DATE

	Date:		2024-08-07	
	Scale:		AS NOTED	
	Drawn:		LW	

file name Bashir - red bubble.pln

Last Save: Laurie

CRD Typ. Rainscreen Details

DUPLEX CLIENT

Bashir

PROJECT DESCRIPTION **3271 GALLOWAY RD**

Lot 28 Plan VIP11823 Section 65

District COLWOOD PID 004883098



LANDSCAPE PROPOSAL, REVISED JULY 28, 2024

3271 GALLOWAY ROAD VICTORIA, BC

PREPARED FOR:

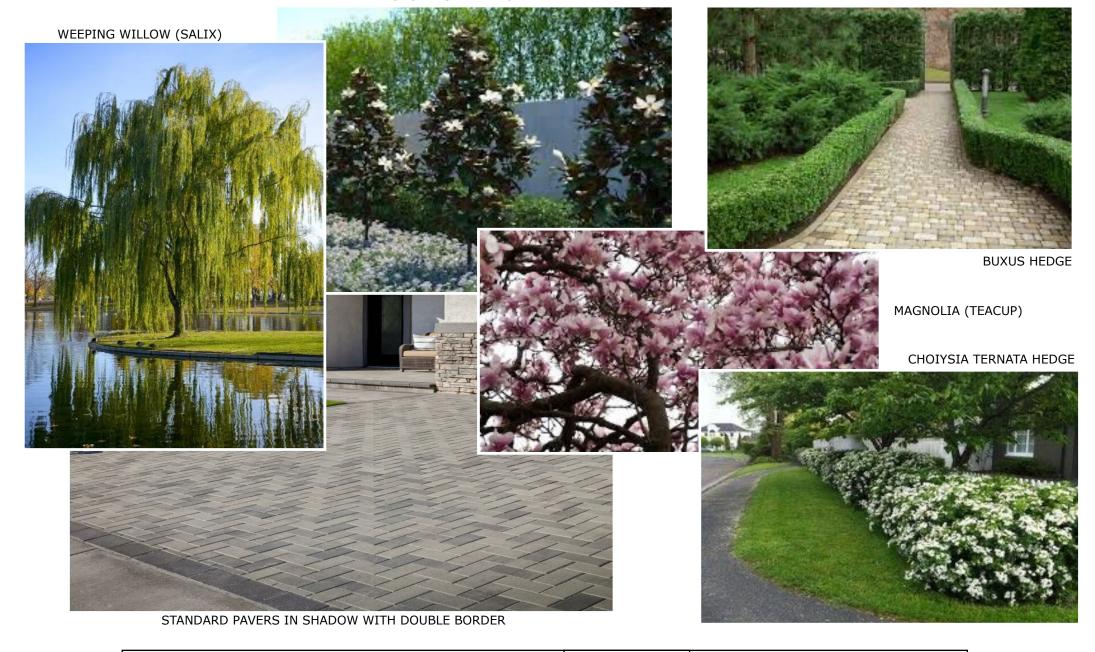
BASHIR QURESHI planetpluto@shaw.ca 250 858 8600

PREPARED BY:

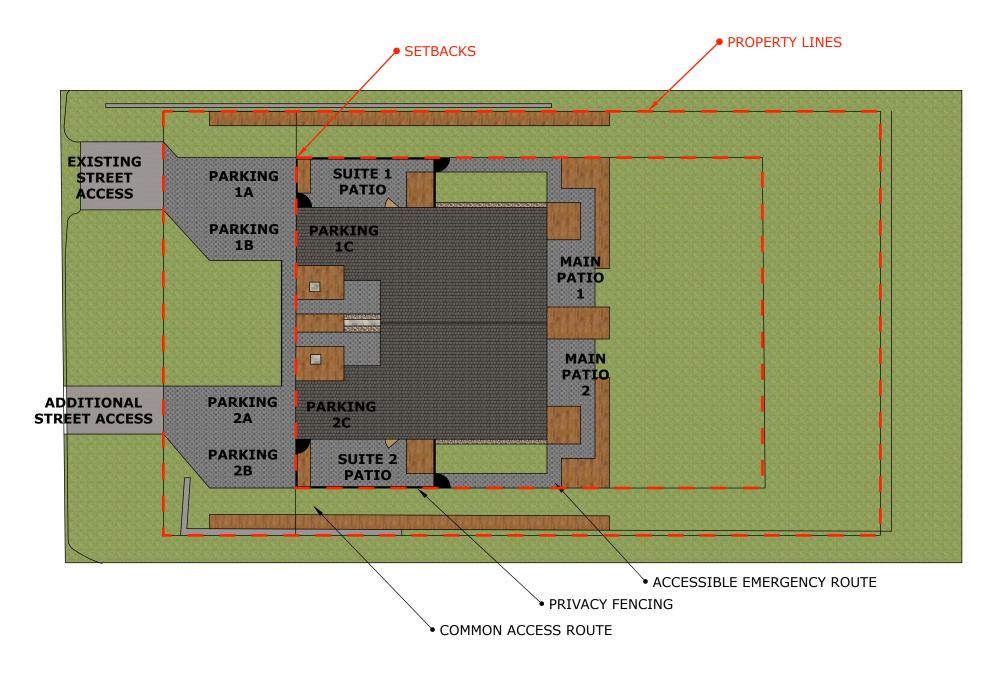
DIANA BENSCHOP, BA, MA, RSE NEW ROOTS LANDSCAPING office@newrootslandscaping.com 250-858-0220

JULY 28, 2024

MAGNOLIA GRANDIFLORA

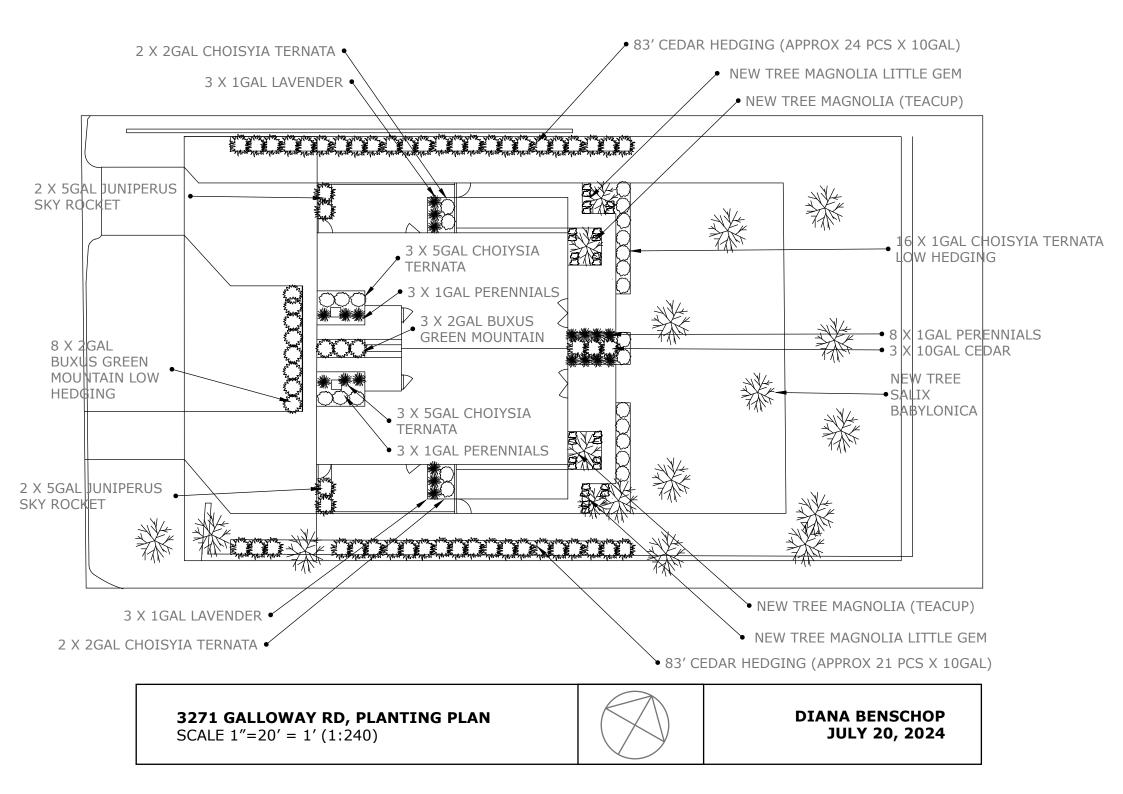


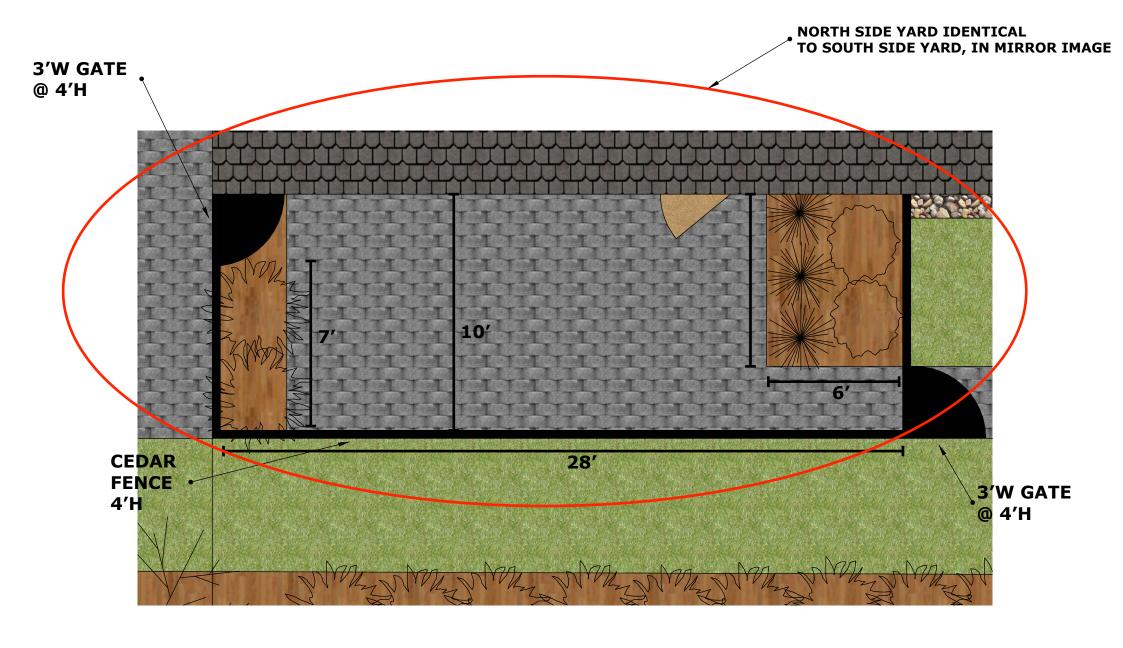
3271 GALLOWAY RD, MATERIAL SAMPLES SCALE N/A



3271 GALLOWAY RD, LAYOUT PLAN - REVISED SCALE 1''=20'=1' (1:240)







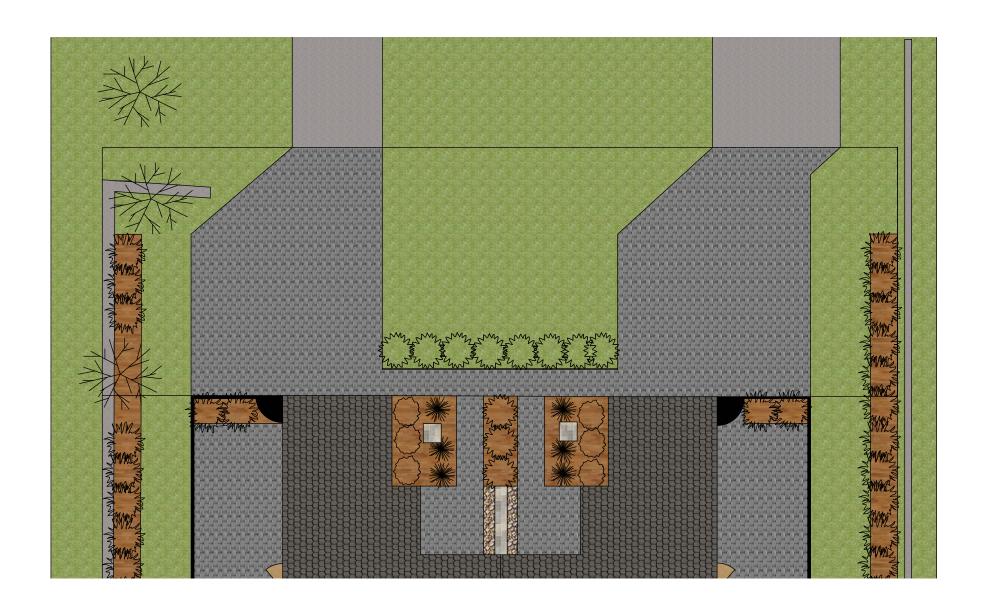
3271 GALLOWAY RD, SIDE YARD LAYOUT SCALE 1/4''=1'=1' (1:48)







3271 GALLOWAY RD, BACK YARD OBLIQUE SCALE 3/32"=1' = 1' (1:128)



3271 GALLOWAY RD, FRONT YARD LAYOUT SCALE 3/32''=1'=1' (1:128)





3271 GALLOWAY RD, OBLIQUE FRONT SCALE N/A