



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP000027 - Duplex at 3271 Galloway Road

DEVELOPMENT PERMIT DP000027

THIS PERMIT, issued **August 9, 2024**, is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: BLUENILE ENTERPRISES INC
804 SUMMERWOOD PL
VICTORIA BC V8X 5C9

(the "Permittee")

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1. This Form and Character (Intensive Residential) Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 28, SECTION 65, ESQUIMALT LAND DISTRICT, PLAN VIP11823
3271 GALLOWAY RD

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the Form and Character considerations for the development of a duplex with secondary suites and associated site improvements are consistent with the design guidelines for areas designated as "Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.

5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.
6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Architectural Plans prepared by Westcoast Design and Development dated August 7, 2024.
 - Schedule 2 Landscape Plans prepared by New Roots Landscaping dated July 28, 2024.
8. This Development Permit authorizes the construction of a duplex with secondary suites along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

GENERAL

- 8.1. This Permit shall not be construed as relieving the Permittee from compliance with any of the requirements contained within the Section 219 covenants registered as "CB1265099" and as amended.
- 8.2. British Columbia's archaeological sites are protected under the Heritage Conservation Act and shall not be altered or damaged without the required permits from the Provincial Archaeology Branch.

FORM AND CHARACTER CONDITIONS

Building Features

- 8.3. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Westcoast Design and Development Services (Schedule 1).
- 8.4. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.5. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.
- 8.6. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

Landscaping

- 8.7. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by New Roots Landscaping (Schedule 2).
- 8.8. This Development Permit does not include approval for any tree removals. A separate Tree Management Permit will be required for the removal of any protected trees.

ISSUED ON THIS 9 DAY OF AUGUST, 2024.



JOHN ROSENBERG, A.Sc.T.
DIRECTOR OF ENGINEERING AND DEVELOPMENT SERVICES



LANDSCAPE PROPOSAL, REVISED JULY 28, 2024

3271 GALLOWAY ROAD
VICTORIA, BC

PREPARED FOR:

BASHIR QURESHI
planetpluto@shaw.ca
250 858 8600

PREPARED BY:

DIANA BENSCHOP, BA, MA, RSE
NEW ROOTS LANDSCAPING
office@newrootslandscaping.com
250-858-0220

JULY 28, 2024

MAGNOLIA GRANDIFLORA

WEeping WILLOW (SALIX)



BUXUS HEDGE



MAGNOLIA (TEACUP)

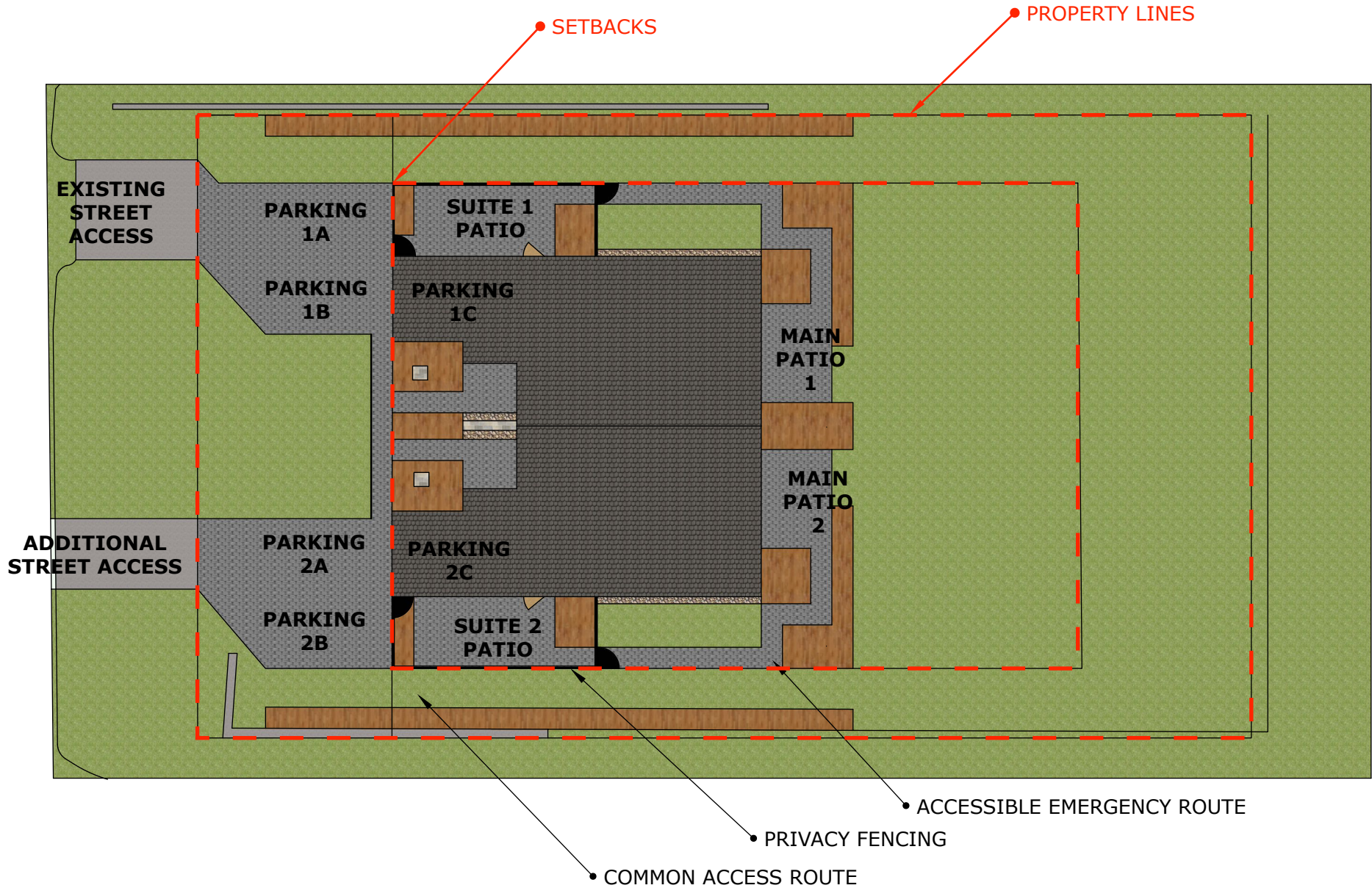
CHOIYSIA TERNATA HEDGE



STANDARD PAVERS IN SHADOW WITH DOUBLE BORDER

3271 GALLOWAY RD, MATERIAL SAMPLES
SCALE N/A

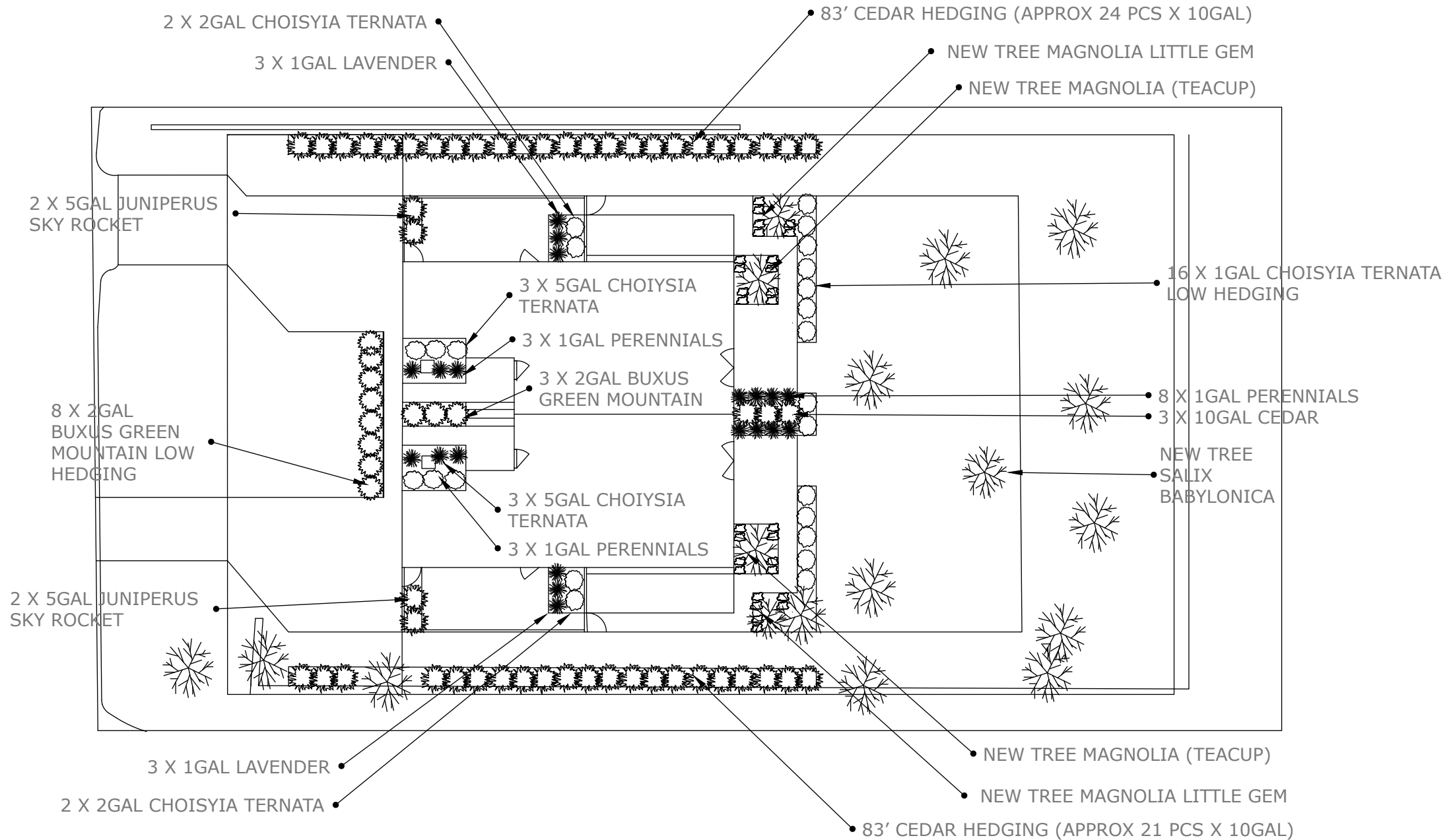
DIANA BENSCHOP
JULY 20, 2024



3271 GALLOWAY RD, LAYOUT PLAN - REVISED
 SCALE 1"=20' = 1' (1:240)



DIANA BENSCHOP
JULY 28, 2024



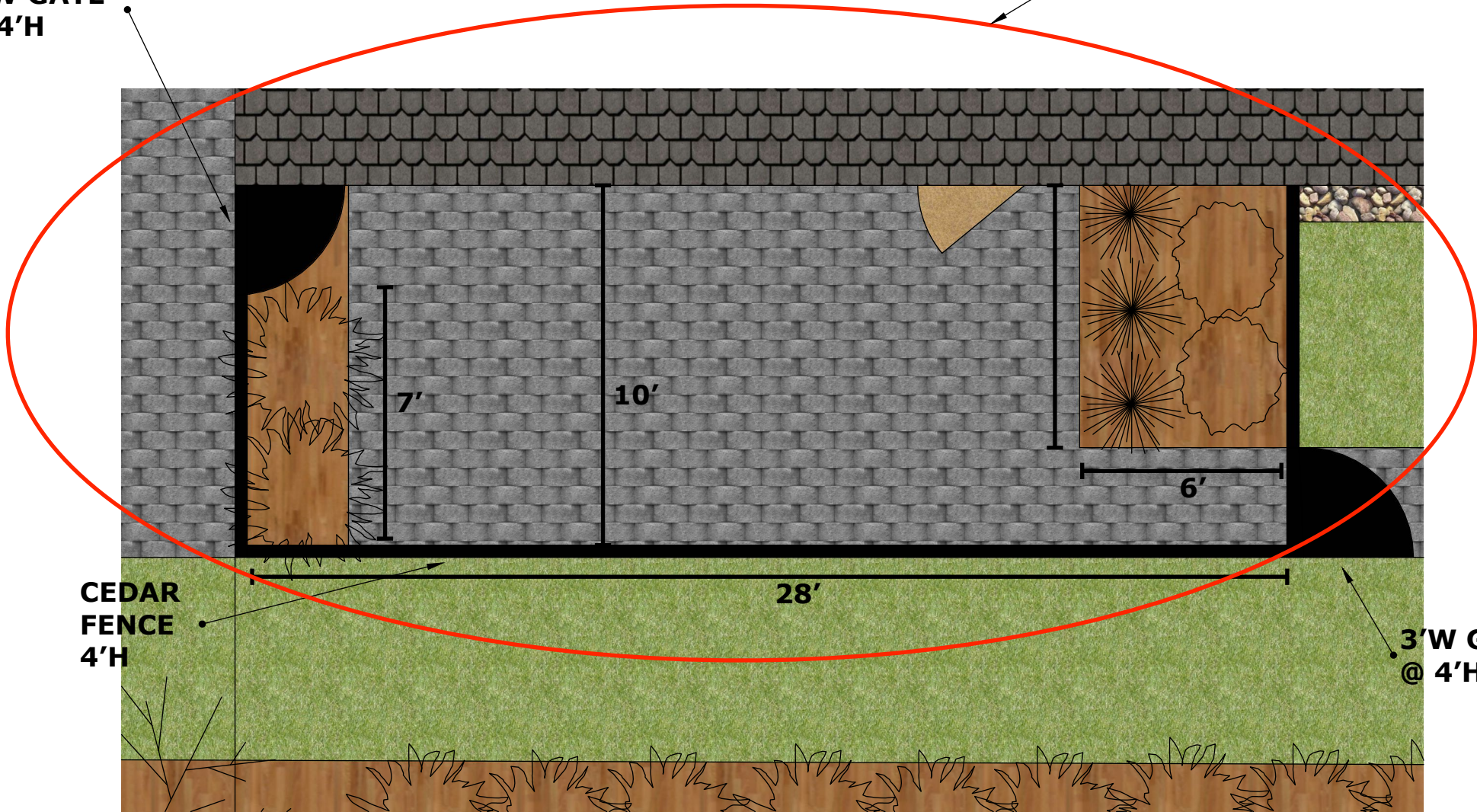
3271 GALLOWAY RD, PLANTING PLAN
 SCALE 1"=20' = 1' (1:240)



DIANA BENSCHOP
JULY 20, 2024

**3'W GATE
@ 4'H**

**NORTH SIDE YARD IDENTICAL
TO SOUTH SIDE YARD, IN MIRROR IMAGE**



**CEDAR
FENCE
4'H**

**3'W GATE
@ 4'H**

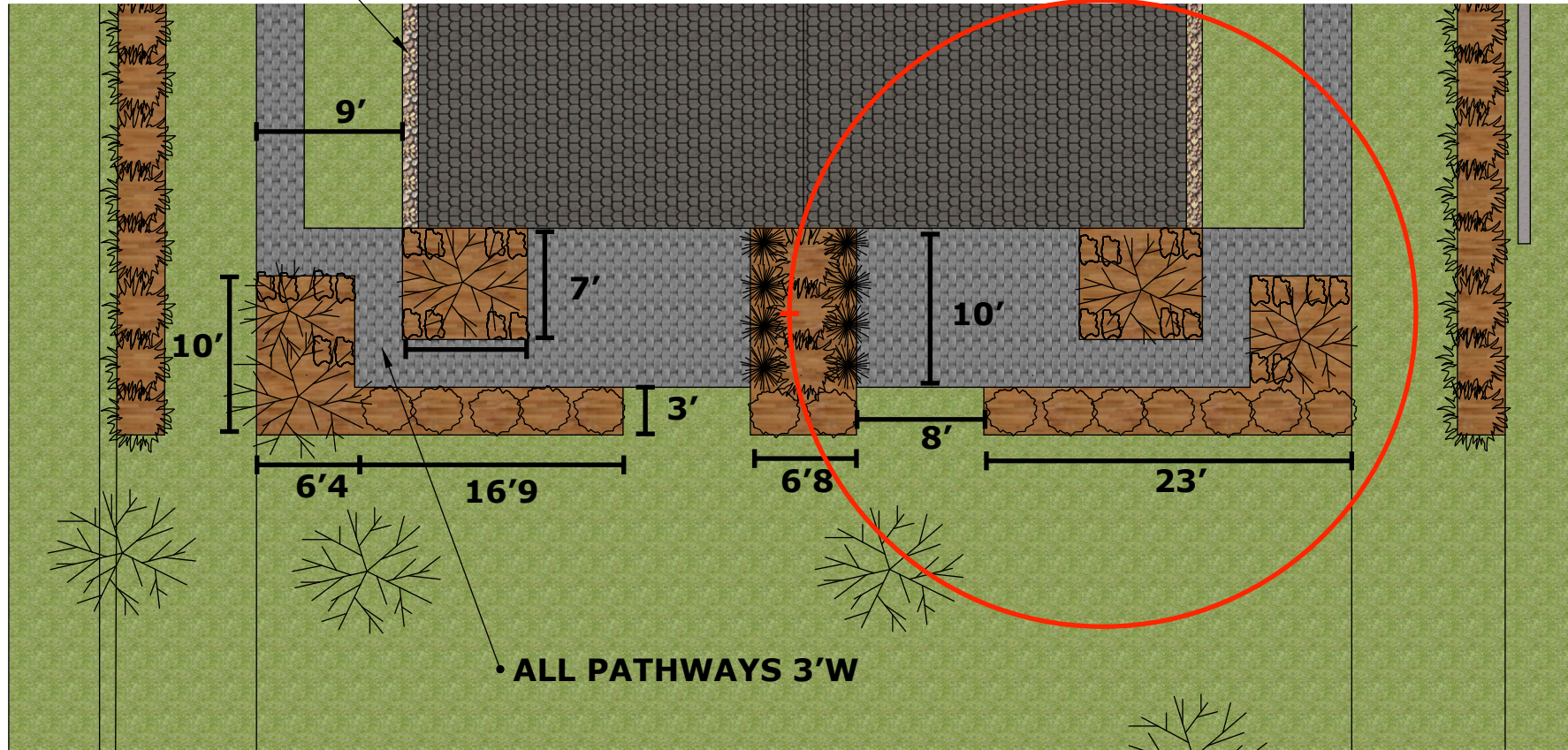
3271 GALLOWAY RD, SIDE YARD LAYOUT
SCALE 1/4"=1' = 1' (1:48)



DIANA BENSCHOP
JULY 28, 2024

**1' DRIP STRIP IN
2-4" DRAINROCK**

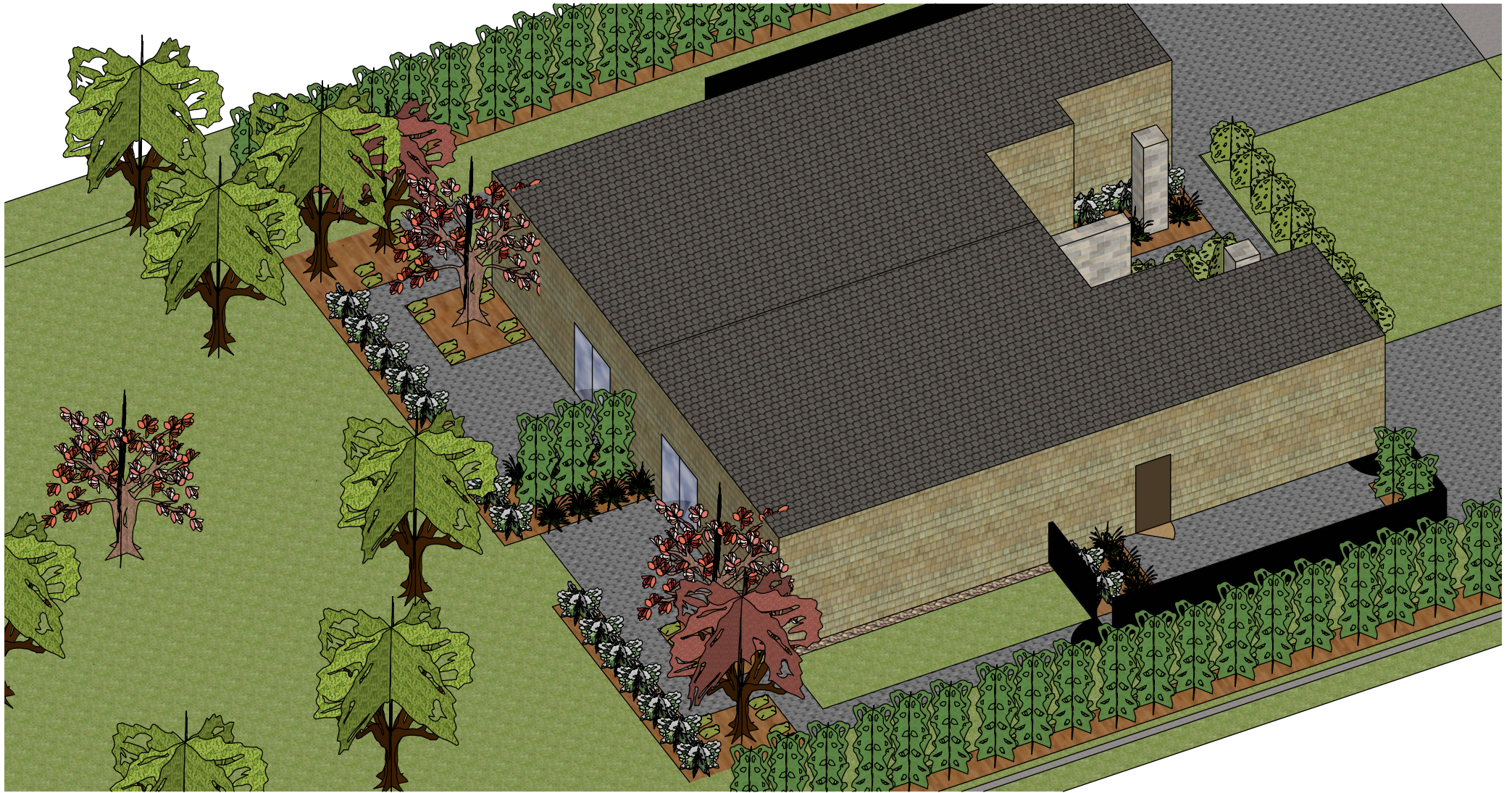
UNIT 1 AND 2 REAR PATIO AND BEDS
IDENTICAL, IN MIRROR IMAGE



3271 GALLOWAY RD, BACK YARD LAYOUT
SCALE 1/4"=1' = 1' (1:48)

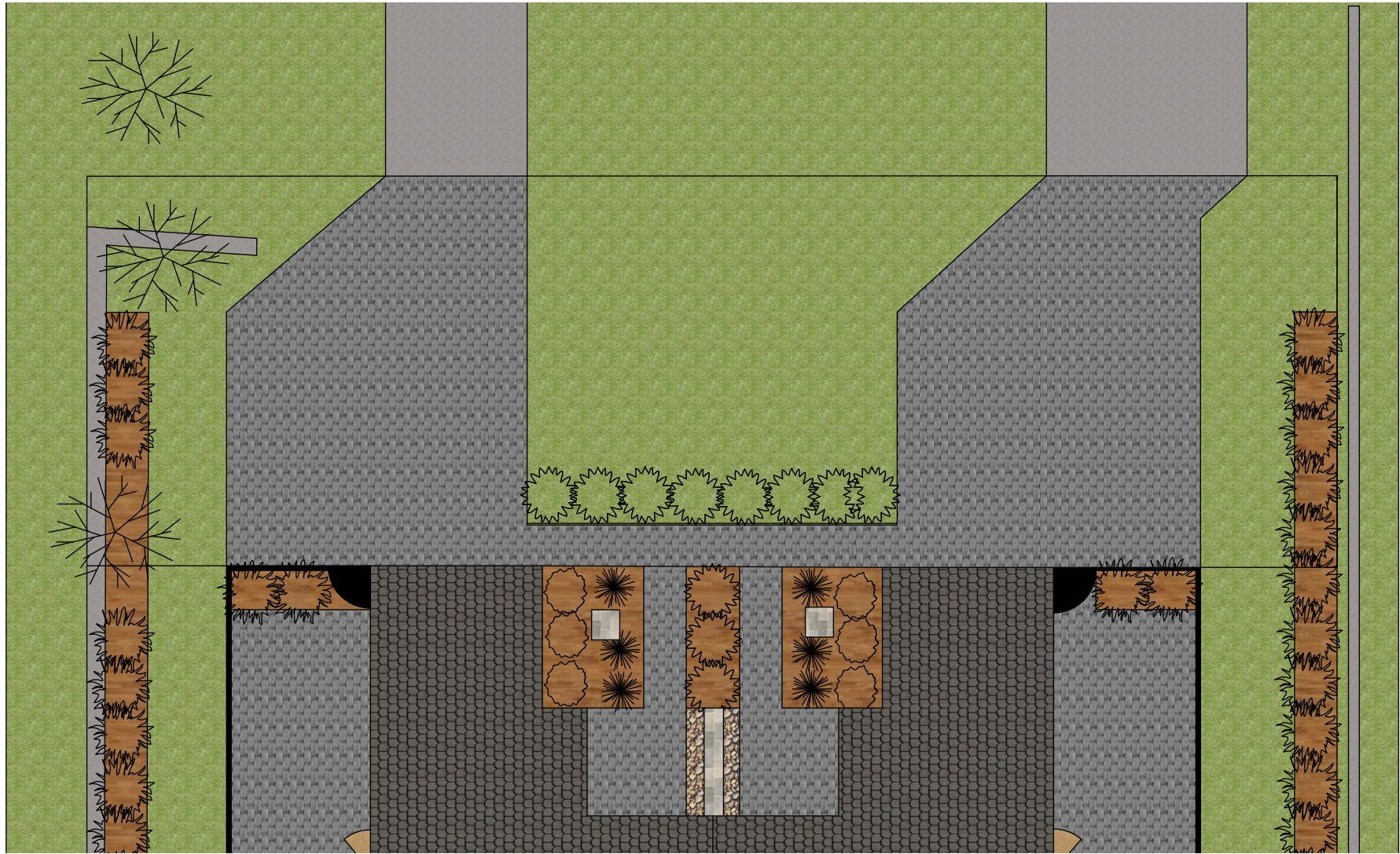


DIANA BENSCHOP
JULY 28, 2024

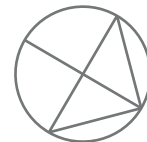


3271 GALLOWAY RD, BACK YARD OBLIQUE
SCALE 3/32"=1' = 1' (1:128)

DIANA BENSCHOP
JULY 28, 2024



3271 GALLOWAY RD, FRONT YARD LAYOUT
SCALE 3/32"=1' = 1' (1:128)



DIANA BENSCHOP
JULY 28, 2024



3271 GALLOWAY RD, OBLIQUE FRONT
SCALE N/A

DIANA BENSCHOP
JULY 28, 2024